

# ONE HUNDRED

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## 100-104 REYNOLDS STREET, BALMAIN

Revision A Description TENDER ISSUE  
B 100% TENDER

Date 22/05/2015  
24/06/2015



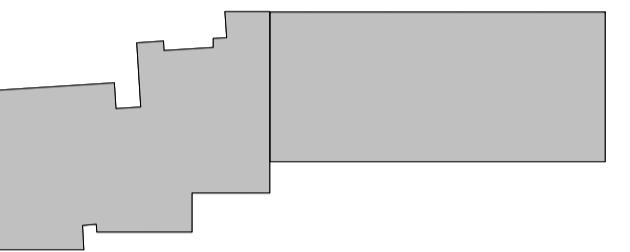
VIEW FROM REYNOLDS ST  
100-104 REYNOLDS ST, BALMAIN



SITE LOCATION (NOT TO SCALE)  
100-104 REYNOLDS ST, BALMAIN

TENDER ISSUE

KeyPlan



Consultants

DEVELOPMENT MANAGER	:	PDS AUST
STRUCTURAL ENGINEER	:	ERBAS
SERVICES ENGINEER	:	DESIGN CONFIDENCE
BCA + ACCESS	:	RENZO TONIN
ACOUSTIC	:	RAPOPORT HERITAGE
HERITAGE	:	MCLAREN TRAFFIC ENGINEERING
TRAFFIC	:	IBRAHIM STORMWATER CONSULTANTS
CIVIL	:	URBIS
LANDSCAPE	:	CITY PLAN SERVICES
PCA		

Client

WENTWORTH EQUITIES



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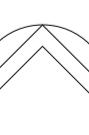
Project

BALMAIN APARTMENTS  
100-104 Reynolds St, Balmain

Sheet Title

COVER SHEET

NORTH



Drawn	Checked	Date	Scale
SP	CS	JUN 2015	@ A1

It is intended that the drawings only represent the visual design of the work. Any technical details are for outline purposes only. The Contractor/Masterbuilder must separately provide all necessary shop drawings or calculations for compliance with any relevant industry, safety standards or NZ standards, regulations or by-laws. Dimensions are to be checked on site, any discrepancies are to be referred to Custance Associates Ltd, in writing, prior to proceeding. Use written dimensions only. Do not use scaled dimensions. Check for latest revision issue.  
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Project No.	Sheet No.
3084	A0.000

## HERITAGE & GENERAL NOTES:

- STRUCTURAL TIMBER FLOOR TO BE RETAINED IN EXISTING BUILDING
- LIGHT WEIGHT WALLS TO BE INSTALLED IN REVERSIBLE MANNER
- REQUIRING MINIMAL CONNECTION TO EXISTING METAL POSTS
- EXISTING PIERS IN BASEMENT TO BE RETAINED EXCEPT AS NOTED
- STAIRS TO BE STRUCTURALLY SUPPORTING AND REVERSIBLE
- BRICK FENCE AND FOOTPATH ON REYNOLDS ST TO BE REPAIRED AND AMENDED TO SUIT
- ALL CHIMNEYS TO BE RETAINED ABOVE ROOFLINE
- RETAIN AND REPAIR RIDGE TILES AND FINIALS
- CHIMNEY BREAST AND FIREPLACE TO BE RETAINED AND EXPOSED SOUTH EAST SIDE
- INTERNAL LAYOUT OF PROFESSIONAL SUITES ON LEVEL 1 TO SUIT BCA REQUIREMENTS
- EXISTING METAL POSTS AND LANTERN TO BE DETAILED IN ACCORDANCE WITH SECTION 34 CONFERENCE OUTCOMES
- RETAIN EXISTING CHIMNEYS - CLEAN BRICKS AND REPOINT AS REQUIRED, CLEAN, PATCH AND PAINT ROUGHCAST TO MATCH, REPAIR OR REPLACE CRACKED OR BROKEN CLAY POTS (IN ACCORDANCE TO HERITAGE REPORT)
- CLEAN ALL EXISTING BRICK WALLS AND REPAIR POINTING. REPAIR AND CLEAN RENDERED LINTELS AND SANDSTONE AS NECESSARY
- CHECK FOR DAMP AND REMEDIATE AS NECESSARY. (IN ACCORDANCE TO HERITAGE REPORT)
- ALL STREET NUMBERS AND VEHICULAR SIGNAGE TO BE IN ACCORDANCE WITH DA CONDITION 67.69 TO BE APPROVED BY ARCHITECT AND ENGINEER.

## DEMOLITION NOTES:

- PRIOR TO COMMENCEMENT OF DEMOLITION THE DEMOLITION CONTRACTOR IS REQUIRED TO VERIFY ALL EXISTING CONDITIONS / UNDERGROUND SERVICES.
- THE DEMOLITION CONTRACTOR IS TO SUBMIT TO THE ARCHITECT AND OWNER A COORDINATED SCHEDULE INDICATING THE SEQUENCE OF OPERATIONS FROM DEMOLITION WORK REVIEW PRIOR TO COMMENCEMENT OF WORK.
- ALLOW FOR FLOOR LEVELING TO AREA SUBJECT TO DEMOLITION WORKS INCLUDING ANY EXISTING FLOORS TO ALLOW FOR NEW FLOOR FINISHES. (ALLOW TO FALL TO WASTES WHERE REQUIRED / NOTED)
- TOTAL TEMPORARY INTERIOR PROTECTION WILL BE REQUIRED TO SAFE GUARD ADJACENT CONSTRUCTION THAT IS TO REMAIN. TEMPORARY PROTECTION MUST NOT IMPEDE OR DECREASE REQUIRED MEANS OF EGRESS.
- CONSTRUCTION ITEMS TO REMAIN SHOULD BE PROTECTED AGAINST DAMAGE AND MUST BE WEATHER TIGHT BOTH IN PROGRESS AND COMPLETE. ALL AREAS OUTSIDE THE AREA OF WORK SHALL REMAIN FREE FROM DEBRIS.
- ALL EXISTING WALL CEILING LININGS TO BE RETAINED WHERE POSSIBLE. ALLOW TO MAKE GOOD EXISTING & ALLOW TO REPLACE TO MATCH EXISTING WHERE LININGS REQUIRE REPLACEMENT. CHECK ON SITE WITH ARCHITECT.
- DEMOLITION CONTRACTORS ARE RESPONSIBLE FOR RUBBISH REMOVAL (INCLUDING HAZARDOUS MATERIAL ABATEMENT).
- ALL DEMOLITION MATERIALS MARKED FOR REUSE IN NEW CONSTRUCTION, AS DIRECTED BY CLIENT / ARCHITECT, TO BE STORED ON SITE, ENSURE INTERNAL MATERIALS ARE PROTECTED FROM WEATHER.
- ALL EXISTING STRUCTURAL COLUMNS ARE TO BE STRIPPED BACK TO THEIR STRUCTURAL CORE (REMOVING ANY CLADDING AND PAINTING SYSTEMS) IN PREPARATION FOR NEW STRUCTURAL CONNECTIONS AND ARCHITECTURAL FINISHES.
- REMOVE ALL EXISTING PLANT & EQUIPMENT AS NECESSARY
- RETAIN STRUCTURE AS REQUIRED FROM SECT 34 CONFERENCE OUTCOMES
- ALL ROOF STRUCTURAL BOTTOM CORDS AND FLOOR JOIST TO BE REMOVED ALONG WITH COLLAR TIES, NEW COLLAR TIES TO BE PLACED IN ACCORDANCE TO STRUCTURAL ENGINEERS DETAIL.
- KEYING INTO THE EXTERNAL WALL OF THE HERITAGE BUILDING IS TO BE AVOIDED UNLESS STRUCTURALLY REQUIRED

## FIRE SAFETY NOTES

- 90/90/90 SEPARATION FOR INTERVENING RESIDENTIAL UNITS
- EXISTING COLUMNS AND EXISTING BEAMS BETWEEN UNITS TO BE PAINTED WITH INTUMESCENT PAINT TO ACHIEVE 90/90/90 FRL
- 120/120/120 FIRE SEPARATION IN CEILING SPACE ABOVE RETAIL AND CARPARK FIBRE CEMENT SHEETING UNDERLAY FOR FLOORING ABOVE
- BOX IN BEAMS AND JOISTS THROUGHOUT UNDERSIDE OF GROUND FLOOR TO SATISFY 120/120/120 FRL
- EACH DOORWAY PROVIDING ACCESS FROM A SOUTHERN OR ANY OTHER ROOM INTO A PUBLIC CORRIDOR, PUBLIC LOBBY OR THE LIKE IS REQUIRED TO BE A SELF-CLOSING -60/30 FIRE DOOR. REFER TO BCA REPORT FOR FIRE RESISTANCE REQUIREMENTS

## ENGINEERS REQUIREMENTS

- ALL WORKS TO COMPLY WITH RELEVANT CLAUSES OF THE BCA
- READ IN CONJUNCTION WITH HYDRAULIC DRAWINGS + STORMWATER DRAWINGS
- READ IN CONJUNCTION WITH THE FIRE ENGINEERS DRAWINGS
- READ IN CONJUNCTION WITH THE CIVIL ENGINEERS DRAWINGS
- READ IN CONJUNCTION WITH THE MECHANICAL ENGINEERS DRAWINGS
- READ IN CONJUNCTION WITH THE ACOUSTIC ENGINEERS REPORT
- READ IN CONJUNCTION WITH ARCHITECT'S SPECIFICATION & TECHNICAL REFERENCE SHEET
- READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DRAWINGS
- KEYING INTO THE EXTERNAL WALL OF THE HERITAGE BUILDING IS TO BE AVOIDED UNLESS STRUCTURALLY REQUIRED
- ALL EXISTING STRUCTURE TO BE REMOVED / MODIFIED / REPLACED SHALL BE IN ACCORDANCE WITH STRUCTURAL ENGINEERS DESIGN / DETAIL. NO WORK SHALL COMMENCE ON THE EXISTING STRUCTURE UNLESS AUTHORISED BY THE STRUCTURAL ENGINEER AND ARCHITECT
- ALL WORKS TO BE IN ACCORDANCE WITH ENGINEERS DESIGN / DETAIL.

## BASIX REQUIREMENTS

- CAVITY BRICK EXTERNAL TO EXISTING BUILDING WITH R1.0 INSULATION TO EXTENSION BUILDING.
- R2.0 INSULATION TO EXTERNAL CLAD WALLS (TOP FLOOR UNITS AND DORMERS).
- R2.0 INSULATION TO INTERNAL WALLS ADJACENT TO ROOFSPACE.
- R1.0 SUBFLOOR INSULATION TO UNITS WITH CARPARK DIRECTLY BELOW.
- R3.5 CEILING INSULATION WHERE ROOF ABOVE.
- R1.0 FULL BACKUP ROOF INSULATION UNDER METAL ROOF.
- NO ADDITIONAL INSULATION TO EXISTING GLED ROOF.
- STANDARD CLEAR GLAZING THROUGHOUT (GLAZING SYSTEM PERFORMANCE U-6.35, SHGC-0.77)
- LOWE GLASS TO ROOF WINDOWS OVER UNIT 6.
- DOUBLE GLAZED LOWE GLASS TO TOP FLOOR UNITS OF EXISTING BUILDING AS PER PLANS.

HATCHING STANDARDS:		
MATERIALS	A1 HATCH:	LINE WEIGHTS:
CD - CONCRETE (CUT)	CD - CONCRETE (CUT)	CONCRETE 0.50mm
CD - TIMBER (CUT)	WOOD 2	0.18mm
CD - PLY (CUT)	WOOD_GLU_LAM	0.25mm
CD - SPANDEK (CUT)	DIAGONAL 0.5	0.18mm
CD - ACOUSTIC UNDERLAY	WOOD CORK	0.10mm
CD - METAL (CUT)	DIAGONAL 0.5	0.18mm
CD - STRUCTURAL STEEL (CUT)	SOLID	0.35mm
CD - ALUMINIUM (CUT)	ALUMINIUM	0.18mm
CD - PLASTERBOARD (CUT)	GYPSUM PLASTER	0.18mm
CD - BRICKWORK (CUT)	BRICKWORK	0.25mm
CD - BLOCKWORK (CUT)	DIAGONAL 3.0mm	0.25mm
DA - METAL DECK	STANDING SEAM	0.18mm
SITE WORKS		
	A1 HATCH:	LINE WEIGHT
EXCAVATION	DIAGONAL 1.5	DASHED RED 0.5mm
BACKFILL	DIAGONAL 1.5	DASHED BLUE 0.35mm
EARTH - TOP SOIL	SAND DENSE	0.30mm
EARTH	EARTH 45	0.50mm
ATLANTIS CELL	CROSSHATCH 0.50	18mm
CRUSHED BLUE METAL	GRAVEL MEDIUM SCALE	0.18mm

APPROVED TEXT & DIMENSION TYPES FOR DRAWINGS:		
A3 DRAWING TEXT:		
ENTER TEXT HERE	GENERAL TEXT - 2.0mm (BOLD) - ARIAL	
ENTER TEXT HERE	GENERAL TEXT - 2.0mm - ARIAL	
ENTER TEXT HERE	MARKUP - 2.0mm - ARIAL	
A3 DRAWING TEXT:		
2600	GENERAL TEXT - 2.0mm - ARIAL	
2600	MARKUP - 2.0mm - ARIAL	
A1 DRAWING TEXT:		
ENTER TEXT HERE	GENERAL TEXT - 2.5mm (BOLD) - ARIAL	
ENTER TEXT HERE	GENERAL TEXT - 2.5mm - ARIAL	
ENTER TEXT HERE	MARKUP - 2.5mm - ARIAL	
A1 DRAWING TEXT:		
2600	GENERAL TEXT - 2.0mm - ARIAL	
2600	MARKUP - 2.5mm - ARIAL	
2600	GENERAL TEXT - 3.5mm - ARIAL	

SYMBOLS CD/A1 (1:50)	
Room	ROOM TAG ROOM NUMBER ROOM NAME FLOOR FINISH AREA M2
01	FLOOR TAG FLOOR TYPE REFER FLOOR SCHEDULE
PB01 2700	CEILING TAG: CEILING TYPE CEILING HEIGHT
W01 1:100	WINDOW TAG: WINDOW NUMBER WINDOW TYPE
D01 1:100	DOOR TAG: DOOR NUMBER DOOR TYPE
R1	RAILING TAG: RAILING TYPE REFER RAILING SCHEDULE
?	WALL TAG: WALL TYPE REFER WALL SCHEDULE
EX1	EXTG WALL TAG: WALL TREATMENT REFER WALL SCHEDULE
Q1	DEMOLITION TAG: REFER DEMOLITION SCHEDULE
01	PROTECTION TAG: REFER DEMOLITION SCHEDULE
100	MATERIAL TAG: REFER MATERIALS & FINISHES SCHEDULE
40	STRUCTURAL SET DOWN: NUMBER NOMINATES SET DOWN IN MM
20 RISERS @ 100mm	STAIR TAG: NOMINATES NUMBER OF RISERS & HEIGHT
11	PLUMBING FIXTURE TAG: REFER TO SCHEDULE OF FIXTURES & FITTINGS
11	ELECTRICAL TAG: REFER TO SCHEDULE OF FIXTURES & FITTINGS
88	PLUMBING FIXTURE TAG: DOWNPIPES, FLOOR WASTES, STORM WATER ETC

RCP LEGEND:	
CEILING TAG:	CEILING TYPE
PB 2700	CEILING HEIGHT
SG	CEILING TYPES:
SG	1 X 13mm 'GYPROC PLASTERBOARD
DG	1 X 13mm 'GYPROC AQUACHEK' PLASTERBOARD
OG	1 X 13MM + 1 X 16mm 'GYPROC FYRCHEK' PLASTERBOARD (FRL_ /60/60)
FG	3 X 16mm 'GYPROC FYRCHEK' PLASTERBOARD (FRL_ /120/120)
LVR	FWPB 1 X 13MM + 1 X 16mm 'GYPROC FYRCHEK' PLASTERBOARD (FRL_ /60/60)
	FC01 6mm 'CEMINTEL SOFFITLINE' FLUSH JOINTED FC SHEET
	FC02 FC SHEET
	TB01 TIMBER BATTEN (SCREW FIXED)
	CONC CONCRETE EXPOSED
	EX01 RETAIN EXTG CEILING, PATCH & REPAIR
	SQ SQUARE SET
	RP50 RP50 10mm SHADOW LINE

DEMOLITION GRAPHIC KEY:	
UNLESS OTHERWISE NOTED ALL FABRIC IS TO BE RETAINED	
AREA TO BE PROTECTED	
AREA TO BE DEMOLISHED	
OUTLINE OF DEMOLISHED	
OUTLINE OF PROTECTED	
EL EXCAVATION LEVEL (STRUCTURAL ENGINEER TO CONFIRM)	
RL RELATIVE LEVEL	
SSL SLAB LEVEL (TO FUTURE PLAN SETOUT)	
CBL CAPPING BEAM LEVEL (STRUCTURAL ENGINEER TO CONFIRM)	
FGL FINISHED GROUND LEVEL	

### RCP GENERAL NOTES:

THIS DRAWING IS A DESIGN INTENT DRAWING ONLY. IT REMAINS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO ENSURE COMPLIANCE WITH THE BCA, AUSTRALIAN STANDARDS & BASIX, INCLUDING PROVISIONS FOR FIRE ALARMS AND MONITORING, SMOKE DETECTION, INTERCOM AND SECURITY FOR THE APPROVAL BY THE ARCHITECT.

ALL SYMBOLS ARE INDICATIVE AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM THE MAKE, MODEL AND CONNECTIONS REQUIRED TO ALL FIXTURES AND FITTINGS WITH REFERENCE TO THE SPECIFICATION AND SCHEDULES.

SET OUT OF ELECTRICAL EQUIPMENT IS TO BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.

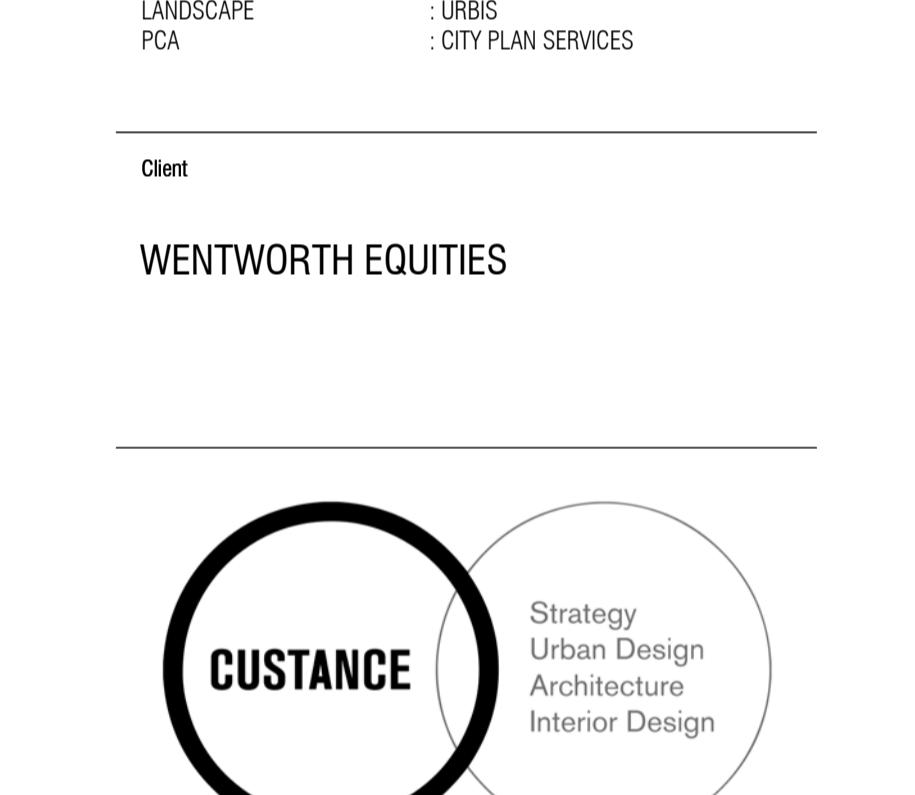
KEYING INTO THE EXTERNAL WALL OF THE HERITAGE BUILDING IS TO BE AVOIDED UNLESS STRUCTURALLY REQUIRED

DRAWING SYMBOLS CD/A1 (1:50)	
1	VIEW NAME R101
1	VIEW NAME A1.101 1:100
	NORTH POINT
1	ELEVATION HEAD (NOTE: NOT SHOWN ON DRAWINGS ELEVATIONS ARE INDICATED BY PROJECT NORTH, SOUTH, EAST & WEST)
	BUILDING SECTION HEAD
1	INTERIOR / DETAIL ELEVATIONS HEAD CD10
	DETAIL ELEVATIONS HEAD
	DETAIL SECTION HEAD (NOTE: NOT SHOWN ON DRAWINGS FOR REF ONLY)
Ref	CALLOUT HEAD (NOTE: NOT SHOWN ON DRAWINGS FOR REF ONLY)
	SET OUT POINT
	RL MARKER TARGET
TX	TEXT ARROW: 90 DEGREE OPEN
	SLOPE ARROW: 90 DEGREE OPEN. ALWAYS POINTS UP
1:100	FALL ARROW: 15 DEGREE CLOSED. POINTS IN THE DIRECTION OF FALL
	CENTERLINE MARKER: 15 DEGREE CLOSED. POINTS IN THE DIRECTION OF FALL
	REVISION TAG: REFER REVISIONS

KeyPlan	Consultants
	DEVELOPMENT MANAGER : PDS AUST
	STRUCTURAL ENGINEER : ERBAS
	SERVICES ENGINEER : BCA + ACCESS
	ACOUSTIC : DESIGN CONFIDENCE
	HERITAGE : RAPPORT HERITAGE
	TRAFFIC : McLaren TRAFFIC ENGINEERING
	CIVIL : BRAHM STORMWATER CONSULTANTS
	LANDSCAPE : URBIS
	PCA : CITY PLAN SERVICES

Client

WENTWORTH EQUITIES



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## DRAWING LIST - A0.000 - A4.000

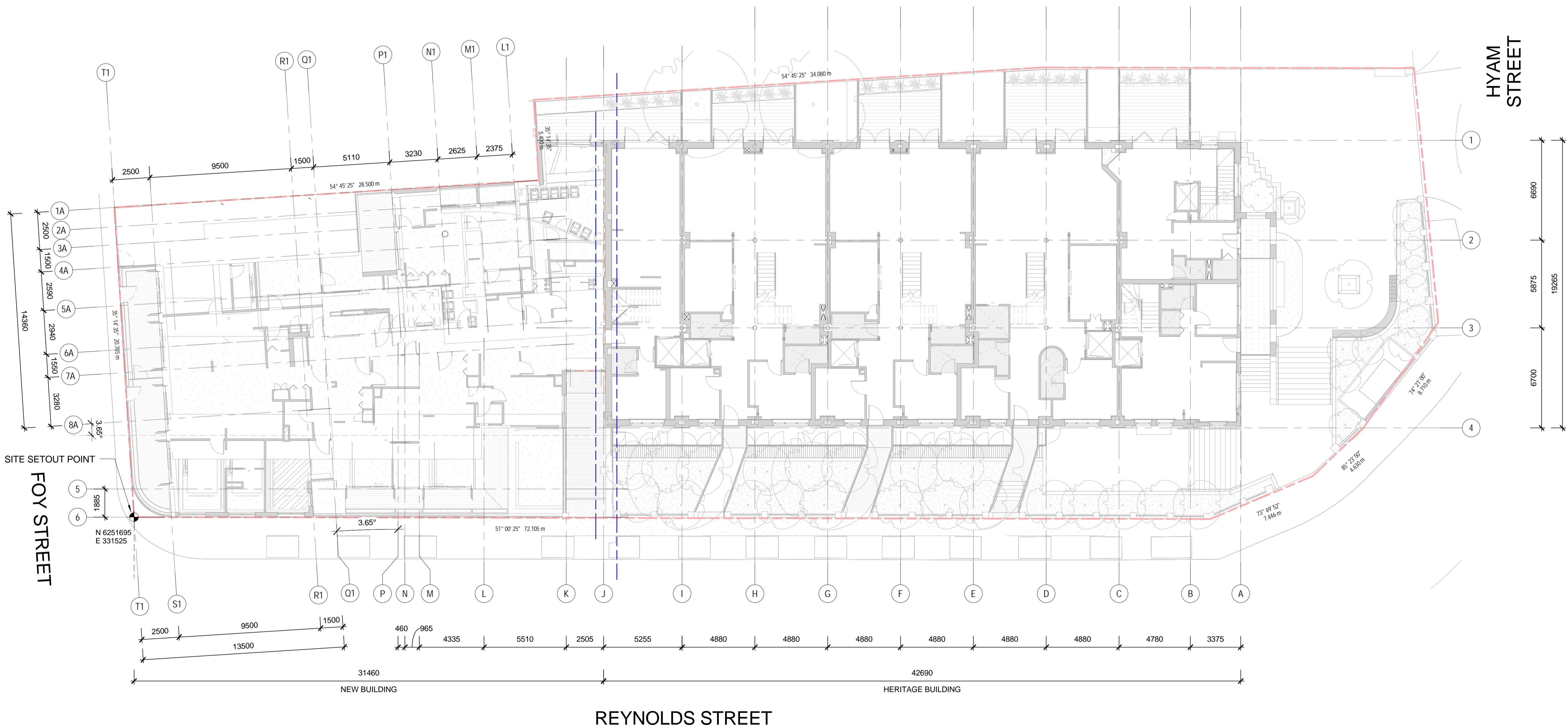
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A0.000 COVER PAGE & LEGEND				
A0.000 COVER PAGE & LEGEND	A0.000	COVER SHEET	24/06/2015	
A0.000 COVER PAGE & LEGEND	A0.001	LEGENDS	24/06/2015	
A0.000 COVER PAGE & LEGEND	A0.002	DRAWING LIST	24/06/2015	
A0.000 EXTERNAL WORKS				
A0.000 EXTERNAL WORKS	A0.010	SITE SETOUT	24/06/2015	
A0.000 EXTERNAL WORKS	A0.011	EXTERNAL WORKS - SITE PLAN	24/06/2015	
A0.000 EXTERNAL WORKS	A0.012	EXTERNAL WORKS PLAN	24/06/2015	
A0.000 EXTERNAL WORKS	A0.013	FENCE ELEVATIONS	24/06/2015	
A0.000 EXTERNAL WORKS	A0.014	FENCE ELEVATIONS	24/06/2015	
A0.000 EXTERNAL WORKS	A0.015	EXTERNAL WORKS - ELECTRICAL KIOSK	24/06/2015	
A0.000 EXTERNAL WORKS	A0.019	EXTERNAL WORKS - DETAILS - 01	24/06/2015	
A0.000 EXTERNAL WORKS	A0.020	EXTERNAL WORKS - DETAILS - 02	24/06/2015	
A0.000 EXTERNAL WORKS	A0.021	EXTERNAL WORKS - DETAILS - 03	24/06/2015	
A0.000 EXTERNAL WORKS	A0.022	EXTERNAL WORKS - DETAILS - 04	24/06/2015	
A0.000 EXTERNAL WORKS	A0.023	EXTERNAL WORKS - DETAILS - 05	24/06/2015	
A0.000 EXTERNAL WORKS	A0.024	EXTERNAL WORKS - DETAILS - 06	24/06/2015	
A0.000 EXTERNAL WORKS	A0.025	EXTERNAL WORKS - DETAILS - 07	24/06/2015	
A0.000 EXTERNAL WORKS	A0.030	EXTERNAL WORKS - EXTERNAL LIGHTING LAYOUT	24/06/2015	
A0.000 EXTERNAL WORKS	A0.130	EXTERNAL WORKS - EXTERNAL LIGHTING LAYOUT	24/06/2015	3084_ARCH_BALMAIN_NB
A0.050 ADAPTABLE UNIT TYPES				
A0.050 ADAPTABLE UNIT TYPES	A0.050	ADAPTABLE UNIT 17 - PRE AND POST ADAPTION	24/06/2015	
A0.050 ADAPTABLE UNIT TYPES	A0.051	ADAPTABLE UNIT 4 & 5 - PRE AND POST ADAPTION	24/06/2015	
A1.X10 RETAINED STRUCTURE				
A1.X10 RETAINED STRUCTURE	A1.010	RETAINED STRUCTURE - SITE PLAN	24/06/2015	
A1.X10 RETAINED STRUCTURE	A1.011	RETAINED STRUCTURE - GROUND	24/06/2015	
A1.X10 RETAINED STRUCTURE	A1.012	RETAINED STRUCTURE - LEVEL 1	24/06/2015	
A1.X10 RETAINED STRUCTURE	A1.013	RETAINED STRUCTURE - LEVEL 2	24/06/2015	
A1.X10 RETAINED STRUCTURE	A1.014	RETAINED STRUCTURE - ROOF	24/06/2015	
A1.X10 RETAINED STRUCTURE	A1.015	RETAINED STRUCTURE - ELEVATIONS	24/06/2015	
A1.X10 RETAINED STRUCTURE	A1.016	RETAINED STRUCTURE - ELEVATIONS	24/06/2015	
A1.X10 RETAINED STRUCTURE	A1.017	RETAINED STRUCTURE - FENCE ELEVATIONS	24/06/2015	
A1.X10 RETAINED STRUCTURE	A1.018	RETAINED STRUCTURE - SECTIONS	24/06/2015	
A1.X10 RETAINED STRUCTURE	A1.019	RETAINED STRUCTURE - SECTIONS	24/06/2015	
A1.X10 RETAINED STRUCTURE	A1.020	RETAINED STRUCTURE - 3D VIEW	24/06/2015	
A1.X20 STRUCTURAL SETOUT PLANS				
A1.X20 STRUCTURAL SETOUT PLANS	A1.021	STRUCTURAL SETOUT PLAN - GROUND	24/06/2015	
A1.X20 STRUCTURAL SETOUT PLANS	A1.022	STRUCTURAL SETOUT PLAN - LEVEL 1	24/06/2015	
A1.X20 STRUCTURAL SETOUT PLANS	A1.023	STRUCTURAL SETOUT PLAN - LEVEL 2	24/06/2015	
A1.X20 STRUCTURAL SETOUT PLANS	A1.120	STRUCTURAL SETOUT PLAN - BASEMENT	24/06/2015	3084_ARCH_BALMAIN_NB
A1.X20 STRUCTURAL SETOUT PLANS	A1.121	STRUCTURAL SETOUT PLAN - GROUND	24/06/2015	3084_ARCH_BALMAIN_NB
A1.X20 STRUCTURAL SETOUT PLANS	A1.122	STRUCTURAL SETOUT PLAN - LEVEL 1	24/06/2015	3084_ARCH_BALMAIN_NB
A1.X20 STRUCTURAL SETOUT PLANS	A1.123	STRUCTURAL SETOUT PLAN - LEVEL 2	24/06/2015	3084_ARCH_BALMAIN_NB
A1.X20 STRUCTURAL SETOUT PLANS	A1.124	STRUCTURAL SETOUT PLAN - LEVEL 3	24/06/2015	3084_ARCH_BALMAIN_NB
A1.X20 STRUCTURAL SETOUT PLANS	A1.125	STRUCTURAL SETOUT PLAN - ATTIC	24/06/2015	3084_ARCH_BALMAIN_NB
A1.X30 GENERAL SETOUT				
A1.X30 GENERAL SETOUT	A1.130	GENERAL SETOUT PLAN - BASEMENT	24/06/2015	3084_ARCH_BALMAIN_NB
A1.X30 GENERAL SETOUT	A1.131	GENERAL SETOUT PLAN - GROUND	24/06/2015	3084_ARCH_BALMAIN_NB
A1.X30 GENERAL SETOUT	A1.132	GENERAL SETOUT PLAN - LEVEL 1	24/06/2015	3084_ARCH_BALMAIN_NB
A1.X30 GENERAL SETOUT	A1.133	GENERAL SETOUT PLAN - LEVEL 2	24/06/2015	3084_ARCH_BALMAIN_NB
A1.X30 GENERAL SETOUT	A1.134	GENERAL SETOUT PLAN - LEVEL 3	24/06/2015	3084_ARCH_BALMAIN_NB
A1.X30 GENERAL SETOUT	A1.135	GENERAL SETOUT PLAN - ATTIC	24/06/2015	3084_ARCH_BALMAIN_NB
A1.X30 GENERAL SETOUT	A1.136	GENERAL SETOUT PLAN - ROOF	24/06/2015	3084_ARCH_BALMAIN_NB
A1.X30 GENERAL SETOUT PLANS				
A1.X30 GENERAL SETOUT PLANS	A1.031	GENERAL SETOUT - GROUND	24/06/2015	
A1.X30 GENERAL SETOUT PLANS	A1.032	GENERAL SETOUT - LEVEL 1	24/06/2015	
A1.X30 GENERAL SETOUT PLANS	A1.033	GENERAL SETOUT - LEVEL 2	24/06/2015	
A1.X30 GENERAL SETOUT PLANS	A1.034	GENERAL SETOUT - ROOF	24/06/2015	
A1.X40 UNIT SETOUT				
A1.X40 UNIT SETOUT	A1.141	UNIT SETOUT - NE LEVEL 1 & 2	24/06/2015	3084_ARCH_BALMAIN_NB
A1.X40 UNIT SETOUT	A1.142	UNIT SETOUT - NE LEVEL 3 & 4	24/06/2015	3084_ARCH_BALMAIN_NB
A1.X40 UNIT SETOUT	A1.143	UNIT SETOUT - NW LEVEL 1 & 2	24/06/2015	3084_ARCH_BALMAIN_NB
A1.X40 UNIT SETOUT	A1.144	UNIT SETOUT - NW LEVEL 3 & 4	24/06/2015	3084_ARCH_BALMAIN_NB
A1.X40 UNIT SETOUT	A1.145	UNIT SETOUT - SW LEVEL 1 & 2	24/06/2015	3084_ARCH_BALMAIN_NB
A1.X40 UNIT SETOUT	A1.146	UNIT SETOUT - SW LEVEL 3 & 4	24/06/2015	3084_ARCH_BALMAIN_NB
A1.X40 UNIT SETOUT PLANS				
A1.X40 UNIT SETOUT PLANS	A1.041	UNIT SETOUT - UNIT 01 - LEVEL 1 & 2	24/06/2015	
A1.X40 UNIT SETOUT PLANS	A1.042	UNIT SETOUT - UNIT 02 - LEVEL 1 & 2	24/06/2015	
A1.X40 UNIT SETOUT PLANS	A1.043	UNIT SETOUT - UNIT 03 - LEVEL 1 & 2	24/06/2015	
A1.X40 UNIT SETOUT PLANS	A1.044	UNIT SETOUT - UNIT 04 - LEVEL 1 & 2	24/06/2015	
A1.X40 UNIT SETOUT PLANS	A1.045	UNIT SETOUT - UNIT 05 - LEVEL 1 & 2	24/06/2015	
A1.X40 UNIT SETOUT PLANS	A1.046	UNIT SETOUT - UNIT 06 - LEVEL 1 & 2	24/06/2015	
A2.X00 RCP				
A2.X00 RCP	A2.100	RCP - BASEMENT	24/06/2015	3084_ARCH_BALMAIN_NB
A2.X00 RCP	A2.101	RCP - GROUND	24/06/2015	3084_ARCH_BALMAIN_NB
A2.X00 RCP	A2.102	RCP - LEVEL 1	24/06/2015	3084_ARCH_BALMAIN_NB
A2.X00 RCP	A2.103	RCP - LEVEL 2	24/06/2015	3084_ARCH_BALMAIN_NB
A2.X00 RCP	A2.104	RCP - LEVEL 3	24/06/2015	3084_ARCH_BALMAIN_NB
A2.X00 RCP	A2.105	RCP - ATTIC	24/06/2015	3084_ARCH_BALMAIN_NB
A2.X00 RCP	A2.106	RCP - NE LEVEL 1 & 2	24/06/2015	3084_ARCH_BALMAIN_NB
A2.X00 RCP	A2.107	RCP - NE LEVEL 3 & 4	24/06/2015	3084_ARCH_BALMAIN_NB
A2.X00 RCP	A2.108	RCP - NW LEVEL 1 & 2	24/06/2015	3084_ARCH_BALMAIN_NB
A2.X00 RCP	A2.109	RCP - NW LEVEL 3 & 4	24/06/2015	3084_ARCH_BALMAIN_NB
A2.X00 RCP	A2.110	RCP - SW LEVEL 1 & 2	24/06/2015	3084_ARCH_BALMAIN_NB
A2.X00 RCP	A2.111	RCP - SW LEVEL 3 & 4	24/06/2015	3084_ARCH_BALMAIN_NB
A2.X00 REFLECTED CEILING PLANS				
A2.X00 REFLECTED CEILING PLANS	A2.001	RCP - HERITAGE GROUND	24/06/2015	
A2.X00 REFLECTED CEILING PLANS	A2.002	RCP - HERITAGE LEVEL 1	24/06/2015	
A2.X00 REFLECTED CEILING PLANS	A2.003	RCP - HERITAGE LEVEL 2	24/06/2015	
A2.X10 REFLECTED CEILING PLANS - UNITS				
A2.X10 REFLECTED CEILING PLANS - UNITS	A2.010	RCP - UNIT 01	24/06/2015	
A2.X10 REFLECTED CEILING PLANS - UNITS	A2.011	RCP - UNIT 02	24/06/2015	
A2.X10 REFLECTED CEILING PLANS - UNITS	A2.012	RCP - UNIT 03	24/06/2015	
A2.X10 REFLECTED CEILING PLANS - UNITS	A2.013	RCP - UNIT 04	24/06/2015	
A2.X10 REFLECTED CEILING PLANS - UNITS	A2.014	RCP - UNIT 05	24/06/2015	
A2.X10 REFLECTED CEILING PLANS - UNITS	A2.015	RCP - UNIT 06	24/06/2015	

## DRAWING LIST - A0.000 - A4.000

Sheet Series	Sheet Number	Sheet Name	Current Revision Date	RVT Link: File Name
A3.X00 EXTERNAL ELEVATIONS	A3.000	HERITAGE BUILDING ELEVATIONS	24/06/2015	
A3.X00 EXTERNAL ELEVATIONS	A3.001	HERITAGE BUILDING ELEVATIONS	24/06/2015	
A3.X00 EXTERNAL ELEVATIONS	A3.100	EXTERNAL ELEVATIONS - NEW BUILDING	24/06/2015	3084_ARCH_BALMAIN_NB
A3.X00 EXTERNAL ELEVATIONS	A3.101	EXTERNAL ELEVATIONS - NEW BUILDING	24/06/2015	3084_ARCH_BALMAIN_NB
A3.X00 EXTERNAL ELEVATIONS	A3.102	EXTERNAL ELEVATIONS - NEW BUILDING	24/06/2015	3084_ARCH_BALMAIN_NB
A4.X00 BUILDING SECTIONS	A4.000	HERITAGE BUILDING SECTIONS	24/06/2015	
A4.X00 BUILDING SECTIONS	A4.001	HERITAGE BUILDING SECTIONS	24/06/2015	
A4.X00 BUILDING SECTIONS	A4.002	HERITAGE BUILDING SECTIONS	24/06/2015	
A4.X00 BUILDING SECTIONS	A4.050	TYPICAL BALCONY DOOR DETAILS	24/06/2015	
A4.X00 BUILDING SECTIONS	A4.051	DETAIL SECTIONS	24/06/2015	
A4.X00 BUILDING SECTIONS	A4.100	BUILDING SECTIONS	24/06/2015	3084_ARCH_BALMAIN_NB
A4.X00 BUILDING SECTIONS	A4.101	BUILDING SECTIONS	24/06/2015	3084_ARCH_BALMAIN_NB
A4.X00 BUILDING SECTIONS	A4.102	BUILDING SECTIONS	24/06/2015	3084_ARCH_BALMAIN_NB
A4.X00 BUILDING SECTIONS	A4.103	BUILDING SECTIONS	24/06/2015	3084_ARCH_BALMAIN_NB
A4.X00 BUILDING SECTIONS	A4.104	BUILDING SECTIONS	24/06/2015	3084_ARCH_BALMAIN_NB
A4.X00 BUILDING SECTIONS	A4.105	DETAIL SECTIONS	24/06/2015	
A4.X00 BUILDING SECTIONS	A4.150	DETAIL SECTIONS	24/06/2015	3084_ARCH_BALMAIN_NB
A4.X00 BUILDING SECTIONS	A4.151	DETAIL SECTIONS	24/06/2015	3084_ARCH_BALMAIN_NB
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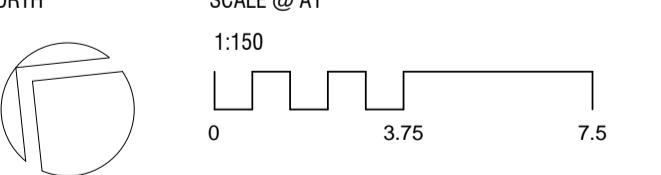
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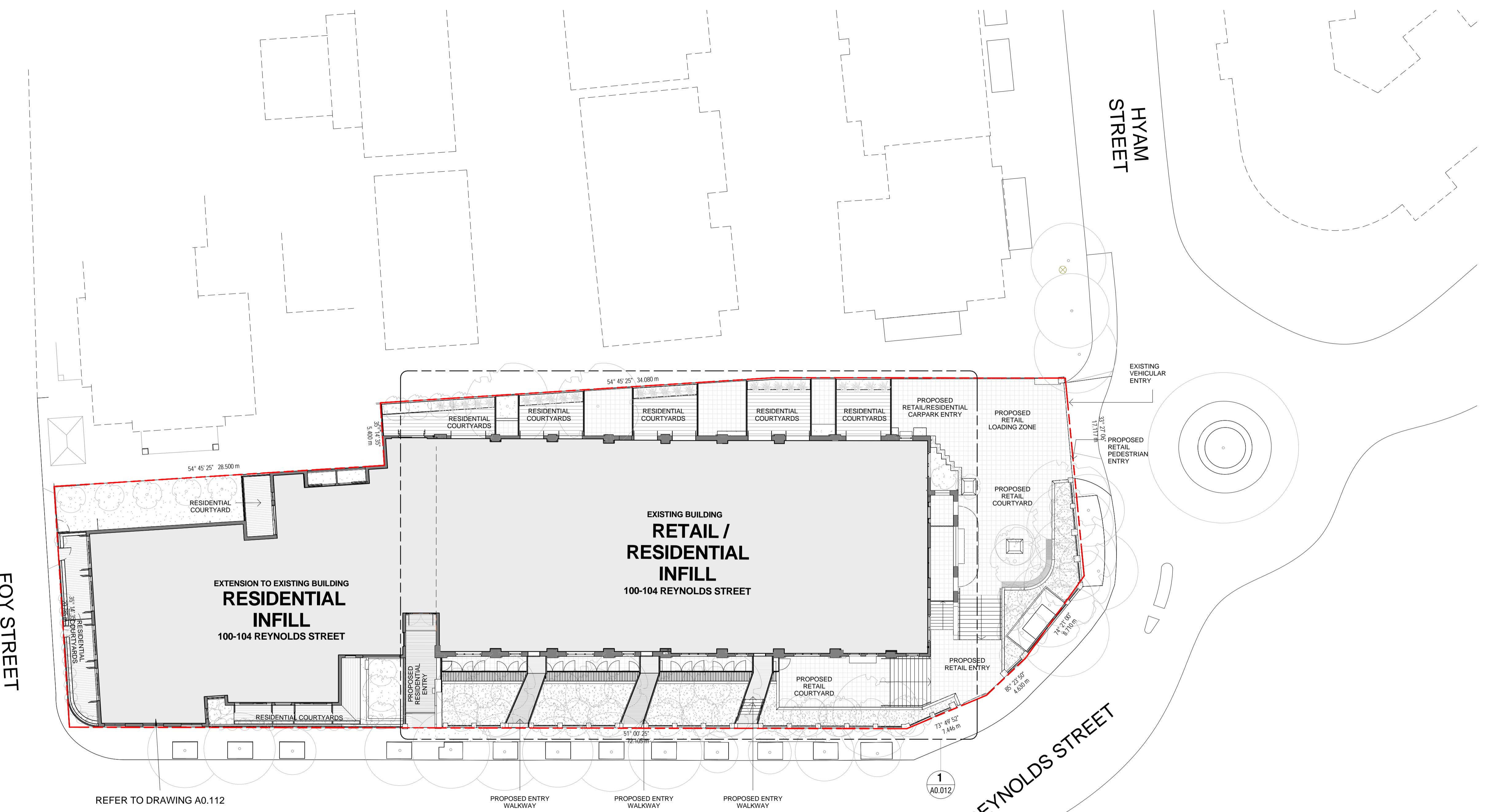
# REYNOLDS STREET

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rown      Checked      Date      Scale  
uthor      CS      JUN 2015      1 : 150  
                ○ A1

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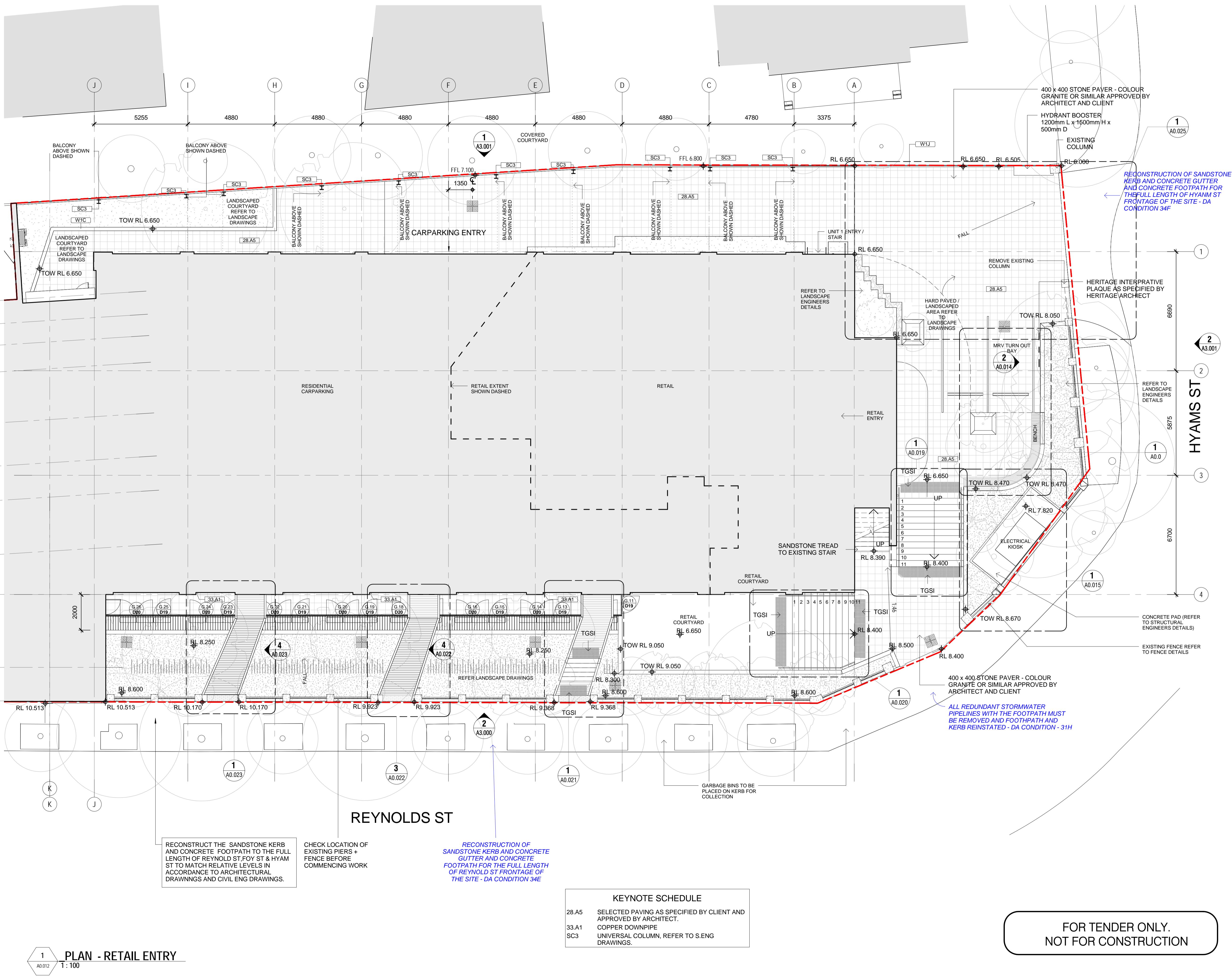
1 SITE PLAN  
A0.011 1:200

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**BALMAIN APARTMENTS**  
100-104 Reynolds St, Balmain

**Sheet Title**  
**EXTERNAL WORKS - SITE PLAN**  
**NORTH** SCALE @ A1 1:100  
0 2.5 5  
Drawn Author Checked Date JUN 2015 Scale 1:200 @ A1



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Project No. 3084 Sheet No. A0.012 Revision B

KeyPlan

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SERVICES ENGINEER	: DESIGN CONFIDENCE
BCA + ACCESS	: RENZO TONIN
ACOUSTIC	: RAPPORT HERITAGE
HERITAGE	: McLAREN TRAFFIC ENGINEERING
TRAFFIC	: IBRAHIM STORMWATER CONSULTANTS
CIVIL	: URBIS
LANDSCAPE	: CITY PLAN SERVICES
PCA	

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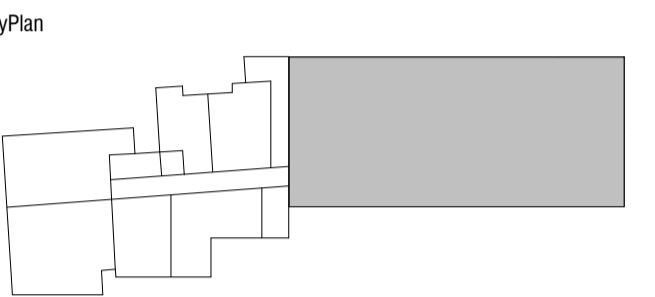
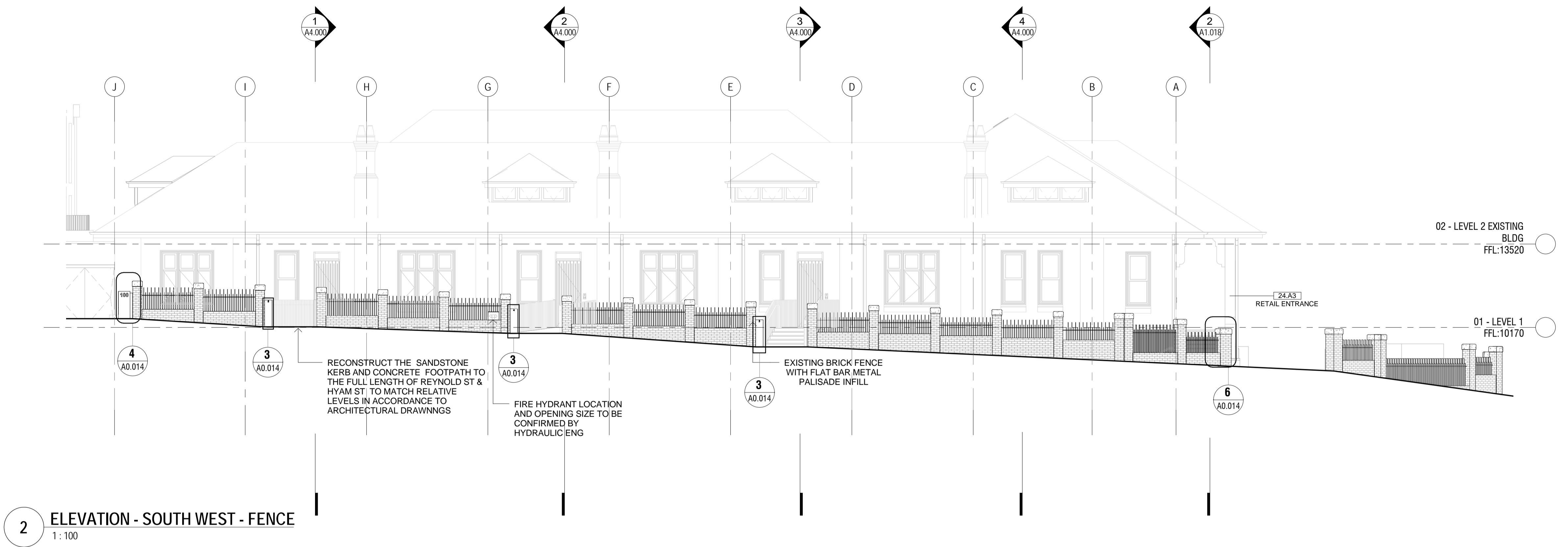
BALMAIN APARTMENTS  
100-104 Reynolds St, Balmain

Sheet Title

EXTERNAL WORKS PLAN

NORTH SCALE @ A1  
1:100  
0 2.5 5

Drawn Author CS Checked Date JUN 2015 Scale 1:100 @ A1



**Consultants**

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SERVICES ENGINEER	: DESIGN CONFIDENCE
BCA + ACCESS	: RENZO TONIN
ACOUSTIC	: RAPPORT HERITAGE
HERITAGE	: MCLAREN TRAFFIC ENGINEERING
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**BALMAIN APARTMENTS**  
100-104 Reynolds St, Balmain

**Sheet Title**

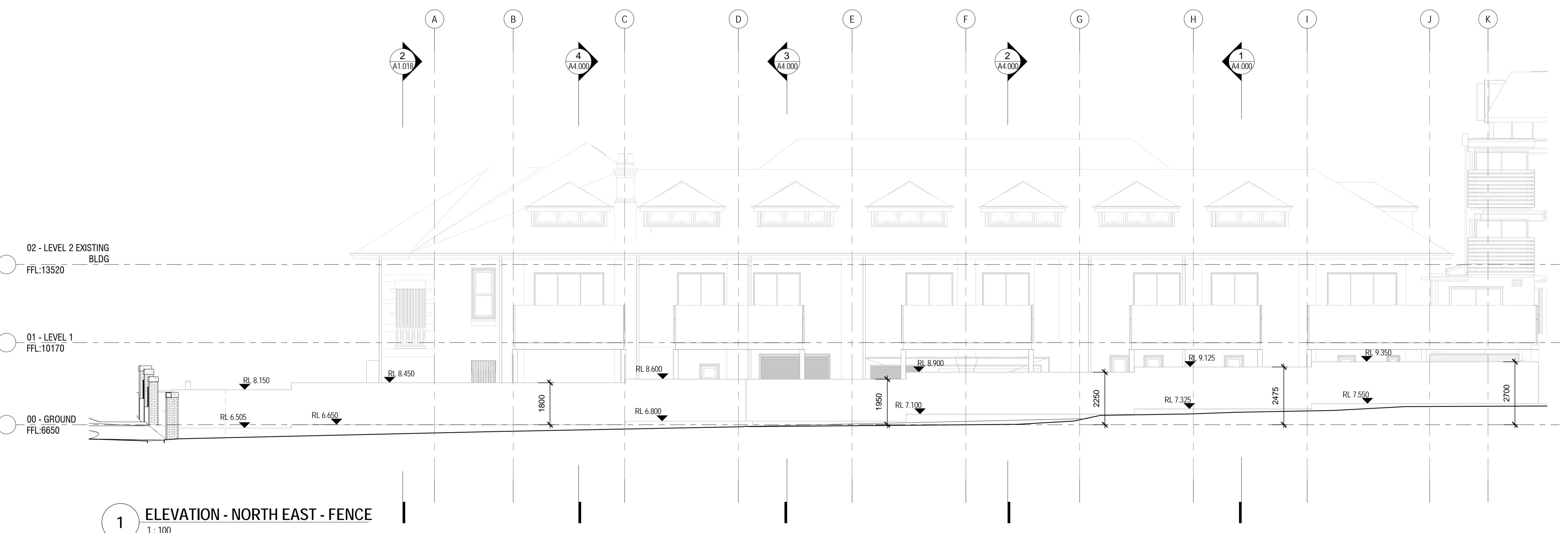
### FENCE ELEVATIONS

SCALE @ A1  
1:100  
0 2.5 5

Drawn Author CS Checked Date JUN 2015 Scale 1: 100 @ A1

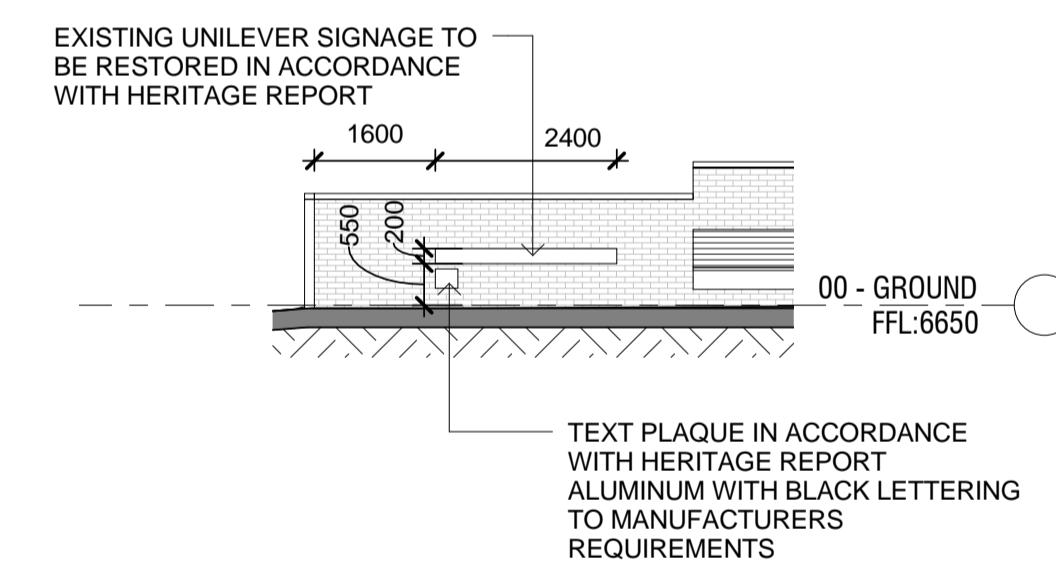
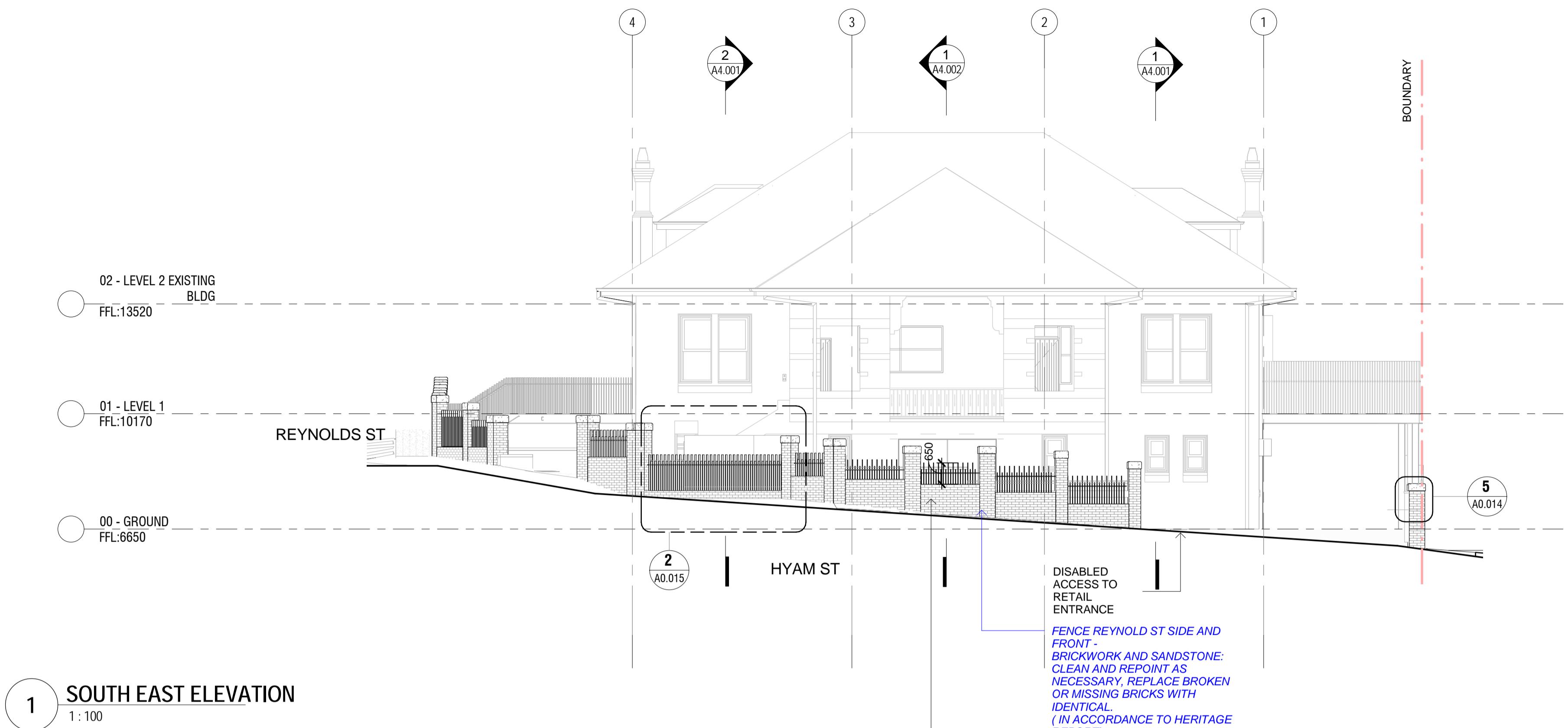
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Project No. 3084 Sheet No. A0.013 Revision B

