



# **REGINA PLANNING COMMISSION**

**Wednesday, September 26, 2012  
4:00 PM**

**Henry Baker Hall, Main Floor, City Hall**



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## Office of the City Clerk

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### Public Agenda Regina Planning Commission Wednesday, September 26, 2012

#### Approval of Public Agenda

**Minutes of the meeting held on September 13, 2012.**

#### Administration Reports

- RPC12-73    **RPC12-73** Heritage Alteration Permit: Proposed Alterations, Demolition and Addition to a Municipal Heritage Property at 1820 Cornwall Street (Royal Canadian Legion Memorial Hall - Branch No. 1). Application of Mitchell and Associates Properties Ltd.

#### Recommendation

That City Council APPROVE the issuance of a Heritage Alteration Permit for the Royal Canadian Legion Memorial Hall, a Municipal Heritage Property, located at 1820 Cornwall Street, subject to the following conditions:

- The alterations shall be in accordance with plans prepared by Kreate Architecture and Design Ltd. dated August 16, 2012 and attached to this report as Appendix 3 and 3.1.
- The alterations shall meet all requirements of *Regina Zoning Bylaw No. 9250*.
- The applicant shall further refine the cladding materials and detail for the parking facility at the rear elevation for review and approval by the Development Officer.
- The applicant shall submit final plans in accordance with the plans identified above.

- RPC12-74    **RPC12-74** Discretionary Use Application (12-DU-21) Proposed Planned Group of Dwellings, Hawkstone Village, Hawkstone Subdivision

#### Recommendation

1. That the discretionary use application for a proposed planned group of townhouse dwellings located within the Hawkstone concept plan area, being Parcel V, NE ¼ 1-18-20 W2M, at Rochdale Boulevard and Elgaard Drive, be APPROVED subject to the following conditions:
  - a. The development shall be consistent with the attached site plan and elevations dated June 12, 2012 in Appendix 3;
  - b. That pursuant to Section 18D.1.1 of the Zoning Bylaw, City Council waive the requirement to post a public notification sign on the subject lands, due to their remote location and the current unavailability of direct public access; and



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- c. The development shall comply with all applicable standards and regulations in Regina Zoning Bylaw No. 9250.
2. That this report be forwarded to the October 9, 2012 meeting of City Council.

RPC12-75    **RPC12-75** Application for Discretionary Use Approval (12-DU-23) - Proposed Restaurant 1757 Halifax Street, Old 33

### **Recommendation**

1. That the discretionary use application for a proposed restaurant located at 1757 Halifax Street, being Lot 41 in Block 290, Plan No. 101160481, be APPROVED, subject to the following conditions:
  - a. The development be consistent with the attached plan labelled "restaurant plan" in Appendix 3; and
  - b. The development shall comply with all applicable standards and regulations in Regina Zoning Bylaw No. 9250.
2. That this report be forwarded to the October 9, 2012 meeting of City Council.

RPC12-76    **RPC12-76** Application for Street Closure (12-CL-6) - Portion of Rose Street Adjacent to 'Gardens on Rose' Building, 2055 Rose Street

### **Recommendation**

1. That the application to permanently close the portion of Rose Street adjacent to 2055 Rose Street and described as "all that portion of Rose Street, Registered Plan No. Old 33, shown on the Plan of Proposed Subdivision by P. Shrivastava, S.L.S. and dated July 12, 2012" be APPROVED; and
2. That this report be forwarded to the October 9, 2012 meeting of City Council.

RPC12-77    **RPC12-77** Applications for Official Community Plan Amendment and Contract Zone Approval (12-CZ-6) - Proposed Mixed-Use Building 2100 15<sup>th</sup> Avenue, and 2276, 2260, 2256 Scarth Street

### **Recommendation**

1. That Part F-Transitional Area Development Plan of *Regina Development Plan Bylaw No. 7877* (Official Community Plan) be amended by adding the following to Section 5.0 Exceptions after e):



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f)		2100 15 <sup>th</sup> Avenue, 2276, 2260, and 2256 Scarth Street	Lots 11, 12, 13 Block 429, Plan No. Old 33; Lots 21 and 22, Block 429, Plan No. 101187558	Mixed Use Building
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2. That subject to Ministerial Approval of the related Official Community Plan amendment, the application to amend *Regina Zoning Bylaw No. 9250* by rezoning the properties described as
  - (a) Lots 11, 12, 13 Block 429, Plan No. Old 33; located at 2100 15<sup>th</sup> Avenue, and 2276, 2260 Scarth Street ; and
  - (b) Lots 21 and 22, Block 429, Plan No. 101187558, located at 2256 Scarth Street.from TAR (H15 – Transitional Area Residential (Height Overlay 15m) to C - Contract, be APPROVED and that the contract zone agreement between the City of Regina and the applicant/owner of the subject properties be executed.
3. That further to recommendation 2, the proposed contract zone agreement shall include the following terms:
  - (a) Development of the proposed mixed-use building on the subject property shall be consistent with the attached plans and drawings labelled Appendix A-3.1--A-3.3.2, inclusive and prepared by JMA Architecture Ltd.
  - (b) The range of permitted and discretionary uses in main floor commercial space shall be consistent with the MX zone in Table 5.2 of Regina Zoning Bylaw No. 9250 with the following exceptions:
    - i) Restaurant and Licensed Restaurant, Personal Service, Confectionary Store, Retail, and Recreational Service Facility uses shall be permitted on the main level;
    - ii) Apartment Dwelling units shall be permitted in the main floor commercial space as accessory to a permitted or discretionary commercial use with the intention of accommodating live/work spaces.
  - (c) A detailed landscape plan for the subject property shall be submitted for approval to the Development Officer, prior to the issuance of a building permit. Any new planting or replacement of existing street trees adjacent to the subject properties shall be undertaken in accordance with The Forestry Bylaw, 2002 (Bylaw No. 2002-48, as amended). The applicant shall attempt to retain as many existing street trees as possible and where tree retention is not possible shall install new mature trees of calipers and sizes specified by Urban Forestry.



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- (d) The erection or placement of commercial signs on the property located at 1550 14th Avenue shall comply with the provisions applicable to the MX - Mixed Residential Business Zone under Chapter 16 of the Zoning Bylaw.
  - (e) Any zoning-related detail not specifically addressed in the contract zone agreement shall be subject to the applicable provisions of the Zoning Bylaw.
  - (f) The approval to initiate the proposed development shall be valid for a period of two years from the date of City Council's passage of the Zoning Bylaw amendment that authorizes the contract zone agreement.
  - (g) The contract zone agreement shall be registered in the City's interest, against the titles to all of the subject properties and at the applicant's cost, pursuant to Section 69 of The Planning and Development Act, 2007.
4. That the City Solicitor be directed to prepare the necessary bylaw to authorize the rezoning of the subject properties and the execution of the contract zone agreement, as described above.
  5. That this report be forwarded to the October 9, 2012 meeting of City Council, which will allow sufficient time to advertise the required public notice for the subject Development Plan and Zoning Bylaw amendments.

RPC12-78

**RPC12-78** Removal of Items from the Regina Planning Commission Referral List

### **Recommendation**

1. That item RPC09-19 be removed from the List of Outstanding Items for Regina Planning Commission;
2. That item RPC10-5 be removed from the List of Outstanding Items for Regina Planning Commission;
3. That item RPC11-64 be removed from the List of Outstanding Items for Regina Planning Commission;
4. That item RPC12-40 be removed from the List of Outstanding Items for Regina Planning Commission; and
5. That item CM11-7 be removed from the List of Outstanding Items for Regina Planning Commission.

**Adjournment**

AT REGINA, SASKATCHEWAN, THURSDAY, SEPTEMBER 13, 2012

AT A MEETING OF THE REGINA PLANNING COMMISSION  
HELD IN PUBLIC SESSION

AT 4:00 PM

Present: Councillor Michael Fougere, in the Chair  
Councillor Mike O Donnell  
David Edwards  
Phil Evans  
Dallard Legault  
Mark McKee  
Ron Okumura  
Phil Selenski  
Sherry Wolf

Regrets: Councillor Chris Szarka and Laureen Snook

Also in Attendance: Committee Assistant, Elaine Gohlke  
Solicitor, Cheryl Willoughby  
Deputy City Manager, Community Planning & Development, Jason Carlston  
Director of Development Engineering, Kelly Wyatt  
Director of Planning & Sustainability, Diana Hawryluk  
Manager of Development Review, Fred Searle  
Senior City Planner, Ben Mario  
Senior Engineer, Jeffrey Holland  
Senior Engineer, Scott Thomas

APPROVAL OF PUBLIC AGENDA

**Phil Evans moved, AND IT WAS RESOLVED, that the agenda for this meeting be approved, as submitted.**

ADOPTION OF MINUTES.

**David Edwards moved, AND IT WAS RESOLVED, that the minutes of the meeting held on September 5, 2012 be adopted.**

ADMINISTRATION REPORTS

RPC12-68 Applications for Zoning Bylaw Amendment and Discretionary Use Approval (11-Z-17/ 12-DU-5) - Phase 2B of Hawkstone Subdivision and Planned Group of Dwellings on Proposed Parcel Z, Hawkstone Subdivision

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Recommendation

1. That the application to amend *Regina Zoning Bylaw No. 9250* pertaining to lands within phase 2 of the Hawkstone subdivision in the Northwest Sector as shown in Appendix A-1, be APPROVED as follows:

- a. Proposed Parcel Z to be rezoned from UH-Urban Holding to R5-Residential Medium Density; and
  - b. Proposed MR1 to be rezoned from UH-Urban Holding to PS-Public Service.
2. That the discretionary use application for a proposed planned group of dwellings located at Parcel Z in Phase 2 of the Hawkstone Subdivision be APPROVED subject to the following conditions:
    - a. The development shall be consistent with the site plan and elevations in Appendices A-3.1-3.2.3 attached to this report.
    - b. That pursuant to Section 18D.1.1 of the Zoning Bylaw, City Council waive the requirement to post a public notification sign on the subject lands, due to their remote location and the current unavailability of direct public access;
    - c. The development shall comply with all applicable standards and regulations in Regina Zoning Bylaw No. 9250.
  3. That the City Solicitor be directed to prepare the necessary amendment to *Regina Zoning Bylaw 9250*; and
  4. That this report be forwarded to the October 9, 2012 City Council meeting to allow for sufficient time for the required public advertising of the proposed bylaw.

The following addressed the Commission:

- Randy Pekar and Tim Hubbard, representing Pekarbilt Homes & Commercial; and
- Kevin Reese, representing Hawkstone Developments.

**Mark McKee moved, AND IT WAS RESOLVED, that the recommendation contained in the report be concurred in.**

RPC12-69      Application for Zoning Bylaw and Concept Plan Amendment (12-Z-18/12-CP-7) - Hawkstone Phase 3, Hawkstone Subdivision

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**Recommendation**

1. That the application to amend the Hawkstone Concept Plan, as depicted on the attached Revised Concept Plan in Appendix 3.2 be APPROVED;
2. That the application to rezone the lands (Part of NE  $\frac{1}{4}$  1-18-20 W2M) as shown on the shaded portion of the attached plan of proposed subdivision be APPROVED as follows:
  - a. All lots in Blocks N, M, G and lots 1-28 in Block H be rezoned from UH – Urban Holding to R2 – Residential Semi-detached;

- b. Parcels R and S be rezoned from UH to R5 – Medium Density Residential;
  - c. Parcels T, W and Y to be rezoned from UH to R6 – Residential Multiple Housing;
  - d. All lots in Blocks C, J, D, K, L, and lots 29-51 in Block H be rezoned from UH to DCD12-Suburban Narrow-Lot Residential; and
  - e. Parcel MR2 be rezoned from UH to PS- Public Service;
- 3. That pursuant to Section 18D.1.1 of the Zoning Bylaw, City Council waive the requirement to post a public notification sign on the subject lands, due to their remote location and the current unavailability of direct public access;
  - 4. That the City Solicitor be directed to prepare the necessary bylaw; and
  - 5. That this report be forwarded to the October 9, 2012 City Council meeting to allow for sufficient time for the required public advertising of the proposed bylaw.

Kevin Reese, representing Hawstone Developments, addressed the Commission.

(Phil Evans temporarily left the meeting.)

**Phil Selenski moved that the recommendation contained in the report be concurred in.**

(Phil Evans returned to the meeting.)

**The motion was put and declared CARRIED.**

RPC12-70      Applications for Concept Plan and Zoning Bylaw Amendments (12-CP-9; 12-Z-19) and Proposed Road Closure (12-CL-5) - Balance of The Creeks Concept Plan Area

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**Recommendation**

- 1. That the proposed amendment to The Creeks Concept Plan, as depicted on Figure 1 and revised on August 16, 2012 (Appendix 3-1 to this report) be APPROVED.
- 2. That the application to amend *Regina Zoning Bylaw No. 9250* by rezoning the lands as depicted on the plan of proposed zoning (Appendix 3-2), from UH - Urban Holding and FW - Floodway to R1 - Residential Detached and FW - Floodway, be APPROVED.
- 3. That the application for closure and sale of the road allowance as depicted on the attached plan of proposed road closure (Appendix 3-3) be APPROVED.

4. That the City Solicitor be directed to prepare the required Zoning Bylaw amendment and the bylaw to authorize closure and sale of the aforementioned road allowance.
5. That this report be forwarded to the October 9, 2012 meeting of City Council to allow sufficient time for advertising of the required public notices for the subject concept plan and Zoning Bylaw amendments and for the proposed road closure.

Kevin Reese, representing The Creeks, addressed the Commission.

**Phil Evans moved, AND IT WAS RESOLVED, that the recommendation contained in the report be concurred in.**

RPC12-71      Rezoning and Discretionary use Application (12-Z-20/12-DU-24) -  
Proposed Fourplex -4000 3rd Avenue, Windsor Place Subdivision

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**Recommendation**

1. That the application to rezone 4000 3<sup>rd</sup> Avenue, being Lot 8 in Block 5, Plan No. FD 100, as shown on the attached Subject Property Map, from R3 – Residential Older Neighbourhood to R4A – Residential Infill Housing, be APPROVED;
2. That subject to approval of the proposed rezoning, the discretionary use application for a proposed fourplex located at 4000 3<sup>rd</sup> Avenue, be APPROVED, subject to the following conditions:
  - a. The development be consistent with the attached site plan, floor plans and elevations in Appendix 3;
  - b. The applicant shall submit a detailed landscape plan for review;
  - c. The applicant shall provide screening of the parking stalls along 3<sup>rd</sup> Avenue as shown on the attached site plan; and
  - d. The development shall comply with all applicable standards and regulations in *Regina Zoning Bylaw No. 9250*.
3. That the City Solicitor be directed to prepare the necessary amendment to *Regina Zoning Bylaw 9250*; and
4. That this report be forwarded to the October 9, 2012 City Council meeting to allow for sufficient time for the required public advertising of the proposed bylaw.

Bill Harrold addressed the Commission.

**Mark McKee moved that the recommendation contained in the report be concurred in.**

**Phil Selenski moved, in amendment, AND IT WAS RESOLVED, that a recommendation #5 be added to read as follows:**

5. That Administration work with the Legal Department to explore options for architectural controls and provide a report to the Regina Planning Commission in the first quarter of 2013.

**David Edwards moved, in amendment, AND IT WAS RESOLVED, that recommendation #2a. be amended by removing the words “and elevations” so it reads as follows:**

- 2a. The development be consistent with the attached site plan and floor plans in Appendix 3;

**The main motion was put and declared CARRIED.**

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RPC12-72 Applications for Official Community Plan Amendment and Contract Zone Approval (12-CZ-6) Proposed Mixed-Use Building

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**Recommendation**

That the proposed amendments to *Development Plan Bylaw No. 7877* and *Regina Zoning Bylaw No. 9250* as shown in Appendix E be DENIED.

Carmen Lien and John McGinn, representing Link Developments, addressed the Commission.

**Dallard Legault moved that the recommendation be concurred in.**

**Dallard Legault withdrew his motion of concurrence.**

**Phil Selenski moved that this report be received and filed.**

**Phil Selenski withdrew his motion of receive and file.**

**David Edwards moved, AND IT WAS RESOLVED, that this report be referred to the Administration to work with the applicant on a revised development of the subject site and provide a report to the September 26 Regina Planning Commission meeting that considers direction provided by the Commission, including alternate building setbacks.**

**ADJOURNMENT**

**Councillor O'Donnell moved, AND IT WAS RESOLVED, that the meeting adjourn.**

The meeting adjourned at 5:52 p.m.

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Chairperson

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Secretary

September 26, 2012

To: Members,  
Regina Planning Commission

Re: Heritage Alteration Permit: Proposed Alterations, Demolition and Addition to a Municipal Heritage Property at 1820 Cornwall Street (Royal Canadian Legion Memorial Hall - Branch No. 1). Application of Mitchell and Associates Properties Ltd.

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**RECOMMENDATION OF THE MUNICIPAL HERITAGE ADVISORY COMMITTEE  
- SEPTEMBER 10, 2012**

**RECOMMENDATION**

1. That City Council APPROVE the issuance of a Heritage Alteration Permit for the Royal Canadian Legion Memorial Hall, a Municipal Heritage Property, located at 1820 Cornwall Street, subject to the following conditions:
  - The alterations shall be in accordance with plans prepared by Kreate Architecture and Design Ltd. dated August 16, 2012 and attached to this report as Appendix 3 and 3.1.
  - The alterations shall meet all requirements of *Regina Zoning Bylaw No. 9250*.
  - The applicant shall further refine the cladding materials and detail for the parking facility at the rear elevation for review and approval by the Development Officer.
  - The applicant shall submit final plans in accordance with the plans identified above.
2. That this report be forwarded to the October 9, 2012 City Council meeting for approval.

***MUNICIPAL HERITAGE ADVISORY COMMITTEE – SEPTEMBER 10, 2012***

The Committee adopted a resolution to concur in the recommendation contained in the report.

Donald Black, May P Chan, Bianca Currie Poirer, Ken Lozinsky, Ray Plosker, David McLennan, Joseph Ralko, Ingrid Thiessen and Robert Truszkowski were present during consideration of this report by the Municipal Heritage Advisory Committee.

The Municipal Heritage Advisory Committee, at its meeting held on September 10, 2012, considered the following report from the Administration:

**RECOMMENDATION**

1. That City Council APPROVE the issuance of a Heritage Alteration Permit for the Royal Canadian Legion Memorial Hall, a Municipal Heritage Property, located at 1820 Cornwall Street, subject to the following conditions:
  - The alterations shall be in accordance with plans prepared by Kreate Architecture and Design Ltd. dated August 16, 2012 and attached to this report as Appendix 3 and 3.1.
  - The alterations shall meet all requirements of *Regina Zoning Bylaw No. 9250*.

- The applicant shall further refine the cladding materials and detail for the parking facility at the rear elevation for review and approval by the Development Officer.
- The applicant shall submit final plans in accordance with the plans identified above.

## CONCLUSION

The proposal will rehabilitate the remaining portion of a significant heritage building on Cornwall Street and conserve the character of the building in a sympathetic manner and is supported by the Administration. Furthermore, the overall site development complies with the standards and regulations that apply to the property under *Regina Zoning Bylaw No. 9250*.

## BACKGROUND

The purpose of this report is to describe the details of the Heritage Alteration Permit for the partial rehabilitation and demolition of a designated Municipal Heritage Property located at 1820 Cornwall Street. The Heritage Alteration Permit application was received on August 21, 2012.

The request is being considered pursuant to City of Regina Bylaw No. 9383, by which the Royal Canadian Legion Memorial Hall was designated as Municipal Heritage Property. Although the entire property is subject to the designation, the bylaw is intended to apply to the most important elements of the building. The Statement of Significance provided in Appendix A contains a list of these “Character-Defining Elements.” Typically, the list of Character-Defining Elements is not meant to be exhaustive. It is used to illustrate, by way of example, those elements that embody the property’s heritage value.

## DISCUSSION

### Site History

This historically important building was built between the years 1947 and 1951 and was designated by City Council as a Municipal Heritage Property in 1992. Please see the Statement of Significance in Appendix A for more information.

### Proposed Alterations

The proposal includes demolishing all but the basement and foundation walls of the westerly portion of the building. The demolition is proposed in order to accommodate the addition of a parking facility on the existing foundation. The remaining easterly portion of the building would be rehabilitated. The Royal Canadian Legion Regina (Saskatchewan No. 1) Branch would continue to operate a Licensed Club in the remaining portion of the building.

An open air parking facility on two levels, partially below grade, would be developed on the existing basement and foundation walls. It is intended that the parking facility be entirely separated from the occupied easterly areas. The parking facility would contain 54 parking stalls that support adjacent office buildings in the immediate vicinity of the site.

The application proposes the following key exterior alterations:

1. Demolishing all but the basement and foundation walls of the most west 26 metres (85 feet) in order to accommodate a new two-storey, partially below grade, open air parking facility.

2. Construction of new entrances on the north and south elevations of the remaining portion of the building in order to provide the access points to the basement level that would be lost through the development of the parking facility.
3. The remaining portion of the building will be separated from the parking facility by a fire rated separation, and there will not be any direct interior access.
4. Rehabilitation of the building to a depth of 10.5 metres (34.5 feet) as described below:
  - Rehabilitation of the roof through the replacement of existing materials.
  - Preservation of the masonry by re-pointing walls, repairing face and back wall veneer, replacing face brick with salvaged masonry units, and repairing concrete sills.
  - Doors to be rehabilitated through the replacement of wood door and frame with new aluminum/steel style door complete with glazing to match original.
  - Wood windows to be rehabilitated except where wood frames are in poor condition. In select cases, new wood frames using existing glazing units will be built to match existing.
  - Stairways for exterior access rehabilitated with salvaged tyndall stone.
  - Exterior elements will be rehabilitated by removing existing light posts for repair and reinstallation, replacing existing grade mounted flagpoles with compatible new flagpoles, removing loose shrubbery immediately adjacent to the building, and replacing wall mounted building lighting systems to suit revised side yards.
  - Interior entrance stairs will be preserved through the retention and repair, where necessary, of existing terrazzo flooring, baseboards, risers, handrail, wall finish, and ceiling finish. Wall mounted lighting and mechanical systems will be replaced.
  - Peace Tower Foyer will be preserved through the retention and repair, where necessary, of existing terrazzo flooring, baseboards, and wall finish. Protective measures for the murals will be implemented during renovation complete with coverage and air seal for the duration of rehabilitation measures. Salvaged door frames and door will be used in refurbishing existing units and installing new doors within renovation areas.
  - Preservation of display rooms at north and south entries through the retention and refinish of baseboard, wall finish, wall moldings, lighting and steel gates.

Analysis:

The proposed rehabilitation work is in compliance with the *Standards and Guidelines for the Conservation of Historic Places* except for:

- Compatibility of the design for the new parking facility.
- Re-use of the existing Lancaster Entrance.
- Replacement of the existing door at the main entrance.
- Conservation of the gates in the display rooms.
- Compatibility of the mortar mix.

While the parking facility addition is two storeys, partially below grade, it is on the rear of the property. It does not have an adverse effect on the horizontally-oriented composition of the remaining building as the addition is lower than the height of the remaining portion of the building. It is not easily seen from the public right-of-way on Cornwall Street. However, the exterior design of the parking facility does not comply with principles 4.3.1 (14) and 4.3.1 (15) of the *Standards and Guidelines for the Conservation of Historic Places* (excerpts provided in Appendix B) which require that a new addition be distinguishable from the original historic fabric, yet compatible in terms of materials and massing with the exterior form of the historic

building and its setting. It is recommended that the cladding materials and design details be further refined. The compatibility could be achieved through the use of a brick or stone cladding material and the metal guard rails could be replaced with a solid masonry wall.

Alternatively, it is recommended that the applicant consider retaining the walls of the existing building. While the basement (lower floor level) and foundation walls serve as the basis of the parking structure and no excavation below the lower level slab is intended, it is unknown if the existing walls of the building could be retained to enclose the parking facility.

Heritage Regina requested an explanation for the demolition of the current north entrance known as the “Lancaster Entrance” as it is a Character-Defining Element of the property. The new north and south entrance additions are proposed to meet the code requirements for use of the basement. The proposed demolition and replacement of the “Lancaster Entrance” is in keeping with the *Standards and Guidelines for the Conservation of Historic Places*. The stepped and symmetrical massing of the building has been identified as key elements that define the character of the building. This means that the stepped arrangement of the massing is regular in form and arrangement of corresponding parts. The introduction of the north and south entrances do not have an adverse impact on the symmetry of massing. Furthermore, the compatibility of the additions is further achieved through the re-use of salvaged materials as cladding and the incorporation of design details such as the continuous cornice and simplified wall surfaces.

The following elements will require further consideration and approval by the Development Officer:

- Design of the replacement door at the main entrance with one that will convey the same appearance as the original door.
- Method to be used for the conservation of the gates in the display rooms.
- Method in which the proposed mortar will be determined to be a match for the existing mortar.
- Details on the measures that will be taken to protect the Kenneth Lochhead murals during demolition, construction and when new electrical distribution and mechanical heating systems are installed to service the east side occupancy.

## RECOMMENDATION IMPLICATIONS

### Financial Implications

None with respect to this report.

### Environmental Implications

The proposed addition will support the continued occupancy and long-term viability of the Royal Canadian Legion Memorial Hall as an important component of the historical, architectural and cultural fabric of the Downtown and the city at large.

### Strategic Implications

The proposed addition will support the partial retention of a significant cultural and historic component of Regina’s downtown.

### Other Implications

None with respect to this report.

#### Accessibility Implications

None with respect to this report.

#### COMMUNICATIONS

Information regarding the proposed additions was provided to Heritage Regina, the Architectural Heritage Society of Saskatchewan and the Regina Downtown Business Improvement District.

The Chair of the Board of Directors of Heritage Regina has provided the following written response:

“Heritage Regina has now carefully reviewed the information you provided to us with regard to the proposed alterations to the Royal Canadian Legion Memorial Hall. As laid out in the current proposal, Heritage Regina cannot support the proposed repurposing of this Designated Heritage Property because three aspects of the proposal are unclear to us.”

1. Given that the entire Cornwall Street facade, including the Memorial Tower and the setbacks are protected by Bylaw 9383 which designated this building as a Municipal Heritage Property, what is the rationale for demolishing the Lancaster Entrance?
2. We also note that it is proposed that the west and south walls be demolished in order to create an open air parking facility on two levels. While recognizing that the west and south facades of the Legion building are not identified in Bylaw 9383 as having heritage value, we would like to see some clarification of the extent of this demolition work.
3. We would also want to know what steps will be taken to ensure that the Kenneth Lockheed murals and other interior heritage features identified in Bylaw 9383 will be protected from possible damage when the demolition work takes place.

Heritage Regina would be prepared to reconsider our opinion of this proposal if these three issues are addressed to our satisfaction.

The Administration’s response to these concerns was provided in the Discussion section to this report.

The Executive Director of the Regina Downtown Business Improvement District has provided the following written response:

“Thank you for the opportunity to comment on the proposed alterations to the Royal Canadian Legion Memorial Hall on behalf of Regina Downtown Business Improvement District (Regina Downtown BID.”

Regina Downtown Business Improvement District offers general support for the proposed alterations for:

- the preservation and restoration of architectural heritage elements of a downtown landmark building;

- improving the functionality of the property for its membership;
- helping to address the need for off-street parking facilities in downtown Regina; and
- the proponent's demonstrated continuing commitment to a vital and vibrant downtown.

The applicant is to be commended for its work in these regards. Regina Downtown strongly encourages the proponent to make every effort to ensure compliance with the Regina Downtown Neighbourhood Plan, for which Regina Downtown BID has expressed its full endorsement.

The President of the Architectural Heritage Society of Saskatchewan provided the following written response:

"The Architectural Heritage Society of Saskatchewan encourages, supports and rewards meaningful conservation of our province's built heritage. We thank the City of Regina for consulting again with the Society's Board of Directors on the conservation of significant historic properties.

I have consulted with directors of the Society on alteration and restoration of the Royal Canadian Legion Memorial Hall. We are very pleased the Hall can be saved from landfill, which was not the case in Saskatoon recently.

Directors expressed no concerns about the proposed alterations to the building. We do hope that original materials can actually be used for all repairs of the façade. We feel the changes will certainly position the property for a more viable future while preserving pride, place and identity for the Legion members and the community."

Written notification of City Council's decision will be provided to the applicant and other identified interested parties.

#### DELEGATED AUTHORITY

City Council may approve or decline the application pursuant to Bylaw No. 9383 and *The Heritage Property Act*.

MUNICIPAL HERITAGE ADVISORY COMMITTEE



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Linda Leeks, Secretary

## APPENDIX A

### Statement of Significance

#### Description

1820 Cornwall Street is a Municipal Heritage Property that comprises six commercial lots in the downtown area of the City of Regina. The property, known as the Royal Canadian Legion Memorial Hall, features a two-storey building with a light-brown brick and Tyndall Stone façade and prominent central tower, which was constructed between 1947 and 1951. The Municipal Heritage Property designation applies specifically to the Cornwall Street façade as well as to the Memorial Tower, the stained glass windows, murals, terrazzo flooring, coats of arms, and wrought-iron gates which separate the foyer from the Trophy Room and Chapel.

#### Heritage Value

The heritage value of 1820 Cornwall Street resides in its status as the first branch of the Royal Canadian Legion to receive a charter. Issued in 1926, the Regina Branch is known as Branch No. 1. The Royal Canadian Legion originated with the formation of the Great War Veterans Association (G.W.V.A) in April 1917 and by 1919 had become the largest organization representing the interests and welfare of returning servicemen and women. In 1926, the G.W.V.A. and other groups joined to form the Canadian Legion British Empire Service League. In 1960, Royal Assent was granted, allowing the organization to become the Royal Canadian Legion. Since its inception, the Legion has focused its efforts on securing adequate pensions and other benefits for veterans and their dependants.

