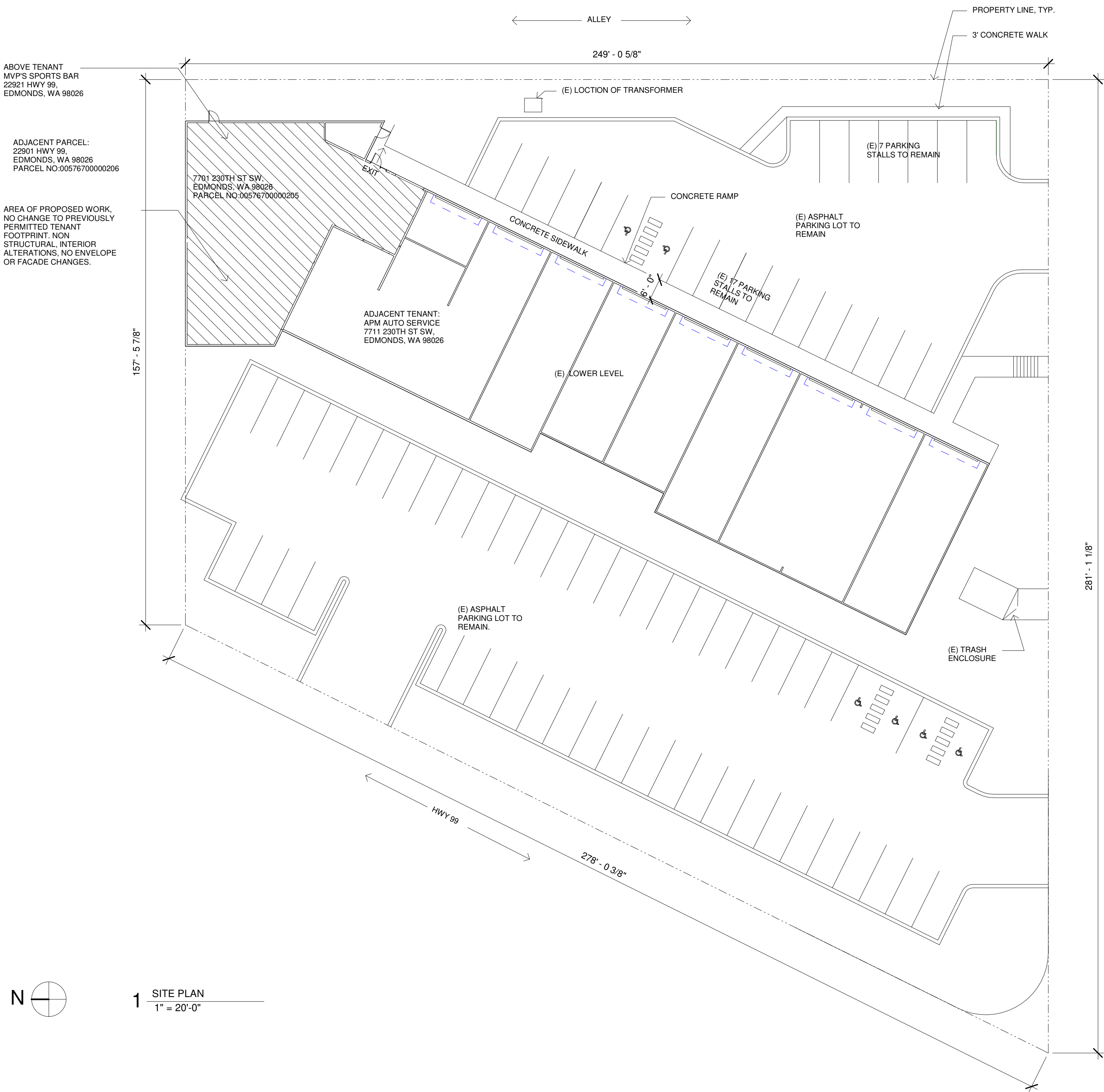




3 PROPERTY IMAGE
NTS



2 VICINITY MAP
NTS



GENERAL NOTES

- ALL CONSTRUCTION SHALL BE DONE ACCORDING TO GENERAL NOTES AND CALCULATIONS SUBMITTED BY STRUCTURAL, MECHANICAL, AND ELECTRICAL ENGINEERS, AND IN ACCORDANCE WITH MOST CURRENT APPLICABLE CODES AND ORDINANCES.
- THESE DOCUMENTS ARE OF LIMITED SCOPE AND DO NOT COVER ALL CONSTRUCTION DETAILS, CONDITIONS, FINISHES OR PRACTICES. THE CONTRACTOR IS ASSUMED TO USE GOOD JUDGMENT IN THE EXECUTION OF THESE DOCUMENTS. BABENKO ARCHITECTS PLLC SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS FROM THE MISINTERPRETATIONS OF THESE DOCUMENTS. THE CONTRACTOR SHALL VERIFY ALL EXISTING AND NEW DIMENSIONS AND JOB CONDITIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCE OR PROCEDURES REQUIRED TO PERFORM THE WORK.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE COMMENCING WORK. DISCREPANCIES, IF ANY, ARE TO BE REFERRED TO THE ARCHITECT IMMEDIATELY FOR DETERMINATION ON HOW TO PROCEED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT EXISTING WORK TO REMAIN. ANY SUCH ITEM DAMAGED OR DESTROYED BY THE WORK OF THIS CONTRACT IS TO BE REPAIRED OR REPLACED TO ITS ORIGINAL CONDITION.
- DIMENSIONS ARE TO:
 - FACE OF STUD, OR
 - FACE OF CONCRETE (FOC), OR
 - GRID LINE, OR
 - CENTER LINE, OR
 - AS INDICATED ON THE DRAWINGS.
- REFERENCING OF DRAWINGS IS FOR CONVENIENCE ONLY AND DOES NOT LIMIT APPLICATION OF ANY DRAWING OR DETAIL.
- CONTRACTOR SHALL PROVIDE ALL WORK INDICATED ON THE DRAWINGS AND DESCRIBED IN THE SPECIFICATIONS. THE WORK INDICATED ON THE DRAWINGS IS TO BE GOVERNED BY ALL RELEVANT SECTIONS OF THE SPECIFICATIONS THOUGH CROSS REFERENCES MAY OR MAY NOT BE STATED. EXPLICITLY, THE DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY TO EACH OTHER. WHAT IS DESCRIBED OR INDICATED ON ONE IS BINDING AS IF CALLED ON IN BOTH.
- WHERE ADJOINING ROOMS HAVE DISSIMILAR FLOORING, MAKE CHANGE UNDER CENTERLINE OF DOOR, UNLESS OTHERWISE SHOWN.
- DIFFERING PARTITION TYPES (I.E. WHERE EXISTING PARTITIONS RUNS INTO NEW) SHALL ALIGN SO THAT WALL PLANES CONTINUE UNBROKEN WITHIN ROOMS UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL VERIFY ALL ROUGH-IN DIMENSIONS AND EQUIPMENT FURNISHED AND INSTALLED BY CONTRACTOR OR OTHERS PRIOR TO PROCEEDING WITH THE WORK.
- FURNISHED ITEMS AND PROVIDE ALL REQUIRED MECHANICAL AND ELECTRICAL CONNECTIONS, INCLUDING STUD OUTS FOR NEW AND FUTURE WORK (FUTURE WORK ONLY IF NOTED TO CONTRACTOR IN WRITING).
- DO NOT SCALE DRAWINGS.
- CONTRACTOR SHALL REPAIR, AND PATCH ALL EXISTING STRUCTURES AND FINISHES WHERE ALTERATIONS OR NEW CONDITIONS ABUT, JOIN, OR INTEGRATE TO EXISTING CONDITIONS.
- AT NON-LOAD BEARING STUD PARTITIONS, STUDS ARE TO EXTEND FROM FLOOR TO UNDERSIDE OF STRUCTURE ABOVE. UNLESS OTHERWISE NOTED, WHERE ALTERATIONS CANNOT EXTEND TO STRUCTURE, DUE TO INTERFERENCE OF DUCTS, PIPING, ETC., PROVIDE BRACING TO STRUCTURE ABOVE TO PROVIDE FOR EQUIVALENT SUPPORT OF PARTITION.
- ALL WOOD IN CONTACT WITH CONCRETE, MASONRY, OR SOIL SHALL BE SEPARATED USING AN UNDERLAYMENT / MOISTURE BARRIER, EXCEPT WHERE EXISTING FLOOR IS NOT.
- PROVIDE BLOCKING AT ALL WALL MOUNTED ITEMS, REFER TO INTERIOR ELEVATIONS.
- CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL DOORS, WINDOWS, METAL FABRICATIONS AND CABINETS TO ARCHITECT FOR APPROVAL PRIOR TO PROCEEDING WITH MATERIAL ORDER OR MANUFACTURE.