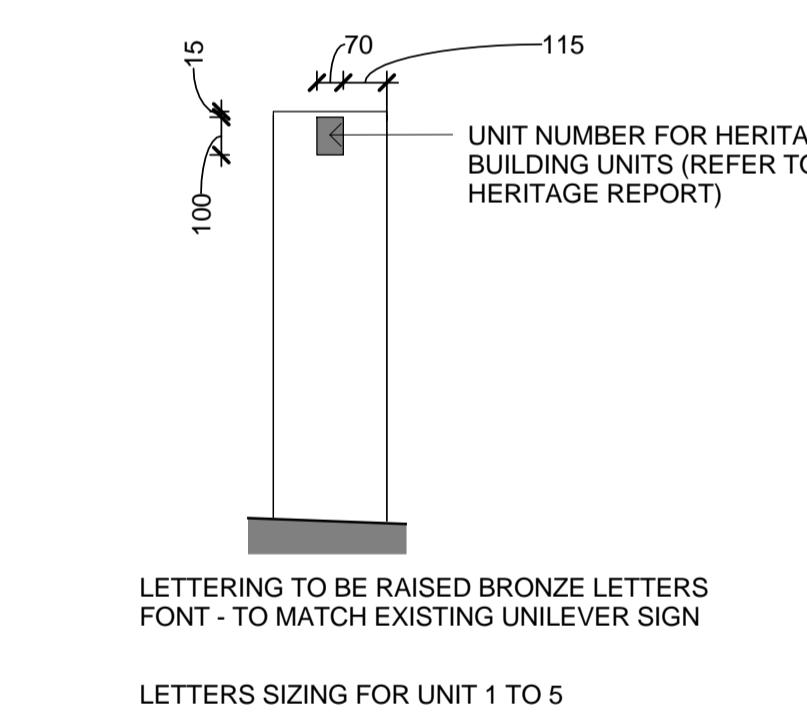


**KEYNOTE SCHEDULE**  
24.A3 BRICKS TO MATCH EXISTING BRICKS

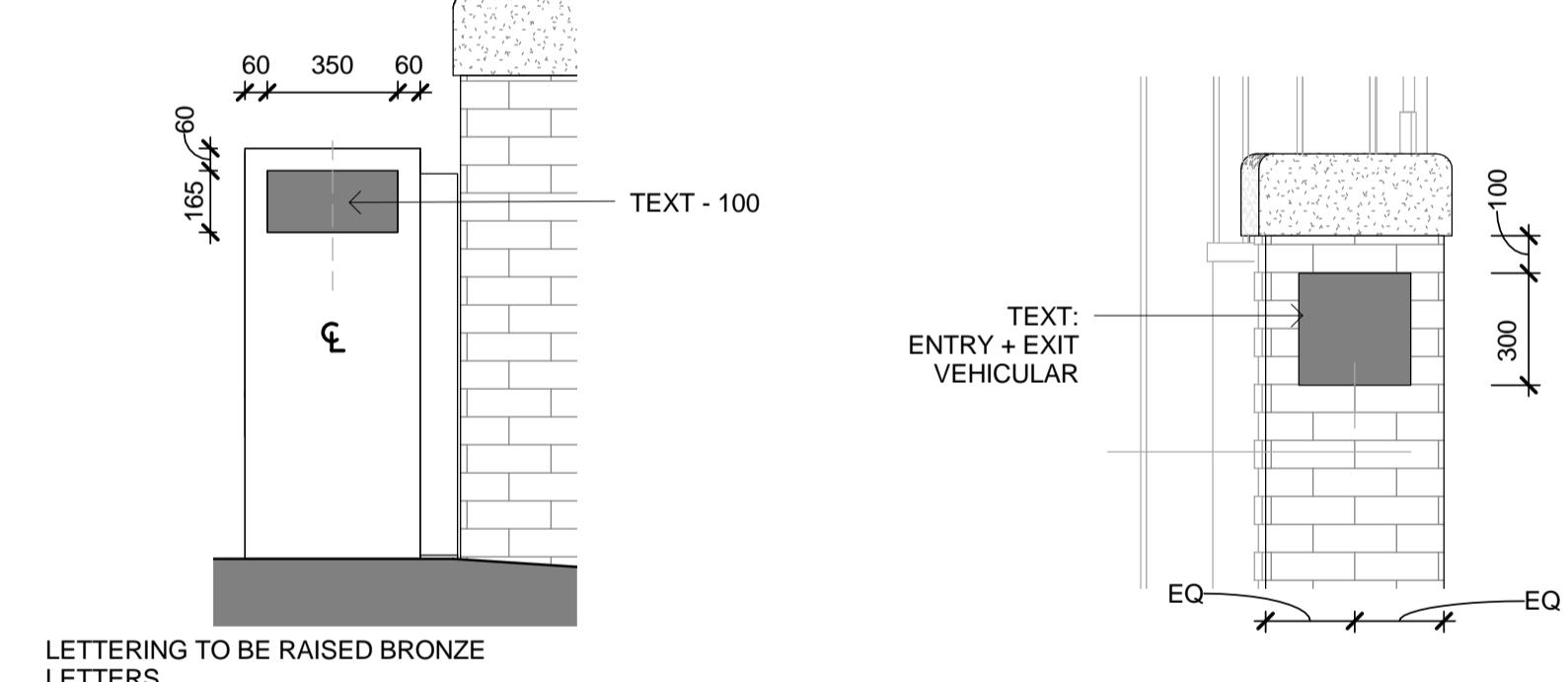
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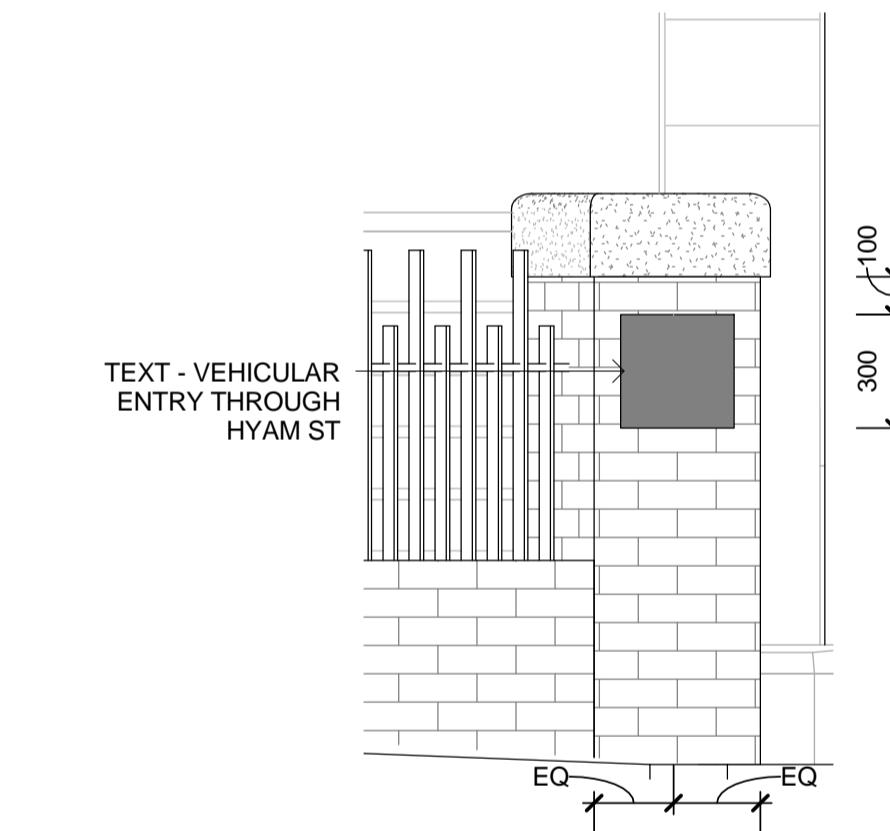
**2** HERITAGE INTERPRETIVE PLAQUE  
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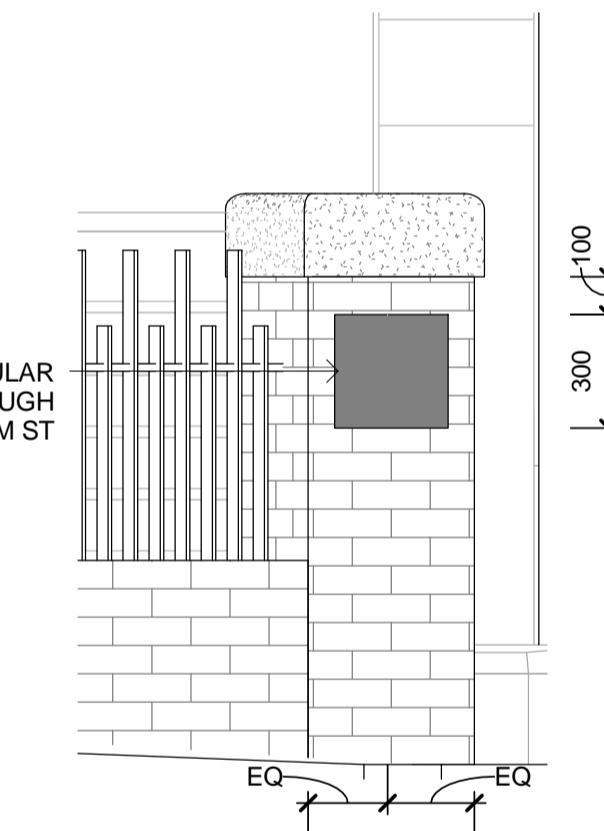
**3** TYPICAL UNIT NUMBER SIGNAGE  
1:20



**4** NEW BUILDING ENTRY SIGNAGE  
1:20



**5** SOUTH EAST - FENCE - SIGNAGE  
1:20

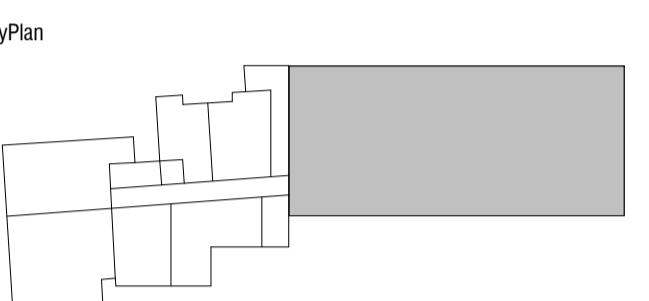


**6** SOUTH WEST - FENCE - SIGNAGE  
1:20

#### NOTE

- ALL STREET NUMBERS AND VEHICULAR SIGNAGE TO BE IN ACCORDANCE WITH DA CONDITION 67.69 TO BE APPROVED BY ARCHITECT AND ENGINEER.
- ALL FONT TO MATCH EXISTING "THE UNILEVER ADMINISTRATION BUILDING" TITLE FONT - REFER TO HERITAGE REPORT.
- ALL SIZES PROVIDED ARE THE MAXIMUM ALLOWABLE SIZE, ANY VARIATION TO BE SIGNED OFF BY ARCHITECT.
- FOR ALL FINISHES AND MATERIAL DETAILS, REFER TO EXTERNAL FINISHES SCHEDULE AND HERITAGE REPORT.
- SIZE AND MATERIAL SAMPLE OF THE LETTERS TO BE PROVIDED BY THE CONTRACTOR AND APPROVED BY ARCHITECT.

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**Consultants**

DEVELOPMENT MANAGER	:	PDS AUST
STRUCTURAL ENGINEER	:	ERBAS
SERVICES ENGINEER	:	DESIGN CONFIDENCE
BCA + ACCESS	:	RENZO TONIN
ACOUSTIC	:	RAPOPORT HERITAGE
HERITAGE	:	McLAREN TRAFFIC ENGINEERING
TRAFFIC	:	IBRAHIM STORMWATER CONSULTANTS
CIVIL	:	URBIS
LANDSCAPE	:	URBIS
PCA	:	CITY PLAN SERVICES

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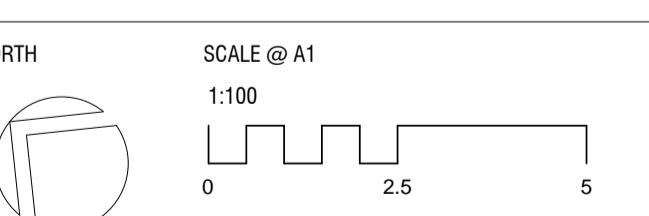


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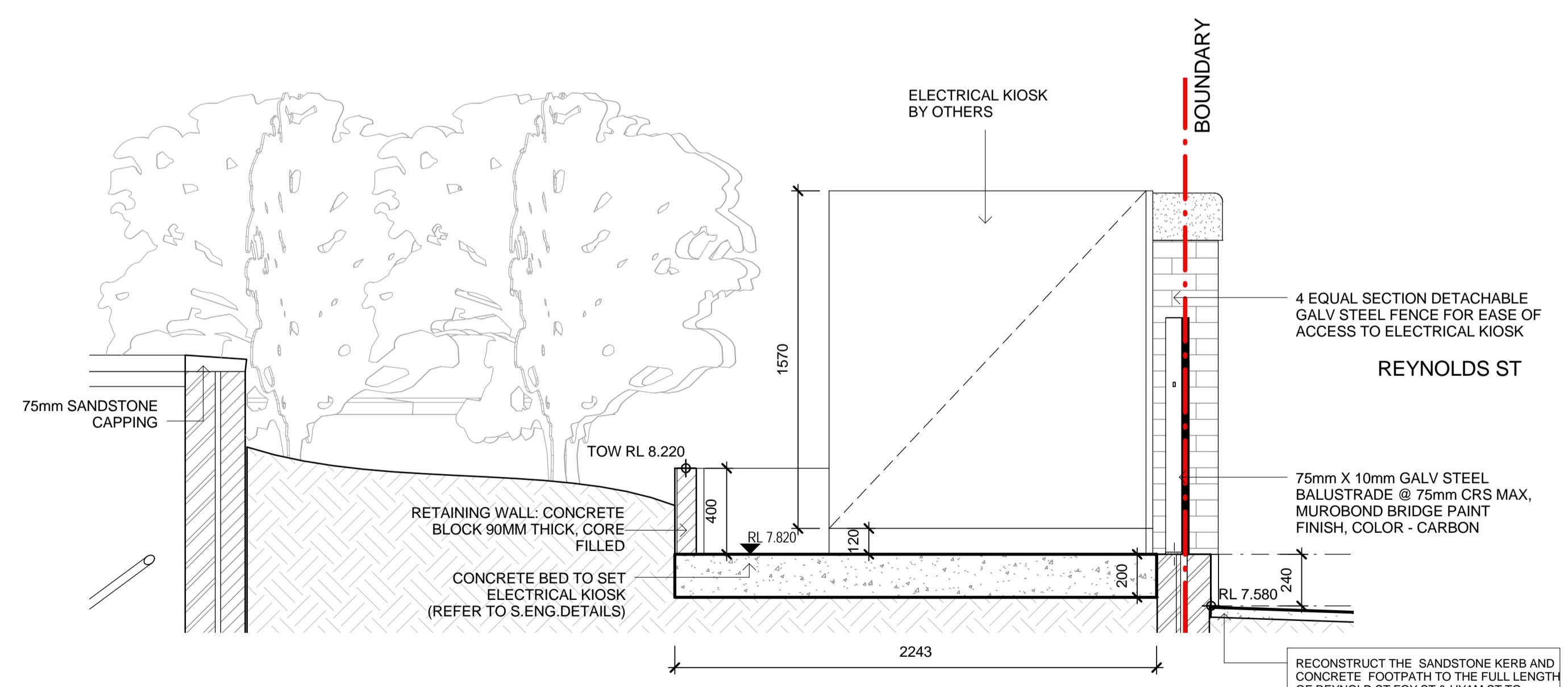
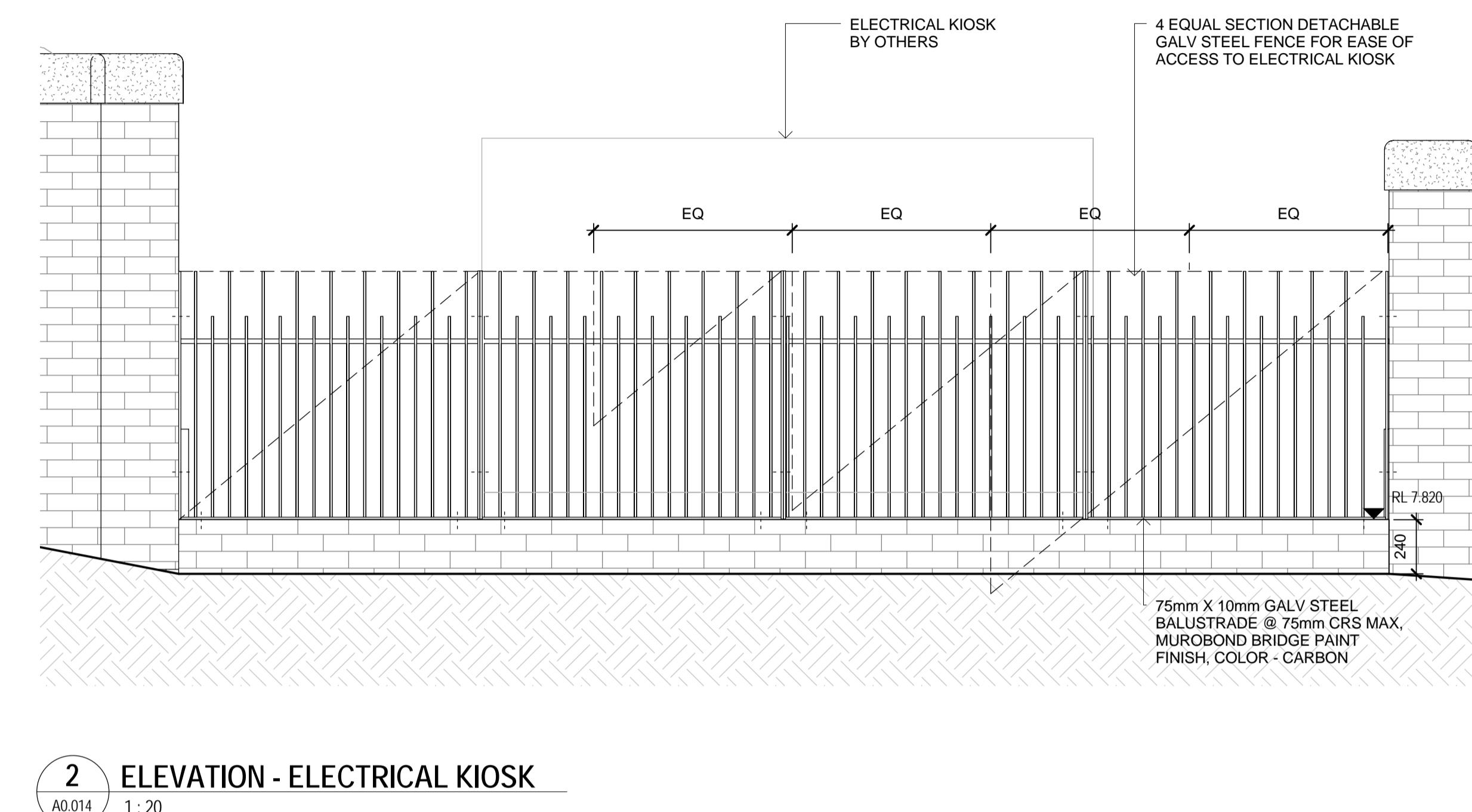
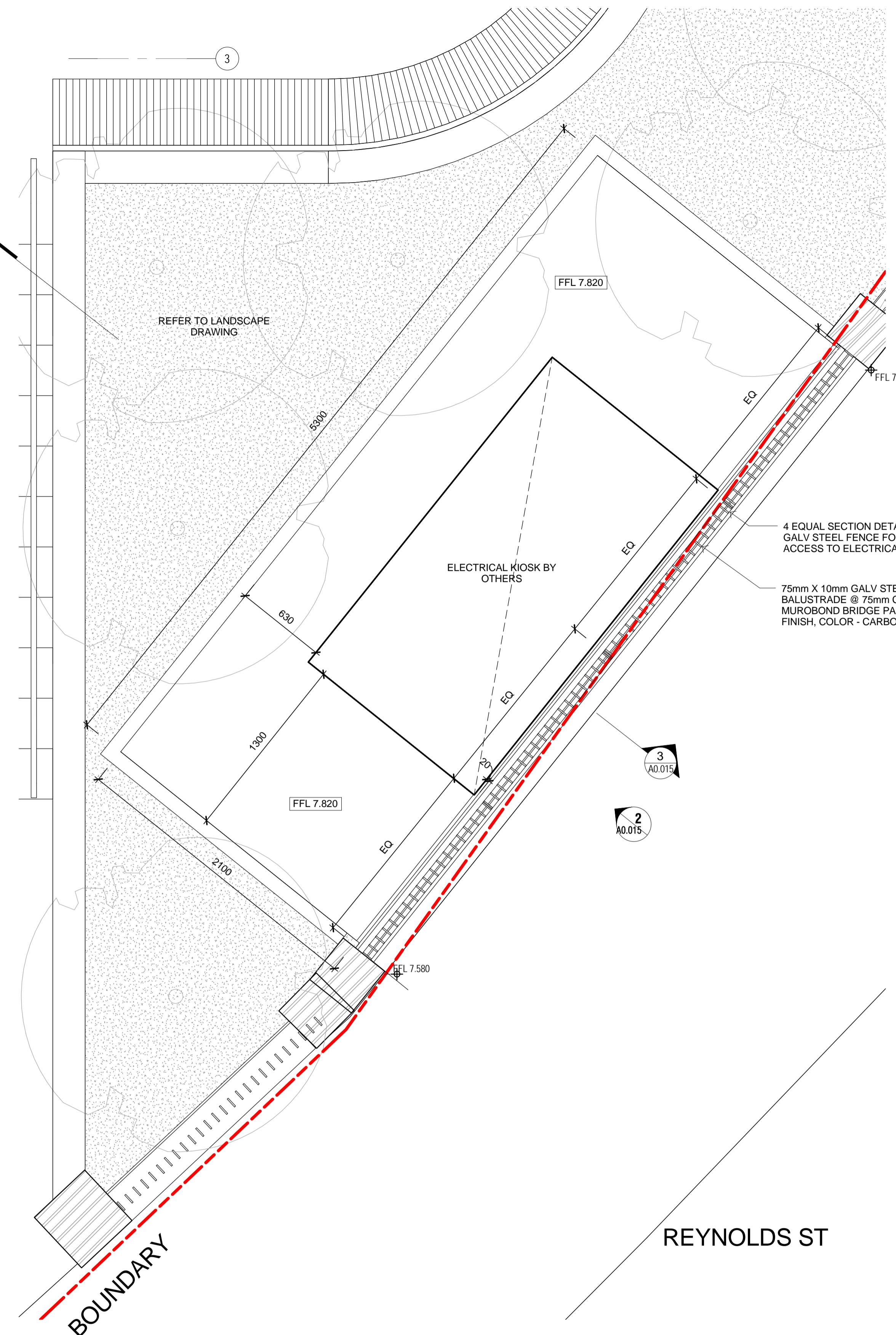
#### Sheet Title

#### FENCE ELEVATIONS



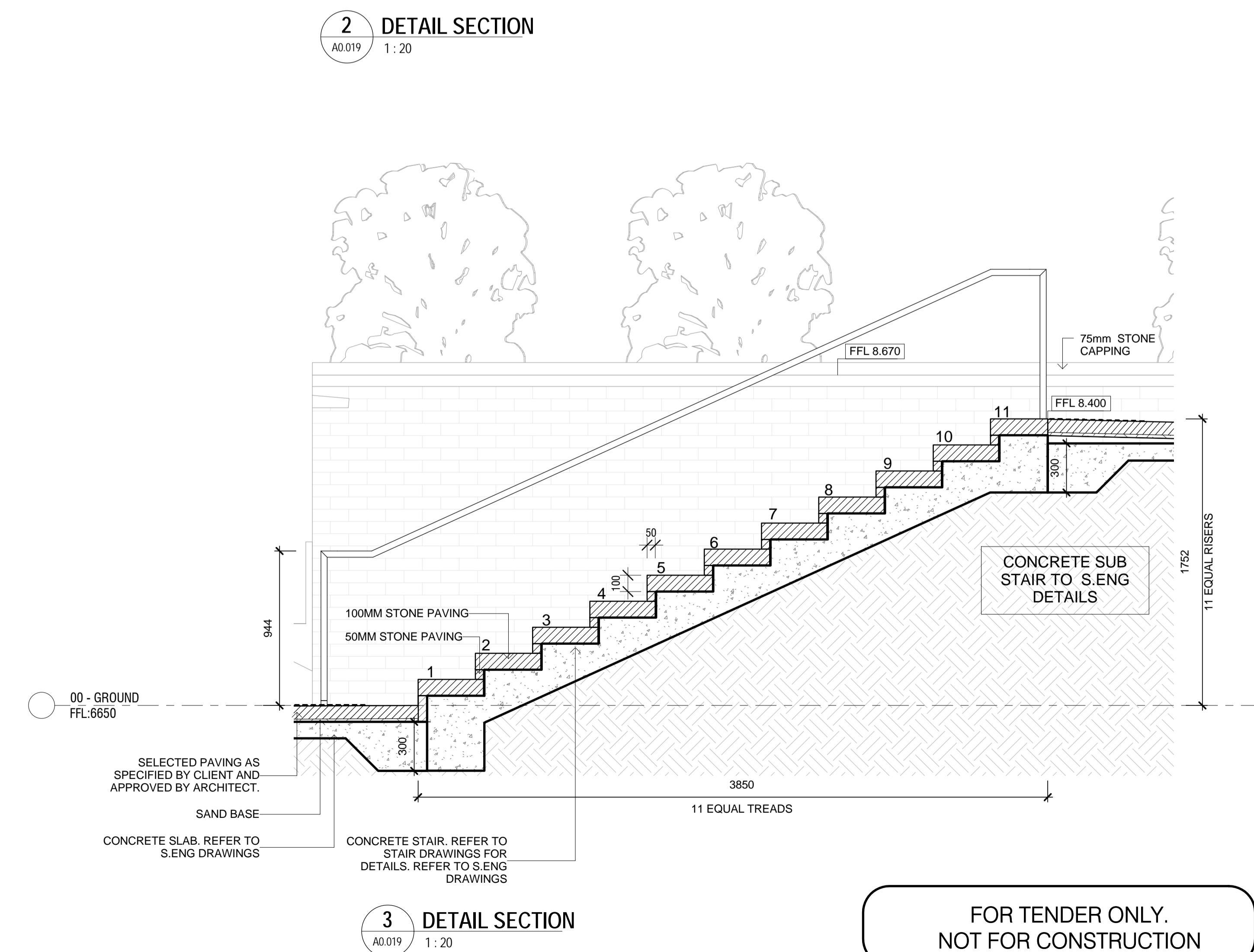
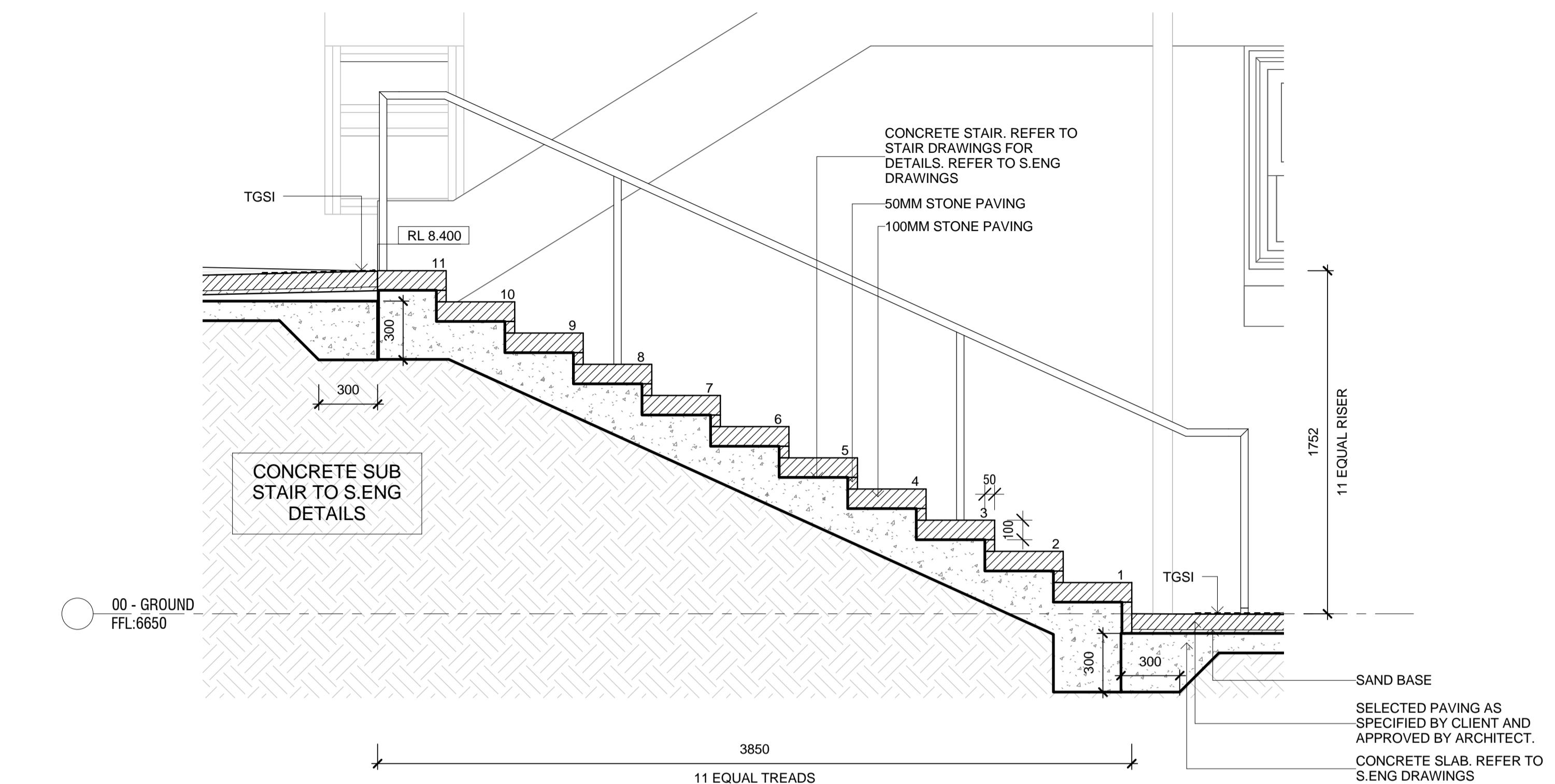
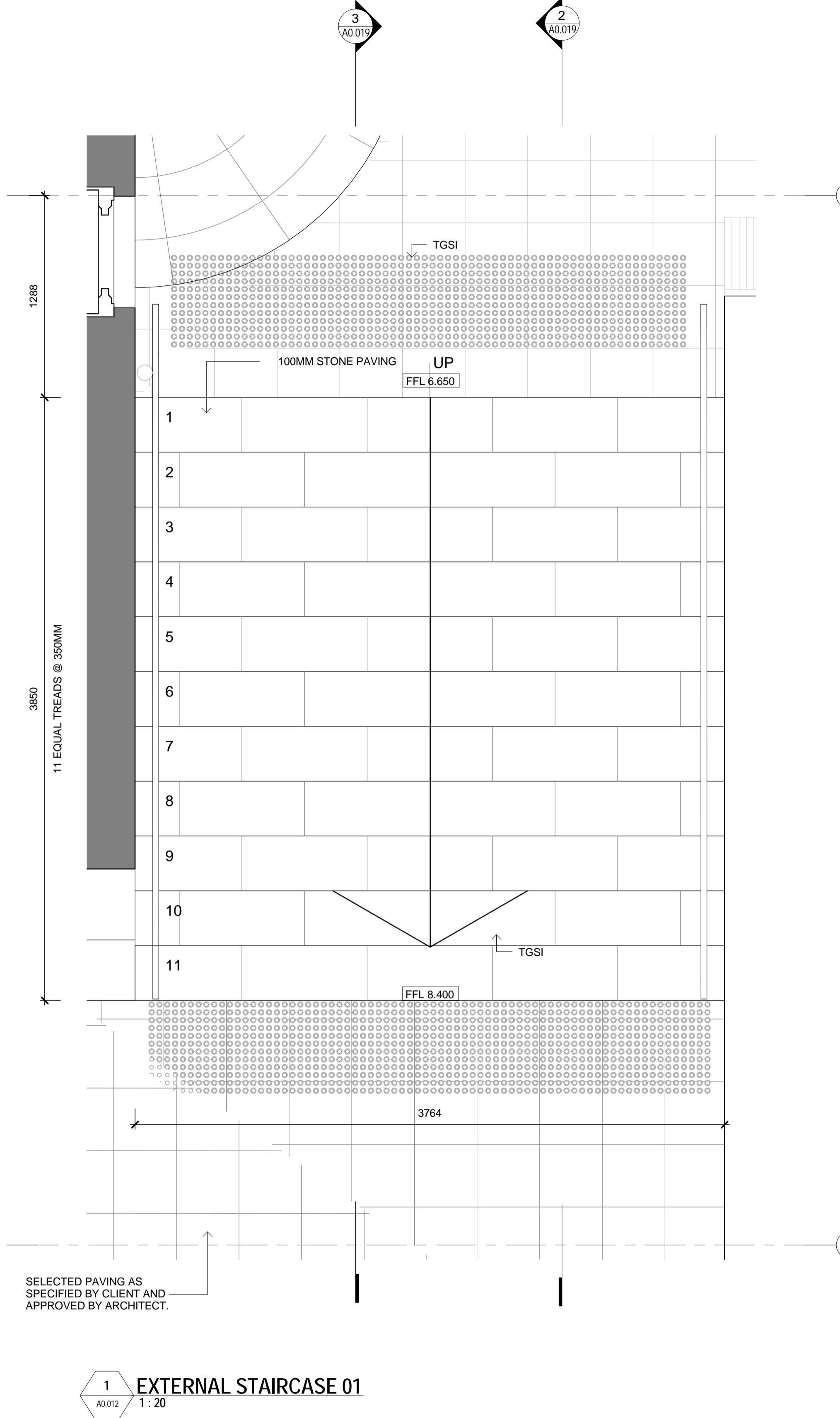
Drawn Author	Checked CS	Date JUN 2015	Scale As indicated @ A1
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3 A0.015 1:20

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Project No.	Sheet No.	Revision
3084	A0.019	B

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24/06/2015  
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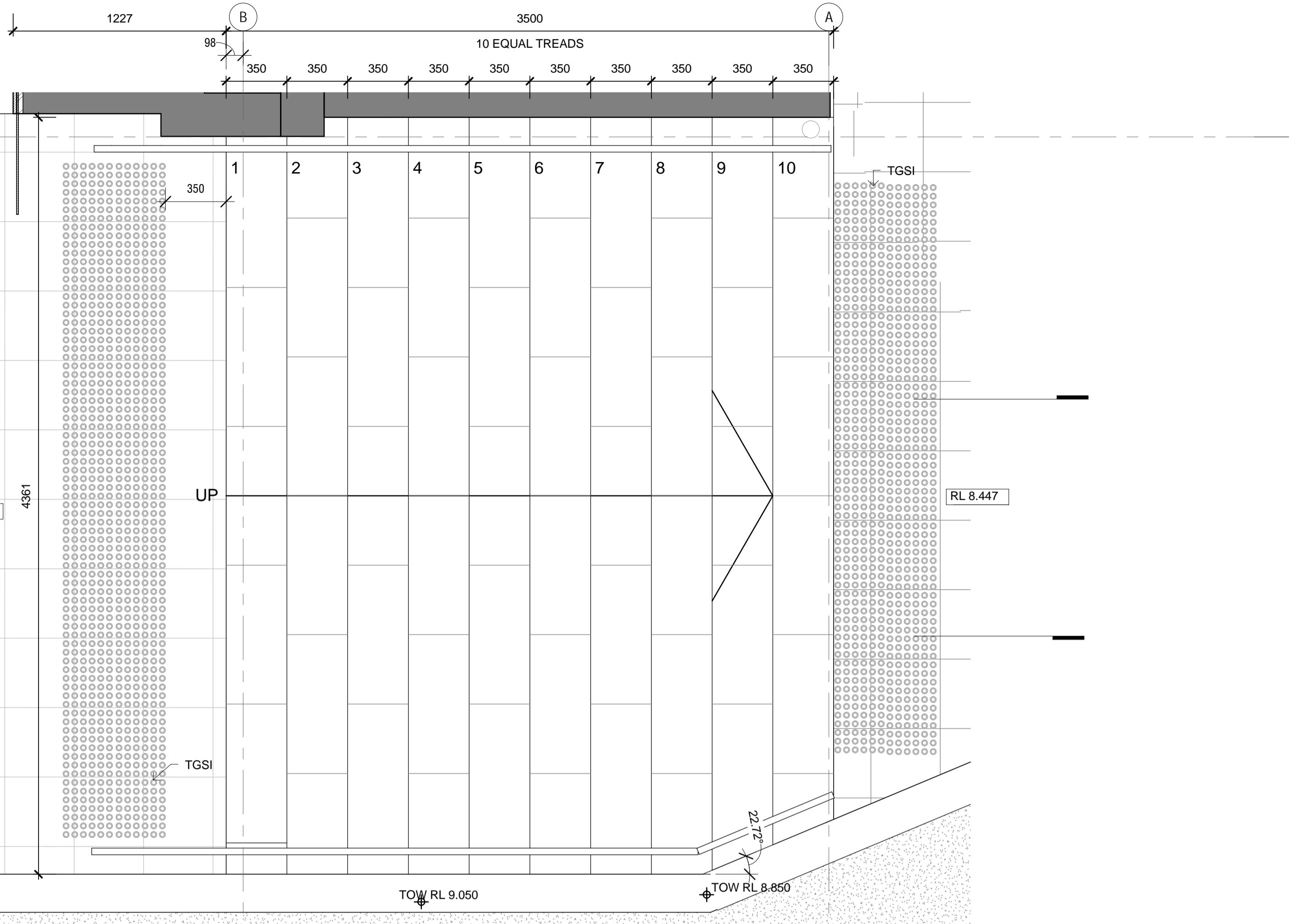
**BALMAIN APARTMENTS**  
100-104 Reynolds St, Balmain

Sheet Title

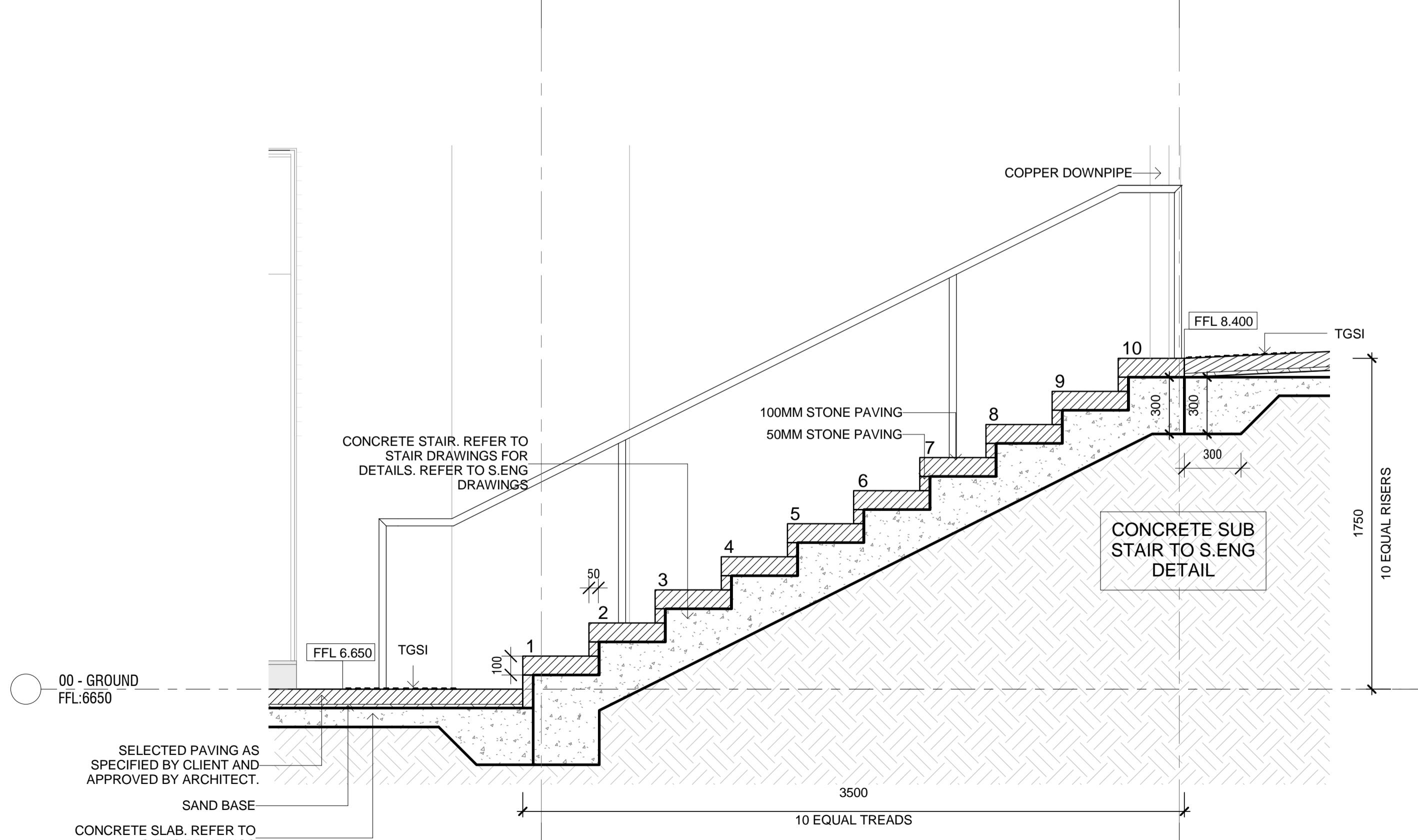
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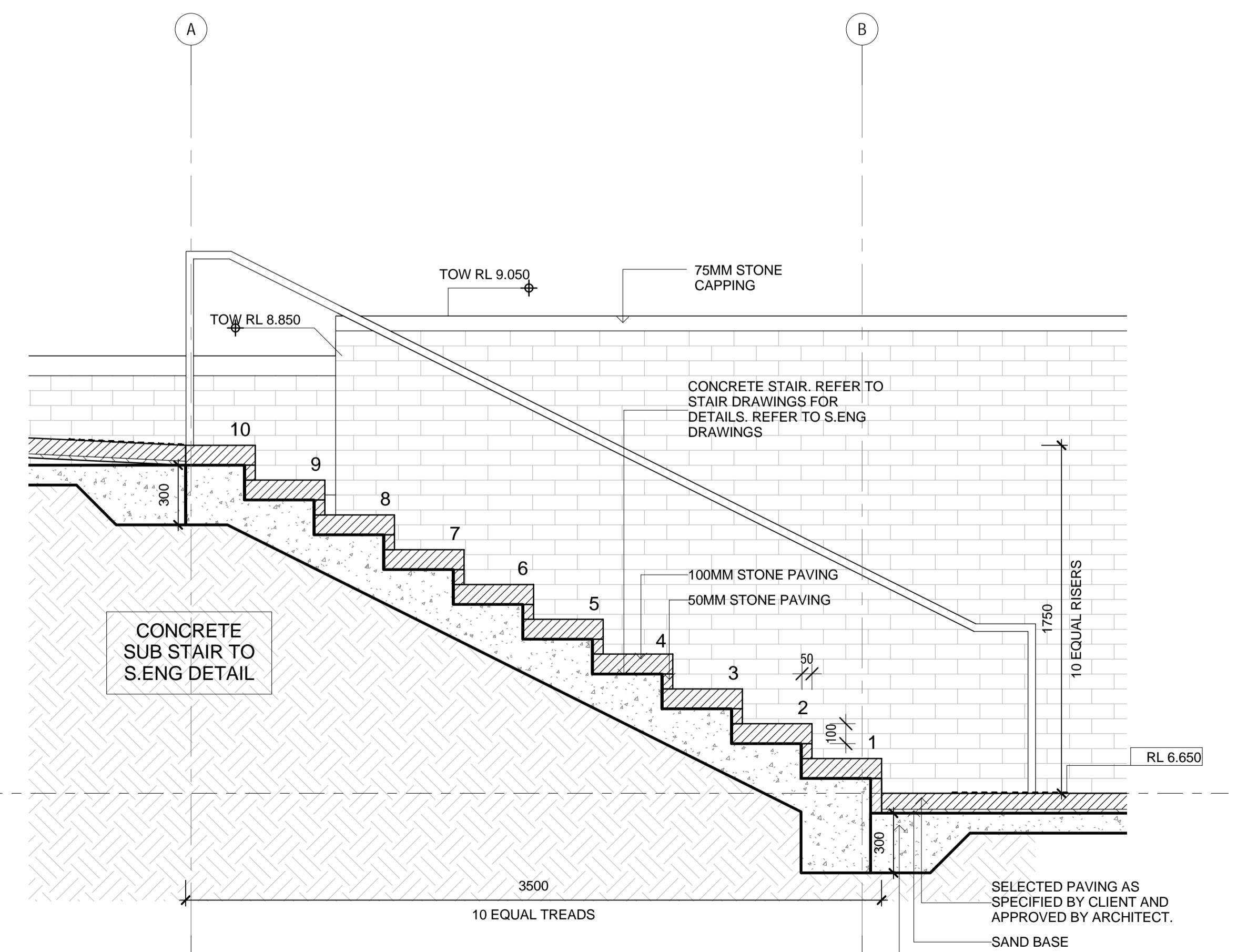
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**1 STAIR @ RETAIL ENTRY**



**2 DETAIL SECTION**



**3 DETAIL SECTION**

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Revision	Description	Date
A	TENDER ISSUE	22/05/2015
B	100% TENDER	24/06/2015

KeyPlan

Consultants

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STRUCTURAL ENGINEER	:	PDS AUST
SERVICES ENGINEER	:	ERBAS
BCA + ACCESS	:	DESIGN CONFIDENCE
ACOUSTIC	:	RENZO TONIN
HERITAGE	:	RAPPORT HERITAGE
TRAFFIC	:	MCLAREN TRAFFIC ENGINEERING
CIVIL	:	IBRAHIM STORMWATER CONSULTANTS
LANDSCAPE	:	URBIS
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Project

BALMAIN APARTMENTS  
100-104 Reynolds St, Balmain

Sheet Title

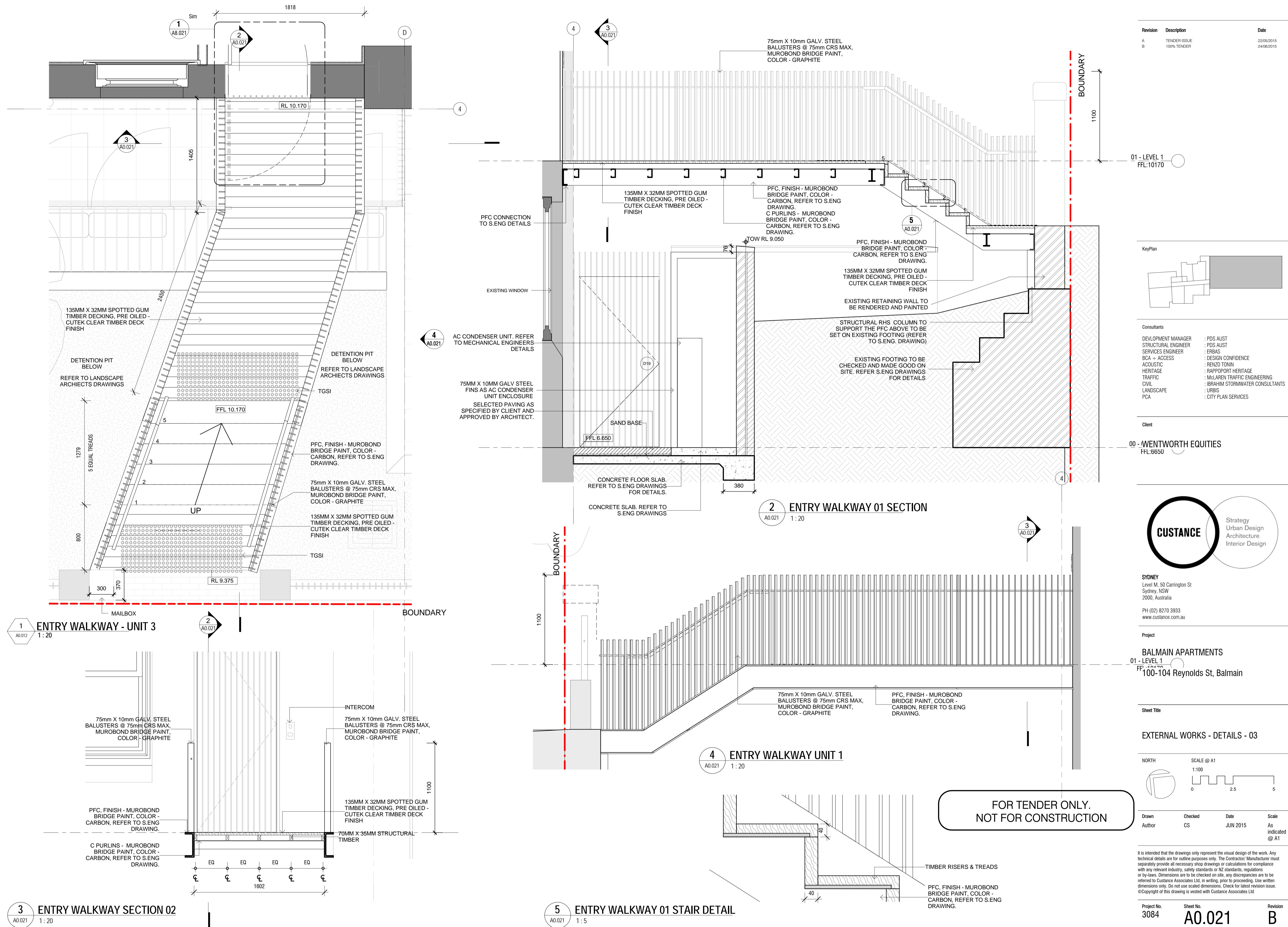
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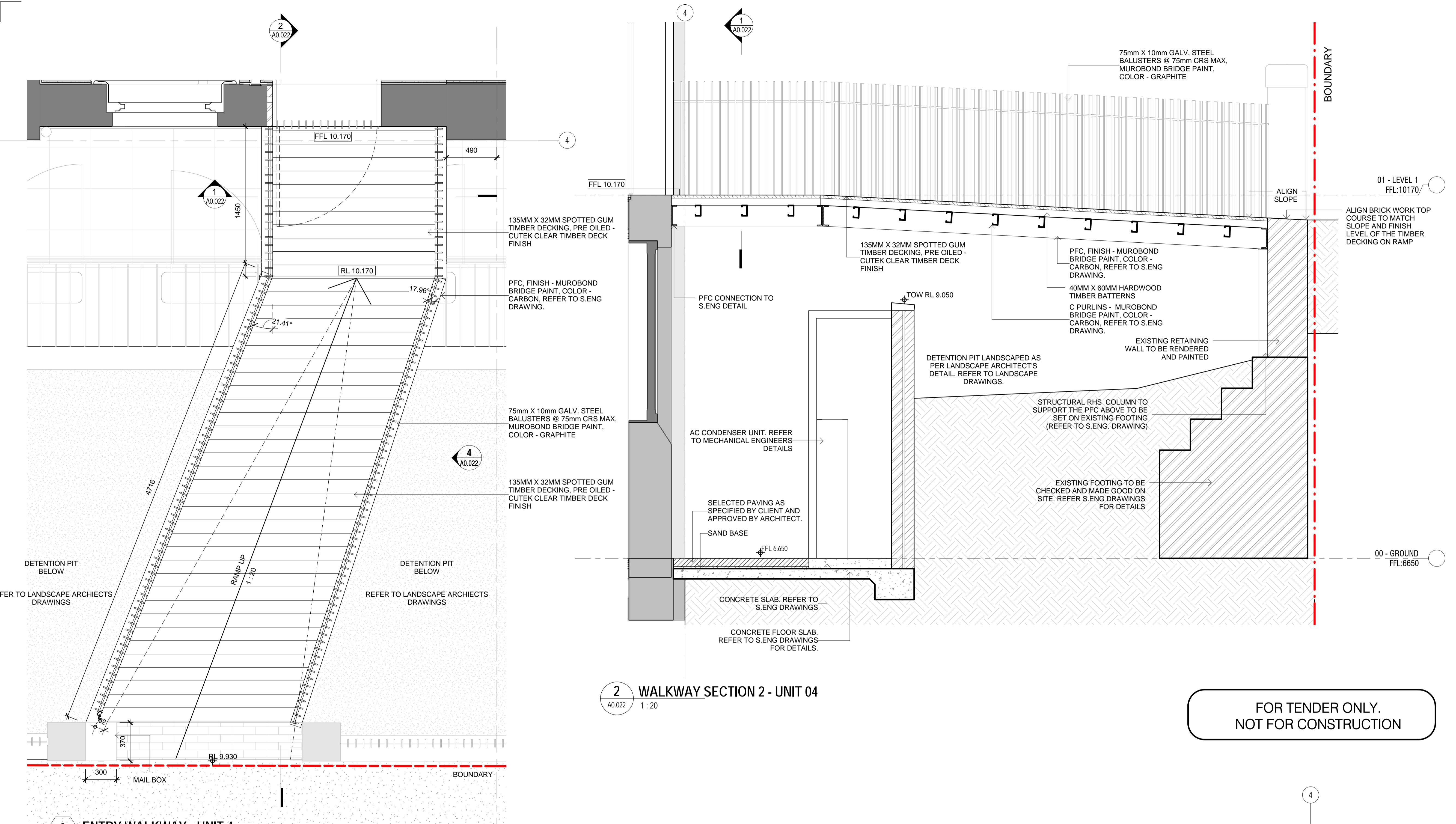
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Drawn      Checked      Date      Scale  
Author      CS      JUN 2015      1:20 @ A1

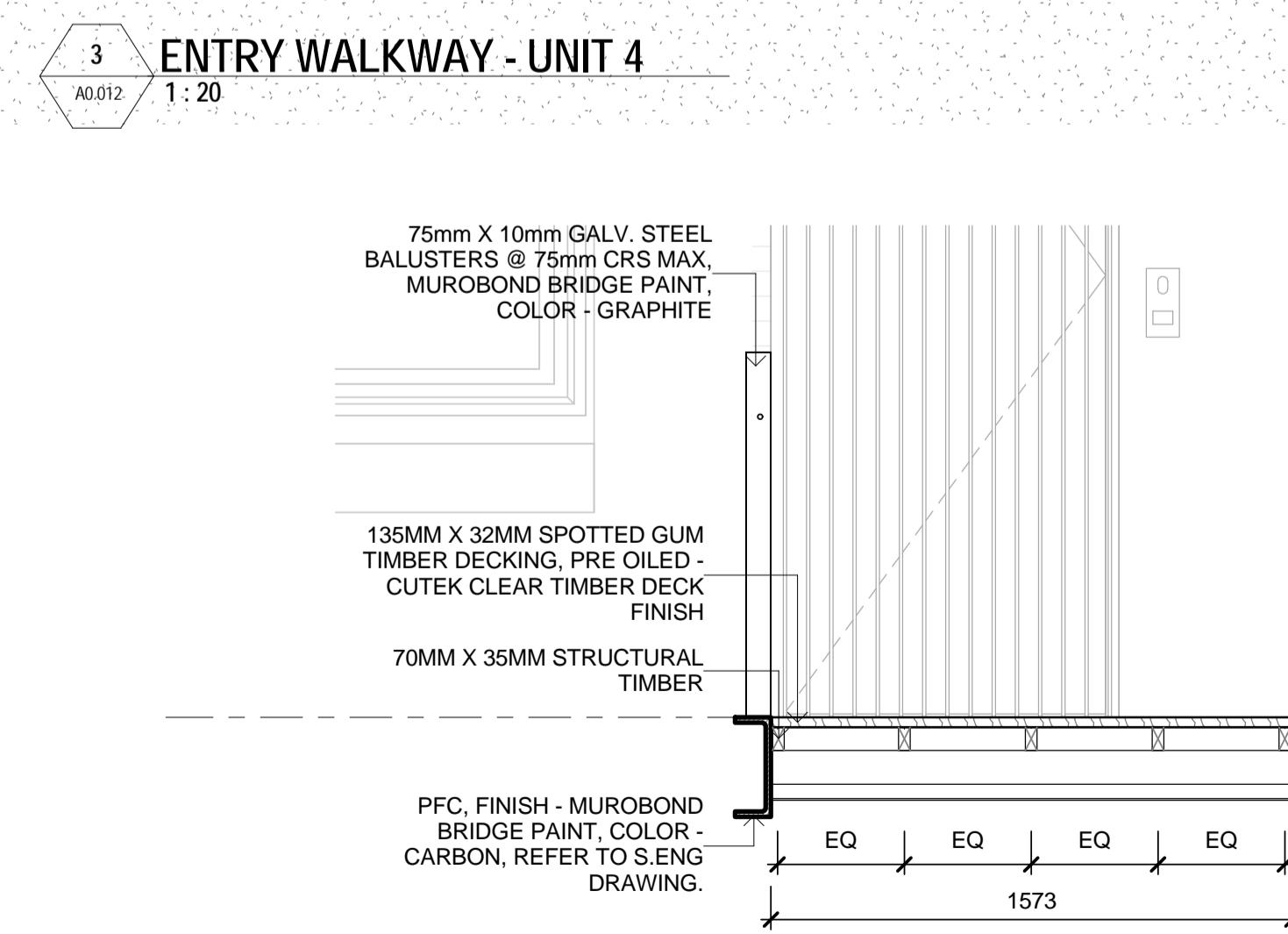
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Project No.      Sheet No.      Revision  
3084      A0.020      B





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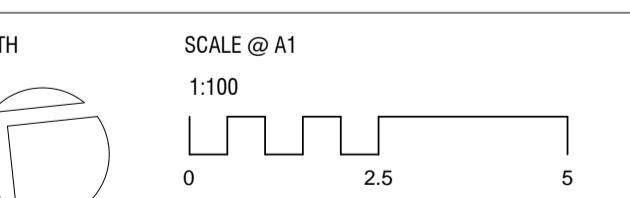
**WALKWAY ELEVATION - UNIT 04**

1:20 Scale



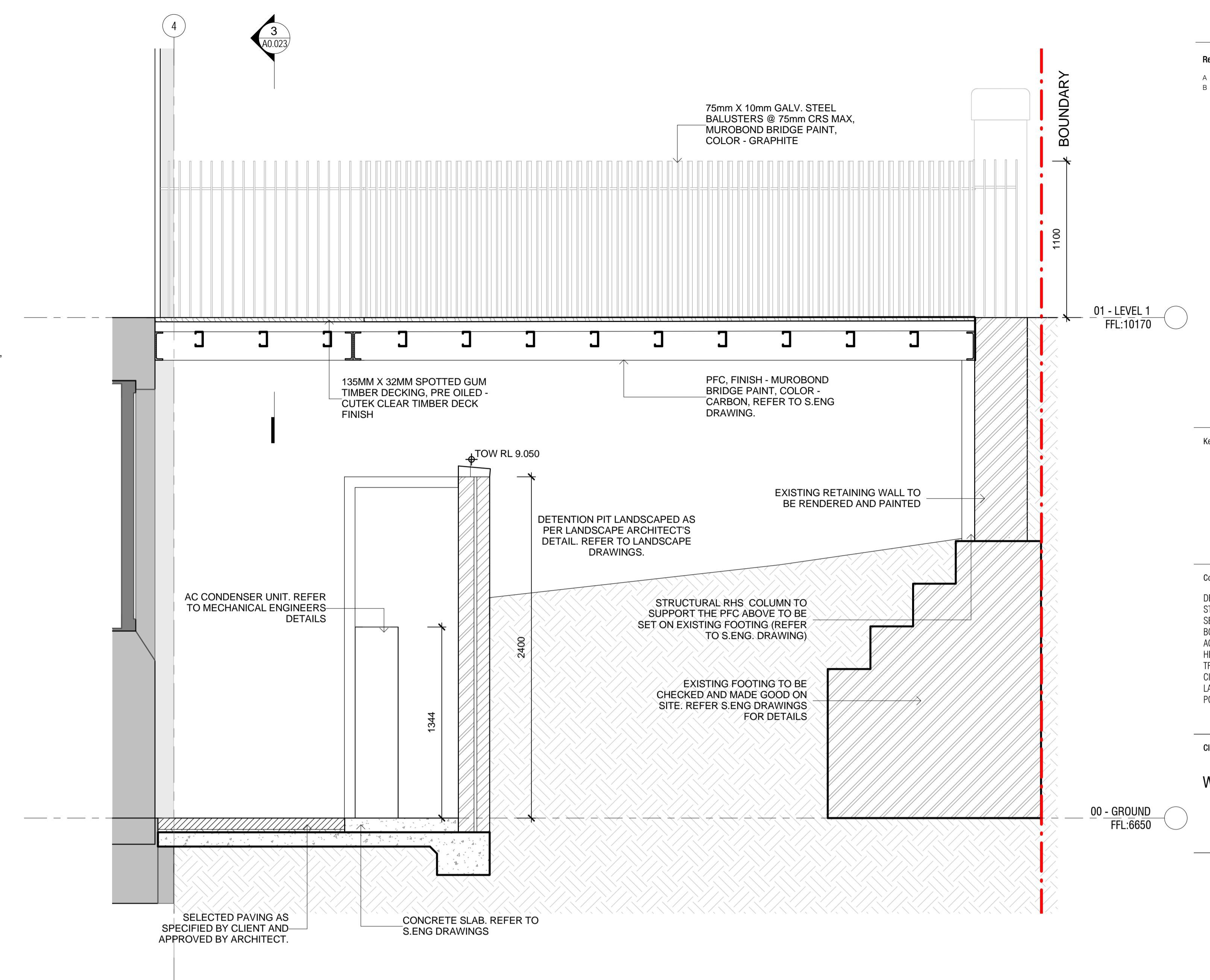
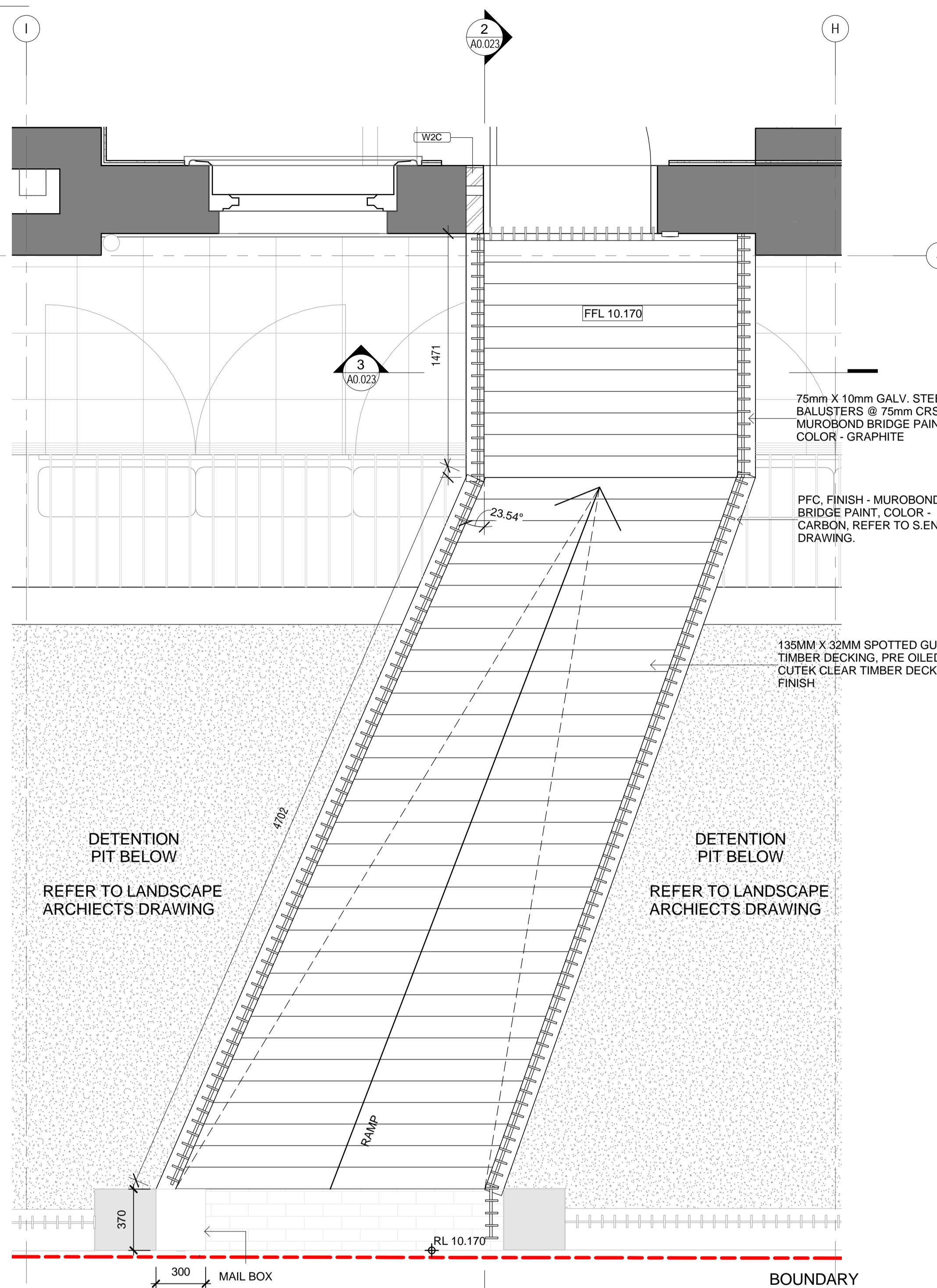
**BALMAIN APARTMENTS**  
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**EXTERNAL WORKS - DETAILS - 04**



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Project No. 3084 Sheet No. A0.022 Revision B



Revision A Description TENDER ISSUE Date 22/05/2015  
Revision B Description 100% TENDER Date 24/06/2015



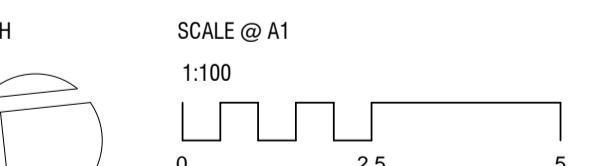
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Project: BALMAIN APARTMENTS

100-104 Reynolds St, Balmain

Sheet Title:

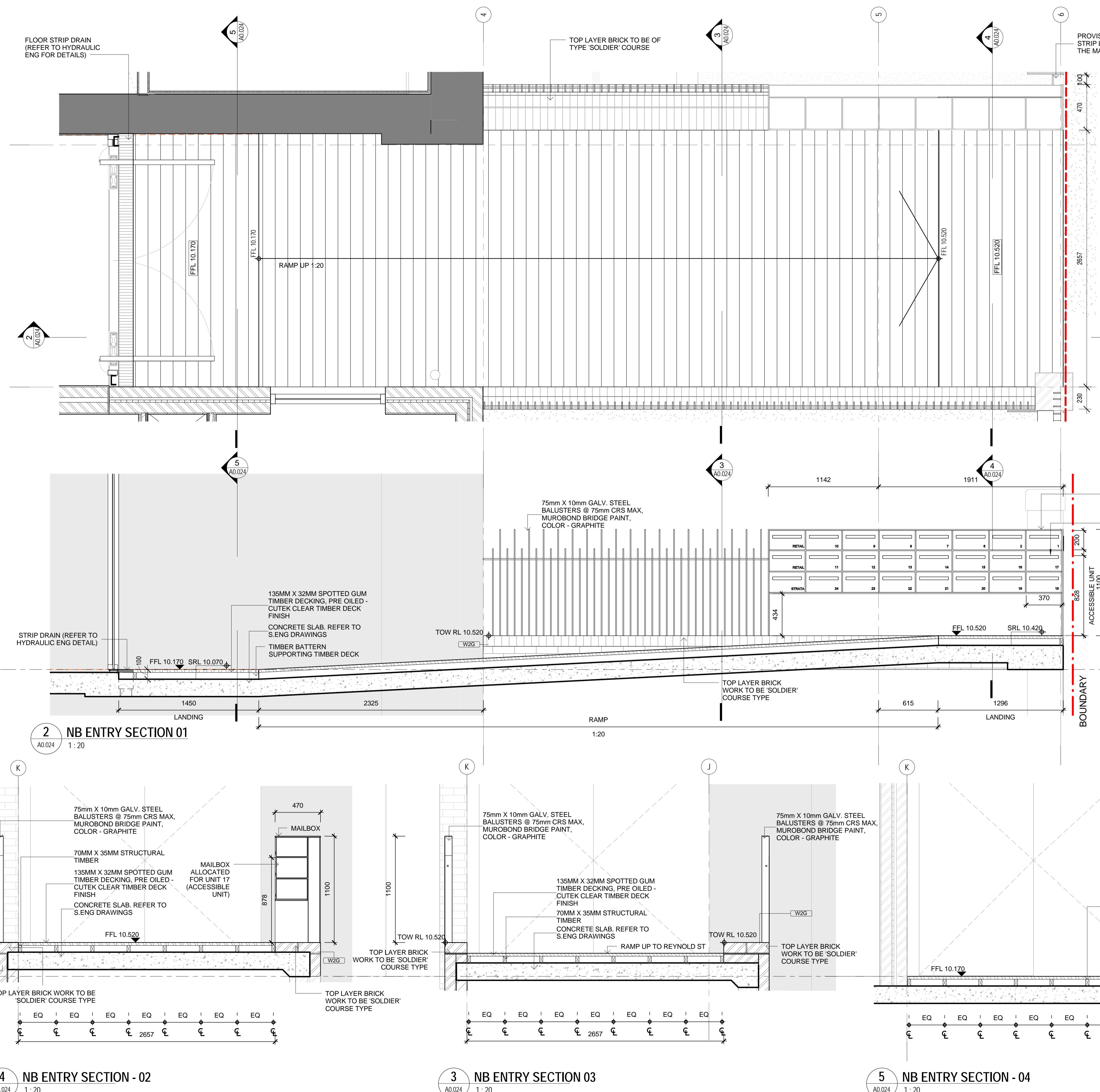
EXTERNAL WORKS - DETAILS - 05



Drawn Author: CS, Checked Date: JUN 2015, Scale: 1:20 @ A1

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Project No. 3084 Sheet No. A0.023 Revision B



Revision	Description	Date
A	TENDER ISSUE	22/05/2015
B	100% TENDER	24/06/2015

The figure consists of two large, solid grey rectangles representing land parcels. The left parcel has a stepped or jagged boundary, while the right parcel is a simple, straight-edged rectangle. A vertical line runs from the top to the bottom of the image, separating the two parcels. The background is white.