The heritage value of 1820 Cornwall Street also resides in its architecture, which is a late example of the Classical Moderne style, a variant of the larger Art Deco movement, which was popular during the interwar period. The style, used extensively for buildings constructed under Franklin D. Roosevelt's "New Deal" public works program in the United States, reflects national aspirations for recovery, stability and endurance. It represents a synthesis of traditional and modern architectural influences, characterized by monumental, classically-balanced masses with an emphasis on symmetry and horizontality. Stan Storey of the Regina architectural firm of Van Egmond and Storey prepared plans for the Canadian Legion Memorial Hall in the summer of 1945. The cornerstone was laid on October 1, 1947 and the basement level was occupied by Legion members in May 1948. By 1950, construction of the upper floor was initiated, although to a revised exterior design. Princess Elizabeth and the Duke of Edinburgh participated in the official opening on October 17, 1951.

Further heritage value resides in the Memorial Hall, which features a central Memorial Peace Tower, believed to be the only one of its kind other than the Peace Tower of the Parliament Buildings in Ottawa. The Memorial Tower is enhanced by five stained glass windows which were unveiled on May 14, 1955 by Governor General Vincent Massey. Eight large murals in the Memorial Chamber depict important events and images of Canadian military history and were executed in 1956 by Canadian artist Kenneth Lochhead. A large Legion crest is incorporated into the foyer's terrazzo floor, and two large plaster cast coats of arms are situated above the entrance and auditorium doors.

## Character-Defining Elements

The heritage value of 1820 Cornwall Street lies in the character-defining elements including but not limited to:

- those elements that reflect the building's association with the Royal Canadian Legion, including the inscribed exterior frieze band above the central entrance, stained glass windows, murals, plaster cast coats of arms, wrought-iron gates to the Chapel and Trophy Room which were originally part of the Regina Garrison Sergeants' Mess, and the Legion crest incorporated into the foyer's terrazzo floor;
- those elements that demonstrate the Classical Moderne style, including the building's stepped and symmetrical massing and horizontally-oriented composition, its restrained exterior ornamentation of stylized stone carvings and low reliefs around the main entrance, which contrasts with flat, simplified wall surfaces, and the contrasting verticality of the Memorial Peace Tower with detailed pilasters and entablature.

## APPENDIX B

*Standards and Guidelines for the Conservation of Historic Places in Canada*  
(Excerpts)

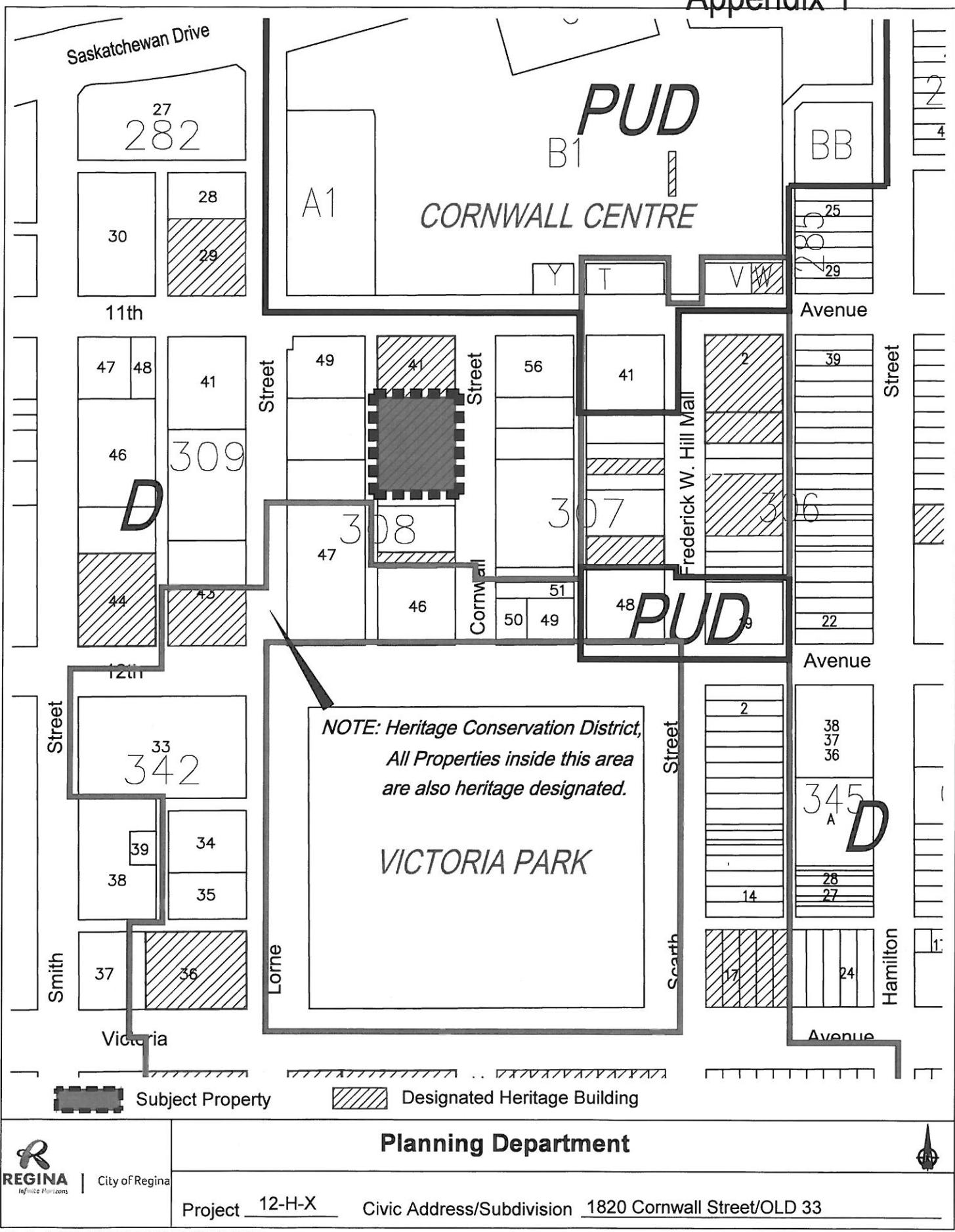
### 4.3.1 Exterior Form

Recommended	Not Recommended
<b>13 Selecting</b> the location for a new addition that ensures that the heritage value of the place is maintained.	Constructing a new addition that obscures, damages or destroys character-defining features of the historic place, such as relocating the main entrance.
<b>14 Designing</b> a new addition in a manner that draws a clear distinction between what is historic and what is new.	Duplicating the exact form, material, style and detailing of the original building in a way that makes the distinction between old and new unclear.
<b>15 Designing</b> an addition that is compatible in terms of materials and massing with the exterior form of the historic building and its setting.	Designing a new addition in a way that has a negative impact on the heritage value of the historic building.

### 4.3.5 Windows, Doors, and Storefronts

Recommended	Not Recommended
<b>6 Protecting</b> and maintaining windows, doors and storefronts by using appropriate surface treatments, such as cleaning, rust removal, limited paint removal, and reapplying protective coating systems in kind.	Failing to adequately maintain windows, doors and storefronts on a regular basis.
<b>8 Retaining</b> sound and repairable windows, doors and storefronts, including their functional and decorative elements, such as hardware, signs and awnings.	Removing or replacing windows, doors, and storefronts that can be repaired. Peeling paint, broken glass, stuck sashes, loose hinges or high air infiltration are in themselves indications that these assemblies are beyond repair.
<b>12 Replacing</b> in kind extensively deteriorated or missing parts of windows, doors and storefronts, where there are surviving prototypes	Replacing an entire functional or decorative element, such as a shutter with a broken louver, or a door with a missing hinge, when only limited replacement of deteriorated or missing part is possible. Using a substitute material for the replacement part that neither conveys the same appearance as the surviving parts of the element, nor is physically or visually compatible.

# Appendix 1



# Appendix 2



Subject Property

Date of Photography : 2009



City of Regina

**Planning Department**

Project 12-H-X

Civic Address/Subdivision 1820 Cornwall Street/OLD 33



## CONSERVATION ASSESSMENT



### **ROYAL CANADIAN LEGION MEMORIAL HALL, BRANCH NO. 1**

1820 Cornwall Street, Regina, Saskatchewan

Submission Date: 17 August 2012  
Project No.: 11-60

**KREATE ARCHITECTURE AND DESIGN LTD.**

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200 – 2300 Dewdney Avenue  
Regina, SK S4R 1H5  
Phone: 306.585.2400  
Facsimile: 306.585.2399

Kurt Dietrich, Dipl.AT, Dipl.Arch. SAA, MRAIC

office@kreate-arch.com  
www.kreate-arch.com

**CONSERVATION ASSESSMENT**  
Royal Canadian Legion Memorial Hall  
1820 Cornwall Street, Regina, Saskatchewan



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## **1. EXECUTIVE SUMMARY**

This submission responds to the requirements of a Conservation Plan as discussed with the Department of Sustainability and Planning, City of Regina. This report analyzes the existing Royal Canadian Legion Memorial Hall (Legion) building at 1820 Cornwall Street with attention to the conservation of its heritage value and character-defining elements as defined by City of Regina Bylaw No. 9383. The report includes a description of the proposed redevelopment of the property that was formulated on behalf of Mitchell & Associates Properties Ltd in response to the request for proposals issued by A to B Development Consultants Inc.

The Legion building requires a creative solution to remain viable for its members and the surrounding community, as identified within the original request for proposals issued by A to B Development Consultants. The proposed redevelopment preserves the east end (street side) of the building in both its physical and programmatic form while repurposing the west end of the building as a two-storey open-air parking structure to serve the surrounding operations. Existing materials will be repaired as necessary to preserve and prolong their lifespan. This approach allows the Legion functions to continue to operate as per the operational agreement reached with the organization and maintains the heritage value of the building. New exit stair enclosures will be added to the north and south ends of the building with a universal access lift at the south to provide barrier free access and service the fire exit requirements of the occupied spaces.

The information presented herein is the result of historical, site and building research undertaken to evaluate the appropriate conservation approaches that will preserve and maintain the cultural heritage significance of the building and site within its context. This submission contains recommendations for conservation strategies that facilitate the adaptive re-use described in the proposed redevelopment plan. This study focuses on the east façade and portions of the interior spaces that are designated as character-defining elements. Informed by the relevant codes and guidelines, a careful and sensitive approach must be undertaken to ensure the continued function and authenticity of this heritage property.



## **2. INTRODUCTION & BACKGROUND**

This submission was initiated in response to the request for proposals issued by A to B Development Consultants Inc, dated 3 May 2012. Mitchell & Associates Properties Ltd prepared a redevelopment plan in review with the current building management that provides for continued use of the facility while addressing further needs within the area. The Legion requested proposals to accommodate its evolving needs related to membership and public functions for the various memorabilia and historical documentation. The proposed redevelopment included in this report is a result of that RFP process.

The facility falls within the mandate of the municipal heritage property designations. A summary of the Statement of Significance, as provided by the original RFP submission is included in this report.

### **Process**

This submission is intended to facilitate review of the intended solutions/development with municipal authorities. The proposed project will maintain the process of approval at the client and owner levels of management prior to proceeding with any construction documentation or permit submissions.

It is intended that the process would adhere to the development mandate of civic authorities and municipal heritage guidelines throughout the various stages of completion. The conservation strategies described in this document are limited to those areas deemed to have character-defining significance and their immediate environs.

The process of further resolution for detailing and construction documents will be initiated only after receiving approval from civic authorities for the intended facility design.

### **Documentation**

The following archival documents were consulted in the preparation of this report:

- Wen. E. Marvin, Alan Vanstone Architects, "Royal Canadian Legion: Alterations to Servery in Basement Cafeteria," 1968; City of Regina Archives, Regina, Saskatchewan. Architectural Drawings.
- W.G. Van Egmond, Stan E. Storey Architects, "Proposed Memorial Hall, The Canadian Legion BESL, Regina, Sask, Canada," 1947; City of Regina Archives, Regina, Saskatchewan. Architectural Drawings.
- W.G. Van Egmond, Stan E. Storey Architects, "Specifications: Proposed Memorial Hall for the Canadian Legion BESL, Regina, Sask," 1947; City of Regina Archives, Regina, Saskatchewan. Text.
- W.T. McGinn & Associates, "Renovations for Royal Canadian Legion, 1971; City of Regina Archives, Regina, Saskatchewan. Architectural Drawings.



The policy and conservation strategies described in this report are informed by the following documents:

- The Standards and Guidelines for the Preservation of Historic Places in Canada (Standards & Guidelines)
- The Regina Municipal Heritage Design Guidelines
- The Regina Downtown Neighbourhood Plan (RNDP)
- The Heritage Property Act (H2.2)
- City of Regina Zoning Bylaw No. 9250
- City of Regina Bylaw No. 9383
- Heritage Property Details Record
- National Building Code of Canada (NBC) 2005

## **Response to Civic Requirements**

### **Heritage Framework**

This building is designated as a Municipal Heritage Property as per City of Regina Bylaw No.9383.

### **Zoning and Design Guidelines**

This property is zoned D-Downtown and is governed by the relevant sections of City of Regina Bylaw No. 9250.

This property is subject to the design guidelines detailed in the Regina Development Plan, specifically Part G: Regina Downtown Neighbourhood Plan.

### **Regulatory and Approval Process**

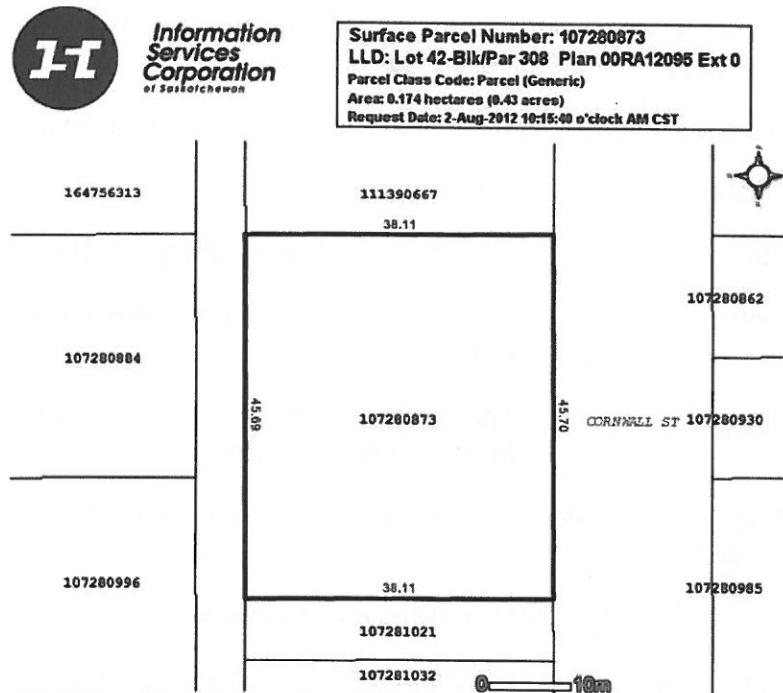
This Conservation Assessment has been developed in consultation with Liberty Brears, Department of Sustainability and Planning, City of Regina. This project shall follow the regulatory and approval process as dictated by the authority having jurisdiction.

### 3. PROPERTY OVERVIEW

Building Name: Royal Canadian Legion Memorial Hall (Legion)  
Building Location: 1820 Cornwall Street, Regina, Saskatchewan  
Dates of Construction: 1947 - 1951  
Architect of Record: Storey & Van Egmond  
Contractor: Smith Brothers & Wilson

#### Description of the Historic Place

Legal Description of Land:  
Lot 42, Block 308, Plan 00RA12095, EXT.0  
Surface Parcel: 107280873  
Civic Address: 1820 Cornwall Street



DISCLAIMER: THIS IS NOT A PLAN OF SURVEY. It is a consolidation of plans to assist in identifying the location, size and shape of a parcel in relation to other parcels. Parcel boundaries and area may have been adjusted to fit with adjacent parcels. To determine actual boundaries, dimensions, or area of any parcel, refer to the plan, or consult a surveyor.

The building site occupies six commercial lots in the downtown area of the City of Regina with a total site area of 1741 m<sup>2</sup>. The street façade features a central tower flanked by symmetrical wings and stepped roof lines. The two-storey building extends from the east property line to the west rear of the site. The cladding materials are Tyndall stone and brick with secondary pre-cast concrete elements. Other exterior features of note are the stained glass windows, the coats of arms, and the sculpted Tyndall stone panels of the Memorial Tower (Heritage Property Details, 2000).

### **Historical Context**

The significance of the Legion is derived from its history as an association and the architecture specific to the described building. The following chronology describes the evolution of both approaches:

- 1917            Great War Veterans Association (GWVA) is formed
- 1926            The GWVA and other groups form the Canadian Legion British Empire Service League  
The Regina branch is the first of the Canadian Legion British Empire Service League to receive a charter and is known as Branch No. 1
- 1945            The architectural firm, Storey & Van Egmond is commissioned to design the branch headquarters, the Canadian Legion Memorial Hall
- 1947 – 1951    The branch headquarters at 1820 Cornwall Street are built and occupied  
October 1, 1947:      The cornerstone is laid  
May, 1948:            The Legion members occupy the basement level  
1950:            Construction on the upper floor begins with a revised exterior design  
October 17, 1951:     The branch holds the official opening ceremony, attended by Princess Elizabeth and the Duke of Edinburgh
- 1955            (May 14) Five stained glass windows are unveiled by Governor General Vincent Massey
- 1956            Kenneth Lochhead creates eight large murals in the Memorial Tower
- 1960            Royal Assent is granted, allowing the Canadian Legion British Empire Service League to become the Royal Canadian Legion
- 1968            Marvin & Vanstone Architects prepares drawings for alterations to the Servery in the basement cafeteria
- 1971            Western Consultants Ltd prepares drawings for the renovation of the lower level of the Legion building
- 1992            The property receives Municipal Heritage Designation from the City of Regina

This detail of this chronology is limited to information obtained from the Heritage Property Details Record and original drawings obtained from the City of Regina Archives.

#### **4. HERITAGE VALUE**

The Municipal Heritage status of the building is codified in the City of Regina Bylaw No. 9383 and is elaborated in the Heritage Property Details from the Saskatchewan Register of Heritage Property. This submission uses the Statement of Significance as its primary reference in order to assess the property's heritage value as this provides the more detailed analysis of the building's character.

The following elements of the property are deemed to be character-defining elements:

- *Those elements that reflect the building's association with the Royal Canadian Legion, including the inscribed exterior frieze band above the central entrance, stained glass windows, murals, plaster cast coats of arms, wrought-iron gates to the Chapel and Trophy Room which were originally part of the Regina Garrison Sergeants' Mess, and the Legion crest incorporated into the foyer's terrazzo floor.*
- *Those elements that demonstrate the Classical Moderne style, including the building's stepped and symmetrical massing and horizontally-oriented composition, its restrained exterior ornamentation of stylized stone carvings and low reliefs around the main entrances, which contrasts with flat, simplified wall surfaces, and the contrasting verticality of the Memorial Peace Tower with detailed pilasters and entablature.*

The property's designation as the first branch of the Royal Canadian Legion contributes to its significance at a national operational level. The operational functions of the organization contribute to the inherent heritage aspect of the building. This submission addresses the functional aspect noting that an agreement in principle has been provided which would enable the Legion functions to retain tenancy in the occupiable spaces. The building's identity and cultural presence generates from its historical association with the organization. It is ideal that the Legion continue to operate at this location for as long as is desired by the organization.

The heritage value of this property is concentrated at the east side (Cornwall Street) of the site. This area includes the Legion's operations in the lower level with provision for public access to the upper levels. The west section of the building is largely utilitarian, contains no exterior character-defining elements, and is no longer required for the Legion's continued function.

## **Statement of Significance**

Heritage Property Details Record  
Saskatchewan Register of Heritage Property  
Ministry of Tourism, Parks, Culture and Sport

### ***Description of Historic Place***

1820 Cornwall Street is a Municipal Heritage Property that comprises six commercial lots in the downtown area of the City of Regina. The property, known as the Royal Canadian Legion Memorial Hall, features a two-storey building with a light-brown brick and Tyndall Stone facade and prominent central tower, which was constructed between 1947 and 1951. The Municipal Heritage Property designation applies specifically to the Cornwall Street facade as well as to the Memorial Tower, the stained glass windows, murals, terrazzo flooring, coats of arms, and wrought-iron gates which separate the Trophy Room and Chapel.

### ***Heritage Value***

The heritage value of 1820 Cornwall Street resides in its status as the first branch of the Royal Canadian Legion to receive a charter. Issued in 1926, the Regina Branch is known as Branch No. 1. The Royal Canadian Legion originated with the formation of the Great War Veterans Association (G.W.V.A) in April 1917 and by 1919 had become the largest organization representing the interests and welfare of returning servicemen and women. In 1926, the G.W.V.A. and other groups joined to form the Canadian Legion British Empire Service League. In 1960, Royal Assent was granted, allowing the organization to become the Royal Canadian Legion. Since its inception, the Legion has focused its efforts on securing adequate pensions and other benefits for veterans and their dependants.

The heritage value of 1820 Cornwall Street also resides in its architecture, which is a late example of the Classical Moderne style, a variant of the larger Art Deco movement, which was popular during the interwar period. The style, used extensively for buildings constructed under Franklin D. Roosevelt's "New Deal" public works program in the United States, reflects national aspirations for recovery, stability and endurance. It represents a synthesis of traditional and modern architectural influences, characterized by monumental, classically-balanced masses with an emphasis on symmetry and horizontality. Stan Storey of the Regina architectural firm of Van Egmond and Storey prepared plans for the Canadian Legion Memorial Hall in the summer of 1945. The cornerstone was laid on October 1, 1947 and the basement level was occupied by Legion members in May 1948. By 1950, construction of the upper floor was initiated, although to a revised exterior design. Princess Elizabeth and the Duke of Edinburgh participated in the official opening on October 17, 1951.

Further heritage value resides in the Memorial Hall, which features a central Memorial Peace Tower, believed to be the only one of its kind other than the Peace Tower of the Parliament Buildings in Ottawa. The Memorial Tower is enhanced by five stained glass windows which were unveiled on May 14, 1955 by Governor General Vincent Massey. Eight large murals in the Memorial Chamber depict important events and images of Canadian military history and were executed in 1956 by Canadian artist Kenneth Lochhead. A large Legion crest is incorporated into the foyer's terrazzo floor, and two large plaster cast coats of arms are situated above the entrance and auditorium doors.

Source: City of Regina Bylaw No. 9383.

#### ***Character-Defining Elements***

The heritage value of 1820 Cornwall Street lies in the following character-defining elements:

- Those elements that reflect the building's association with the Royal Canadian Legion, including the inscribed exterior frieze band above the central entrance, stained glass windows, murals, plaster cast coats of arms, wrought-iron gates to the Chapel and Trophy Rooms which were originally part of the Regina Garrison Sergeant's Mess, and the Legion crest incorporated into the foyer's terrazzo floor;
- Those elements that demonstrate the Classical Moderne style, including the building's stepped and symmetrical massing and horizontally-oriented composition, its restrained exterior ornamentation of stylized stone carvings and low reliefs around the main entrance, which contrasts with flat, simplified wall surfaces, and the contrasting verticality of the Memorial Peace Tower with detailed pilasters and entablature.

## 5. CONSERVATION STRATEGIES

### A) Primary Treatment

The Standards & Guidelines describe three primary strategies when assessing any conservation project: Preservation, Rehabilitation, and Restoration.

This project will adopt a Rehabilitation strategy as the primary approach.

*Rehabilitation involves the sensitive adaptation of an historic place or individual component for a continuing or compatible contemporary use, while protecting its heritage value (Standards & Guidelines, p. 16).*

The Rehabilitation strategy centers on the preservation of those aspects of the building that have historical and cultural significance and the repurposing of the obsolete areas of the property. The east side of the building is to be preserved for the continued use of the Legion. The west side of the building will be redeveloped as a tiered open-air parking facility to serve the surrounding neighbourhood. This approach will provide resolution so that those aspects of the building that have heritage value can be preserved in their entirety with minimized intrusion and the site as a whole can continue to operate over the long-term.

### B) Conservation Standards

The following is a list of the applicable standards from the Standards & Guidelines and the strategies proposed to meet or exceed the requirements. Those standards and/or clauses that do not apply to this project are indicated as N/A.

**Standard      1**

- .a      *Conserve the heritage value of an historic place.*

The heritage value of the Legion is well-documented and recognized by all parties. Integral to the proposed development is the retention and rehabilitation of the building's east section. Those elements of the building deemed to have character-defining significance shall be retained and rehabilitated.

- .b      *Do not remove, replace, or substantially alter its intact or repairable character-defining elements.*

The building inspection review has identified minor items that require remediation in order to maintain the character, quality and integrity of the shell. Replacement functions will affect only those elements that are beyond repair as identified within the enclosed table.

- .c *Do not remove a part of an historic place if its current location is a character-defining element.*

The section of the building to be repurposed does not comprise a part of the building's heritage value, nor does it contain any character-defining elements. The sidewalls of the facility are comprised of secondary finish elements such as concrete parapets and window treatments. The use of tyndall stone affects the east façade of the facility only. Any redevelopment for side stair access will salvage the appropriate materials for use in the new construction. The proposed redevelopment preserves the property's heritage value intact.

**Standard 2**

- .a *Conserve changes to an historic place that, over time, have become character-defining elements in their own right.*

The stained glass windows (1955) and Kenneth Lochhead murals (1956) are not original to the building, but are significant contributions to the property's heritage value. They are listed as character-defining elements and are included in the conservation mandate outlined in this report.

**Standard 3**

- .a *Conserve heritage value by adopting an approach calling for minimal intervention.*

The conservation efforts undertaken will be limited to those that are necessary and sufficient to preserve and prolong the heritage value of the property. At the current level of analysis, all required interventions are limited to surface repairs and the replacement of irreparably damaged elements.

**Standard 4**

- .a *Recognize each historic place as a physical record of its time, place and use.*

The proposed redevelopment recognizes the Legion's heritage value. It prioritizes the retention of the character-defining elements of the building as well as providing a continued home for the Royal Canadian Legion membership.

- .b *Do not create a false sense of historical development by adding elements from other historic places or other properties or by combining features of the same property that never coexisted.*

The cladding materials proposed for salvage during the demolition of the west end of the building will be re-used during the construction of two new exit stair enclosures required for the east section. The salvaged brick and trim will be reapplied in a continuation of the configuration and proportions of the existing building (see drawing P1-4). The changes in massing and setback will differentiate the stair enclosures so as to be distinguishable from the original building and avoid creating a false sense of historical authenticity.

The proposed redevelopment of the Lancaster Entrance is required due to interior access requirements that are altered due to the west side development. This entrance, while not a component of the original or subsequent design solutions, was constructed in concert with pre-existing building finishes. This wing of the facility compromises the security of the building due to low parapet height which has temporarily been resolved through the installation of barbed wire on wood framing along the roof line. The replacement of this addition will provide a proportional massing element with the proposed south stair addition that properly flanks the historic façade, while maintaining appropriate setbacks.

**Standard 5**

- .a *Find a use for an historic place that requires minimal or no change to its character-defining elements.*

The adaptive re-use of this property with two discrete functions means that there is no conflict between the new use and the existing character-defining elements. The repurposing of the west end of the building does not affect the character-defining elements of the east section. The interventions undertaken at the east section are intended solely to rehabilitate and preserve the existing functions and heritage value.

**Standard 6**

- .a *Protect and, if necessary, stabilize an historic place until any subsequent intervention is undertaken.*

All proposed interventions will be reassessed on site at the time of work so as to ensure the appropriateness of every action and the protection of the area to be effected.

- .b *Protect and preserve archeological resources in place. Where there is potential for disturbing archeological resources, take mitigation measures to limit damage and loss of information.*

This clause is not applicable to the specific development or existing facility.

**Standard 7**

- .a *Evaluate the existing condition of character-defining elements to determine the appropriate intervention needed.*

The facility has undergone site inspections and document reviews related to all of the listed character-defining elements. The enclosed table has been created to provide individual analysis of each component including its condition and proposed recommendations.

- .b *Use the gentlest means possible for any intervention. Respect heritage value when undertaking an intervention.*

The approach to repairs and rehabilitation will be clearly identified to minimize risk of potential damage to the work underway and adjacent/interior elements. The requirement for site containment and process development will be clearly defined within the construction documents for review prior to the work being initiated on site, most notable when working above and around sensitive areas such as the Kenneth Lochhead murals.

**Standard 8**

- .a *Maintain character-defining elements on an ongoing basis.*

It is essential that the specific conditions of each character-defining element are thoroughly studied in situ. This analysis will be conducted as part of the rehabilitation process described in this document. Upon completion of the work, a maintenance plan that incorporates information learned during the process should be developed and implemented.

- .b *Repair character-defining elements by reinforcing their materials using recognized conservation methods.*

Please refer to the enclosed table for a detailed description of the conservation approaches to be employed for the individual elements noted.

- .c *Replace in kind any extensively deteriorated or missing parts of character-defining elements, where there are surviving prototypes.*

Extensively deteriorated materials will be replaced in kind using materials salvaged from the demolished sections of the building. Additional salvage will provide future maintenance materials, stockpiled on site. The enclosed table identifies the various replacement strategies for the individual elements.