PROJECT DIRECTORY

OWNER
FIVE CR LLC
PO BOX 33548,
SEATTLE, WA 98133-0548

TENANT
JARED CHING
SEATTLE TRICKING COLLECTIVE LLC
7701 230TH ST SW,
EDMONDS, WA 98026
PH 808.469.1290

ARCHITECT
JEFF BABENKO, AIA LEED AP
BABENKO ARCHITECTS PLLC
815 SEATTLE BOULEVARD SOUTH
SEATTLE, WA 98134
PH 206.223.7663

GENERAL CONTRACTOR
TBD

PROJECT INFORMATION

PROJECT DESCRIPTION
NON STRUCTURAL ALTERATIONS TO EXISTING TENANT SPACE. REVERT BACK TO B-BUSINESS OCCUPANCY AS APPROVED UNDER PERMIT BLD19860820 AND BLD19900074. CURRENT OCCUPANCY F-1 - MODERATE HAZARD FACTORY.

NO CHANGE TO EXISTING BUILDING FOOTPRINT.
NO CHANGE TO EXISTING ENVELOPE.
NO CHANGE TO EXISTING CONDITIONING.

PROJECT STREET ADDRESS
7701 230TH ST SW,
EDMONDS, WA 98026

PROJECT NUMBER
TBD

ASSESSOR PARCEL #
00576700000205

LEGAL DESCRIPTION
SKELTONS LK MC ALEER 5 ACRE TRS BLK 000 D-05 - LOT 2 L Y E OF ST RD LESS PT NLY N OF ALN WH BEGINS AAP 502'28'02E 317.34FT FR THE INT OF PRIMARY SHY NO 1 & E LN SD LOT & EXT S87°56'01W PLW S LN OF SD LOT A DIST OF 157.53FT TO SELV HWYRW LN AKA LOT 2 OF SP S-39-77 REG AF 7709140278 LESS R/W TO CITY LYNN PER WD REG AF 9712170397

PROPERTY DESCRIPTION
BRENTWOOD PLAZA - COMMERCIAL

YEAR BUILT
1986

ZONING
EDMONDS CITY

ZONING CODE
CG - GENERAL COMMERCIAL

NEIGHBORHOOD CODE
5504000
TOWNSHIP 27 RANGE 04 SECTION 31 QUARTER NE

PROJECT VALUATION
\$20,000

BUILDING CODES

2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL BUILDING CODE CHAPTER 11 AND APPENDIX E FOR ACCESSIBILITY
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL FUEL GAS CODE
2018 INTERNATIONAL FIRE CODE
2018 INTERNATIONAL EXISTING BUILDING CODE
2018 INTERNATIONAL PROPERTY MAINTINANCE CODE
2018 ICC PERFORMANCE CODE
2018 WASHINGTON STATE ENERGY CODE - COMMERCIAL
2018 UNIFORM PLUMBING CODE
EDMONDS COMMUNITY DEVELOPMENT CODE TITLE 19
WA STATE AMENDMENTS TO ICC CODES AS APPLICABLE

NOTE: ALL WORK SHALL CONFORM TO THE CODES LISTED ABOVE AND ANY AMENDMENTS IN FORCE AT THE TIME OF PERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR WORK CONFORMING TO ALL CURRENT CODES DURING THE COURSE OF CONSTRUCTION, WHETHER LISTED ABOVE OR IN ADDITION TO THE CODES NOTED ABOVE.

SYMBOLS

| | | | |
|--|-------------------------|--|------------------|
| | CONTINUOUS WOOD FRAMING | | SQUARE |
| | WOOD BLOCKING | | DIAMETER |
| | COMPACTED SAND | | AT |
| | COMPACTED GRAVEL | | CENTERLINE |
| | SOIL | | PLATE |
| | GRID LINE | | DETAIL TAG |
| | BATT INSULATION | | BUILDING SECTION |
| | CONCRETE | | ROOM SECTION |

KITCHEN

| | | | | | | | |
|--|------------------|--|--------------------------|--|------------------------|--|---------------------------------|
| | DOOR NUMBER | | WINDOW NUMBER | | ROOF/CEILING/WALL TYPE | | SMOKE DETECTOR |
| | DIMENSION POINTS | | CARBON MONOXIDE DETECTOR | | EXHAUST FAN | | CORRECTION LETTER REVISION NOTE |
| | ELEVATION MARKER | | DOOR BELL | | | | |

ABBREVIATIONS

| | |
|--------|-------------------------------|
| AHU | AIR HANDLING UNIT (FURNACE) |
| BLKG | BLOCKING |
| CONC. | CONCRETE |
| DTL. | DETAIL |
| D.S. | DOWNSPOUT |
| EL. | ELEVATION |
| EXIST. | EXISTING CONSTRUCTION (E) |
| EXT. | EXTERIOR |
| FT. | FOOT / FEET |
| GA. | GAUGE |
| GWB. | GYPSUM WALL BOARD |
| HT. | HEIGHT |
| IN. | INCH / INCHES |
| MFR. | MANUFACTURER |
| N.I.C. | NOT IN CONTRACT |
| PT. | PRESSURE TREATED PRESERVATIVE |
| QTY. | QUANTITY |
| REFR. | REFRIGERATOR |
| R.J. | ROUGH OPENING |
| SBC | SEATTLE BUILDING CODE |
| SCH. | SCHEDULE |
| SW | SHEAR WALL |
| TEL | TELEPHONE |
| T&G | TONGUE AND GROOVE |
| TOW | TOP OF WALL |
| TYP. | TYPICAL |
| WD. | WOOD |
| W/ | WITH |
| WO | WITHOUT |
| WH | WATER HEATER |
| V.L.F. | VERIFY IN FIELD |

DRAWING LIST

| | |
|------|-----------------------------|
| A000 | COVER SHEET, SITE PLAN |
| A001 | CODE DATA |
| D100 | DEMO PLAN |
| A100 | FLOOR PLAN |
| A101 | RCP |
| A600 | DETAILS + SCHEDULES |
| A002 | ACCESSIBILITY |
| A102 | PRACTICE FLOOR FRAMING PLAN |

ARCHITECT

babenko ARCHITECTS pllc

PROJECT

2217 M TRICKING

TITLE SHEET

COVER SHEET, SITE PLAN

ISSUE

PERMIT

DATE

JULY 28, 2023

A000

BUILDING CODE DATA

LOT SIZE 1.46 ACRES
AREA OF WORK 2,812 SF
NO CHANGE TO BUILDING FOOTPRINT

CONSTRUCTION TYPE
PER IBC 602 VB

OCCUPANCY CLASSIFICATION
PER IBC 302

PREVIOUS OCCUPANCIES
B-2 BUSINESS (DANCE STUDIO) BLD19860820
B-2 CUSTOM WINDOW MFRING. BLD19900074

CURRENT OCCUPANCY:
F-1 MILLWORK (SASH AND DOOR)

PROPOSED OCCUPANCY:
B TRAINING AND SKILL DEVELOPMENT PER IBC 304.1
MARTIAL ARTS TRAINING GYM

EXISTING OCCUPANCY LOAD CALCULATION (PER IBC 1004.1)

| NAME | AREA | OCCUPANCY | OCCUPANTS |
|---------------------|---------|-------------------------|--------------|
| EXISTING F-1 | 2812 SF | MANUFACTURING (200G/SF) | 15 OCCUPANTS |
| TOTAL: 15 OCCUPANTS | | | |

OCCUPANCY LOAD CALCULATION (PER IBC 1004.1)

| Name | Area | Occupancy | Occupants |
|---------------------|---------|-----------|-----------|
| PRACTICE AREA | 1492 SF | 50 | 30 |
| RECEPTION | 405 SF | 150 | 3 |
| EXERCISE AREA | 613 SF | 50 | 13 |
| STORAGE | 188 SF | 300 | 1 |
| TOTAL: 47 OCCUPANTS | | | |

MINIMUM PLUMBING FIXTURES
PER IBC TABLE 2902.1

TOTAL OCCUPANCY = 47 OCCUPANTS

WATER CLOSETS: 1/25 FOR THE FIRST 50 OCCUPANTS
2 WATER CLOSETS REQUIRED
2 WATER CLOSETS PROVIDED

LAVATORIES 1/40
2 LAVATORIES REQUIRED
2 LAVATORIES PROVIDED

SERVICE SINK 1 REQUIRED
DINKING FOUNTAIN 1 REQUIRED

2902.1.2 SINGLE USER TOILET FACILITIES
SINGLE USER TOILET FACILITIES SHALL BE IDENTIFIED FOR USE BY EITHER SEX

1109.2 TOILET AND BATHING FACILITIES
EACH TOILET ROOM AND BATHING ROOM SHALL BE ACCESSIBLE. EXCEPTIONS

3. WHERE MULTIPLE SINGLE-USER TOILET ROOMS OR BATHING ROOMS ARE CLUSTERED AT A SINGLE LOCATION, AT LEAST 50 PERCENT BUT NOT LESS THAN ONE ROOM FOR EACH USE AT EACH CLUSTER SHALL BE ACCESSIBLE.