Consultants	
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STRUCTURAL ENGINEER	: PDS AUST
SERVICES ENGINEER	: ERBAS
BCA + ACCESS	: DESIGN CONFIDENCE
ACOUSTIC	: RENZO TONIN
HERITAGE	: RAPPOPORT HERITAGE
TRAFFIC	: MCLAREN TRAFFIC ENGINEERING
CIVIL	: IBRAHIM STORMWATER CONSULTANTS
LANDSCAPE	: URBIS
PCA	: CITY PLAN SERVICES

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Project

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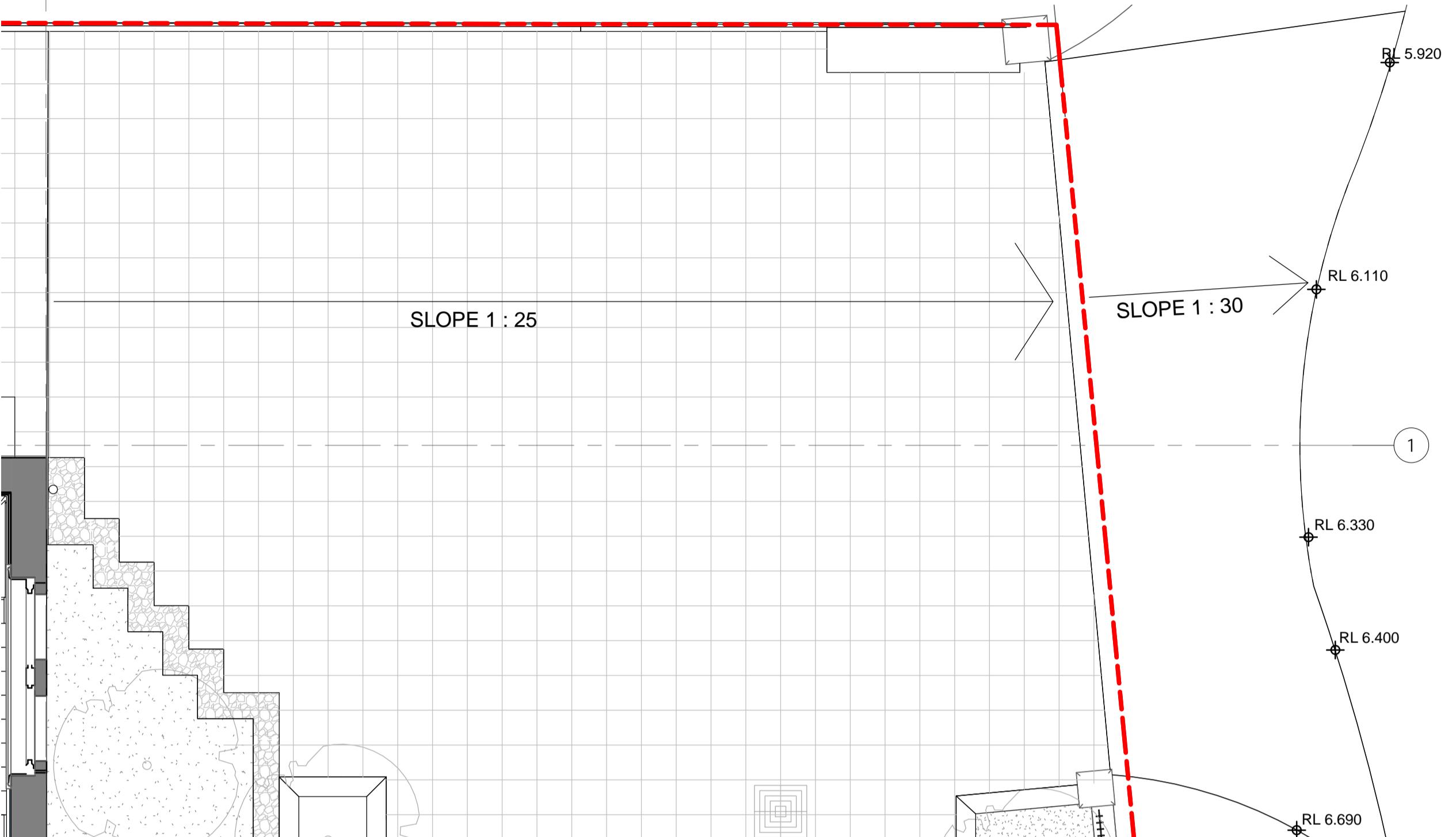
EXTERNAL WORKS - DETAILS - 06

Drawn	Checked	Date	Scale
Author	CS	JUN 2015	1 : 20 @ A1

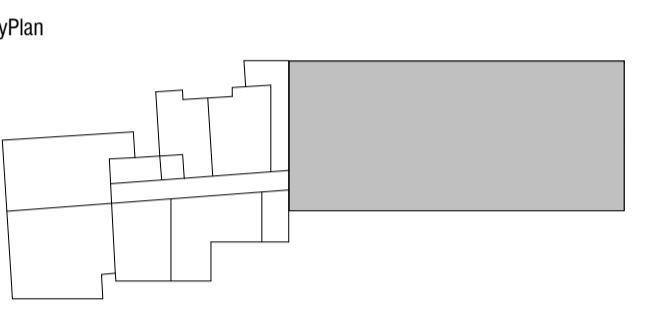
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Project No. Sheet No. Revision  
3084 A0.024 B



PLAN - HYAM ST DRIVEWAY  
A0.012 1:50



Consultants

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STRUCTURAL ENGINEER	:	PDS AUST
SERVICES ENGINEER	:	ERBAS
BCA + ACCESS	:	DESIGN CONFIDENCE
ACOUSTIC	:	RENZO TONIN
HERITAGE	:	RAPPOPORT HERITAGE
TRAFFIC	:	MCLAREN TRAFFIC ENGINEERING
CIVIL	:	IBRAHIM STORMWATER CONSULTANTS
LANDSCAPE	:	URBIS
PCA	:	CITY PLAN SERVICES

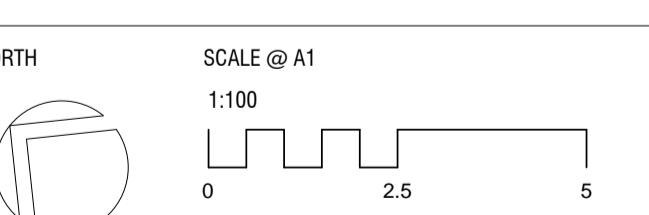
Client  
WENTWORTH EQUITIES



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Level M, 50 Carrington St  
Sydney, NSW  
2000, Australia  
PH (02) 8270 3933  
[www.custance.com.au](http://www.custance.com.au)

Project  
BALMAIN APARTMENTS  
100-104 Reynolds St, Balmain

Sheet Title  
EXTERNAL WORKS - DETAILS - 07



Drawn Author Checked CS Date JUN 2015 Scale 1 : 50 @ A1

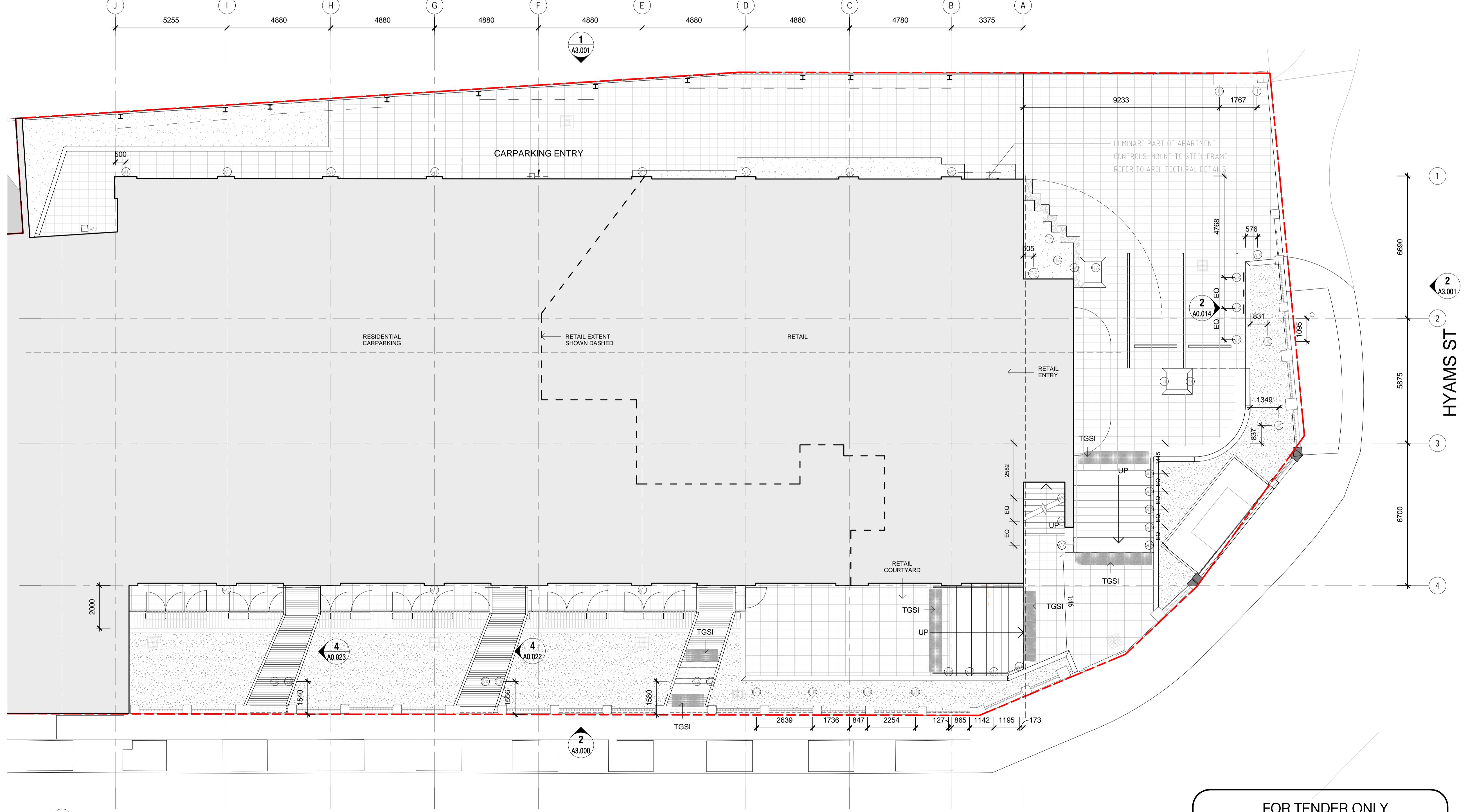
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Project No. 3084 Sheet No. A0.025 Revision B

## LEGEND

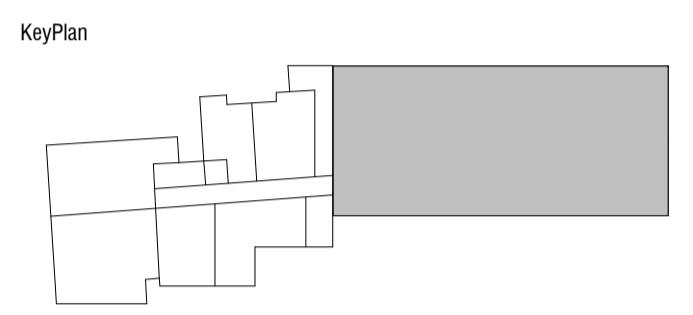
NOTES: ALL WALL LIGHTS TO BE NOMINALLY AT 2100mm ABOVE FFL ALL HEIGHTS TO BE APPROVED BY ARCHITECT ON SITE	
② 1x 11W LED RECESSED DOWNLIGHT, 4000K, PIERLITE DOT 92 LED D0792LED00N/40	⑩ GROUND SPIKE MOUNTED DIRECTIONAL SPOT LIGHT, LED, 3000K, 35DEG BEAM, CLEAR DIFFUSER, HYDRICS PLATED, PROVIDE DALI RELAY TO SWITCH CONTROL, EQUAL TO ACCENTO 8
③ 11W 3000K LED RECESSED DOWNLIGHT DIMMABLE, GIMBAL TYPE, PIERLITE STARBURST CRYSTAL ECO	⑪ RECESSED/INGROUND LIGHT, LED 3000K, 25 DEG. BEAM, CLEAR DIFFUSER, HONEYCOMB LOUVE, HYDRICS PLATED, PROVIDE DALI RELAY TO SWITCH CONTROL, EQUAL TO OSIRON OSS1
④ 11W 3000K LED RECESSED DOWNLIGHT, IP RATED FOR WET AREAS, PIERLITE STARBURST CRYSTAL ECO	⑫ RECESSED/INGROUND LIGHT, LED 3000K, 25 DEG. BEAM, CLEAR DIFFUSER, HONEYCOMB LOUVE, HYDRICS PLATED, PROVIDE DALI RELAY TO SWITCH CONTROL, EQUAL TO OSIRON OSS
⑤ SURFACE MOUNTED BULKHEAD LIGHT 12W, 4000K LED, EQUAL TO WEEF 'BUC20' LED WITH FORWARD BEAM, AND GLARE BAFFLE	⑬ RECESSED WALL LIGHT, 5W LED 3000K, PROVIDE DALI RELAY TO SWITCH CONTROL, EQUAL TO WEEF MONDO MEDIUM
⑥ 10W, 3000K, DALI-DIMMABLE 50-DEG BEAM RECESSED DOWNLIGHT WITH 360deg ROTATE/TILT GIMBAL TYPE EQUAL TO JSB MODULAR SMART CAKE 82, WHITE COLOUR. PROVIDE DALI-RELAY TO BUS CONTROLS.	⑭ SURFACE MOUNTED WALL LIGHT, IP66, PROVIDE DALI RELAY TO SWITCH CONTROL, EQUAL TO WEEF QLS420LED
⑦ 10W, 3000K LED, DALI-DIMMABLE 24-DEG BEAM RECESSED ADJUSTABLE WALL WASHING DOWNLIGHT TYPE EQUAL TO JSB MODULAR CHAPEAU, WHITE COLOUR	⑮ 3000K, 198LM LED, WALL MOUNTED COMPLETE WITH DALI RELAY CONTROL, EQUAL TO LIGMAN "GIN 2 LED"
NOTE: WHERE INDICATED IN PAIRS, SPACE 300mm APART	⑯ LIGHTING SWITCH SENSOR, DALI-TYPE
⑯ 15.7W, 3000K LED, DALI-DIMMABLE 85-DEG BEAM RECESSED DOWNLIGHT TYPE EQUAL TO JSB SMART CAKE 15 DIFFUSED, WHITE COLOUR	⑰ 2 x 28W SURFACE MOUNTED 4000K T5 FLUORESCENT LUMINAIRE WITH IP65, PIERLITE BWP/T5 TYPE
⑰ 1W, 3000K LED, DALI RECESSED JONERY MOUNTED CABINET DOWNLIGHT, EQUAL TO DOMUS. PROVIDE DALI SWITCHED CONTROL GEAR. COORDINATE LOCATIONS WITHIN JONERY	⑱ 2 x 28W 4000K T5 SURFACE MOUNTED, REEDED DIFFUSED, PIERLITE HIGHS
⑱ 2W, 3000K LED, DALI-DIMMABLE RECESSED WALL WASHING DOWNLIGHT WITH 12-DEGREE BEAM, EQUAL TO JSB MORPHUS	⑲ 60W, 3000K, CHAIN SUSPENDED PENDANT, EQUAL TO NON-RANDOM BY MOBI COLOUR BLACK. PROVIDE DALI-RELAY TO BUS CONTROLS
⑲ 60W, 3000K, CHAIN SUSPENDED PENDANT, EQUAL TO NON-RANDOM BY MOBI COLOUR BLACK. PROVIDE DALI-RELAY TO BUS CONTROLS	⑳ 3W LED NON-MAINTAINED MODE EMERGENCY LIGHT - CLEVERTRONICS 'LIFELIGHT' PLIFIE TYPE OR APPROVED EQUAL
⑳ 3W, 3000K LED, DALI-DIMMABLE min. IP54 RECESSED FLOOR MOUNTED UPLIGHTER EQUAL TO TARGETTI - "PENKA"	㉑ LIGHT SWITCH
WALL MOUNTED ADJUSTABLE LIGHT, IP55, 7W LED 3000K, PROVIDE DALI RELAY TO SWITCH CONTROL, EQUAL TO JSB MODULAR VECTOR 7x LED DOWN TI, ALU FINISH	㉒ 360° DUAL TECHNOLOGY LIGHT SWITCH / OCCUPANCY SENSOR - CLIPSAL C-BUS 752/CD OR EQUAL
RECESSED DOWNLIGHT, IP55, 11W LED 3000K, PROVIDE DALI RELAY TO SWITCH CONTROL, EQUAL TO JSB MODULAR LOTS BATHROOM HI POWER LED MEDIUM	㉓ HEATED TOWEL RAIL SWITCH INCORPORATED IN LIGHT SWITCH PANEL COMPLETE WITH HPM XLP770TRT TIMER; PROVIDE ADDITIONAL BUS RELAY TO HERITAGE APARTMENTS.
GROUND SPIKE MOUNTED DIRECTIONAL SPOT LIGHT, LED 3000K, 26DEG BEAM, CLEAR DIFFUSER, HYDRICS PLATED, PROVIDE DALI RELAY TO SWITCH CONTROL, EQUAL TO ACCENTO 8	㉔ - LA - IP67 CONTINUOUS SURFACE MOUNTED LED, 3000K, COMPLETE WITH DALI CONTROLS EQUAL TO KKOC MOMO-E508
	㉕ IP54 CONTINUOUS SURFACE MOUNTED LED, 3000K, COMPLETE WITH DALI CONTROLS EQUAL TO KKOC MOMO E352
	㉖ 3000K LED CONTINUOUS LIGHT STRIP, SURFACE MOUNTED IN UPPER CORNER IN LOW STORES, EQUAL TO KKOC LIN GLOW 612lm/m COMPLETE WITH DIFFUSER AND EXTRUDED ALUMINUM SECTION COMPLETE WITH DALI DIMMABLE CONTROLS IN HERITAGE APARTMENTS
	㉗ 3000K LED CONTINUOUS LIGHT STRIP, SURFACE MOUNTED IN UPPER CORNER IN LOW STORES, EQUAL TO KKOC LIN GLOW 612lm/m COMPLETE WITH DIFFUSER AND EXTRUDED ALUMINUM SECTION COMPLETE WITH DALI DIMMABLE CONTROLS IN HERITAGE APARTMENTS



Revision	Description	Date
A	100% TENDER	24/06/2015

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Project No. 3084 Sheet No. A0.030 Revision A



Consultants

DEVELOPMENT MANAGER	: PDS AUST
STRUCTURAL ENGINEER	: ERBAS
SERVICES ENGINEER	: DESIGN CONFIDENCE
BCA + ACCESS	: RENZO TONIN
ACOUSTIC	: MCLEAREN TRAFFIC ENGINEERING
HERITAGE	: RAPOPORT HERITAGE
TRAFFIC	: URBIS
CIVIL	: BRAHIM STORMWATER CONSULTANTS
LANDSCAPE	: URBIS
PCA	: CITY PLAN SERVICES

Client

WENTWORTH EQUITIES



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Project

BALMAIN APARTMENTS

100-104 Reynolds St, Balmain

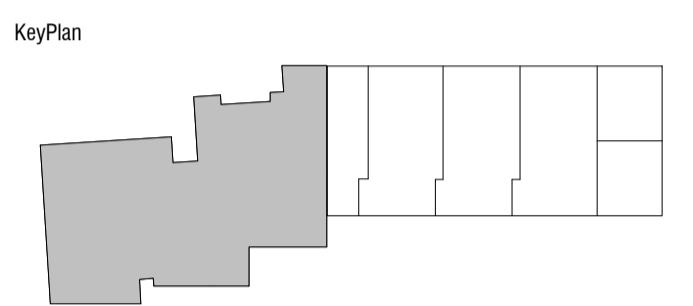
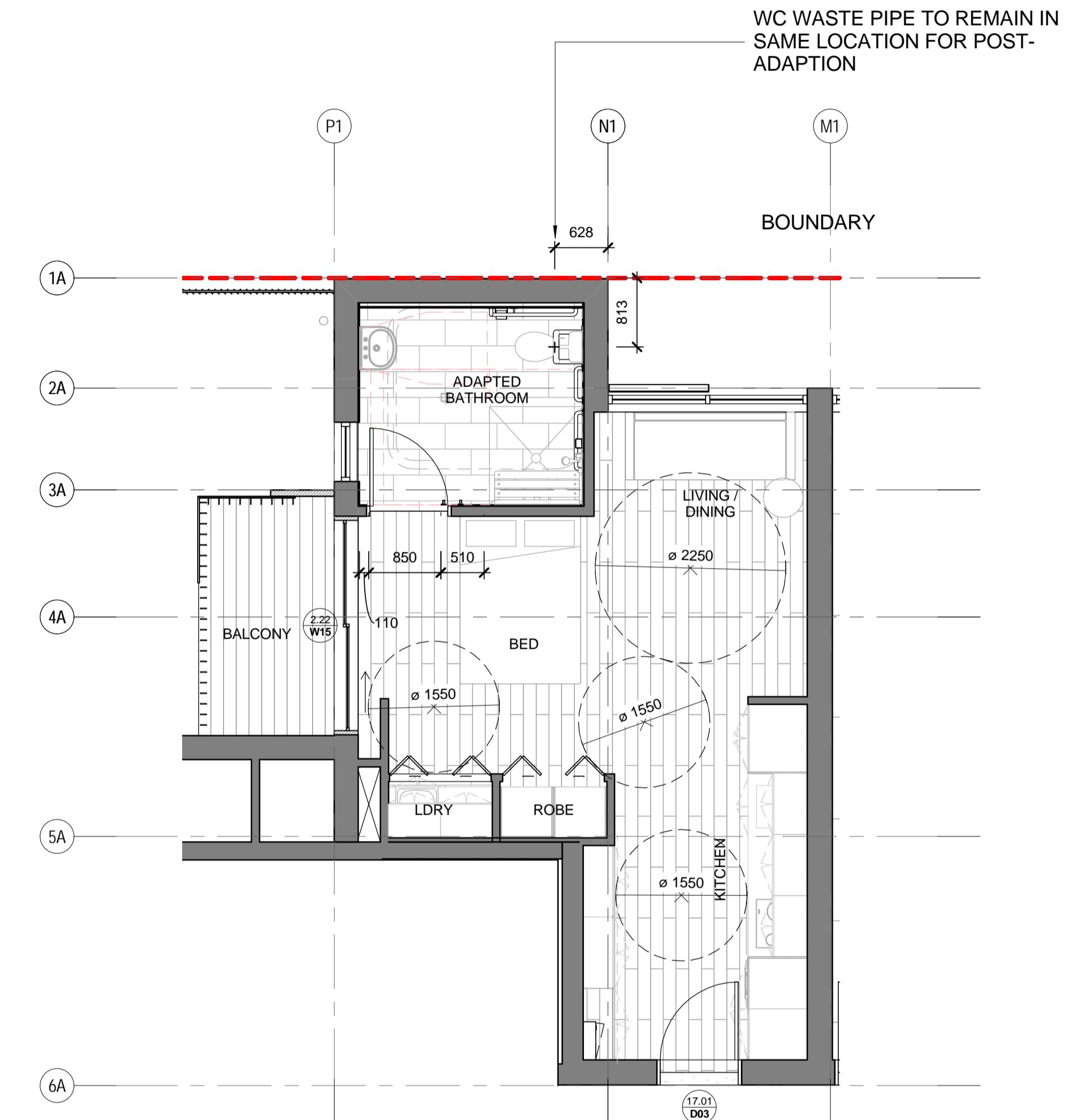
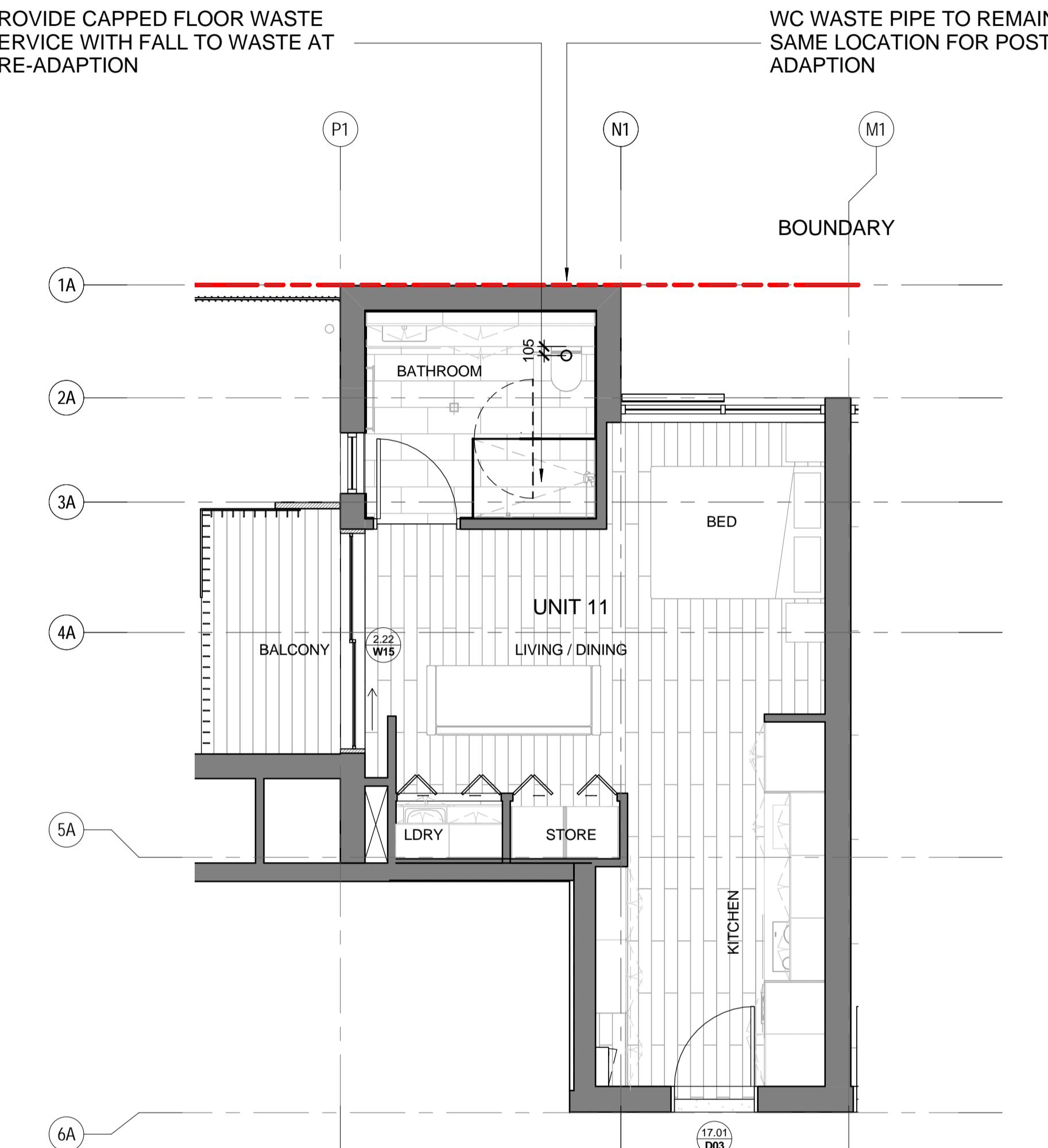
Sheet Title

EXTERNAL WORKS- EXTERNAL LIGHTING  
LAYOUT

NORTH SCALE @ A1  
1:100  
0 2.5 5

Drawn Author CS Checked Date JUN 2015 Scale 1: 100 @ A1

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Consultants

DEVELOPMENT MANAGER	:	PDS AUST
STRUCTURAL ENGINEER	:	ERBAS
SERVICES ENGINEER	:	DESIGN CONFIDENCE
BCA + ACCESS	:	RENZO TONIN
ACOUSTIC	:	RAPOPORT HERITAGE
HERITAGE	:	McLAREN TRAFFIC ENGINEERING
TRAFFIC	:	IBRAHIM STORMWATER CONSULTANTS
CIVIL	:	URBIS
LANDSCAPE	:	URBIS
PCA	:	CITY PLAN SERVICES

Client

WENTWORTH EQUITIES



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Project

BALMAIN APARTMENTS

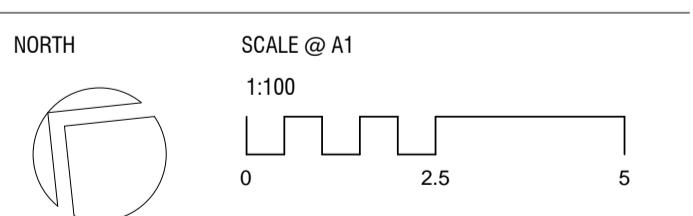
100-104 Reynolds St, Balmain

1 ADAPTABLE UNITS - UNIT 11 - PRE ADAPTATION

2 ADAPTABLE UNITS - UNIT 11 - POST ADAPTATION

Sheet Title

ADAPTABLE UNIT 17 - PRE AND POST ADAPTATION

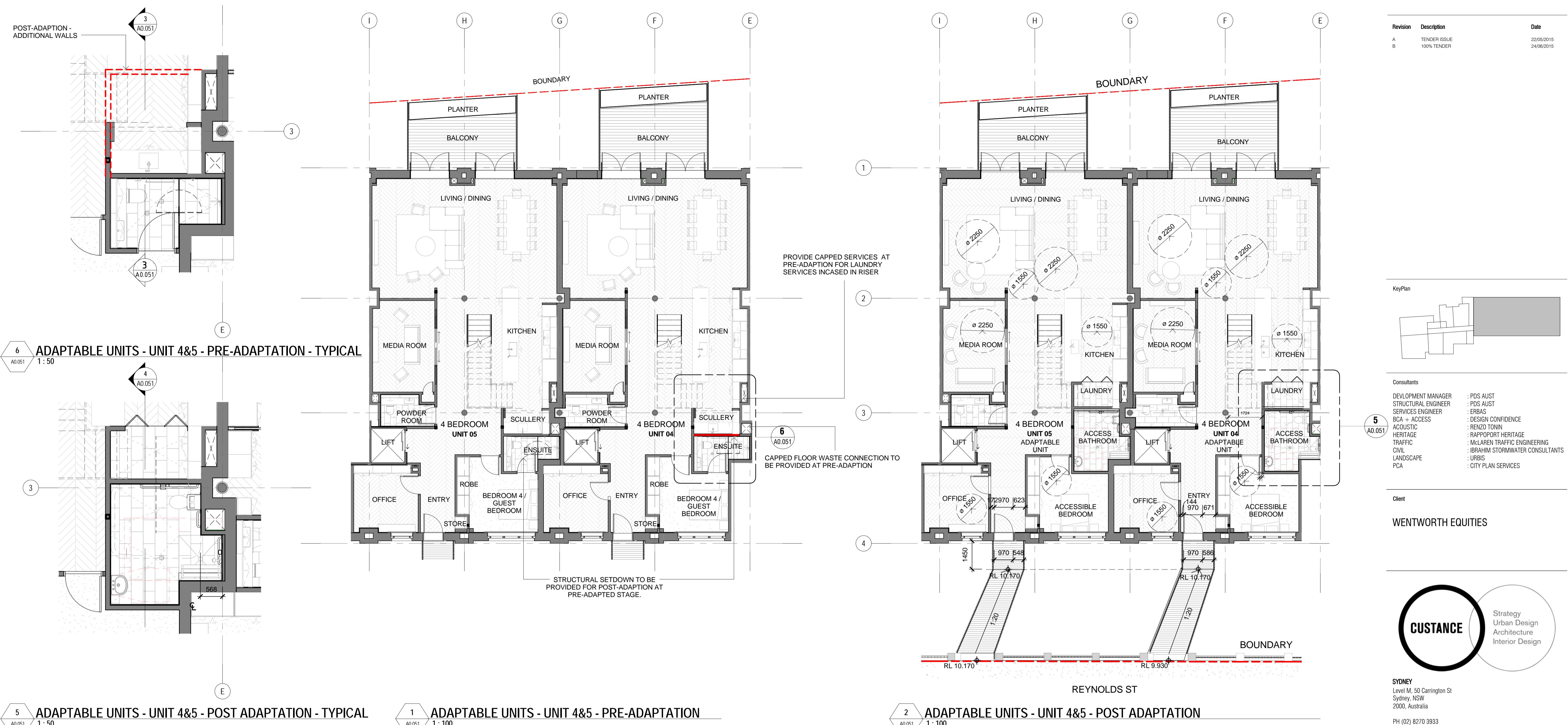


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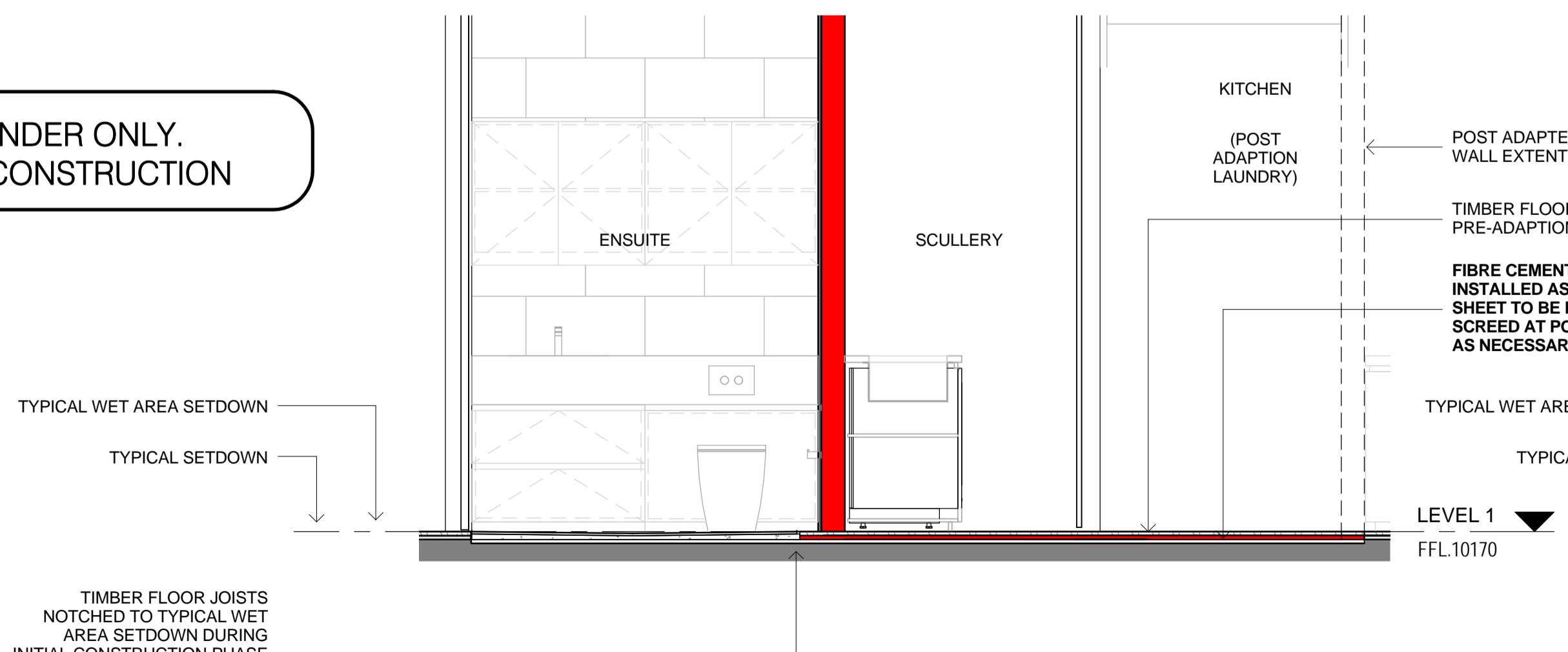
SP CS JUN 2015 1:50 @ A1

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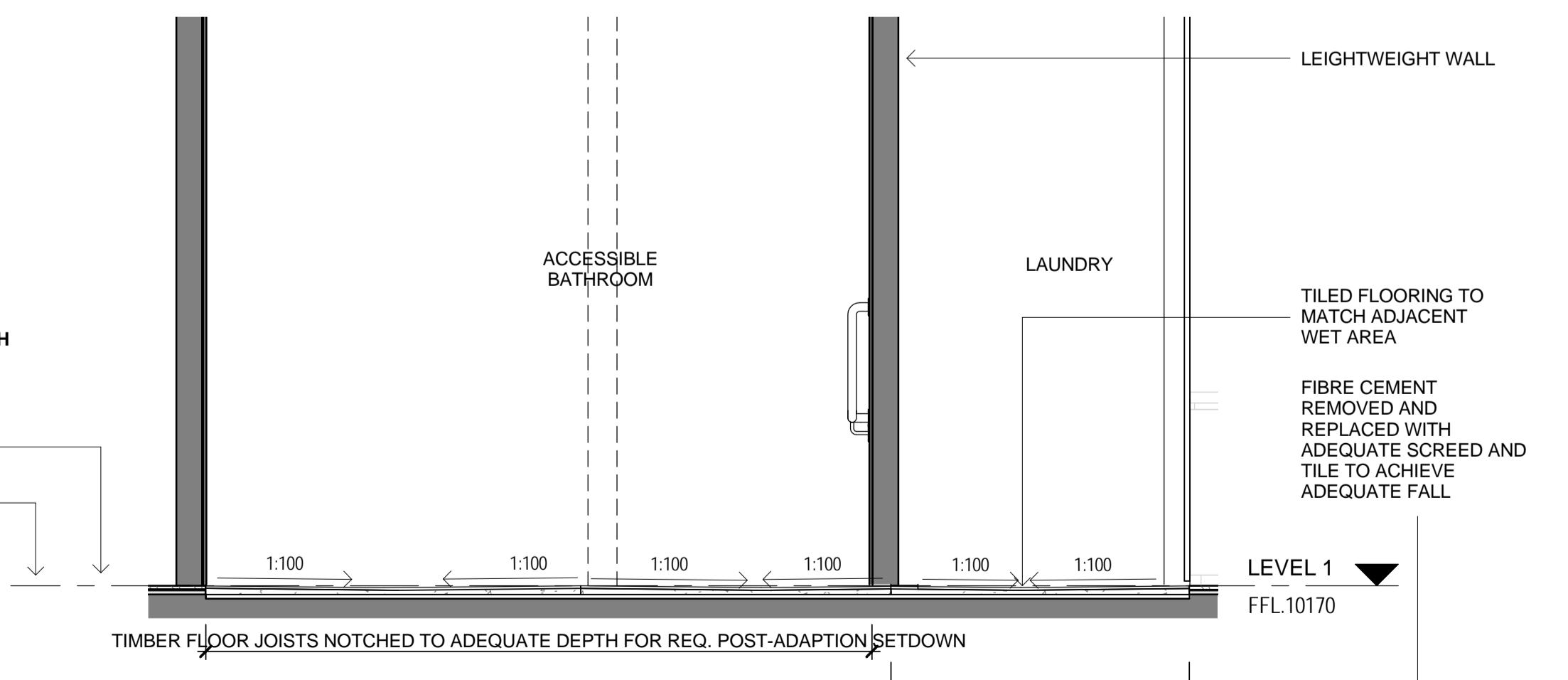
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**SECTION - UNIT 4 & 5 \_PRE-ADAPTION**

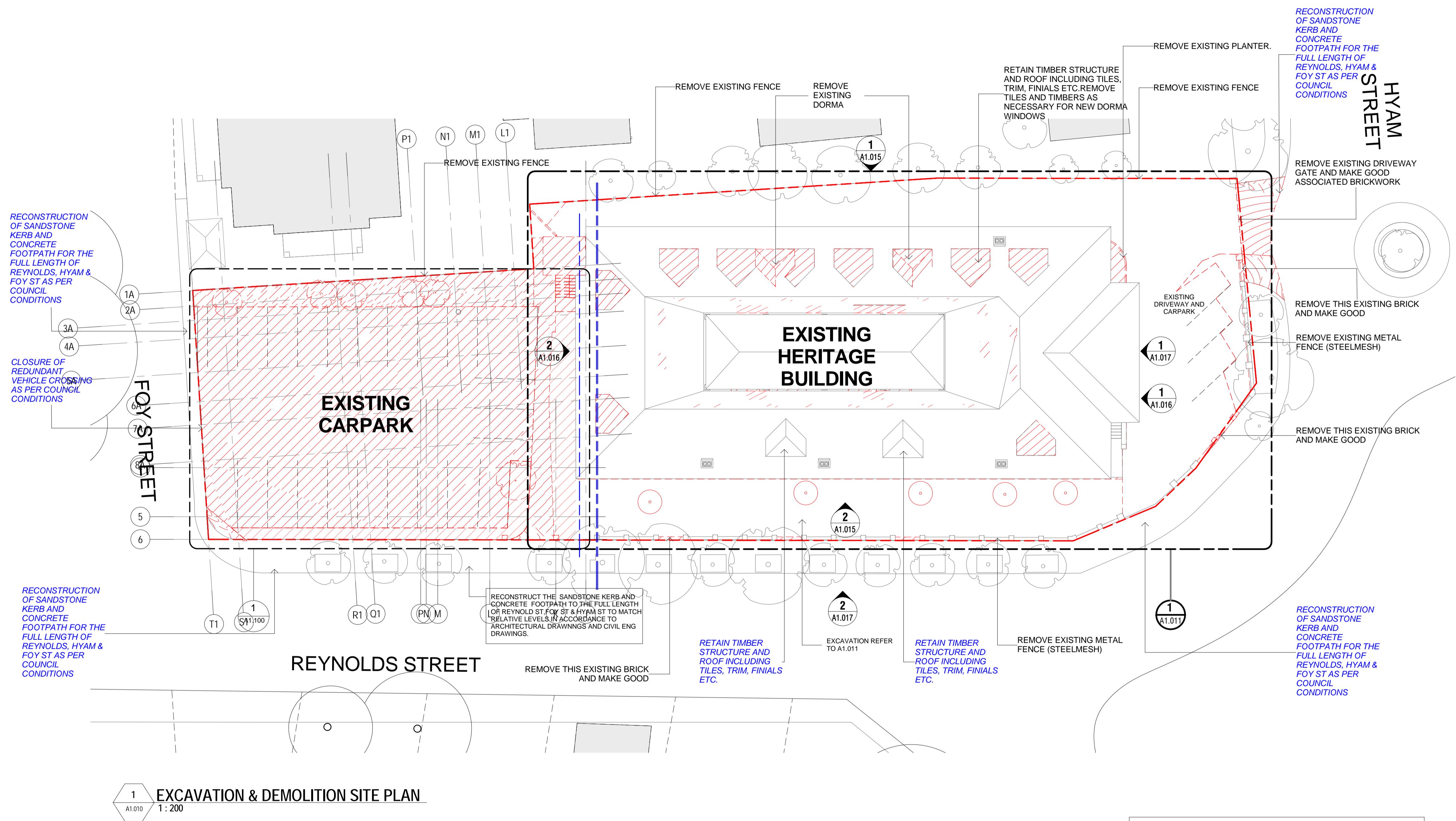


4 SECTION - UNIT 4 & 5\_POST-ADAPTION  
A0.051 1:25

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Project No. Sheet No. Revision  
3084 A0 051 B



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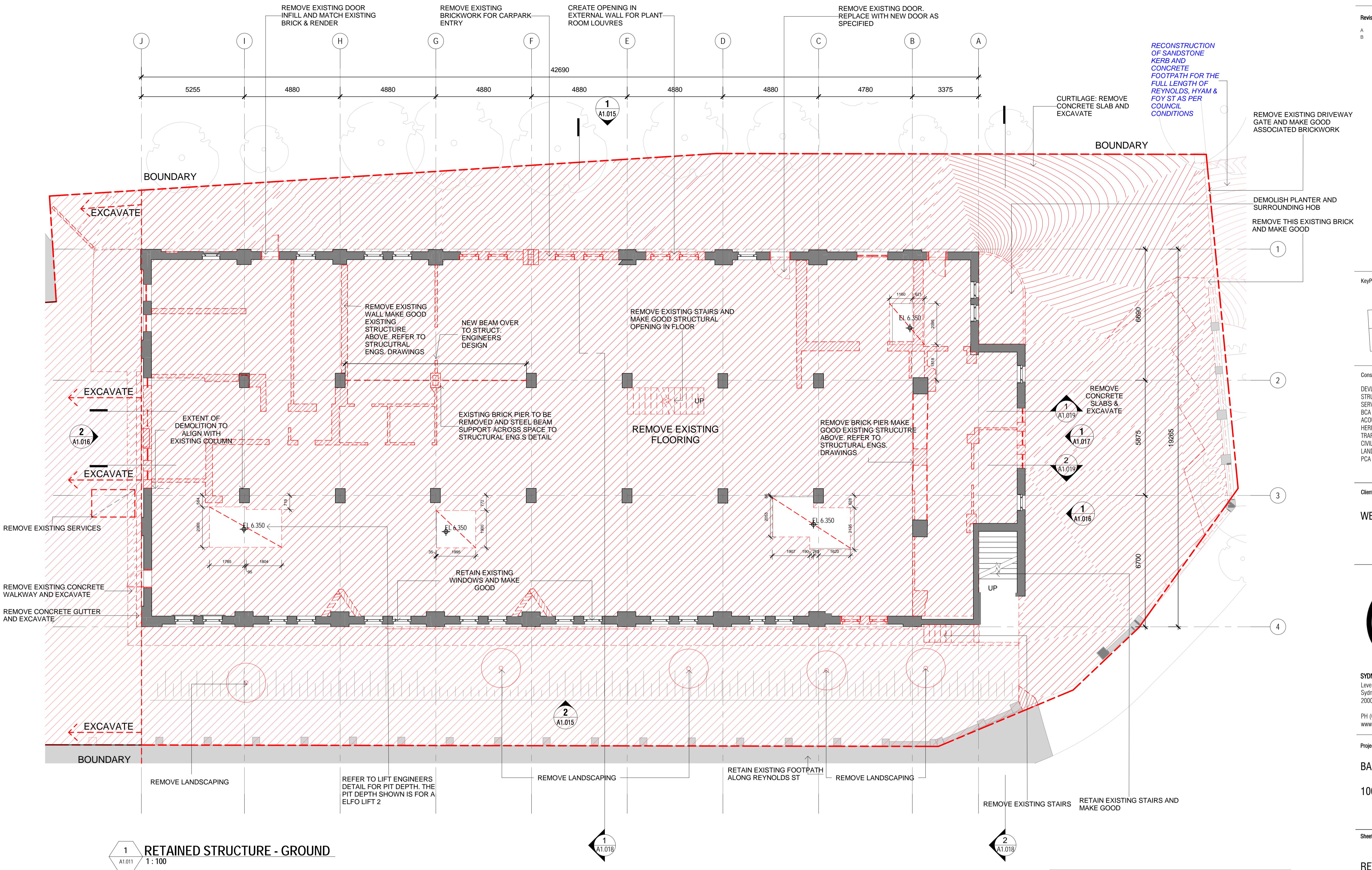
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UNLESS OTHERWISE NOTED ALL FABRIC IS TO BE RETAINED

- [Blue box with diagonal hatching] AREA TO BE PROTECTED
  - [Red box with diagonal hatching] AREA TO BE DEMOLISHED
  - — — OUTLINE OF DEMOLISHED
  - — — OUTLINE OF PROTECTED
  - ⊕ EL EXCAVATION LEVEL  
(STRUCTURAL ENGINEER TO CONFIRM)
  - ⊕ RL RELATIVE LEVEL
  - ⊕ SSL SLAB LEVEL (TO FUTURE PLAN SETOUT)
  - ⊕ CBL CAPPING BEAM LEVEL  
(STRUCTURAL ENGINEER TO CONFIRM)
  - ⊕ FGL FINISHED GROUND LEVEL

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Project No. Sheet No. Revision  
3084 A1.010 B



**1 RETAINED STRUCTURE - GROUND**

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**DEMOLITION GRAPHIC KEY:**

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- AREA TO BE PROTECTED
- AREA TO BE DEMOLISHED
- - - OUTLINE OF DEMOLISHED
- - - OUTLINE OF PROTECTED
- EL EXCAVATION LEVEL (STRUCTURAL ENGINEER TO CONFIRM)
- RL RELATIVE LEVEL
- SSL SLAB LEVEL (TO FUTURE PLAN SETOUT)
- CBL CAPPING BEAM LEVEL (STRUCTURAL ENGINEER TO CONFIRM)
- FG FLISHED GROUND LEVEL

Revision	Description	Date
A	TENDER ISSUE	22/05/2015
B	100% TENDER	24/06/2015

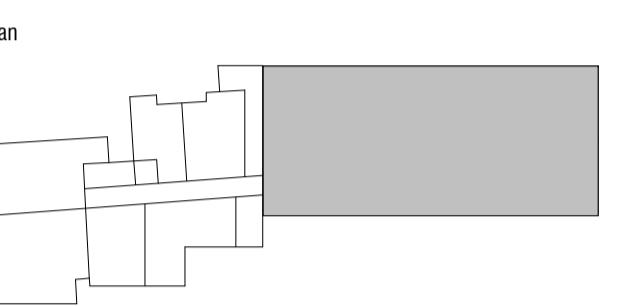
**Sheet Title**  
**RETAINED STRUCTURE - GROUND**

NORTH SCALE @ A1  
1:100 0 2.5 5

Drawn Author CS Checked Date JUN 2015 Scale 1:100 @ A1

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Project No. 3084 Sheet No. A1.011 Revision B



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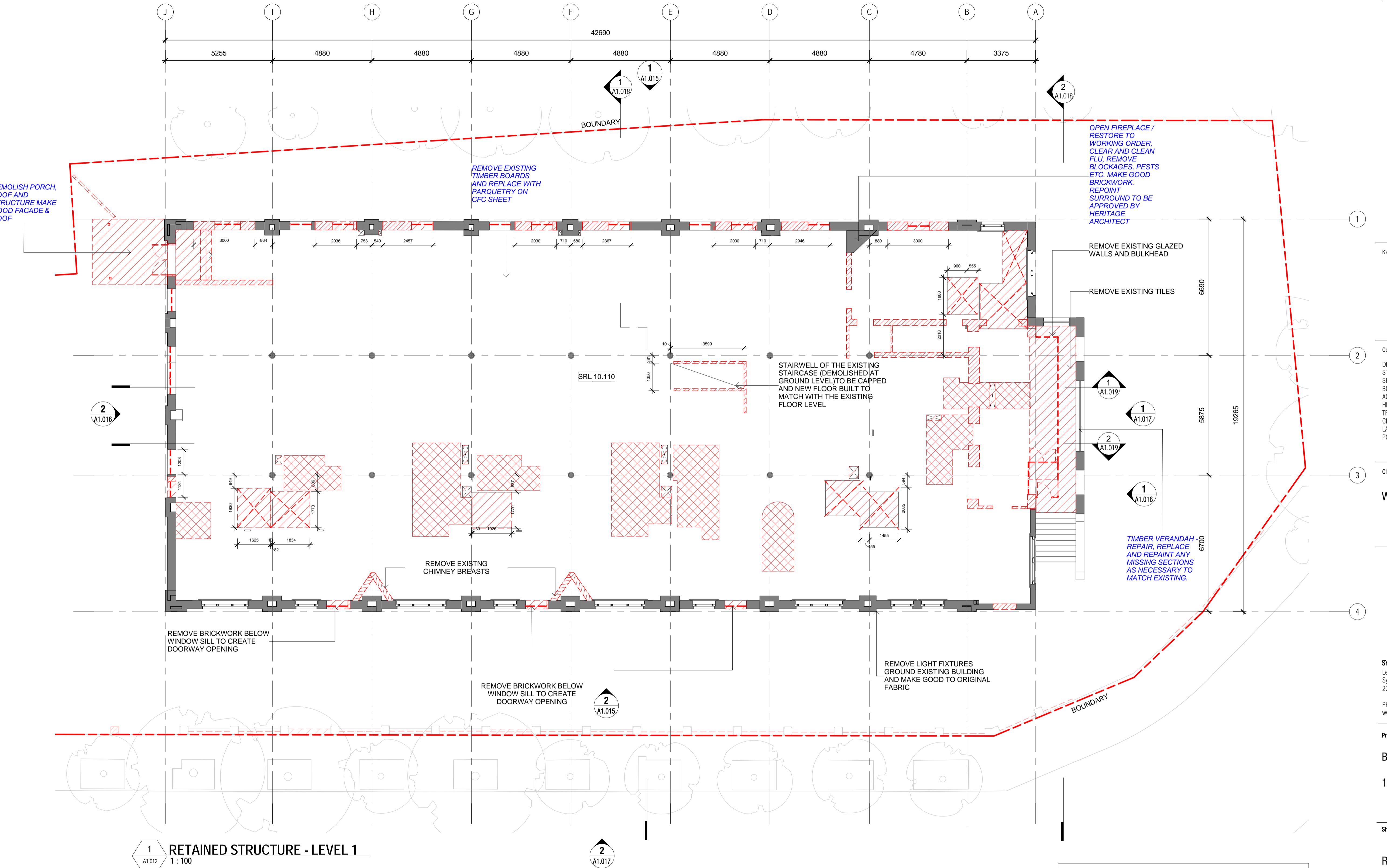
DEVELOPMENT MANAGER	: PDS AUST
STRUCTURAL ENGINEER	: ERBAS
SERVICES ENGINEER	: DESIGN CONFIDENCE
BCA + ACCESS	: RENZO TONIN
ACOUSTIC	: RAPPORT HERITAGE
HERITAGE	: MCLAREN TRAFFIC ENGINEERING
TRAFFIC	: BRAHIM STORMWATER CONSULTANTS
CIVIL	: URBIS
Landscape	: CITY PLAN SERVICES