**Standard 9**

- .a *Make any intervention needed to preserve character-defining elements physically and visually compatible with the historic place and identifiable on close inspection.*

Please refer to Table A for a detailed description of the conservation approaches to be employed.

- .b *Document any intervention for future reference.*

Detailed architectural drawings will be created to fully document both the existing conditions of the character-defining elements and the repair and restoration work described in Table A. Upon completion of the work these drawings will be revised and corrected based on known site conditions and become a record of the work to serve as 'as-built' drawings for each affected component.

**Standard 10**

- .a *Repair rather than replace character-defining elements.*

In the spirit of minimal intervention, elements will be repaired rather than replaced wherever possible.

- .b *Where character-defining elements are too severely deteriorated to repair, and where sufficient physical evidence exists, replace them with new elements that match the forms, materials and detailing of sound versions of the same elements.*

This standard comes into effect related to the wood window frames at the clerestory and main floor levels of the building. Salvaged or custom materials will be used to replace the deteriorated pieces as required to restore the fenestration to serviceable levels. The finish on these materials will be consistent with the existing conditions.

- .c *Where there is insufficient physical evidence, make the form, material and detailing of the new elements compatible with the character of the historic place.*

Sufficient physical evidence exists on site and within found documents in order for replacement elements to match the form and character of the original elements.

**Standard 11**

- .a *Conserve the heritage value and character-defining elements when creating any new additions to an historic place or any related new construction.*

New construction will be sensitive to the heritage value and character-defining elements on the property. The parking structure will be separated from the remainder of the building by a fire wall in order to maintain a definitive barrier between the two functions and to ensure the new structure will not adversely affect the heritage value of the original areas of the property. New penetrations required by the exit stair enclosures will be located within existing window openings in order to minimize impact on the existing building.

- .b *Make the new work physically and visually compatible with, subordinate to, and distinguishable from the historic place.*

Two new stair enclosures will be constructed at the north and south ends of the building. These additions will be designed to be visually compatible with, yet subordinate to, the existing building. They will continue the stepped massing of the original facility and will be clad with brick salvaged from the rear of the site. The parking structure at the rear of the site will not be visible from the street and as such will not impact the streetscape or any character-defining elements.

**Standard      12**

- .a      *Create any new additions or related new construction so that the essential form and integrity of an historic place will not be impaired if the new work is removed in the future.*

The exit stair enclosures will be constructed so as to minimize impact on the existing building. Penetrations and connections to the proposed construction will utilize existing openings in the exterior walls to minimize the effect on the existing structure.

### **C) Conservation Guidelines**

The proposed redevelopment falls under the following Guideline categories as per the Standards & Guidelines:

#### **Section 4.3 Guidelines for Buildings**

- 4.3.1. Exterior Form
- 4.3.3. Roofs
- 4.3.4. Exterior Walls
- 4.3.5. Windows, Doors and Storefronts
- 4.3.6. Entrances, Porches and Balconies
- 4.3.7. Interior Features
- 4.3.9. Structural Systems

#### **Section 4.5 Guidelines for Materials**

- 4.5.1. All Materials
- 4.5.2. Wood and Wood Products
- 4.5.3. Masonry
- 4.5.4. Concrete
- 4.5.5. Architectural and Structural Metals
- 4.5.6. Glass and Glass Products
- 4.5.7. Plaster and Stucco
- 4.5.8. Miscellaneous Materials

These guidelines have been incorporated in an individual format specifically developed for this building within the conservation strategy format presented in Table A: Conservation Interventions.

#### **D) Conservation Interventions**

The following table lists the areas and individual components that contribute to the building's heritage value. Future upgrades to the tenant interior areas are not anticipated to affect the character-defining elements or heritage value. Upgrades to interior finishes and the reallocation of functional areas do not constitute a component of this report.

This assessment is based on visual inspections conducted over the course of several site visits and an examination of archival documents. It is understood that the conservation strategies described herein reflect the current level of analysis and will be adjusted as necessary if and when new information becomes available.

**CONSERVATION ASSESSMENT**  
**Royal Canadian Legion Memorial Hall**  
**1820 Cornwall Street, Regina, Saskatchewan**



**Table A: Conservation Interventions**

COMPONENTS	EXISTING MATERIALS	EXISTING CONDITION	CONSERVATION STRATEGY	CONSERVATION ACTIONS
EXTERIOR ELEMENTS				
<b>Roof</b>				
Membrane	built up roofing on plywood substrate	poor	Replacement	replace roof materials with new adhered epdm system complete with increased insulation
Vents	galvanized metal hood style cap style roof drains integrated into membrane	poor	Replacement	replace vent hoods with new gooseneck (low profile) hoods as required to suit revised ventilation conditions
Drains		poor	Replacement	replace cap drains with new drains integrated with roofing system; tie new drains into existing internal drainage system
Flashing	galvanized flashing on interior side of parapet walls	poor	Replacement	replacement roof of interior side flashing with new galvanized flashing, secured into backside of parapet walls with reglet installation.
Cap Flashing	None	---	---	
Fall Protection	None	---	---	Install new fall protection advisory lines and restrictive enclosures to meet requirements of current OH&S regulations; install new access ladders complete with fall restraint attachments
Access	Man door at north-west side; access through stair from stage level; loose ladder access between roof levels	poor	Replacement	exterior roof access to be provided by ladder/cage assembly on backside of building; accessible via parking area; assembly to include lock-off gate at base to restrict access.
<b>Masonry</b>			Preservation	
Mortar	standard sand grey	fair	repainting	repaint existing masonry walls as required using a sand grey mixture; blend new mortar into existing and ensure colour and texture are matching prior to application; test pattern to be completed on walls marked for demolition prior to application on the street facade
Face Veneer	Rug-faced Brick	fair	repair as required	salvage existing masonry units from the demolition components for use as infill on the street façade as required during rehabilitation
Back Wall Veneer	Smooth-faced Brick	fair	repair as required	salvage existing masonry units from the demolition components for use as infill on the parapet wall faces (interior side only)
Flashings	None	---	---	
Weep Holes	None	---	seal and cap existing penetrations where no longer required	remove penetration pins and anchors; patch and repoint mortar as noted; replace face brick with salvaged masonry units as noted
Penetrations	various penetrations for filaments and previous installations	poor		
Sills	Concrete	fair	repair as required	grind and skim coat as required to remove possibility of standing moisture within fissures

**CONSERVATION ASSESSMENT**  
**Royal Canadian Legion Memorial Hall**  
**1820 Cornwall Street, Regina, Saskatchewan**

**CREATE**

COMPONENTS	EXISTING MATERIALS	EXISTING CONDITION	CONSERVATION STRATEGY	CONSERVATION ACTIONS
<b>Stone</b>			Preservation	
Foundation Cladding	Tyndall Stone	fair	existing to remain	no specific requirements noted; existing stone cladding to be salvaged from demolition components for use as infill as required
Parapet Cap Trim	Tyndall Stone	fair	existing to remain	no specific requirements noted; existing stone parapet cap trim to be salvaged from demolition components (Lancaster Entrance) for use as infill as required
Wall Trim	Tyndall Stone	fair	existing to remain	no specific requirements
Tower Cladding	Tyndall Stone	poor	resecure and repoint exterior corners	Drill and repin corner stone to restrict further movement/dislocation; fill pin holes to match face colour texture; repoint as noted
Decorative Frieze	Tyndall Stone	fair	existing to remain	repoint as noted
Window Head/Sill	Tyndall Stone	fair	repainting	repoint existing masonry walls as required using a sand grey mixture; blend new mortar into existing and ensure colour and texture are matching prior to application; test pattern to be completed on walls marked for demolition prior to application on the street facade
Mortar	standard sand grey	poor	—	—
Flashings	None	—	—	—
Weep Holes	None	—	—	—
Penetrations	Flag pole mounts	poor	seal and cap existing penetrations where no longer required	remove penetration pins and anchors; patch and repoint mortar as noted; replace face brick with salvage masonry units as noted
<b>Doors</b>			Rehabilitation	
Door Facing	Wood/metal skin cladding	poor	Replacement	Replace doors with new aluminum/steel style complete with glazing to match original doors
Glazing	single pane clear glazing	poor	Replacement	New sealed double glazing in door systems; sizing to match original entrance doors
Finish Hardware	mixture of rehabilitated hardware	poor	Replacement	New finish hardware systems complete with automatic closers and panic exit hardware
Weather-strip	aluminum trims and gasket seals	poor	Replacement	new weather-strip to suit door installations
Thresholds	Wood	poor	Replacement	new threshold to suit door installations.
Frame		fair	Replacement	Custom aluminum/steel frame fabricated for insert into existing tower entrance assembly.
<b>Glazing</b>	Pebbled Glass	fair	Rehabilitation	
Hall Clerestory	Glazing	fair	retain	existing glazing units to remain in place

**CONSERVATION ASSESSMENT**  
**Royal Canadian Legion Memorial Hall**  
**1820 Cornwall Street, Regina, Saskatchewan**



COMPONENTS	EXISTING MATERIALS	EXISTING CONDITION	CONSERVATION STRATEGY	CONSERVATION ACTIONS
Frame Operators Screens Sealants	Wood N/A N/A silicone caulk	poor --- --- poor	refurbish --- --- Replacement	replace damaged frame materials with new wood exterior pieces to match existing frame. Paint finishes/colour selection to match existing --- --- Replace existing sealants with new materials to suit frame upgrades
<u>Main Tower Glazing</u>				
Glazing Frame Operators Screens Sealants	Stained Glass Wood N/A N/A silicone caulk	fair fair --- --- poor	Retain Retain --- --- replacement	Existing glazing systems to be retained in its entirety. Existing frame materials to be retained and refinished (paint finishes) --- --- Replace existing perimeter and glazing unit sealants with new exterior grade materials. Colour and sheen of new sealant to match frame refinishing.
<u>Main Floor Decorative Glazing</u>				
Glazing Frame Operators Screens Sealants	Stained Glass Wood N/A N/A silicone caulk	fair poor --- --- poor	retain refurbish --- --- replacement	Existing glazing units to remain in place Existing frame materials to be retained and refinished (paint finishes) --- --- Replace existing sealants with new materials to suit frame upgrades
<u>Main Floor Standard Glazing</u>				
Glazing Frame Operators Screens Sealants	Clear Glass Wood awning style standard metal bug screen silicone caulk	fair poor fair fair poor	retain refurbish retain replacement replacement	Existing glazing units to remain in place Existing frame materials to be retained and refinished (paint finishes) Existing glazing units to remain in place New screens to be installed in existing glazing assemblies Replace existing sealants with new materials to suit new frame installations
<u>Basement Glazing</u>				
Glazing Frame Operators	Clear Glass Wood casement style operators	poor poor poor	retain refurbish retain	Damaged units to be replaced Existing frame materials to be retained and refinished (paint finishes) Existing glazing units to remain in place

**CONSERVATION ASSESSMENT**  
**Royal Canadian Legion Memorial Hall**  
**1820 Cornwall Street, Regina, Saskatchewan**

**CREATE**

COMPONENTS	EXISTING MATERIALS	EXISTING CONDITION	CONSERVATION STRATEGY	CONSERVATION ACTIONS
Screens Sealants	standard metal bug screen silicone caulk	poor poor	replacement replacement	New screens to be installed in existing glazing assemblies Replace existing sealants with new materials to suit new frame installations
<b>Exterior Access</b>			<b>Rehabilitation</b>	
<b>Sidewalks</b>				
Materials	Concrete	fair	retain	civic sidewalk (NIC)
Condition	pitted and scored	fair	resurface as required	civic sidewalk (NIC)
Fitments	parking meters (NIC)	n/a	---	---
Drainage	sloped to street gutter	fair	---	---
<b>Stairways</b>				
Materials	tyndall stone	poor	salvage for reinstallation	Remove existing stone and salvage for reinstallation. Reassemble stair systems to provide optimum use of stone treads and side landings; construct new base mount and reinstall stone treads/risers to suit the revised entrance
Condition	pitted, loose, out of plane	poor	retain stone panels for reinstallation	Existing stone condition will provide adequate materials for stair rehabilitation within the existing footprint
Mortar	standard grey	poor	replacement	New mortar to match repointing mortar noted from wall tyndall stone
Fitments	None	n/a	<b>Rehabilitation</b>	
<b>Exterior Elements</b>				
Entrance Lights	metal entrance stair lighting	poor	Rehabilitate	remove existing light posts and stockpile for reinstallation; existing filaments to be cleaned and stripped; refinishing surface treatments to match the style and colour palette for the facility; reinstall lighting upon completion of stair rehabilitation; circuit operation to manual or photocell activation
Flag Poles	steel posts	poor	replacement	Replace existing grade mounted flagpoles (2) with new installations; aluminum tapered cone style flagpole complete with internal halyard.
Boot scrapers	None	n/a	add at entrances	Install new steel boot scrapers at side entrances to the facility.
Site Fence	standard mesh fencing	poor	replacement for security on side aisles of exterior	Replace existing chain link fencing on north side as required for security to interior access points; install chain link fencing on south side to restrict access to lane area from street side
Landscaping	loose shrubbery	fair	retain/rehabilitate	Remove large landscaping growth immediately adjacent building; cut back existing shrubbery to provide suitable green space while not facilitating intrusion or hiding locations street side
Building Lighting	wall mounted HID fixtures	poor	replacement	Replace wall mounted building lighting systems with new to suit the revised side yard allocations.

**CONSERVATION ASSESSMENT**  
**Royal Canadian Legion Memorial Hall**  
**1820 Cornwall Street, Regina, Saskatchewan**

**CREATE**

COMPONENTS	EXISTING MATERIALS	EXISTING CONDITION	CONSERVATION STRATEGY	CONSERVATION ACTIONS
<b>INTERIOR ELEMENTS</b>				
<b>Entrance Stairs</b>			Preservation	
Flooring	terrazzo	fair	retain	Maintain existing terrazzo, repairs to be completed with stone finishes to match surface colouration, texture and pattern. Seal flooring surface
Baseboards	wood	fair	retain	retain existing wood baseboards and refinish to suit the interior colour scheme
Nosings	appliqué rubber	poor	replacement	rehabilitate existing stair tread panels and install new strip nosing; nosing to be textured and provide colour separation from tread for visually impaired individuals
Risers	steel panel	poor	retain and refinish	Patch and repair existing risers and stringer finish with paint finishes in keeping with interior upgrade colour scheme
Handrail	stainless/painted steel	poor	retain and refinish	Strip, clean and refinish interior handrail and balustrade; existing assembly to remain in place during upgrading
Fitments	none	n/a	---	
Wall Finish	plaster	fair	retain/rehabilitate	Patch and repair damaged plaster finishes, refinishing to include skim coat and repainting
Ceiling Finish	plaster/crown mould	poor	retain/rehabilitate	Patch and repair damaged plaster finishes, most notable damage occurring at north/north-west crown mold location; refinishing to include skim coat and repainting
Lighting	wall mounted	poor	replacement	replace existing wall mounted light fixtures with wall sconces to suit the mid-century time period; fixtures to be energy rated compact fluorescent; style to be confirmed prior to final ordering
Mechanical Installations	surface mounted forced flow heaters	poor	replacement	replace existing wall mounted heating units/exposed piping with new units; new unit installation to be reviewed on site- recommended locations include underside of central stair and upper wall areas of sidewalls; piping and control wiring to be concealed wherever reasonably possible.
<b>Peace Tower Foyer</b>			Preservation	
Flooring	terrazzo	good	retain	Maintain existing terrazzo, repairs to be completed with stone finishes to match surface colouration, texture and pattern. Seal flooring surface
Baseboard	wood	good	retain	retain existing wood baseboards and refinish to suit the interior colour scheme
Wall Finish	plaster	good	retain	Patch and repair damaged plaster finishes, refinishing to include skim coat and repainting
Specialty Finishes	painted murals	good	retain	existing murals to be retained. Protective measures to be implemented during renovation stages complete with coverage and air seal for the duration of rehabilitation measures.
<b>Interior Doors</b>				
Frame	wood	fair	salvage for reinstallation	wood casings and head rails to be salvaged from demolition areas for use in refurbishing existing units and installation of interior doors within renovation areas.
Door	wood	fair	salvage for reinstallation	available interior doors to be salvaged from demolition areas for use in relocated doors within renovation areas

**CONSERVATION ASSESSMENT**  
**Royal Canadian Legion Memorial Hall**  
**1820 Cornwall Street, Regina, Saskatchewan**

*CREATE*

COMPONENTS	EXISTING MATERIALS	EXISTING CONDITION	CONSERVATION STRATEGY	CONSERVATION ACTIONS
Finish Hardware	standard commercial grade	poor	replacement	existing operators to be discarded. Entrance hardware and finish plates to be retained and refinished for use within renovation areas.
Fitments	interior furnishings	n/a	(tenant item)	not in contract
Lighting	ceiling pendant lights	fair	retain	existing lighting to remain.
<b>Display North Entry</b>				
Flooring	carpet	fair	replacement	existing floor finishes to be replaced with commercial grade flooring suitable for anticipated traffic demands
Baseboard	wood	fair	retain	existing materials to be retained and refinished
Wall Finish	plaster	fair	retain	Patch and repair damaged plaster finishes, refinishing to include skim coat as required and repainting
Specialty Finishes	wall moldings	fair	retain	existing materials to be retained and refinished
<b>Interior Doors</b>				
Frame	steel frame	fair	retain	existing materials to be retained and refinished
Door	steel gates	fair	retain	existing materials to be retained and refinished
Finish Hardware	lockset on gates	poor	replace	upgrade with exit style as required by code
Fitments	interior furnishings	fair	(tenant item)	not in contract
Lighting	ceiling mounted fixture	fair	retain	existing lighting to remain.
<b>Display South Entry</b>				
Flooring	carpet	fair	replacement	existing floor finishes to be replaced with commercial grade flooring suitable for anticipated traffic demands
Baseboard	wood	fair	retain	existing materials to be retained and refinished
Wall Finish	plaster	fair	retain	Patch and repair damaged plaster finishes, refinishing to include skim coat as required and repainting
Specialty Finishes	wall moldings	fair	retain	existing materials to be retained and refinished
<b>Interior Doors</b>				
Frame	steel frame	fair	retain	existing materials to be retained and refinished
Door	steel gates	fair	retain	existing materials to be retained and refinished
Finish Hardware	lockset on gates	poor	replace	upgrade with exit style as required by code
Fitments	interior furnishings	fair	(tenant item)	not in contract
Lighting	ceiling mounted fixture	fair	retain	existing lighting to remain.

## **6. PROPOSED REDEVELOPMENT**

The existing facility is proposed to be redeveloped as a mixed-use complex that would contain:

- Legion functions and administration for the membership
- Public functions for viewing of historic and significant memorabilia
- Public viewing of the main building elements including murals, stone work and metalworks.
- Landlord developed parking functions for adjacent / public occupancy located at the west (lane) side of the existing facility.

The general intent of the proposed redevelopment is to maintain the existing street side functions while repurposing the lane side functions of the site. Refer to attached drawings for illustration and design layouts of the intended refurbishing. These drawings are provided as information related to the overall intent of the development; final detail resolution and materials selection will be completed as the process moves through the document stages.



The street side functions require that the developer maintain the existing eastern façade along with the defining elements of the tower and immediate eastern wings (north and south sides). The proposed scope of development for the existing eastern facade includes:

- Rebuild the existing entrance stairs using salvaged and matching materials including lighting and rail systems.
- Refurbish the east façade through repointing of damaged masonry areas
- Repair the existing glazing systems and frames along the east and adjacent building sides
- Replace the roof membrane systems of the remaining facility to protect the building structure and assembled memorabilia.



The intended use of the existing facility and public functions will require that secondary exits are provided from each floor level. The summary of these elements includes:

- Demolition of the existing Lancaster entrance adjacent the North wing.
- Construction of new stair access points on the north and south wings.
- Installation of an internal accessible lift (proposed in the south wing), entry level at grade.
- It is intended that materials used in the finishing of the proposed additions will be salvaged from the existing west wing as it is repurposed in this process.
- New materials as may be required would be sourced to match or blend with the existing finishes, creating a coherent sense of the original building character.



The basic building infrastructure would be revised in accordance with the development sequences.

The revisions would include:

- Upgrade mechanical heating systems as required to service the east side occupancy.
- Upgrade the electrical distribution system as required to service the east side occupancy.
- Existing lighting within the eastern occupied areas would remain with replacement to energy efficient fixtures where possible.

The west side of the building is proposed to be repurposed under this development to create tiered open air parking. It is intended that this area be separated from the occupied east wing areas. This reconstruction would include:

- Demolition of the auditorium and meeting room areas. (Current structural analysis has identified potential flaws in the roof structure which inhibit redevelopment of these areas. Refer to J.C. Kenyon Report on file with A to B Development Consultants Ltd, dated 30 Sept. 2009).
- Salvage of all available construction finishes for reuse in the eastern façade/stairwell development
- Retention of the basement (lower floor level) and foundation walls to serve as the basis of the parking structure. No excavation below the existing lower level slab is intended.
- Retention/development of existing storage and utility service areas currently located on the lower level at the west side.
- Construction of a fire wall separating the occupied east side from the west side parking areas. The fire wall would be incorporated into the existing building systems and finished on exposed sides to match current finishes.
- Construction of new upper level parking structure using new support elements as required.
- Installation of parking rail system on the upper level perimeter.
- Infill of existing foundation walls (openings) to provide air flow while restricting public access.
- Construction of new stair access points to the parking area.
- Construction of bicycle storage zones within the developed parking area.



The intended construction of the west development would be restrained to fit within the existing building sight lines from the eastern street approach. In this fashion, any development on the west side remains unobtrusive and does not impact the existing historic façade.

## **7. BIBLIOGRAPHY**

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**APPENDIX A: Images**



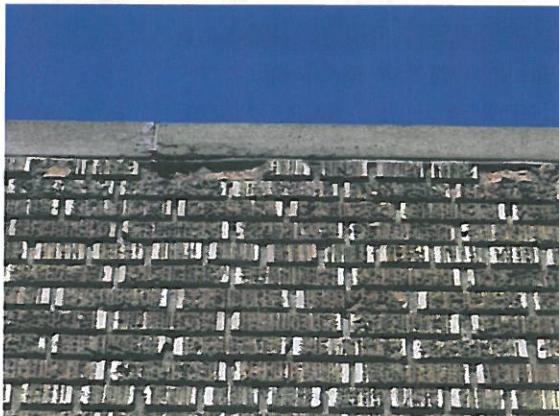
**Figure 1: North-East Wing Roof**

Moss growth is a sign of an excessive build-up of moisture within the roof membrane



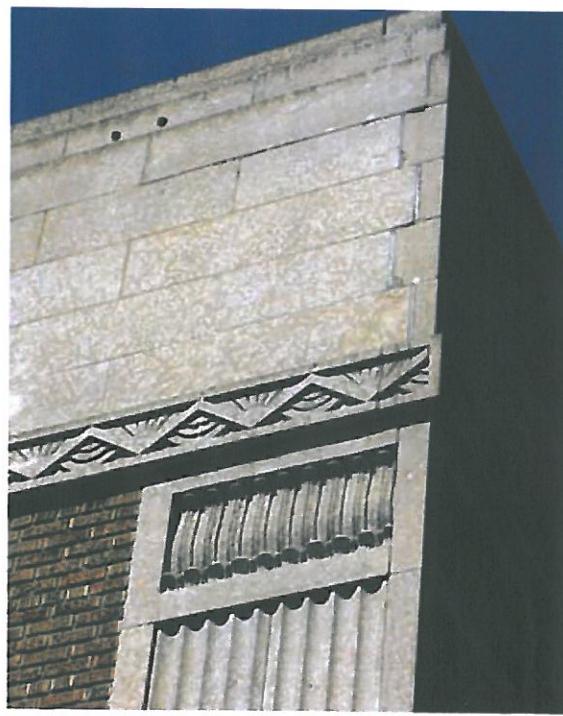
**Figure 2: Interior Parapet Roof Flashing**

Cant flashings have been compromised and bent, allowing driven moisture to enter the building envelope



**Figure 3: Upper Wall South Side**

Damaged bricks below the parapet cap are indicative of ice build-up and moisture penetration into the existing finishes.



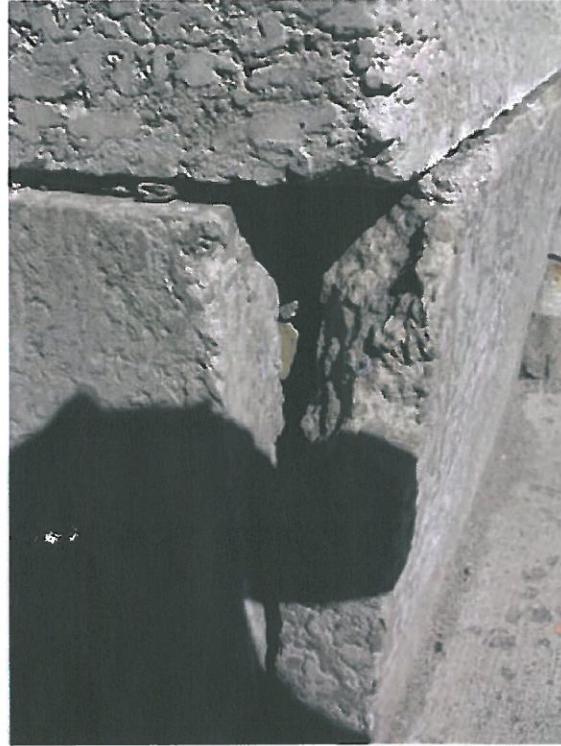
**Figure 4: Peace Tower Parapet**

The inscribed stone frieze shows evidence of slippage and past attempts at repair along the corner piece connections



**Figure 5: Main Entrance Stair**

Tread slabs have heaved and are no longer level or plumb. Significant gaps have developed at the mortar joints. Handrails are extensively damaged and inconsistent with current building codes.



**Figure 6: Main Stair Sidewalls**

Damaged corner of the exterior entrance podium.



**Figure 7: Main Entrance Door**

Entrance door is damaged and present evidence of moisture penetration and subsequent deterioration.



**Figure 8: Main Entrance Door Transom**

Frame of stained glass shows signs of deterioration.



**Figure 9: Main Floor Window Frame**

Rot and splitting at the wood window frames.



**Figure 10: Basement Level Window Infill**

Window boarded up to house exhaust fan and air conditioning unit.



**Figure 11: Main Stair Handrail Modifications**

Original handrail was retrofitted with metal pipe extension to comply with building code at the time of modification.



**Figure 12: Main (North) Entrance Stair**

Nosings of entrance stairs have eroded due to salts and wear.



**Figure 13: Main Entrance Stair Ceiling Crownmold**

Significant damage to the ceiling plaster at the cornice line in the Peace Tower, noted along the north wall line.