ACCESSIBLE FACILITIES: AT LEAST 50%
1 ACCESSIBLE FACILITY REQUIRED
1 ACCESSIBLE FACILITY PROVIDED

LAND USE CODE DATA

ALLOWED USES (EDMONDS CITY CODE CHAPTER 16)

EXISTING USE
GENERAL COMMERCIAL

PROPOSED USE:
GENERAL COMMERCIAL

PARKING STANDARDS (EDMONDS CITY CODE 17.50.010)
COMMERCIAL RECREATION - ONE SPACE PER 500 SQUARE FEET

6 PARKING SPACE REQUIRED
24 PARKING SPACE PROVIDED

ENERGY CODES

ALTERATIONS (WSEC C503.1)
ALTERATIONS TO AN EXISTING BUILDING, BUILDING SYSTEM, OR PORTION THEREOF SHALL CONFORM TO THE PROVISIONS OF THIS CODE AS THEY RELATE TO NEW CONSTRUCTION WITHOUT REQUIRING THE UNALTERED PORTIONS OF THE EXISTING BUILDING OR BUILDING SYSTEM TO COMPLY WITH THIS CODE

IEBC COMPLIANCE METHOD
IEBC 301.3.2 WORK AREA COMPLIANCE METHOD

NO CHANGE TO BUILDING EXTERIOR OR ENVELOPE

ALLOWED USES (EDMONDS CITY CODE CHAPTER 16)

EXISTING USE
GENERAL COMMERCIAL

PROPOSED USE:
GENERAL COMMERCIAL

PARKING STANDARDS (EDMONDS CITY CODE 17.50.010)
COMMERCIAL RECREATION - ONE SPACE PER 500 SQUARE FEET

6 PARKING SPACE REQUIRED
24 PARKING SPACE PROVIDED

NUMBER OF EXITS

PER IBC 1006.2.1
TWO EXITS OR EXIT ACCESS DOORWAYS FROM ANY SPACE SHALL BE PROVIDED WHERE THE DESIGN OCCUPANT LOAD OR THE COMMON PATH OF EGRESS TRAVEL DISTANCE EXCEEDS THE VALUES LISTED IN TABLE 1006.2.1
1 EXIT REQUIRED
1 EXIT PROVIDED

EXIT AND EXIT ACCESS DOORWAY CONFIGURATION

ACCESSIBLE MEANS OF EGRESS

PER IBC 1009.1
ACCESSIBLE SPACES SHALL BE PROVIDED WITH NOT LESS THAN ONE ACCESSIBLE MEANS OF EGRESS.

EGRESS WIDTH

IBC 1010.1.1
DOOR OPENINGS REQUIRED TO BE ACCESSIBLE WITHIN TYPE B UNITS INTENDED FOR USER PASSAGE SHALL HAVE A MINIMUM CLEAR OPENING WIDTH OF 31.75 INCHES

IBC 1005.4
THE MINIMUM WIDTH OR REQUIRED CAPACITY OF THE MEANS OF EGRESS REQUIRED FROM ANY STORY OF A BUILDING SHALL NOT BE REDUCED ALONG THE PATH OF EGRESS TRAVEL UNTIL ARRIVAL AT THE PUBLIC WAY

LOCKS AND LATCHES

PER IBC 1010.1.9.4
2. GROUP B:
MAIN EXTERIOR DOOR OR DOORS ARE PERMITTED TO BE EQUIPPED WITH KEY-OPERATED LOCKING DEVICES FROM THE EGRESS SIDE PROVIDED
2.1 THE LOCKING DEVICE IS READILY DISTINGUISHABLE AS LOCKED
2.2 A READILY VISIBLE DURABLE SIGN IS POSTED ON THE EGRESS SIDE ON OR ADJACENT TO THE DOOR STATING: THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS. THE SIGN SHALL BE IN LETTERS 1 INCH HIGH ON A CONTRASTING BACKGROUND
2.3 THE USE OF KEY-OPERATED LOCKING DEVICE IS REVOCABLE BY THE BUILDING OFFICIAL FOR DUE CAUSE

FIRE PROTECTION SYSTEMS

PROPOSED CHANGE OF OCCUPANCY FROM F-1 TO B

ECDC 19.25.035. SECTION A AUTOMATIC FIRE SPRINKLER SYSTEM

AUTOMATIC FIRE SPRINKLERS, IN ADDITION TO THE REQUIREMENTS OF IFC SECTION 903.2, AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED AND MAINTAINED THROUGHOUT ALL BUILDINGS, STRUCTURES, FLOORS, AND SUITES DESCRIBED IN THIS SECTION. IF CONFLICTS EXIST BETWEEN THE IFC AND THIS SECTION, THIS SECTION SHALL PREVAIL. ALL SPRINKLERS SHALL BE INSTALLED PER THE APPLICABLE NFPA AND SOUTH COUNTY FIRE'S (SCF) FIRE SPRINKLER STANDARD. FOR THE PURPOSES OF THIS SECTION, SPACES SEPARATED BY FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS AND FIRE-RESISTANCE-RATED HORIZONTAL ASSEMBLIES NOTED IN CHAPTER 7 IBC SHALL NOT BE CONSIDERED TO BE SEPARATE BUILDINGS. PARTIAL AREA AUTOMATIC SPRINKLER SYSTEMS ARE PROHIBITED EXCEPT WHERE APPROVED BY THE FIRE CODE OFFICIAL.

ECDC 19.25.035. SECTION A. 1-2, 4-7 NOT APPLICABLE TO SCOPE OF WORK.

ECDC 19.25.035. SECTION A 3
WHEN REQUIRED BY THE INTERNATIONAL EXISTING BUILDING CODE (IEBC) FOR ... CHANGES OF OCCUPANCY, THE CLASSIFICATION OF WORK LEVEL SHALL BE DETERMINED BY THE BUILDING AND FIRE CODE OFFICIAL.

PER IBC 1011.2 FIRE PROTECTION SYSTEMS

FIRE PROTECTION SYSTEMS SHALL BE PROVIDED IN ACCORDANCE WITH SECTIONS 1011.2.1 AND 1011.2.2.

IEBC 1011.2.1 FIRE SRINKLER SYSTEM

WHERE A CHANGE IN OCCUPANCY CLASSIFICATION OCCURS OR WHERE THERE IS A CHANGE OF OCCUPANCY WITHIN A SPACE WHERE THERE IS A DIFFERENT FIRE PROTECTION SYSTEM THRESHOLD REQUIREMENT IN IBC CHAPTER 9 THAT REQUIRES AN AUTOMATIC FIRE SPRINKLER SYSTEM TO BE PROVIDED BASED ON THE NEW OCCUPANCY IN ACCORDANCE WITH IBC CHAPTER 9, SUCH SYSTEM SHALL BE PROVIDED THROUGHOUT THE AREA WHERE THE CHANGE OF OCCUPANCY OFFURS. CHANGE IN OCCUPANCY DOES NOT TRIGGER CHANGE IN FIRE PROTECTION SYSTEM THRESHOLD. (F-1 TO B)

PER IBC 903.2

NO LOCATION DESCRIBED AS REQUIRING SPRINKLERS FOR B OCCUPANCY.

EXISTING TENANT SPACE NOT SPRINKLERED

NO NEW FIRE SPRINKLER SYSTEM PROPOSED

MANUAL FIRE ALARM AND DETECTION SYSTEM

PER IEBC 1011.2.2

FIRE ALARM SYSTEM TO BE PROVIDED BASED ON NEW OCCUPANCY IN ACCODANCE WITH CH 9 OF IBC THROUGHOUT THE AREA WHERE THE CHANGE OF OCCUPANCY OCCURS.

PER IBC 907.2.2

NO MANUAL FIRE ALARM SYSTEM REQUIRED FOR GROUP B OCCUPANCY WITH OCCUPANT LOAD LESS THAN 500 OCCUPANTS.