**Client**  
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**Project**  
**BALMAIN APARTMENTS**  
100-104 Reynolds St, Balmain



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**KeyPlan**

**Consultants**

DEVELOPMENT MANAGER	: PDS AUST
STRUCTURAL ENGINEER	: ERBAS
SERVICES ENGINEER	: DESIGN CONFIDENCE
BCA + ACCESS	: RENZO TONIN
ACOUSTIC	: RAPPORT HERITAGE
HERITAGE	: MCLAREN TRAFFIC ENGINEERING
TRAFFIC	: IBRAHIM STORMWATER CONSULTANTS
CIVIL	: URBIS
LANDSCAPE	: CITY PLAN SERVICES

**Client**

WENTWORTH EQUITIES

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Strategy Urban Design Architecture Interior Design

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**Project**

BALMAIN APARTMENTS  
100-104 Reynolds St, Balmain

**Sheet Title**

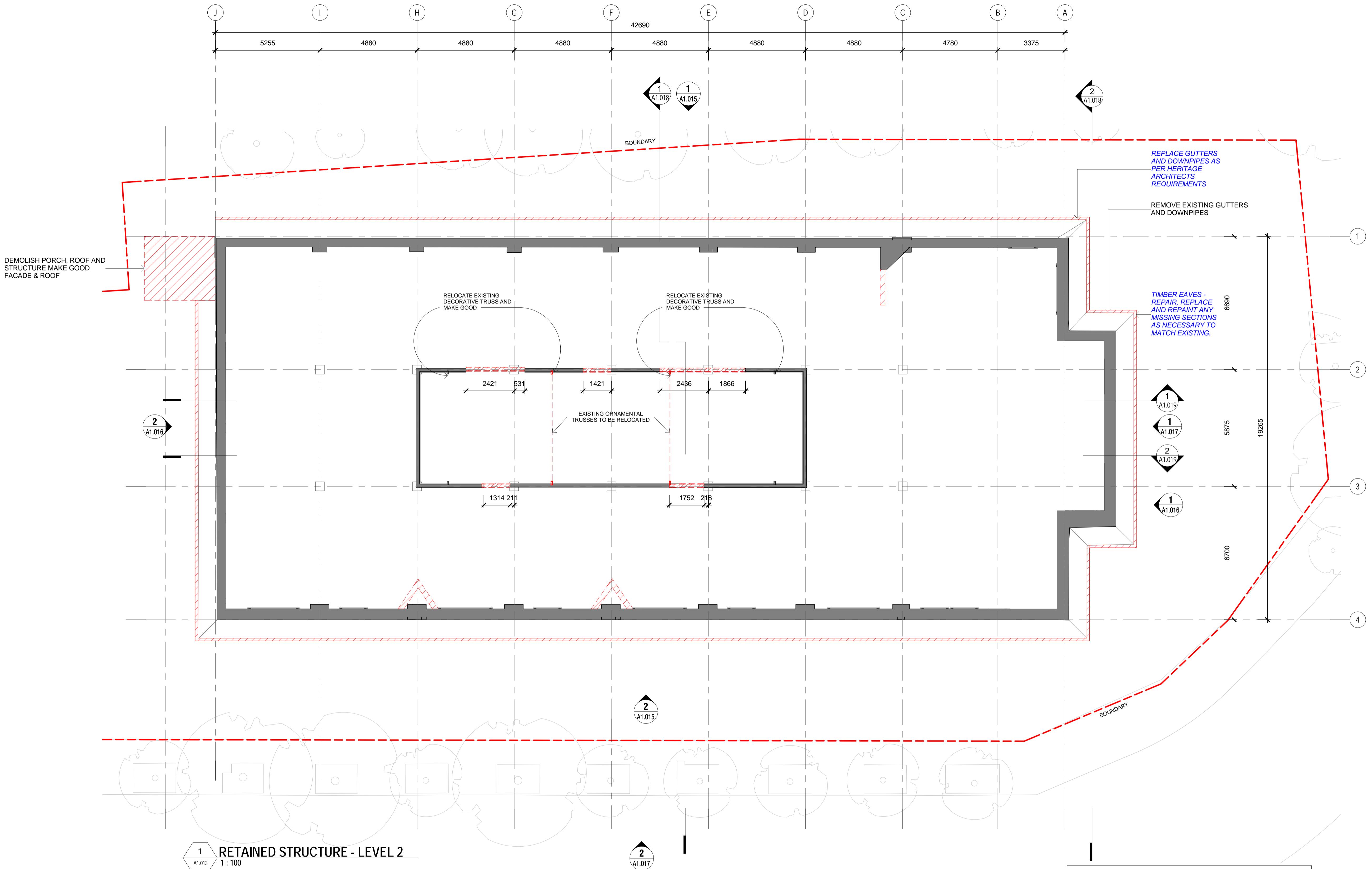
RETAINED STRUCTURE - LEVEL 1

**NORTH** SCALE @ A1  
1:100

Drawn Author CS Checked Date JUN 2015 Scale 1:100 @ A1

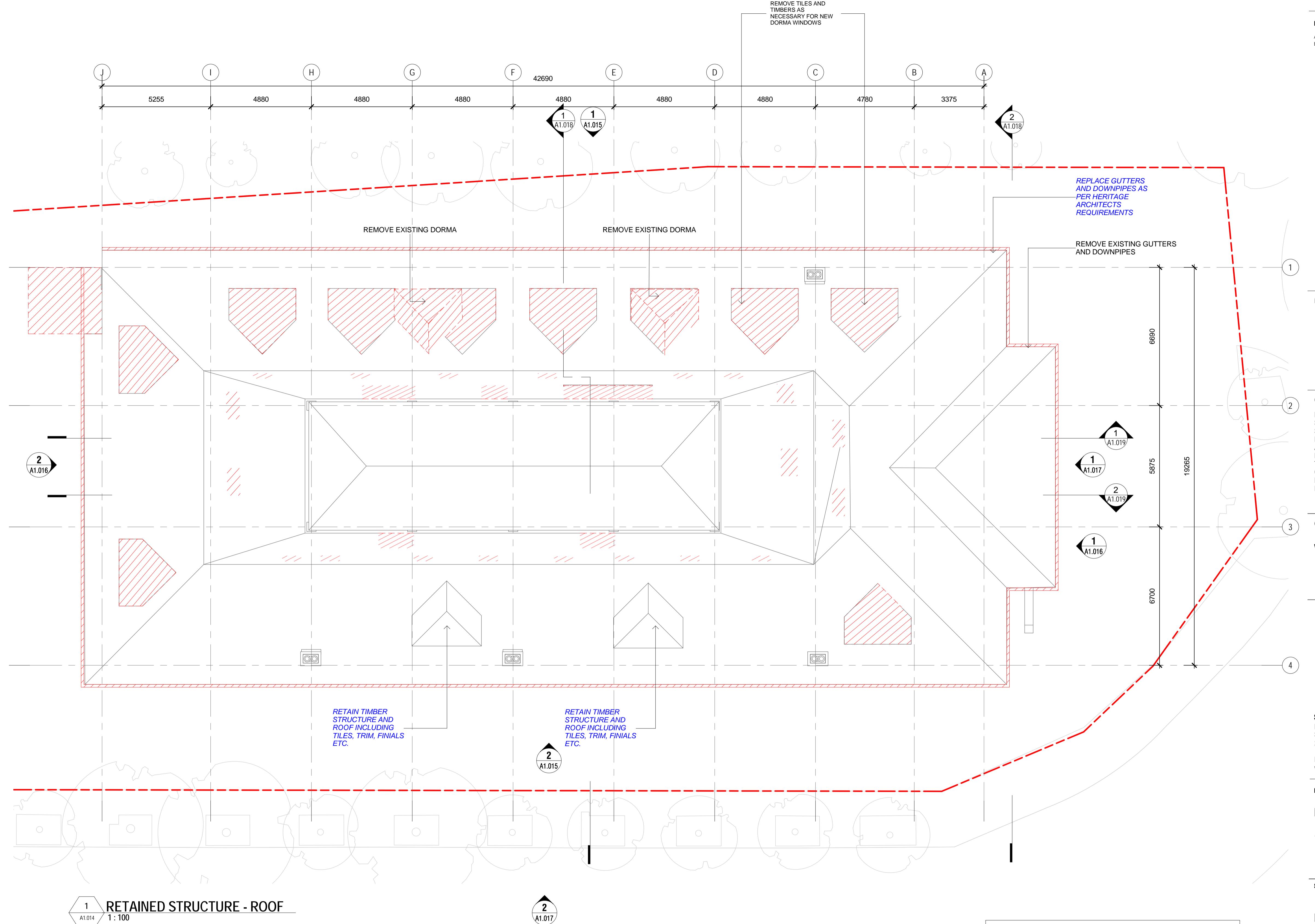
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Project No. 3084 Sheet No. A1.012 Revision B



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■■■■■	AREA TO BE DEMOLISHED				
- - -	OUTLINE OF DEMOLISHED				
- - - - -	OUTLINE OF PROTECTED				
○	EL EXCAVATION LEVEL (STRUCTURAL ENGINEER TO CONFIRM)				
○	RL RELATIVE LEVEL				
○	SSL SLAB LEVEL (TO FUTURE PLAN SETOUT)				
○	CBL CAPPING BEAM LEVEL (STRUCTURAL ENGINEER TO CONFIRM)				
○	FGL FINISHED GROUND LEVEL				

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# RETAINED STRUCTURE - ROOF

A1.014 1 : 100

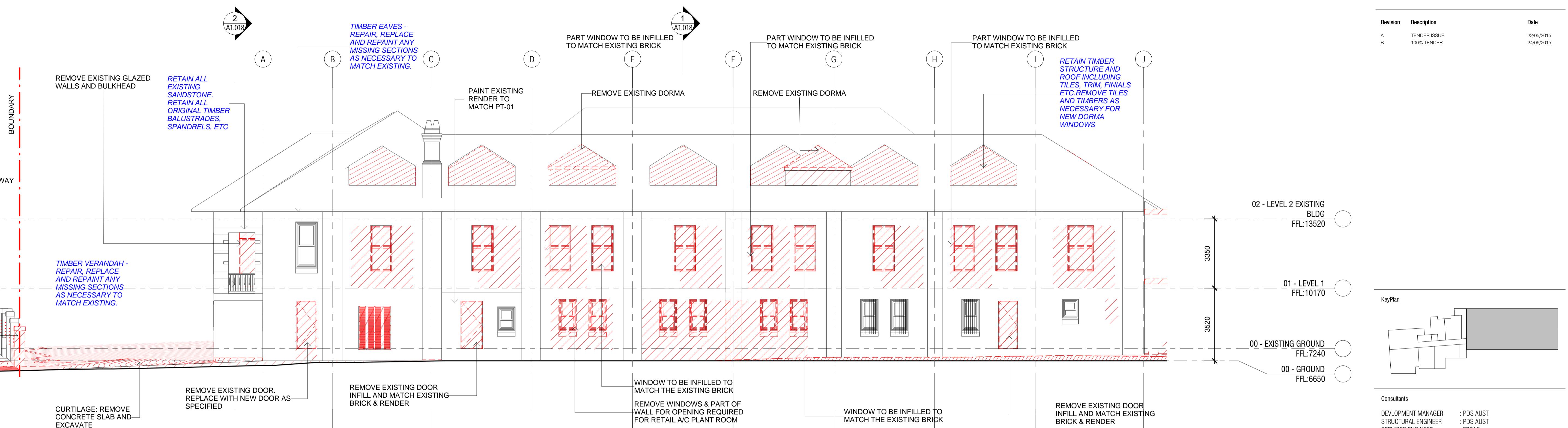
DEMOLITION GRAPHIC KEY:

UNLESS OTHERWISE NOTED ALL FABRIC IS TO BE RETAINED

-  AREA TO BE PROTECTED
  -  AREA TO BE DEMOLISHED
  -  OUTLINE OF DEMOLISHED
  -  OUTLINE OF PROTECTED
  -  EL EXCAVATION LEVEL  
(STRUCTURAL ENGINEER TO CONFIRM)
  -  RL RELATIVE LEVEL
  -  SSL SLAB LEVEL (TO FUTURE PLAN SETOUT)
  -  CBL CAPPING BEAM LEVEL  
(STRUCTURAL ENGINEER TO CONFIRM)
  -  FGL FINISHED GROUND LEVEL

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Project No. Sheet No. Revision  
3084 A1.014 B



Revision	Description
A	TENDER ISSUE
B	100% TENDER

Date  
22/05/2015  
24/06/2015

Consultants

DEVELOPMENT MANAGER	: PDS AUST
STRUCTURAL ENGINEER	: PDS AUST
SERVICES ENGINEER	: ERBAS
BCA + ACCESS	: DESIGN CONFIDENCE
ACOUSTIC	: RENZO TONIN
HERITAGE	: RAPPORT HERITAGE
TRAFFIC	: MCLAREN TRAFFIC ENGINEERING
CIVIL	: IBRAHIM STORMWATER CONSULTANTS
Landscape	: URBIUS
PCA	: CITY PLAN SERVICES

Client  
**WENTWORTH EQUITIES**



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Project  
**BALMAIN APARTMENTS**  
100-104 Reynolds St, Balmain

Sheet Title

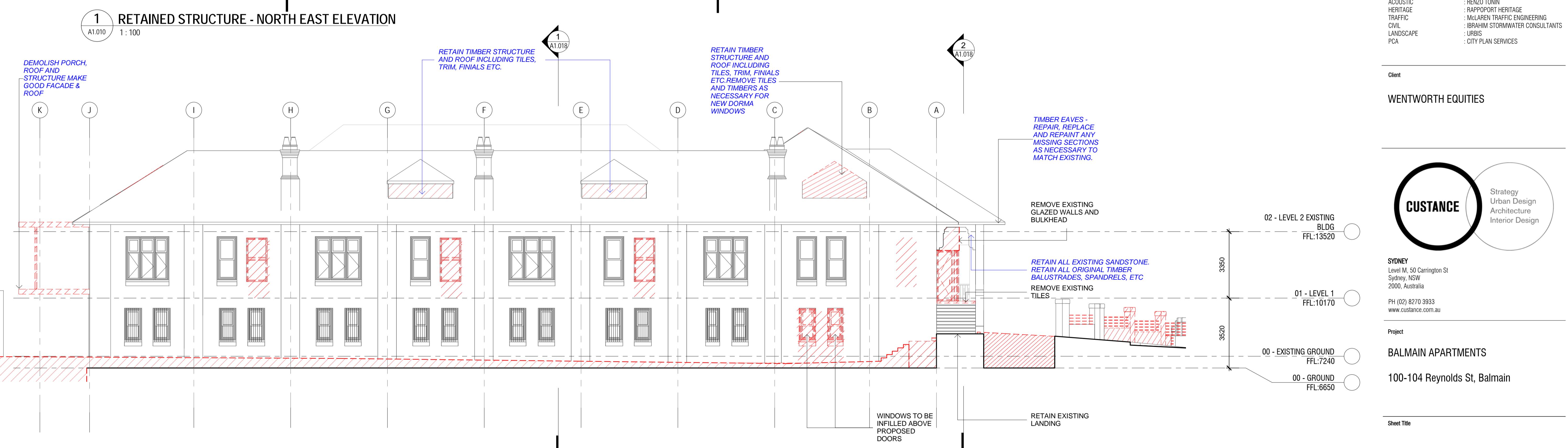
#### RETAINED STRUCTURE - ELEVATIONS

SCALE @ A1  
1:100  
0 2.5 5

Drawn Author	Checked CS	Date JUN 2015	Scale 1:100 @ A1
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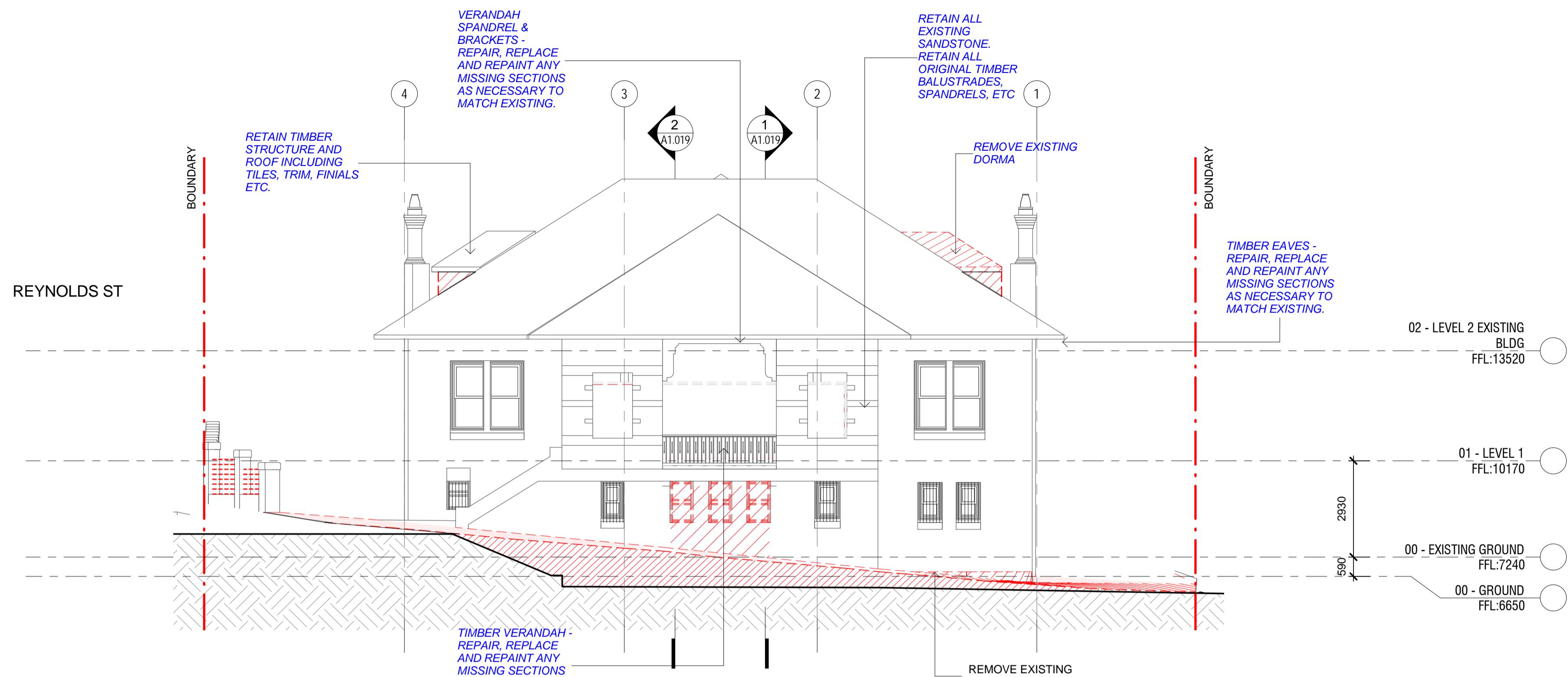
Project No. 3084 Sheet No. A1.015 Revision B



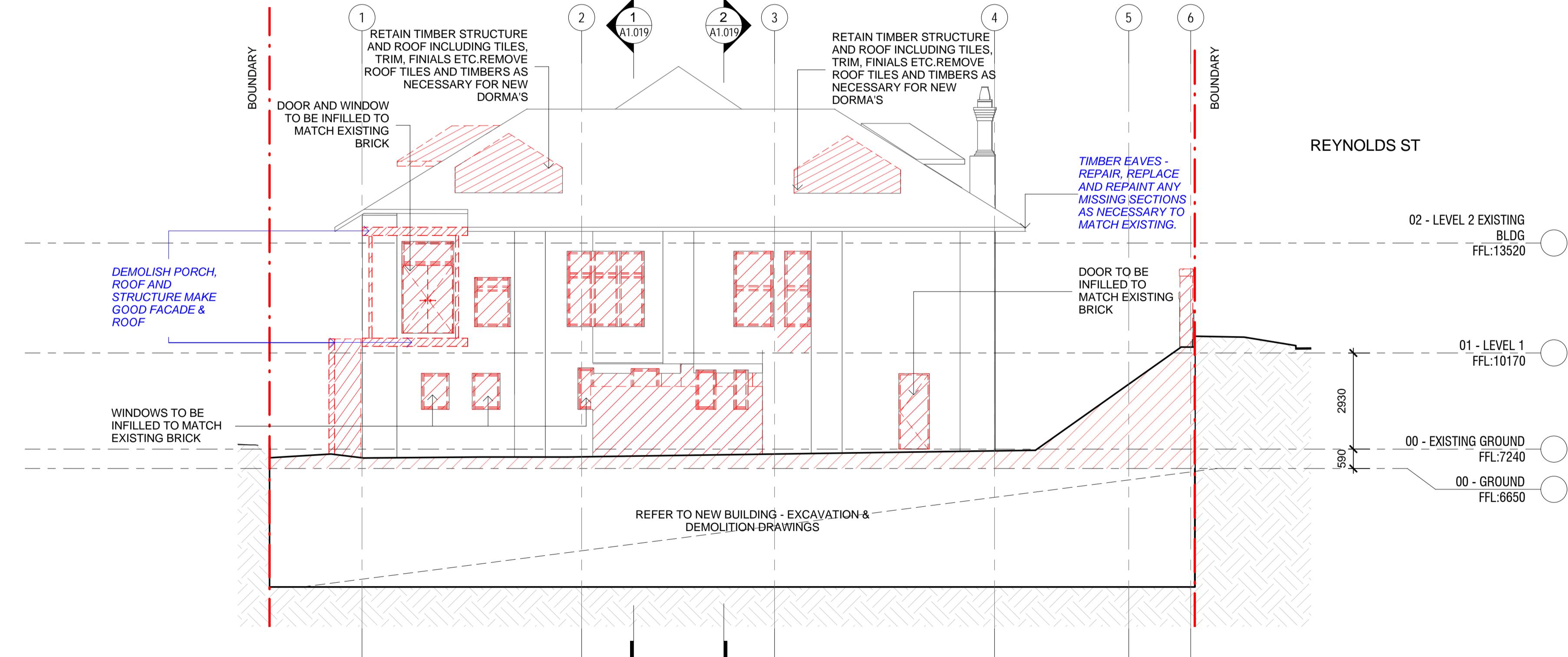
DEMOLITION GRAPHIC KEY:	
UNLESS OTHERWISE NOTED ALL FABRIC IS TO BE RETAINED	
■■■■■ AREA TO BE PROTECTED	
■■■■■ AREA TO BE DEMOLISHED	
- - - OUTLINE OF DEMOLISHED	
- - - OUTLINE OF PROTECTED	
○ EL EXCAVATION LEVEL (STRUCTURAL ENGINEER TO CONFIRM)	
○ RL RELATIVE LEVEL	
○ SSL SLAB LEVEL (TO FUTURE PLAN SETOUT)	
○ CBL CAPPING BEAM LEVEL (STRUCTURAL ENGINEER TO CONFIRM)	
○ FGL FINISHED GROUND LEVEL	

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Revision	Description	Date
A	TENDER ISSUE	22/05/2015
B	100% TENDER	24/06/2015



1 RETAINED STRUCTURE - SOUTH EAST ELEVATION  
A1.010 1:100



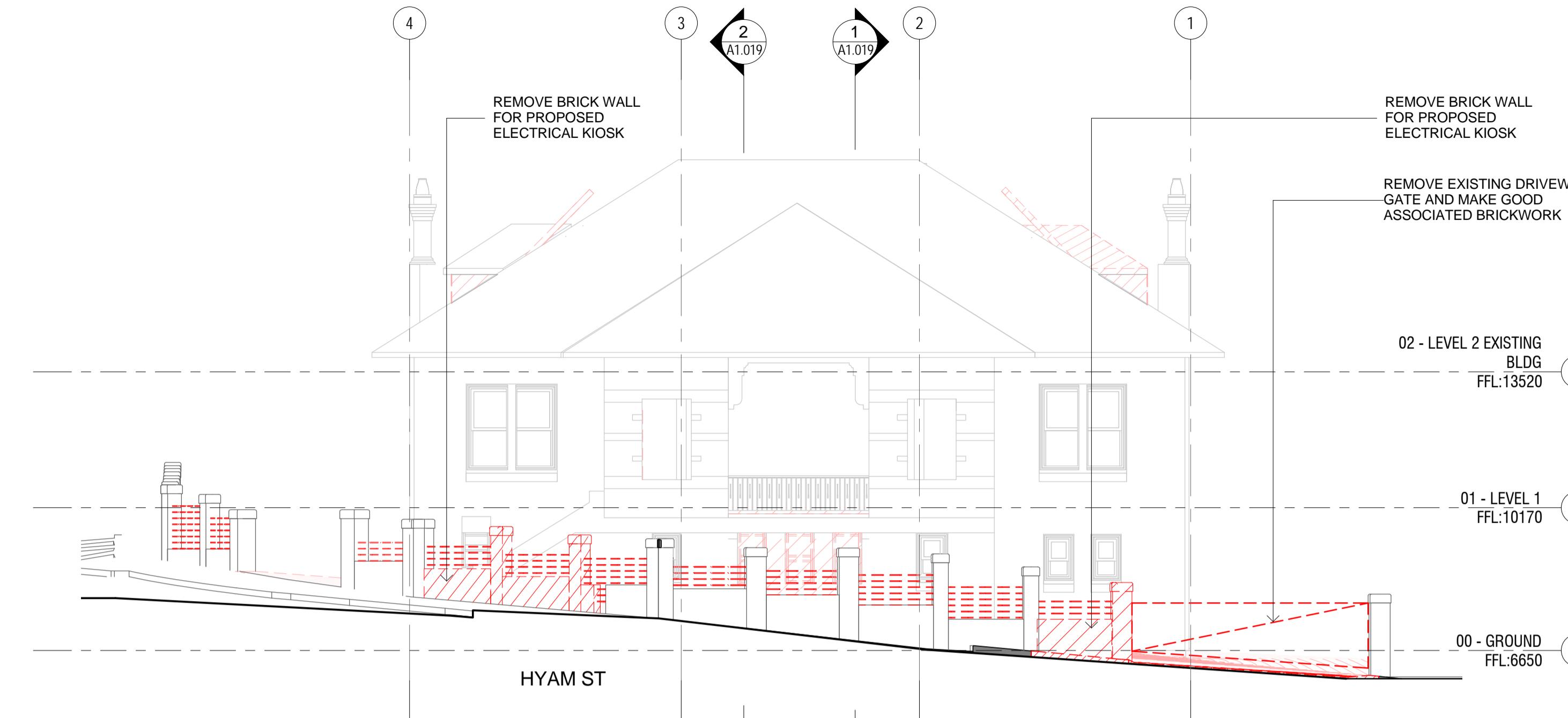
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A1.010 1:100

**DEMOLITION GRAPHIC KEY:**  
UNLESS OTHERWISE NOTED ALL FABRIC IS TO BE RETAINED  
 AREA TO BE PROTECTED  
 AREA TO BE DEMOLISHED  
 OUTLINE OF DEMOLISHED  
 OUTLINE OF PROTECTED  
 EL EXCAVATION LEVEL (STRUCTURAL ENGINEER TO CONFIRM)  
 RL RELATIVE LEVEL  
 SSL SLAB LEVEL (TO FUTURE PLAN SETOUT)  
 CBL CAPPING BEAM LEVEL (STRUCTURAL ENGINEER TO CONFIRM)  
 FGL FINISHED GROUND LEVEL

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Project No. 3084 Sheet No. A1.016 Revision B

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**1 RETAINED STRUCTURE - FENCE - SOUTH EAST ELEVATION**



**2 RETAINED STRUCTURE - FENCE - SOUTH WEST ELEVATION**

**BOUNDARY FENCE GENERAL NOTES:**

- ALL RETAINED BRICK FENCES TO BE RESTORED
- REPLACE BROKEN OR MISSING BRICKS WITH IDENTICAL BRICKS
- REMOVE RUSTED STEEL ELEMENTS
- CLEAN ALL RETAINED WALLS AND REMOVE VEGETATION AND ACCRETIONS
- REPOINT AS NECESSARY
- ALL SANDSTONE CAPPING TO BE CLEANED. WHERE BROKEN OR SIGNIFICANTLY CHIPPED REFER TO NOMINATED HERITAGE ARCHITECT FOR INSTRUCTION

**DEMOLITION GRAPHIC KEY:**

UNLESS OTHERWISE NOTED ALL FABRIC IS TO BE RETAINED

AREA TO BE PROTECTED

AREA TO BE DEMOLISHED

OUTLINE OF DEMOLISHED

OUTLINE OF PROTECTED

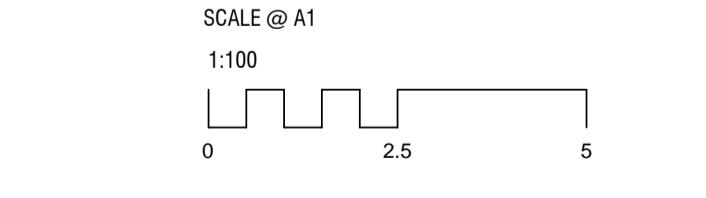
EL EXCAVATION LEVEL (STRUCTURAL ENGINEER TO CONFIRM)

RL RELATIVE LEVEL

SSL SLAB LEVEL (TO FUTURE PLAN SETOUT)

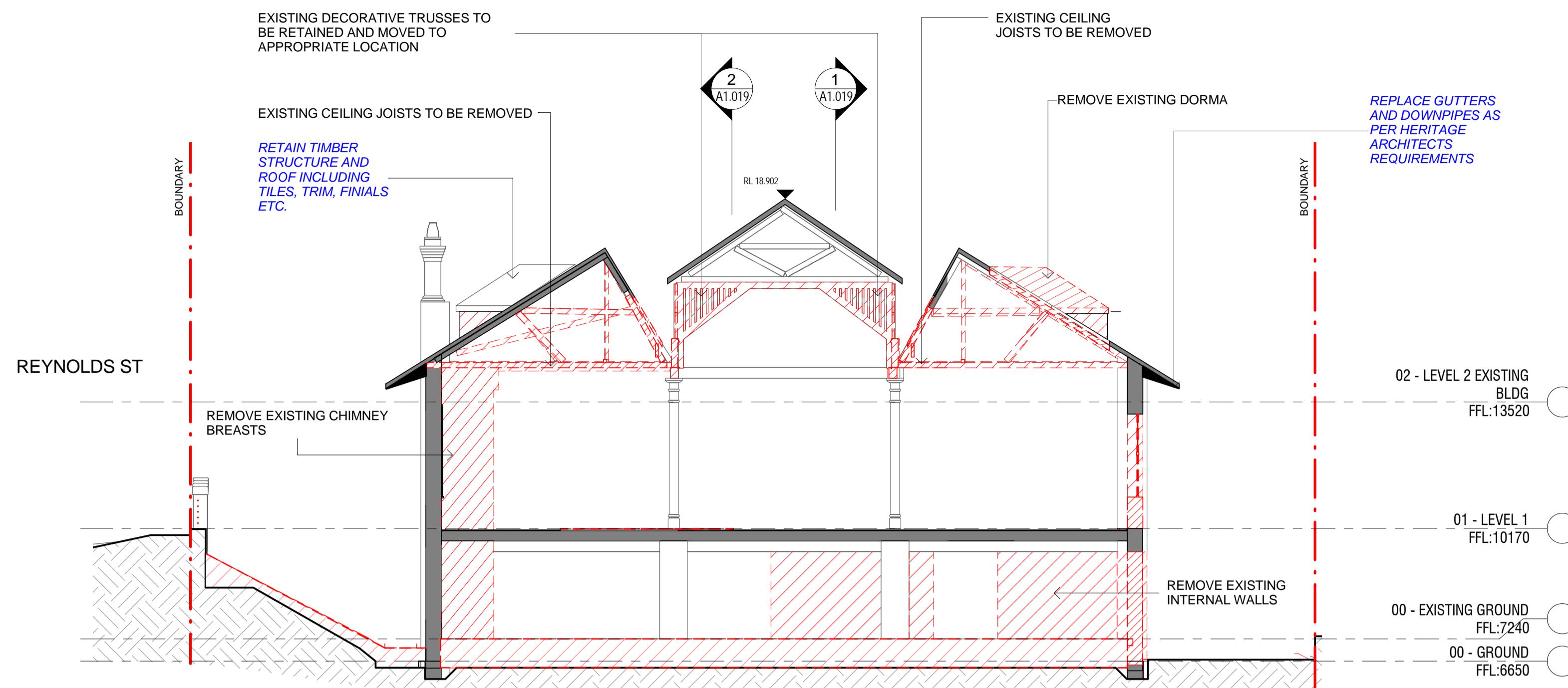
CBL CAPPING BEAM LEVEL (STRUCTURAL ENGINEER TO CONFIRM)

FGL FINISHED GROUND LEVEL

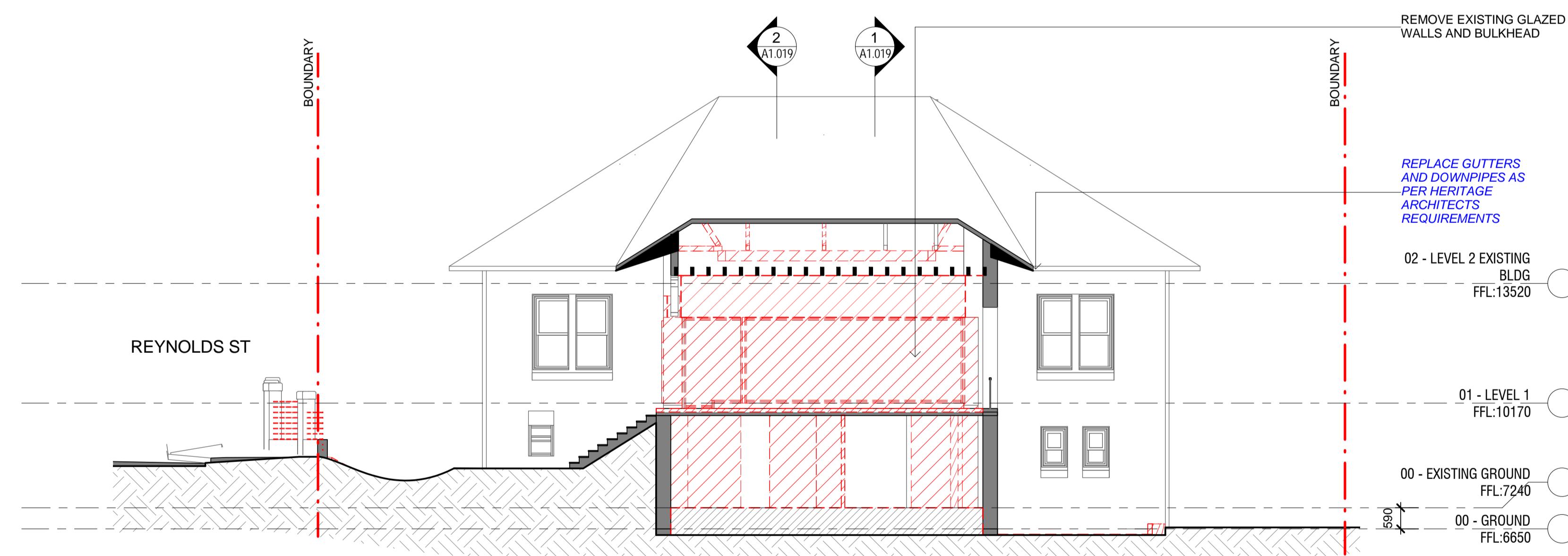


Drawn Author	Checked CS	Date JUN 2015	Scale 1:100 @ A1
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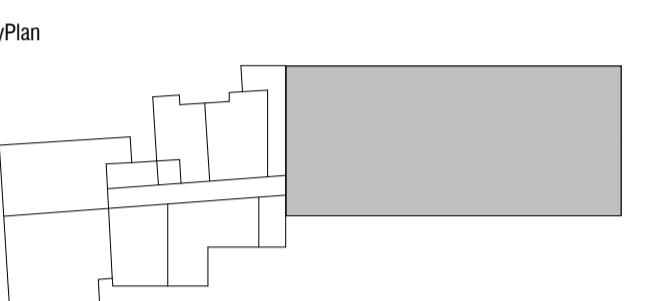
**1 RETAINED STRUCTURE - EAST SECTION**  
A1.011 1 : 100



**2 RETAINED STRUCTURE - WEST SECTION**  
A0.013 1 : 100

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DEMOLITION GRAPHIC KEY:	
UNLESS OTHERWISE NOTED ALL FABRIC IS TO BE RETAINED	
	AREA TO BE PROTECTED
	AREA TO BE DEMOLISHED
	OUTLINE OF DEMOLISHED
	OUTLINE OF PROTECTED
	EL EXCAVATION LEVEL (STRUCTURAL ENGINEER TO CONFIRM)
	RL RELATIVE LEVEL
	SSL SLAB LEVEL (TO FUTURE PLAN SETOUT)
	CBL CAPPING BEAM LEVEL (STRUCTURAL ENGINEER TO CONFIRM)
	FGL FINISHED GROUND LEVEL



**Consultants**

DEVELOPMENT MANAGER	: PDS AUST
STRUCTURAL ENGINEER	: ERBAS
SERVICES ENGINEER	: DESIGN CONFIDENCE
BCA + ACCESS	: RENZO TONIN
ACOUSTIC	: RAPPOPORT HERITAGE
HERITAGE	: MCLAREN TRAFFIC ENGINEERING
TRAFFIC	: BRAHIM STORMWATER CONSULTANTS
CIVIL	: URBIS
LANDSCAPE	: URBIS
PCA	: CITY PLAN SERVICES

**Client**  
**WENTWORTH EQUITIES**

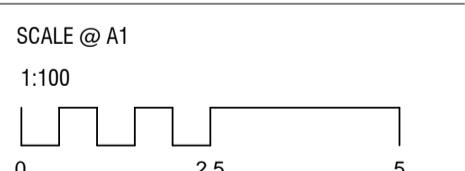


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**Project**  
**BALMAIN APARTMENTS**  
100-104 Reynolds St, Balmain

**Sheet Title**

**RETAINED STRUCTURE - SECTIONS**



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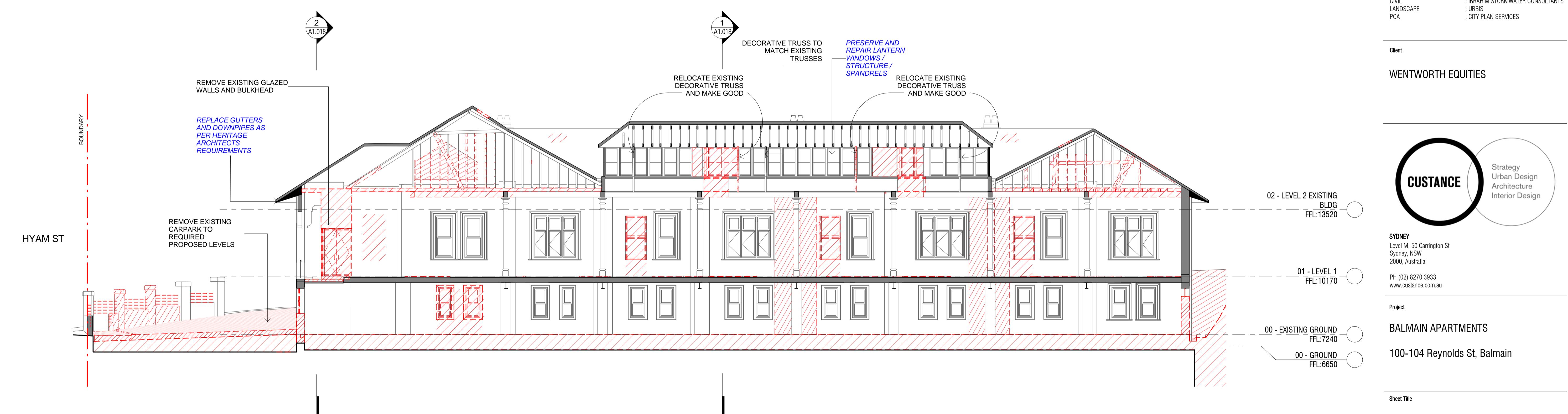
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Project No.	Sheet No.	Revision
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Project No. 3084 Sheet No. A1.018 Revision B



**1 RETAINED STRUCTURE - NORTH SECTION**  
A1.011 1 : 100



**2 RETAINED STRUCTURE - SOUTH SECTION**  
A1.011 1 : 100

DEMOLITION GRAPHIC KEY:	
UNLESS OTHERWISE NOTED ALL FABRIC IS TO BE RETAINED	
	AREA TO BE PROTECTED
	AREA TO BE DEMOLISHED
	OUTLINE OF DEMOLISHED
	OUTLINE OF PROTECTED
	EL EXCAVATION LEVEL (STRUCTURAL ENGINEER TO CONFIRM)
	RL RELATIVE LEVEL
	SSL SLAB LEVEL (TO FUTURE PLAN SETOUT)
	CBL CAPPING BEAM LEVEL (STRUCTURAL ENGINEER TO CONFIRM)
	FGL FINISHED GROUND LEVEL

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Revision	Description	Date
A	TENDER ISSUE	22/05/2015
B	100% TENDER	24/06/2015

Date  
22/05/2015  
24/06/2015

Consultants
DEVELOPMENT MANAGER : PDS AUST
STRUCTURAL ENGINEER : ERBAS
SERVICES ENGINEER : DESIGN CONFIDENCE
BCA + ACCESS : RENZO TONIN
ACOUSTIC : RAPPOPORT HERITAGE
HERITAGE : MCLAREN TRAFFIC ENGINEERING
TRAFFIC : IBRAHIM STORMWATER CONSULTANTS
CIVIL : URBIS
LANDSCAPE : CITY PLAN SERVICES

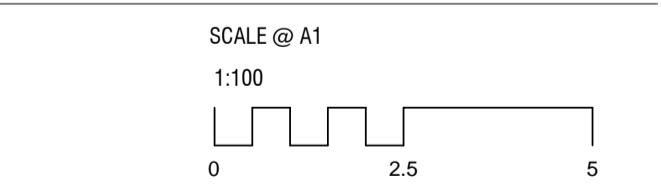
Client  
WENTWORTH EQUITIES



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Project  
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100-104 Reynolds St, Balmain

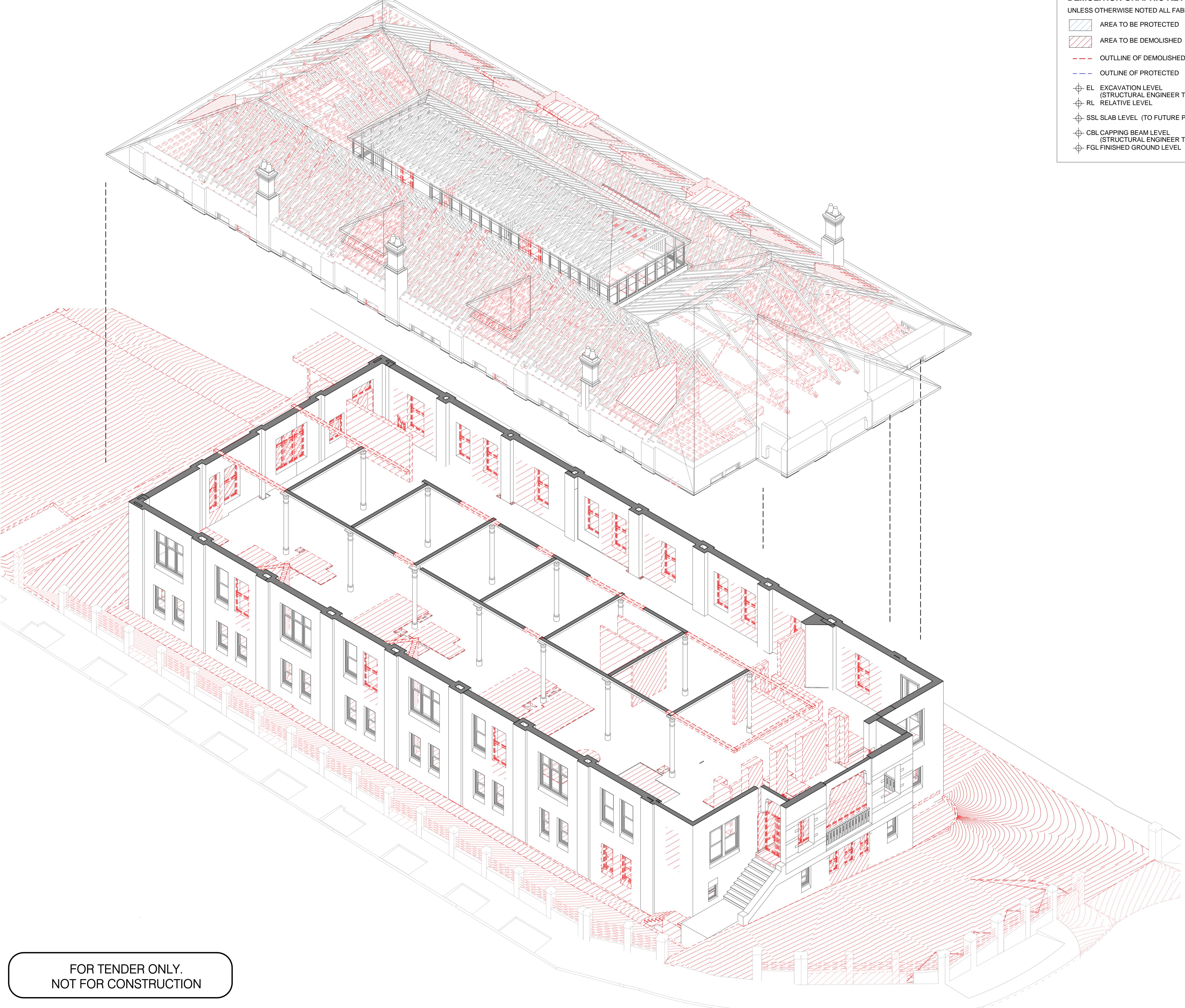
Sheet Title  
RETAINED STRUCTURE - SECTIONS



Drawn Author	Checked CS	Date JUN 2015	Scale 1:100 @ A1
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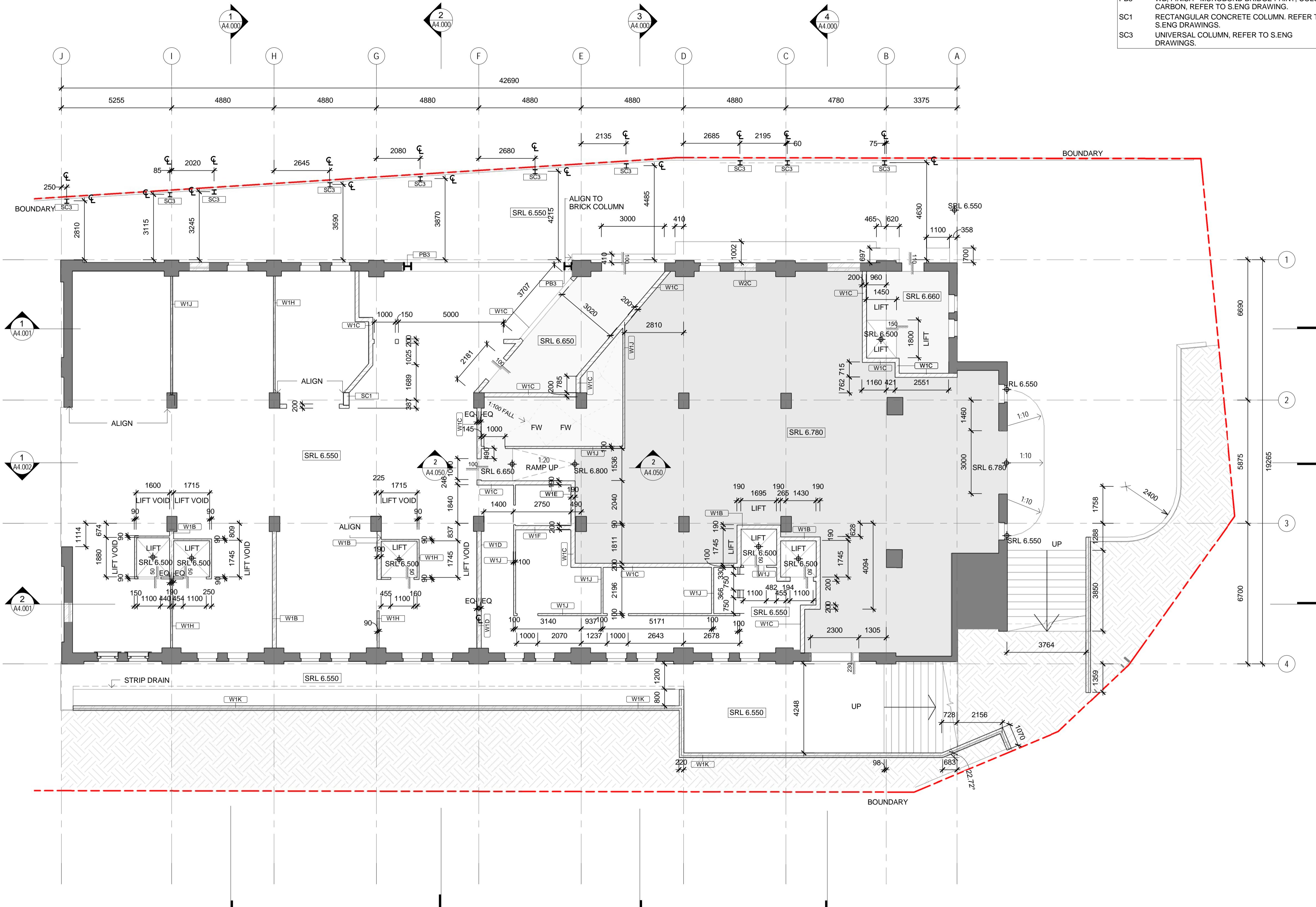
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Project No. 3084	Sheet No.	Revision B
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Revision	Description	Date
A	TENDER ISSUE	22/05/2015
B	100% TENDER	24/06/2015

EOB CONTINUATION BEEFB TO DRAWING A1 121





# STRUCTURAL SETOUT PLAN - GROUND

A1.021 1 : 100

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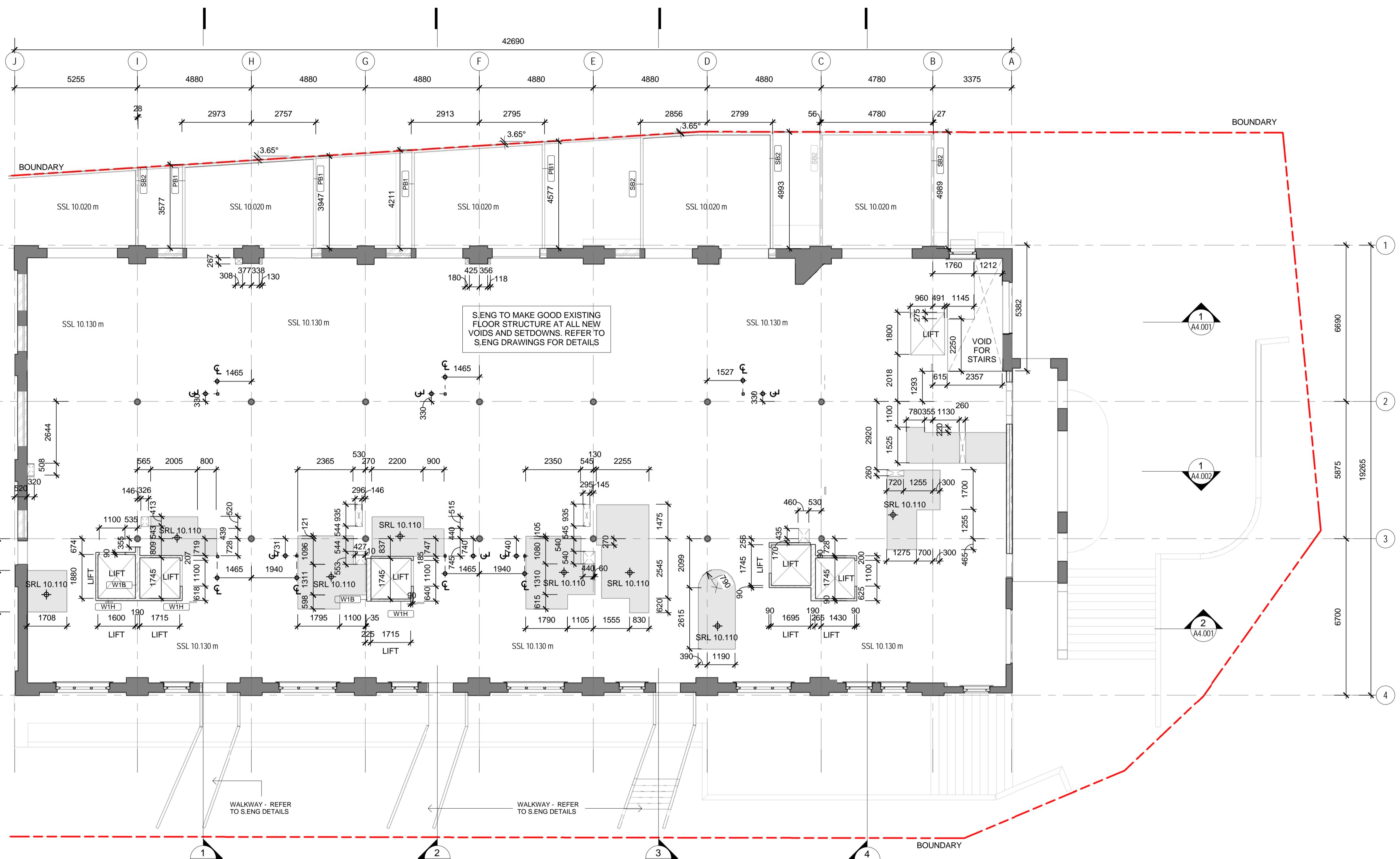
KEYNOTE SCHEDULE	
PB3	WB, FINISH - MUROBOND BRIDGE PAINT, COLOR - CARBON, REFER TO S.ENG DRAWING.
SC1	RECTANGULAR CONCRETE COLUMN. REFER TO S.ENG DRAWINGS.
SC3	UNIVERSAL COLUMN, REFER TO S.ENG DRAWINGS.

vision	Description	Date
	TENDER ISSUE	22/05/2015
	100% TENDER	24/06/2015

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Project No. Sheet No. Revision  
084 A1.021 B

**FOR CONTINUATION, REFER TO DRAWING A1.122**



KEYNOTE SCHEDULE	
PB1	PFC, FINISH - MUROBOND BRIDGE PAINT, COLOR - CARBON, REFER TO S.ENG DRAWING.
SB2	UNEQUAL ANGLE, FINISH - MUROBOND BRIDGE PAINT, COLOR - CARBON, REFER TO S.ENG DRAWING.

Revision	Description	Date
A	TENDER ISSUE	22/05/2015
B	100% TENDER	24/06/2015

KeyPlan

Consultants

DEVELOPMENT MANAGER	: PDS AUST
STRUCTURAL ENGINEER	: ERBAS
SERVICES ENGINEER	: DESIGN CONFIDENCE
BCA + ACCESS	: RENZO TONIN
ACOUSTIC	: RAPPORT HERITAGE
HERITAGE	: McLAREN TRAFFIC ENGINEERING
TRAFFIC	: BRAHIM STORMWATER CONSULTANTS
CIVIL	: URBIS
LANDSCAPE	: CITY PLAN SERVICES
PCA	

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Project

BALMAIN APARTMENTS  
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Sheet Title

STRUCTURAL SETOUT PLAN - LEVEL 1

NORTH

SCALE @ A1  
1:100

Drawn Author CS Checked Date JUN 2015 Scale 1:100 @ A1

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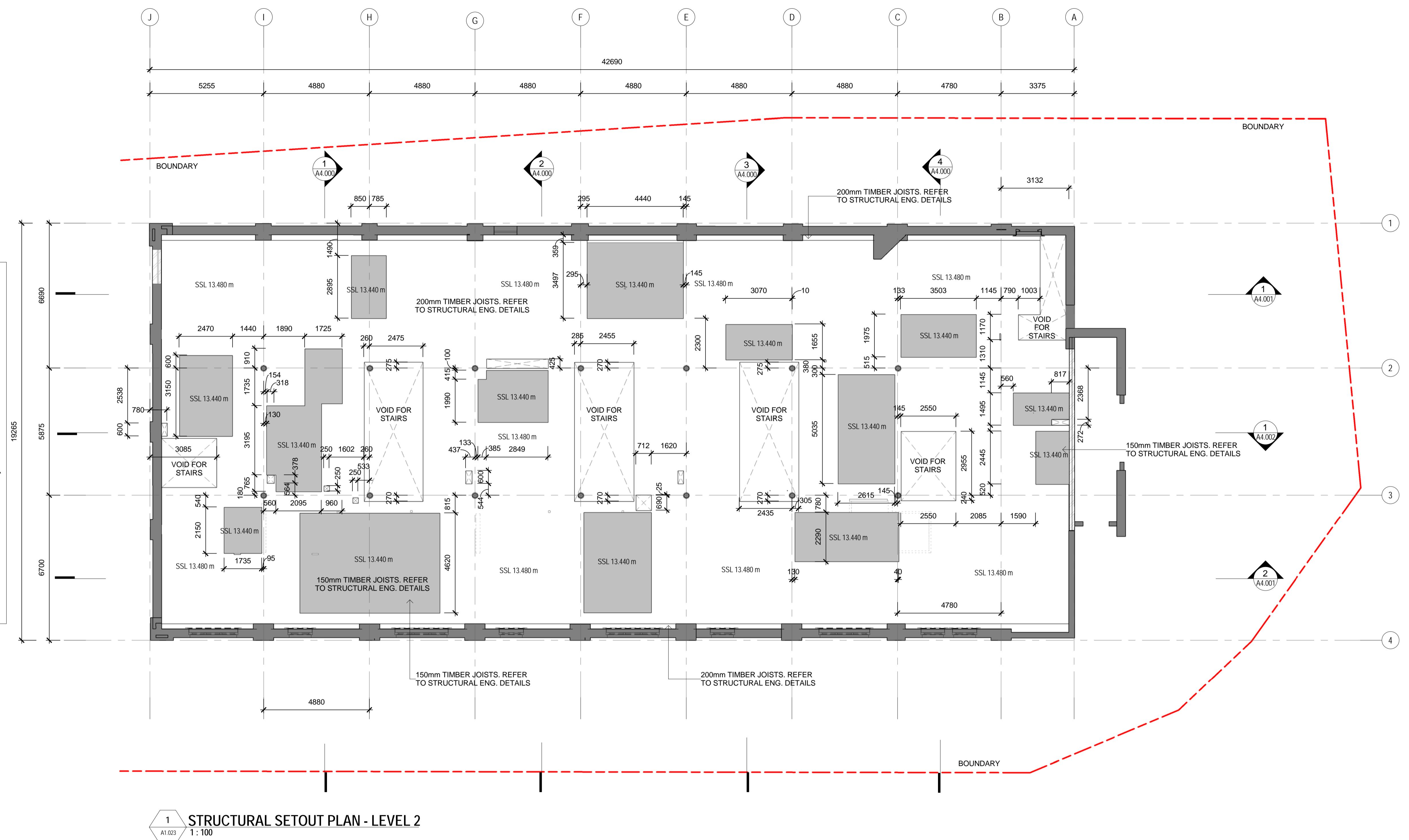
Project No. 3084 Sheet No. A1.022 Revision B

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KEYNOTE SCHEDULE	
J1	200mm TIMBER JOISTS. REFER TO STRUCTURAL ENG. DETAILS
J2	150mm TIMBER JOISTS. REFER TO STRUCTURAL ENG. DETAILS

Revision	Description	Date
A	TENDER ISSUE	22/05/2015
B	100% TENDER	24/06/2015

FOR CONTINUATION, REFER TO DRAWING A1.123



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Project No. 3084 Sheet No. A1.023 Revision B

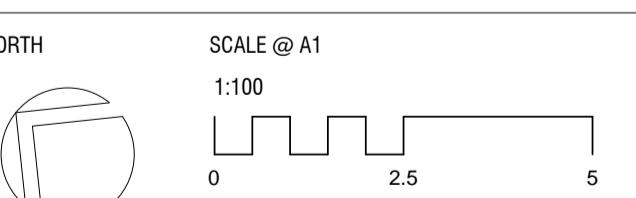
Consultants  
DEVELOPMENT MANAGER : PDS AUST  
STRUCTURAL ENGINEER : ERBAS  
SERVICES ENGINEER : DESIGN CONFIDENCE  
BCA + ACCESS : RENZO TONIN  
ACOUSTIC : RAPPOPORT HERITAGE  
HERITAGE : McLaren TRAFFIC ENGINEERING  
TRAFFIC : IBRAHIM STORMWATER CONSULTANTS  
CIVIL : URBIS  
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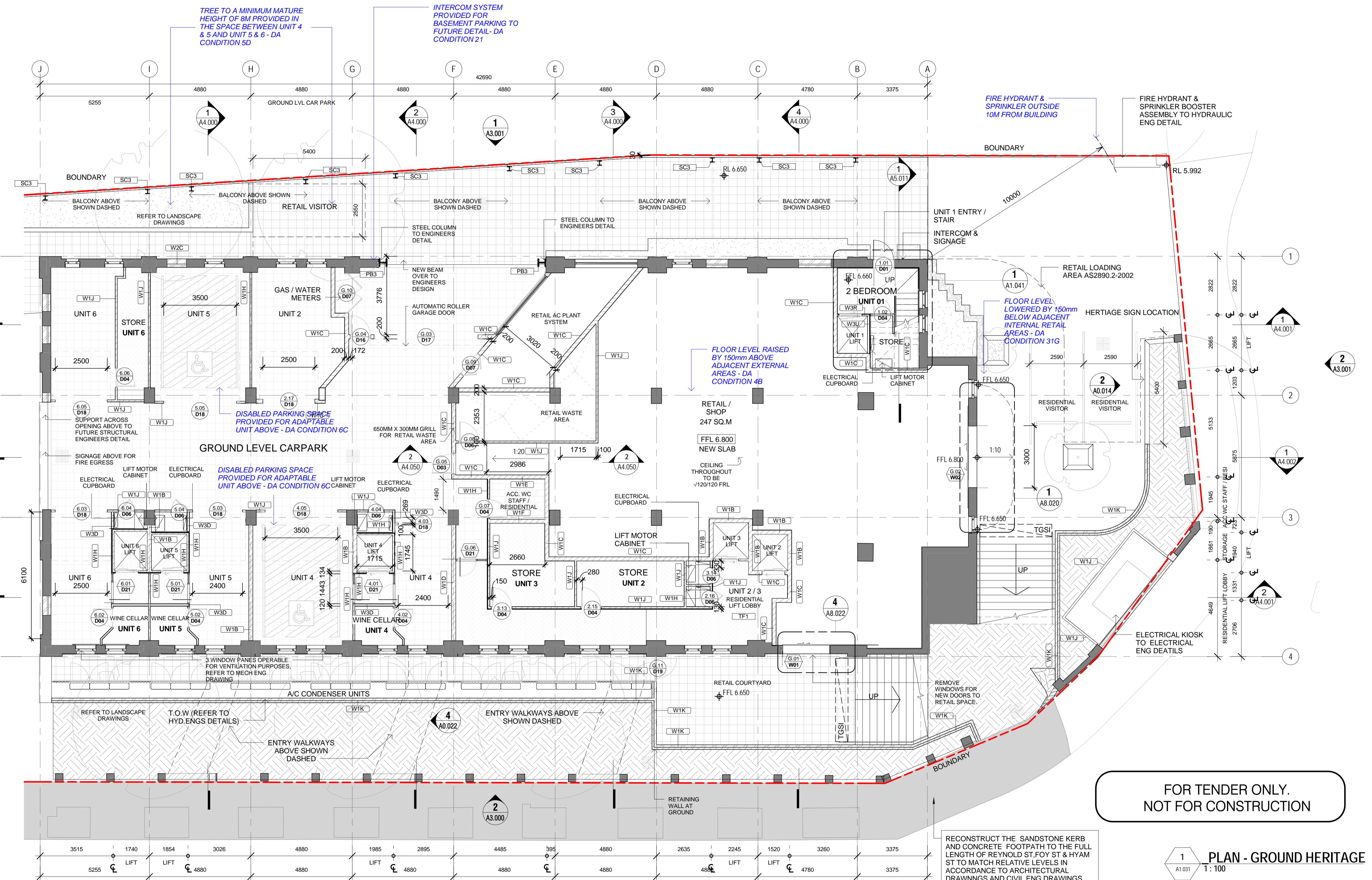
Project  
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Sheet Title  
STRUCTURAL SETOUT PLAN - LEVEL 2



Drawn Author CS Checked Date JUN 2015 Scale 1:100 @ A1

**FOR CONTINUATION, REFER TO DRAWING A1.131**



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**RECONSTRUCT THE SANDSTONE KERB AND CONCRETE FOOTPATH TO THE FULL LENGTH OF REYNOLD ST, FOY ST & HYAM ST TO MATCH RELATIVE LEVELS IN ACCORDANCE TO ARCHITECTURAL DRAWNNGS AND CIVIL ENG DRAWINGS.**

 PLAN - GROUND HERITAGE  
A1.031 1 : 100

Revision	Description	Date
	TENDER ISSUE	22/05/2015
	100% TENDER	24/06/2015

The diagram consists of several white rectangular blocks arranged in a stepped, staircase-like pattern. The blocks are outlined in black. To the right of this pattern is a large, solid gray rectangle. The entire diagram is set against a white background.