**CONSERVATION ASSESSMENT**  
**Royal Canadian Legion Memorial Hall**  
**1820 Cornwall Street, Regina, Saskatchewan**

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**APPENDIX B: Drawings**

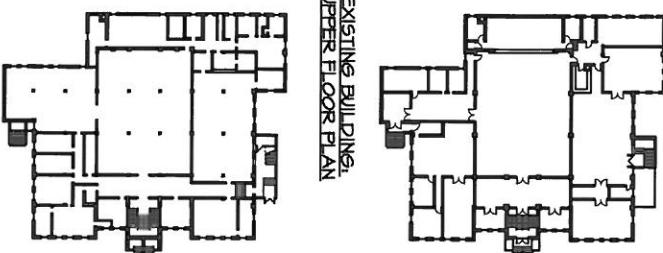


# Appendix 3.1

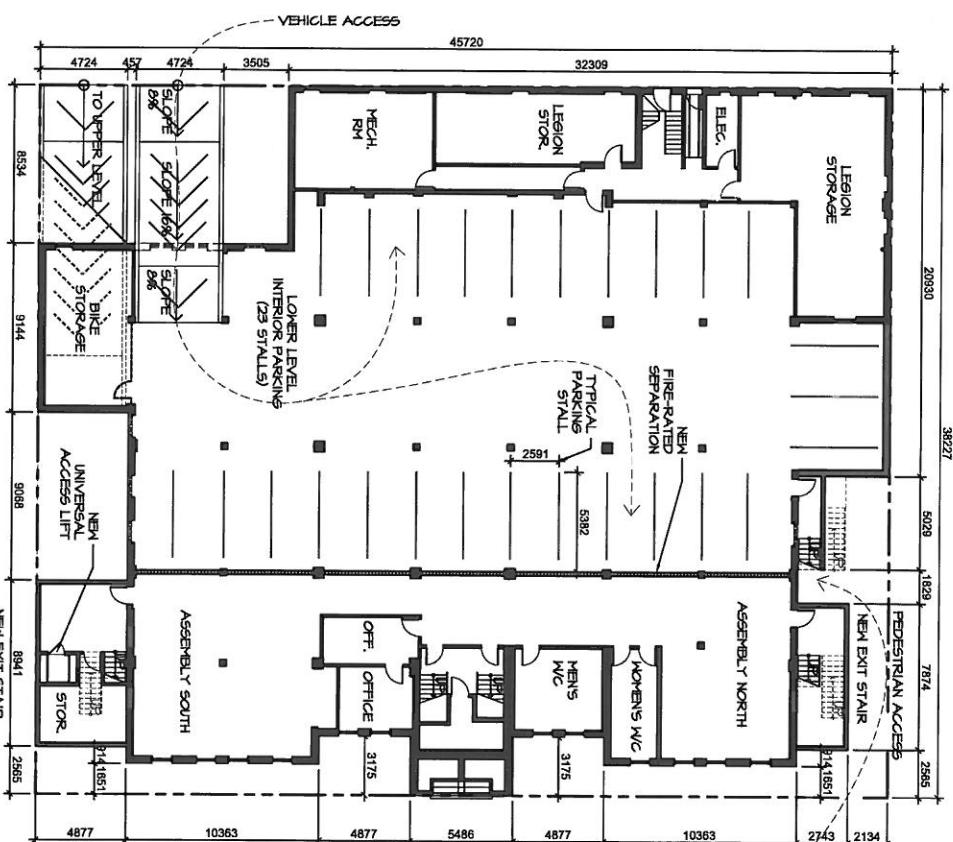
## PROPOSED DEVELOPMENT PROJECT INFORMATION

ZONING,	D-DOWNTOWN
SITE AREA (m <sup>2</sup> ),	1476.6 m <sup>2</sup>
TOTAL FLOOR AREA (m <sup>2</sup> ),	1542.37 m <sup>2</sup>
FLOOR SPACE RATIO,	0.89:1
SITE COVERAGE (%),	8.8%
OPEN SITE SPACE (%),	12.8%
HEIGHT OF BUILDING (m),	10.57 m
NUMBER OF STOREYS (n),	2
PARKING STALLS ON SITE (#),	54
BUILDING SETBACKS,	
FRONT YARD,	1.68 m
REAR YARD,	0 m
SIDE YARD (NORTH),	0 m
SIDE YARD (SOUTH),	0 m

## ① EXISTING BUILDING, UPPER FLOOR PLAN



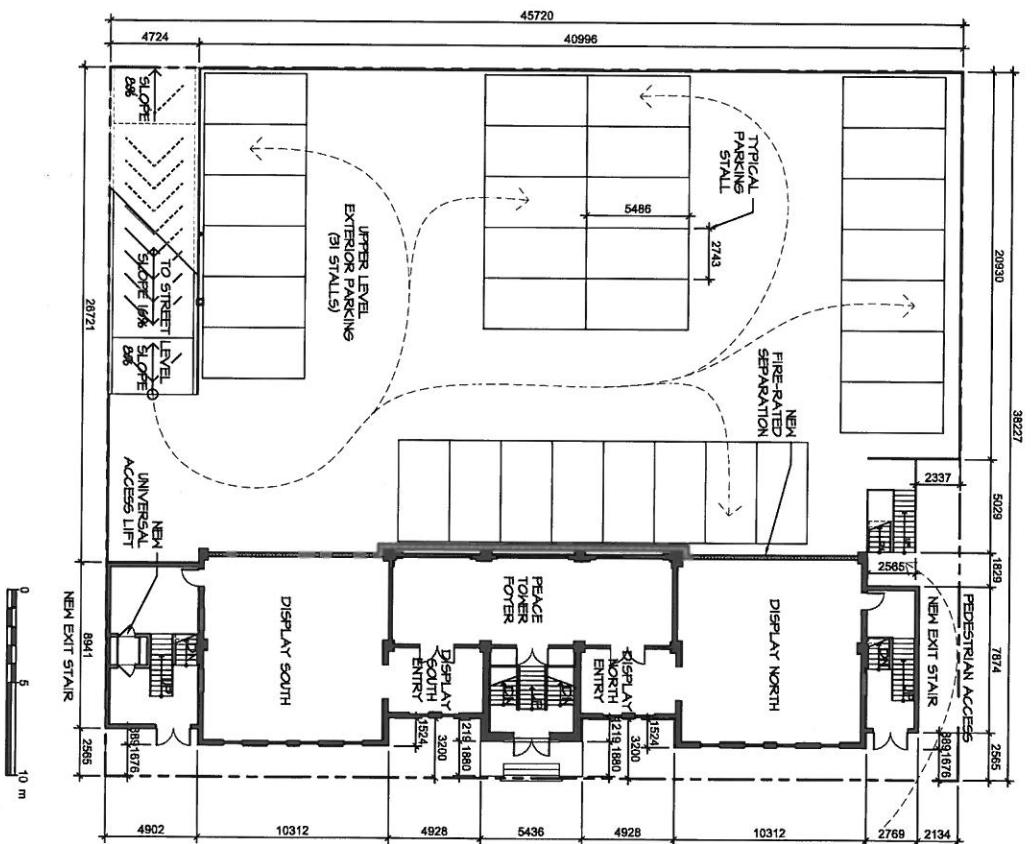
## ① PROPOSED LOWER FLOOR PLAN



REVISIONS TITLE	PROJECT TITLE		
REVISION NO.	CHANGED BY	APPROVED	DATE
FILE NO.	REASONING NO.		
<b>11-60 P1-1</b>			
<small>Proposed Rehabilitation 2079 Commercial Street 1000 Commercial Street Rogers, Saskatchewan Project No. 11-60 Printed by Create Architecture and Design Ltd. Printed by Create Architecture and Design Ltd. Printed by Create Architecture and Design Ltd. Printed by Create Architecture and Design Ltd.</small>			

CREATE  
ARCHITECTURE AND DESIGN LTD.

**1 PROPOSED UPPER FLOOR PLAN**



PROJECT TITLE PROPOSED REHABILITATION ROYAL Canadian Legion Memorial Hall 1820 Commercial Street Regina, Saskatchewan		REVIEWER SIGNATURE <i>CREATE</i>
DRAWING TITLE UPPER FLOOR PLAN		DATE ISSUED MAY 2012
DRAWN BY NAME PEN NO. 11-60		APPROVED NAME SIGNATURE P-1-2
NOTES: REVIEWER SIGNATURE DATE ISSUED APPROVED SIGNATURE DATE ISSUED		

EXISTING BUILDINGS  
REPAIR & REPOINT MASONRY AS REQUIRED

EL. 30'-8" T/O PARAPET

EL. 22'-6" T/O PARAPET

EL. 21'-0" T/O ADDITION

EL. 0'-0" GROUND LEVEL

*KREATE*  
PROJECT NO. 100-00000000000000000000000000000000  
SECTION @ SOUTH ELEVATION  
PROPOSED REHABILITATION  
RBC Co-operative Mutual Hall  
1820 Cornwall Street  
Regina, Saskatchewan  
DATE DRAWN: 04/12/2012  
DRAWN BY: [Signature]  
APPROVED BY: [Signature]  
FILE NO.: 11-60 P1-3  
NOTES:  
1. All dimensions are in feet and inches.  
2. All dimensions are approximate.  
3. All dimensions are measured from the exterior wall of the building.  
4. All dimensions are measured from the exterior wall of the building.

**1 PROPOSED SECTION @ SOUTH ELEVATION**

REPAIR & REPOINT MASONRY AS REQUIRED

EXISTING BUILDING

EXISTING MASONRY AS REQUIRED

EL. 30'-8" T/O PARAPET

EL. 22'-6" T/O PARAPET

EL. 0'-0" GROUND LEVEL

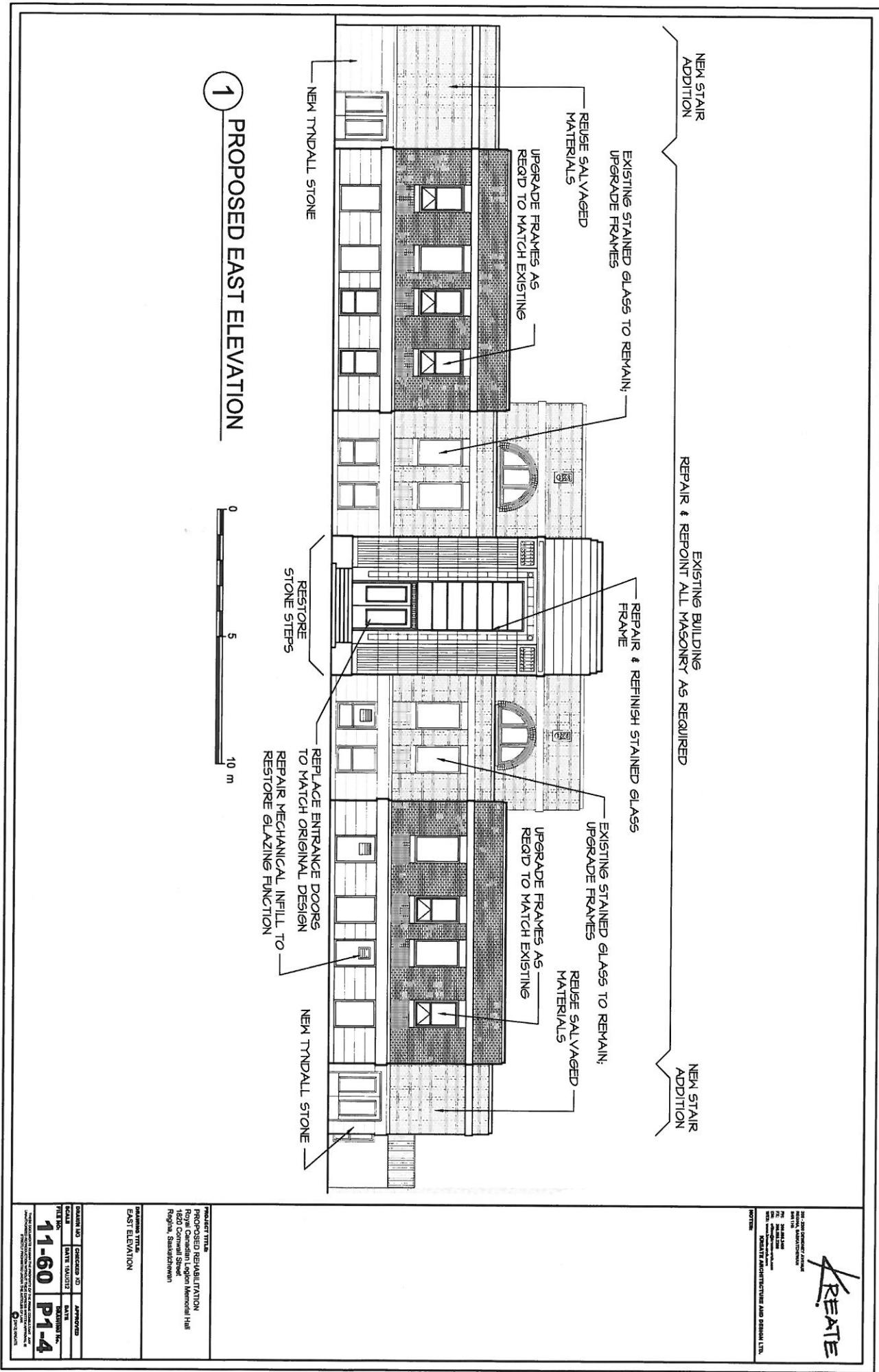
METAL GUARD RAIL

METAL GUARD RAIL

EL. 21'-0" T/O ADDITION  
EL. 4'-0" LOWER PARKING  
EL. 7'-8" T/O PARKING  
EL. 0'-0" GROUND LEVEL  
REUSE SALVAGED MATERIALS  
RESTORE STONE STEPS  
WALL SHARED WITH ADJACENT BUILDING  
NEW METAL MESH IN EXISTING OPENINGS  
NEW DOORS IN EXISTING WINDOW OPENINGS  
BIKE STORAGE AREA  
NEW METAL MESH IN EXISTING OPENINGS  
NEW STAIR ADDITION

**2 PROPOSED SECTION @ NORTH ELEVATION**

*KREATE*  
PROJECT NO. 100-00000000000000000000000000000000  
SECTION @ NORTH ELEVATION  
PROPOSED REHABILITATION  
RBC Co-operative Mutual Hall  
1820 Cornwall Street  
Regina, Saskatchewan  
DATE DRAWN: 04/12/2012  
DRAWN BY: [Signature]  
APPROVED BY: [Signature]  
FILE NO.: 11-60 P1-3  
NOTES:  
1. All dimensions are in feet and inches.  
2. All dimensions are approximate.  
3. All dimensions are measured from the exterior wall of the building.  
4. All dimensions are measured from the exterior wall of the building.



September 26, 2012

To: Members,  
Regina Planning Commission

Re: Discretionary Use Application (12-DU-21) Proposed Planned Group of Dwellings  
Hawkstone Village, Hawkstone Subdivision

---

**RECOMMENDATION**

1. That the discretionary use application for a proposed planned group of townhouse dwellings located within the Hawkstone concept plan area, being Parcel V, NE  $\frac{1}{4}$  1-18-20 W2M, at Rochdale Boulevard and Elgaard Drive, be APPROVED subject to the following conditions:
  - a. The development shall be consistent with the attached site plan and elevations dated June 12, 2012 in Appendix 3;
  - b. That pursuant to Section 18D.1.1 of the Zoning Bylaw, City Council waive the requirement to post a public notification sign on the subject lands, due to their remote location and the current unavailability of direct public access; and
  - c. The development shall comply with all applicable standards and regulations in Regina Zoning Bylaw No. 9250.
2. That this report be forwarded to the October 9, 2012 meeting of City Council.

**CONCLUSION**

The applicant proposes to develop a planned group of townhouse dwellings on the subject property, which will include seven townhouse buildings with a total of 80 units, which would be in condominium ownership. The density of the development conforms to the approved Hawkstone concept plan, which identified the property for high density residential development.

The proposal meets the regulations and requirements of *Regina Zoning Bylaw No. 9250*. The proposal is also consistent with the policies contained within *Regina Development Plan Bylaw No. 7877* (Official Community Plan) with respect to encouraging a variety of housing options on a city-wide basis. The proposal is a complementary addition to the mix of residential uses in the Hawkstone subdivision.

**BACKGROUND**

An application for discretionary use has been submitted for approval. The subject property is located within the Hawkstone subdivision and north of the Argyle Park Community Association boundaries.

The application is being considered pursuant to *Regina Zoning Bylaw No. 9520*, *Regina Development Plan Bylaw No. 7877* (Official Community Plan), and *The Planning and Development Act, 2007*.

## DISCUSSION

The applicant proposes to develop 80 townhouse dwelling units in the form of five 12-unit townhouse buildings and two 10-unit townhouse buildings. The proposed development will include 104 parking stalls, which exceeds the minimum parking requirement by 24 stalls. The subject property is currently zoned R6 – Residential Multiple Housing, in which a planned group of dwellings is a discretionary use.

Surrounding land uses are low-density residential lots to the east, future apartment buildings to the north, a future neighbourhood park to the south, and future high density dwellings to the west within the Hawkstone subdivision.

### **Site Design**

Each side of the townhouse buildings have windows which allow for casual surveillance onto the subject property as well as onto Rochdale Boulevard and Elgaard Drive, and the neighbourhood park to the south of the site. This maximizes visibility, encourages the use of public spaces and prevents crime. The townhouse buildings also front onto the street (Rochdale and Elgaard), creating an accessible entrance for pedestrians and encouraging interactions between residents and the street level. This creates a better urban design condition and promotes safety. The visibility of parked cars is minimized by being situated between the townhouse buildings.

The public amenity space on the site is easily accessible from all townhouse units as well as from Elgaard Drive. The preschool and school aged children's areas have been combined to be functional in size and allows parents to be with children of different ages at the same time.

In addition, a walkway leads from Elgaard Drive through the public space and into the parking area. This allows for tenants and visitors to walk safely and conveniently from the right-of-way to the inner townhouse units.

### **Regina Development Plan (Official Community Plan)**

The proposal responds to the following policies in the Housing Objectives section in Part A – Policy Plan of the *Regina Development Plan Bylaw No. 7877* (Official Community Plan):

- That the City should achieve a mix of housing types and densities to suit different lifestyles, income levels and special needs in existing and future neighbourhoods**

Eighty two-bedroom condominium units comprise the proposed townhouse buildings. These units will add to the housing choices available in the Hawkstone subdivision to suit residents with different lifestyles and income levels.

- That the City should encourage higher density housing along or adjacent to major arterial streets**

The proposed higher density planned group of townhouses is along Rochdale Boulevard, which is a major arterial. A potential transit route is proposed along Rochdale Boulevard that will pass in front of the proposed development. Also, an on-street greenway that accommodates cycling and walking is planned along Argyle Street, one block away from the site. These routes will encourage increased pedestrian, bicycle and transit use.

The proposal is also consistent with the policies concerning staged and sequential growth contained in Part C – Northwest Sector Plan of the OCP and the overall growth management policies contained in Part A – Policy Plan of the OCP.

The attached Hawkstone concept plan identifies the subject property for the development of high density residential units, or greater than 50 units per hectare. The density of the proposed development in this parcel would be 63.6 units/ hectare.

### RECOMMENDATION IMPLICATIONS

#### Financial Implications

The applicant will be responsible for the cost of any additional or changes to existing infrastructure that may be required to directly or indirectly support the development, in accordance with City standards and applicable legal requirements. The costs of water, sewer and storm drainage services are fully recovered through the utility charges.

The applicant is not proposing to develop rental units. As such, the proposal does not qualify for tax abatement under the City of Regina's Housing Incentive Program.

#### Environmental Implications

The proposed high density residential development contributes to the overall objective of the Development Plan (OCP) to encourage a compact urban form.

The proposed development is located over the moderate sensitivity zone of the aquifer. Excavations should not exceed 4.5 m in depth according to the City's Zoning Bylaw.

#### Strategic Implications

The proposed development provides high density dwellings, which contributes to a compact urban form and sufficient supply of land for future growth. Proximity to arterial streets with transit service and greenway will also encourage increased pedestrian, bicycle and public transit use. This aligns with and enables the City's vision of managing growth and community development.

#### Accessibility Implications

The applicant is required to provide a minimum of two accessible parking stalls for residents/visitors on the site.

### COMMUNICATIONS

The subject lands were not sign-posted due to their remoteness from surrounding urban development and the current unavailability of direct public access to the site. The Administration acknowledges that according to Section 18D.1.1 of the Zoning Bylaw, the authority to waive the sign-posting requirement rests exclusively with City Council. Although occurring after the fact, a recommendation has been provided for Council to waive this requirement.

Direct notice of the proposal was not mailed out to property owners in the vicinity because no residences are occupied in the vicinity yet.

The Administration notified the public through the circulation of the proposal to the Argyle Park Community Association and the North Zone Board. No comments were received from the Community Association or Zone board prior to the finalization of this report.

### **Other Agencies**

The applicant's proposal was circulated to the Public and Separate School Boards for review and comment. Both school boards indicated that they did not have any concerns with the proposal.

### **DELEGATED AUTHORITY**

City Council's approval is required, pursuant to Section 56 of the *Planning and Development Act*, 2007.

Respectfully submitted,



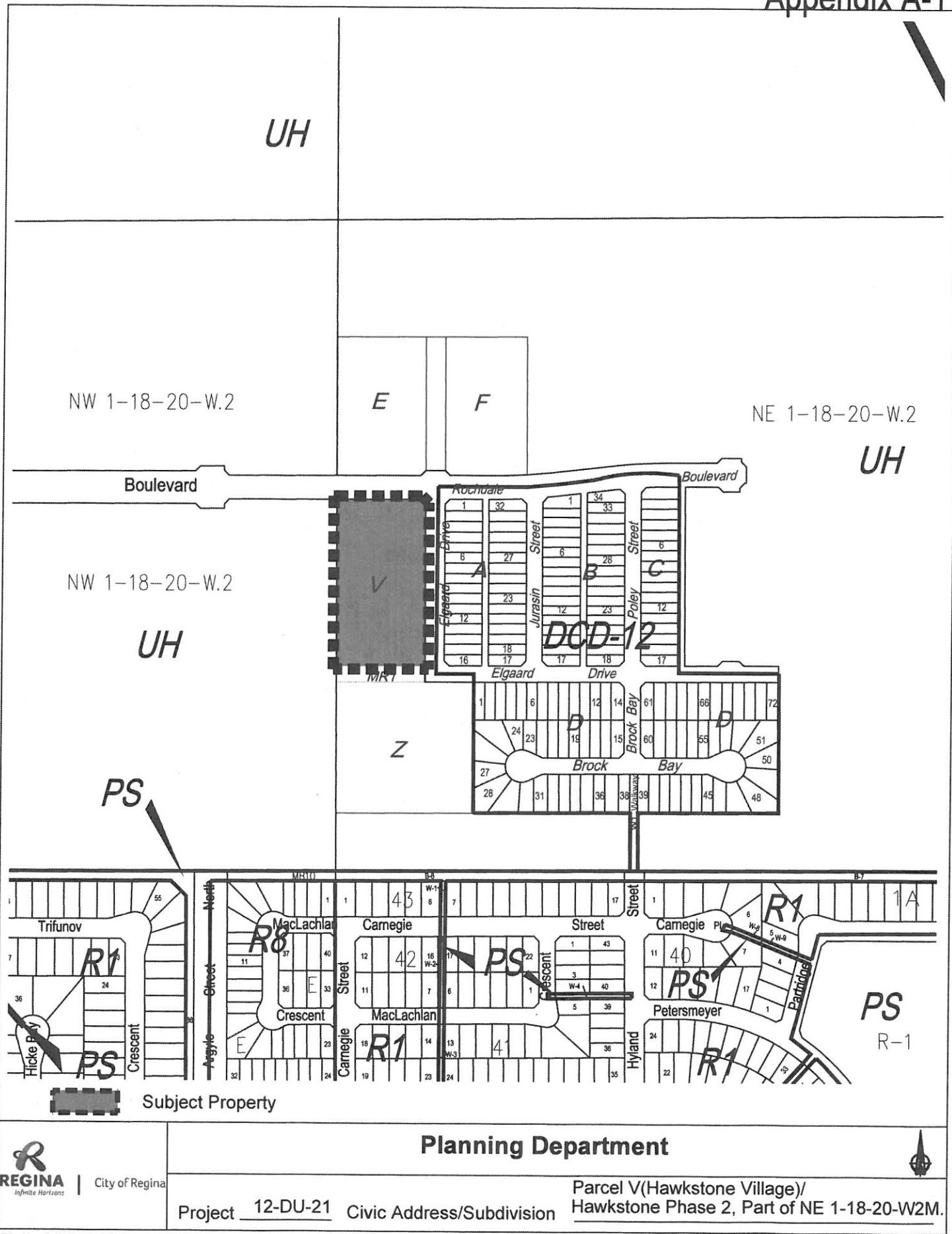
Diana Hawryluk, Director  
Planning Department

Respectfully submitted,

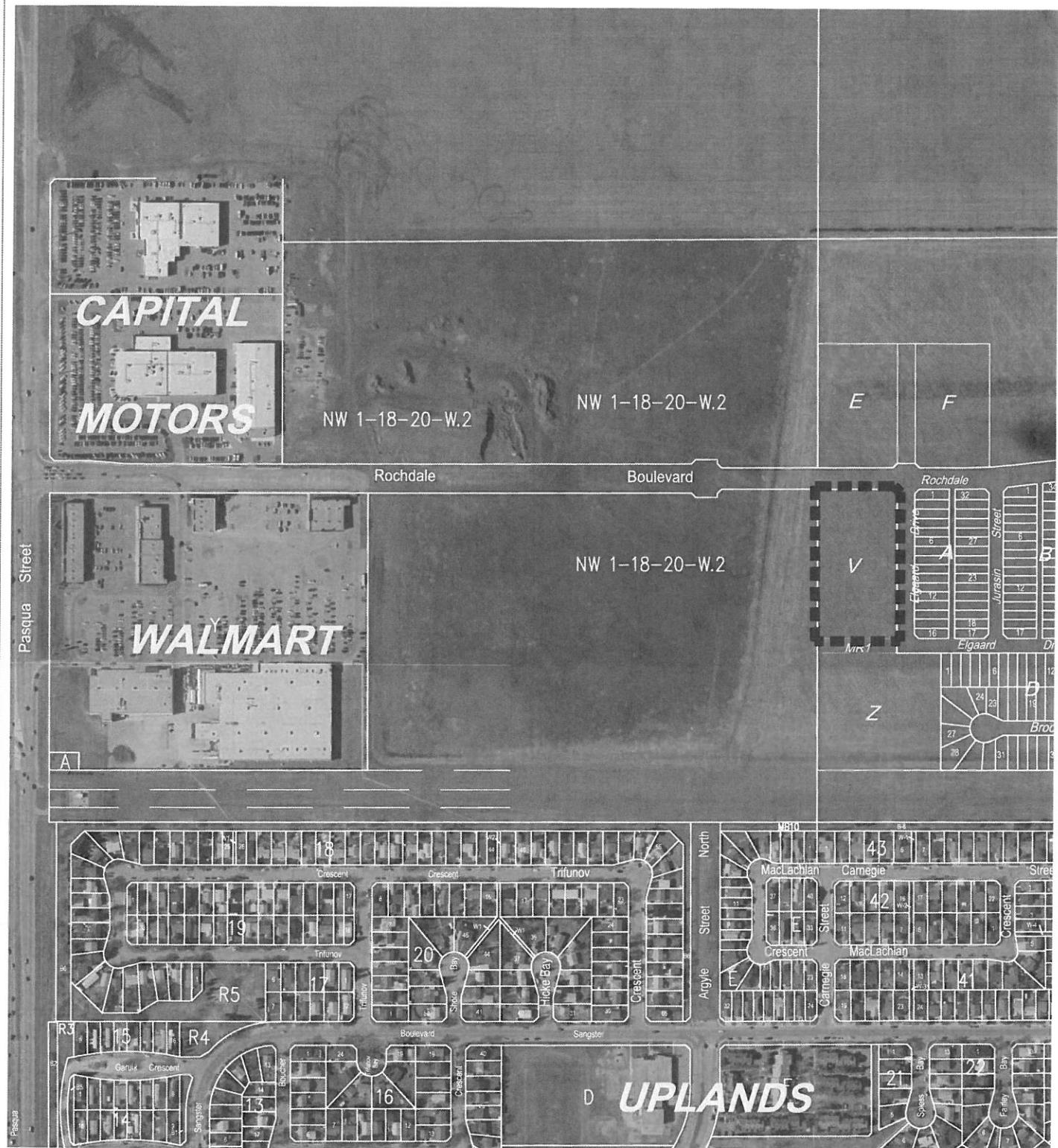


Jason Carlton, Deputy City Manager  
Community Planning and Development

# Appendix A-1



# Appendix A-2



Subject Property

Date of Photography : 2009



City of Regina

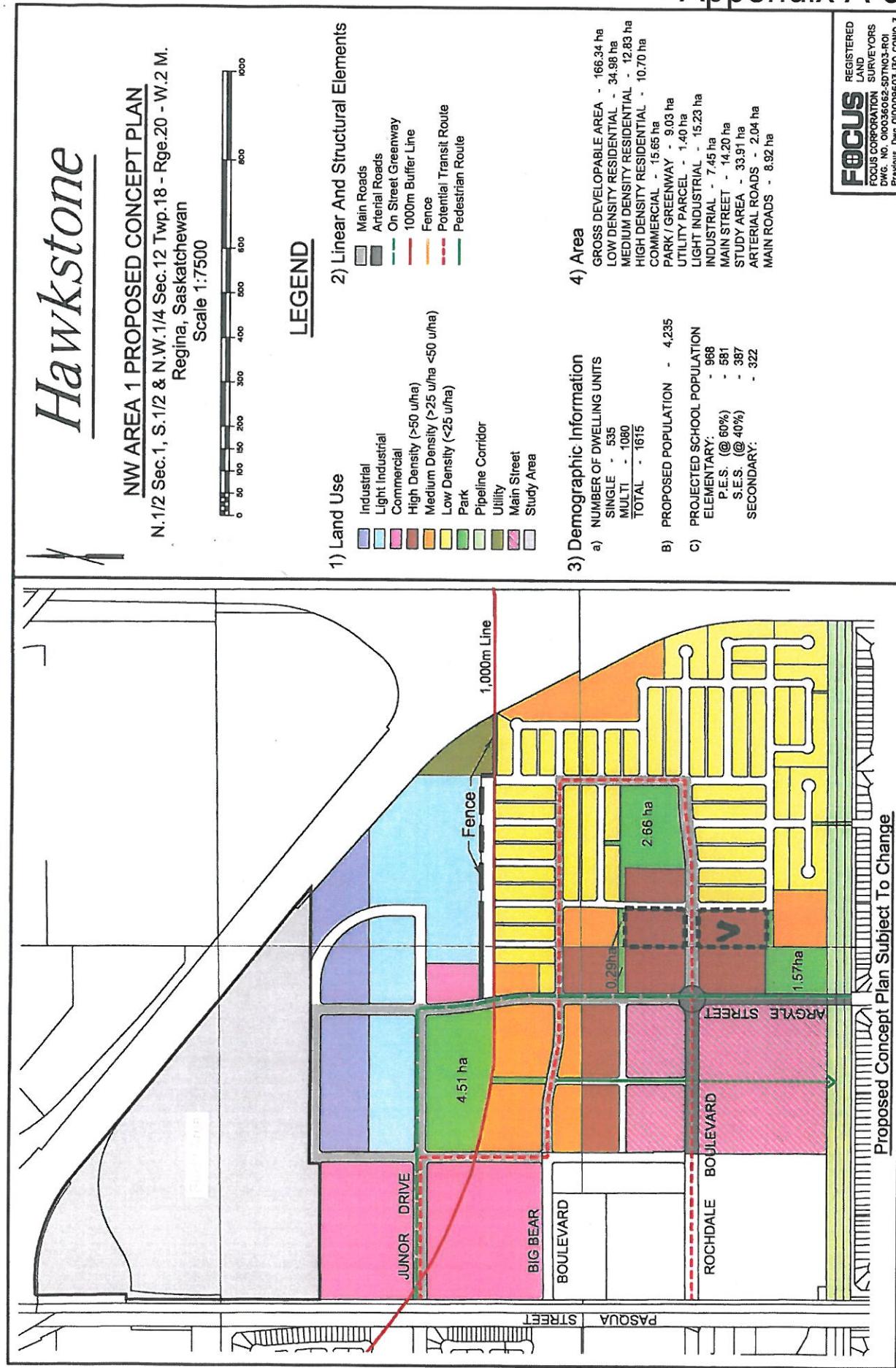
**Planning Department**

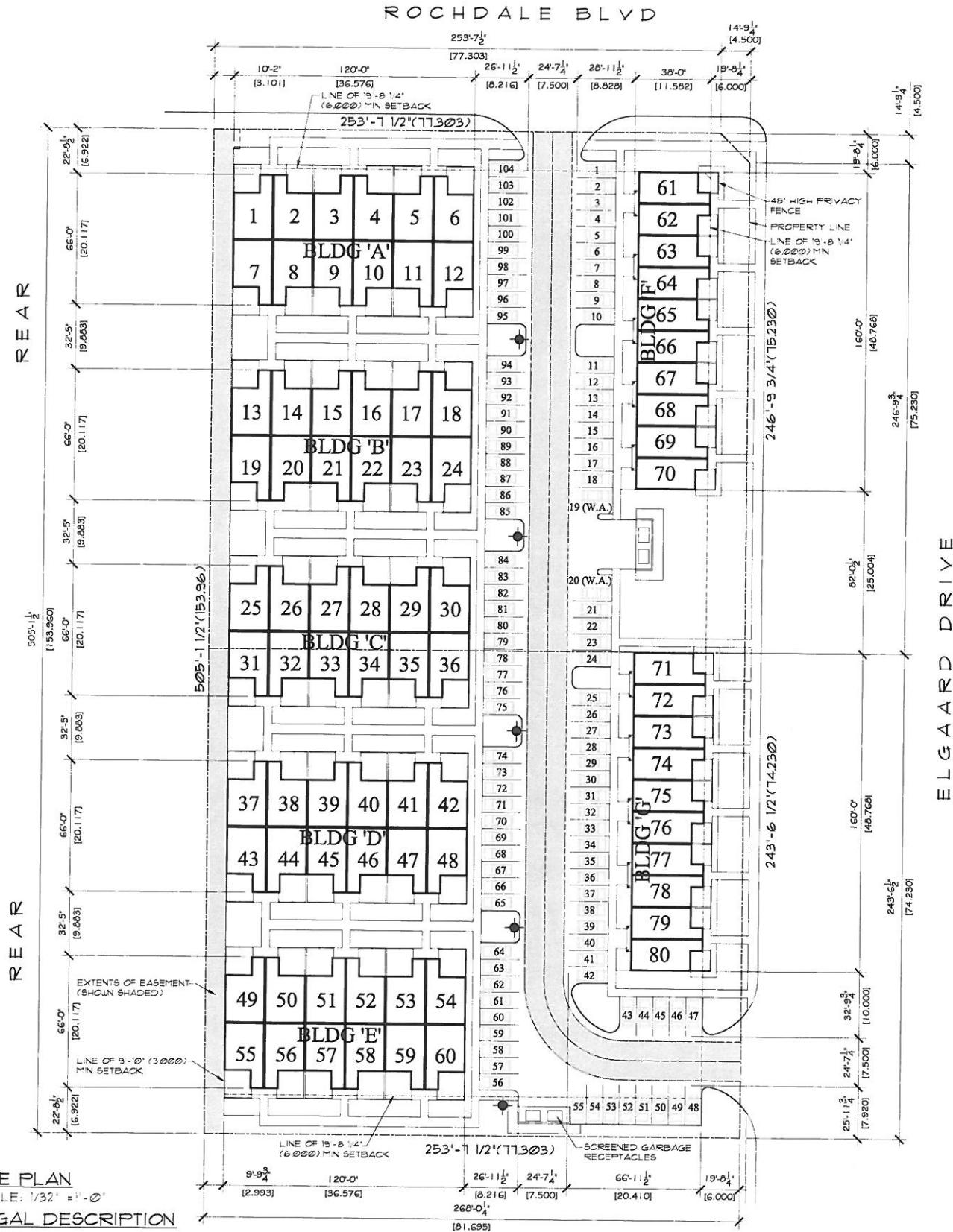


Project 12-DU-21

Civic Address/Subdivision

Parcel V(Hawkstone Village)/  
Hawkstone Phase 2, Part of NE 1-18-20-W2M.