PROPOSED OCCUPANCY:47

EXISTING AUTOMATIC FIRE ALARM AND DETECTION SYSTEM TO REMAIN

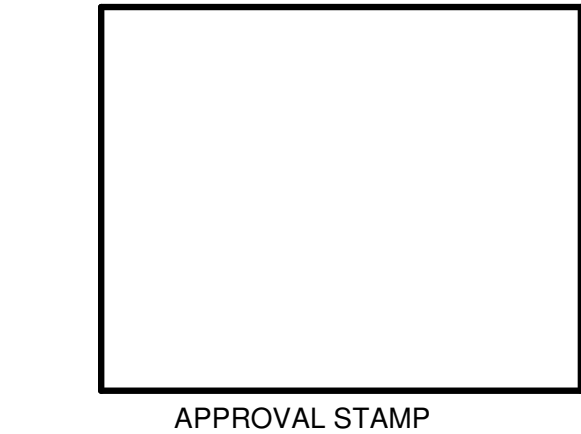
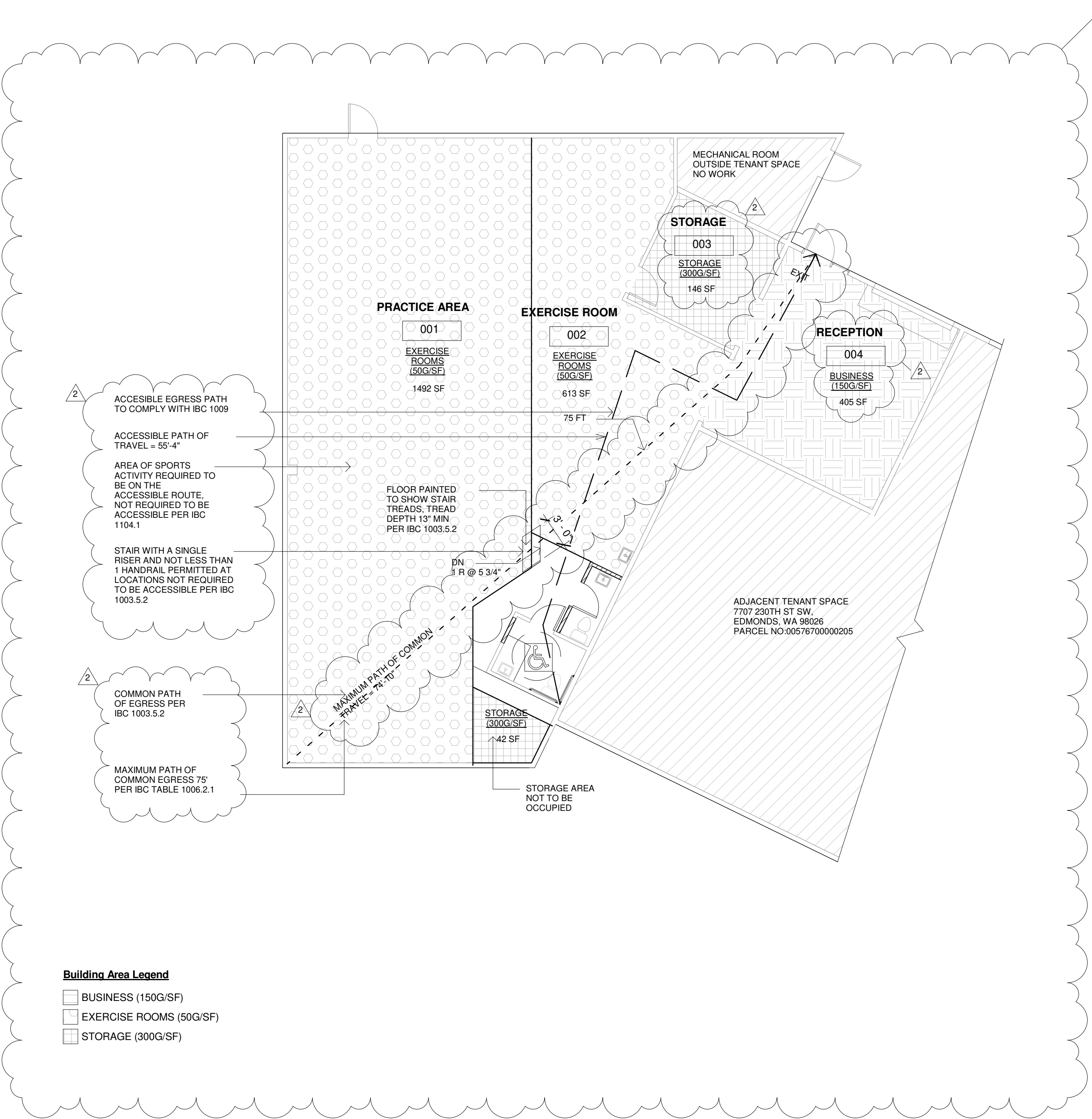
HEATING

EXISTING GAS HEATING TO REMAIN

Building Area Legend

- BUSINESS (150G/SF)
- EXERCISE ROOMS (50G/SF)
- STORAGE (300G/SF)

1 CODE PLAN
1/8" = 1'-0"



Corrections 1 3/14/2023
Resubmit 7/28/2023

ARCHITECT
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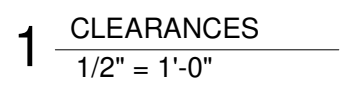
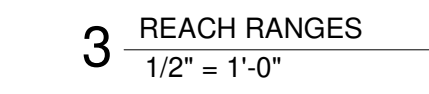
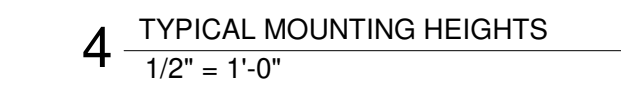
PROJECT
2217 M TRICKING

TITLE SHEET
CODE DATA

A001

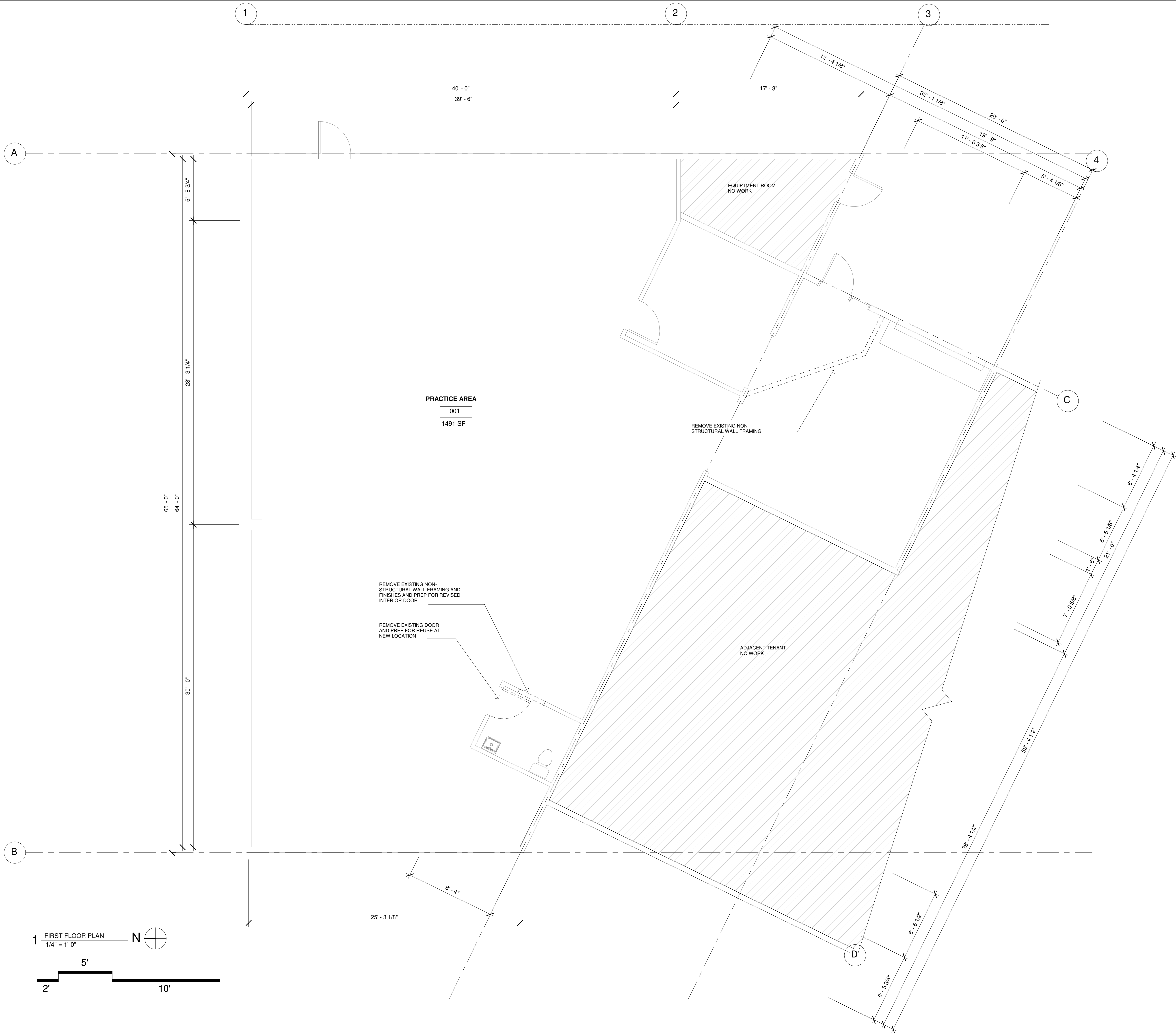
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DATE
JULY 28, 2023



- D A T E
JULY 28, 2023

A002



SYMBOLS LEGEND

- EXISTING WALL TO REMAIN
- WALLS TO BE DEMOLISHED
- NEW WALL CONSTRUCTION (SEE SHT A600)
- PARTITION TYPE
- WINDOW KEY
- DOOR KEY