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STRUCTURAL ENGINEER	: PDS AUST
SERVICES ENGINEER	: ERBAS
CA + ACCESS	: DESIGN CONFIDENCE
COUSTIC	: RENZO TONIN
HERITAGE	: RAPPOPORT HERITAGE
TRAFFIC	: McLAREN TRAFFIC ENGINEERING
VIL	: IBRAHIM STORMWATER CONSULTANTS
ANDSCAPE	: URBIS
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# ALMAIN APARTMENTS

### **Sheet Title**

## **GENERAL SETOUT - GROUND**

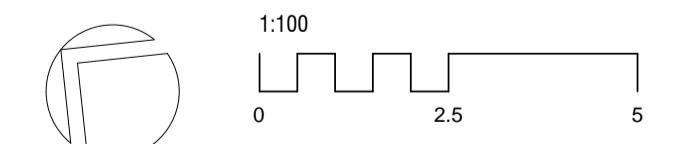
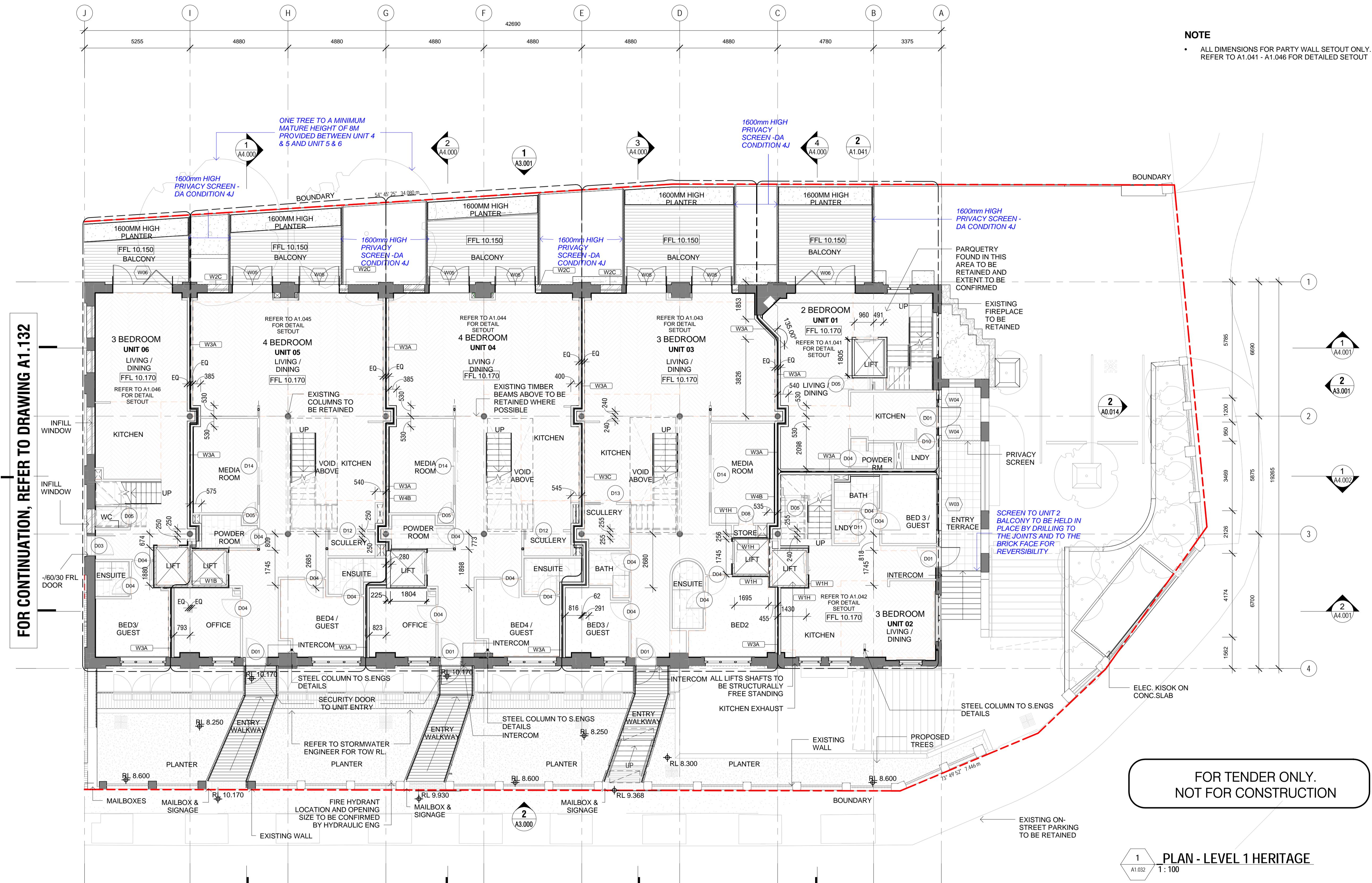
SCALE @ A1

A graph showing a square wave signal. The x-axis is labeled with values 0, 2.5, and 5. The y-axis has two levels: a lower level and a higher level. The signal starts at the lower level, rises to the higher level at  $x=0$ , stays at the higher level until  $x=2.5$ , and then drops back to the lower level. This pattern repeats.

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Object No. Sheet No. Revision  
084 A1.031 B

WALL TYPES		
35.A5 52.A1	STEEL COLUMN TO S.ENG'S DETAILS INTERCOM	Revision A B Description TENDER ISSUE 100% TENDER
		Date 22/05/2015 24/06/2015

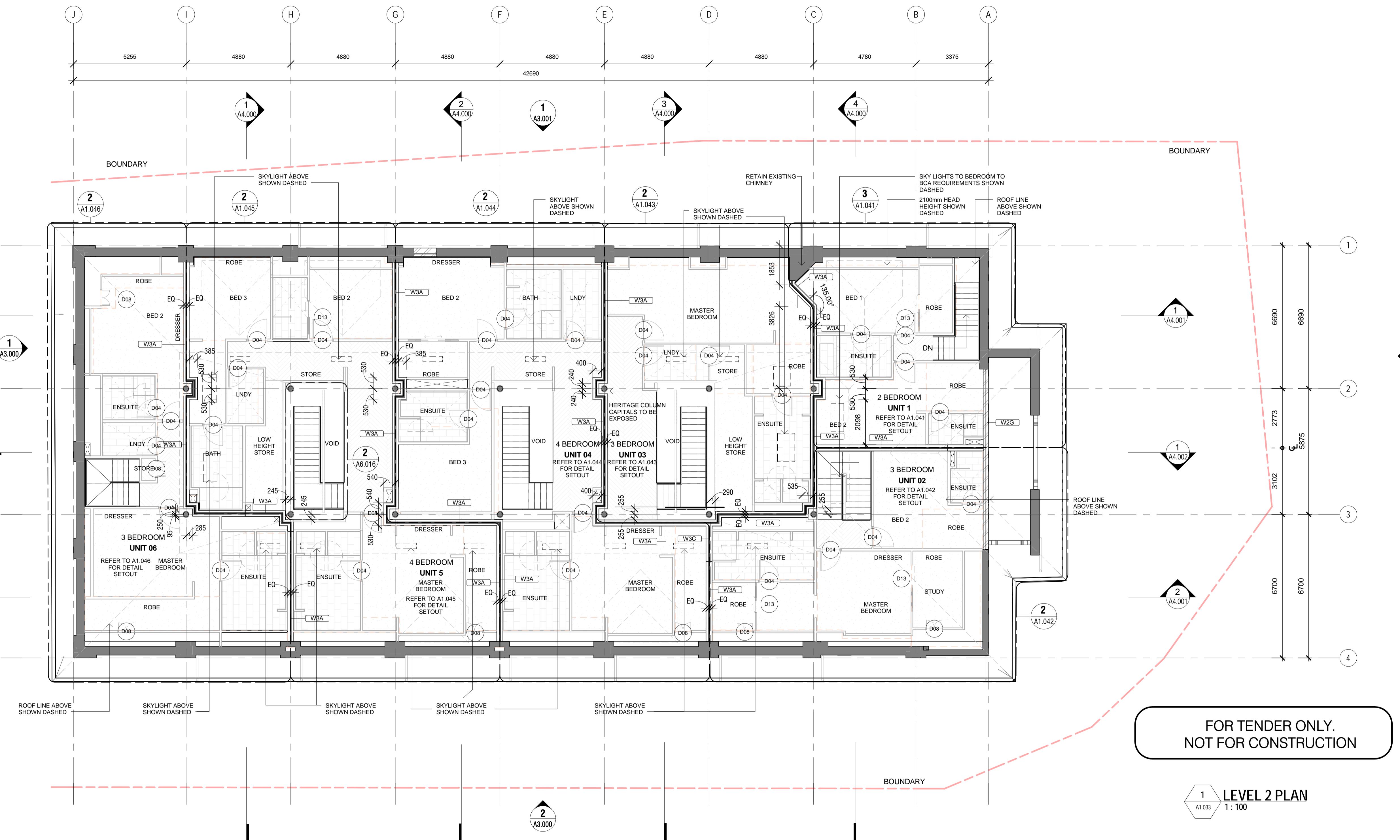


Drawn Author CS Checked Date JUN 2015 Scale As indicated @ A1

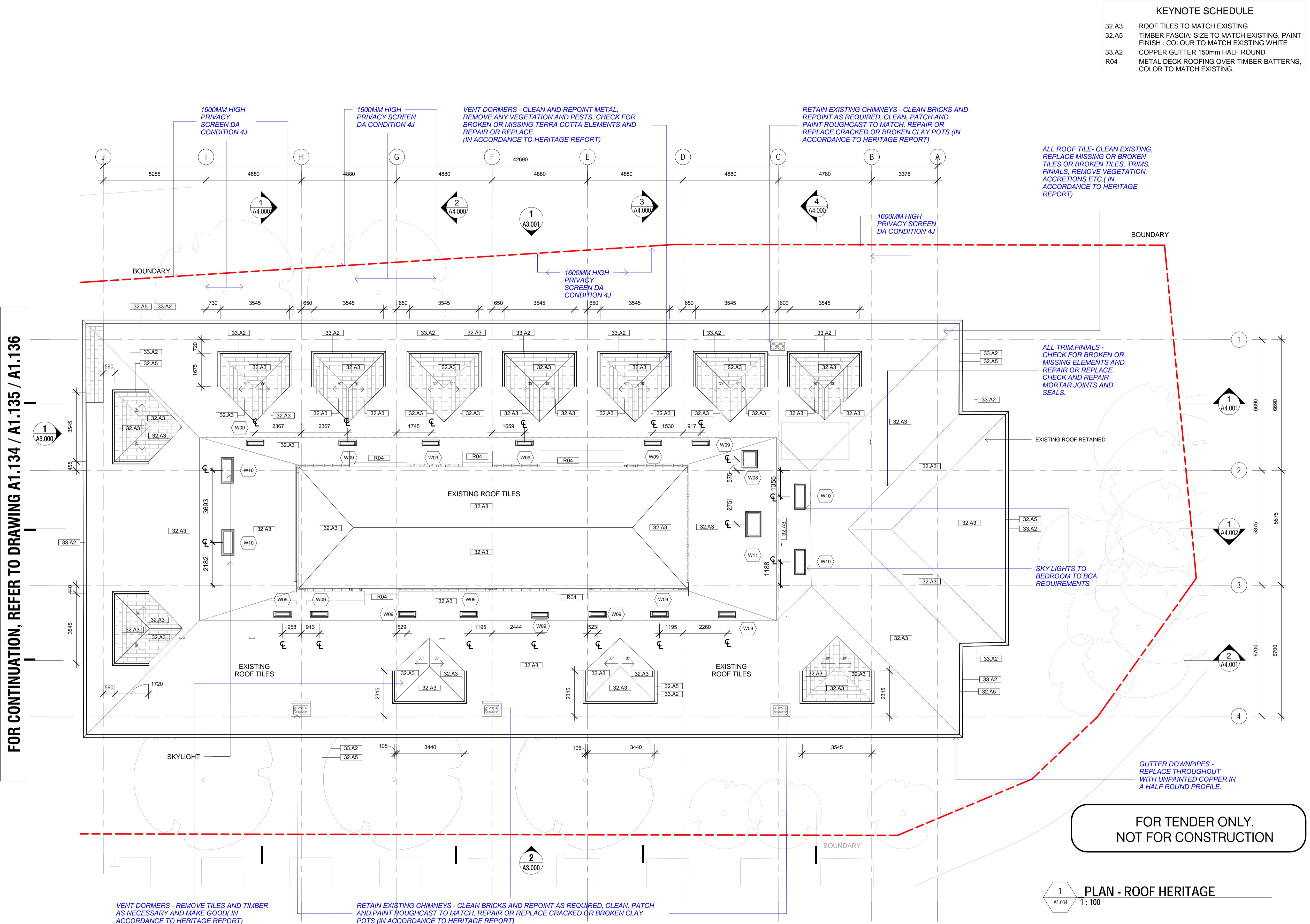
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Project No. 3084 Sheet No. A1.032 Revision B

**FOR CONTINUATION, REFER TO DRAWING A1.133**



**FOR CONTINUATION, REFER TO DRAWING A1.134 / A1.135 / A1.136**



KEYNOTE SCHEDULE	
32.A3	ROOF TILES TO MATCH EXISTING
32.A5	TIMBER FASCIA: SIZE TO MATCH EXISTING, PAINT FINISH : COLOUR TO MATCH EXISTING WHITE
33.A2	COPPER GUTTER 150mm HALF ROUND
R04	METAL DECK ROOFING OVER TIMBER BATTERNS, COLOR TO MATCH EXISTING.

Revision	Description	Date
	TENDER ISSUE	22/05/2015
	100% TENDER	24/06/2015

The image shows a graphic design element consisting of two main parts. On the left, there is a white staircase-like structure with several steps of varying heights. This structure is connected by a horizontal line to a larger, solid gray rectangle on the right. The gray rectangle is rectangular and has a slight shadow at its bottom edge, suggesting it is a separate element from the staircase.

CONSULTANTS	
DEVELOPMENT MANAGER	: PDS AUST
STRUCTURAL ENGINEER	: PDS AUST
SERVICES ENGINEER	: ERBAS
CA + ACCESS	: DESIGN CONFIDENCE
ACOUSTIC	: RENZO TONIN
HERITAGE	: RAPPOPORT HERITAGE
TRAFFIC	: McLAREN TRAFFIC ENGINEERING
VIL	: IBRAHIM STORMWATER CONSULTANTS
LANDSCAPE	: URBIS
CA	: CITY PLAN SERVICES

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object

# ALMAIN APARTMENTS

---

**Meet Title**

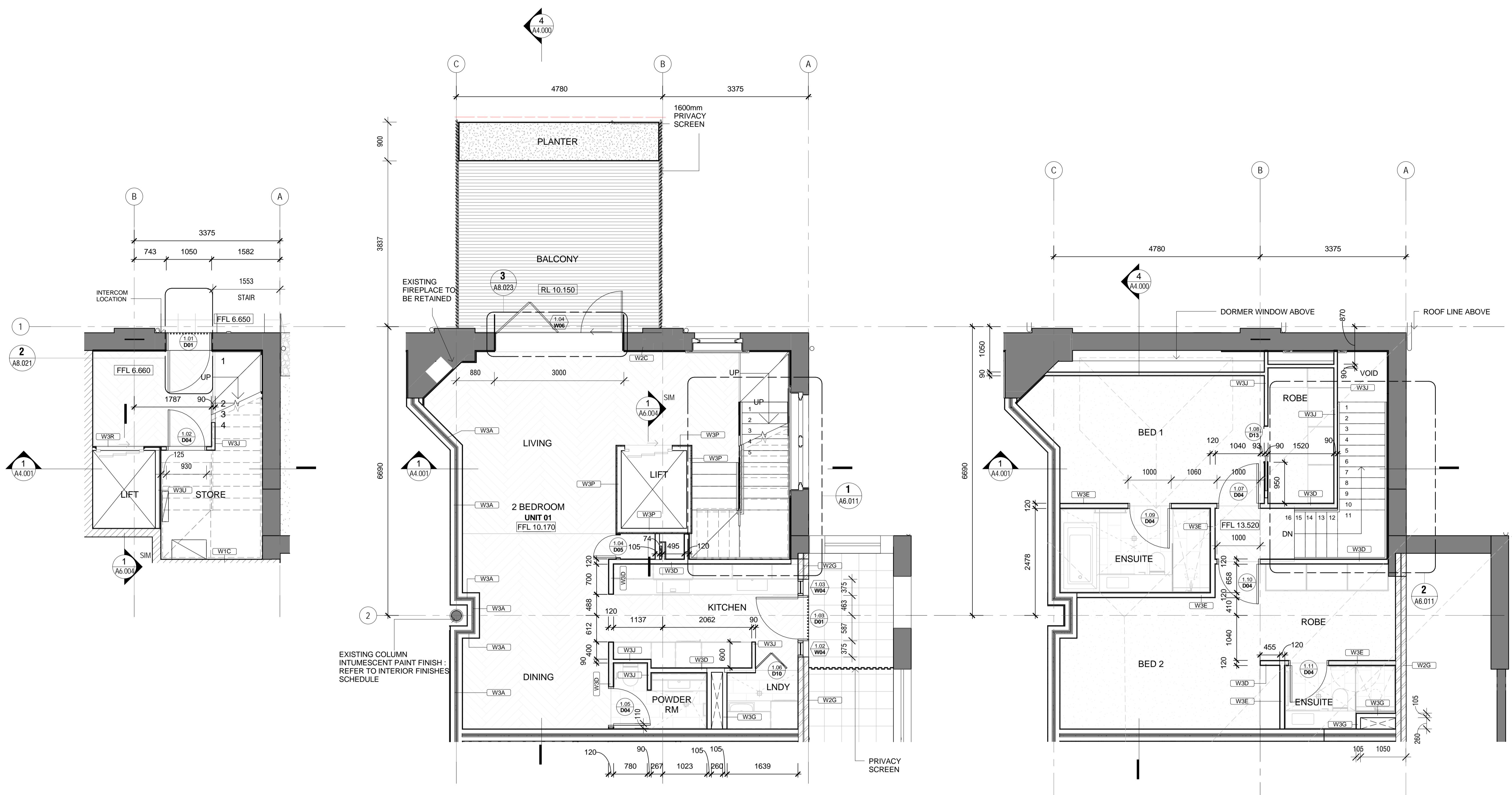
## GENERAL SETOUT - ROOF

ORTH  
SCALE @ A1  
1:100  
  
0                  2.5                  5

Author	Checked	Date	Scale
	CS	JUN 2015	1 : 100 @ A1

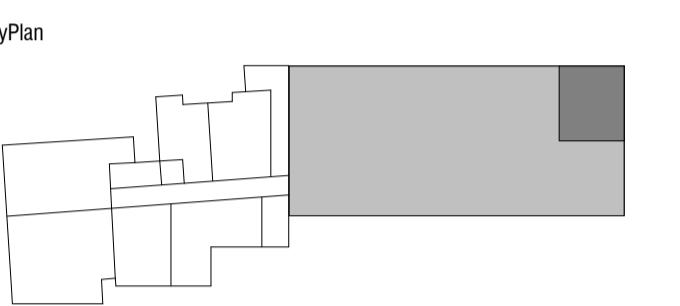
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Object No. Sheet No. Revision  
084 A1.034 B



- NOTE:**
- ALL WET AREAS TO HAVE A FLOOR DRAIN GRADE OF 1:100
  - ALL SHOWER AREAS WITHIN THE WET AREAS TO HAVE A FLOOR DRAIN GRADE OF 1:80
  - REFER TO INTERIOR SET FOR FURTHER DETAIL.

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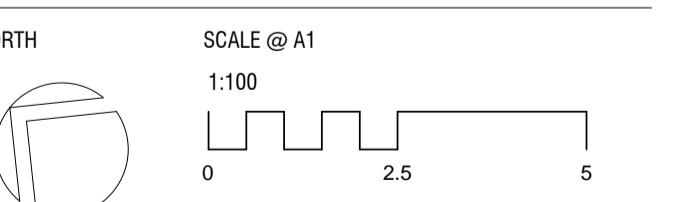
DEVELOPMENT MANAGER	: PDS AUST
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SERVICES ENGINEER	: DESIGN CONFIDENCE
BCA + ACCESS	: RENZO TONIN
ACOUSTIC	: RAPPORT HERITAGE
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PCA	

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**WENTWORTH EQUITIES**



**Project**  
**BALMAIN APARTMENTS**  
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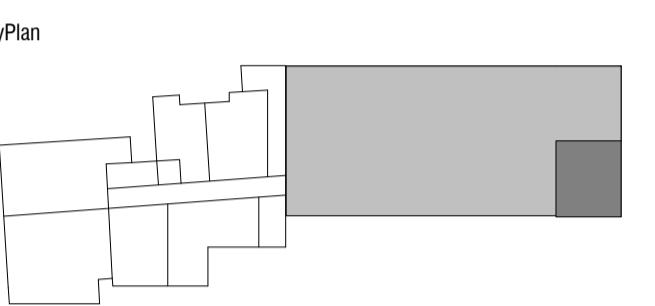
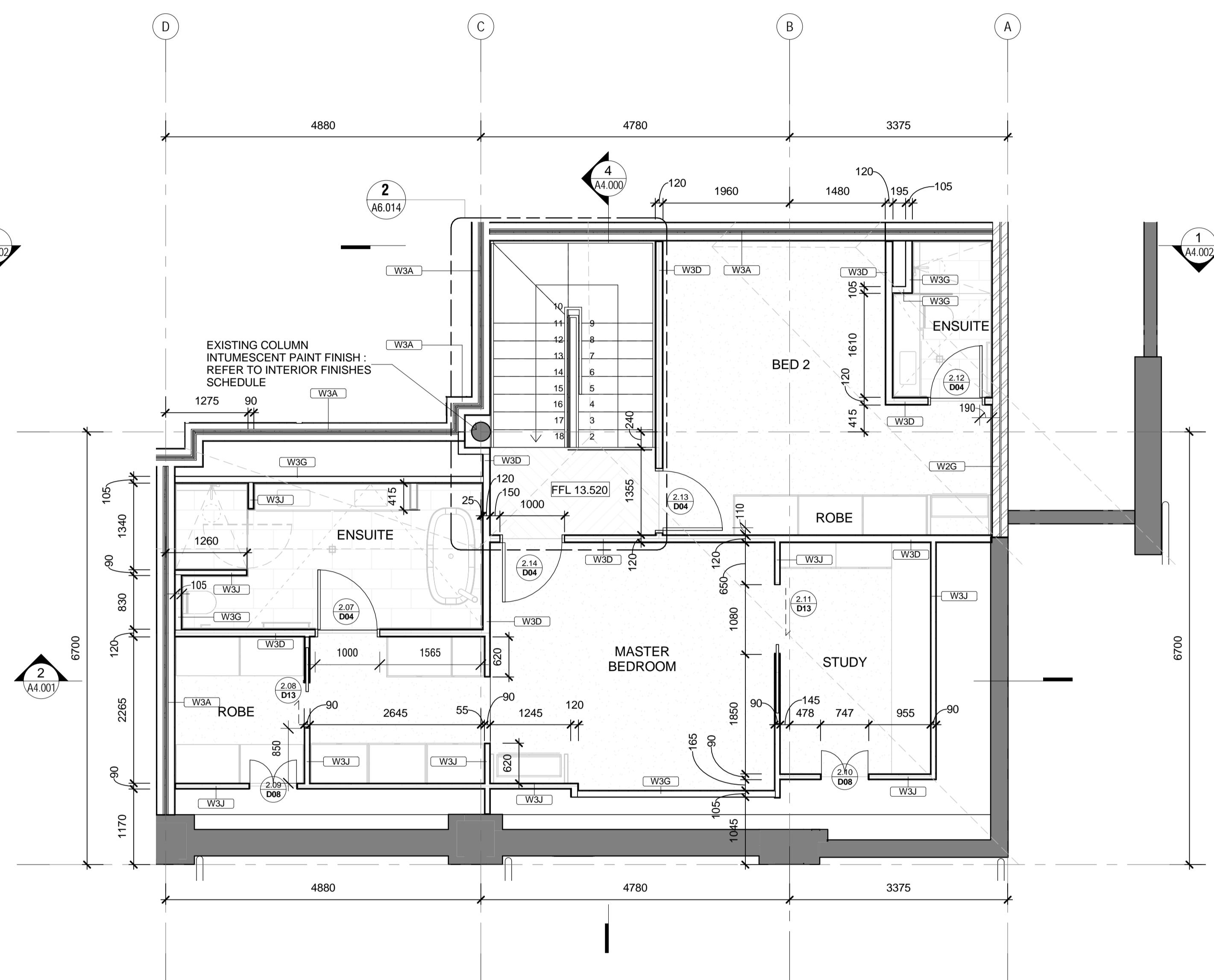
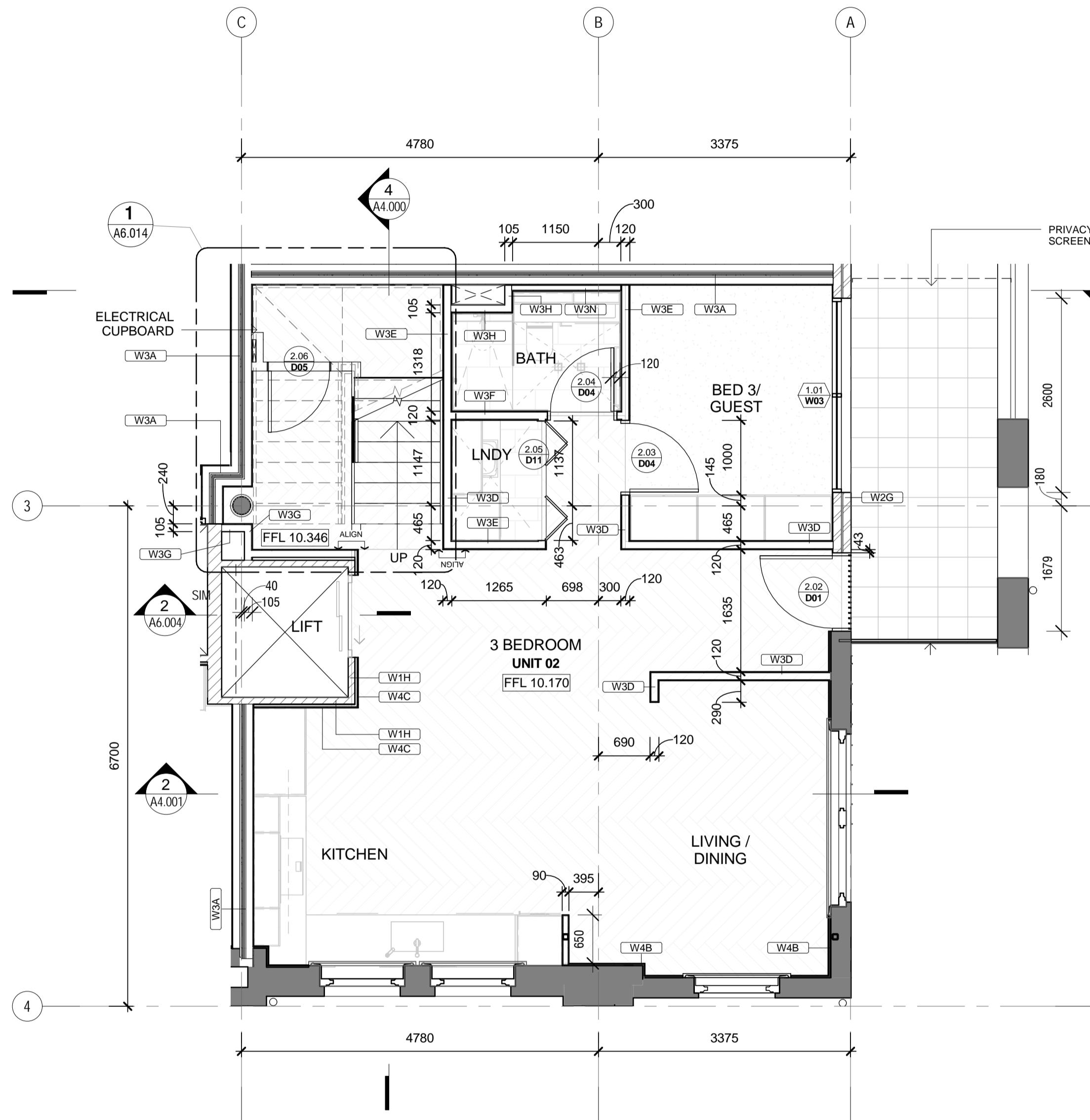
**Sheet Title**  
**UNIT SETOUT - UNIT 01 - LEVEL 1 & 2**



Drawn Author CS Checked Date JUN 2015 Scale As indicated @ A1

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Project No. 3084 Sheet No. A1.041 Revision B



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ACOUSTIC	: RAPPOPORT HERITAGE
HERITAGE	: McLaren TRAFFIC ENGINEERING
TRAFFIC	: BRAHIM STORMWATER CONSULTANTS
CIVIL	: URBIS
LANDSCAPE	: CITY PLAN SERVICES
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**Project**

BALMAIN APARTMENTS

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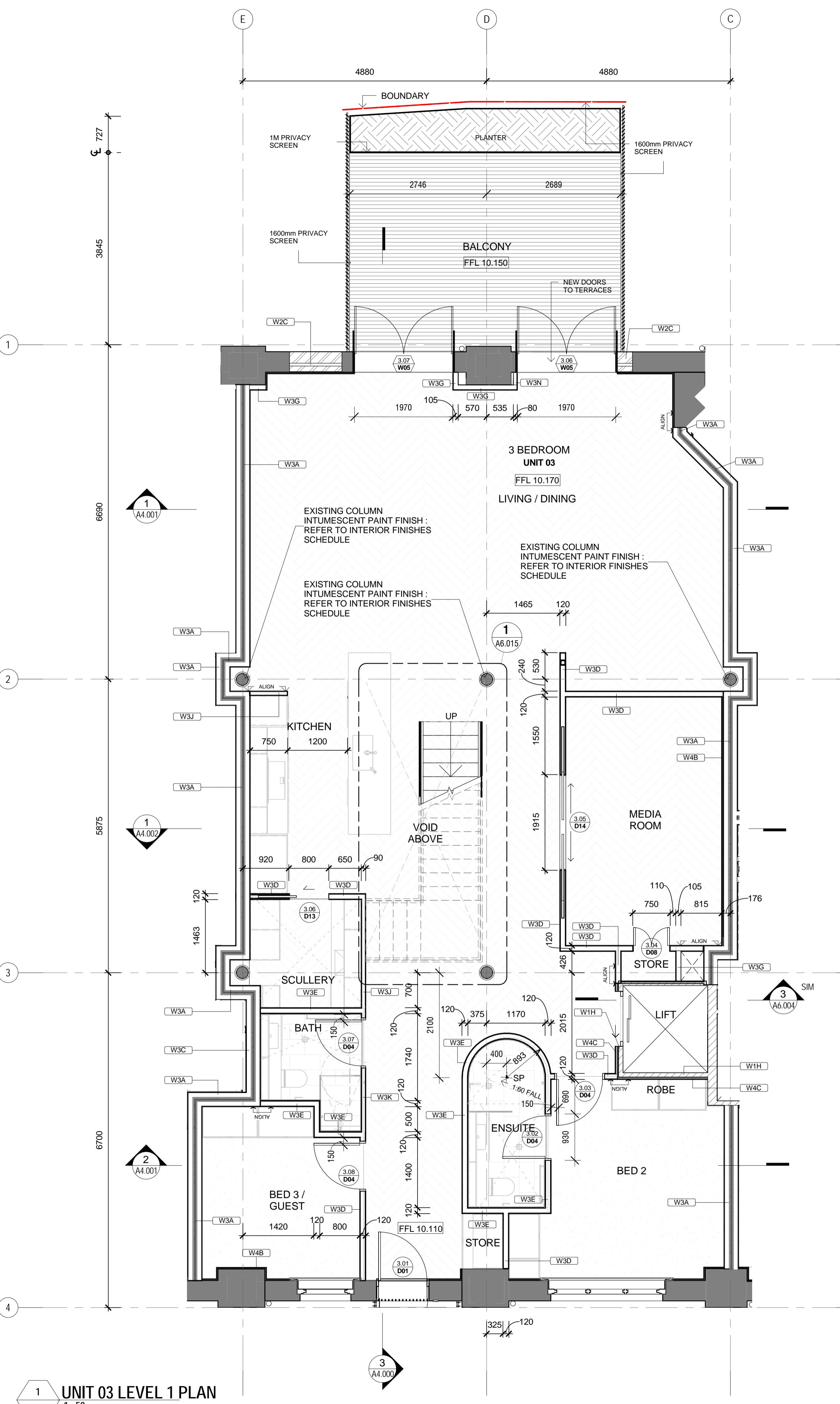
**Sheet Title**  
**UNIT SETOUT - UNIT 02 - LEVEL 1 & 2**

**NORTH**      **SCALE @ A1**  
1:50  
0 1.25 2.5

**Drawn Author**      **Checked**      **Date**      **Scale**  
CS      JUN 2015      As indicated @ A1

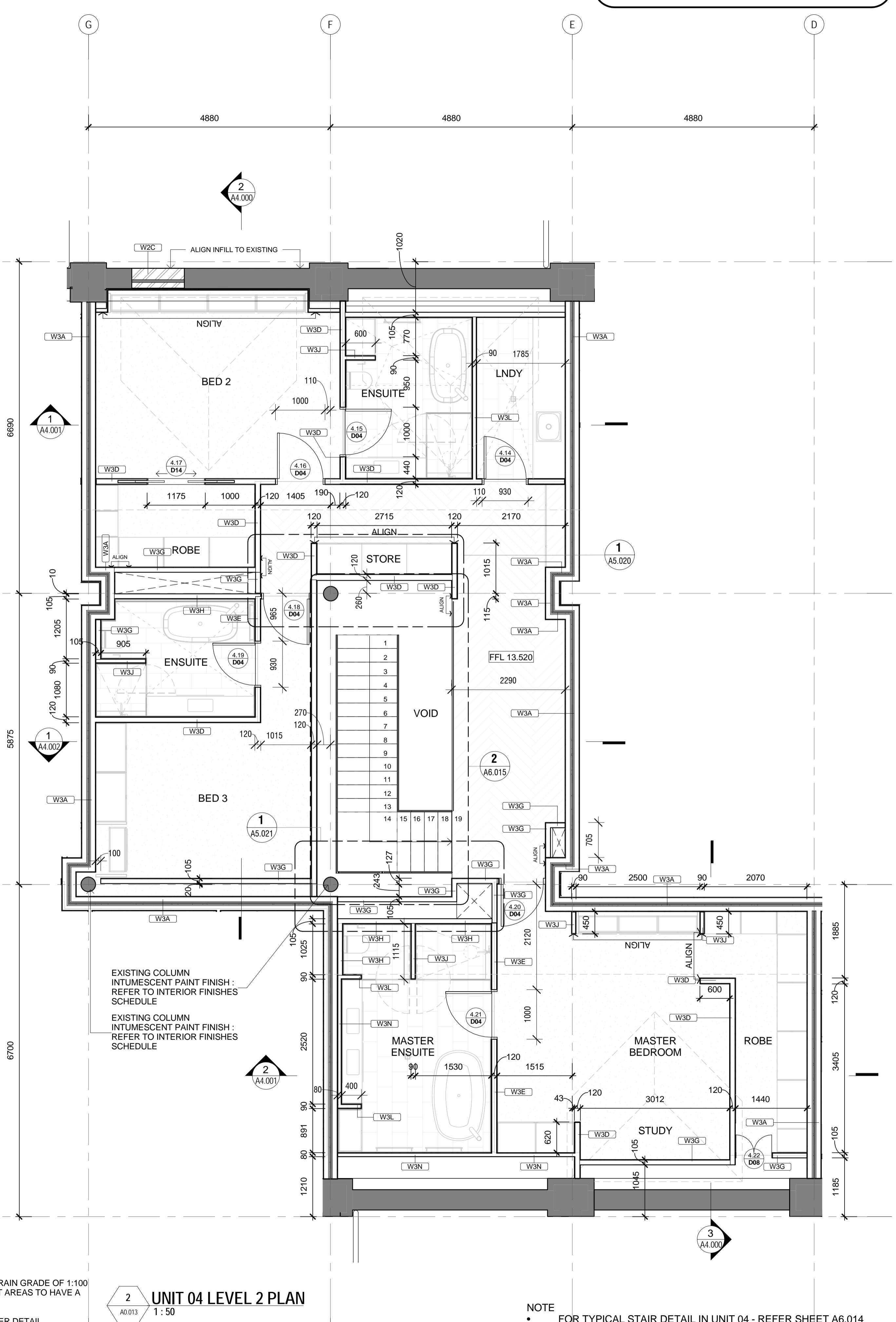
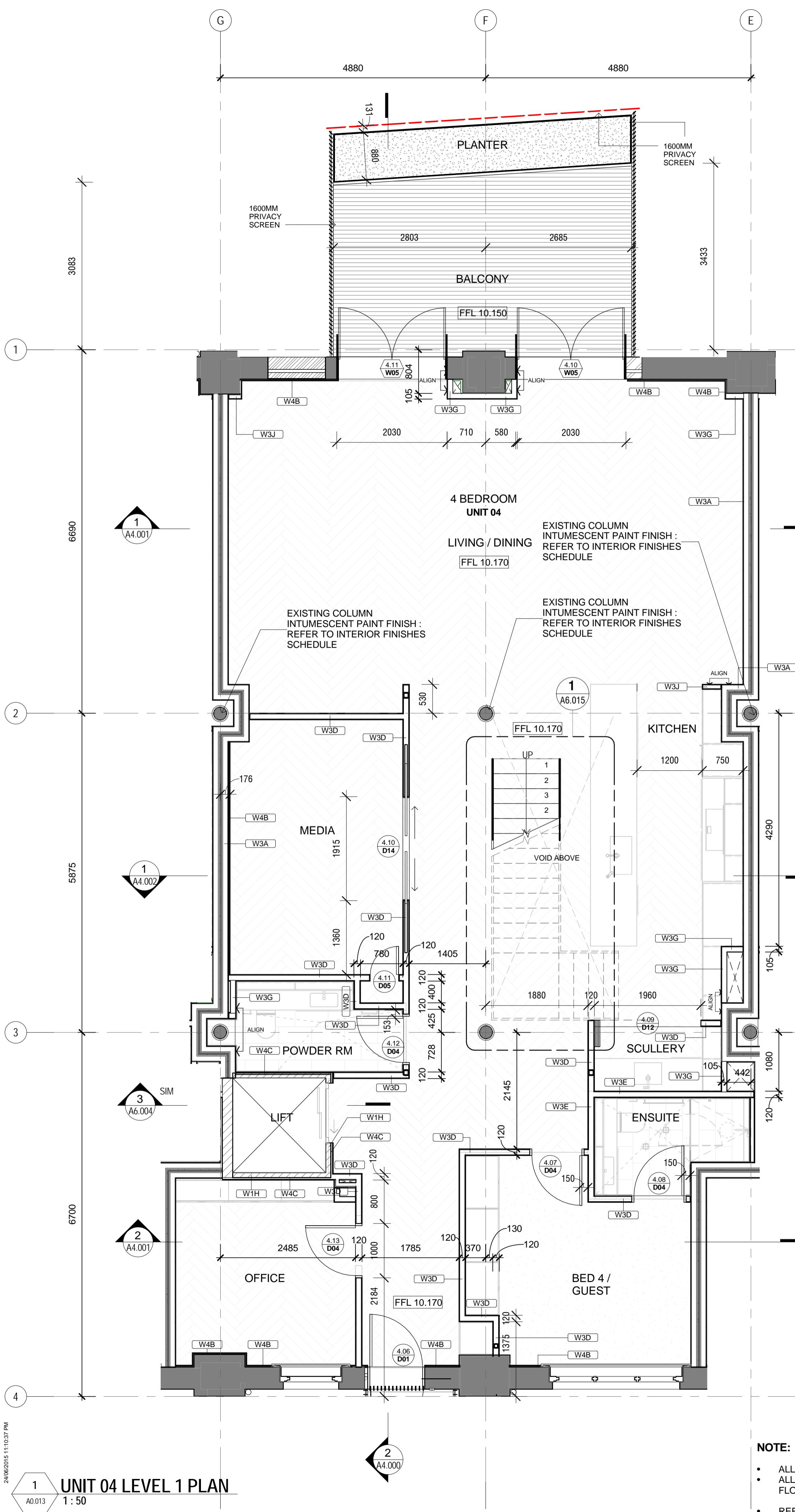
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Revision A Description TENDER ISSUE  
B 100% TENDER  
Date 22/05/2015  
24/06/2015



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Project No. 3084 Sheet No. 3084 Revision B



**SYDNEY**  
Level M, 50 Carrington St  
Sydney, NSW  
2000, Australia  
PH (02) 8270 3933  
www.custance.com.au

**BALMAIN APARTMENTS**  
100-104 Reynolds St, Balmain

**Sheet Title**  
**UNIT SETOUT - UNIT 04 - LEVEL 1 & 2**

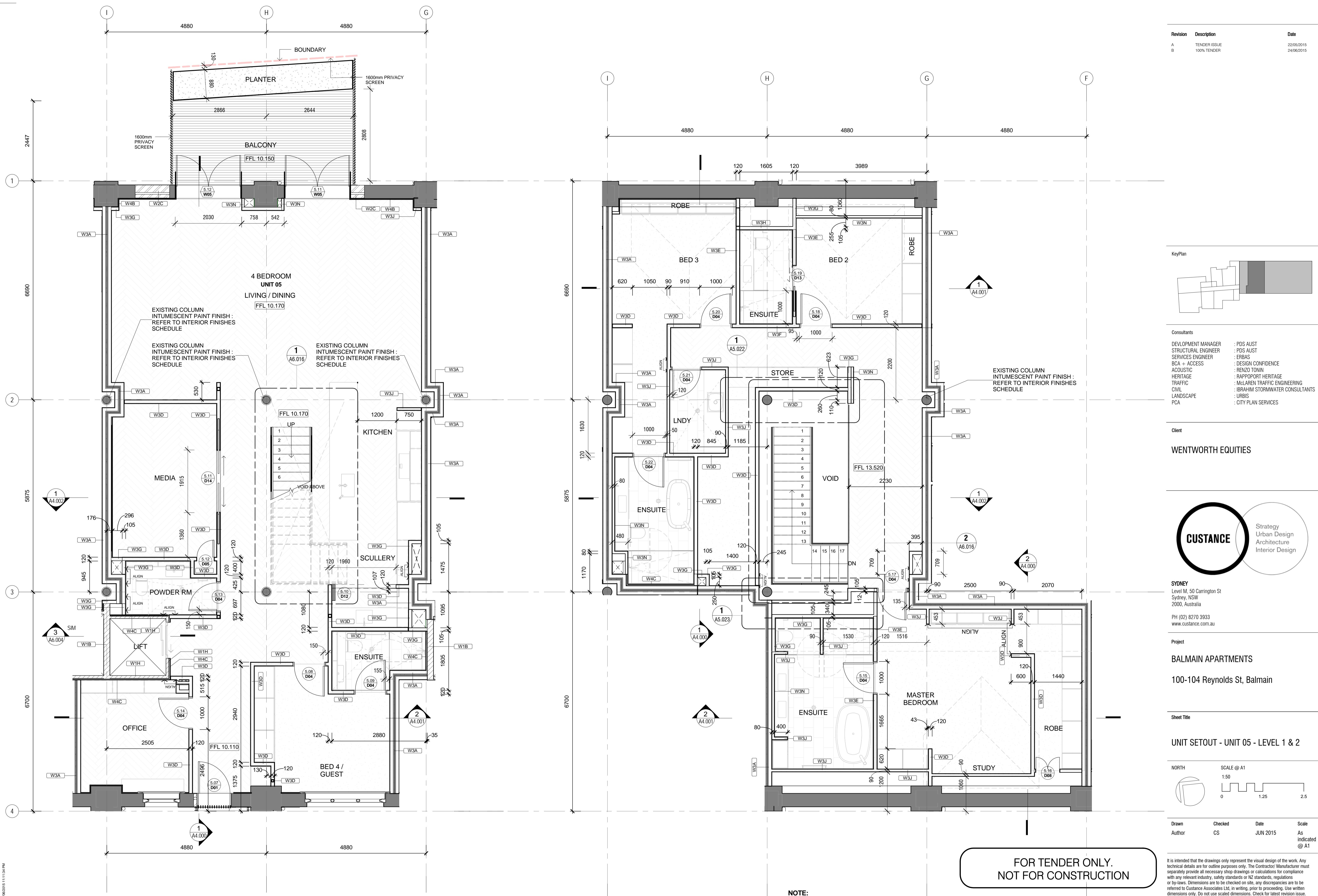
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1:50 0 1.25 2.5

Drawn Author CS Checked Date JUN 2015 Scale As indicated @ A1

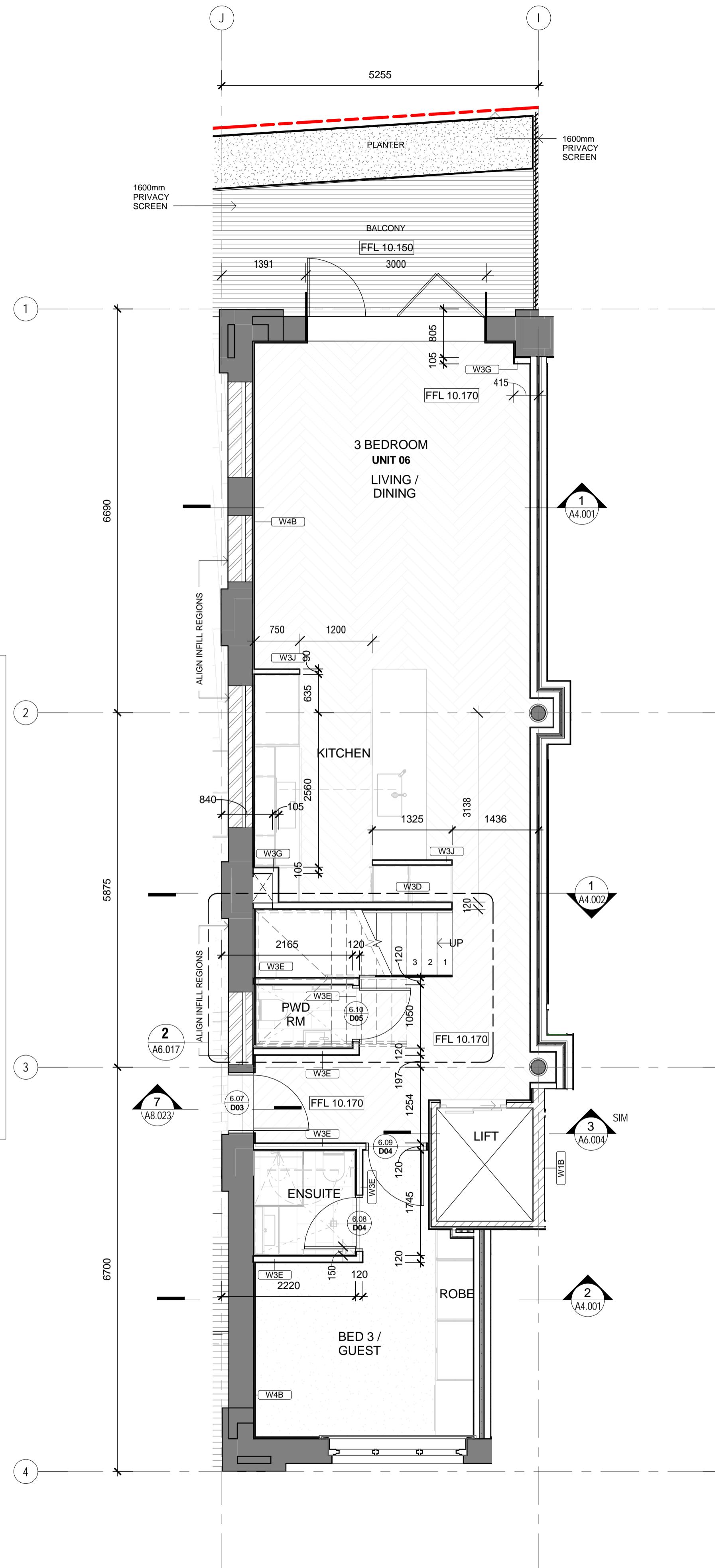
NOTE  
• FOR TYPICAL STAIR DETAIL IN UNIT 04 - REFER SHEET A6.014

Project No. 3084 Sheet No. 3084 Revision B

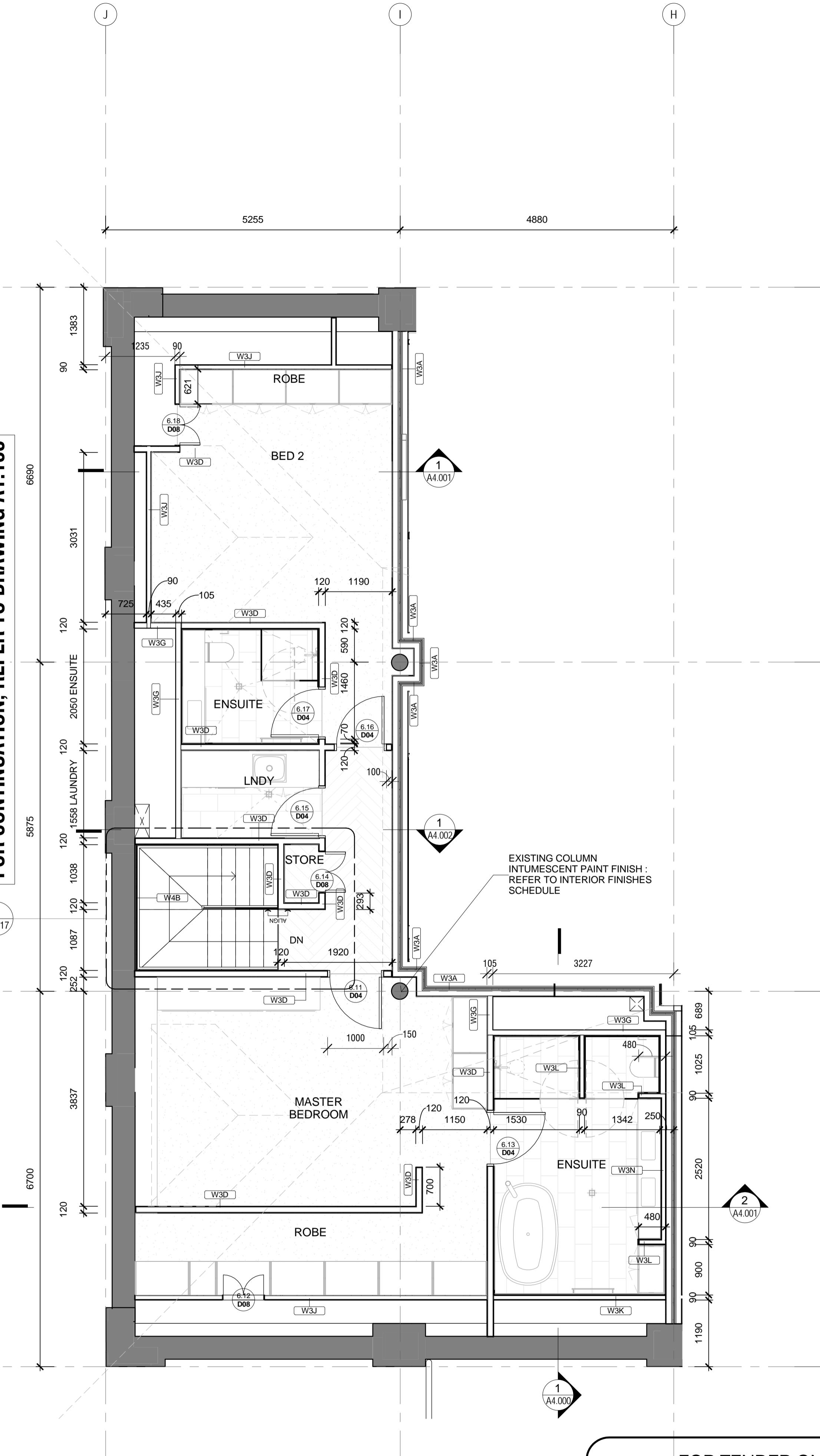
A1.044 B



**FOR CONTINUATION, REFER TO DRAWING A1.132**



**FOR CONTINUATION, REFER TO DRAWING A1.133**



Revision Description Date  
A TENDER ISSUE 22/05/2015  
B 100% TENDER 24/06/2015

KeyPlan

Consultants

DEVELOPMENT MANAGER : PDS AUST  
STRUCTURAL ENGINEER : ERBAS  
SERVICES ENGINEER : DESIGN CONFIDENCE  
BCA + ACCESS : RENZO TONIN  
ACOUSTIC : RAPPOORT HERITAGE  
HERITAGE : McLaren Traffic Engineering  
TRAFFIC : BRAHIM STORMWATER CONSULTANTS  
CIVIL : URBIS  
LANDSCAPE : URBIS  
PCA : CITY PLAN SERVICES

Client

WENTWORTH EQUITIES



Project  
**BALMAIN APARTMENTS**  
100-104 Reynolds St, Balmain

Sheet Title  
**UNIT SETOUT - UNIT 06 - LEVEL 1 & 2**

NORTH  
SCALE @ A1  
1:50  
0 1.25 2.5

Drawn Author Checked Date Scale  
CS JUN 2015 As indicated @ A1

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Project No. 3084 Sheet No. Revision  
A1.046 B

- NOTE:**
- ALL WET AREAS TO HAVE A FLOOR DRAIN GRADE OF 1:100
  - ALL SHOWER AREAS WITHIN THE WET AREAS TO HAVE A FLOOR DRAIN GRADE OF 1:80
  - REFER TO INTERIOR SET FOR FURTHER DETAIL.