## SITE PLAN

SCALE: 1/32" = 1'-0"

LEGAL DESCRIPTION

LOT: \*-----  
BLOCK: \*-----  
PLAN: \*-----

LOCATION: REC

**EDUCATION: REGISTRATION ADDRESS**

CIVIC ADDRESS: \*----- ROCHDALE BLVD

**ROBINSON  
RESIDENTIAL**  
PERSONALIZING HOME DESIGN

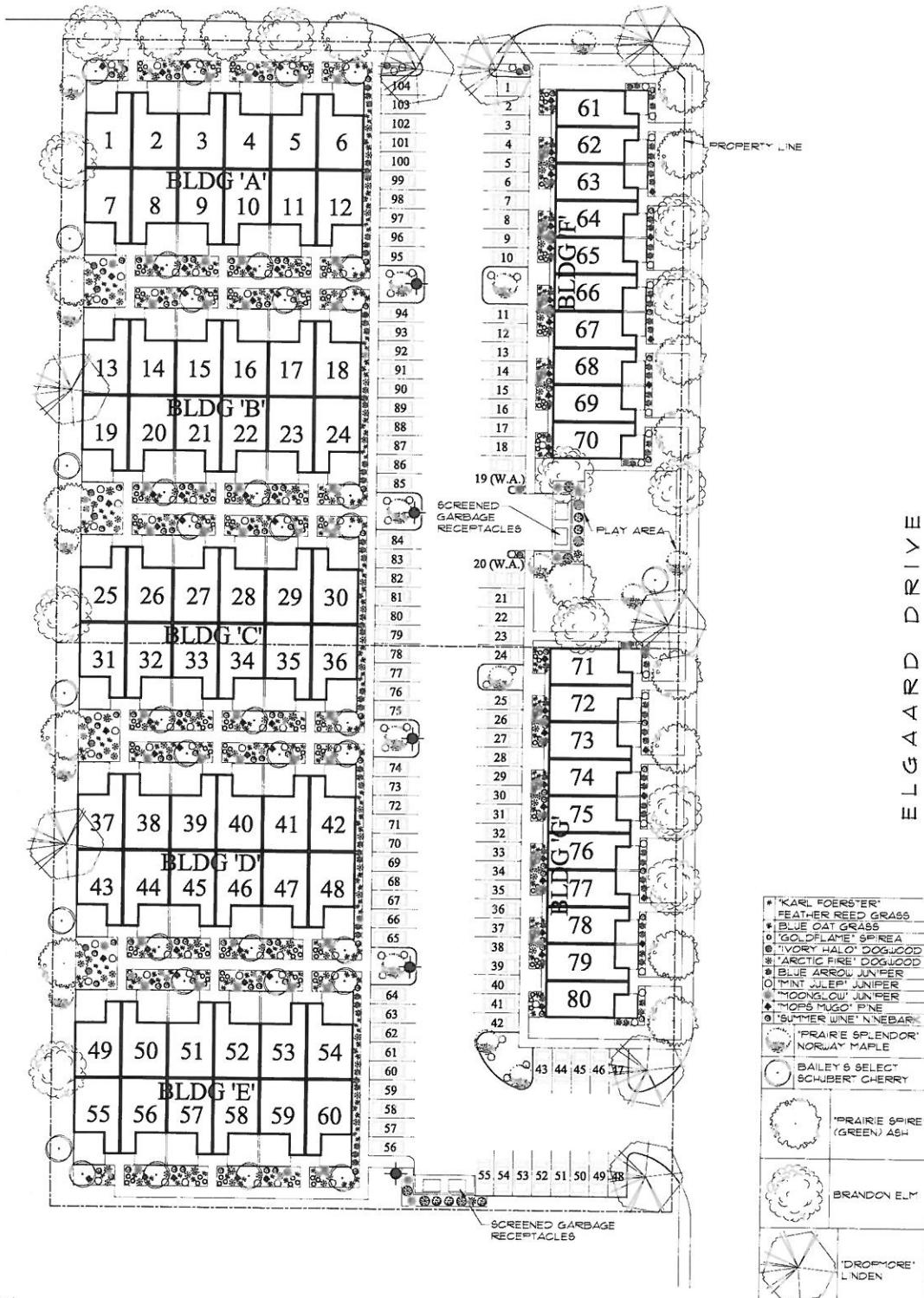
PROJECT	PROPOSED TOWNHOUSE DEVELOPMENT REGINA, SASKATCHEWAN			SCALE	DESIGNED BY	DRAWN BY	DATE	DRAWING NO.
2343 BROAD STREET REGINA, SASKATCHEWAN CANADA S4P 1Y9 TEL: (306) 352-6611 FAX: (306) 352-0619	RENDERING	Ground site of these plans remains with Robinson Inc. until these plans in whole or in part are submitted to the City of Regina for plan approval. No other use of these plans is permitted from Robinson Inc. without written permission from Robinson Inc.  1. Drawing and Not to be copied.	3. A. Are you Drawn to: _____ the Canadian Architectural Institute of Drafters (CAID) or Local Building Department? _____ B. If Local Building Department, is this drawing submitted by Local or other? _____ C. If Local Building Department, is this drawing submitted by your own office? _____ D. If Local Building Department, is this drawing submitted by another office? _____ E. If Local Building Department, is this drawing submitted by a registered architect? _____ F. If Local Building Department, is this drawing submitted by a registered engineer? _____ G. If Local Building Department, is this drawing submitted by a registered architect and engineer? _____	1/32" x 1-1/2"	ROBINSON	SALDER	JUNE 2, 2002	A-8
			DRAWING TITLE SITE PLAN					

ROCHDALE BLD

EAR  
R

四二

ELEGANT DRIVE



SITE PLAN

SCALE: 1/32" = 1'-0"

LEGAL DESCRIPTION

LOT: -----  
BLOCK: -----  
PLAN: -----  
LOCATION: REGINA, SASKATCHEWAN  
CIVIC ADDRESS: ----- ROCHDALE BLVD

# ROBINSON RESIDENTIAL

PERSONALIZING HOME DESIGN

PROJECT

#### <sup>†</sup> PROPOSED TOWNHOUSE DEVELOPMENT

2343 BROAD STREET  
REGINA, SASKATCHEWAN  
CANADA S4P 1Y9  
TEL: (306) 352-6617  
FAX: (306) 352-6619

**DISCLAIMER** Copyright of these plans remain with Robinson Residential Design Inc. Duplication or sharing plans in whole or in part is strictly prohibited, without written permission from Robinson Residential Design Inc.

ENT  
REGINA-SASKATCHEWAN

CALE 182' = 1-0" DESIGNED BY ROBINSON DRAWN BY SAUER DATE JUNE 12, 2002 DRAWING NO.

DRAWING TITLE

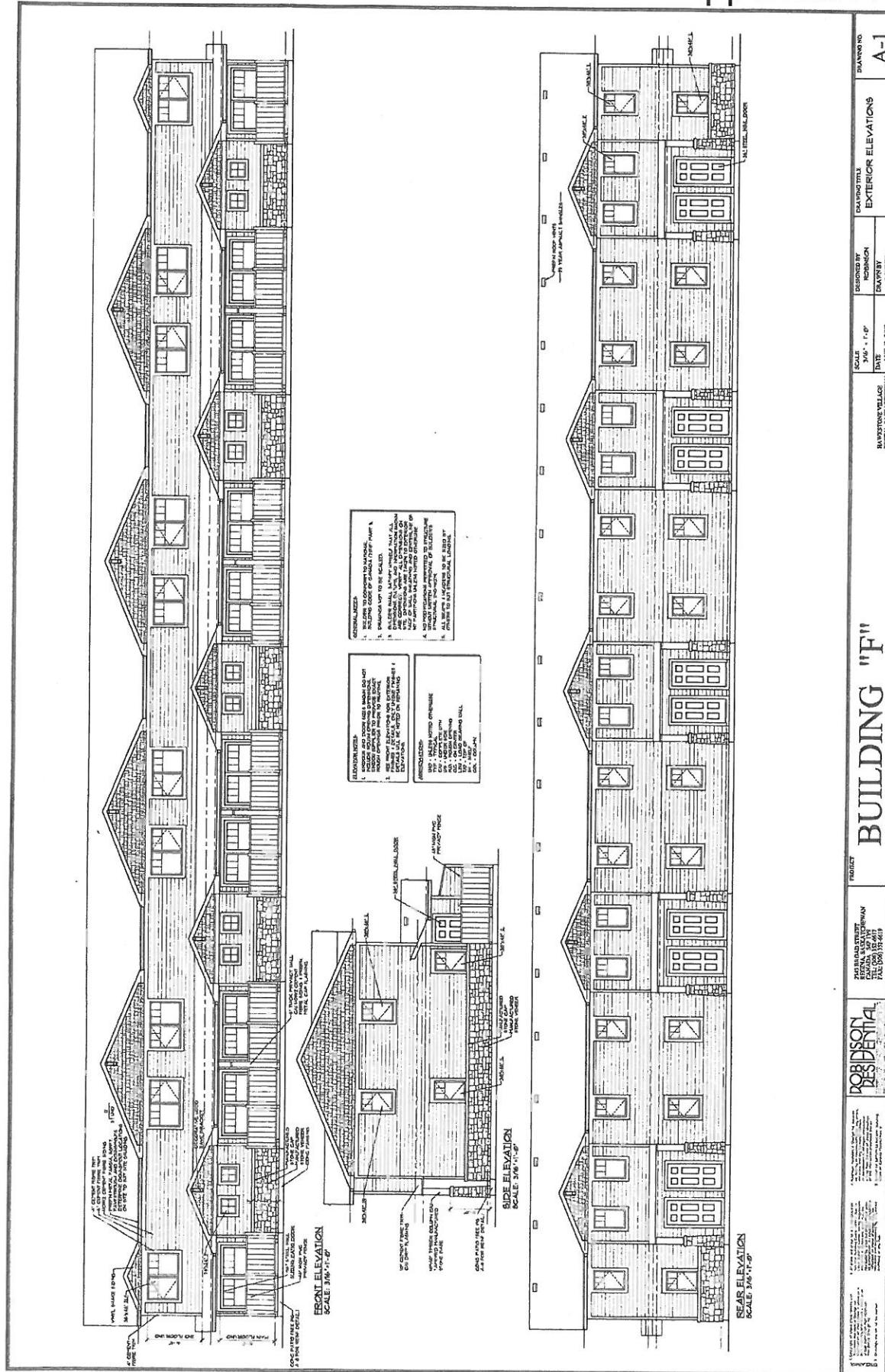
A=8

LANDSCAPE PLAN 110

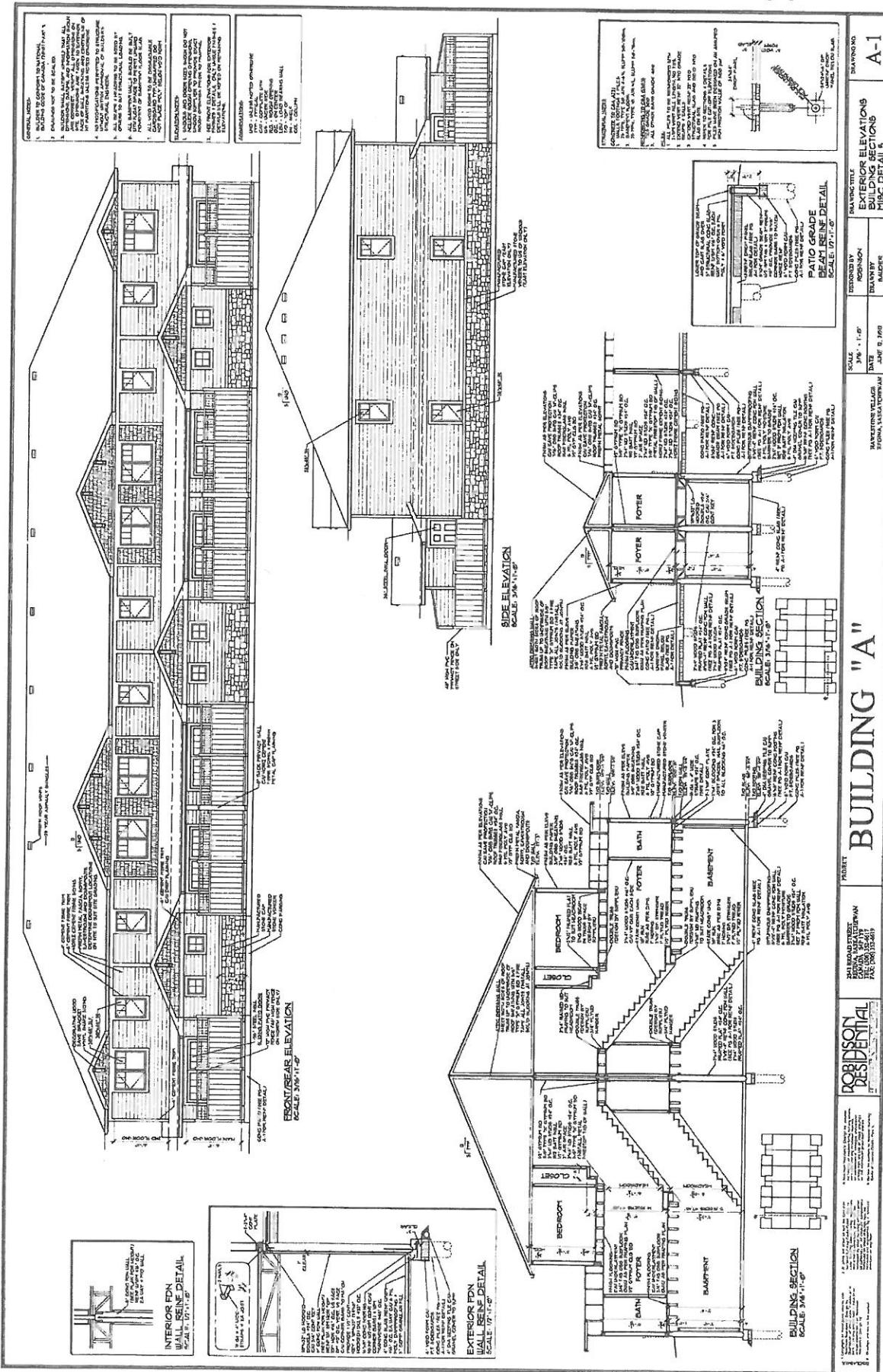
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—  
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A-8

## Appendix A-3.4



## Appendix A-3.5



September 26, 2012

To: Members,  
Regina Planning Commission

Re: Application for Discretionary Use Approval (12-DU-23)  
Proposed Restaurant 1757 Halifax Street, Old 33

---

**RECOMMENDATION**

1. That the discretionary use application for a proposed restaurant located at 1757 Halifax Street, being Lot 41 in Block 290, Plan No. 101160481, be APPROVED, subject to the following conditions:
  - a. The development be consistent with the attached plan labelled “restaurant plan” in Appendix 3; and
  - b. The development shall comply with all applicable standards and regulations in Regina Zoning Bylaw No. 9250.
2. That this report be forwarded to the October 9, 2012 meeting of City Council.

**CONCLUSION**

The applicant proposes to develop a restaurant on the subject property. The restaurant is an appropriate use and complementary addition to the mix of commercial uses in the area and conforms to applicable provisions of the Zoning Bylaw and the Official Community Plan (OCP).

**BACKGROUND**

An application for discretionary use has been submitted for a restaurant. The subject property is located within the Old 33 subdivision and the boundaries of the Heritage Community Association.

The application is being considered pursuant to *Regina Zoning Bylaw No. 9520*, *Regina Development Plan Bylaw No. 7877* (Official Community Plan), and *The Planning and Development Act, 2007*.

**DISCUSSION**

**The Applicant’s Proposal**

The applicant proposes to establish a restaurant with seating for 50 within an existing one-storey building. A garage for storage is located behind the building and two outdoor parking stalls are located behind the garage with access from the laneway. Restaurants with up to 50 seats do not require parking in the LC3 zone. The subject property is located just north of the 11<sup>th</sup> Avenue commercial corridor on Halifax Street and is currently zoned LC3 - Local Commercial, in which a restaurant with up to 50 seats is a discretionary use.

Surrounding land uses are various commercial/retail and institutional (Regina Police Services) uses to the north and commercial uses to the south. Low and medium density dwellings are located east of the subject property.

## **Analysis**

The proposed development will bring activity to the neighbourhood in the evenings and on weekends at times when other uses in the area may not be as active. Increasing street level activity during these times can increase the safety and comfort of local residents and patrons to the restaurant by facilitating natural surveillance of the area throughout the day and night. Therefore, the proposal will achieve objectives to revitalize the 11<sup>th</sup> Avenue commercial corridor.

The subject property is located in close proximity to the downtown. As such, the restaurant could attract downtown workers who are within walking distance to the restaurant.

## **Regina Development Plan (Official Community Plan)**

The proposed development is supported by objectives and policies contained in Part A – Policy Plan of the OCP. Specifically the proposed development addresses the following in Section 4.11 (Neighbourhood Commercial Facilities):

**That neighbourhood commercial development in residential areas shall be located on major arterial or collector streets.**

Neighbourhood commercial facilities provide local residents the option to walk to these amenities. The subject property is located on Halifax Street between 11<sup>th</sup> Avenue, which is a collector street, and Saskatchewan Drive, which is a major arterial. Transit service is provided on both Saskatchewan Drive and 11<sup>th</sup> Avenue, encouraging increased transit use. The location also allows pedestrians and cars to easily access the site and will not negatively impact adjacent residents.

**That development standards shall be applied to minimize the negative impacts of commercial development on residential neighbourhoods.**

Neighbourhood restaurants are currently limited to 50 seats to keep restaurants more neighbourhood focussed.

## **RECOMMENDATION IMPLICATIONS**

### **Financial Implications**

The subject property is located within an established neighbourhood that already receives a full complement of municipal services. The proposal would not require the development of significant infrastructure and, therefore, would not materially affect the extent or cost of municipal services provided to this area. The costs of water, sewer and storm drainage services are fully recovered through the utility charges.

### Environmental Implications

The proposed development is required to conform to OCP policies concerning sustainability, the fundamental principles of which are:

- to promote a sustainable community and encourage development that contributes to maintenance or improvements to the quality of urban life; and
- to ensure that development occurs in a cost efficient, environmentally responsible and socially equitable manner.

The proposed development also contributes to neighbourhood sustainability by providing a desirable commercial use within walking distance for local residents and those who work near the area.

### Strategic Implications

The proposed development is consistent with the City's vision of managing growth and community development, by optimizing existing infrastructure capacity. It will help to achieve a compact urban form and sufficient supply of land for future growth and increased pedestrian, bicycle and public transit use.

### Accessibility Implications

The washrooms of the restaurant must meet the size and requirements for barrier free access standards under the Building Code.

## COMMUNICATIONS

### **Public Notice**

The Administration notified the public through the following measures:

- Posting of notification signage on the subject property on July 12, 2012;
- Direct notice of the proposal, mailed to 58 property owners and residents in the vicinity; and
- Circulation of the proposal to the Heritage Community Association and the Central Zone Board for review and comments.

No comments were received from the Zone Board prior to the finalization of this report. The Heritage Community Association expressed their support for the proposal.

In response to the public notification regarding this proposal, three comment sheets were received. Two responses were in support of the proposal, as it will bring another restaurant alternative to the area. One respondent expressed concerns about limited parking stalls available on site and the potential to create some parking issues on Halifax Street.

The proposed 50-seat restaurant does not have any parking requirements in the LC3 zone. Although the applicant only provides two parking stalls, parking is not expected to be a significant issue as the 1700- 1900 blocks of Osler Street and the 1400-1700 blocks of 11<sup>th</sup> Avenue provide ample metered parking, a commercial parking lot is situated directly to the west of the subject property and another parking lot to the east, on the 1800 block of Halifax Street. Street parking is also available on Halifax Street. Further, the proposed development is along the 11<sup>th</sup> Avenue transit route and close to the Broad Street transit route. No other commercial uses on the block have similar parking demands.

The subject property is located in close proximity to the downtown. As such, the restaurant will attract downtown workers who are within walking distance to the restaurant.

### **Other Agencies**

The proposal was circulated to the Public and Separate School Boards for review and comment. Both school boards indicated that they have no concerns with the proposal.

### **DELEGATED AUTHORITY**

City Council's approval is required, pursuant to Section 56 of the *Planning and Development Act, 2007*.

Respectfully submitted,



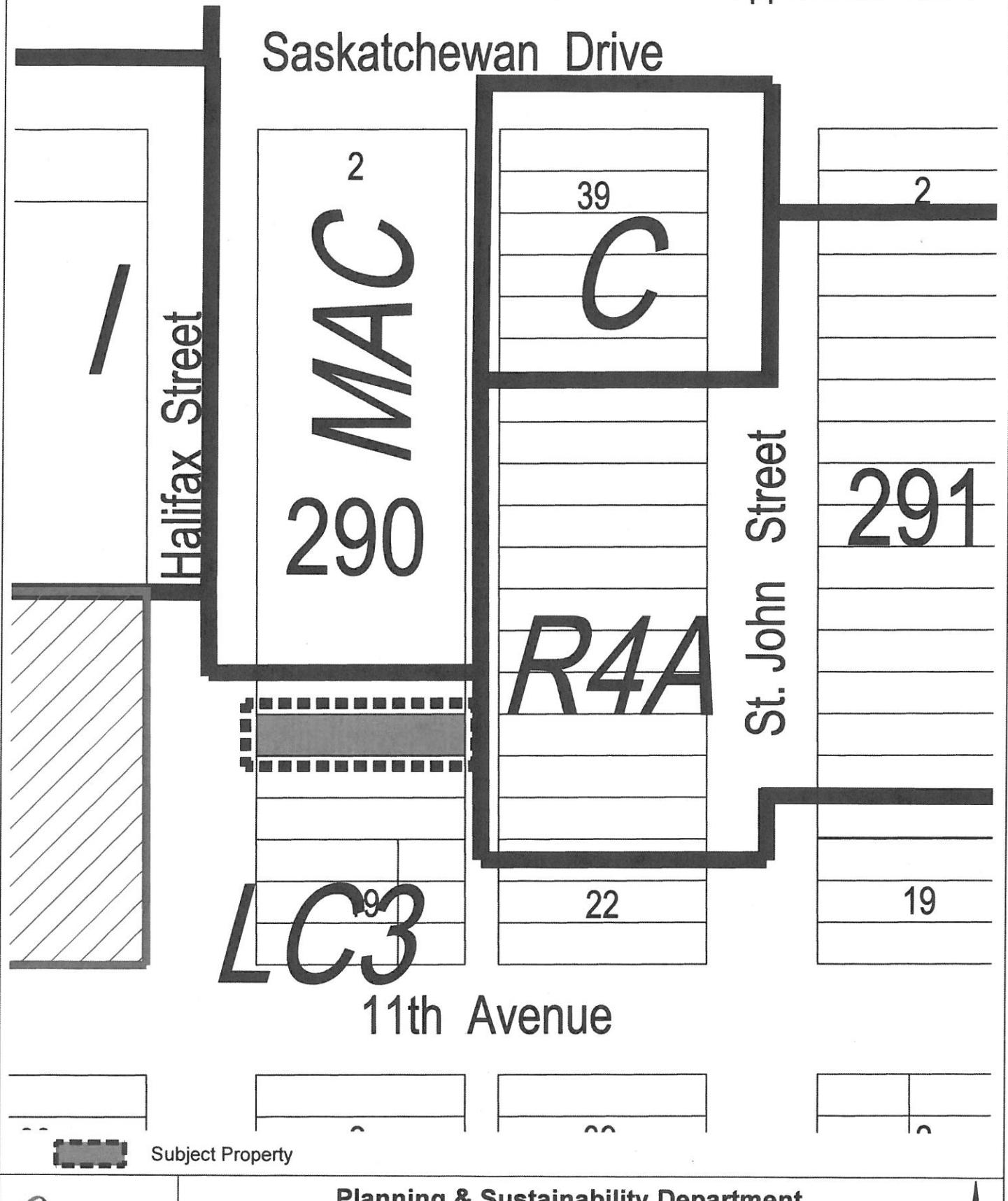
Diana Hawryluk, Director  
Planning Department

Respectfully submitted,



Jason Carlston, Deputy City Manager  
Community Planning and Development

# Saskatchewan Drive



**REGINA** | City of Regina

## Planning & Sustainability Department

Project 12-DU-23

Civic Address/Subdivision

Proposed Restaurant  
1757 Halifax Street

## Appendix A-2



Subject Property

Date of Photography : 2009



City of Regina

**Planning and Sustainability Department  
Planning & Development Division**

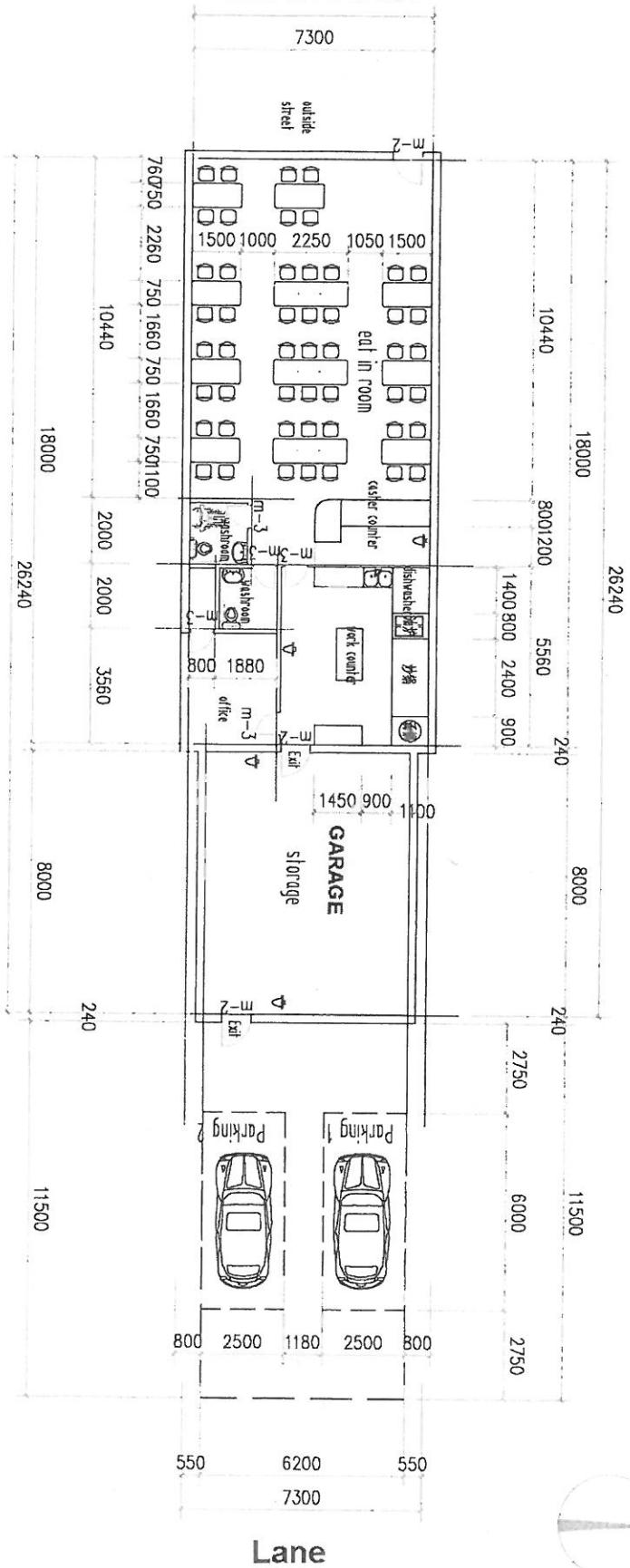


Project 12-DU-23

Proposed Restaurant  
Civic Address/Subdivision 1757 Halifax Street

## Appendix A-3

Halifax Street



restaurant plan 1:1300

n-1	9002200011
n-3	9002200011
Emergency light	▼
Wheelchair size	

工程名称	工程号
项目名称	专业负责
专业类别	图纸单位
校对	设计 制图 图名 日期

September 26, 2012

To: Members,  
Regina Planning Commission

Re: Application for Street Closure (12-CL-6)  
Portion of Rose Street Adjacent to ‘Gardens on Rose’ Building, 2055 Rose Street

---

### **RECOMMENDATION**

1. That the application to permanently close the portion of Rose Street adjacent to 2055 Rose Street and described as “all that portion of Rose Street, Registered Plan No. Old 33, shown on the Plan of Proposed Subdivision by P. Shrivastava, S.L.S. and dated July 12, 2012” be APPROVED; and
2. That this report be forwarded to the October 9, 2012 meeting of City Council.