GENERAL DEMOLITION NOTES

- PROVIDE ADEQUATE PROTECTION FOR ALL SURFACES, FINISHES, ETC. WHICH ARE NOT SCHEDULED FOR DEMOLITION.
- NO DEMOLITION SHALL BE DONE IN ANY MANNER WHICH MIGHT CREATE A HAZARD TO ANY PERSON OR STRUCTURALLY WEAKEN ANY PORTION OF THIS PROPERTY. ALL STRUCTURAL WORK IS TO BE ADEQUATELY SUPPORTED AT ALL TIMES DURING CONSTRUCTION.
- ALL DEMOLITION SHALL BE EXECUTED IN AN ORDERLY AND CAREFUL MANNER WITH DUE CONSIDERATION FOR NEIGHBORING BUILDINGS AND THE PUBLIC.
- THE CONTRACTOR IS TO USE RUBBER WHEELED CARTS IN REMOVING DEBRIS AND TRASH FROM SPACE. UNDER NO CIRCUMSTANCES SHALL METAL WHEELED CARTS BE ALLOWED. ALL DOORS ARE TO BE PROTECTED WITH PAPER AND CARDBOARD.
- ALL UNUSED ELECTRICAL WIRING/CONDUIT/CABLING (INCLUDING TELEPHONE) SHALL BE REMOVED BACK TO THE SOURCE OF CONNECTION.
- ALL PIPES PLUMBING, ETC. WHICH ARE OR WILL BE ABANDONED SHALL BE REMOVED BACK TO THE SOURCE OF CONNECTION. GC TO CONFIRM ABANDONED SERVICES.
- ALL MECHANICAL EQUIPMENT, DUCT WORK ETC. WHICH IS OR WILL BE ABANDONED SHALL BE REMOVED BACK TO THE SOURCE OF THE CONNECTION. ALL EQUIPMENT TO BE REMOVED.
- INTERIOR PARTITIONS SHALL BE REMOVED SHOWN DASHED, TYP. INCLUDING ALL UNUSED PLUMBING LINES, ELECTRICAL WIRING & FIXTURES.
- ALL EXTERIOR WINDOWS REMOVED AND REPLACED IN EXISTING OPENINGS UNLESS NOTED OTHERWISE (SEE SCHEDULE)



APPROVAL STAMP

Corrections 1 3/14/2023
Resubmit 7/28/2023

ARCHITECT
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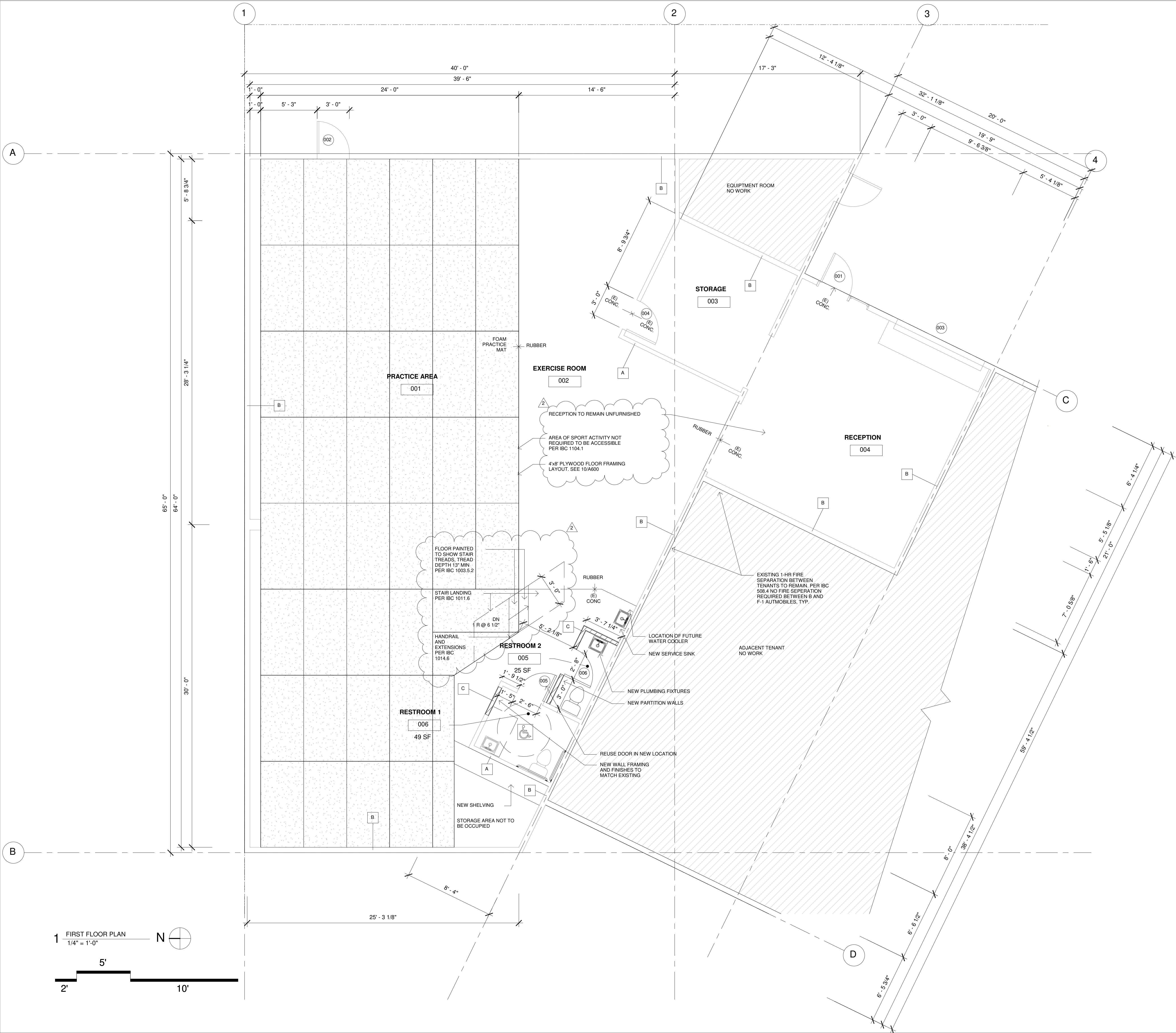
PROJECT
2217 M TRICKING

TITLE SHEET
DEMO PLAN

D100

ISSUE
PERMIT

DATE
JULY 28, 2023



SYMBOLS LEGEND

- EXISTING WALL TO REMAIN
- WALLS TO BE DEMOLISHED
- NEW WALL CONSTRUCTION (SEE SHT A600)
- PARTITION TYPE
- WINDOW KEY
- DOOR KEY

GENERAL NOTES

- CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE AND REPORT AND DISCREPANCIES TO ARCHITECT PRIOR TO COMMENCING PROJECT.
- CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ALL SURFACES AFFECTED BY DEMOLITION PRIOR TO INSTALLATION OF NEW CONSTRUCTION FINISHES.
- CONTRACTOR TO PROVIDE TEMPORARY SHORING AS REQUIRED TO SUPPORT EXISTING BUILDING WHERE EXISTING WALLS ARE REMOVED. DO NOT REMOVE SHORING UNTIL ALL NEW STRUCTURE IS INSTALLED AND COMPLETE.
- SOME CRACKING OF EXISTING FINISHES MAY OCCUR DUE TO REMOVAL OF EXISTING WALLS DUE TO RE-DISTRIBUTION OF LOADS. CONTRACTOR TO PATCH, FINISH, AND MAKE GOOD.
- EGRESS DOORS MUST BE OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.
- CONSTRUCTION TO CONFORM TO INTERNATIONAL EXISTING BUILDING CODE PRESCRIPTIVE PERFORMANCE COMPLIANCE METHOD.
- EXISTING ELECTRIC HEATING TO REMAIN.