**UNIT 06 LEVEL 2 PLAN**

1 : 50

## LEGEND

<b>D2</b>	1x1W LED RECESSED DOWNLIGHT, 4000K, PIERLITE DOT 92 LED DOT92LEDDIMM/40	<b>UP</b>	GROUND SPIKE MOUNTED DIRECTIONAL SPOT LIGHT, LED 3000K, 35DEG. BEAM, CLEAR DIFFUSER, HYDRICS PLATED, PROVIDE DALI RELAY TO SWITCH CONTROL, EQUAL TO ACCENTO 8	<b>W1</b>	6W 3000K LED DALI DIMMABLE WALL MOUNTED LUMINAIRE, SYMETRIC-BEAM UP & DOWN, EQUAL TO WEEF 'QLS410', MOUNTED AT APPROX. 2200mm AFFL
<b>D3</b>	1W,3000K LED RECESSED DOWNLIGHT DIMMABLE, GIMBAL TYPE, PIERLITE STARBURST CRYSTAL ECO	<b>UC</b>	RECESSED/INGROUND LIGHT, LED 3000K, 25 DEG. BEAM, CLEAR DIFFUSER, HONEYCOMB LOUVRE, HYDRICS PLATED, PROVIDE DALI RELAY TO SWITCH CONTROL, EQUAL TO OSIRION OSS1	<b>W2</b>	12W 3000K LED, IP65 WALL MOUNTED LUMINAIRE, SIDE-THROW DISTRIBUTION, EQUAL TO WEEF 'OLV334', MOUNTED AT APPROX. 3000mm AFFL
<b>D4</b>	1W,3000K LED RECESSED DOWNLIGHT, IP RATED FOR WET AREAS, PIERLITE STARBURST CRYSTAL ECO	<b>UD</b>	RECESSED/INGROUND LIGHT, LED 3000K, 25 DEG. BEAM, CLEAR DIFFUSER, HONEYCOMB LOUVRE, HYDRICS PLATED, PROVIDE DALI RELAY TO SWITCH CONTROL, EQUAL TO OSIRION OSS	<b>P1</b>	25W 3000K LED, IP65 LUMINAIRE POLE MOUNTED AT 3500mm AFFL, FORWARD THROW DISTRIBUTION AND GLARE BAFFLE, EQUAL TO TITANIA SS01625LED2P
<b>D6</b>	SURFACE MOUNTED BULKHEAD LIGHT 12W, 4000K LED, EQUAL TO WEEF 'BUCK30 LED' WITH FORWARD-THROW BEAM, AND GLARE BAFFLE	<b>HA</b>	RECESSED/WALL LIGHT, 5W LED 3000K, , PROVIDE DALI RELAY TO SWITCH CONTROL, EQUAL TO JSB MONDO MEDIUM	<b>F1E</b>	DENOTES FITTING COMPLETE WITH NON-MAINTAINED MODE EMERGENCY LIGHTING PACK EQUAL TO CLEVERTRONICS
<b>H1</b>	10W, 3000K, DALI-DIMMABLE 50-DEG BEAM RECESSED DOWNLIGHT WITH 360deg ROTATE-TILT GIMBAL TYPE EQUAL TO JSB MODULAR SMART CAKE 82, WHITE COLOUR. PROVIDE DALI-RELAY TO CBUS CONTROLS.	<b>WB</b>	SURFACE MOUNTED WALL LIGHT, IP66, PROVIDE DALI RELAY TO SWITCH CONTROL, EQUAL TO WEEF QLS420LED	<b>ES</b>	LED EMERGENCY EXIT SIGN, SPU, WITH DIRECTIONAL ARROWS AS INDICATED, PICTOGRAPH TYPE EQUAL TO CLEVERTRONICS
<b>H2</b>	10W, 3000K LED, DALI-DIMMABLE 24-DEG BEAM RECESSED ADJUSTABLE WALL WASHING DOWNLIGHT TYPE EQUAL TO JSB MODULAR CHAPEAU, WHITE COLOUR NOTE: WHERE INDICATED IN PAIRS, SPACE 300mm APART	<b>VC</b>	3000K, 119LM LED, WALL MOUNTED COMPLETE WITH DALI RELAY CONTROL, EQUAL TO LIGMAN "GINO 2 LED"	<b>E</b>	3W LED NON-MAINTAINED MODE EMERGENCY LIGHT - CLEVERTRONICS 'LIFELIGHT' PLIFC TYPE OR APPROVED EQUAL
<b>H3</b>	15.7W, 3000K LED, DALI-DIMMABLE 85-DEG BEAM RECESSED DOWNLIGHT TYPE EQUAL TO JSB SMART CAKE 115 DIFFUSED, WHITE COLOUR	<b>MD</b>	LIGHTING SWITCH SENSOR, DALI-TYPE	<b>X</b>	LIGHT SWITCH
<b>H5</b>	1W, 3000K LED, DALI RECESSED JOINERY MOUNTED CABINET DOWNLIGHT, EQUAL TO DOMUS. PROVIDE DALI SWITCHED CONTROL GEAR. COORDINATE LOCATIONS WITHIN JOINERY	<b>F1</b>	2 x 28W SURFACE MOUNTED 4000K T5 FLUORESCENT LUMINAIRE WITH IP65, PIERLITE BWP/T5 TYPE	<b>DS</b>	360° DUAL TECHNOLOGY LIGHT SWITCH / OCCUPANCY SENSOR - CLIPSAL C-BUS 752/CD OR EQUAL
<b>H6</b>	2W, 3000K LED, DALI-DIMMABLE RECESSED WALL WASHING DOWNLIGHT WITH 12-DEGREE BEAM, EQUAL TO JSB MORPHEUS	<b>F2</b>	2 x 28W 4000K T5 SURFACE MOUNTED, REEDED DIFFUSED, PIERLITE HIGHS LINEAR T5 REEDED DIFFUSED HIS228 DE4	<b>HT</b>	HEATED TOWEL RAIL SWITCH INCORPORATED IN LIGHT SWITCH PANEL COMPLETE WITH HPM XLP770TRT TIMER; PROVIDE ADDITIONAL CBUS RELAY TO HERITAGE APARTMENTS.
<b>H7</b>	60W, 3000K, CHAIN SUSPENDED PENDANT. EQUAL TO NON-RANDOM BY MOOI, COLOUR BLACK. PROVIDE DALI-RELAY TO CBUS CONTROLS	<b>L1</b>	4 x 28W T5 IP65 ROBUST FLUORESCENT LOW BAY LUMINAIRE, 4000K, PIERLITE CITADEL T5 IP65 LOW BAY CTD428E4	<b>LA</b>	IP67 CONTINUOUS SURFACE MOUNTED LED, 3000K, COMPLETE WITH DALI CONTROLS EQUAL TO KKDC MOMO-F E508
<b>HF</b>	3W, 3000K LED, DALI-DIMMABLE min. IP54 RECESSED FLOOR MOUNTED UPLIGHTER EQUAL TO TARGETTI - "PHENIX"				IP54 CONTINUOUS SURFACE MOUNTED LED, 3000K, COMPLETE WITH DALI CONTROLS EQUAL TO KKDC MOMO E352
<b>SA</b>	WALL MOUNTED ADJUSTABLE LIGHT, IP55, 7W LED 3000K, PROVIDE DALI RELAY TO SWITCH CONTROL, EQUAL TO JSB MODULAR VECTOR 1x LED DOWN TI, ALU FINISH				3000K LED STRIP LIGHT CONCEALED LIGHTING TO UNDERSIDE OF OVERHEAD CUPBOARDS EQUAL TO KKDC 450LM/M COMPLETE WITH DIFFUSER AND EXTRUDED ALUMINIUM SECTION. COMPLETE WITH DALI CONTROLS IN HERITAGE APARTMENTS
<b>SB</b>	RECESSED DOWNLIGHT, IP55, 1W LED 3000K, PROVIDE DALI RELAY TO SWITCH CONTROL, EQUAL TO JSB MODULAR LOTIS BATHROOM HI POWER LED MEDIUM				3000K LED CONTINUOUS LIGHT STRIP, SURFACE MOUNTED IN UPPER CORNER IN LOW STORES, EQUAL TO KKDC LINI GLOW 612lm/m COMPLETE WITH DIFFUSER AND ALUMINUM SECTION COMPLETE WITH DALI DIMMABLE CONTROLS IN HERITAGE APARTMENTS
<b>UA</b>	GROUND SPIKE MOUNTED DIRECTIONAL SPOT LIGHT, LED 3000K, 26DEG. BEAM, CLEAR DIFFUSER, HYDRICS PLATED, PROVIDE DALI RELAY TO SWITCH CONTROL, EQUAL TO ACCENTO 8				

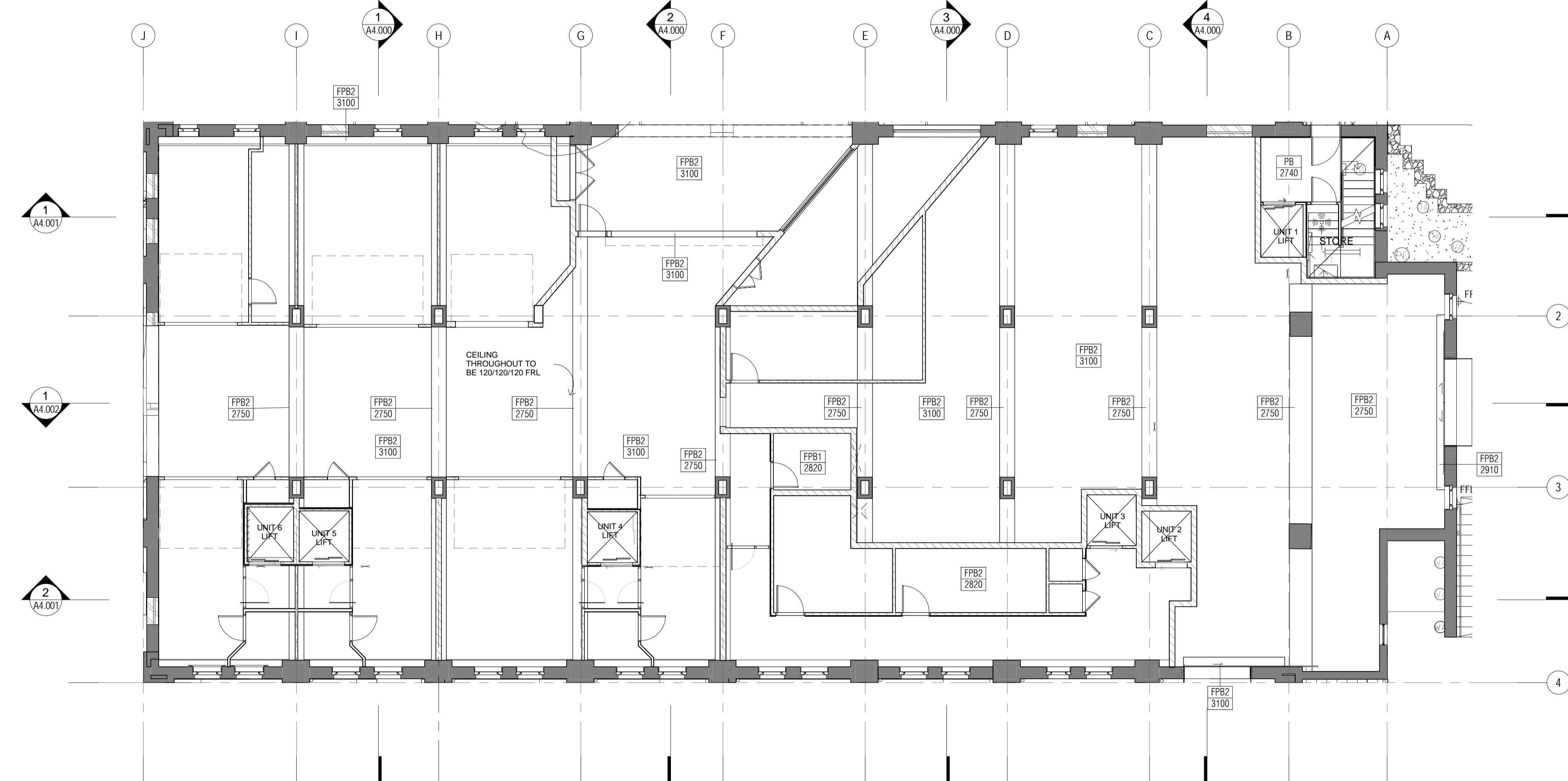
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CEILING TAG:	
	CEILING TYPE
	PB 2700
CEILING HEIGHT	
CEILING TYPES:	
	PB 1 X 13mm 'GYPROCK PLASTERBOARD'
	WPB 1 X 13mm 'GYPROCK AQUACHEK' PLASTERBOARD
	FPB1 1 X 13MM + 1 X 16mm 'GYPROCK FYRCHEK PLAST (FRL _/60/60)
	FPB2 3 X 16mm 'GYPROCK FYRCHEK' PLASTERBOARD (FRL _/120/120)
	FWPB 1 X 13MM + 1 X 16mm 'GYPROCK FYRCHEK PLAST (FRL _/60/60)
	FC01 6mm 'CEMINTEL SOFFITLINE' FLUSH JOINTED FC
	FC02 FC SHEET
	TB01 TIMBER BATTEN (SCREW FIXED)
	CONC CONCRETE EXPOSED
	EX01 RETAIN EXTG CEILING, PATCH & REPAIR
	SQ SQUARE SET
	S
	RP50 RP50 10mm SHADOW LINE

RCP GENERAL NOTES:  
 THIS DRAWING IS A DESIGN INTENT DRAWING ONLY.  
 IT REMAINS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO ENSURE COMPLIANCE WITH THE AREA, AUSTRALIAN STANDARDS & BASIX, INCLUDING PROVISIONS FOR FIRE ALARMS AND MONITORING, SMOKE DETECTION, INTERCOM AND SECURITY FOR THE APPROVAL BY THE ARCHITECT.

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SET OUT OF ELECTRICAL EQUIPMENT IS TO BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.

KEYING INTO THE EXTERNAL WALL OF THE HERITAGE BUILDING IS TO BE AVOIDED UNLESS STRUCTURALLY REQUIRED



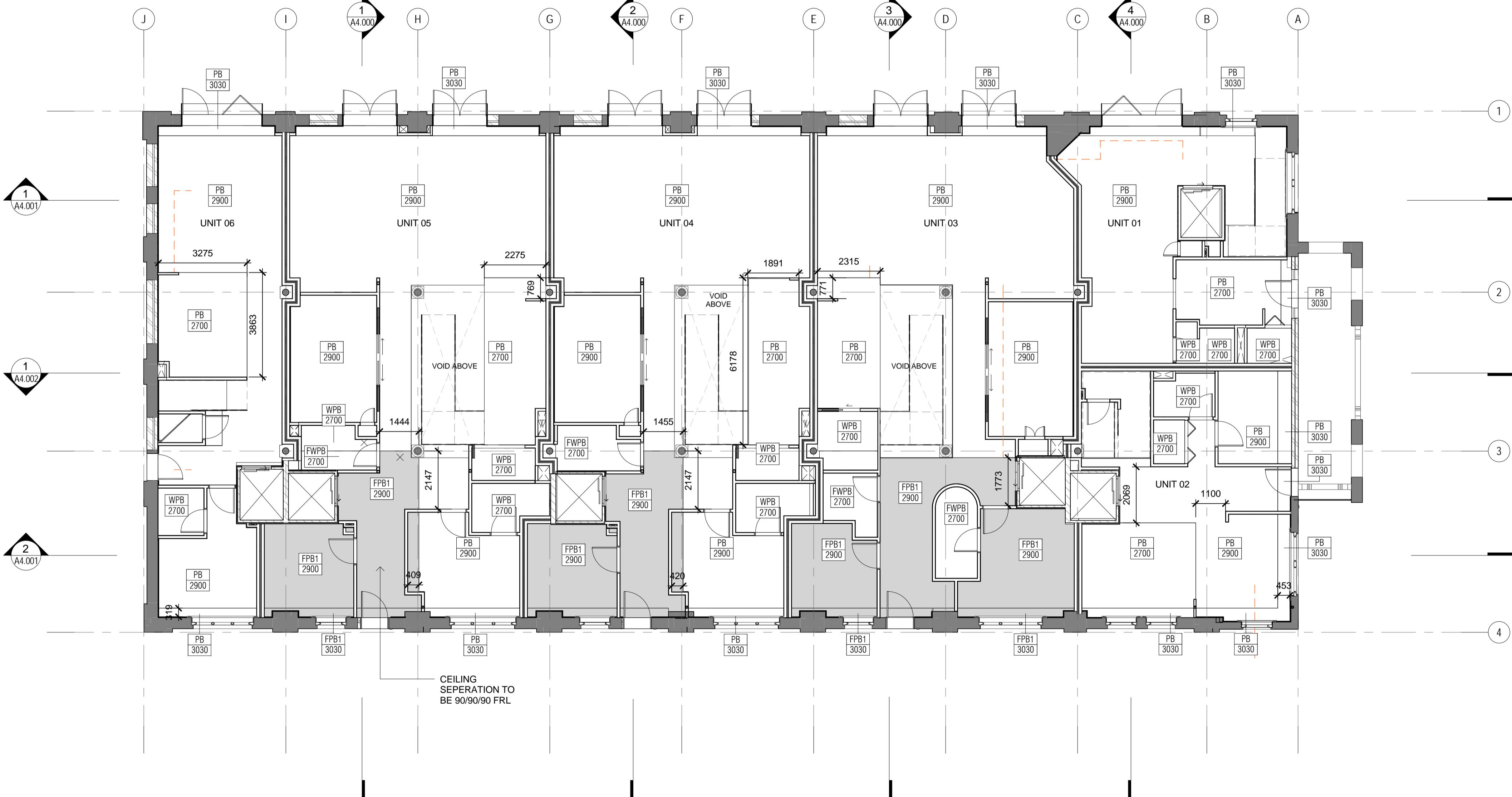
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1 : 100

24/06/2015 11:12:17 PM

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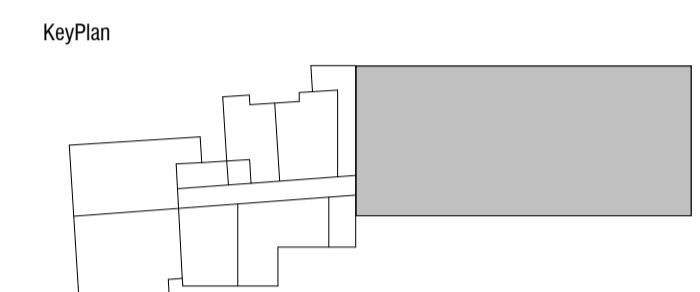
## LEGEND

D2	1 x 11W LED RECESSED DOWNLIGHT, 4000K, PIERLITE DOT 92 LED DOT92LEDIM/40	U8	GROUND SPIKE MOUNTED DIRECTIONAL SPOT LIGHT, LED 3000K, 35DEG. BEAM, CLEAR DIFFUSER, HYDRICS PLATED, PROVIDE DALI RELAY TO SWITCH CONTROL, EQUAL TO ACCENTO 8
D3	11W,3000K LED RECESSED DOWNLIGHT DIMMABLE, GIMBAL TYPE, PIERLITE STARBURST CRYSTAL ECO	UC	RECESSED/INGROUND LIGHT, LED 3000K, 25 DEG. BEAM, CLEAR DIFFUSER, HONEYCOMB LOUVRE, HYDRICS PLATED, PROVIDE DALI RELAY TO SWITCH CONTROL, EQUAL TO OSIRION OS11
D4	11W,3000K LED RECESSED DOWNLIGHT, IP RATED FOR WET AREAS, PIERLITE STARBURST CRYSTAL ECO	UD	RECESSED/INGROUND LIGHT, LED 3000K, 25 DEG. BEAM, CLEAR DIFFUSER, HONEYCOMB LOUVRE, HYDRICS PLATED, PROVIDE DALI RELAY TO SWITCH CONTROL, EQUAL TO OSIRION OSS
D6	SURFACE MOUNTED BULKHEAD LIGHT 12W, 4000K LED, EQUAL TO WEEF 'BUC20 LED' WITH FORWARD-THROW BEAM, AND GLARE BAFFLE	WA	RECESSED/WALL LIGHT, 5W LED 3000K, , PROVIDE DALI RELAY TO SWITCH CONTROL, EQUAL TO OSIRION OS11
H1	10W, 3000K, DALI-DIMMABLE 50-DEG BEAM RECESSED DOWNLIGHT WITH 360deg ROTATE-TILT GIMBAL TYPE EQUAL TO JSB MODULAR SMART CAKE 82, WHITE COLOUR. PROVIDE DALI-RELAY TO CBUS CONTROLS.	WB	SURFACE MOUNTED WALL LIGHT, IP66, PROVIDE DALI RELAY TO SWITCH CONTROL, EQUAL TO WEEF QLS420LED
H2	10W, 3000K LED, DALI-DIMMABLE 24-DEG BEAM RECESSED ADJUSTABLE WALL WASHING DOWNLIGHT TYPE EQUAL TO JSB MODULAR CHAPEAU, WHITE COLOUR NOTE: WHERE INDICATED IN PAIRS, SPACE 300mm APART	WC	3000K, 119LM LED, WALL MOUNTED COMPLETE WITH DALI RELAY CONTROL, EQUAL TO LIGMAN "GINO 2 LED"
H3	15.7W, 3000K LED, DALI-DIMMABLE 85-DEG BEAM RECESSED DOWNLIGHT TYPE EQUAL TO JSB SMART CAKE 115 DIFFUSED, WHITE COLOUR	MD	LIGHTING SWITCH SENSOR, DALI-TYPE
H5	1W, 3000K LED, DALI RECESSED JOINERY MOUNTED CABINET DOWNLIGHT, EQUAL TO DOMUS. PROVIDE DALI SWITCHED CONTROL GEAR. COORDINATE LOCATIONS WITHIN JOINERY	F1	2 x 28W SURFACE MOUNTED 4000K T5 FLUORESCENT LUMINAIRE WITH IP65, PIERLITE BWP/T5 TYPE
H6	2W, 3000K LED, DALI-DIMMABLE RECESSED WALL WASHING DOWNLIGHT WITH 12-DEGREE BEAM, EQUAL TO JSB MORPHEUS	F2	2 x 28W 4000K T5 SURFACE MOUNTED, REEDED DIFFUSED, PIERLITE HIGH LINEAR T5 REEDED DIFFUSED HIS220 DE4
H7	60W, 3000K, CHAIN SUSPENDED PENDANT. EQUAL TO NON-RANDOM BY MOOI, COLOUR BLACK. PROVIDE DALI-RELAY TO CBUS CONTROLS	L1	4 x 28W T5 IP65 ROBUST FLUORESCENT LOW BAY LUMINAIRE, 4000K, PIERLITE CITADEL T5 IP65 LOW BAY CTD428E4
H8	3W, 3000K LED, DALI-DIMMABLE min. IP54 RECESSED FLOOR MOUNTED UPLIGHTER EQUAL TO TARGETTI - "PHENIX"		
SA	WALL MOUNTED ADJUSTABLE LIGHT, IP55, 7W LED 3000K, PROVIDE DALI RELAY TO SWITCH CONTROL, EQUAL TO JSB MODULAR VECTOR 1x LED DOWN TI, ALU FINISH		
SB	RECESSED DOWNLIGHT, IP55, 11W LED 3000K, PROVIDE DALI RELAY TO SWITCH CONTROL, EQUAL TO JSB MODULAR LOTIS BATHROOM HI POWER LED MEDIUM		
JA	GROUND SPIKE MOUNTED DIRECTIONAL SPOT LIGHT, LED 3000K, 26DEG. BEAM, CLEAR DIFFUSER, HYDRICS PLATED, PROVIDE DALI RELAY TO SWITCH CONTROL, EQUAL TO ACCENTO 8		



RCP - HERITAGE LEVEL 1  
1: 100

RCP LEGEND:	
CEILING TAG:	CEILING TYPE
PB 2700	CEILING HEIGHT
CEILING TYPES:	
PB	1 X 13mm 'GYPROCK PLASTERBOARD'
WPB	1 X 13mm 'GYPROCK AQUACHEK' PLASTERBOARD
FPB1	1 X 13MM + 1 X 16mm 'GYPROCK FYRCHEK' PLASTERBOARD (FRL _/60/60)
FPB2	3 X 16mm 'GYPROCK FYRCHEK' PLASTERBOARD (FRL _/120/120)
FWPB	1 X 13MM + 1 X 16mm 'GYPROCK FYRCHEK' PLASTERBOARD (FRL _/60/60)
FC01	6mm 'CEMINTEL SOFFITLINE' FLUSH JOINTED FC SHEET
FC02	FC SHEET
TB01	TIMBER BATTEN (SCREW FIXED)
CONC	CONCRETE EXPOSED
EX01	RETAIN EXTG CEILING, PATCH & REPAIR
SQ	SQUARE SET
RP50	RP50 10mm SHADOW LINE



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KEYING INTO THE EXTERNAL WALL OF THE HERITAGE BUILDING IS TO BE AVOIDED UNLESS STRUCTURALLY REQUIRED

Consultants  
DEVELOPMENT MANAGER : PDS AUST  
STRUCTURAL ENGINEER : ERBAS  
SERVICES ENGINEER : DESIGN CONFIDENCE  
BCA + ACCESS : RENZO TONIN  
ACOUSTIC : RAPPORT HERITAGE  
HERITAGE : McLaren TRAFFIC ENGINEERING  
TRAFFIC : BRAHIM STORMWATER CONSULTANTS  
CIVIL : URBIS  
LANDSCAPE : CITY PLAN SERVICES

Client  
WENTWORTH EQUITIES



Project  
BALMAIN APARTMENTS  
100-104 Reynolds St, Balmain

Sheet Title  
RCP - HERITAGE LEVEL 1

NORTH  
SCALE @ A1  
1:100  
0 2.5 5

Drawn Author CS Checked Date JUN 2015 Scale As indicated @ A1

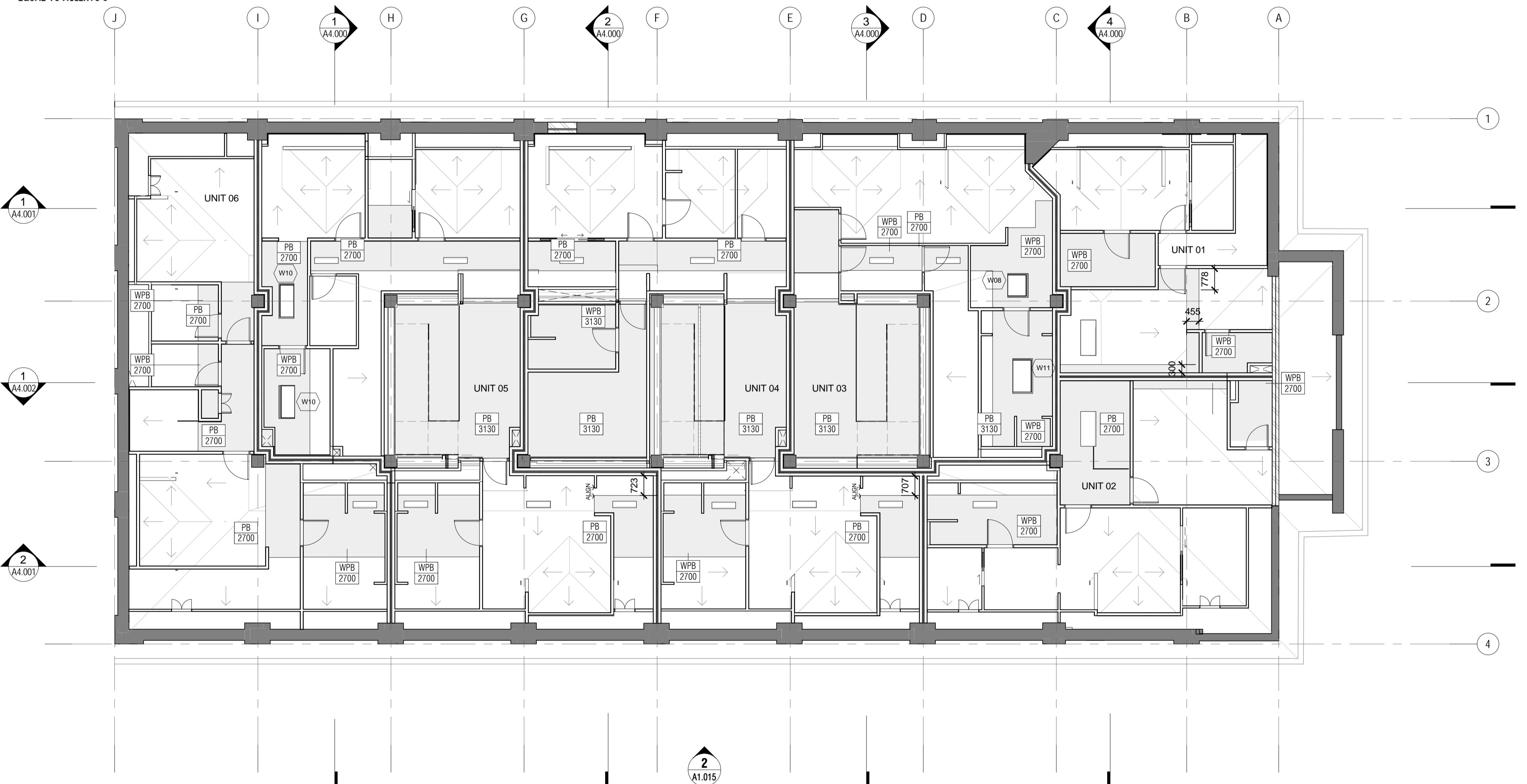
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## LEGEND

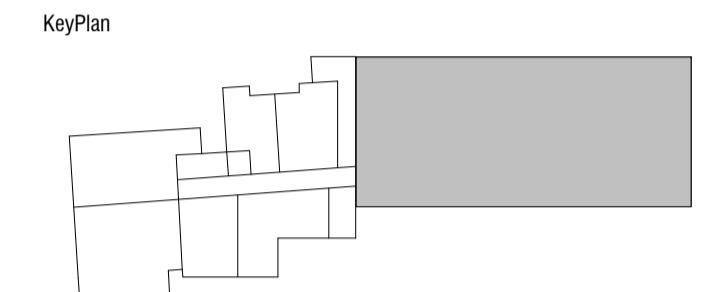
D2	1 x 11W LED RECESSED DOWNLIGHT, 4000K, PIERLITE DOT 92 LED DOT92LEDIM/40	U8	GROUND SPIKE MOUNTED DIRECTIONAL SPOT LIGHT, LED 3000K, 35DEG. BEAM, CLEAR DIFFUSER, HYDRICS PLATED, PROVIDE DALI RELAY TO SWITCH CONTROL, EQUAL TO ACCENTO 8
D3	11W,3000K LED RECESSED DOWNLIGHT DIMMABLE, GIMBAL TYPE, PIERLITE STARBURST CRYSTAL ECO	UC	RECESSED/INGROUND LIGHT, LED 3000K, 25 DEG. BEAM, CLEAR DIFFUSER, HONEYCOMB LOUVRE, HYDRICS PLATED, PROVIDE DALI RELAY TO SWITCH CONTROL, EQUAL TO OSIRION OS11
D4	11W,3000K LED RECESSED DOWNLIGHT, IP RATED FOR WET AREAS, PIERLITE STARBURST CRYSTAL ECO	UD	RECESSED/INGROUND LIGHT, LED 3000K, 25 DEG. BEAM, CLEAR DIFFUSER, HONEYCOMB LOUVRE, HYDRICS PLATED, PROVIDE DALI RELAY TO SWITCH CONTROL, EQUAL TO OSIRION OSS
D6	SURFACE MOUNTED BULKHEAD LIGHT 12W, 4000K LED, EQUAL TO WEEF 'BUC20 LED' WITH FORWARD-THROW BEAM, AND GLARE BAFFLE	WA	RECESSED/WALL LIGHT, 5W LED 3000K, , PROVIDE DALI RELAY TO SWITCH CONTROL, EQUAL TO OSIRION OS1
H1	10W, 3000K, DALI-DIMMABLE 50-DEG BEAM RECESSED DOWNLIGHT WITH 360deg ROTATE-TILT GIMBAL TYPE EQUAL TO JSB MODULAR SMART CAKE 82, WHITE COLOUR. PROVIDE DALI-RELAY TO CBUS CONTROLS.	WB	SURFACE MOUNTED WALL LIGHT, IP66, PROVIDE DALI RELAY TO SWITCH CONTROL, EQUAL TO JSB MONDO MEDIUM
H2	10W, 3000K LED, DALI-DIMMABLE 24-DEG BEAM RECESSED ADJUSTABLE WALL WASHING DOWNLIGHT TYPE EQUAL TO JSB MODULAR CHAPEAU, WHITE COLOUR NOTE: WHERE INDICATED IN PAIRS, SPACE 300mm APART	WC	SURFACE MOUNTED WALL LIGHT, IP66, PROVIDE DALI RELAY TO SWITCH CONTROL, EQUAL TO WEEF QLS420LED
H3	15.7W, 3000K LED, DALI-DIMMABLE 85-DEG BEAM RECESSED DOWNLIGHT TYPE EQUAL TO JSB SMART CAKE 115 DIFFUSED, WHITE COLOUR	MD	3000K, 119LM LED, WALL MOUNTED COMPLETE WITH DALI RELAY CONTROL, EQUAL TO LIGMAN "GINO 2 LED"
H5	1W, 3000K LED, DALI RECESSED JOINERY MOUNTED CABINET DOWNLIGHT, EQUAL TO DOMUS. PROVIDE DALI SWITCHED CONTROL GEAR. COORDINATE LOCATIONS WITHIN JOINERY	F1	LIGHTING SWITCH SENSOR, DALI-TYPE
H6	2W, 3000K LED, DALI-DIMMABLE RECESSED WALL WASHING DOWNLIGHT WITH 12-DEGREE BEAM, EQUAL TO JSB MORPHEUS	F2	2 x 28W SURFACE MOUNTED 4000K T5 FLUORESCENT LUMINAIRE WITH IP65, PIERLITE BWP/T5 TYPE
H7	60W, 3000K, CHAIN SUSPENDED PENDANT. EQUAL TO NON-RANDOM BY MOOI, COLOUR BLACK. PROVIDE DALI-RELAY TO CBUS CONTROLS	F3	2 x 28W 4000K T5 SURFACE MOUNTED, REEDED DIFFUSED, PIERLITE HIGHS LINEAR T5 REEDED DIFFUSED HIS220 DE4
H8	3W, 3000K LED, DALI-DIMMABLE min. IP54 RECESSED FLOOR MOUNTED UPLIGHTER EQUAL TO TARGETTI - "PHENIX"	L1	4 x 28W T5 IP65 ROBUST FLUORESCENT LOW BAY LUMINAIRE, 4000K, PIERLITE CITADEL T5 IP65 LOW BAY CTD428E4
SA	WALL MOUNTED ADJUSTABLE LIGHT, IP55, 7W LED 3000K, PROVIDE DALI RELAY TO SWITCH CONTROL, EQUAL TO JSB MODULAR VECTOR 1x LED DOWN TI, ALU FINISH	LA	IP67 CONTINUOUS SURFACE MOUNTED LED, 3000K, COMPLETE WITH DALI CONTROLS EQUAL TO KKDC MOMO-F E508
SB	RECESSED DOWNLIGHT, IP55, 11W LED 3000K, PROVIDE DALI RELAY TO SWITCH CONTROL, EQUAL TO JSB MODULAR LOTIS BATHROOM HI POWER LED MEDIUM		IP54 CONTINUOUS SURFACE MOUNTED LED, 3000K, COMPLETE WITH DALI CONTROLS EQUAL TO KKDC MOMO E352
JA	GROUND SPIKE MOUNTED DIRECTIONAL SPOT LIGHT, LED 3000K, 26DEG. BEAM, CLEAR DIFFUSER, HYDRICS PLATED, PROVIDE DALI RELAY TO SWITCH CONTROL, EQUAL TO ACCENTO 8		3000K LED STRIP LIGHT CONCEALED LIGHTING TO UNDERSIDE OF OVERHEAD CUPBOARDS EQUAL TO KKDC 450LM/M COMPLETE WITH DIFFUSER AND EXTRUDED ALUMINIUM SECTION. COMPLETE WITH DALI CONTROLS IN HERITAGE APARTMENTS
			3000K LED CONTINUOUS LIGHT STRIP, SURFACE MOUNTED IN UPPER CORNER IN LOW STORES, EQUAL TO KKDC LINI GLOW 612lm/m COMPLETE WITH DIFFUSER AND ALUMINUM SECTION COMPLETE WITH DALI DIMMABLE CONTROLS IN HERITAGE APARTMENTS



RCP - HERITAGE LEVEL 2

24/06/2015 11:13:49 PM

RCP LEGEND:		Revision	Description	Date
CEILING TAG:		A	TENDER ISSUE	22/05/2015
		B	100% TENDER	24/06/2015
PB	2700		CEILING TYPE	
			CEILING HEIGHT	
CEILING TYPES:				
PB	1 X 13mm 'GYPROCK' PLASTERBOARD			
WPB	1 X 13mm 'GYPROCK AQUACHEK' PLASTERBOARD			
FPBT	1 X 13MM + 1 X 16mm 'GYPROCK FYRCHEK' PLASTERBOARD (FRL_ /60/60)			
FPBZ	3 X 16mm 'GYPROCK FYRCHEK' PLASTERBOARD (FRL_ /120/120)			
FWPB	1 X 13MM + 1 X 16mm 'GYPROCK FYRCHEK' PLASTERBOARD (FRL_ /60/60)			
FC01	6mm 'CEMINTEL SOFTLINE' FLUSH JOINTED FC SHEET			
FC02	FC SHEET			
TB01	TIMBER BATTEN (SCREW FIXED)			
CONC	CONCRETE EXPOSED			
EX01	RETAIN EXTG CEILING, PATCH & REPAIR			
SQ	SQUARE SET			
S	RP50 RP50 10mm SHADOW LINE			



RCP GENERAL NOTES:  
THIS DRAWING IS A DESIGN INTENT DRAWING ONLY. IT REMAINS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO ENSURE COMPLIANCE WITH THE BCA, AUSTRALIAN STANDARDS & BASIX, INCLUDING PROVISIONS FOR FIRE ALARMS AND MONITORING, SMOKE DETECTION, INTERCOM AND SECURITY FOR THE APPROVAL BY THE ARCHITECT.

ALL SYMBOLS ARE INDICATIVE AND IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONFIRM THE MAKE, MODEL AND CONNECTIONS REQUIRED TO ALL FIXTURES AND FITTINGS WITH REFERENCE TO THE SPECIFICATION AND SCHEDULES.

SET OUT OF ELECTRICAL EQUIPMENT IS TO BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.

KEYING INTO THE EXTERNAL WALL OF THE HERITAGE BUILDING IS TO BE AVOIDED UNLESS STRUCTURALLY REQUIRED

Consultants	
DEVELOPMENT MANAGER	: PDS AUST
STRUCTURAL ENGINEER	: ERBAS
SERVICES ENGINEER	: DESIGN CONFIDENCE
BCA + ACCESS	: RENZO TONIN
ACOUSTIC	: RAPPOPORT HERITAGE
HERITAGE	: MCLAREN TRAFFIC ENGINEERING
CIVIL	: BRAHIM STORMWATER CONSULTANTS
LANDSCAPE	: URBIS
PCA	: CITY PLAN SERVICES

Client

WENTWORTH EQUITIES



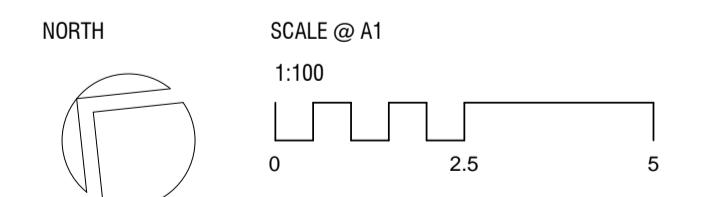
SYDNEY  
Level M, 50 Carrington St  
Sydney, NSW  
2000, Australia  
PH (02) 8270 3933  
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Project

BALMAIN APARTMENTS  
100-104 Reynolds St, Balmain

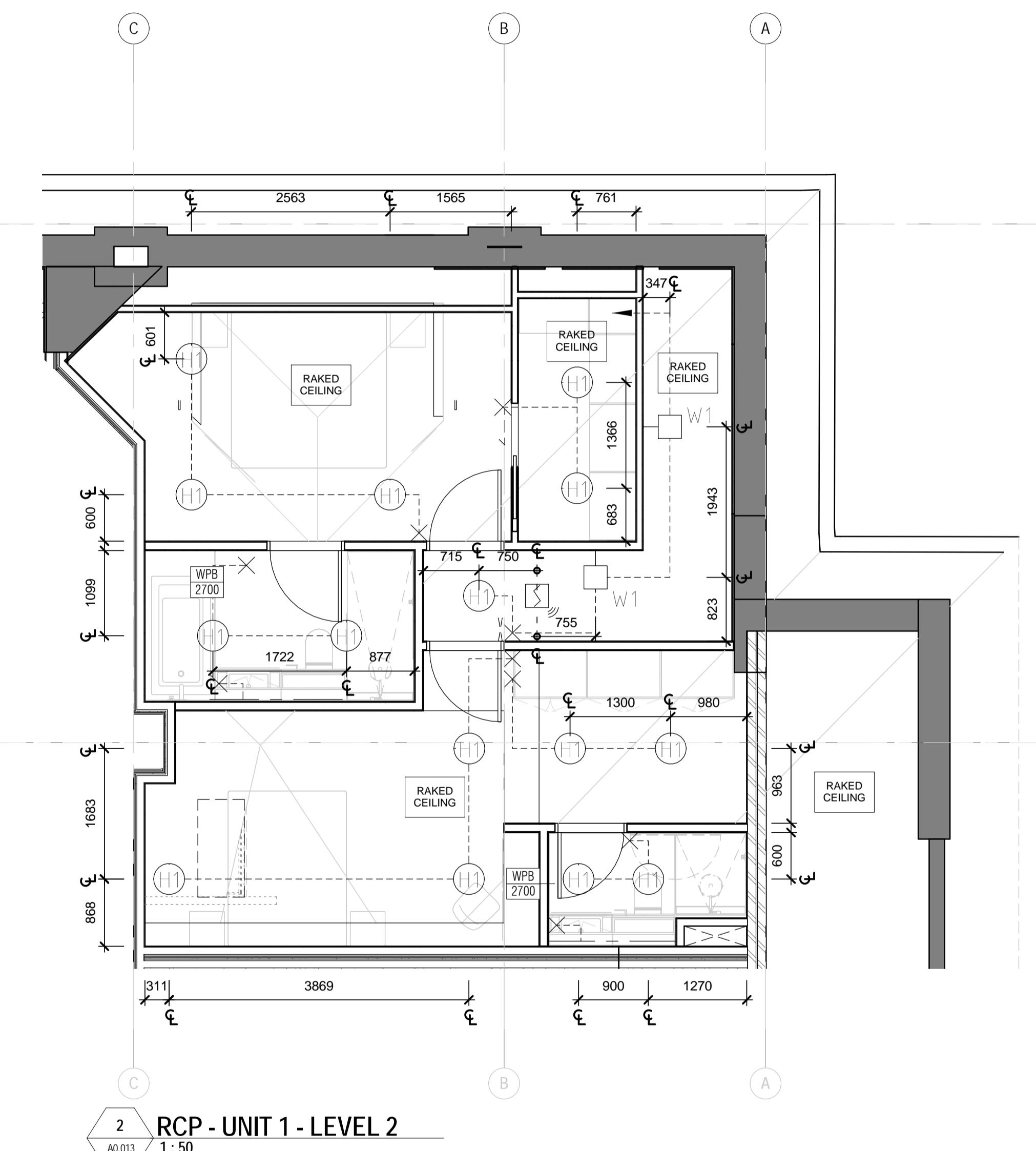
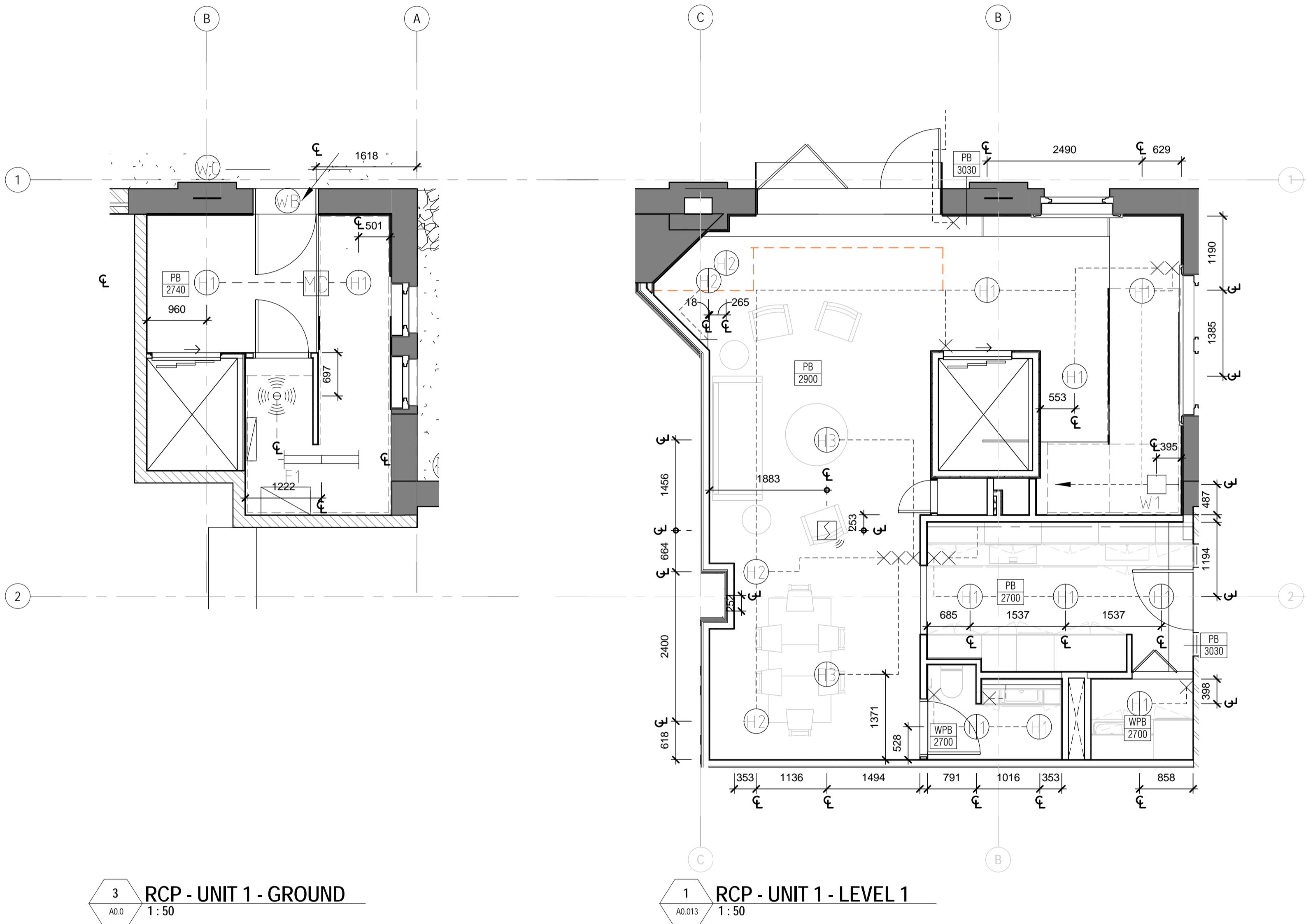
Sheet Title

RCP - HERITAGE LEVEL 2



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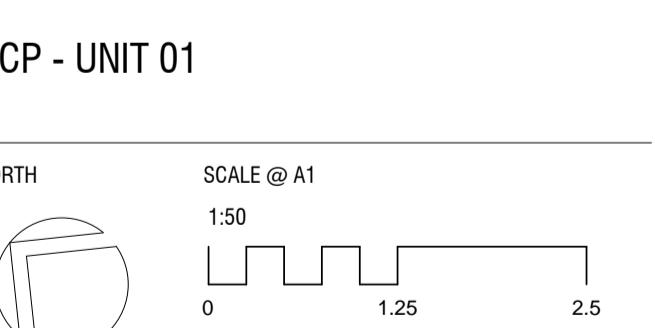
Project No. 3084 Sheet No. A2.003 Revision B



**KEY :**

RACKED CEILING	PLASTERBOARD CEILING TO FOLLOW SHAPE OF EXISTING ROOF-C.O.S.
----------------	--

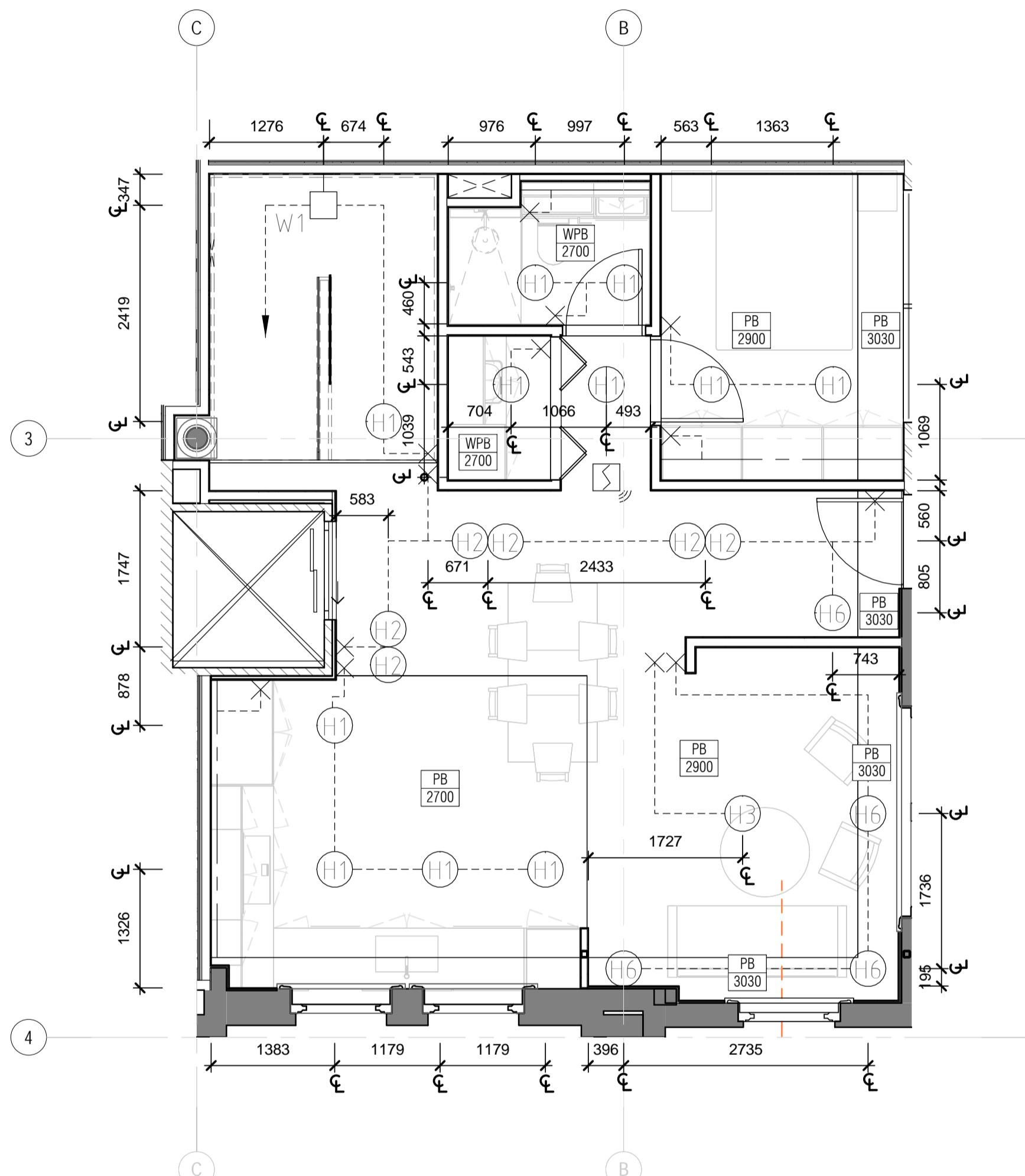
REFER TO 1:100 REFLECTED  
CEILING PLANS A2.001-A2.003  
FOR LEGEND AND NOTES



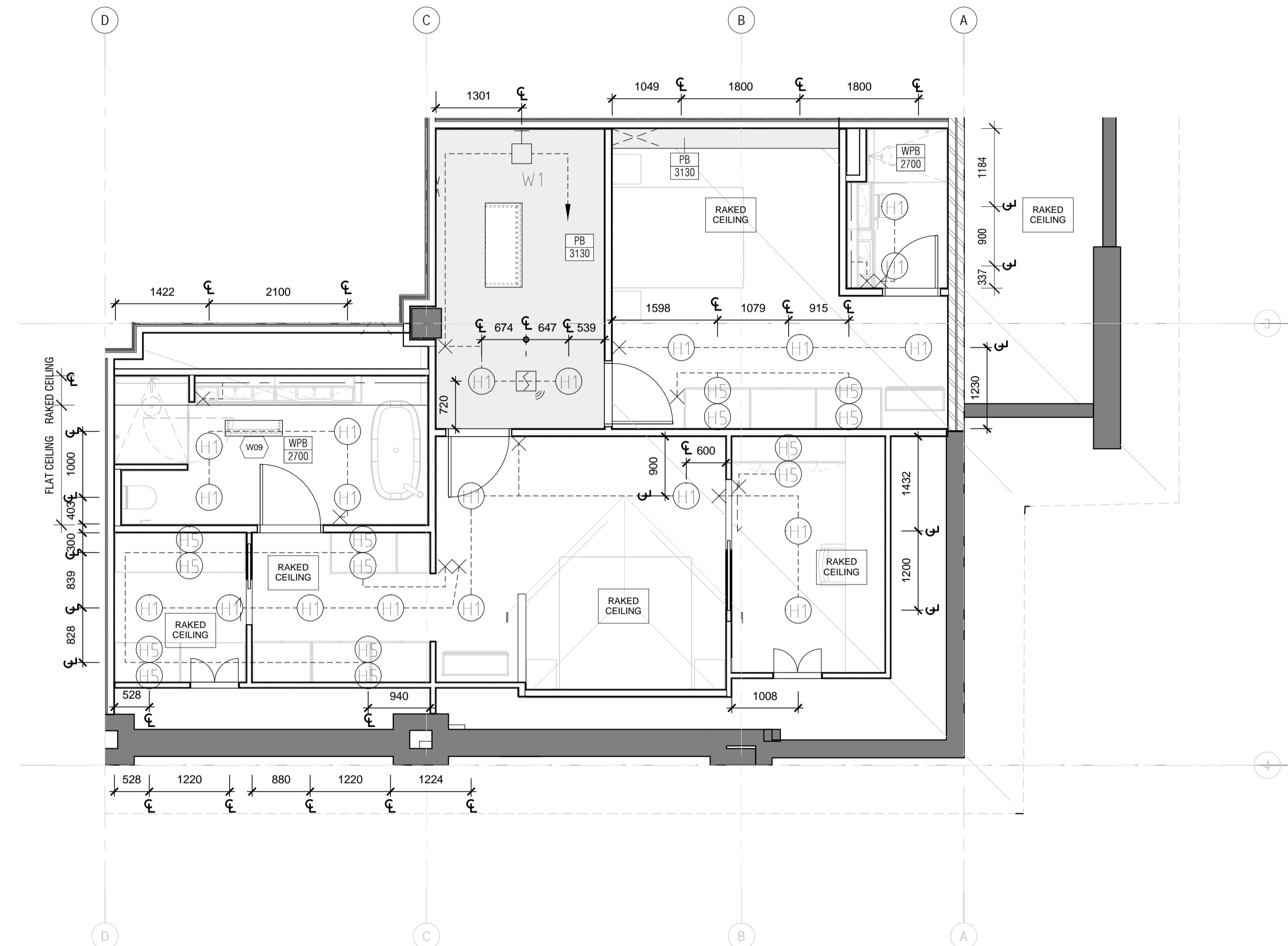
Drawn Author Checked Date Scale  
As indicated @ A1

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**RCP - UNIT 2 - LEVEL 1**



**RCP - UNIT 2 - LEVEL 2**

**KEY :**

RAKED CEILING	PLASTERBOARD CEILING TO FOLLOW SHAPE OF EXISTING ROOF- C.O.S.
------------------	--

**REFER TO 1:100 REFLECTED  
CEILING PLANS A2.001-A2.003**

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**Sheet Title**

RCP - UNIT 02

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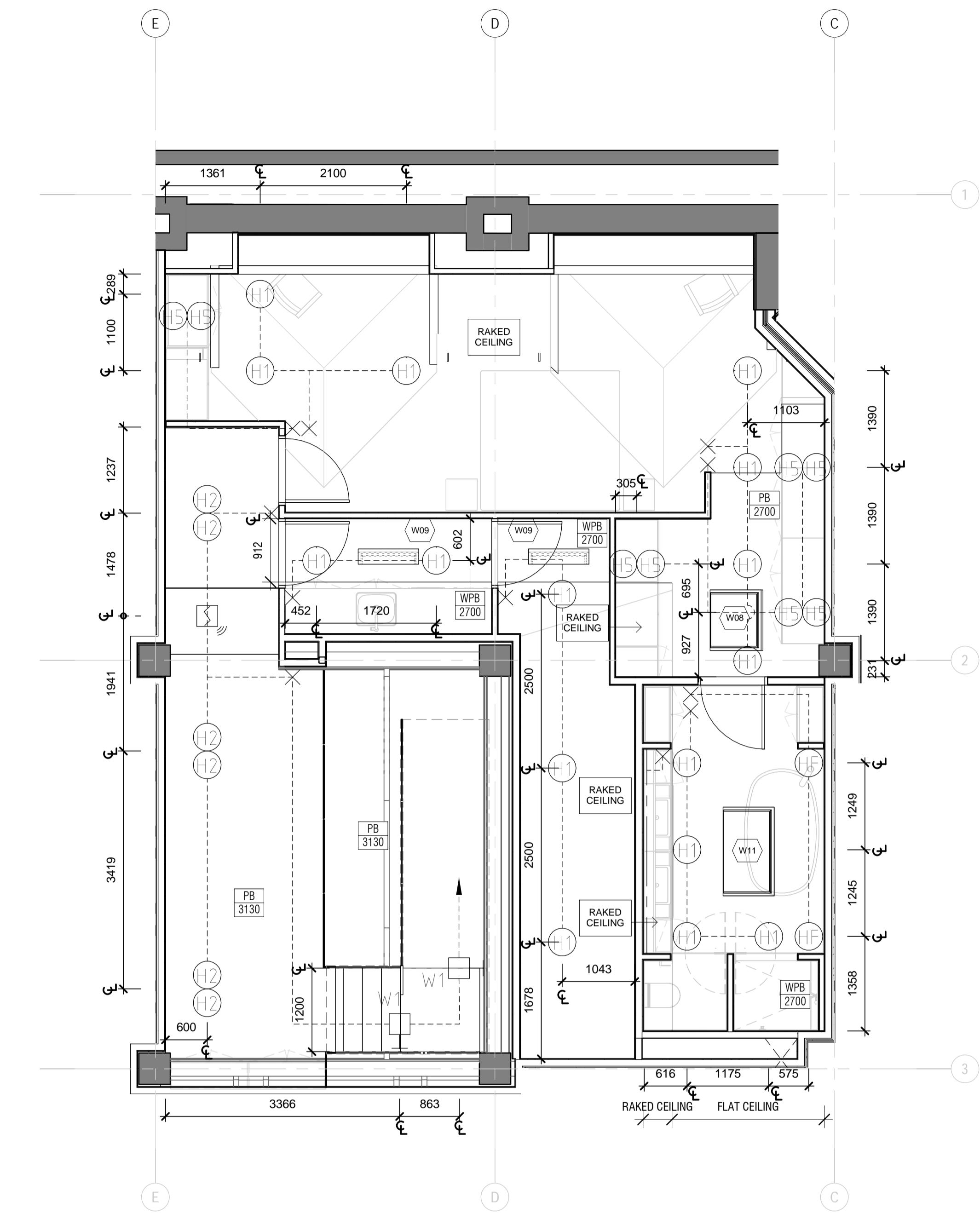
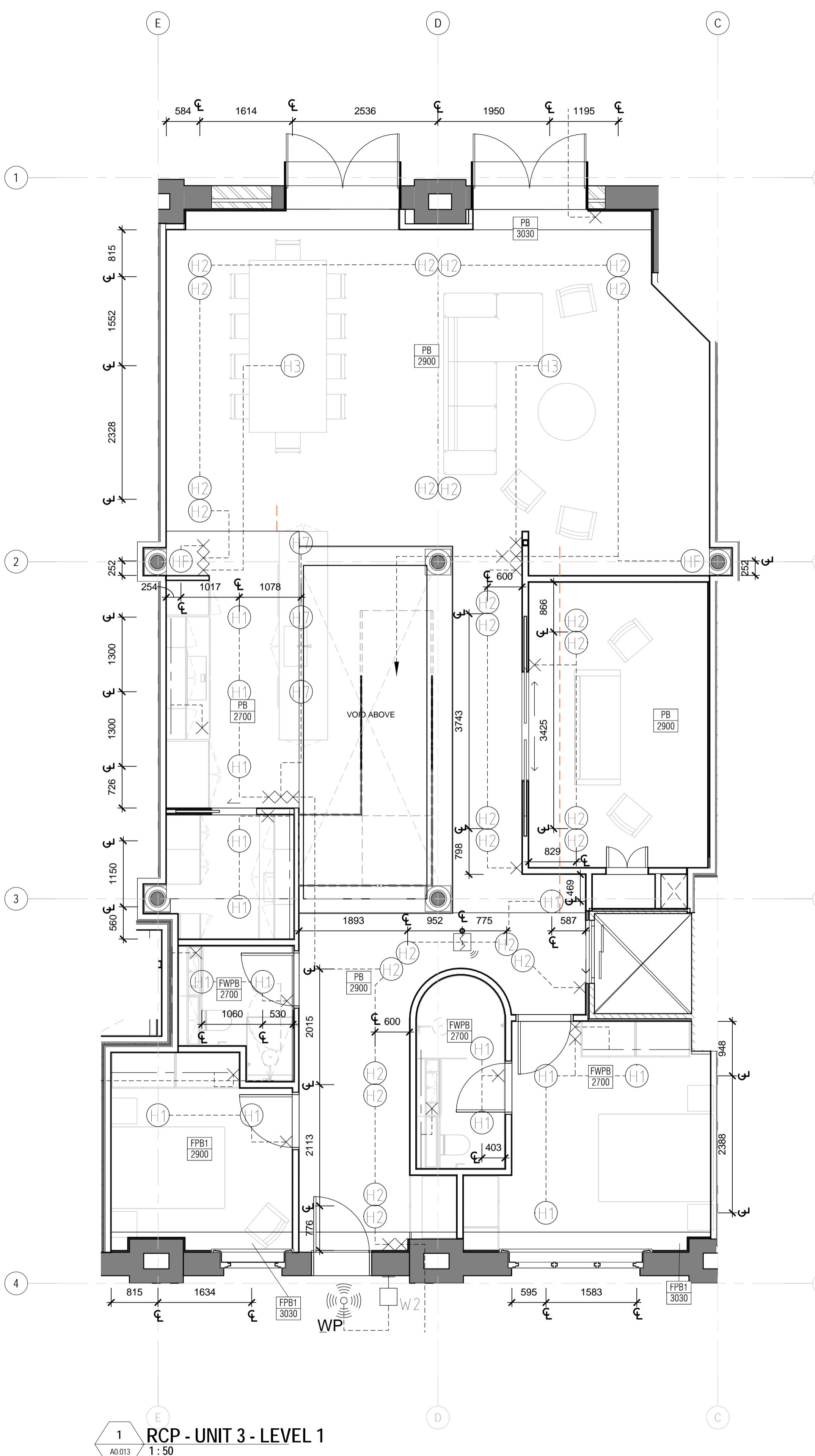
DORTH SCALE @ A1

Author	Checked	Date	Scale
	CS	JUN 2015	As indicated

intended that the drawings only represent the visual design of the work. Any technical details are for outline purposes only. The Contractor/ Manufacturer must separately provide all necessary shop drawings or calculations for compliance with any relevant industry, safety standards or NZ standards, regulations and laws. Dimensions are to be checked on site, any discrepancies are to be referred to Custance Associates Ltd, in writing, prior to proceeding. Use written dimensions only. Do not use scaled dimensions. Check for latest revision issue. Copyright of this drawing is vested with Custance Associates Ltd

Object No. Sheet No. Revision  
084 A2.011 B

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revision	Description	Date
	TENDER ISSUE	22/05/2015
	100% TENDER	24/06/2015