### **CONCLUSION**

An application for closure of a portion of the Rose Street right-of-way within the Downtown has been submitted. Approval of the proposal would legally close a 4m wide portion of the right-of-way fronting part of 2055 Rose Street, the site of the future Gardens on Rose building, which is currently under construction. The new building will incorporate active, at-grade commercial use and would be enhanced through the sale portion of fronting right-of-way. The purpose of the proposed closure of the right-of-way is to allow the applicant to construct a permanent and furnished outdoor café space that would become part of their property.

As a result of the closure, the applicant will be required to reconstruct and pay for reconstruction of the sidewalk to maintain pedestrian movement around the closed portion of right-of-way. The new sidewalk would be located where there are currently two on-street parking spaces and two driveway crossings for a surface parking lot. No further impacts on traffic flow or parking were identified.

The Administration supports the proposal as it has protected the City’s interests through the subdivision and sale agreement process; the proposal allows a private interest to invest in a public asset through the reconstruction of a portion of sidewalk within the Downtown; the proposal contributes to a vibrant public realm and implements an important part of the Downtown Neighbourhood Plan; and as it would be possible for the City to re-acquire the closed portion of street if needed in the future.

### **BACKGROUND**

City Council approved “The Gardens on Rose” building in 2010. Approval of the apartment building included a commercial component on the main level. The conditions of approval required reconstruction of the sidewalk and landscaping. The bulb out was discussed as an option for landscaping in the discretionary use report. After approval during subsequent discussions with the application of more detailed design the City accepted that an expanded pedestrian area in the area fronting the building would positively benefit the Downtown. The expanded pedestrian area would add to the development of a patio culture and to add activity to the street,

which is currently almost entirely lined with surface parking. Decisions to change curb cuts or sidewalks do not require City Council's decision and can be approved administratively.

However, it was later determined that the applicant needed to own the portion of expanded public realm in order to secure financing for any significant investment whereas a lease or other temporary agreements with the City would not provide the same assurance.

This application is being considered pursuant to *The Cities Act, The Planning and Development Act, 2007, Regina Development Plan Bylaw No. 7877, and Regina Zoning Bylaw No. 9250*. The application is within the boundaries of the Downtown Business Improvement District.

## DISCUSSION

### **The Applicant's Proposal**

The applicant proposes to close a portion of the public street fronting the property located at 2055 Rose Street, which is currently under construction as a high-rise apartment building. The purpose of the closure is to sell the closed portion of the street to the adjacent property (i.e. the Gardens on Rose) for use as a permanent sidewalk café. As a result, the purchasers will be required to construct a new sidewalk adjacent to the new property line to accommodate pedestrian traffic. Detailed design of the sidewalk and patio area would be subject to an administrative review.

### **Analysis**

#### Official Community Plan

The applicant's proposal is consistent with the recently approved Downtown Neighbourhood Plan in the OCP. As an enhancement to the pedestrian realm it implements "Big Move 3: Pedestrians First," suggesting that all streets should be designed for walking and is also aligned with "Big Move 7: Friendly facades" which suggests that streets should be active and lively and that existing passive street walls will be redesigned to incorporate active uses.

The applicant's proposal is also consistent with section 3.2-Creating a Successful Public Realm. Part of creating a successful public realm is to ensure safety of downtown streets. Objectives of the section include:

- a) Provide active building frontages facing public spaces, including entrances and windows, to ensure people's "eyes" are on the space, thus enhancing the sense of safety and discouraging inappropriate behaviour.
- b) Facilitate active uses within public spaces including sidewalk patios, outdoor displays, buskers, festivals, and the like.

The proposed street closure would allow for significant investment in the portion of the public realm, which would draw more people to an otherwise passive block of the Downtown. More active storefronts and surveillance of the street naturally discourages criminal behaviour in the area.

## RECOMMENDATION IMPLICATIONS

### Financial Implications

The closed portion of lands would be sold to the owner of adjacent lands at net market value, which amounts to \$44,000.

The City would forgo the revenue from two existing parking meters that would be removed. As a result of the closure and subdivision the purchaser of the lands will be required to reconstruct and relocate the sidewalk at their own cost and to City standards.

### Environmental Implications

There are no direct environmental implications associated with this proposal. However, the Administration notes that the proposal may result in greater use of the public realm, which, in turn, contributes social benefits of creating a safer and more vibrant downtown atmosphere.

### Strategic Implications

The proposal will result in significant investment in the public realm and therefore supports the City's vision.

### Other Implications

#### **Legal Agreements**

The purchaser will be responsible for the costs of relocation and re-installation of the sidewalk to City standards.

No underground infrastructure will be directly within the closed portion of the street. However, part of the closed portion will likely be affected by an easement on title due to an adjacent City water line. The reason is there may be additional costs for the City to operate and maintain its adjacent infrastructure as a result of the closure. For example, should the City need to excavate to repair the water main, there would be additional costs of replacement of the now closed sidewalk as opposed to the existing asphalt street surface. These additional costs would be incurred by the adjacent property owner.

An easement registered on title would also prevent encroachment of the building onto the closed portion of street as to ensure that a consistent street wall on Rose Street develops over time.

Pursuant to the Cities Act, the sale of land would be conditional that the land must be returned to the City if it determines it is necessary to be used as a street. As such, the Administration is confident that the sale of the subject property would not limit any unforeseen and necessary future uses of the street at this time.

### Accessibility Implications

The City sidewalk would be built to City standards, which reflect current accessibility standards for public places.

## COMMUNICATIONS

The Administration sent a notice of the proposal to the adjacent properties for review and comment.

The Regina Downtown Business Improvement District (RDBID) was circulated a copy of the proposal for review and comment. RDBID did not respond before the finalization of this report.

Advertisement in *The Leader-Post* is required pursuant to the *Public Notice Bylaw*. All interested parties will be notified of City Council's decision.

## DELEGATED AUTHORITY

City Council's Approval is required pursuant to *The Cities Act*.

Respectfully submitted,



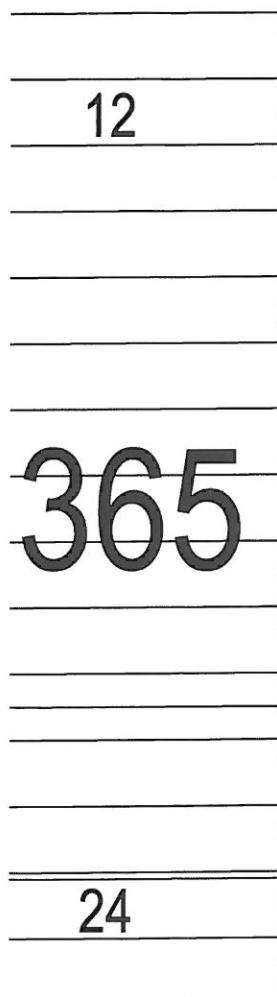
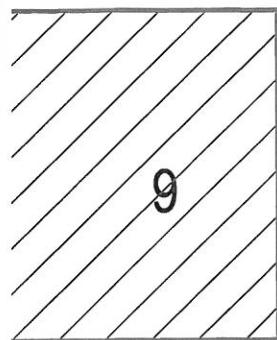
Diana Hawryluk, Director  
Planning Department

Respectfully submitted,

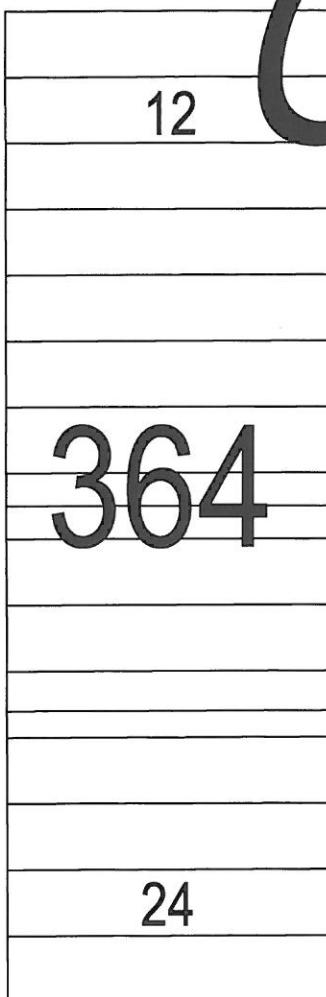
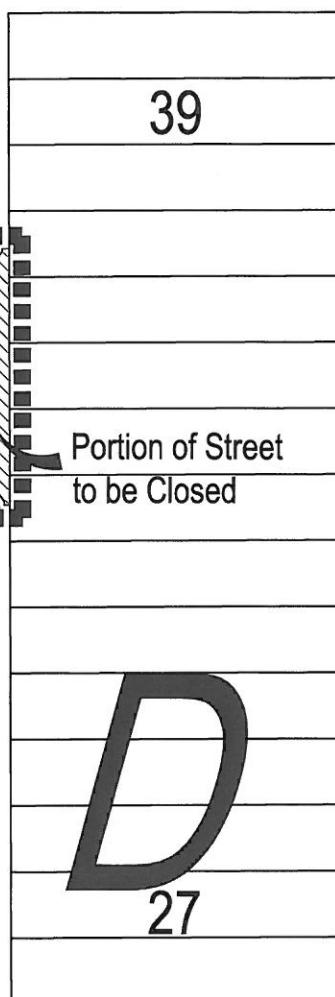
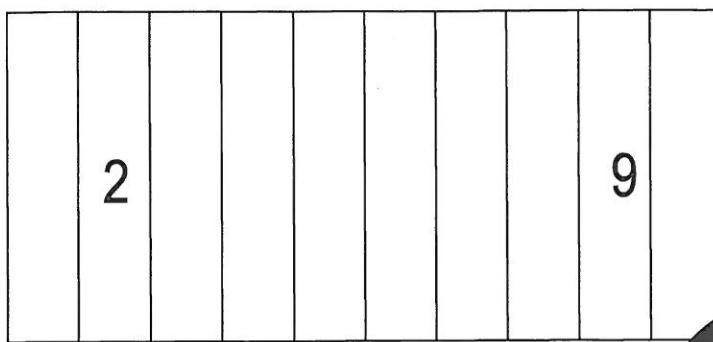


Jason Carlston, Deputy City Manager  
Community Planning and Development

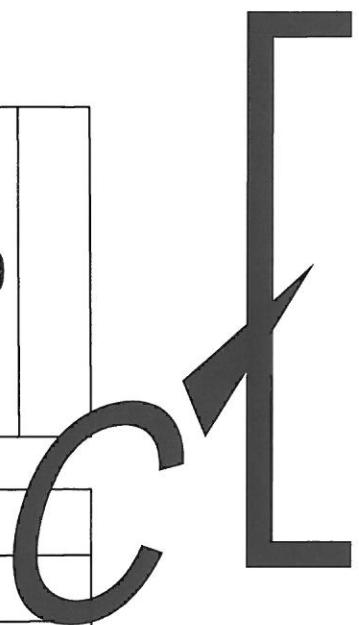
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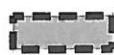
Street  
Rose



Avenue



Broad  
Street



Subject Property



REGINA | City of Regina

Planning &amp; Sustainability Department



Project 12-CL-6

Portion of Rose Street to be Closed  
Civic Address/Subdivision Block 364, Lots 33-37



Subject Property

Date of Photography : 2009



REGINA

| City of Regina

**Planning and Sustainability Department  
Planning & Development Division**



Project 12-CL-6

Portion of Rose Street to be Closed  
Civic Address/Subdivision Block 364, Lots 33-37

PROPOSED SUBDIVISION  
of  
Rose Street  
Reg'd Plan No. OLD33  
S.W. 1/4 Sec. 19 Twp. 17 Rge. 19 W.2 Mer.  
Regina, Saskatchewan  
Prakhar Shrivastava, S.L.S.  
2012  
Scale 1:250

Project No.: 153873-R	File: 153873PR-R4
Initials: JSY - PS	
Preliminary Survey: N/A	

  
**Altus Geomatics**  
Limited Partnership

Toll Free: 1-800-465-6233  
[www.altusgeomatics.com](http://www.altusgeomatics.com)

### CITY OF REGINA APPROVAL

The subdivision proposed herein outlined in bold dashed line is approved under the provisions of Bylaw No. 7748 of The City of Regina.  
Dated this \_\_\_\_ day of \_\_\_\_ A.D. 20 \_\_\_\_.

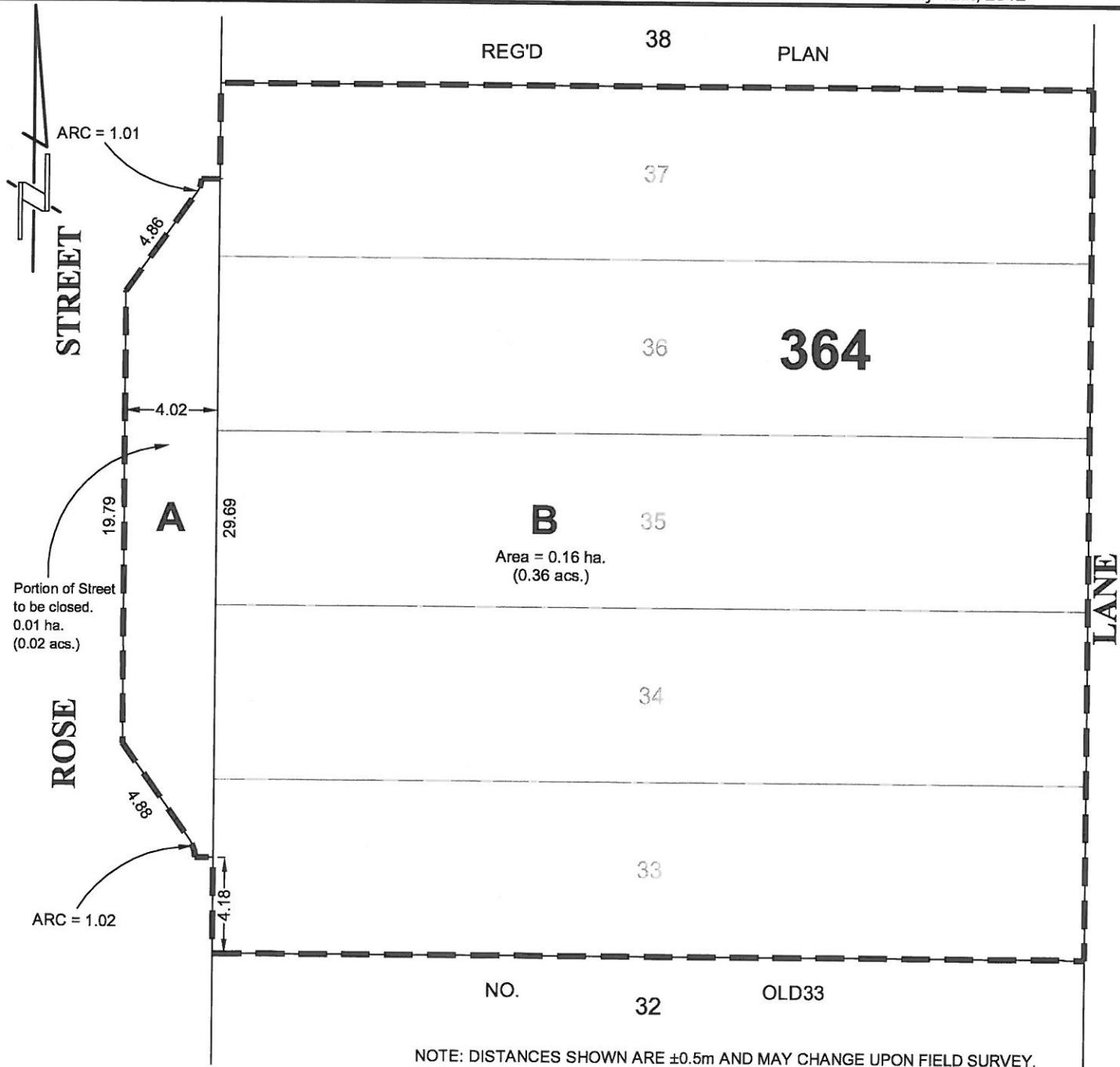
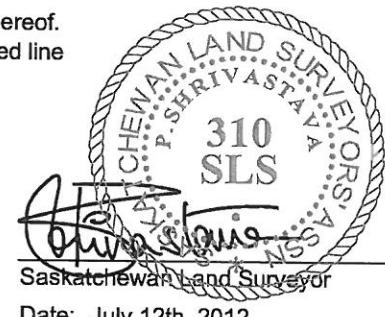
#### CITY CLERK

Measurements are in metres and decimals thereof.  
Area to be registered is outlined in bold dashed line and contains 0.17 ha (0.38 aacs).

#### OWNER(S):

101196474 Saskatchewan Ltd.

City of Regina



September 26, 2012

To: Members,  
Regina Planning Commission

Re: Applications for Official Community Plan Amendment and Contract Zone Approval (12-CZ-6) Proposed Mixed-Use Building  
2100 15<sup>th</sup> Avenue, and 2276, 2260, 2256 Scarth Street

---

### RECOMMENDATION

1. That Part F-Transitional Area Development Plan of *Regina Development Plan Bylaw No. 7877* (Official Community Plan) be amended by adding the following to Section 5.0 Exceptions after e):

f)	2100 15 <sup>th</sup> Avenue, 2276, 2260, and 2256 Scarth Street	Lots 11, 12, 13 Block 429, Plan No. Old 33; Lots 21 and 22, Block 429, Plan No. 101187558	Mixed Use Building
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2. That subject to Ministerial Approval of the related Official Community Plan amendment, the application to amend *Regina Zoning Bylaw No. 9250* by rezoning the properties described as
  - (a) Lots 11, 12, 13 Block 429, Plan No. Old 33; located at 2100 15<sup>th</sup> Avenue, and 2276, 2260 Scarth Street ; and
  - (b) Lots 21 and 22, Block 429, Plan No. 101187558, located at 2256 Scarth Street.

from TAR (H15 – Transitional Area Residential (Height Overlay 15m) to C - Contract, be APPROVED and that the contract zone agreement between the City of Regina and the applicant/owner of the subject properties be executed.

3. That further to recommendation 2, the proposed contract zone agreement shall include the following terms:
  - (a) Development of the proposed mixed-use building on the subject property shall be consistent with the attached plans and drawings labelled Appendix A-3.1--A-3.3.2, inclusive and prepared by JMA Architecture Ltd.
  - (b) The range of permitted and discretionary uses in main floor commercial space shall be consistent with the MX zone in Table 5.2 of *Regina Zoning Bylaw No. 9250* with the following exceptions:
    - i) Restaurant and Licensed Restaurant, Personal Service, Confectionary Store, Retail, and Recreational Service Facility uses shall be permitted on the main level;

- ii) Apartment Dwelling units shall be permitted in the main floor commercial space as accessory to a permitted or discretionary commercial use with the intention of accommodating live/work spaces.
  - (c) A detailed landscape plan for the subject property shall be submitted for approval to the Development Officer, prior to the issuance of a building permit. Any new planting or replacement of existing street trees adjacent to the subject properties shall be undertaken in accordance with *The Forestry Bylaw, 2002* (Bylaw No. 2002-48, as amended). The applicant shall attempt to retain as many existing street trees as possible and where tree retention is not possible shall install new mature trees of calipers and sizes specified by Urban Forestry.
  - (d) The erection or placement of commercial signs on the property located at 1550 14<sup>th</sup> Avenue shall comply with the provisions applicable to the MX - Mixed Residential Business Zone under Chapter 16 of the Zoning Bylaw.
  - (e) Any zoning-related detail not specifically addressed in the contract zone agreement shall be subject to the applicable provisions of the Zoning Bylaw.
  - (f) The approval to initiate the proposed development shall be valid for a period of two years from the date of City Council's passage of the Zoning Bylaw amendment that authorizes the contract zone agreement.
  - (g) The contract zone agreement shall be registered in the City's interest, against the titles to all of the subject properties and at the applicant's cost, pursuant to Section 69 of *The Planning and Development Act, 2007*.
4. That the City Solicitor be directed to prepare the necessary bylaw to authorize the rezoning of the subject properties and the execution of the contract zone agreement, as described above.
  5. That this report be forwarded to the October 9, 2012 meeting of City Council, which will allow sufficient time to advertise the required public notice for the subject Development Plan and Zoning Bylaw amendments.

## CONCLUSION

An application has been submitted to accommodate a mixed use building through a contract zone in the Centre Square neighbourhood. The proposal also requires amendment to the Transitional Area Development Plan as a mixed-use building is not contemplated on the subject property. The proposed building would include a 66 residential units and 525 m<sup>2</sup> of commercial space on the main level with 71 enclosed parking stalls.

Following the September 13, 2012 Regina Planning Commission meeting the Administration met with the applicant to further discuss the issue pertaining to front yard setback along Scarth Street frontage. A compromise has been reached with the applicant on a front yard setback of 1.5 metres.

Also as follow up to the meeting the Administration met with Urban Forestry to gain a better understanding of the process in evaluation the existing street trees and to gain an understanding of what impact the proposed development might have on existing street trees.

## BACKGROUND

At its meeting of September 13, 2012 the Regina Planning Commission considered report RPC12-72 and passed the following motion:

“that this report be referred to the Administration to work with the applicant on a revised development of the subject site and provide a report to the September 26 Regina Planning Commission meeting that considers direction provided by the Commission, including alternate building setbacks”.

An application for Contract Zone Approval has been submitted. The proposal also requires an amendment to the Part F of *Regina Development Plan Bylaw No. 7877—Transitional Area Development Plan (Official Community Plan)*.

The subject property is located in the boundaries of the Centre Square Community Association and the Old 33 Subdivision. The application is being considered pursuant to *The Planning and Development Act, 2007*, *Regina Development Plan Bylaw No. 7877*, and *Regina Zoning Bylaw No. 9250*.

## DISCUSSION

### **The Applicant’s Proposal**

The applicant proposes to construct a mixed-use building with commercial uses on the main floor and residential apartment units on upper floors. The building would consist of a base with a height of approximately 6.12 m with a mezzanine level. There would be three commercial rental units on the base of the building with approximately 5,653 ft<sup>2</sup> (525.18 m<sup>2</sup>) of floor area. The applicant has indicated potential commercial users would be a gym facility, coffee shop, ice cream shop, eatery, art gallery, clothing retail, or office. There would be 66 units in total within two separate “towers” each consisting of three floors. Units would range in size from 450 ft<sup>2</sup> to 790 ft<sup>2</sup> and are intended for condominium ownership. Parking would be provided for 71 vehicles. Fifty-one stalls would be provided underground and 20 would stalls would be provided within the main level of the building. All parking facilities would be accessed from the rear of the building.

### **Analysis**

#### Site Context

The site is located in the Centre Square neighbourhood on the northwest corner of Scarth Street and 15<sup>th</sup> Avenue. Immediately to the east is Central Park, which is a major focal point of the neighbourhood. There is high rise apartment development to the south, low-rise apartment development to the west, and single detached homes to the immediate north. There are also commercial office buildings on the north end of the block. Within the wider context the site is located within a five minute walk of the downtown.

The site is currently vacant. There was a restaurant in a house-form building on the corner of 15<sup>th</sup> Avenue and Scarth Street before the site was cleared.

### Contract Zoning

The applicant has applied to amend the zoning to C-Contract to accommodate the development. A contract zone agreement allows for the application of site-specific development standards and provides the opportunity to exercise some flexibility from conventional zoning standards to address compatibility issues with, and sensitivity to its surrounding context. Contract zones are particularly useful in infill situations where there are particular sensitivities with the surrounding area or other development constraints. Alternatively, the site could be rezoned to a conventional zone such as MX-Mixed Residential/ Business Zone.

The development would be required to conform to the standards of the zone, but any development consistent with the zone could occur. For example, the MX zone allows for purpose built office buildings, but also a range of other commercial uses, with varying degrees of compatibility with the surrounding area. Furthermore, development standards of a conventional zone such as height or setbacks might be too stringent or not adequately reflect the character of the surrounding built form.

In evaluating a contract zone the Administration considers the standards of comparable conventional zones in addition to the site context. In this case, the subject property is currently zoned TAR(H15), Transitional Area Residential (Height Overlay Zone of 15 m), in which a mixed use building is not permitted. In addition, where there is some variation between the underlying zoning and the proposal, the Administration can evaluate based on consistency with the surrounding area and the potential impact on adjacent properties. The Administration also used 3D modeling as a tool to show how the building massing relates to its surrounding context. Street level views are provided in Appendix C. Appendices C-1 to 3 were prepared by Administration. The remaining renderings were prepared by the applicant.

As the current zoning does not accommodate a mixed use building, rezoning is necessary. The proposed building also deviates from certain zoning standards including the front yard setback, site coverage, height, and parking, which would otherwise require relaxation through a development appeals process. The development appeals process recognizes that it is occasionally not possible or necessary to conform to established zoning standards.

Table 1, below, provides a summary of the critical zoning issues, how they compare to zoning regulations, and how they compare with the immediate surroundings of the property.

Table 1			
	Proposed	Comparable Zone	Context
Use	Mixed-Use Building	TAR(H15) Not permitted	There are few purpose-built “mixed use” buildings in the neighbourhood, although the neighbourhood overall has a strong mixed use character through conversions of houses to commercial uses and pockets of neighbourhood commercial. The neighbourhood also has the highest residential density in the city.
Assessment	Despite non-conformance with the Neighbourhood Development Plan, the mixed-use component of the building fits within its surroundings. Future commercial uses would potentially provide amenity to the neighbourhood, and more life to the streets, and draw more people to Central Park, the focal point of the neighbourhood. Before the site was cleared there was a restaurant on the site, which provided amenity to the neighbourhood.		