APPROVAL STAMP

Corrections 1 3/14/2023
Resubmit 7/28/2023

ARCHITECT
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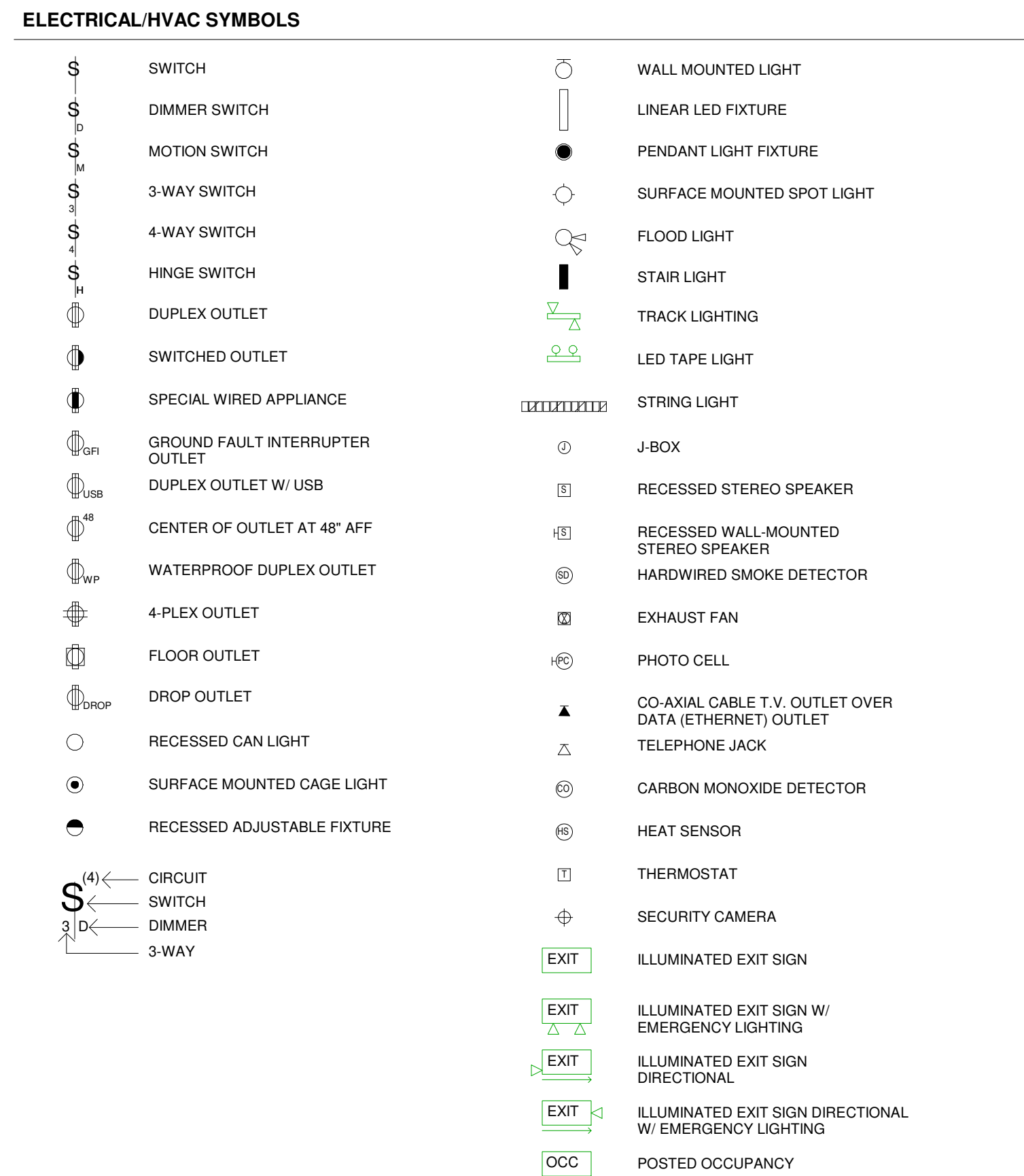
PROJECT
2217 M TRICKING

TITLE SHEET
FLOOR PLAN

A100

ISSUE
PERMIT

DATE
JULY 28, 2023

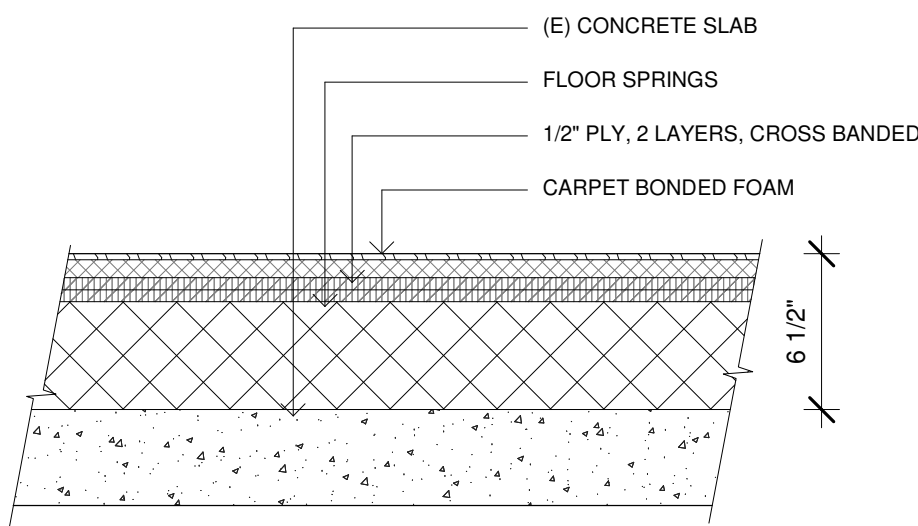


1. ALL ELECTRICAL WORK TO CONFORM WITH CURRENT EDITIONS OF N.E.C. AND I.B.C.
2. SWITCHES TO BE LOCATED AT 48" A.F.F. UNLESS NOTED OTHERWISE.
3. ALL OUTLETS TO BE LOCATED AT 12" A.F.F. UNLESS OTHERWISE NOTED.
4. VERIFY ALL FIXTURE AND OUTLET ROUTING WITH ARCHITECT/OWNER PRIOR TO WIRING.
5. ELECTRICIAN TO PROVIDE ALL WIRING, ACCESSORIES AND TRANSFORMERS AS REQUIRED FOR A COMPLETE AND OPERATIONAL INSTALLATION.
6. CEILING HEIGHT OF ALL AREAS ARE 8'0" MAXIMUM, AND SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO START. ALL ELECTRICAL WIRING, I.C. AND LIGHT FIXTURE CANS AS REQUIRED AT INSULATED CEILINGS.
7. VERIFY ALL FIXTURE ROUGH-INS AND REVIEW LAYOUT AND LOCATIONS WITH ARCHITECT / OWNER FOR FINAL APPROVAL PRIOR TO WIRING.
8. ALL OUTLETS IN WET OR DAMP LOCATIONS TO BE GFI PROTECTED.

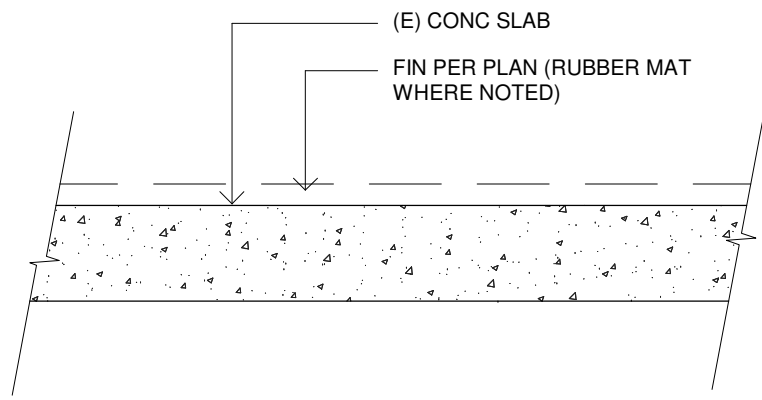


JULY 28, 2023

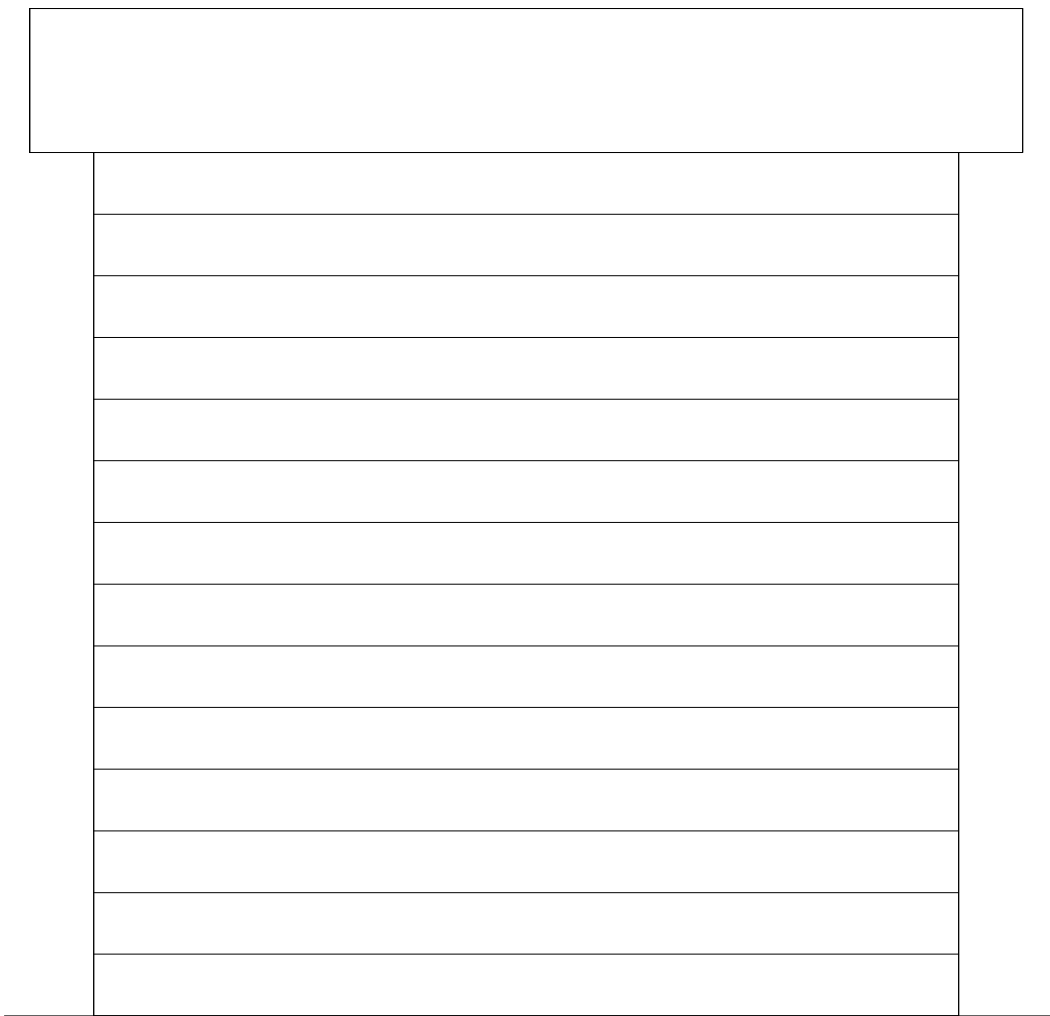
9 FLOOR DETAIL - PRACTICE FLOOR NEW
1 1/2" = 1'-0"