## VENTWORTH EQUITIES



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object

# ALMAIN APARTMENTS

## **Meet Title**

RCP - UNIT 03

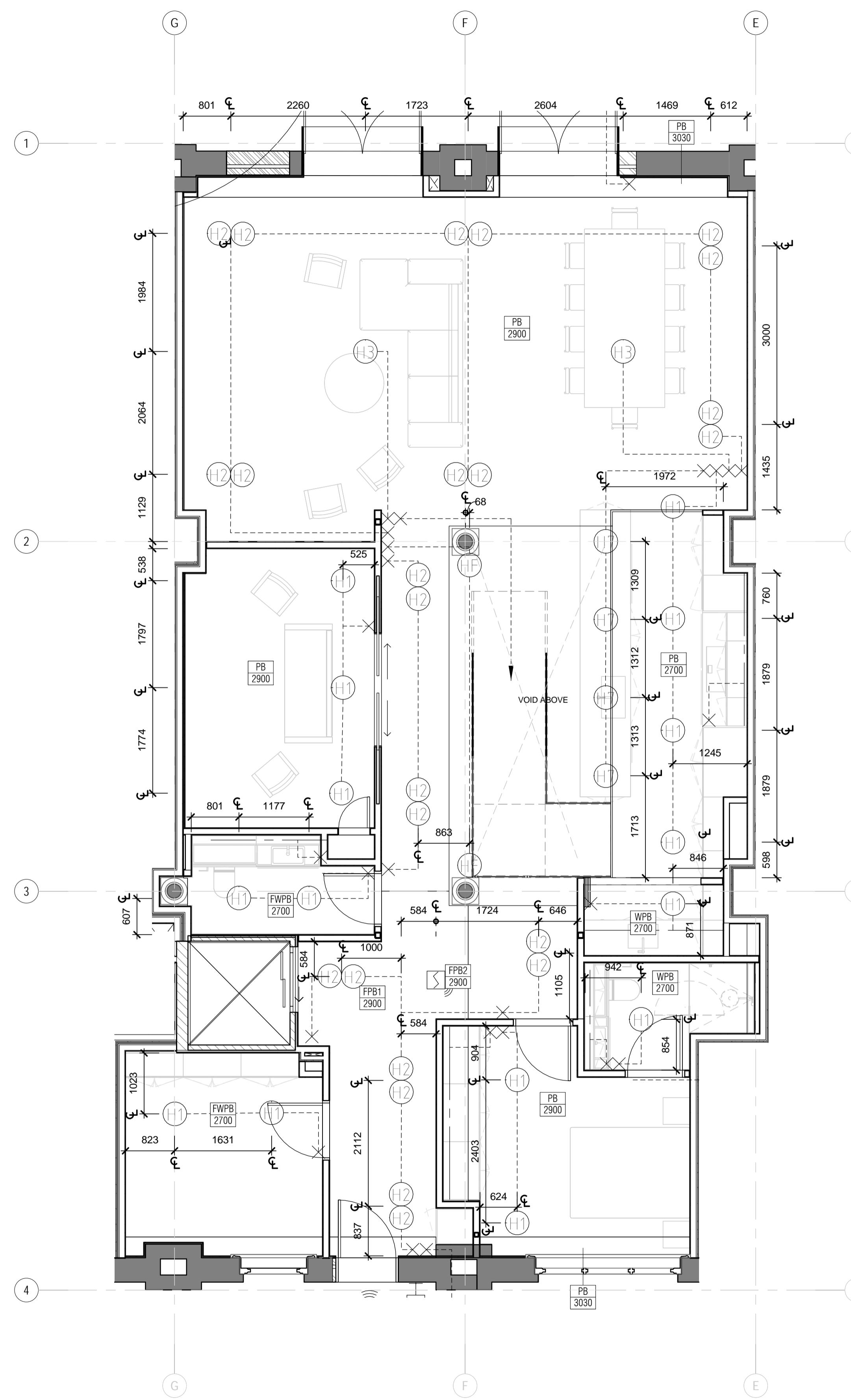
NORTH SCALE

Drawn	Checked	Date	Scale
Author	CS	JUN 2015	As indicated @ A1

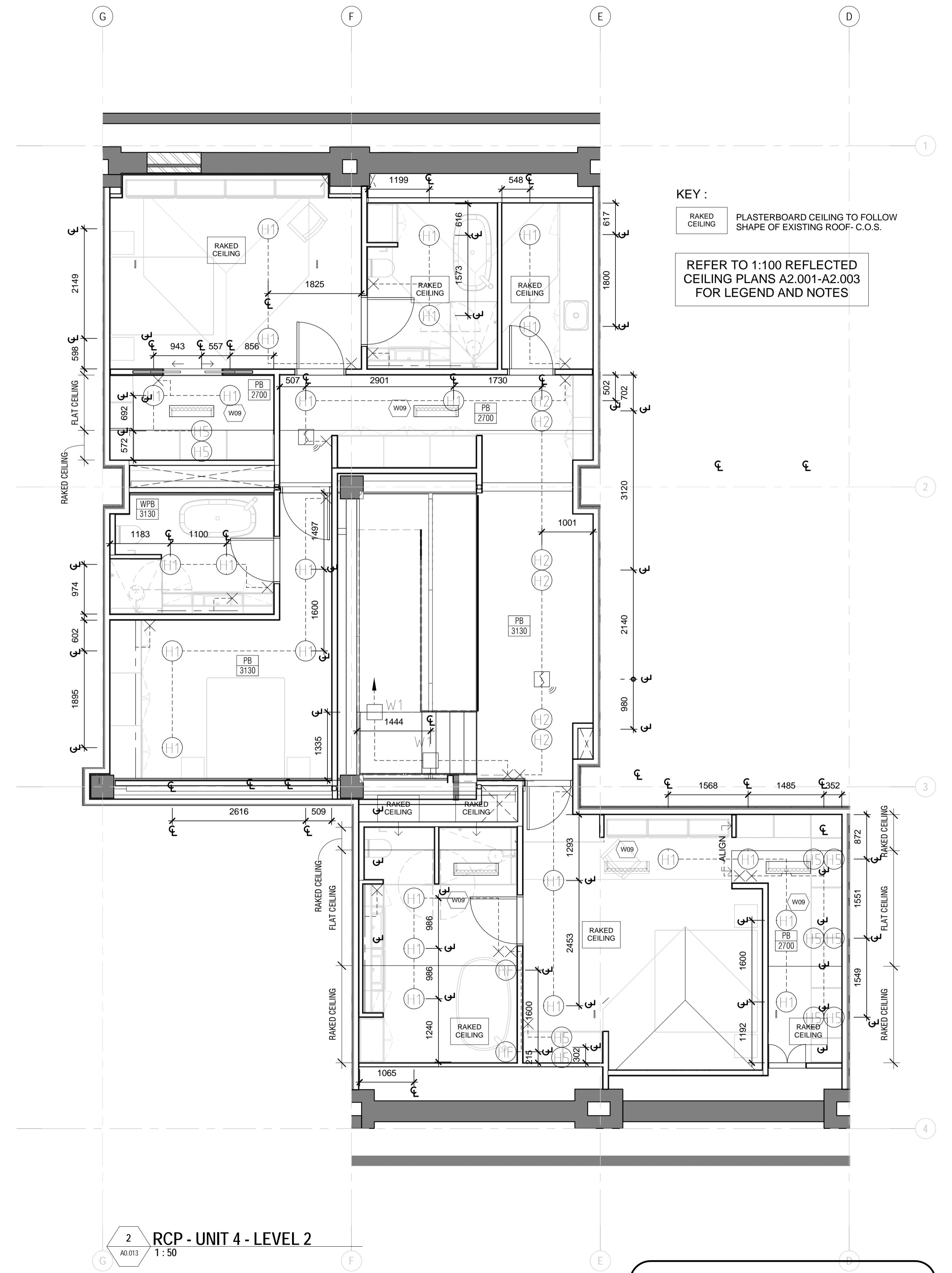
intended that the drawings only represent the visual design of the work. Any technical details are for outline purposes only. The Contractor/ Manufacturer must separately provide all necessary shop drawings or calculations for compliance with any relevant industry, safety standards or NZ standards, regulations and laws. Dimensions are to be checked on site, any discrepancies are to be referred to Custance Associates Ltd, in writing, prior to proceeding. Use written dimensions only. Do not use scaled dimensions. Check for latest revision issue. Copyright of this drawing is vested with Custance Associates Ltd

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RCP - UNIT 4 - LEVEL 1



RCP - UNIT 4 - LEVEL 2

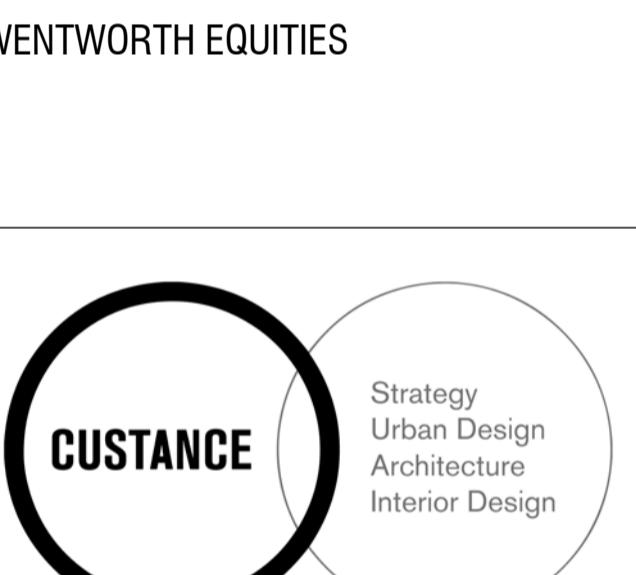


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Revision	Description	Date
A	TENDER ISSUE	22/05/2015
B	100% TENDER	24/06/2015

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Project No. 3084 Sheet No. A2.013 Revision B

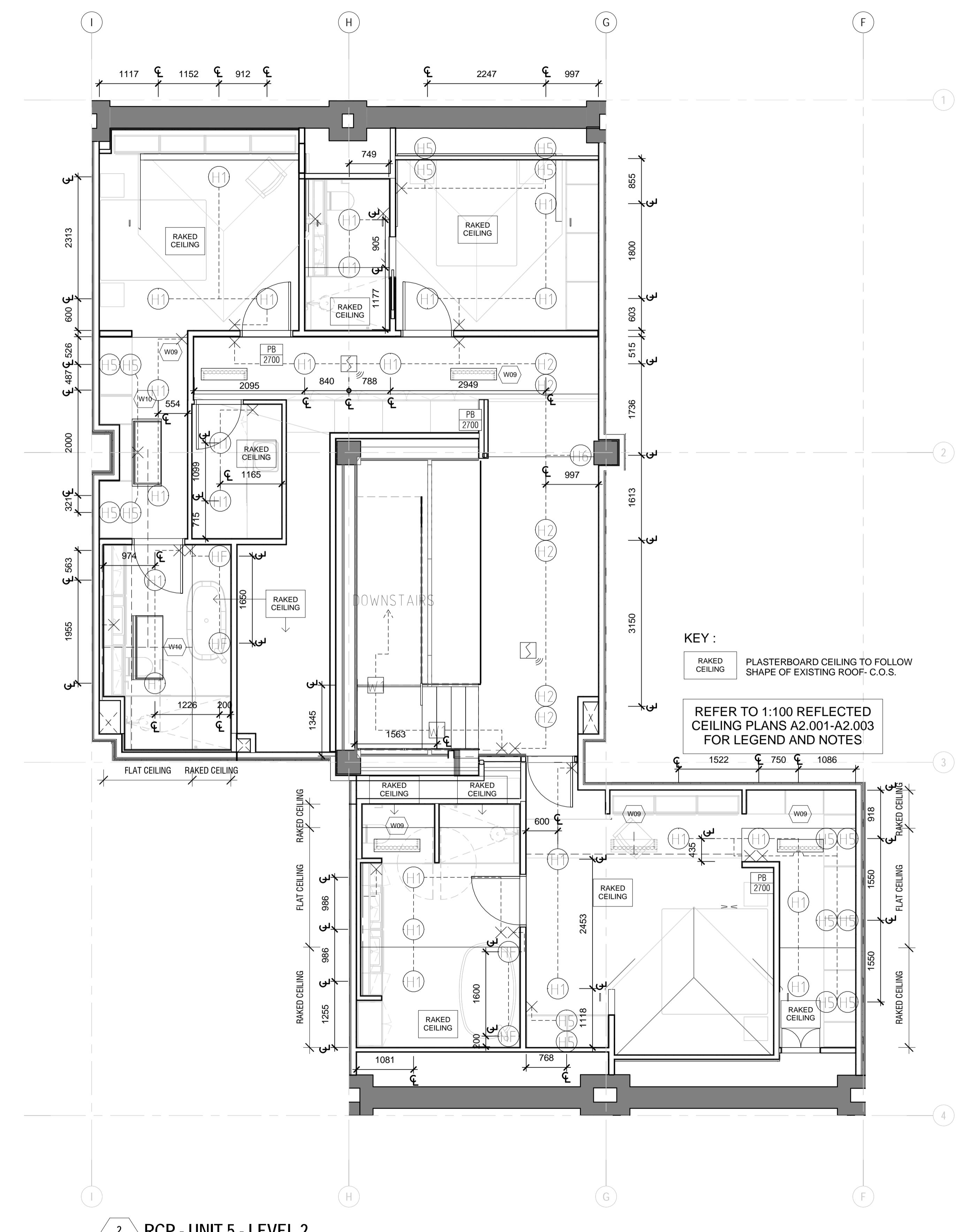
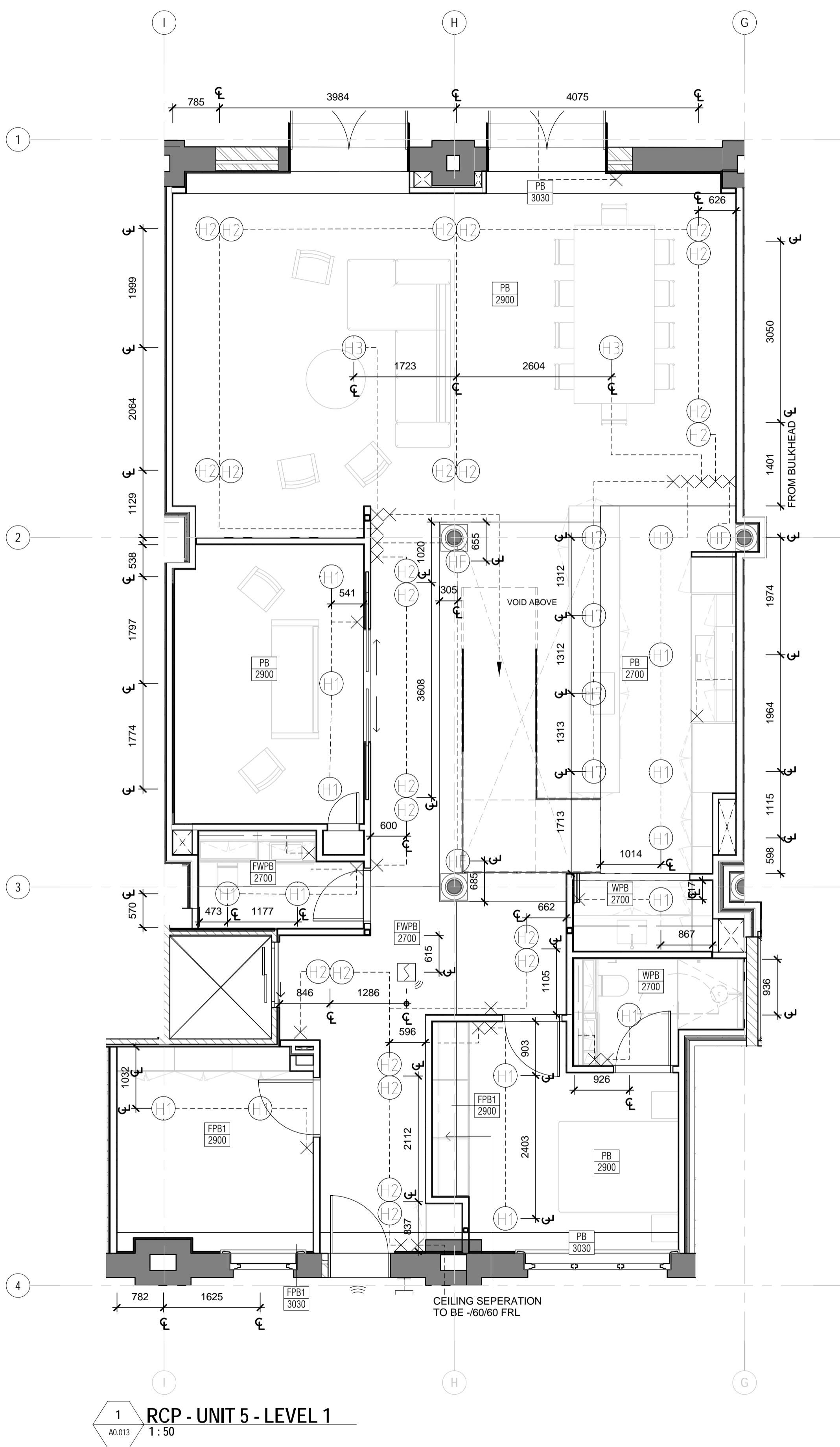


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BALMAIN APARTMENTS  
100-104 Reynolds St, Balmain

Sheet Title  
RCP - UNIT 04  
NORTH SCALE @ A1  
1:50 0 1.25 2.5

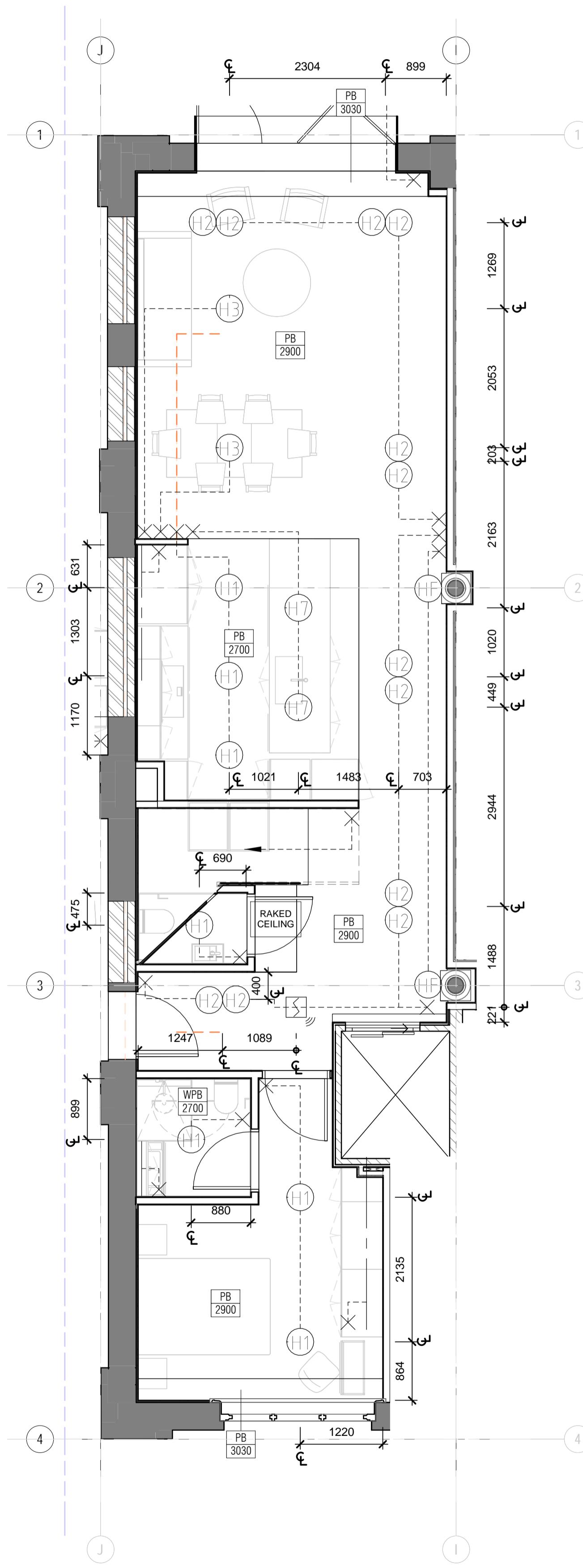
Drawn Author CS Checked Date JUN 2015 Scale As indicated @ A1



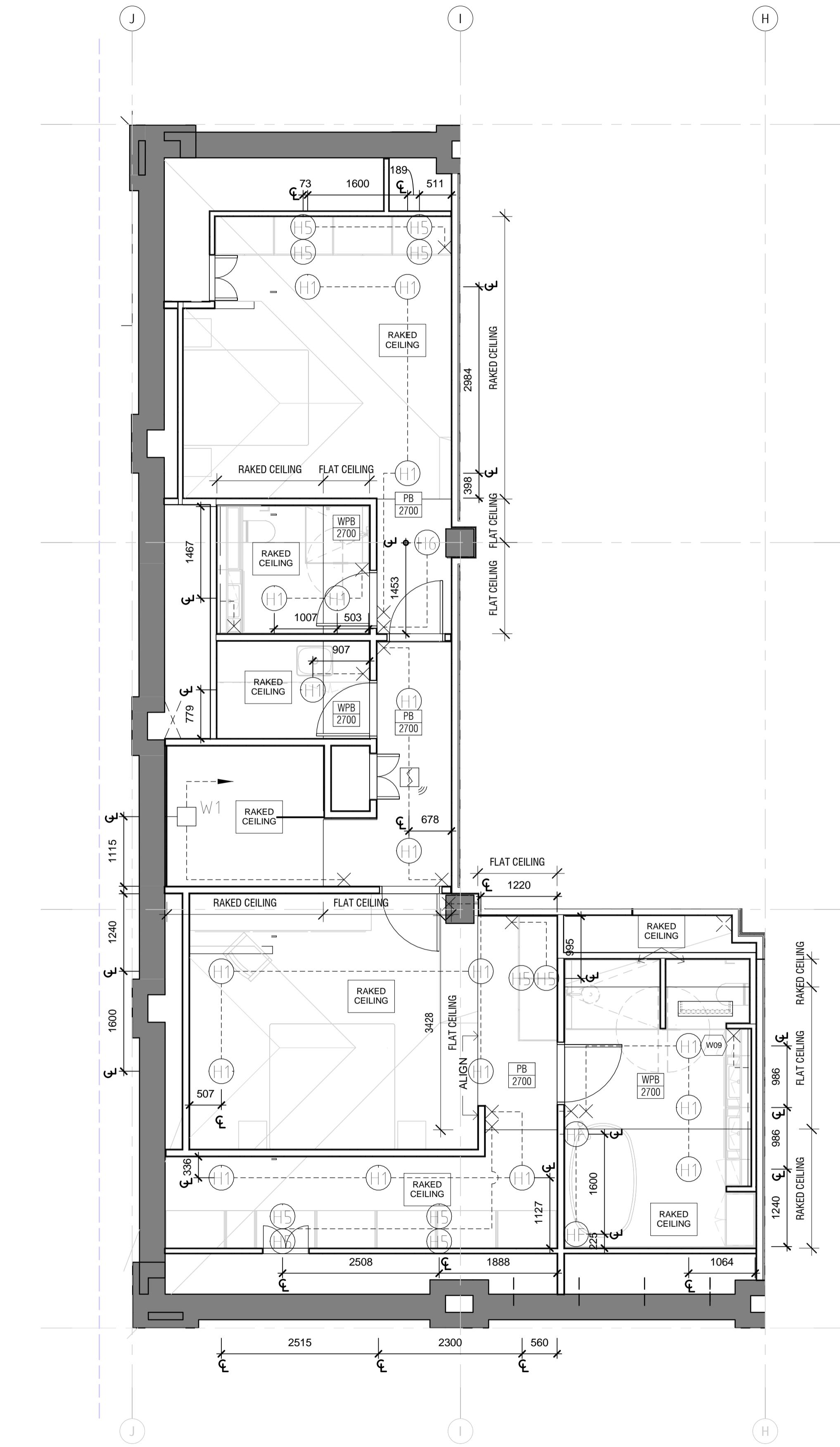
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Object No. Sheet No. Revision  
084 A2.014 B



 RCP - UNIT 6 - LEVEL 1  
A0.013 1 : 50



RCP - UNIT 6 - LEVEL 2  
A0.013 1 : 50

**FOR TENDER ONLY.  
NOT FOR CONSTRUCTION**

**KEY :**

RAKED CEILING	PLASTERBOARD CEILING TO FOLLOW
------------------	--------------------------------

**REFER TO 1:100 REFLECTED  
CEILING PLANS A2.001-A2.003  
FOR LEGEND AND NOTES**



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---

Sheet Title

RCP - UNIT 06

NORTH

SCALE @ A1

1:50

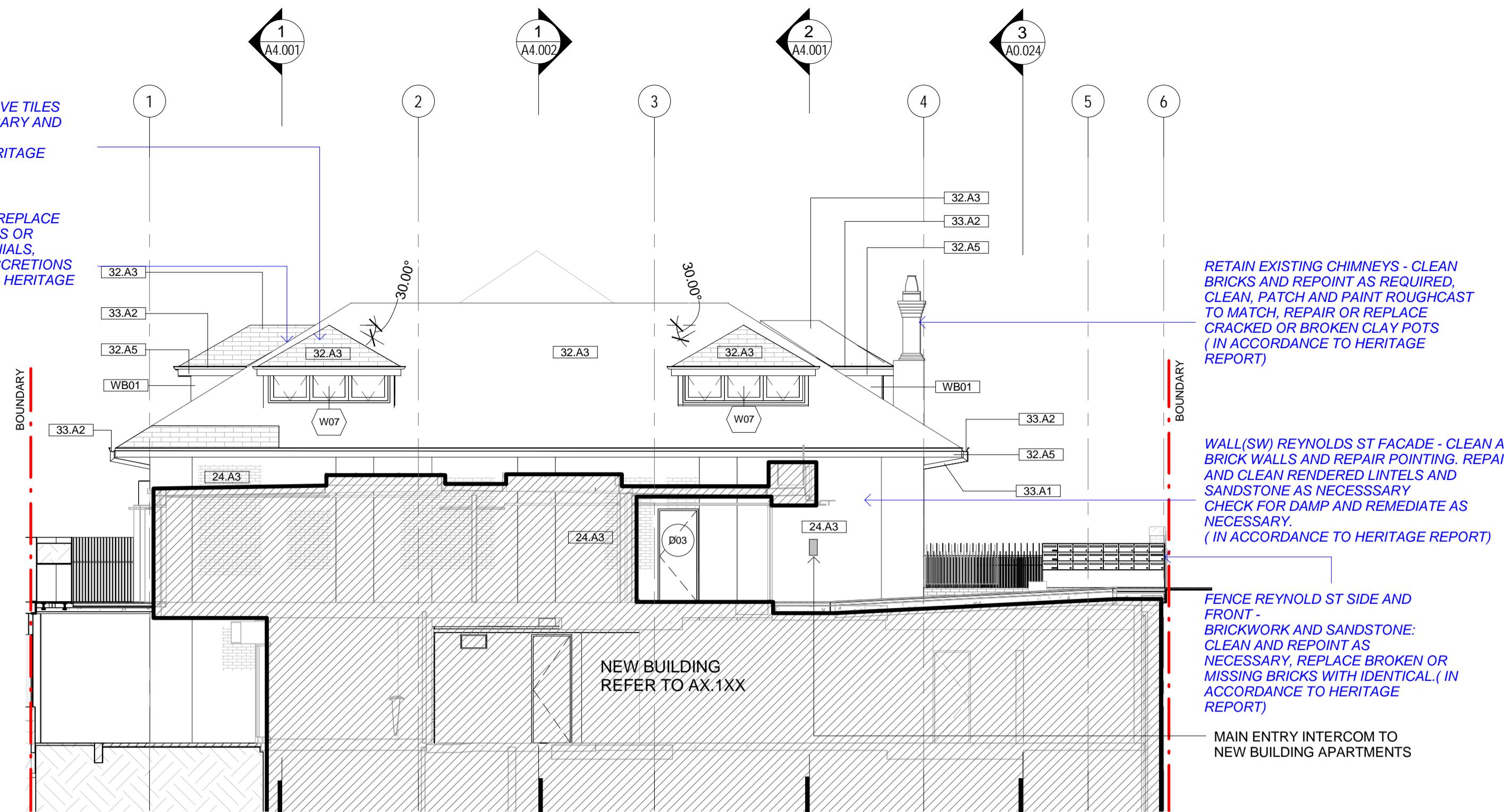
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0.625	1.25
1.25	0.5
1.875	1.25
2.5	2.5

Drawn	Checked	Date	Scale
Author	CS	JUN 2015	As indicated @ A1

is intended that the drawings only represent the visual design of the work. Any technical details are for outline purposes only. The Contractor/ Manufacturer must separately provide all necessary shop drawings or calculations for compliance with any relevant industry, safety standards or NZ standards, regulations by-laws. Dimensions are to be checked on site, any discrepancies are to be referred to Custance Associates Ltd, in writing, prior to proceeding. Use written dimensions only. Do not use scaled dimensions. Check for latest revision issue. Copyright of this drawing is vested with Custance Associates Ltd

4 VENT DORMERS - REMOVE TILES AND TIMBERS AS NECESSARY AND MAKE GOOD (IN ACCORDANCE TO HERITAGE REPORT)

ROOF - CLEAN EXISTING, REPLACE MISSING OR BROKEN TILES OR BROKEN TILES, TRIMS, FINIALS, REMOVE VEGETATION, ACCRETIONS ETC. (IN ACCORDANCE TO HERITAGE REPORT)



KEYNOTE SCHEDULE	
23.A1	75mm X 10mm GALV. STEEL BALUSTERS @ 75mm CRS MAX, MUROBOND BRIDGE PAINT, COLOR - GRAPHITE
24.A3	BRICKS TO MATCH EXISTING BRICKS
32.A3	ROOF TILES TO MATCH EXISTING
32.A5	TIMBER FASCIA: SIZE TO MATCH EXISTING, PAINT FINISH: COLOUR TO MATCH EXISTING WHITE
33.A1	COPPER DOWNPIPE
33.A2	COPPER GUTTER 150mm HALF ROUND

Revision A Description TENDER ISSUE  
B 100% TENDER

Date 22/05/2015  
24/06/2015

### 1 EAST ELEVATION

A1.033

1 : 100

RETAIN EXISTING CHIMNEYS - CLEAN BRICKS AND REPOINT AS REQUIRED, CLEAN, PATCH AND PAINT ROUGHCAST TO MATCH EXISTING, REPAIR OR REPLACE CRACKED OR BROKEN CLAY POTS (IN ACCORDANCE TO HERITAGE REPORT)

VENT DORMERS - REMOVE TILES & TIMBERS AS NECESSARY AND MAKE GOOD (IN ACCORDANCE TO HERITAGE REPORT)

RETAIN EXISTING CHIMNEYS - CLEAN BRICKS AND REPOINT AS REQUIRED, CLEAN, PATCH AND PAINT ROUGHCAST TO MATCH EXISTING, REPAIR OR REPLACE CRACKED OR BROKEN CLAY POTS (IN ACCORDANCE TO HERITAGE REPORT)

FOR CONTINUATION, REFER TO DRAWING A3.101

### 2 SOUTH WEST ELEVATION

A0.012

1 : 100

CASEMENT WINDOW - WHERE NECESSARY SAND FILL GAPS, REPAIR OR REPLACE ANY MISSING SECTIONS WITH MATCHING PAINT (IN ACCORDANCE TO HERITAGE REPORT)

CASEMENT WINDOW - WHERE NECESSARY SAND FILL GAPS, REPAIR OR REPLACE ANY MISSING SECTIONS WITH MATCHING PAINT (IN ACCORDANCE TO HERITAGE REPORT)

WALL(SW) REYNOLDS ST FASADE - CLEAN ALL BRICK WALLS AND REPAIR POINTING, REPAIR AND CLEAN RENDERED LINTELS AND SANDSTONE AS NECESSARY, CHECK FOR DAMP AND REMEDIATE AS NECESSARY (IN ACCORDANCE TO HERITAGE REPORT)

SASH WINDOWS - WHERE NECESSARY SAND FILL GAPS, REPAIR OR REPLACE ANY MISSING SECTIONS WITH MATCHING PAINT (IN ACCORDANCE TO HERITAGE REPORT)

FENCE REYNOLD ST SIDE AND FRONT - BRICKWORK AND SANDSTONE: CLEAN AND REPOINT AS NECESSARY, REPLACE BROKEN OR MISSING BRICKS WITH IDENTICAL (IN ACCORDANCE TO HERITAGE REPORT)

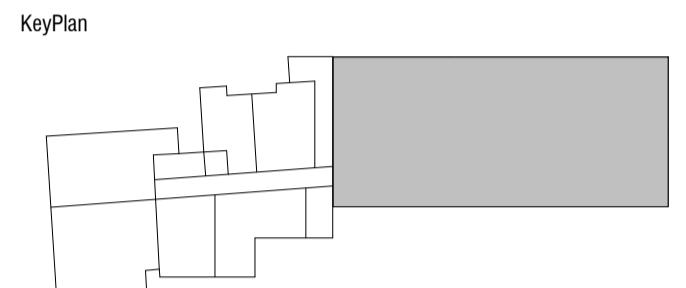
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Revision A Description TENDER ISSUE  
B 100% TENDER

Date 22/05/2015  
24/06/2015

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Project No. 3084 Sheet No. A3.000 Revision B



Consultants

DEVELOPMENT MANAGER	: PDS AUST
STRUCTURAL ENGINEER	: ERBAS
SERVICES ENGINEER	: DESIGN CONFIDENCE
BCA + ACCESS	: RENZO TONIN
ACOUSTIC	: RAPPORT HERITAGE
HERITAGE	: McLAREN TRAFFIC ENGINEERING
TRAFFIC	: BRAHIM STORMWATER CONSULTANTS
CIVIL	: URBIS
LANDSCAPE	: CITY PLAN SERVICES
PCA	

Client

WENTWORTH EQUITIES



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Project

BALMAIN APARTMENTS  
100-104 Reynolds St, Balmain

Sheet Title

HERITAGE BUILDING ELEVATIONS

SCALE @ A1  
1:100  
0 2.5 5

Drawn SP Checked CS Date JUN 2015 Scale 1:100 @ A1

ROOF - CLEAN EXISTING, REPLACE MISSING OR BROKEN TILES OR BROKEN TILES, TRIMS, FINIALS, REMOVE VEGETATION, ACCRECTIONS ETC. (IN ACCORDANCE TO HERITAGE REPORT)

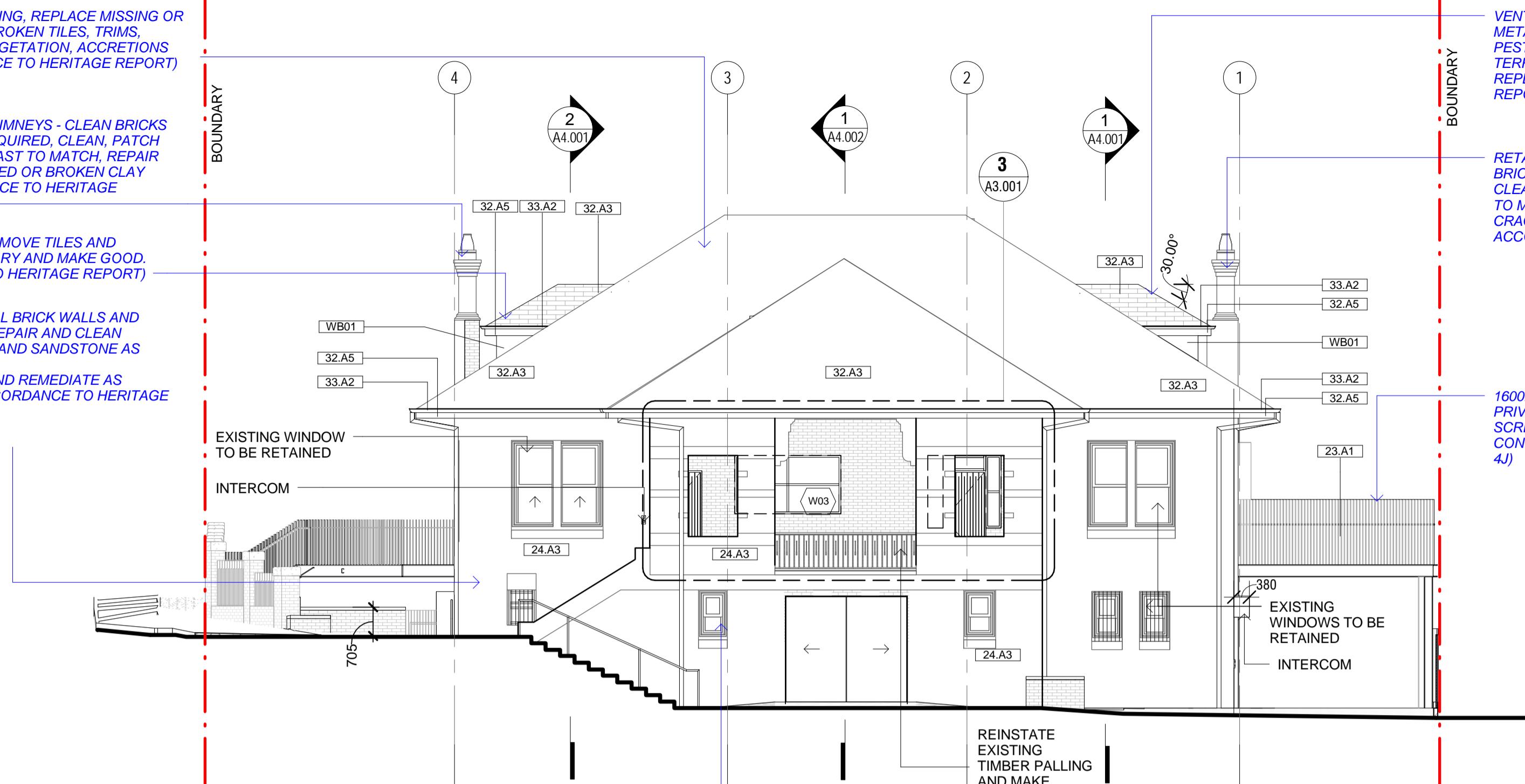
RETAIN EXISTING CHIMNEYS - CLEAN BRICKS AND REPOINT AS REQUIRED, CLEAN, PATCH AND PAINT ROUGHCAST TO MATCH, REPAIR OR REPLACE CRACKED OR BROKEN CLAY POTS (IN ACCORDANCE TO HERITAGE REPORT)

VENT DORMERS - REMOVE TILES AND TIMBER AS NECESSARY AND MAKE GOOD. (IN ACCORDANCE TO HERITAGE REPORT)

WALL(S) - CLEAN ALL BRICK WALLS AND REPAIR POINTING, REPAIR AND CLEAN RENDERED LINTELS AND SANDSTONE AS NECESSARY. CHECK FOR DAMP AND REMEDIATE AS NECESSARY. (IN ACCORDANCE TO HERITAGE REPORT)

REYNOLDS ST

2 SOUTH EAST ELEVATION  
A0.012 1:100



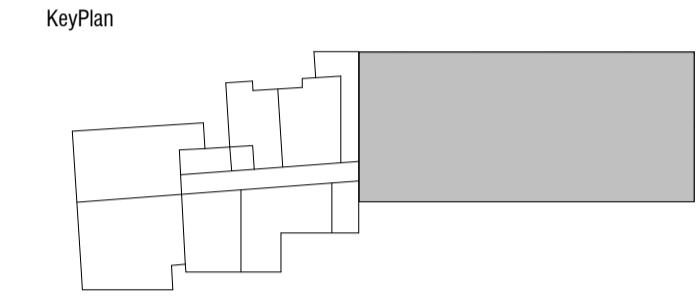
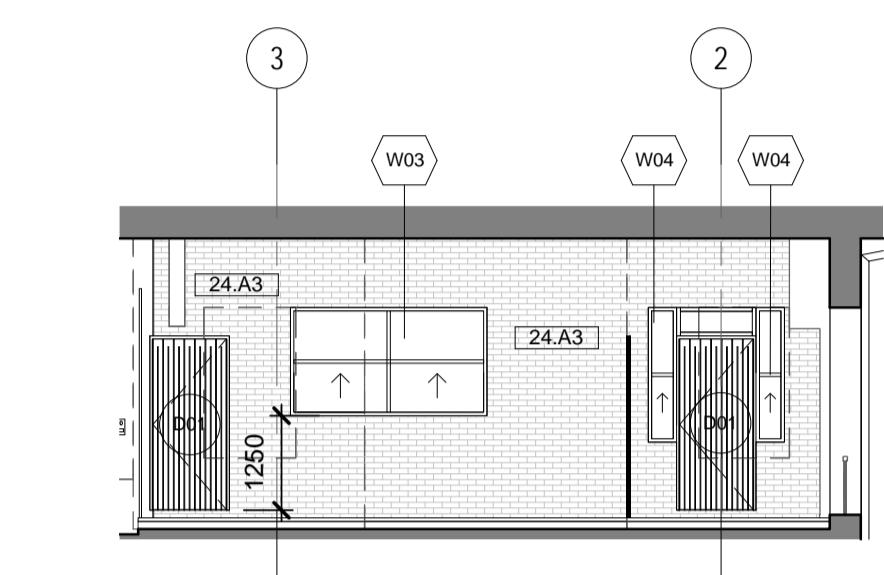
VENT DORMERS - CLEAN AND REPOINT METAL, REMOVE ANY VEGETATION AND PESTS, CHECK FOR BROKEN OR MISSING TERRA COTTA ELEMENTS AND REPAIR OR REPLACE. (IN ACCORDANCE TO HERITAGE REPORT)

#### KEYNOTE SCHEDULE

- 23.A1 75mm X 10mm GALV. STEEL BALUSTERS @ 75mm CRS MAX, MUROBOND BRIDGE PAINT, COLOR - GRAPHITE  
23.A2 8mm THICK GRADE A' LAMINATED SAFETY GLASS  
24.A3 BRICKS TO MATCH EXISTING BRICKS  
24.A7 20mm THICK PAINTED STEEL PORTAL FRAME, MUROBOND BRIDGE PAINT, COLOR - CARBON MUROBOND BRIDGE PAINT  
28.A2 ROOF TILES TO MATCH EXISTING  
32.A3 TIMBER FASCIA: SIZE TO MATCH EXISTING, PAINT FINISH: COLOUR TO MATCH EXISTING WHITE COPPER DOWNPIPE  
33.A1 COPPER GUTTER 150mm HALF ROUND  
33.A2 UNIVERSAL COLUMN, REFER TO S.ENG DRAWINGS.  
SC3

Revision Description  
A TENDER ISSUE  
B 100% TENDER

Date  
22/05/2015  
24/06/2015



DEVELOPMENT MANAGER : PDS AUST  
STRUCTURAL ENGINEER : ERBAS  
SERVICES ENGINEER : DESIGN CONFIDENCE  
BCA + ACCESS : RENZO TONIN  
ACOUSTIC : RAPOPORT HERITAGE  
HERITAGE : McLaren TRAFFIC ENGINEERING  
TRAFFIC : BRAHIM STORMWATER CONSULTANTS  
CIVIL : URBIS  
LANDSCAPE : CITY PLAN SERVICES  
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WENTWORTH EQUITIES



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Project  
BALMAIN APARTMENTS  
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Sheet Title  
HERITAGE BUILDING ELEVATIONS

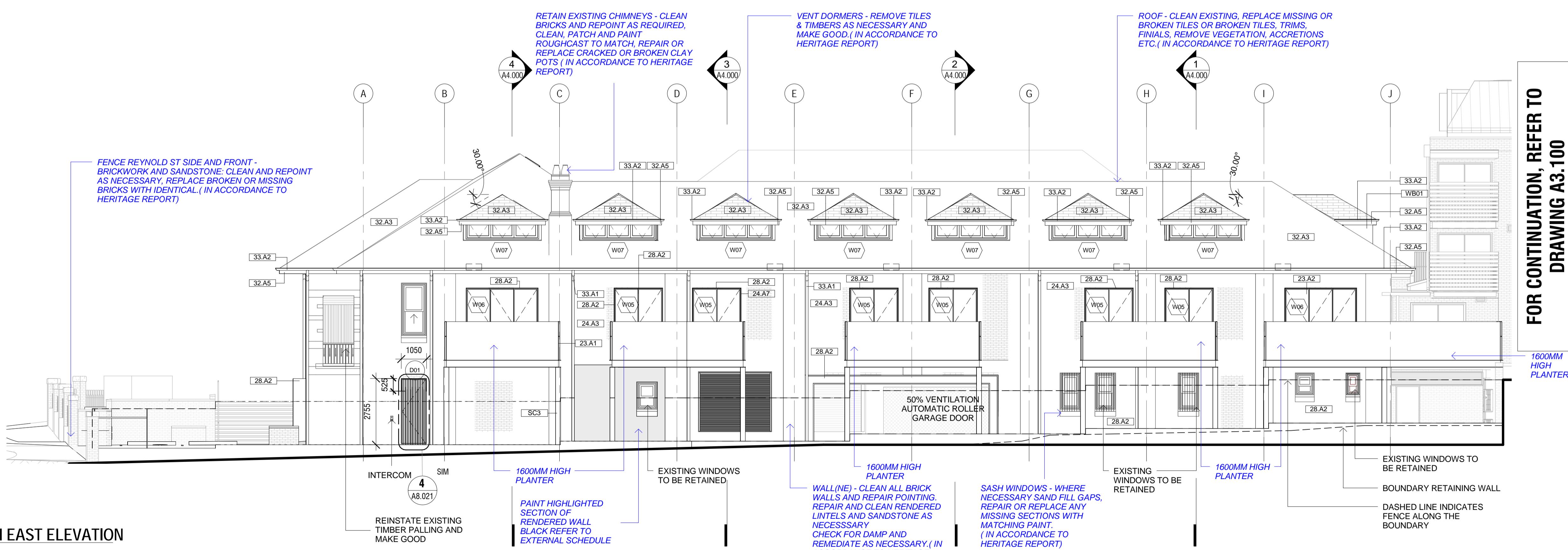
SCALE @ A1  
1:100  
0 2.5 5

Drawn Checked Date Scale  
SP CS JUN 2015 1:100 @ A1

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Project No. Sheet No. Revision  
3084 A3.001 B

1 NORTH EAST ELEVATION  
A0.012 1:100



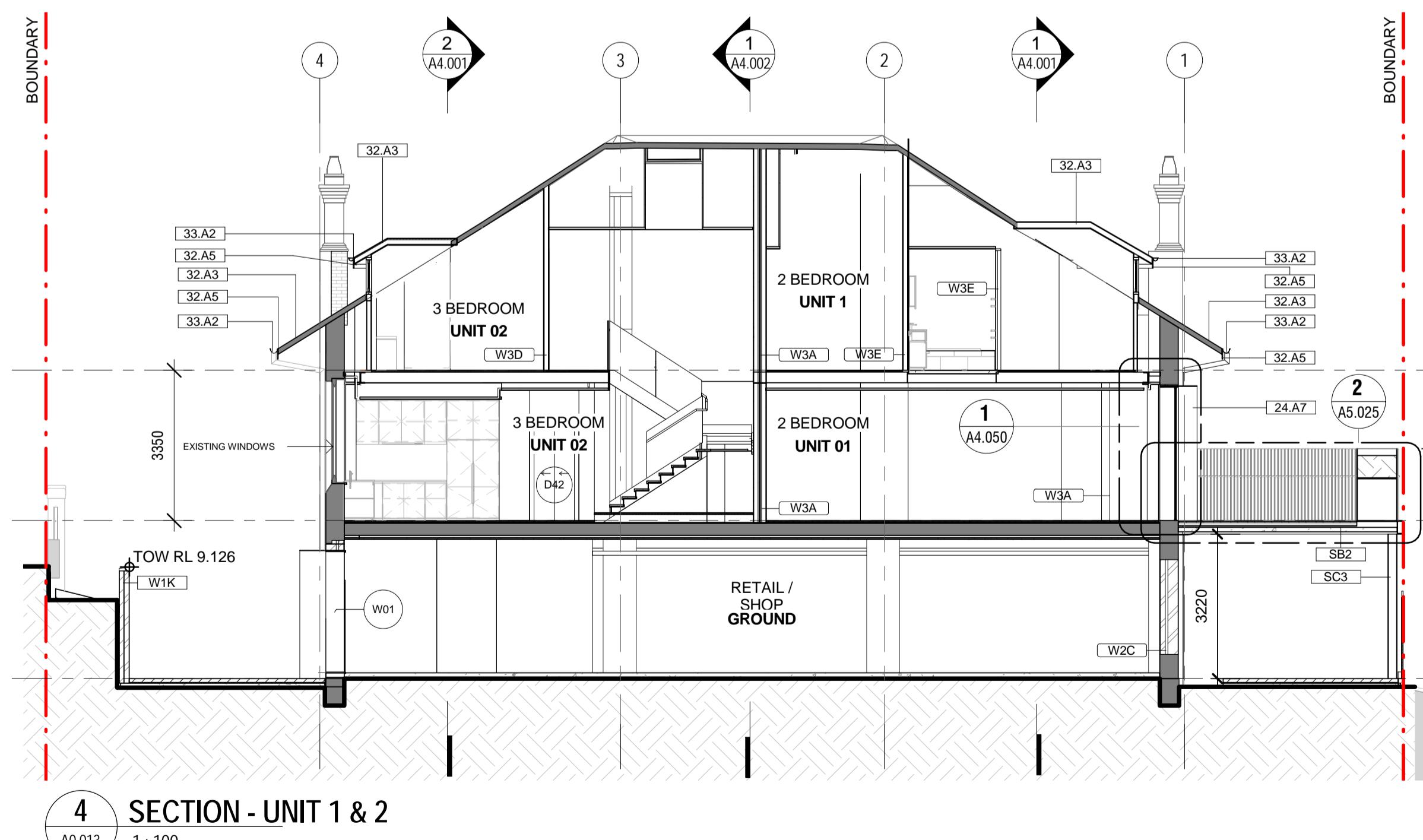
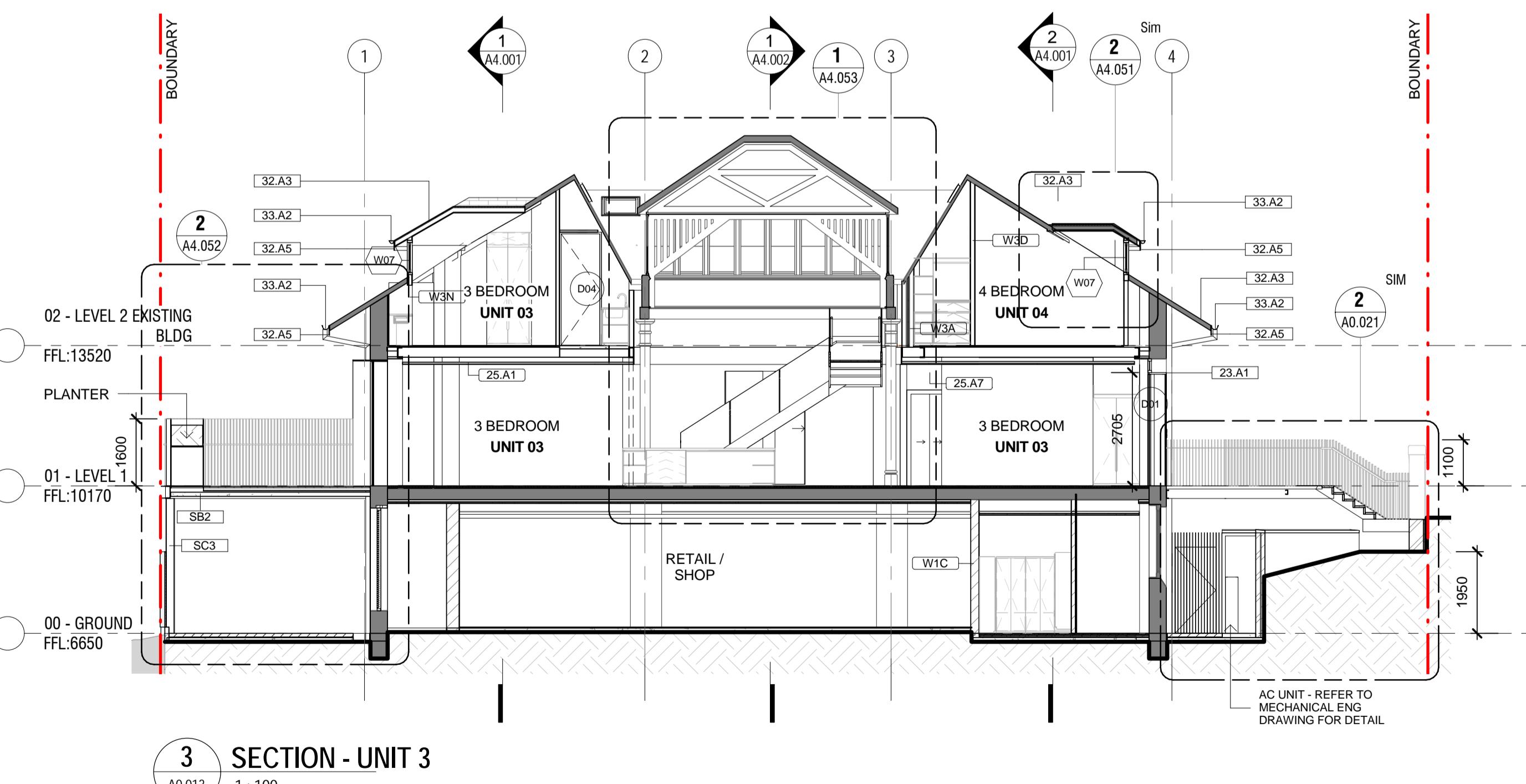
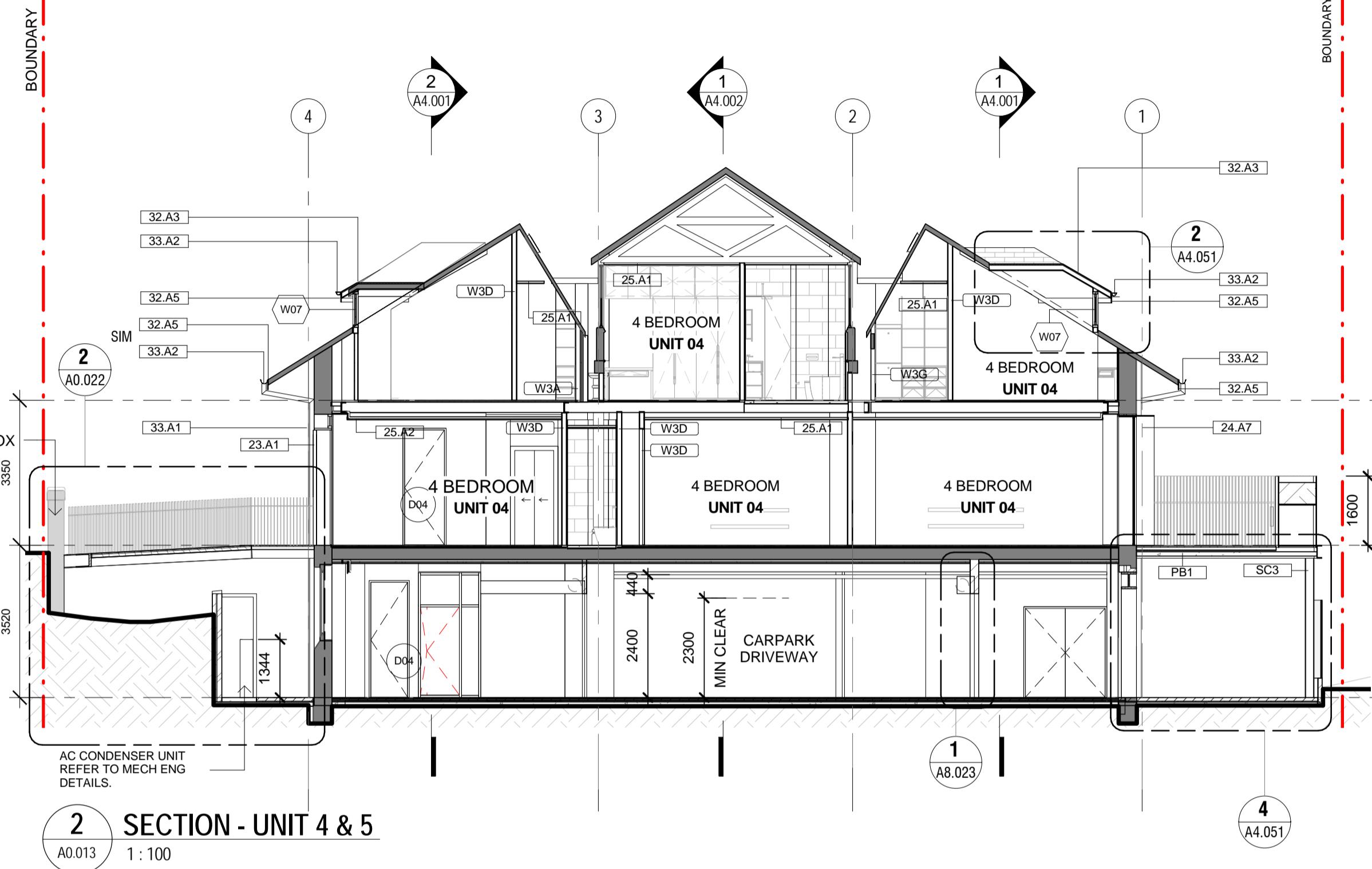
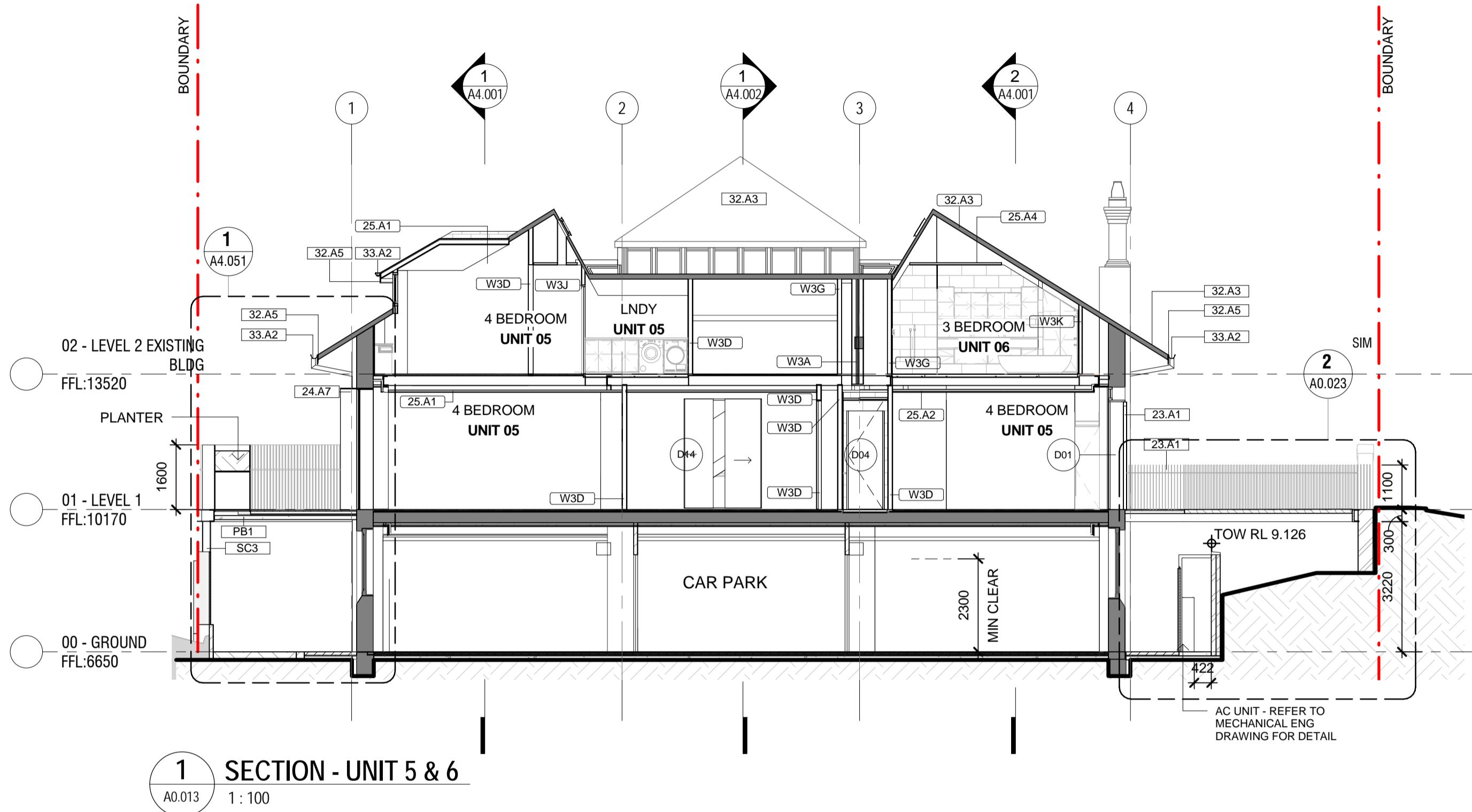
FOR TENDER ONLY.  
NOT FOR CONSTRUCTION  
A3.001

KEYNOTE SCHEDULE	
23.A1	75mm X 10mm GALV. STEEL BALUSTERS @ 75mm CRS MAX, MUROBOND BRIDGE PAINT, COLOR - GRAPHITE
24.A7	20mm THICK PAINTED STEEL PORTAL FRAME, MUROBOND BRIDGE PAINT, COLOR - CARBON
25.A1	13mm PLASTERBOARD CEILING ON EITHER 70x35mm TIMBER BATTENS AT 600 CRS OR SUSPENDED RONDO SYSTEM. LININGS STOPPED TO F4 FINISH. SELECTED PAINT FINISH
25.A2	FIRE RATED PLASTERBOARD CEILING 90/90/90 FRL. REFER TO A5.010 FOR CEILING DETAILS
25.A4	WATER RESISTANT PLASTERBOARD. REFER TO A5.010 FOR CEILING DETAILS
25.A7	FIRE RATED WATER RESISTANT PLASTERBOARD CEILING 90/90/90 FRL. REFER TO A5.010 FOR CEILING DETAILS
32.A3	ROOF TILES TO MATCH EXISTING

KEYNOTE SCHEDULE	
32.A5	TIMBER FASCIA: SIZE TO MATCH EXISTING, PAINT FINISH: COLOUR TO MATCH EXISTING WHITE COPPER DOWNPIPE
33.A1	COPPER GUTTER 150mm HALF ROUND
PB1	PFC. FINISH - MUROBOND BRIDGE PAINT, COLOR - CARBON. REFER TO S.ENG DRAWING
SB2	UNEQUAL ANGLE, FINISH - MUROBOND BRIDGE PAINT, COLOR - CARBON, REFER TO S.ENG DRAWING.
SC3	UNIVERSAL COLUMN, REFER TO S.ENG DRAWINGS.