<b>Front Yard Setback</b>	0.0m	TAR (H15) 5m min.	The surrounding blocks all maintain the minimum front yard setback.
<i>Assessment</i>	<p>In the Administration's opinion the front yard setback is a defining feature of the neighbourhood. The neighbourhood is one of the oldest residential areas in the city. It was developed with apartments and detached homes with a 5-6m front yard setback and a strong residential character, which allowed for trees to thrive and for landscaping adjacent to the street.</p> <p>While the neighbourhood has transitioned over the years to include a stronger commercial and high rise apartment presence a front yard setback has largely been maintained. In this particular location, adjacent to Central Park, it is crucial that development be representative and complimentary to the neighbourhood character. The area surrounding, with the exception of the north edge of the park, all maintains a uniform setback and original tree canopy. The subject property map in Appendix A-1 and the 3D model in Appendix C illustrate the condition of the surrounding area.</p> <p>The degree of relaxation of the front yard setback is too large for the Administration to support. It would be an obvious and permanent deviation from uniformity of the surrounding context. The building would be appropriate in a more urban context such as downtown, an arterial roadway, or location where this condition previously exists. The Administration cannot support the application as proposed for this reason.</p> <p>Should there be a desire for a shift in the character of the neighbourhood character to accommodate this form of development this transition should be led by a citizen-engaged planning process to determine a strategy to determine appropriate locations for such development forms in the neighbourhood. Such a drastic shift in neighbourhood character should not be led by a single development proposal.</p>		
<b>Side Yard Setback</b>	Nil (street) 1.2m (other)	TAR (H15) Nil	Original House form buildings are built very near side yard setbacks. Apartments generally allow for wider side yard setbacks to allow for windows and light penetration.
<i>Assessment</i>	<p>The zoning standards in the area do not require side yard setbacks for apartments. Apartments along 15<sup>th</sup> Avenue maintain a narrow setback. The side yard setbacks conform to the Zoning Bylaw and fit within the surrounding context.</p>		
<b>Site Coverage</b>	97 percent	TAR (H15) 65 percent	Surrounding apartment buildings largely conform to the site coverage standard.
<i>Assessment</i>	<p>The site coverage development standard is one standard among others to control the bulk and massing of buildings on the site. When applied consistently across an area the maximum site coverage does help to define the character of a neighbourhood. In this case the mass of the building would be a large departure from other buildings in the area. Typically, buildings of this density are more often found in more urban areas such as downtown or pre-war commercial strips. In this case the amount of building is partly related to the lack of front yard setback. Hypothetically, if a 5m setback were added as required to the building, the site coverage would be about 85 percent, which would still exceed the underlying zoning standard, but would be closer to other buildings in the area and would be consistent with building forms in the area.</p>		
<b>FAR (ratio of floor area to site area)</b>	2.4	TAR (H15) – 3.5	There is a mixture of high and low density development in the area.
<i>Assessment</i>	<p>The density of the proposal is consistent with the surrounding neighbourhood.</p>		
<b>Landscaping</b>	10 percent	Residential - 15 percent Commercial – 10 percent	Front yards are generally landscaped with grass, shrubs and trees and meet the minimum requirement.
<i>Assessment</i>	<p>The development is more urban in character and does not satisfy the minimum requirements. Concern was raised regarding the impact of the development on the existing trees, which form an important part of the tree canopy along the edge of Central Park. There are eight mature elm trees that are in healthy condition along Scarth Street and four trees along 15<sup>th</sup> Avenue that are less substantial, but appear to be healthy. The applicant has indicated that they intend to maintain the trees, but it is questionable if the trees will survive after roots and branches are pruned to accommodate the parking garage and the building up to the setback.</p>		
<b>On-Site Parking</b>	71 stalls	TAR-1 stall per dwelling/ 1 stall per 50 m <sup>2</sup> of	Parking in the community is a concern. On-street parking is scarce during business hours.

		commercial space	
<i>Assessment:</i>	The proposal requires 66 stalls to satisfy residential standards and approximately ten stalls to satisfy parking requirements, depending on occupancy of commercial spaces. (Different commercial uses have different parking requirements). As such, parking is deficient by about five stalls. While parking is an issue in the neighbourhood, the lack of five parking stalls would have little perceptible impact in the area and could otherwise be considered under a minor variance approval procedure. The commercial uses would likely be locally focussed and would not draw a large amount of customer vehicle traffic.		
<b>Height</b>	16.92	TAR (H15) – maximum 15m	There is a mixture of low and high rise buildings in the area. On the block face there are only-rise buildings.
<i>Assessment:</i>	The height of the building would be 1.92m taller than the maximum under the Zoning Bylaw. There is a height overlay of 15m established for this area, which “allows for an increased residential density, while also being an appropriate transition height between the house form buildings of the Transitional Area and existing and future high-rise apartments,” according to the Transitional Area Development Plan. While the proposed building exceeds the maximum height, it would not have a perceptible impact on the surroundings and still provides for a transition between high-rise and house form buildings.		

### Sun Shadow Impact

The Administration reviewed the impacts of sun shadowing through the use of its 3D model. Of particular concern was the impact on the activity areas within Central Park and on residential properties to the north. The review compared the proposed building to a hypothetical building that conforms to the existing zoning, being 15 m in height with a 5 m front yard setback. The review concludes that there would not be a large negative impact on the comfort and usability of the activity area of Central Park. There would be no impact during the summer solstice. During the equinox the proposed building would shadow the activity area for an additional 20-30 minutes between 4:00 pm and 5:00 pm as compared to a building that conforms to the Zoning Bylaw.

However, the reduced setback of the proposed building would cause approximately one hour of additional shadowing of the front of the residential property to the north as compared to a building with a 5m setback.

Although not modelled prior to the deadline for submission of this report, the revised 1.5 metre setback of the building along Scarth Street will result in more sunlight penetration into Central Park.

### Official Community Plan

In accordance with *The Planning and Development Act, 2007*, (Section 40), “no development shall be carried out that is contrary to the Official Community Plan.” This section lists the policies that support and conflict with the proposal and concludes with a summary of the analysis.

#### 1. OCP Policies and Objectives that Support the Proposal

##### Part A- Policy Plan

###### 5.4 Energy Conservation Policies

- a) That a compact urban form should be achieved by:
  - iv) Promoting infill residential redevelopment and rehabilitation.
- c) That vacant inner city sites should be redeveloped in a manner which enhances the amenity of the neighbourhood.

### 7.1 Housing Objectives

- a) To accommodate the demand for a variety of housing types throughout the city.
- b) To encourage the provision of affordable housing particularly for low and moderate income households and special needs groups.

### 7.20 Encourage Infill Development of the Inner City

- a) That the City should encourage construction of housing units in the inner city neighbourhood area for households of all social and economic characteristics.
- d) That the City shall encourage infill development to minimize the need for annexing additional land on the periphery of the city.

## Part F-Transitional Area Development Plan:

### 3.1 Policy Objectives

#### Primary Policy Objectives

- 1) To provide for residential land use and a viable residential neighbourhood within the Transitional Area through the following General Policy Objectives

#### General Policy Objectives

- 1) To provide housing of a variety of forms and tenure which is affordable to residents of a wide range of incomes and family types.
- 2) To provide for stores and services required by Transitional Area residents for convenience goods and services on a daily basis
- 3) That provision be made for the construction of residential units in conjunction with the development of neighbourhood service uses in the Transitional Area.

### 3.2.1 Residential Land Use Districts

#### Policy Objectives

- 2) That the retention and construction of a variety of housing and tenure types in the Transitional Area Residential Zone be encouraged.

## 2. OCP Policies that Conflict with the Proposal

### 7.1 Housing Objectives

- h) To ensure that residential development and redevelopment is compatible with adjacent residential and non-residential development

### 5.4 Energy Conservation Policies

- q) That relatively uniform setback of houses be encouraged to reduce overshadowing.

## Part F-Transitional Area Development Plan:

### 3.2 Residential Land Use

#### Policy Objectives

- 1) That those portions of the Transitional Area which are primarily residential in use and/or physical form be a principal location of future residential development in the Transitional Area. Commercial use of any given site within the residential portions

of the Transitional Area shall occur only in accordance with this Development Plan.

#### Implementation Recommendations

- 3) New developments shall be encouraged to reflect or respond to the typical building setbacks found in the vicinity of the project site in order to reinforce the streetscape and its qualities.
- 4) New developments shall, in the design, scale, form, articulation, and reflect or respond to streetscape qualities found in proximity to the project site.

#### 3.2.1 Residential Land Use Districts

##### Policy Objectives

- 1) That the primary land use in the Transitional Area Residential Zone, as provided for in this Development Plan, be residential. Commercial uses are a secondary use in the Zone, located only in house-form buildings.
- 3) That provision be made for the retention and development of contiguous residential land use districts of buildings compatible in height, bulk, siting and massing.

##### Implementation Recommendations

- 4) That a Medium-Rise District be established within the Transitional Area Residential Zone, comprising portions of the north side of 14th Avenue and an area to the west of Central Park, to provide primarily for medium-rise residential land use and, secondarily, at the discretion of Council, for commercial use in existing house-form buildings.
- 5) That in the Medium-Rise District, the height of new development be limited to 15 metres.

#### 3.3.1 Transitional Area Services

##### Policy Objectives

- 2) That neighbourhood service used be clustered together in nodes which will serve as social focal points, with the potential for expansion to better serve current residents and accommodate a future increased Transitional Area population.

#### 3.5.5 Design Review

##### Objective

- 1) To ensure that new developments in the Transitional Area complement and harmonize with existing developments and streetscape near the development site.

#### 4.2 Landscaping and Open Space

##### Objective

- 3) To enhance the unique character of the Transitional Area, including its open space, landscaping, and street trees, through the development of landscaping complementary to an improved pedestrian walkway system through the Area.

### 3. Summary of Policy Analysis

The proposal conforms to several objectives and policies relating to encouraging of infill development, provision of housing, and general policies related to providing for neighbourhood commercial amenities both in Part A-Policy Plan and Part F-Transitional Area Development Plan. From this perspective the proposal responds very well.

Units are designed to be very efficient. Unit sizes are compact and will appeal to an untapped market in the city. The mixed use component of the building would provide commercial amenities to the Centre Square neighbourhood. Furthermore, while the recently approved Downtown Plan Bylaw does not have jurisdictional authority over the subject property, it is within a five minute walk of downtown and would contribute to the goal of increasing the residential population in the downtown.

As indicated below the Administration has reached a compromise with the applicant on the front yard setback along Scarth Street to mitigate concerns related to the compatibility of this building along the streetscape. The change to the front yard setback responds more positively to the context of this property which is located immediately across from Central Park.

. Although the Transitional Area Development Plan does not support a mixed use at this location, it is noted that the site has a history of providing commercial amenity as there was a popular neighbourhood restaurant on the site for many years. Commercial amenities would also encourage more people to enjoy Central Park. While the commercial use is a significant component of the building, it is still secondary to the 66 residential units contained within the building, and is therefore in keeping with the spirit of the Area Development Plan and is supported by the Administration.

### **Applicant's Response to Concerns**

Through the application review process, the applicant and Administration discussed ways in which to amend the proposal in order for the Administration to support the proposal. The applicant had indicated through the process that accommodating the full 5 metre setback along Scarth Street would not be economically feasible. The applicant's written explanation of why the building could not be redesigned to accommodate the changes discussed in the review process is provided in Appendix B of this report. However, since consideration of this report by the Regina Planning Commission, the applicant has reconsidered the design and has indicated that they can accommodate a change to the building that would not jeopardize the economic viability of the project and also address design issues.

### **Revised Building Setback**

At the Regina Planning Commission meeting on September 13, 2012 there was some discussion that occurred on the possibility of a 1.5 metres setback along the Scarth Street frontage. Following the meeting the Administration and the applicant had further discussion on this and can confirm that agreement has been reached on a compromise that would provide a building setback of 1.5 metres along the Scarth Street frontage. The revised plans are appended to this report.

## **Urban Forestry**

The Urban Forestry Branch has reviewed the proposal and has advised that the first step will be a determination of the overall value of the trees and an assessment of their current health. As part of this evaluation the existing trees will be looked at in terms of the overall context. If it is determined through that evaluation that trees are to be removed the City will determine their overall value and the developer will be required to pay the City that amount. The City would then use these funds to pay for landscaping improvements and projects elsewhere in the City. If tree removal does occur the developer is responsible also for the costs of the tree replacement.

Urban Forestry has indicated that given the location of the foundation and underground parking to the existing street trees it is very likely that the root systems will be negatively impacted compromising the health and life of the existing trees. Urban Forestry has indicated that they will work with the developer through the construction phase to assess the health of the trees and determine whether or not a full replacement of the existing street trees is needed. If full tree replacement is required the applicant will be required to install mature trees and meet specifications of Urban Forestry with respect to size and caliper.

## **RECOMMENDATION IMPLICATIONS**

### **Financial Implications**

In the short term, the City would forgo the tax revenue that development brings until approval of an acceptable proposal at a future date.

### **Environmental Implications**

In the short term, the City would forgo environmental benefits that infill development brings to the city until approval of an acceptable proposal at a future date.

### **Strategic Implications**

The proposal does not represent sensitive infill development as per Official Community Plan policies and is not supported.

### **Accessibility Implications**

The building would be required to maintain one accessible parking stall and to comply with provisions respecting accessibility in *The Building Bylaw*.

## **COMMUNICATIONS**

### **Public Input**

The Administration provided notice to the public through the following measures:

- Sign posting of the subject property during the review process;
- Notice sent directly to owners and occupants of property in the vicinity. Approximately 800 notices were distributed;
- Opportunity to attend an open house to learn more about the proposal and provide comment;

- Advertising of the open house on the City website and *The Leader-Post*; and
- Circulation of the proposal to the Centre Square Community Association, and the Central Zone Board.

In total 63 people provided comment on the proposal and 67 people attended the open house. The opinion of those who commented was as follows:

- I support the proposal (36)
- I would like it more if one or two features were different (11)
- I would accept the proposal if many features were different (7)
- I completely oppose the proposal (8)
- None of the above/ other (3)

A summary of comments and the Administration's response is provided in Appendix D.

The Central Zone Board did not provide comments before the finalization of this report. The Centre Square Community Association provided the following comments:

"We strongly oppose the proposed development at Scarth Street and 15<sup>th</sup> Avenue. We are very concerned with the proposal's disregard of the Scarth Street setback requirements and zoning green space requirement. The proposed development also will destroy the mature street tree frontage on the City property. Overall, the proposal shows a complete lack of sensitivity to the site and the surrounding neighbourhood."

#### Community Association Follow Up

Following the September 13, 2012 Regina Planning Commission meeting the Administration contacted the Centre Square Community Association. The Association indicated that from their perspective an acceptable compromise would be a building setback of 2.5 metres along the Scarth Street frontage.

Administration Response: While the revised building does not fully achieve the compromise solution identified by the community association, it is a positive response in addressing design issues and concerns advanced in the public engagement process. At the same time it is a change that does not severely impact the economic viability of the project and the ability to introduce a new and unique housing product in the Regina real estate market.

#### DELEGATED AUTHORITY

City Council's approval is required pursuant to Parts IV and V of *The Planning and Development Act, 2007*.

Respectfully submitted,

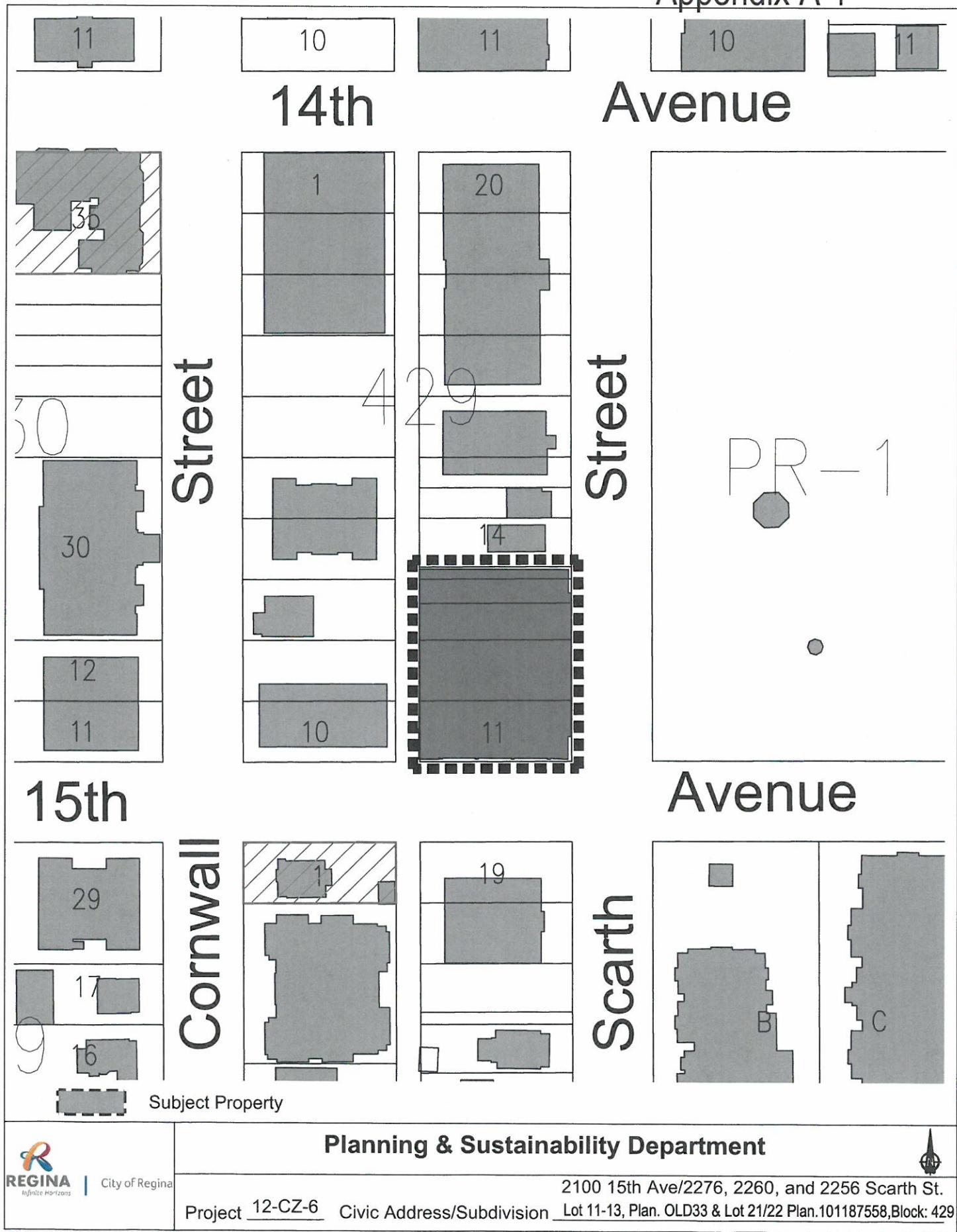
Diana Hawryluk, Director  
Planning Department

BM/fv/lsc  
i:\wordpro\reports\rpc\2012\2012-09-26\12-cz-6 bm\12-cz-6 rpt - final.doc

Respectfully submitted,

Jason Carlston, Deputy City Manager  
Community Planning and Development

## Appendix A-1



REGINA  
Infinite Horizons

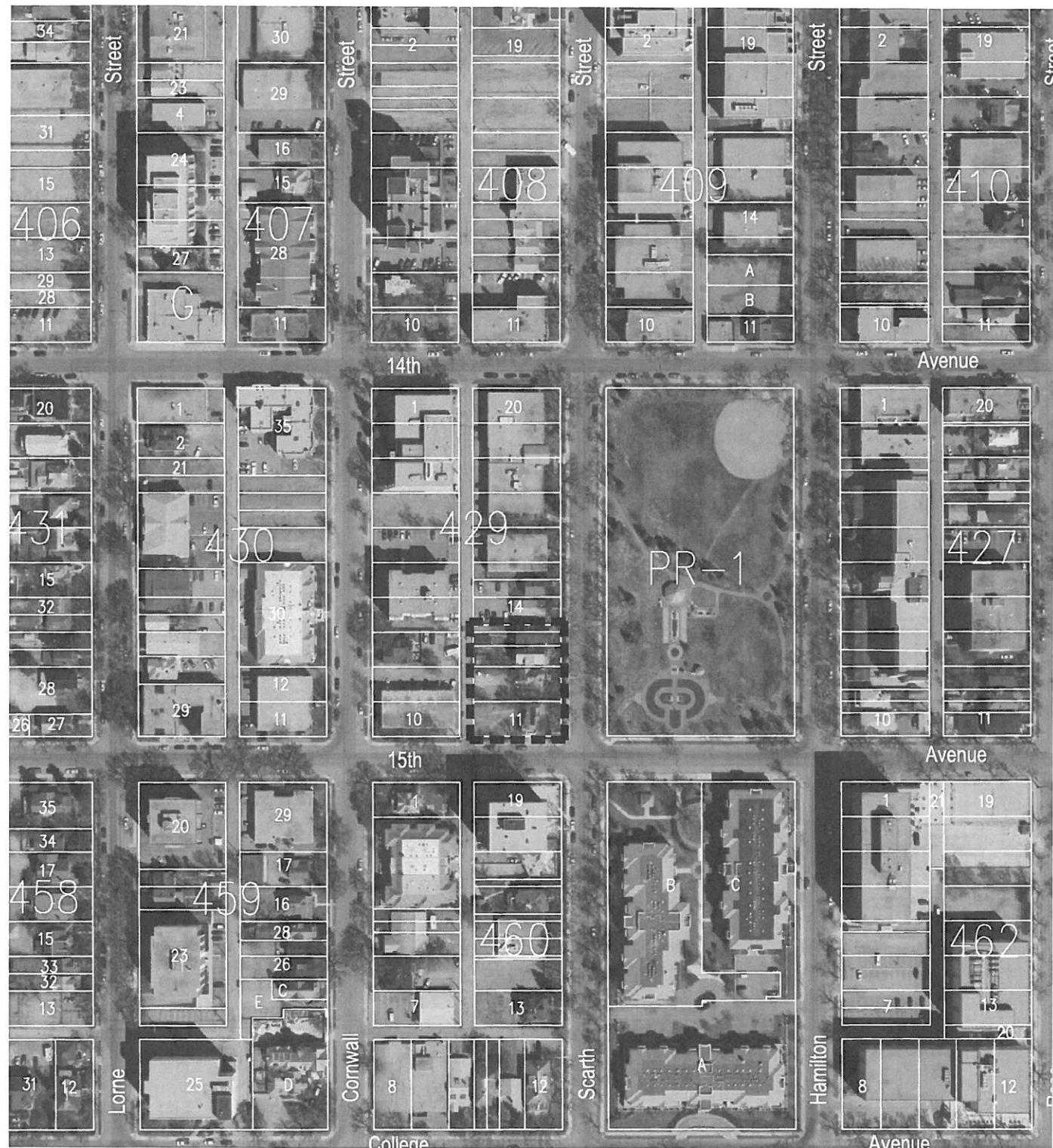
City of Regina

Planning & Sustainability Department

2100 15th Ave/2276, 2260, and 2256 Scarth St.

Project 12-CZ-6 Civic Address/Subdivision Lot 11-13, Plan. OLD33 & Lot 21/22 Plan.101187558, Block: 429

## Appendix A-2



Subject Property

Date of Photography : 2009



City of Regina

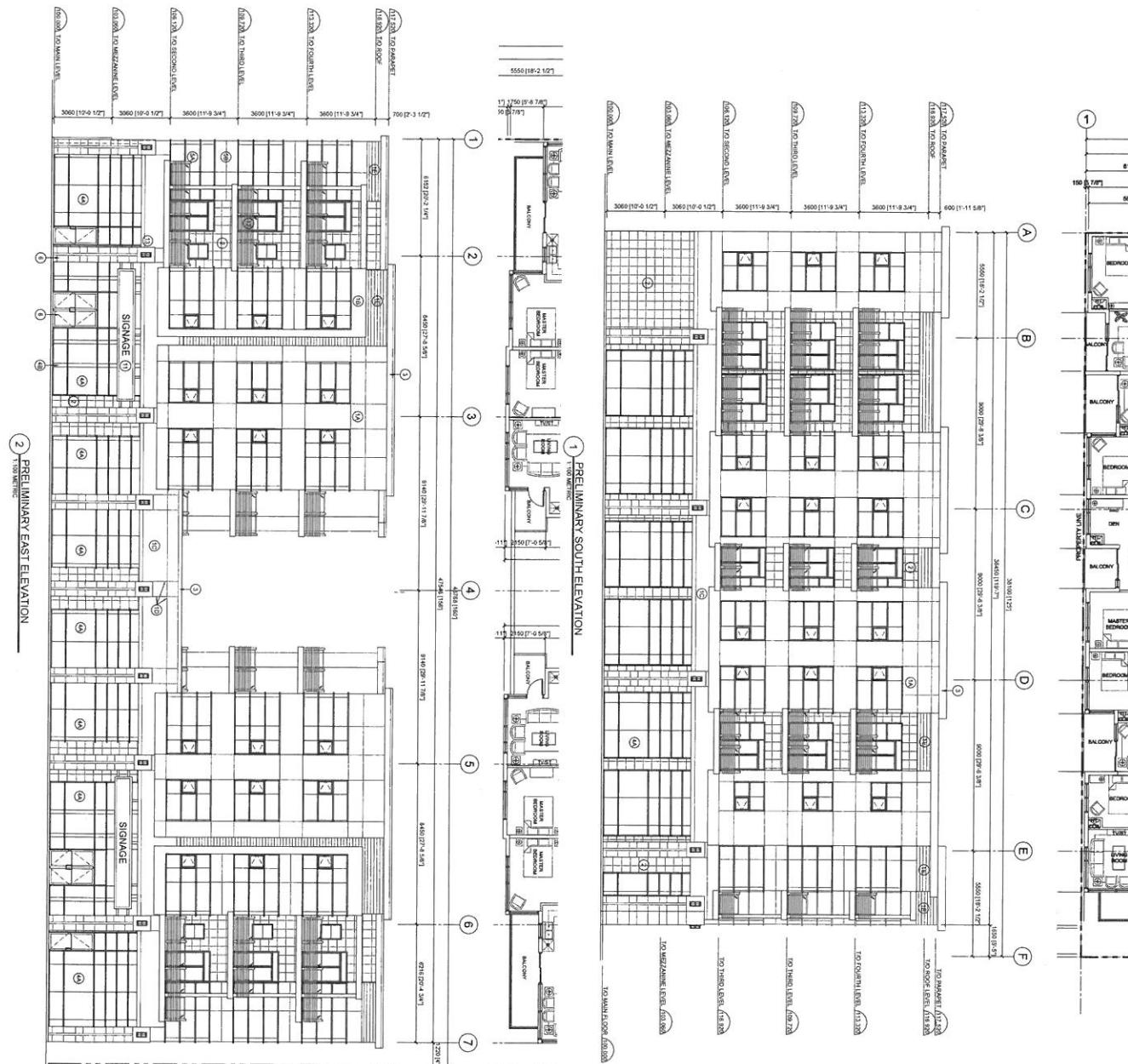
### Planning and Sustainability Department

Project 12-CZ-6

Civic Address/Subdivision

2100 15th Ave/2276, 2260, and 2256 Scarth St.  
Lot 11-13, Plan. OLD33 & Lot 21/22 Plan.101187558,Block: 429