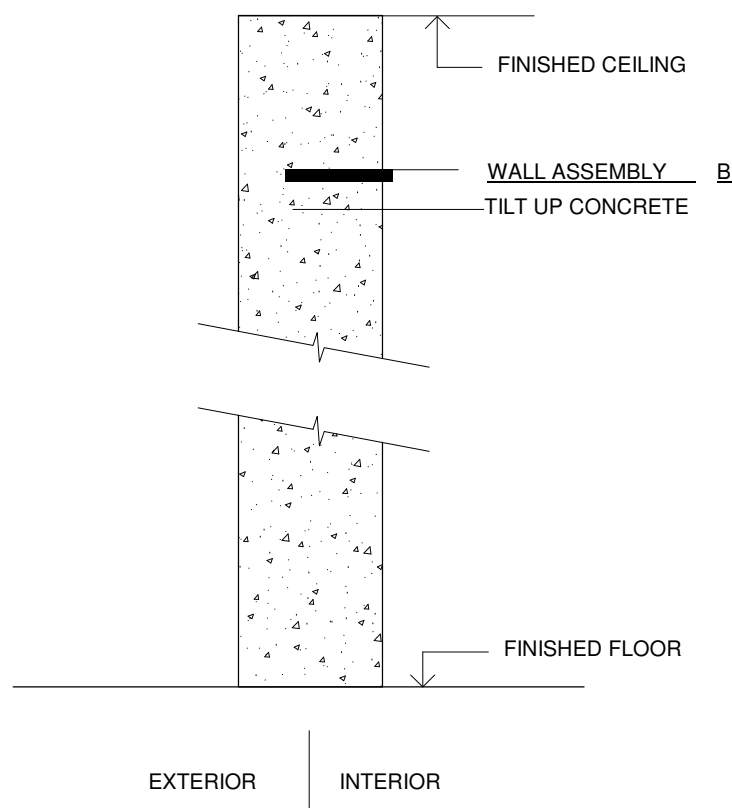
8 FLOOR TYPE A - EXISTING
1 1/2" = 1'-0"



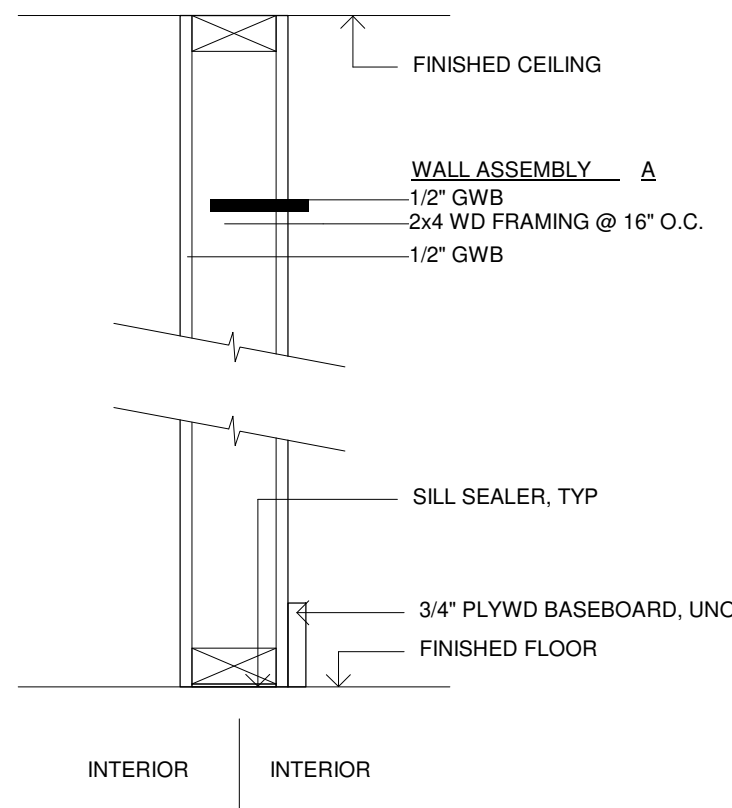
7 WALL TYPE C - NEW INTERIOR PARTITIONS
1 1/2" = 1'-0"



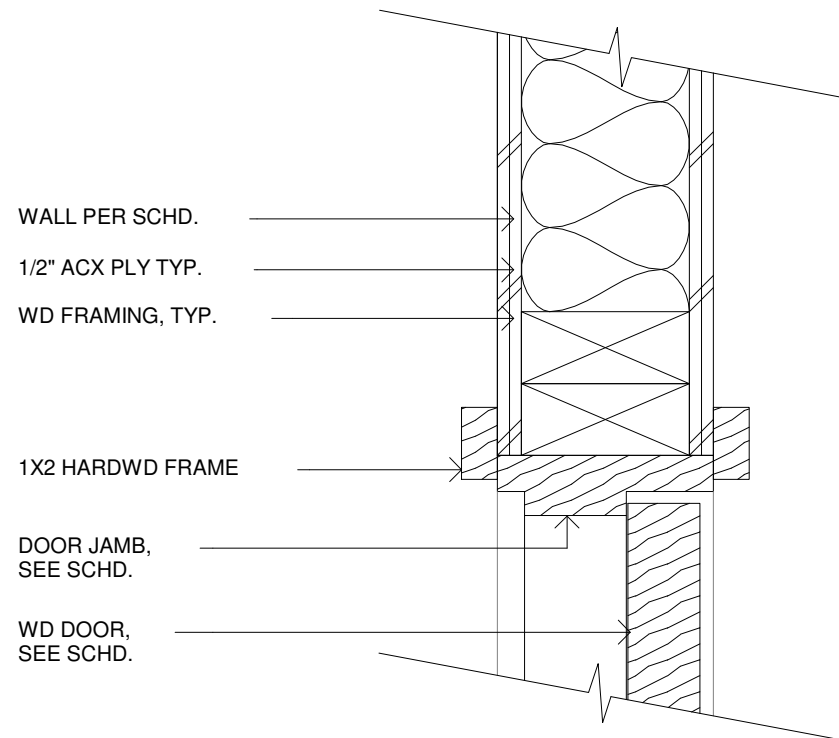
6 WALL TYPE B - EXISTING STRUCTURAL WALL
1 1/2" = 1'-0"



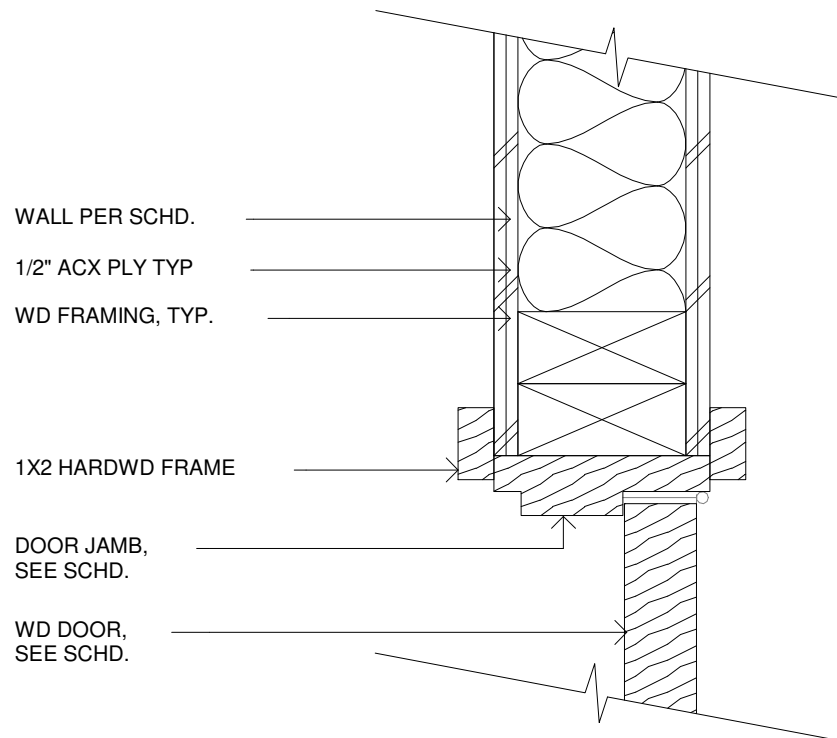
5 WALL TYPE A - EXISTING PARTITIONS
1 1/2" = 1'-0"