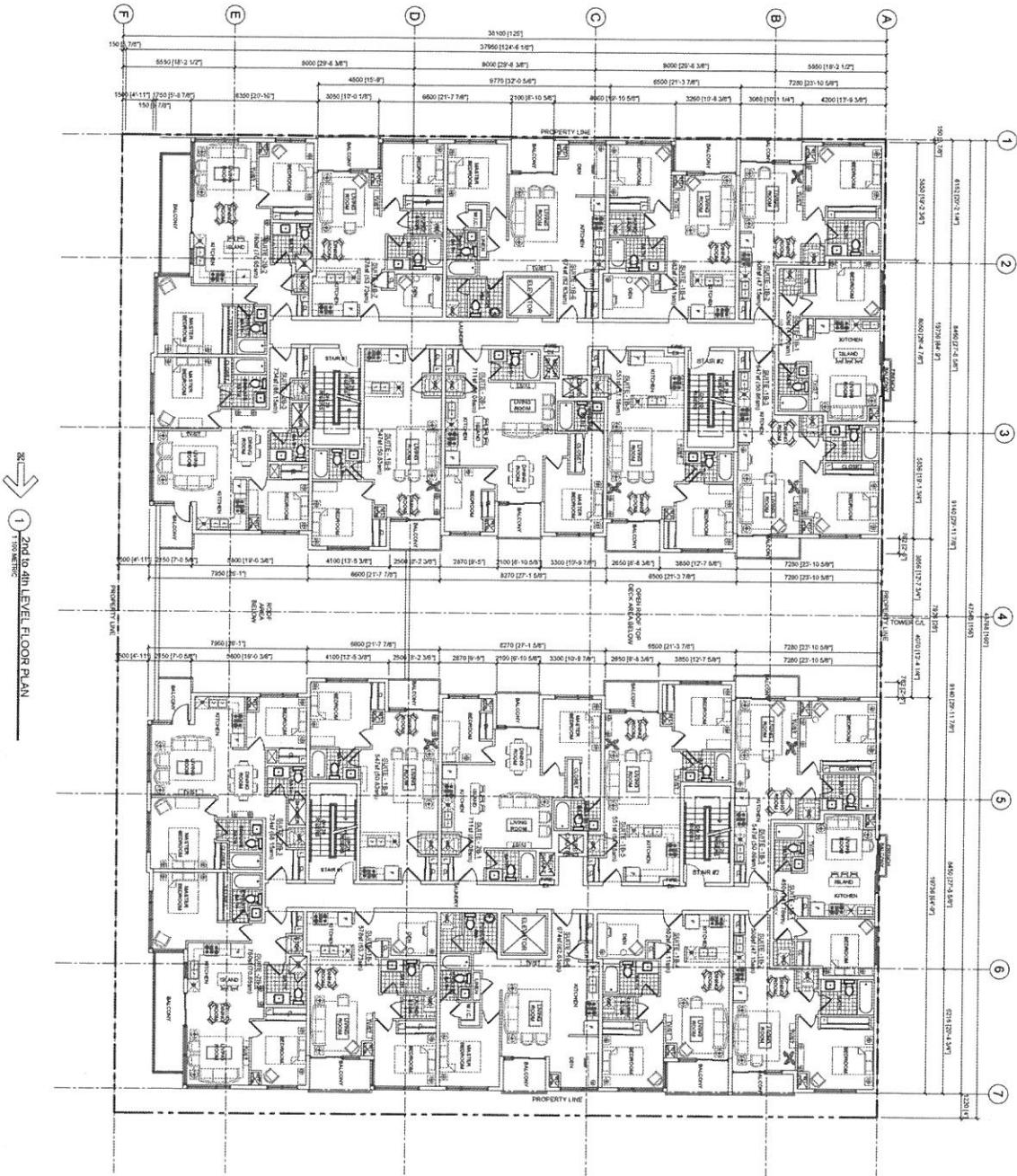


PROJECT NUMBER:  
**12005**

PROJECT DATE:  
**17 SEPT 12**

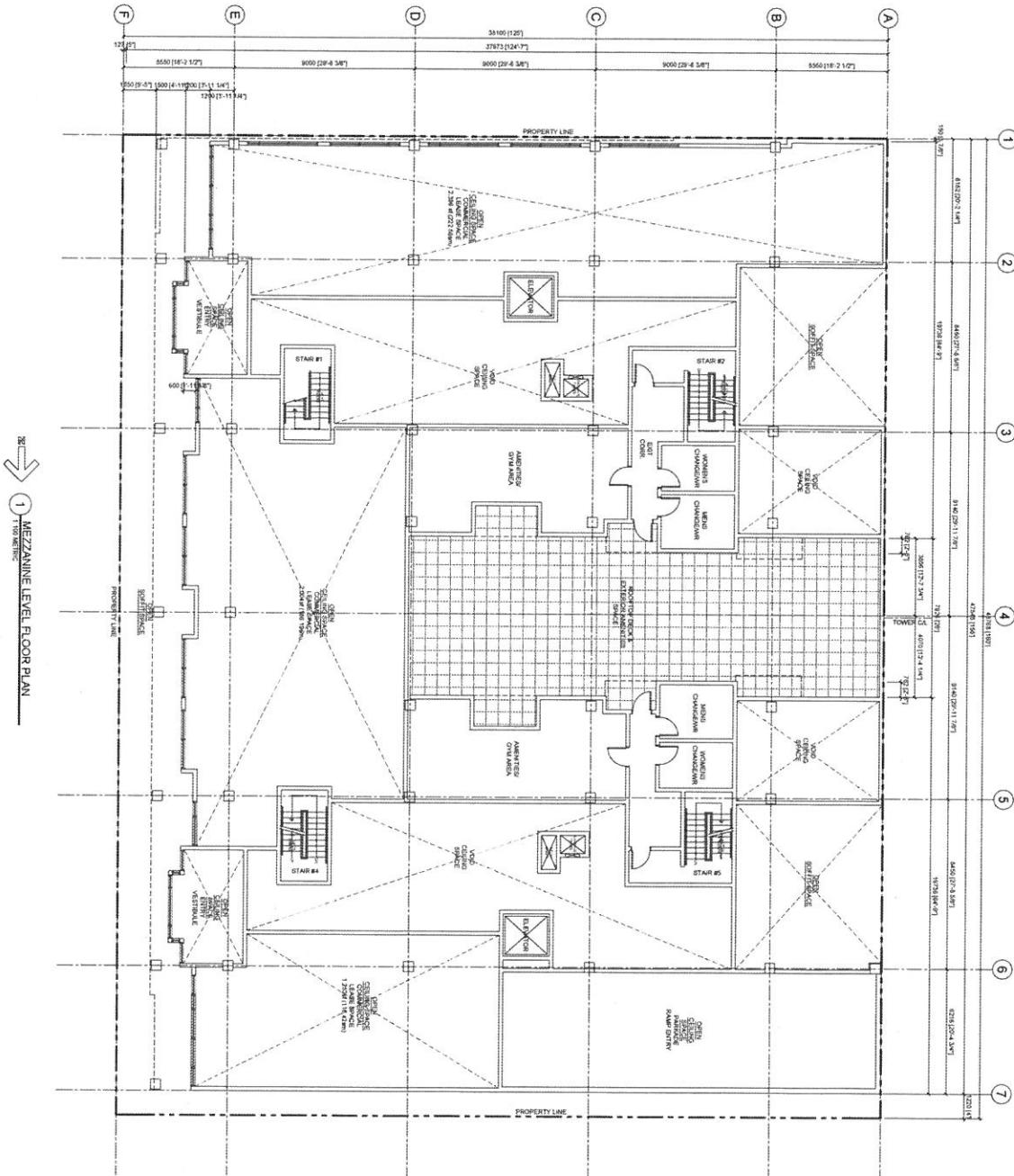
SHEET NUMBER:  
**A-2.1**

REV. NUMBER:  
-



A detailed architectural rendering of a modern condominium building. The building has a light-colored, textured facade with large windows. It features a prominent entrance with a glass door and a small overhang. The roofline is flat with some recessed lighting. In front of the building is a paved area with a few trees and a small sign that reads "2256 SCARTH STREET".

PROJECT NUMBER: 12005  
PROJECT DATE: 17 SEPT 12  
SHEET NUMBER: A-1.3  
REV. NUMBER: -



**JMA** ARCHITECTURE LTD.  
1177 Yonge Street, Suite 1000, Toronto, M5B 2C2  
TEL: 416-595-3400 FAX: 416-595-3402  
**PROJECT TITLE:** PROPOSED CONDOMINIUM  
AND COMMERCIAL  
DEVELOPMENT  
2100 15TH AVE & 2276 TO  
2256 SCARTH STREET  
REGINA, SASK.  
FLOOR PLAN  
MEZZANINE LEVEL

DATE: ISSUANCE: REASON: SIGNATURE:  
DRAFTED BY: JOHN MARGIN  
STAMP:







**APPENDIX B**  
**Applicant's Response to Concerns**

Thursday, August 16, 2012

Mr. Ben Mario  
Senior Planner – City of Regina  
2476 Victoria Avenue  
P.O. Box 1790  
Regina, SK S4P 3C8

Dear Mr. Ben Mario:

**Regarding: Response to City of Regina's Open House Comments  
Summarization**

**Project No. 12 CZ-6 (Proposed Mix-Use Building – Scarth and 15<sup>th</sup> Ave)**

Please accept this letter as the response to The City of Regina's Comments regarding Project No. 12-CZ-6, a proposed mixed-use building on the Northwest corner of Scarth Street and 15<sup>th</sup> Avenue (Regina, Saskatchewan). We thank you for your consideration and timely response.

As we understand you had the following 3 concerns:

1. The proposed building exceeds 65% of the site, the maximum laid out in the current zoning bylaws(regulations);
2. The proposed setback is not consistent with current zoning; and
3. Potential increase of traffic in the neighborhood

Our response to the following concerns is as follows:

1. The proposed building exceeds 65% of the site, the maximum laid out in the current zoning bylaws(regulations);

- The primary reason for exceeding the maximum site coverage is the economic feasibility. This project would simply not be economically feasible if we were unable to fully utilize the site. Utilizing only 65% of the site would increase the buildable land value by 54%. With current land values in the Transitional Area at \$85PSF, the project's buildable land value would be north of \$130PSF; far exceeding most Downtown Property.
- Good Design also plays a large part in the massing of the property. Of the 81% site coverage, 46% of the site is concealed parking. If the project had unconcealed surface parking, that area would not be included in the massing calculation, but that would not comply with current parking policies.

2. The proposed setback is not consistent with current zoning;

- We think that buildings should be built up to, or close to, the sidewalk in order to:
  - Establish an urban character,
  - Enhance the pedestrian experience,
  - Improve streetscape aesthetic and bring activities closer to the sidewalk,
  - Give the property the ability to conceal parking
  - Increase surveillance to the park and surrounding area, and
  - Promote a sense of community.

All of which are qualities that the Transitional Area Policies are asking for.

- The current setback is proposed because of the research that our group did while designing obtainable housing and looking at other affordable housing projects throughout Canada. We found that the most effective width of condo buildings is approximately 66 feet wide, due to the necessary components of a condominium (bedrooms, living space, kitchens, and bathrooms). In the design process we looked at many orientations of the building on this site. We found that if we went with a north south orientation we would be limited to utilizing approximately 52% of the site. Under our proposed plan, the project would use approximately 83%; meaning a north south orientation is not economically feasible.
- The design of the building also looked at reducing the length of the building from its 125ft depth to 110ft, which meant a 20% loss in sellable area, making the project not economically feasible.
- As a compromise to the zoning we have reduced the depth of the main floor space to the 3m set back. The main floor is approximately 20 feet in height and a covered public space will be created for pedestrian shelter and a shaded amenity for the residents of the building and the community.

3. Potential increase of traffic in the neighborhood

- The reason why there is a perceived traffic congestion issue in the neighborhood is due to the fact that the citizens of Regina are dependent on their vehicles to get to and from work. This project will allow residents to be less dependent on vehicles. It would also allow residents the ability to walk to work, the university, and other

places within our downtown reducing the traffic load on the downtown and potentially freeing up 66 new parking stalls in the downtown area.

Please feel free to contact me directly if you would like additional details on any of the information above. We hope that the concerns don't over shadow the primary objective of this project: developing affordable housing for the inner-city. With the average Regina home selling at a price reaching \$313,917 in July 2012, our 66 condo-units with prices ranging from \$199,000 to \$320,000 are even more necessary given current market pressures.

It should be noted that this project meets 9 of the 12 housing objectives found in Regina Development Plan, 6 of 7 situations where an infill project would be encouraged for the inner city and all 3 of the situations where developments would be encouraged in the Downtown. This project will also comply with the newly adopted Regina Downtown Neighborhood Plan and its 8 Big Moves.

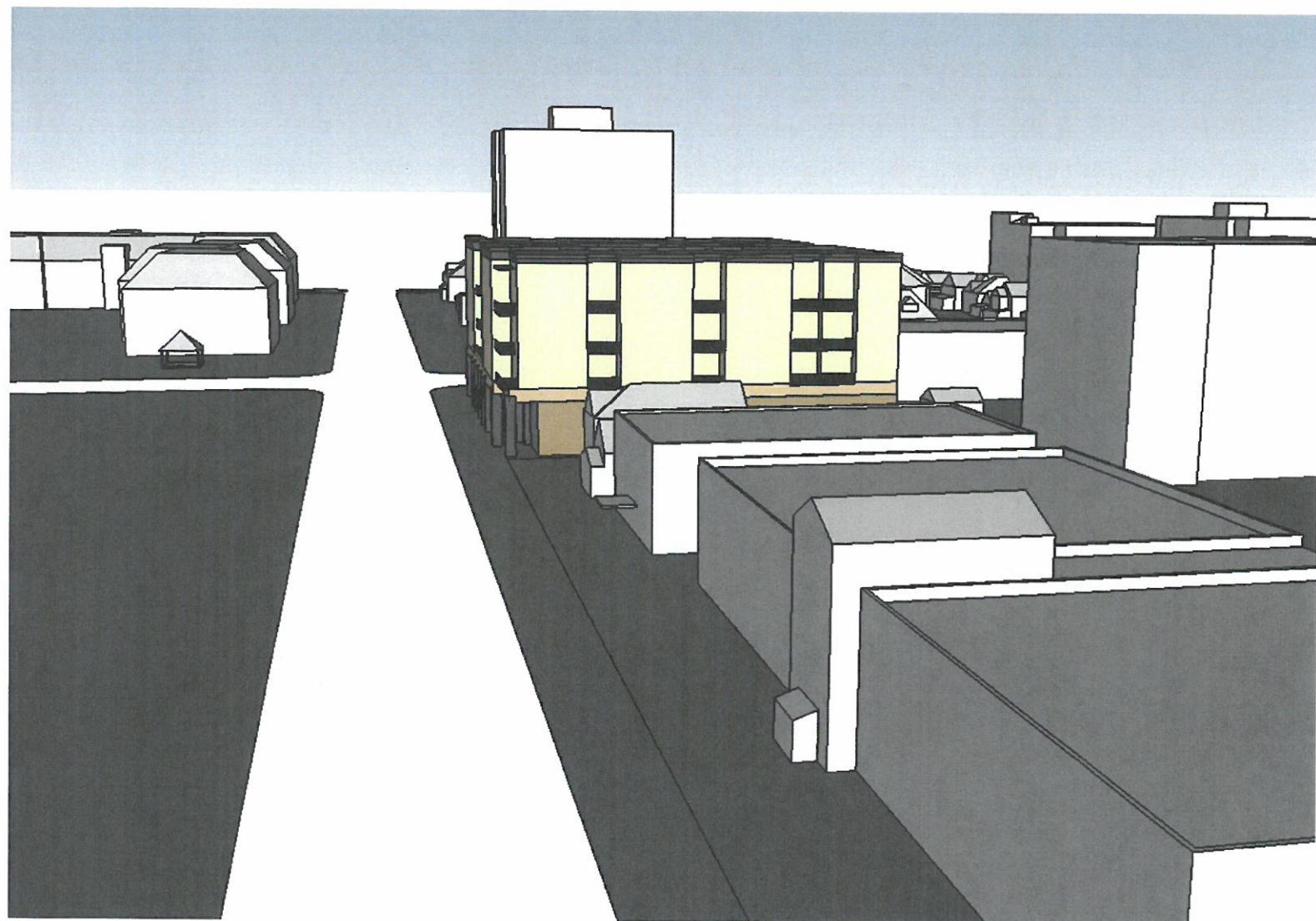
In conclusion, the City of Regina should consider granting the required rezoning of these properties to allow this project to move forward. This development will be an asset to the transition and downtown areas by providing much needed affordable residential units near the heart of the City and the development of a vacant parking lot in the Transitional Area. We thank you in advance for your consideration to our application.

Sincerely

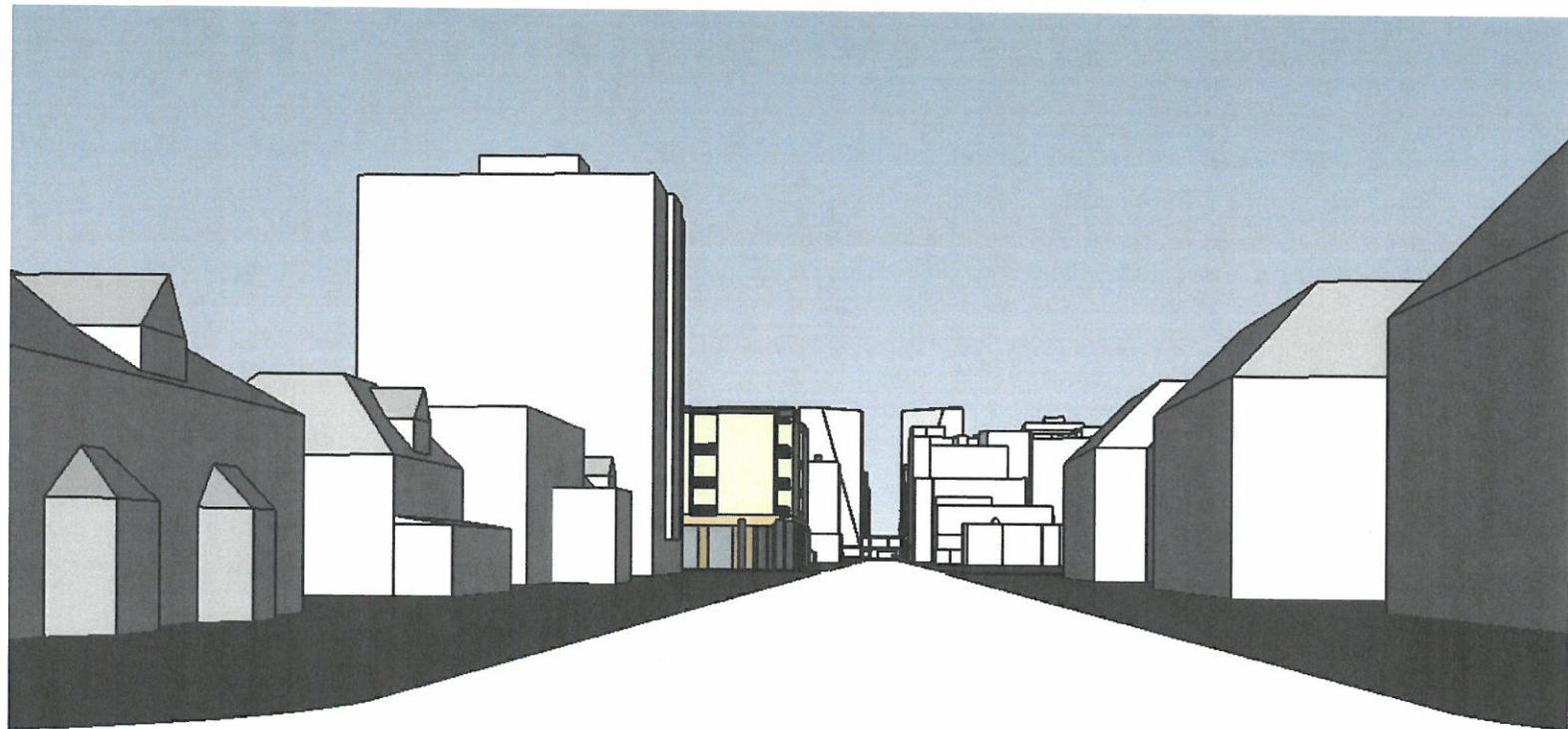
A handwritten signature in black ink, appearing to read "Carmen Lien".

Carmen Lien

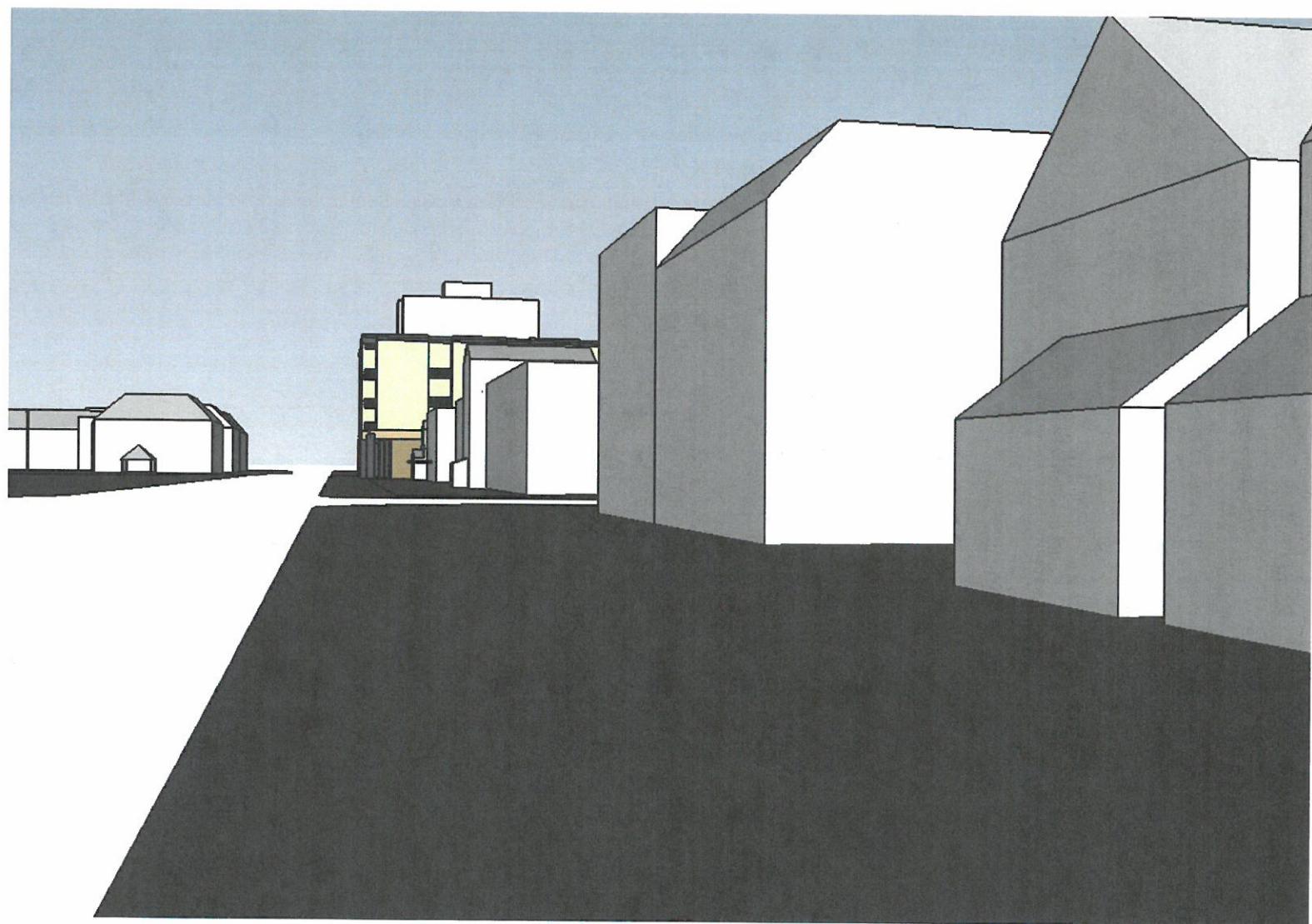
## Appendix C-1



## Appendix C-2



## Appendix C-3



## Appendix C-4



## Appendix C-5



## Appendix C-6



## Appendix C-7



## Appendix C-8



## APPENDIX D

### Comments and Concerns Noted by the Public and the Administration's Response

#### **Support for the proposal**

- Affordable housing and designed for young professionals; a “must have” for downtown Regina/ provides a realistic opportunity to own property
- Consideration for parking; underground and main level stalls ensures minimal space is wasted for parking lots on site
- Members of the neighbourhood indicated they would consider purchasing a unit if the project is approved
- Main floor commercial space is beneficial to downtown Regina; more mixed-use development is needed in the downtown area. The reduced setback will create better interaction between the commercial use and street.
- Vibrant, unique, will add to revitalization of the downtown; organic, natural design that will blend in well to the surrounding landscape.
- Increased safety from lighting and pedestrian traffic; building height and site coverage works to allow best use of the area
- Well-designed building in the transitional neighbourhood; promotes the live, work, play vision of a sustainable neighbourhood.
- Emphasis on pedestrian-oriented environment; mixed-use zoning will help alleviate urban sprawl, traffic congestion and crime in the downtown area
- Enhances the neighbourhood with a modern and functional design
- “thinking outside of the box” design that other developers should use as a model in future residential/commercial developments.

#### **Scale, Massing, Site Development**

- Concerns regarding streetscape and trees canopy/coverage; preserve residential feeling of area/ preserve existing, mature trees
- Setback should be consistent with current zoning/ site coverage at 65 %/ extending all the way to the property line is not appropriate for the neighbourhood
- Scale of development will set a new precedent in the area and change the character of the neighbourhood.
- Concerns regarding precedence – relaxing zoning standards for this property may create new trend in future similar proposals

*Administration's Response:* Concerns relating to scale and massing of the development are addressed in the body of this report.

#### **Parking and Traffic**

- Parking is an issue and scarce during the week/ not enforced/ City should enforce parking restrictions,
- Does not support having a gym as it may increase traffic

- The added traffic (both of residents and business) will only exacerbate and add to the congestion in the area/ increased noise/ traffic hazardous to children playing in the area.
- development needs to provide adequate parking for commercial patrons as well.

*Administration's Response:* The City acknowledges that parking management is an issue in the downtown and surrounding neighbourhoods. The City is engaged in a study of parking issues in the Downtown and surrounding neighbourhoods to determine strategies for management of parking in the area.

While the proposal would add more vehicles to the area, it would also allow people the opportunity to walk to work, add population that would attract more local services, allow for space for local commercial services to develop, thereby contributing to a more pedestrian-friendly urban environment.

#### **Use**

- Would approve of condos for residential use only, without the commercial use on the main floor / gym not needed with YMCA 3-4 blocks away/ previous businesses located on same site all unsuccessful.
- The City should not amend the neighbourhood plan to allow for commercial use. The neighbourhood should remain mostly residential.

#### **“None of the above/other”**

- The proposed residential units are too small and will not meet the needs of new families.

*Administration's Response:* The City does not regulate the size of units on the site. However, the Administration supports the idea of more compact residential units in the downtown as a solution to address housing affordability, to increase the population in the downtown area, and as an alternative market option.

- Trash removal/ where will the added garbage go and where would bins be located for trucks to move in/out.

*Administration's Response:* Garbage disposal areas are located indoors, within the building. The Applicant has indicated that the internal parking lot would be managed as to ensure garbage would be picked up after business hours when the parking lot would be empty.

- Entrances to the commercial space along 15<sup>th</sup> Avenue should be added. As designed the street front is not engaging.

*Administration's Response:* The applicant has confirmed that the commercial front on 15<sup>th</sup> Avenue is designed as a curtain wall and entrances could be added and the commercial space be subdivided if needed.

September 26, 2012

To: Members,  
Regina Planning Commission

Re: Removal of Items from the Regina Planning Commission Referral List

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**RECOMMENDATION**

Your Administration recommends that the following items be removed from the RPC referral list:

1. That item RPC09-19 be removed from the List of Outstanding Items for Regina Planning Commission;
2. That item RPC10-5 be removed from the List of Outstanding Items for Regina Planning Commission;
3. That item RPC11-64 be removed from the List of Outstanding Items for Regina Planning Commission;
4. That item RPC12-40 be removed from the List of Outstanding Items for Regina Planning Commission; and
5. That item CM11-7 be removed from the List of Outstanding Items for Regina Planning Commission.

**CONCLUSION**

The Administration has reviewed the List of Outstanding Items for the Regina Planning Commission and has identified several items that can be removed from the list. These are items that have subsequently been withdrawn by applicants or have since been addressed. It is recommended that these items be removed from the List of Outstanding Items.

**BACKGROUND**

In consideration of development applications over the past few years items have been referred to the Administration for either additional follow up with applicants and report back to the Regina Planning Commission. The Administration has reviewed the List of Outstanding Items and has determined that there are five items that can be presented for removal from the list.

**DISCUSSION**

It is recommended that the following items be removed from the List of Outstanding Items for the Regina Planning Commission:

Report #:	<b>RPC09-19</b>
Date Tabled/Referred:	March 25, 2009
Subject:	Applications for Discretionary Use and Concept Plan Amendment (08-DU-27) Proposed Apartment Building in MAC Zone 510 University Park Drive (Fronting Arens Road), Gardiner Heights Subdivision
Motion:	This report be tabled until such time as the Administration can meet with the Developer and prepare a report for submission to the Regina Planning Commission on the current environmental condition of the land.
Administration Comments/Status:	Following the RPC meeting the applicant decided not to pursue development on the subject property and the application has been withdrawn. There are no current proposals for development for the site and any subsequent proposals for development are required to have a remediation plan to address the current environmental condition of the property.
Report #:	<b>RPC10-5</b>
Date Tabled/Referred:	February 24, 2010
Subject:	Cell Phone Towers
Motion:	This communication be referred to the Administration for a report on guidelines and/or principles for cell phone towers on City of Regina property.
Administration Comments/Status:	In applying the Zoning Bylaw cell phone towers are classified as a public utility and a public use. Public uses are a permitted land use in all land use zones under the Zoning Bylaw. Permitted land uses are not subject to a public input process, however, the erection of such towers are subject to federal legislation and procedures of Industry Canada. Through the Industry Canada process a public circulation is undertaken to notify residents of the application to erect the tower.  Broader consideration of this item will occur as part of the comprehensive review of the Zoning Bylaw in 2014 following the adoption of a new Official Community Plan.
Report #:	<b>CM11-7</b>
Date Tabled/Referred:	July 25, 2011
Subject:	Refusal of Severance Approval (11-SV-8) 3235 Retallack Street
Motion:	That the Administration meet with the applicant to discuss alternatives, including rezoning, for a subsequent report to the Regina Planning Commission in late September.
Administration Comments/Status:	Following consideration of this item at City Council the Administration met with the applicant's to consider a number of options and alternatives for development on site. The applicant has not responded with their development intentions following those discussions and the file has now been closed.

Report #:	<b>RPC11-64</b>
Date Tabled/Referred:	December 7, 2011
Motion:	This report be referred to the Administration to work with the developer to provide a revised plan for the development which would be in compliance with the Zoning Bylaw.
Administration Comments/Status:	The applicant has decided not to proceed with this proposal and will be considering other development options for the subject property and a revised application at a later date.
Report #:	<b>RPC12-40</b>
Date Tabled/Referred:	June 13, 2012
Subject:	Zoning Bylaw Amendment and Discretionary Use Applications (12-Z-8/12-DU-13) - Proposed Townhouse, 1956 Edgar Street
Motion:	This report be referred to the Administration to work with the developer on a revised development of the property that takes into account concerns raised about massing and scale, and the number of units.
Administration Comments/Status:	Following consideration of this Item at RPC the Administration met with the applicant to discuss option. The applicant has since decided to pursue the development of a duplex on the subject property which is a permitted land use under the existing zoning of the property and does not require further consideration by the Regina Planning Commission.

#### RECOMMENDATION IMPLICATIONS

##### Financial Implications

None with respect to this report.

##### Environmental Implications

None with respect to this report.

##### Strategic Implications

None with respect to this report.

##### Other Implications

None with respect to this report.

##### Accessibility Implications

None with respect to this report.

#### COMMUNICATIONS

None with respect to this report.

DELEGATED AUTHORITY

Removal of items from the List of Outstanding Items requires review and approval of the Regina Planning Commission.

Respectfully submitted,



Diana Hawryluk, Director  
Planning Department

Respectfully submitted,



Jason Carlston, Deputy City Manager  
Community Planning and Development

FS/fv/lS  
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