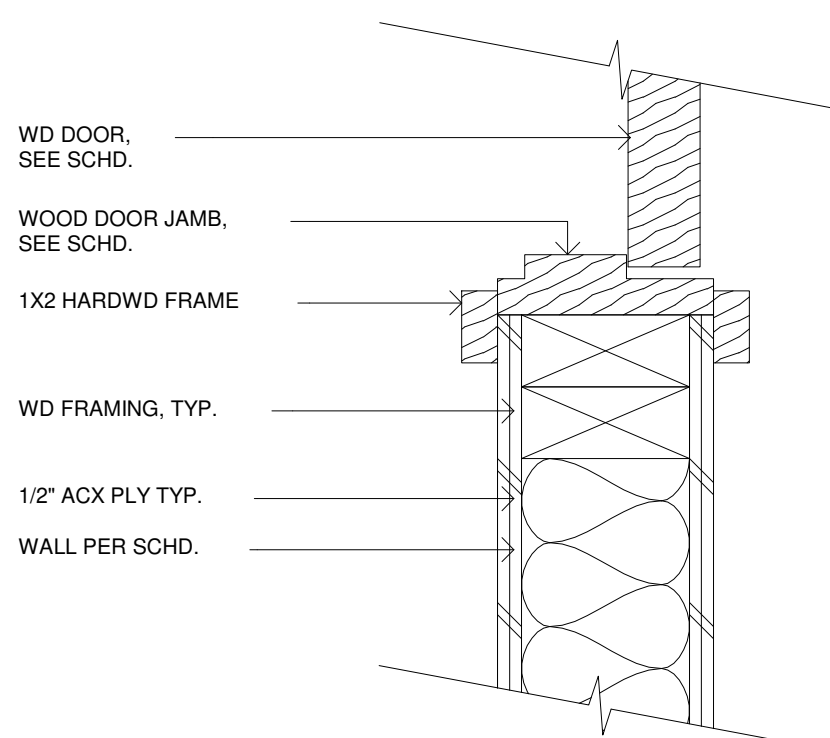
13 HEAD DTL @ INT DOOR
3" = 1'-0"



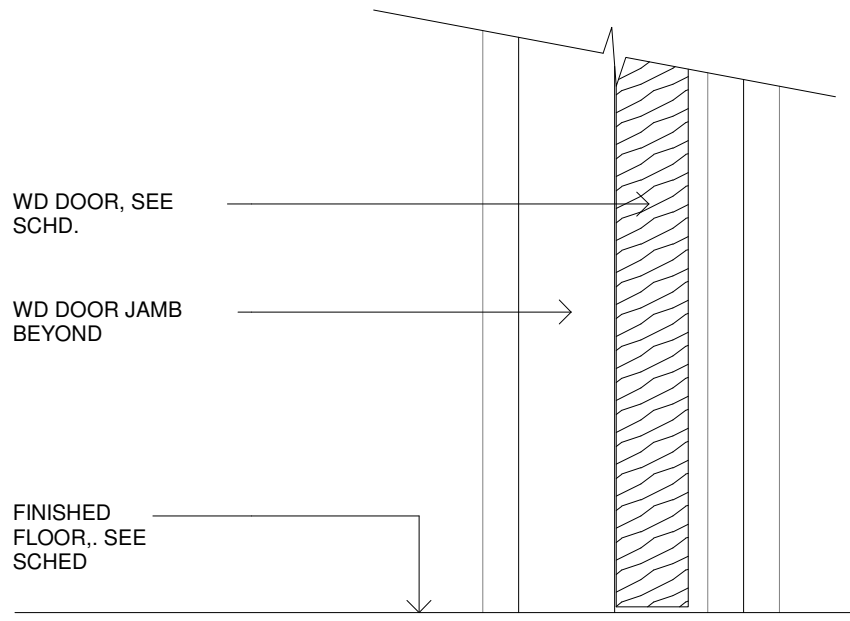
12 JAMB HINGE DTL @ INT DOOR
3" = 1'-0"



11 JAMB DTL @ INT DOOR
3" = 1'-0"



10 THRESHOLD DETAIL @ INT DOOR
3" = 1'-0"



GLAZING

SAFETY GLAZING IS REQUIRED IN THE FOLLOWING LOCATIONS:

A. GLAZING IN EGRESS AND INGRESS DOORS
B. GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS.
C. GLAZING IN UNFRAMED SWINGING DOORS.
D. GLAZING IN DOORS AND ENCLOSURES FOR SHOWERS, GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE DRAIN INLET.
E. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 8 SQ. FT.
EXPOSED BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.
EXPOSED TOP EDGE GREATER THAT 36 INCHES ABOVE THE FLOOR.
F. GLAZING IN RAILINGS REGARDLESS OF HEIGHT ABOVE THE WALKING SURFACE.
G. ADD ANTI GRAFFITI FILM TO ALL WINDOWS BELOW 10 FEET.

ABBREVIATIONS

ALUM - ALUMINUM
MTL - STEEL
H.M. - HOLLOW METAL
F.M. - FIELD MEASURE
R.O. - ROUGH OPENING
S.C. - SOLID CORE
WD - WOOD
LEVER TYPES:
A) REGULAR
B) EDGE PULL
C) PULL
HINGE TYPES:
A) BUTT
B) SLIDER
C) CONCEALED
D) PIVOT

MISC HARDWARE:
A) PRIVACY LOCK
B) PASSAGE
C) DEADBOLT LOCK
D) FLOOR STOP
E) WALL STOP
F) CLOSER
G) ROLLER CATCH
H) ENTRY
J) PANIC HARDWARE
K) SLIDE BOLT

GENERAL DOOR NOTES

1. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
2. ALL DIMENSIONS TO BE VERIFIED IN FIELD WITH ARCHITECT PRIOR TO FABRICATION. SUBMIT SHOP DRAWINGS (3 COPIES) FOR APPROVAL. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY.
3. ALL DOORS TO BE SANDED SMOOTH AND FINISHED W/ (1) COAT PRIMERS AND (2) COATS OF FINISH. SAND BETWEEN COATS AS REQUIRED. VERIFY ALL FINISH SPECIFICATIONS W/ ARCHITECT PRIOR TO FABRICATION. SUBMIT ACTUAL FINISH SAMPLE FOR APPROVAL.
4. MAXIMUM CLEARANCE 1/8" AT EACH SIDE AND AT TOP OF DOOR, 1/4" AT BOTTOM (VERIFY W/ HARDWARE MANUFACTURER).
5. SEE BOTH FLOOR PLANS AND ELEVATIONS FOR DOOR SWINGS. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO FABRICATION OF DOORS.
6. DOOR SIZES INDICATE DOOR DIMENSION, NOT ROUGH OPENINGS.
7. ALL DOORS ADA COMPLIANT UNLESS NOTED OTHERWISE.
8. ALL DOOR ELEVATIONS REPRESENT EXTERIOR.
9. ALL GLASS TO BE AS SPECIFIED, SECURELY FASTENED AND CLEANED.

DOOR SHALL REMAIN UNLOCKED DURING BUSINESS HOURS.

1 DOOR SCHEDULE

| DOOR SCHEDULE | | | | | | | | |
|---------------|-----|--------------------|------|-------------|-------------|----------|-------------------------------|-------------|
| DOOR NUMBER | # | LOCATION ROOM NAME | TYPE | WIDTH | SIZE HEIGHT | LOCATION | EXISTING/NEW | NOTES |
| 001 | 004 | RECEPTION | A | 3' - 0" | 6' - 8" | EXTERIOR | EXISTING TO REMAIN | EGRESS DOOR |
| 002 | 001 | PRACTICE AREA | B | 3' - 0" | 7' - 0" | EXTERIOR | EXISTING TO REMAIN | |
| 003 | 004 | RECEPTION | C | 9' - 0 1/4" | 9' - 0" | EXTERIOR | EXISTING TO REMAIN | |
| 004 | 003 | STORAGE | B | 3' - 0" | 7' - 0" | INTERIOR | EXISTING TO REMAIN | |
| 005 | 006 | RESTROOM 1 | B | 2' - 8" | 7' - 0" | INTERIOR | EXISTING DOOR IN NEW LOACTION | |
| 006 | 005 | RESTROOM 2 | B | 2' - 8" | 7' - 0" | INTERIOR | NEW | |

Corrections 1
Resubmit

3/14/2023
7/28/2023

ARCHITECT
babienko ARCHITECTS plc

PROJECT
2217 M TRICKING

TITLE SHEET
DETAILS + SCHEDULES

ISSUE
PERMIT

DATE
JULY 28, 2023

A600