Revision	Description
A	TENDER ISSUE
B	100% TENDER

Date  
22/05/2015  
24/06/2015



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2000, Australia  
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**Project**  
**BALMAIN APARTMENTS**  
100-104 Reynolds St, Balmain

**Sheet Title**  
**HERITAGE BUILDING SECTIONS**

SCALE @ A1  
1:100  
0 2.5 5

Drawn SP Checked CS Date JUN 2015 Scale 1:100 @ A1

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Project No. 3084 Sheet No. A4.000 Revision B

**KEYNOTE SCHEDULE**

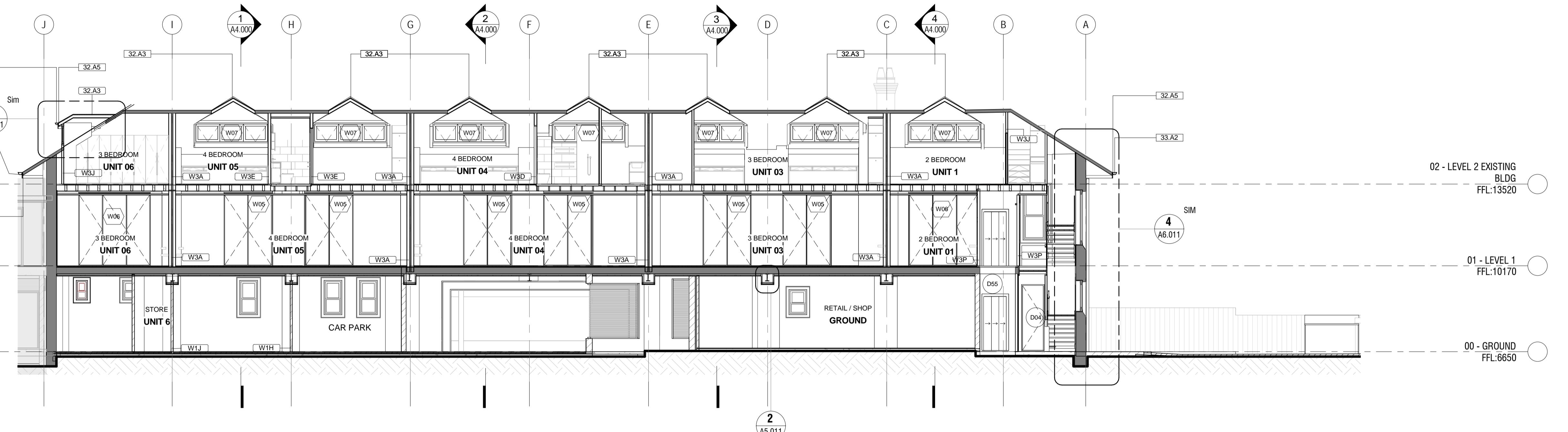
25.A1 13mm PLASTERBOARD CEILING ON EITHER 70x35mm TIMBER BATTENS AT 600 CRS OR SUSPENDED RONDO SYSTEM. LININGS STOPPED TO F4 FINISH. SELECTED PAINT FINISH  
 25.A2 FIRE RATED PLASTERBOARD CEILING 90/90/90 FRL. REFER TO A5.010 FOR CEILING DETAILS  
 25.A3 FIRE RATED PLASTERBOARD CEILING 120/120/120 FRL. REFER TO A5.010 FOR CEILING AND FLOOR DETAILS  
 32.A3 ROOF TILES TO MATCH EXISTING  
 32.A5 TIMBER FASCIA: SIZE TO MATCH EXISTING, PAINT FINISH : COLOUR TO MATCH EXISTING WHITE

**KEYNOTE SCHEDULE**

33.A2 COPPER GUTTER 150mm HALF ROUND

**FOR CONTINUATION, REFER TO DRAWING A4.100**

**1 SECTION 05**  
A0.014 1 : 100



**FOR CONTINUATION, REFER TO DRAWING A4.100**

**2 SECTION 06**  
A0.014 1 : 100



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**Project**  
**BALMAIN APARTMENTS**  
100-104 Reynolds St, Balmain

**Sheet Title**  
**HERITAGE BUILDING SECTIONS**

**SCALE @ A1**  
1:100  
0 2.5 5

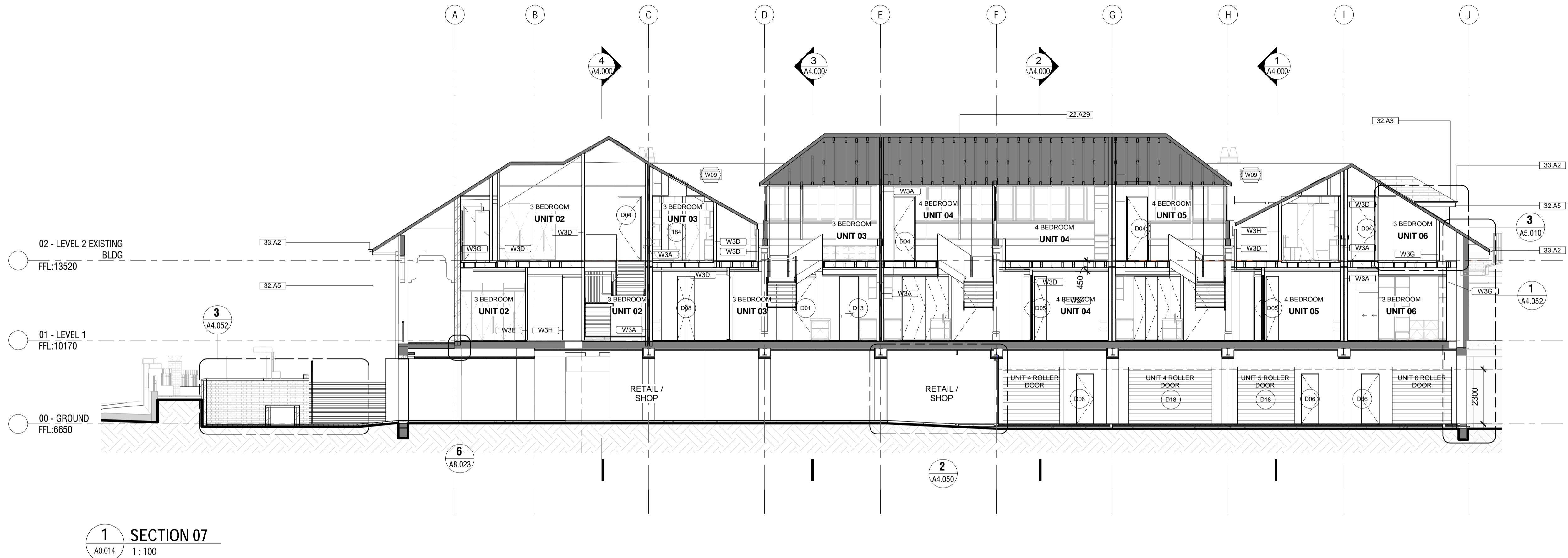
Drawn Author	Checked CS	Date JUN 2015	Scale 1:100 @ A1
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**KEYNOTE SCHEDULE**

22.A29	RELOCATE ORNAMENTAL TRUSSES AND MAKE GOOD
32.A3	ROOF TILES TO MATCH EXISTING
32.A5	TIMBER FASCIA: SIZE TO MATCH EXISTING, PAINT FINISH : COLOUR TO MATCH EXISTING WHITE
33.A2	COPPER GUTTER 150mm HALF ROUND



1 SECTION 07  
A0.014 1:100

KeyPlan	
Consultants	
DEVELOPMENT MANAGER	: PDS AUST
STRUCTURAL ENGINEER	: PDS AUST
SERVICES ENGINEER	: ERBAS
BCA + ACCESS	: DESIGN CONFIDENCE
ACOUSTIC	: RENZO TONIN
HERITAGE	: RAPPOPORT HERITAGE
TRAFFIC	: MCLAREN TRAFFIC ENGINEERING
CIVIL	: BRAHIM STORMWATER CONSULTANTS
LANDSCAPE	: URBIS
PCA	: CITY PLAN SERVICES
Client	
WENTWORTH EQUITIES	



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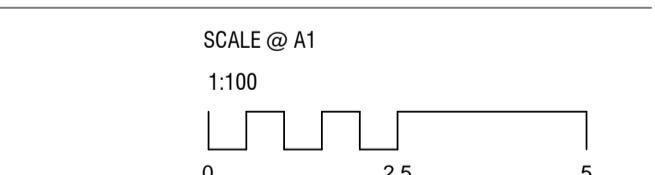
Project

**BALMAIN APARTMENTS**

100-104 Reynolds St, Balmain

Sheet Title

**HERITAGE BUILDING SECTIONS**

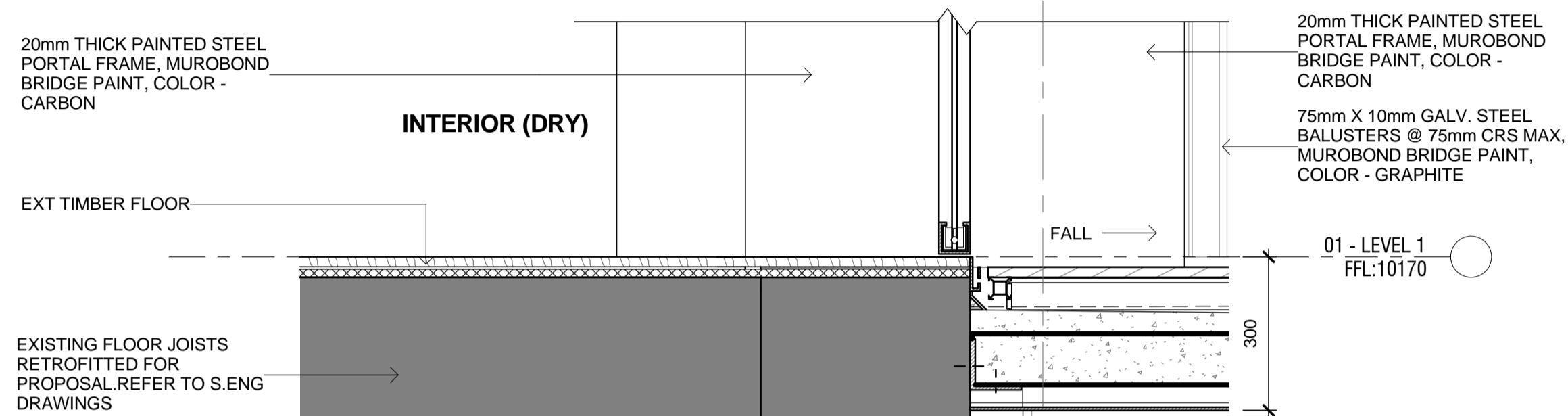
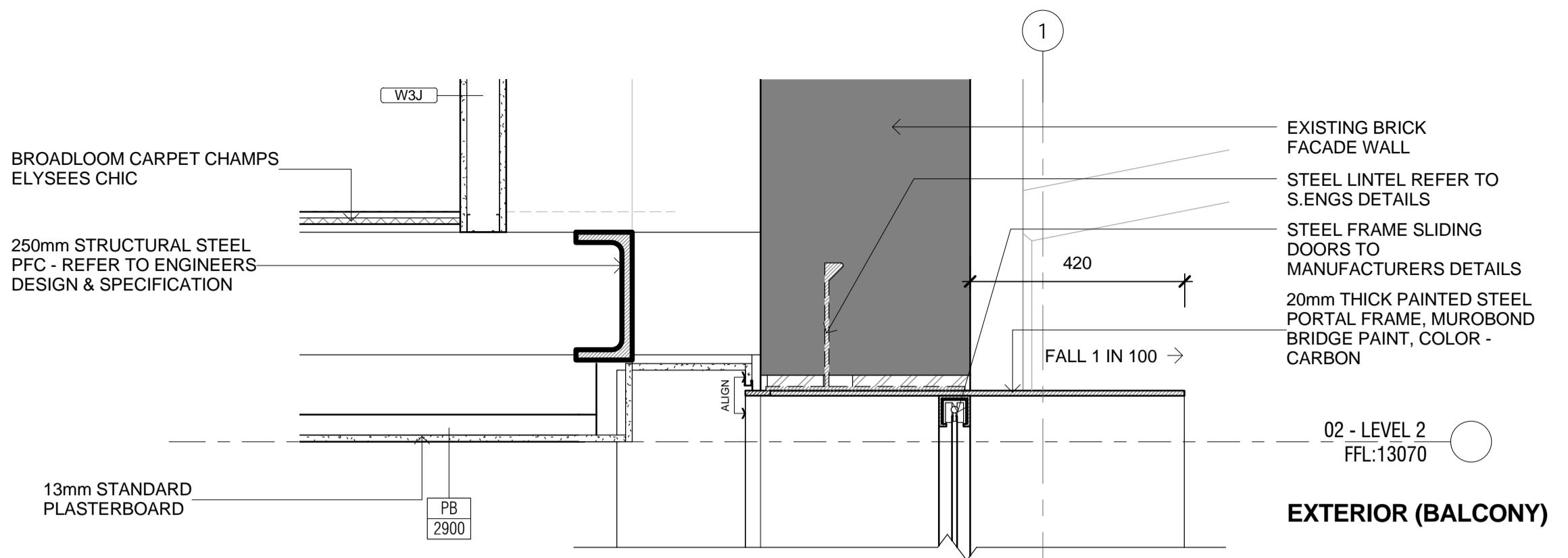


Drawn	Checked	Date	Scale
CS		JUN 2015	1:100 @ A1

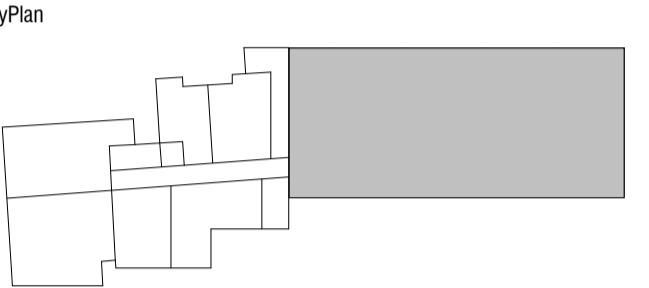
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Revision	Description	Date
A	TENDER ISSUE	22/05/2015
B	100% TENDER	24/06/2015



1 BALCONY DOORS DETAIL SECTION  
A4.000 1 : 10



Consultants  
DEVELOPMENT MANAGER : PDS AUST  
STRUCTURAL ENGINEER : ERBAS  
SERVICES ENGINEER : DESIGN CONFIDENCE  
BCA + ACCESS : RENZO TONIN  
ACOUSTIC : RAPPORT HERITAGE  
HERITAGE : McLaren TRAFFIC ENGINEERING  
TRAFFIC : IBRAHIM STORMWATER CONSULTANTS  
CIVIL : URBIS  
LANDSCAPE : URBIS  
PCA : CITY PLAN SERVICES

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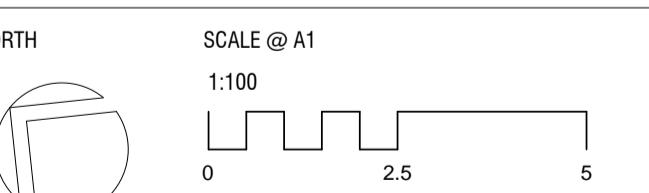


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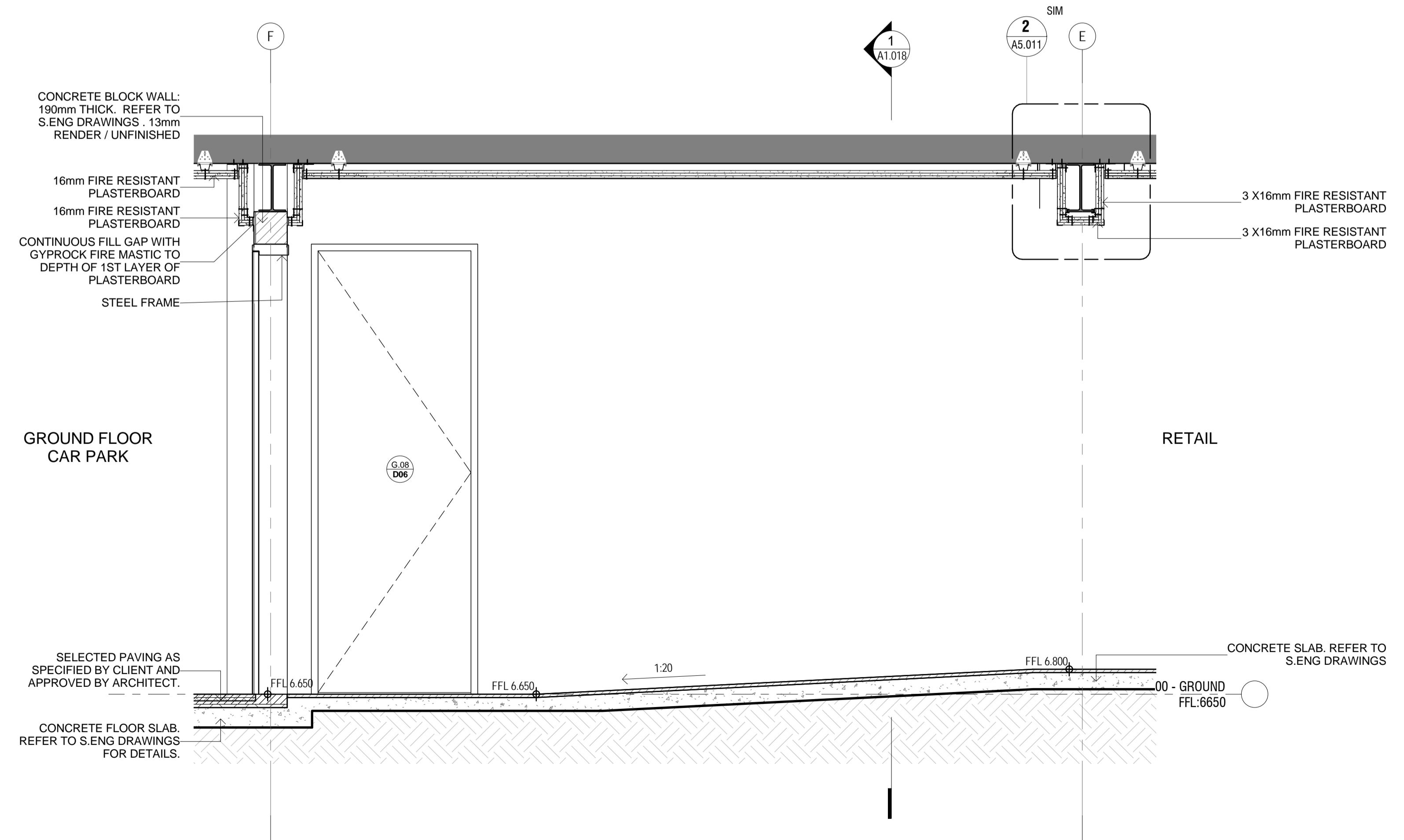
Sheet Title

TYPICAL BALCONY DOOR DETAILS



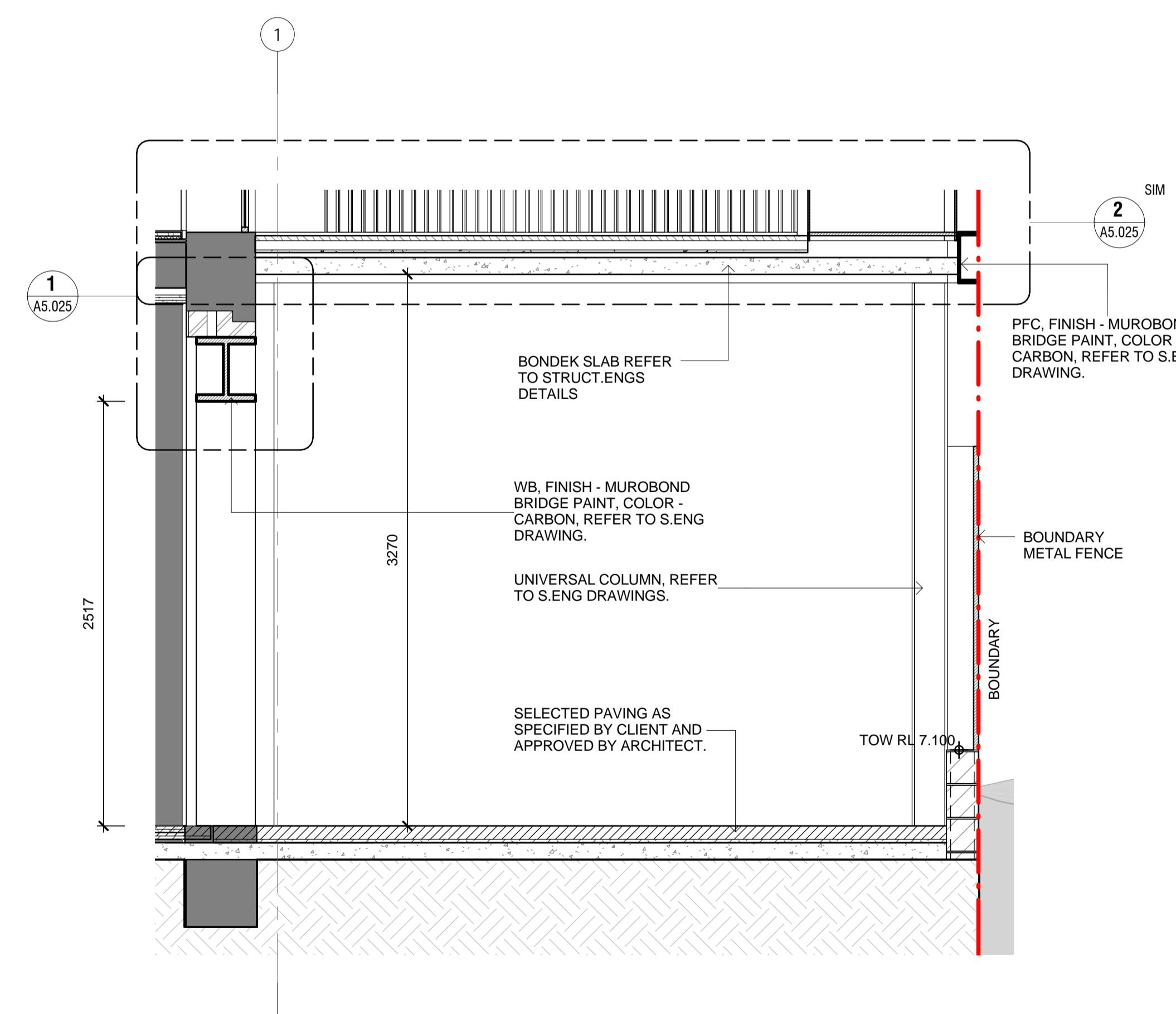
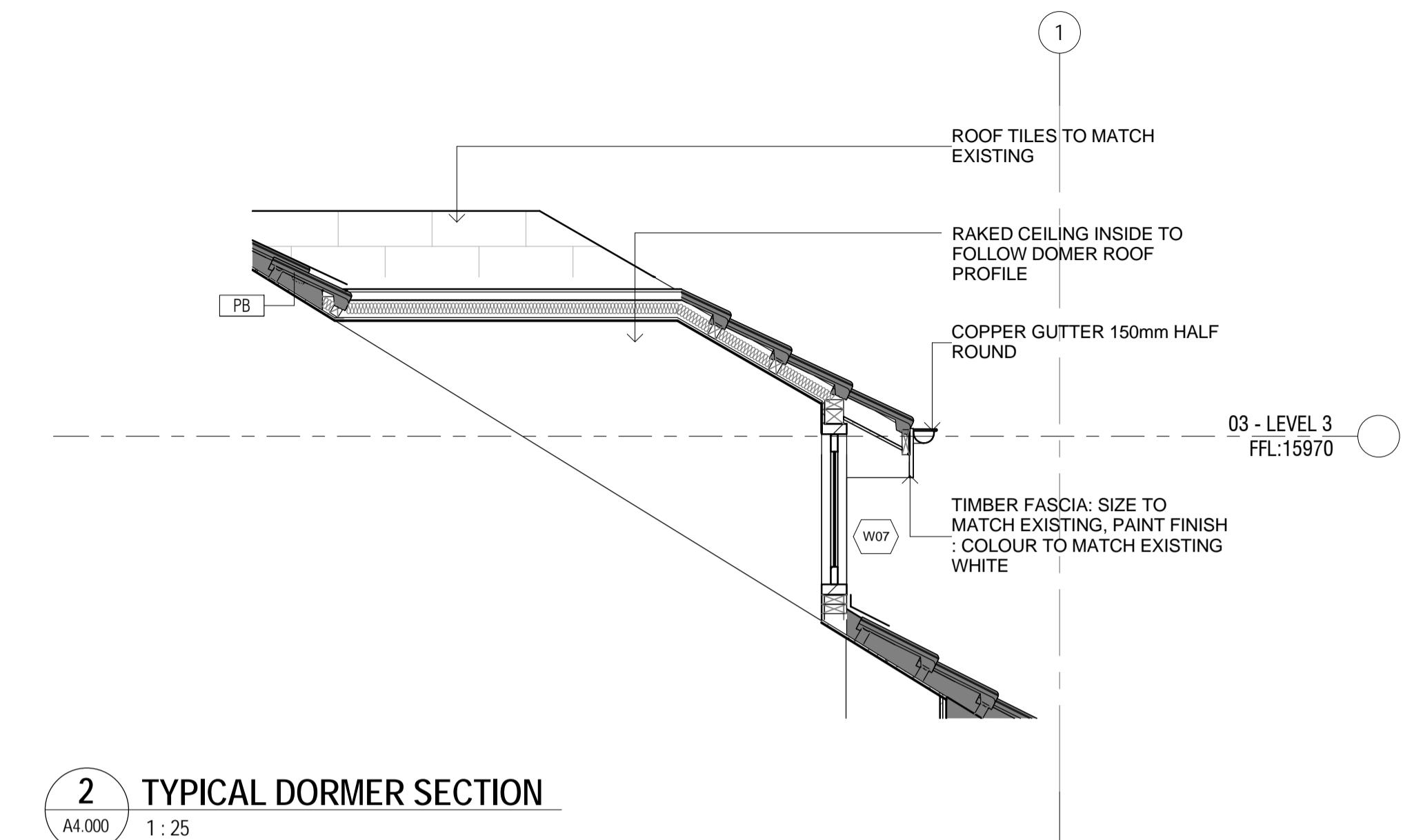
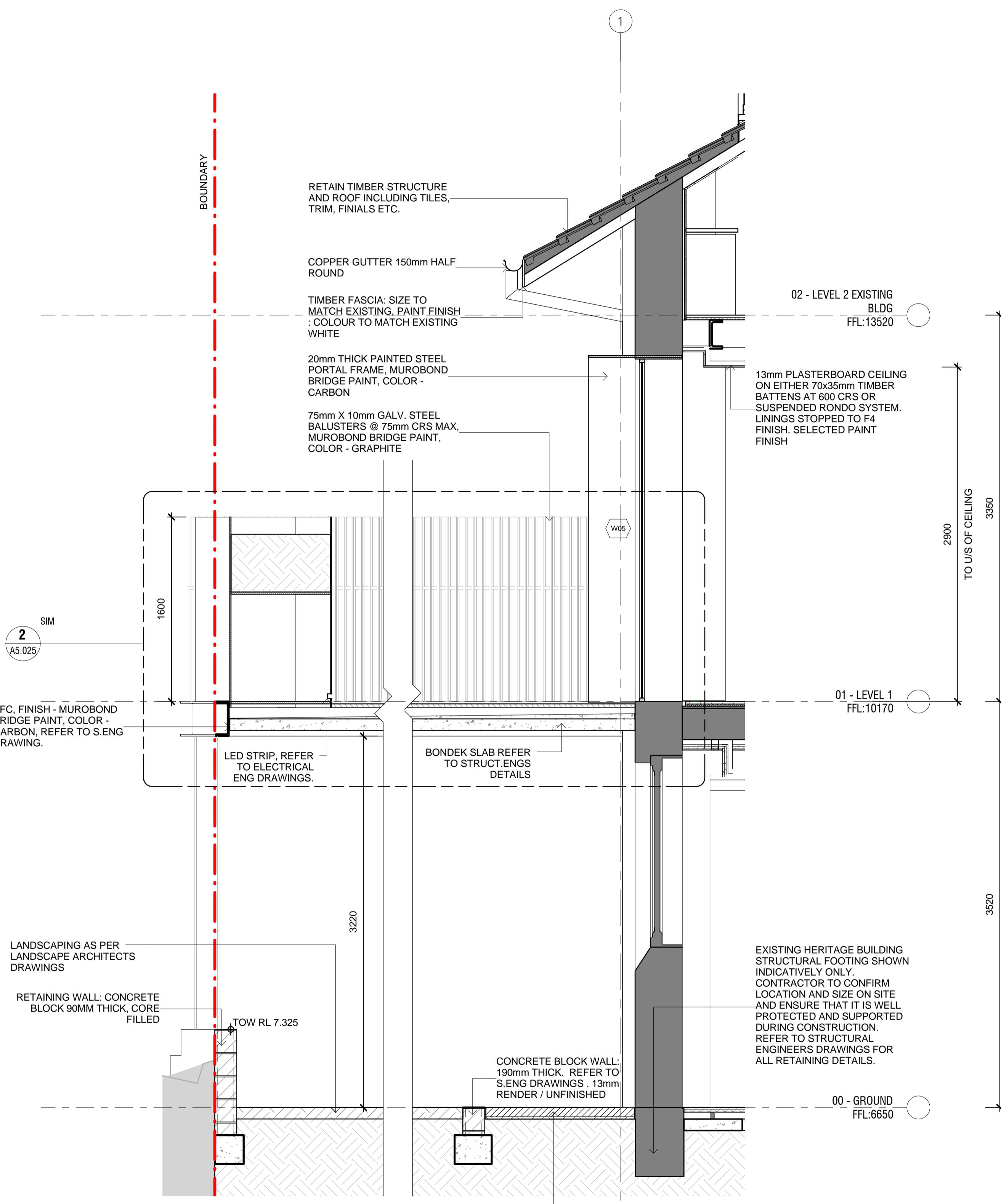
Drawn Author CS Checked Date JUN 2015 Scale As indicated @ A1

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2 CARPARK RETAIL ENTRY SECTION  
A1.021 1 : 20

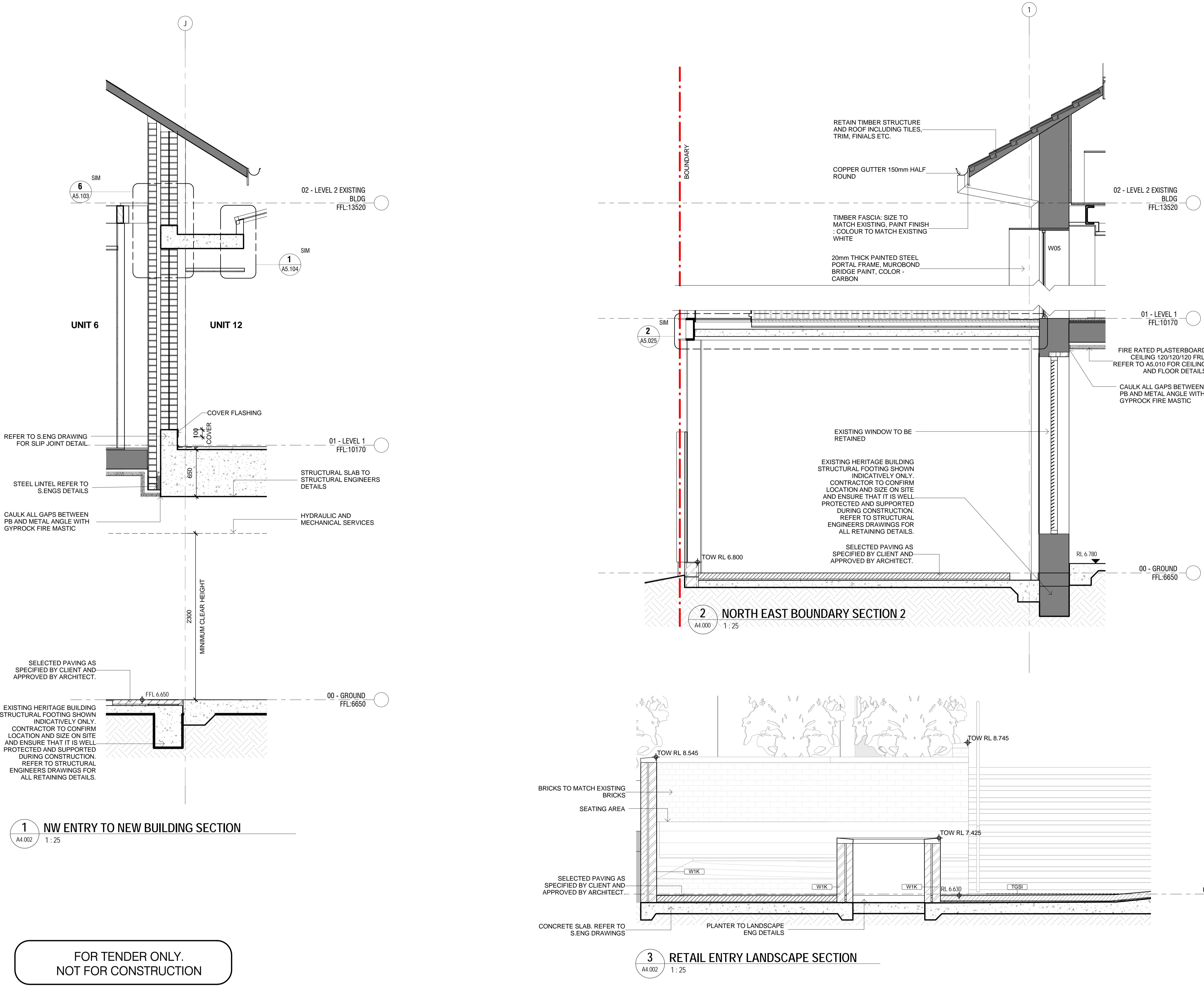
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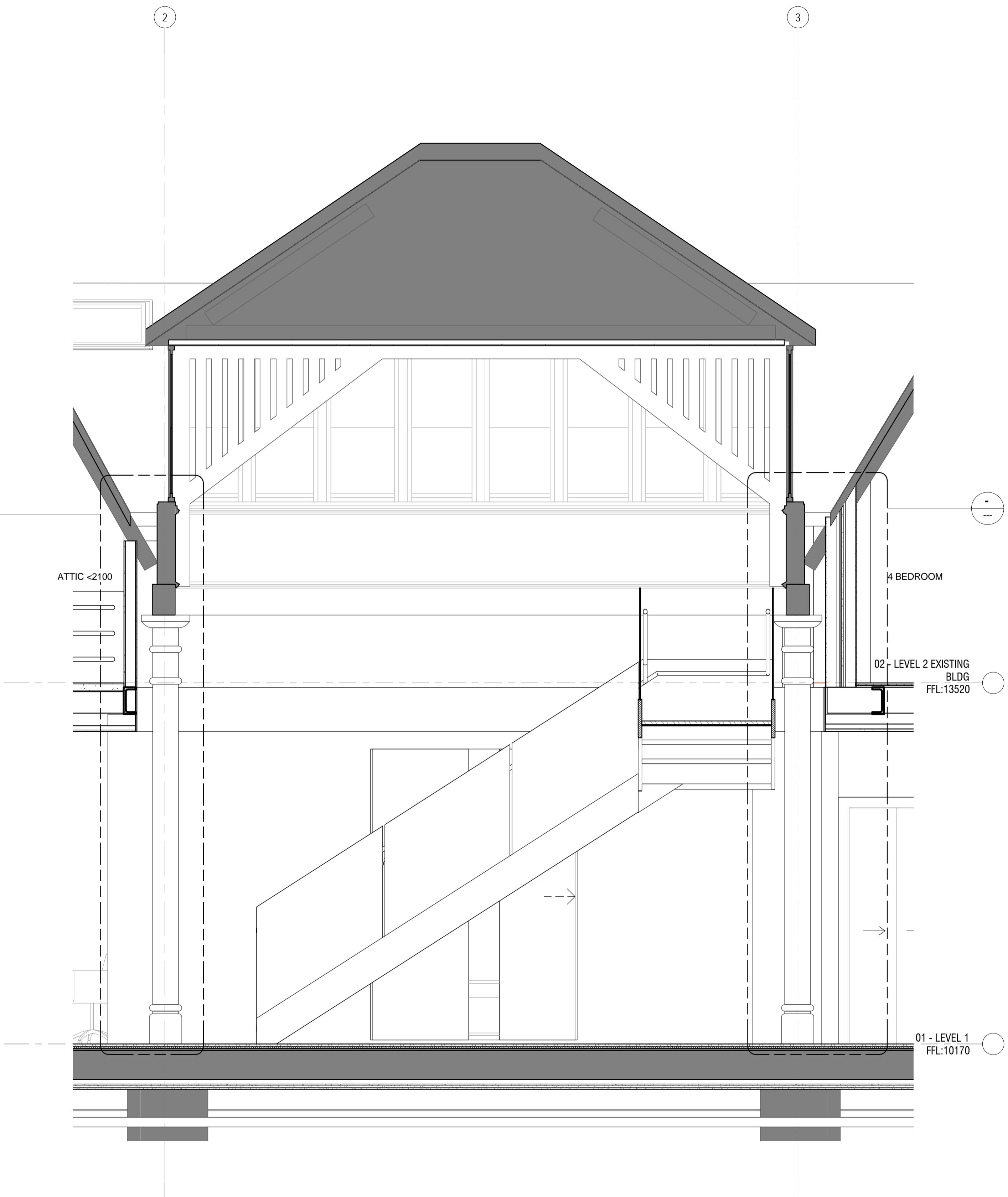


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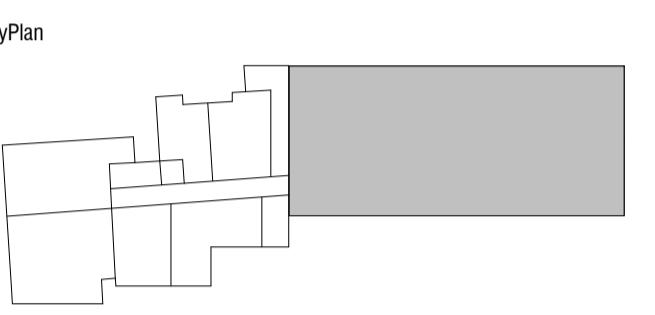
Revision	Description	Date
A	TENDER ISSUE	22/05/2015
B	100% TENDER	24/06/2015

**Date**





1 Unit 3 Heritage Atrium Section  
1:25



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SERVICES ENGINEER	:	DESIGN CONFIDENCE
BCA + ACCESS	:	RENZO TONIN
ACOUSTIC	:	RAPPOPORT HERITAGE
HERITAGE	:	MCLAREN TRAFFIC ENGINEERING
TRAFFIC	:	IBRAHIM STORMWATER CONSULTANTS
CIVIL	:	URBIS
LANDSCAPE	:	URBIS
PCA	:	CITY PLAN SERVICES

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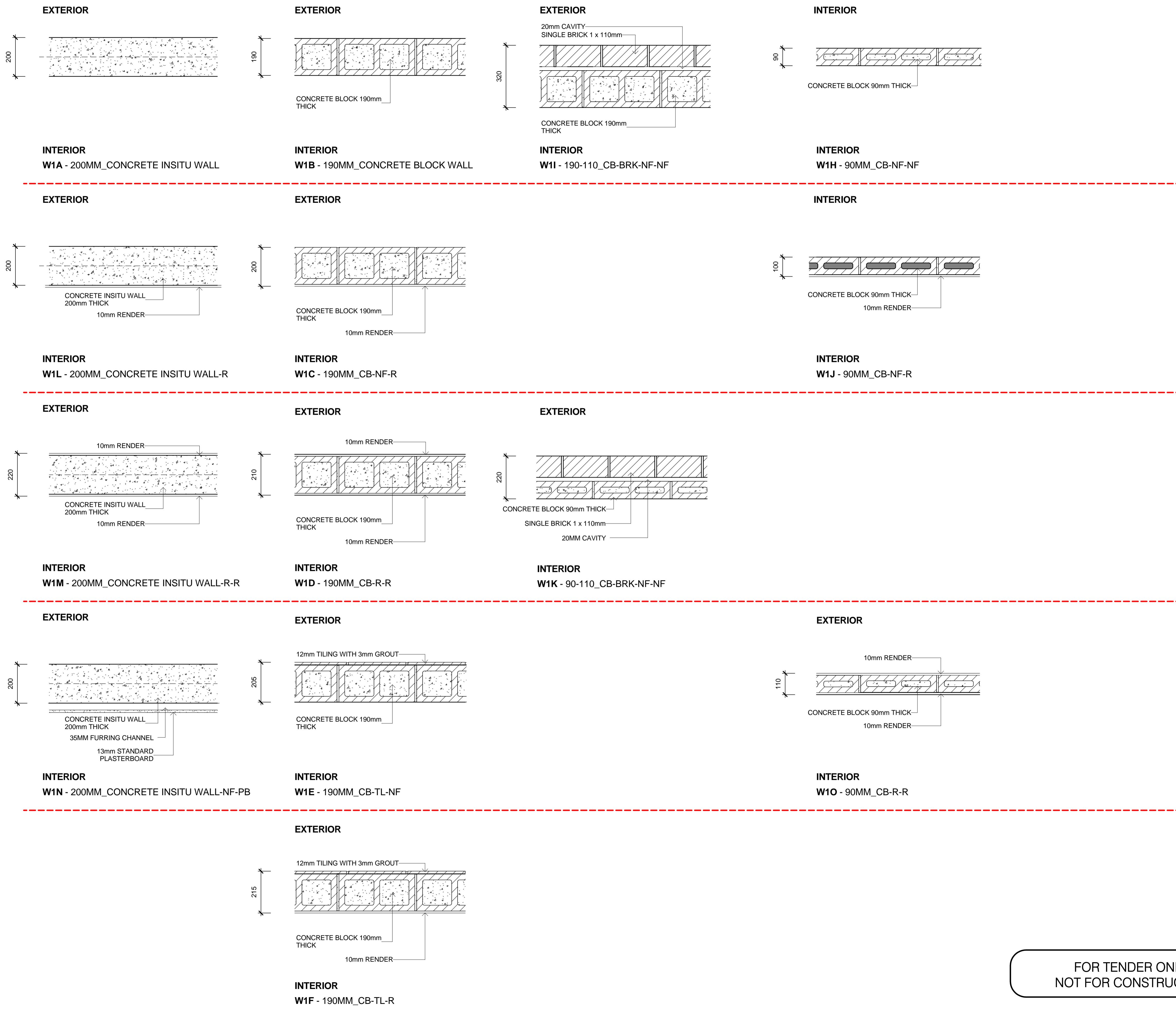
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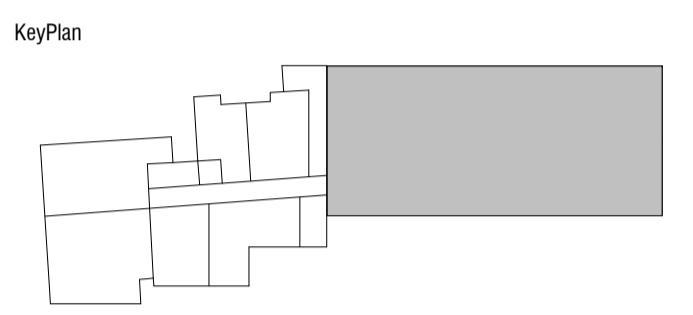
**Sheet Title**  
**DETAIL SECTIONS**

Drawn Author	Checked Author	Date	Scale
		JUN 2015	1:25 @ A1

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SERVICES ENGINEER	:	DESIGN CONFIDENCE
BCA + ACCESS	:	RENZO TONIN
ACOUSTIC	:	RAPOPORT HERITAGE
HERITAGE	:	MCLAREN TRAFFIC ENGINEERING
TRAFFIC	:	IBRAHIM STORMWATER CONSULTANTS
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LANDSCAPE	:	
PCA	:	CITY PLAN SERVICES

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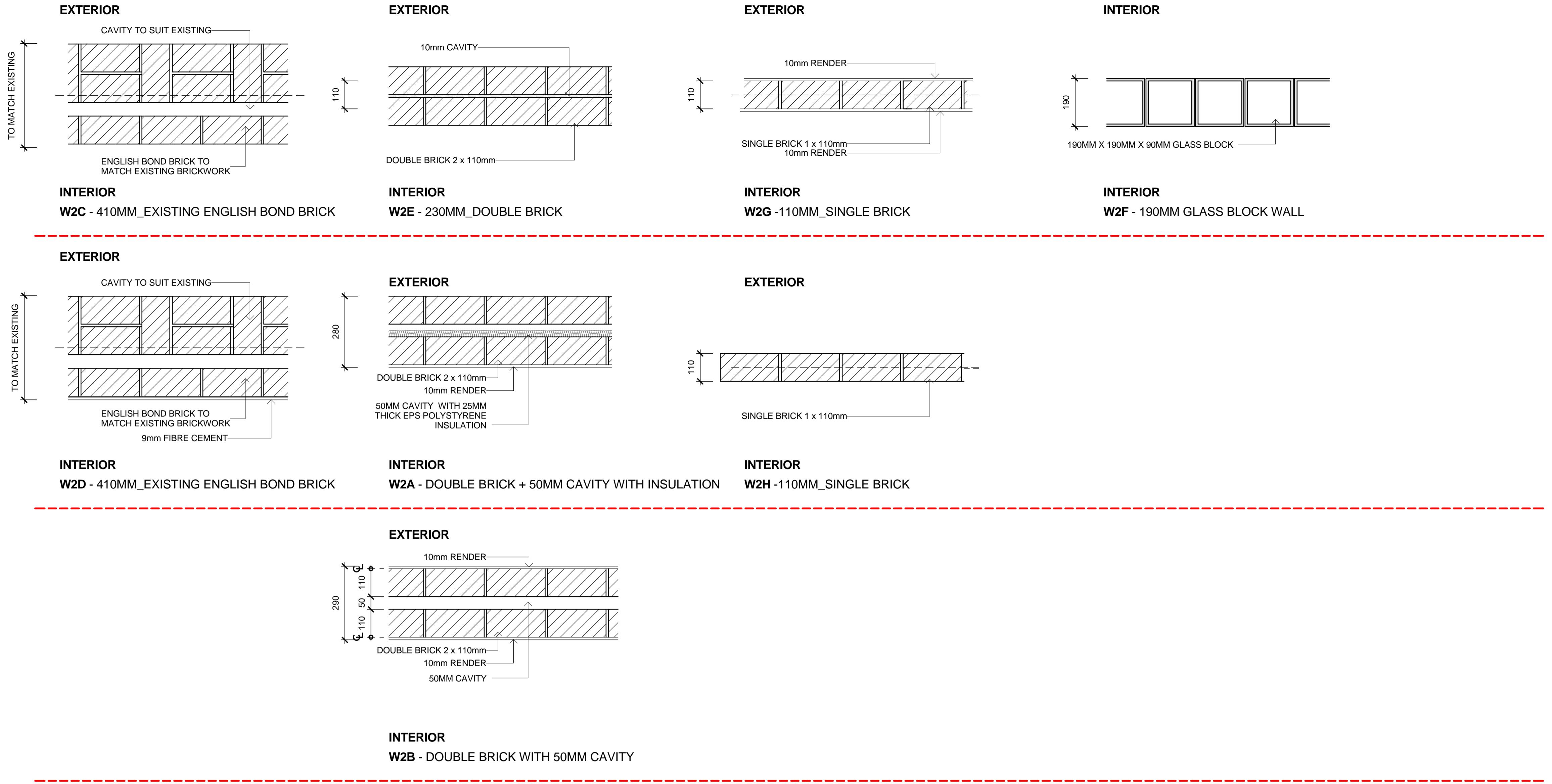
**Project**  
**BALMAIN APARTMENTS**  
100-104 Reynolds St, Balmain

**Sheet Title**  
**WALL TYPES - WALL TYPE 01**

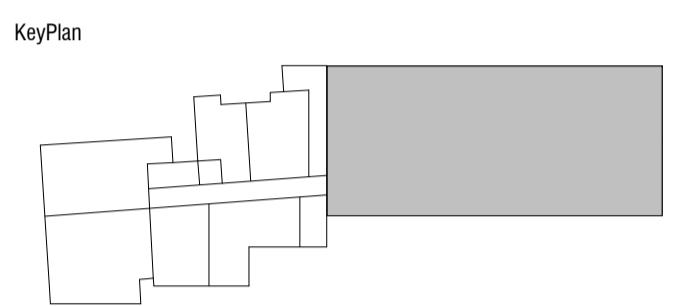
**SCALE @ A1**  
1:100  
0 2.5 5  
**Drawn Author** CS **Checked Author** CS **Date** JUN 2015 **Scale** 1:10 @ A1

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**Project No.** 3084 **Sheet No.** A5.001 **Revision** B



Revision	Description	Date
A	TENDER ISSUE	22/05/2015
B	100% TENDER	24/06/2015



**Consultants**

DEVELOPMENT MANAGER	: PDS AUST
STRUCTURAL ENGINEER	: PDS AUST
SERVICES ENGINEER	: ERBAS
BCA + ACCESS	: DESIGN CONFIDENCE
ACOUSTIC	: RENZO TONIN
HERITAGE	: RAPPOPORT HERITAGE
TRAFFIC	: MCLAREN TRAFFIC ENGINEERING
CIVIL	: IBRAHIM STORMWATER CONSULTANTS
LANDSCAPE	: URBIS
PCA	: CITY PLAN SERVICES

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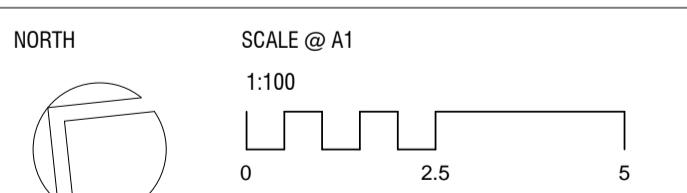


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**Project**  
BALMAIN APARTMENTS  
100-104 Reynolds St, Balmain

**Sheet Title**

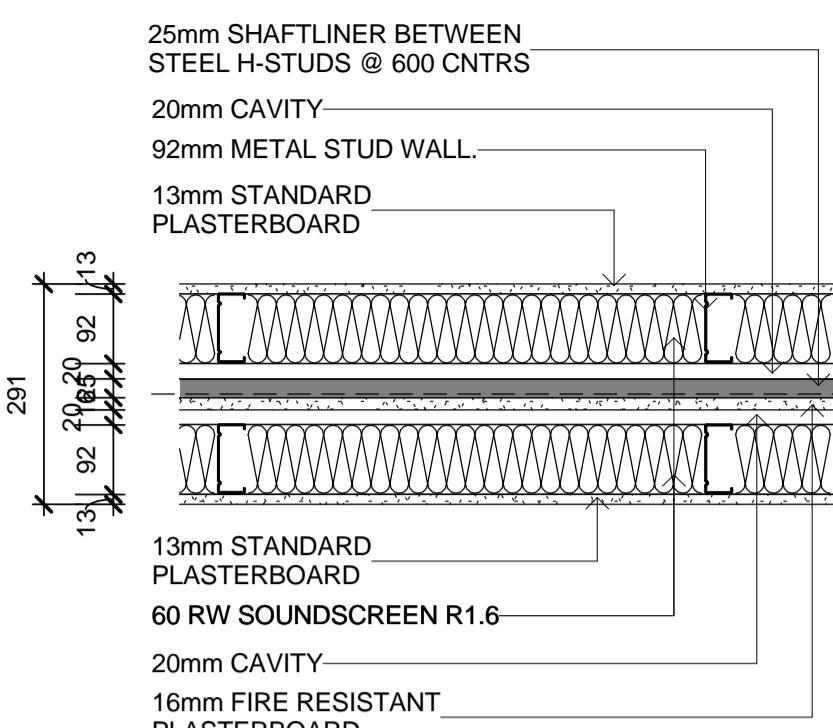
**WALL TYPES - WALL TYPE 02**



Drawn Author	Checked CS	Date JUN 2015	Scale 1:10 @ A1
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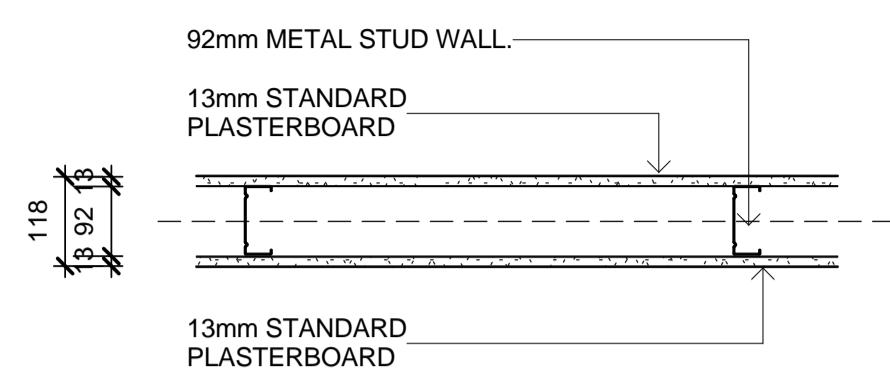
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## INTERIOR



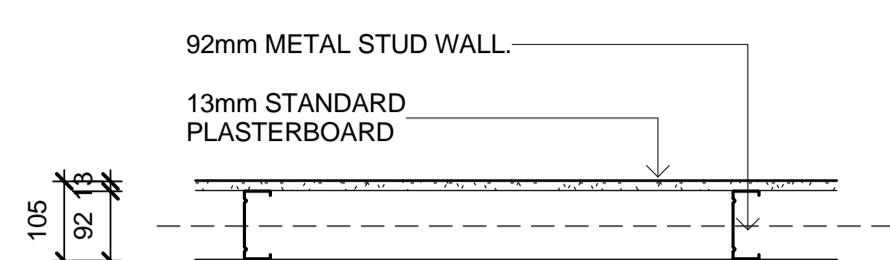
INTERIOR  
W3A : 291MM\_CSR 111

## INTERIOR



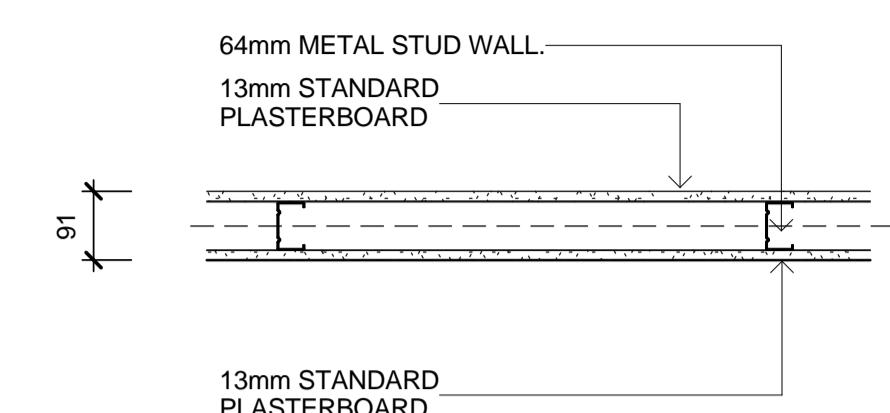
INTERIOR  
W3D - 120MM

## EXTERIOR



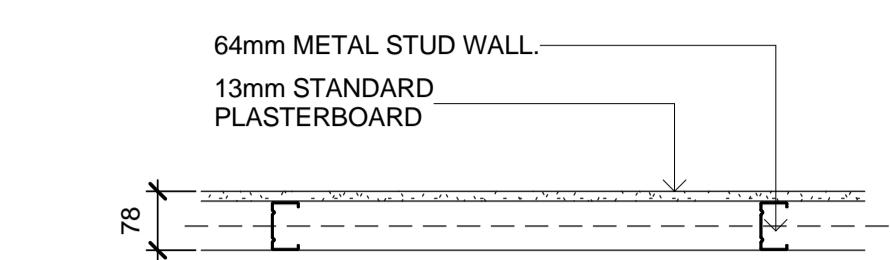
INTERIOR  
W3G - 105MM

## INTERIOR



INTERIOR  
W3J - 90MM

## EXTERIOR

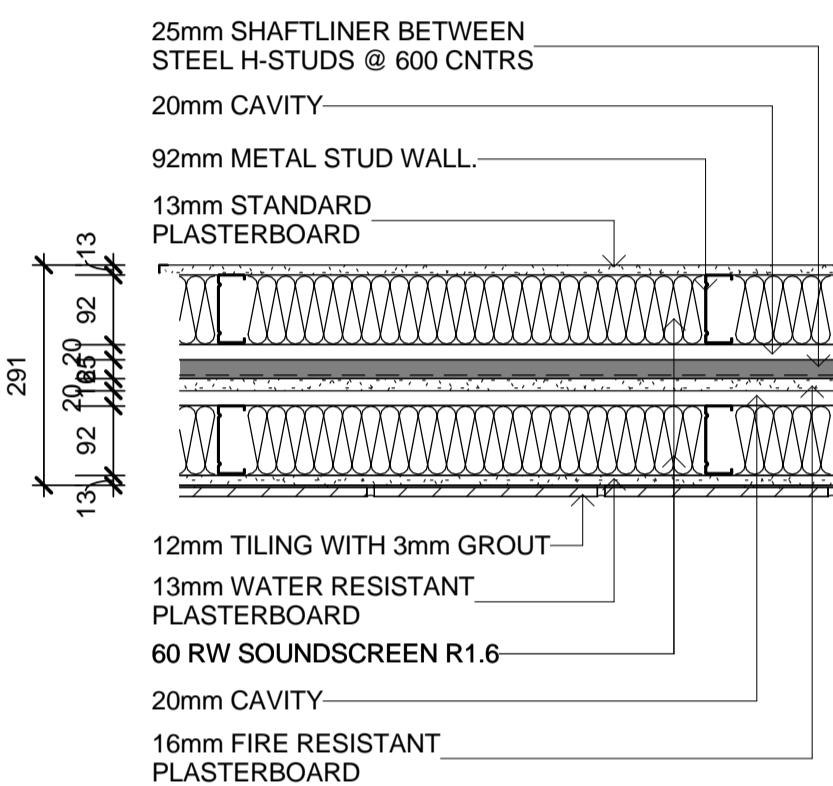


INTERIOR  
W3M - 80MM

Revision A Description TENDER ISSUE  
B 100% TENDER

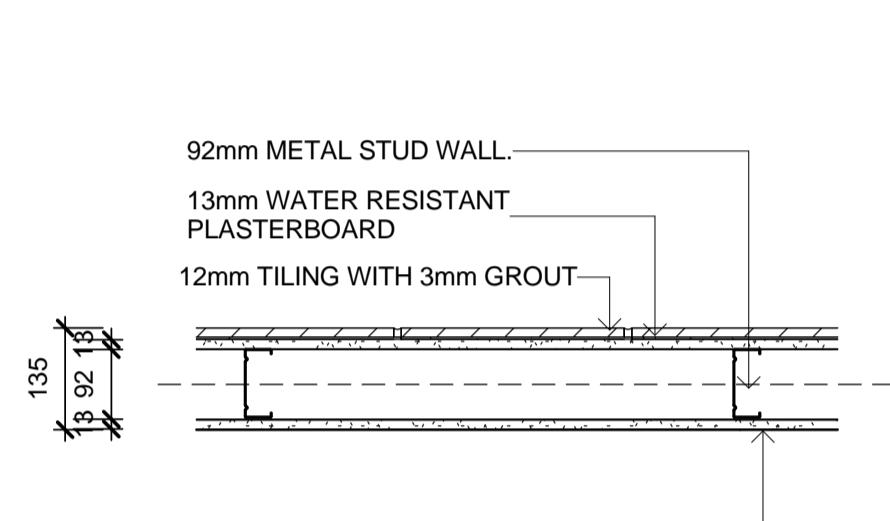
Date 22/05/2015  
24/06/2015

## INTERIOR



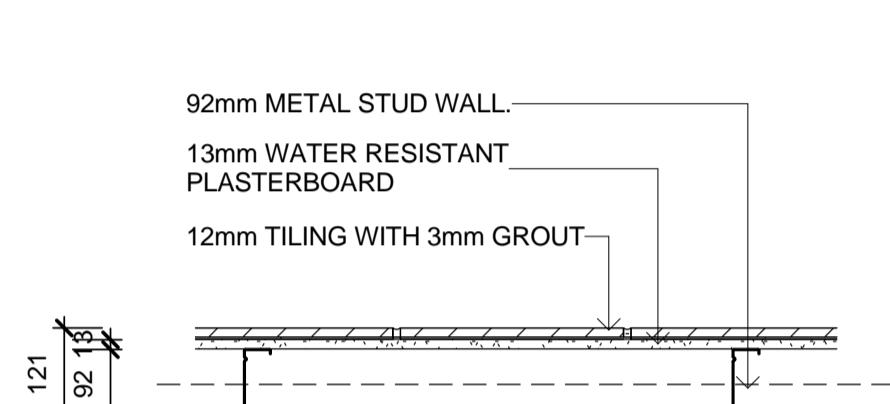
INTERIOR  
W3B : 291MM\_TILING TO ONE SIDE

## EXTERIOR



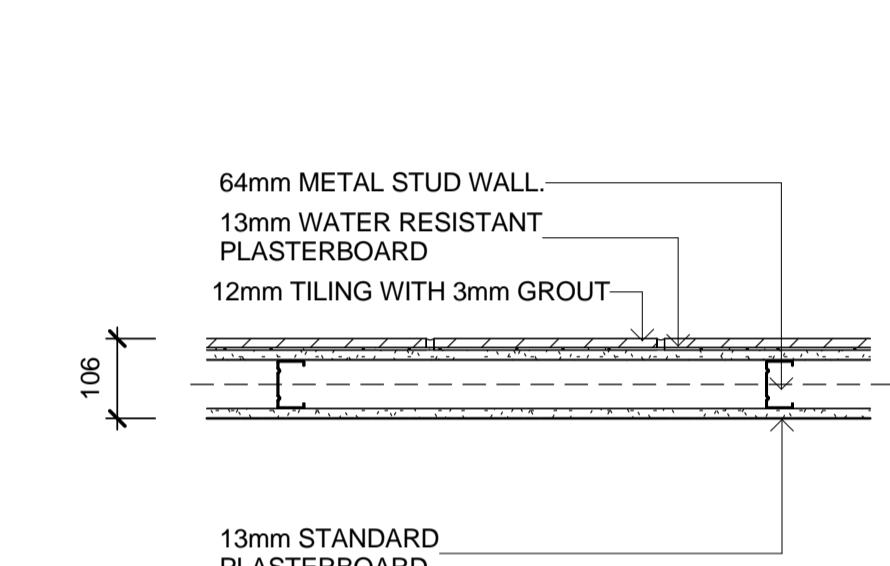
INTERIOR  
W3E - 135MM

## EXTERIOR



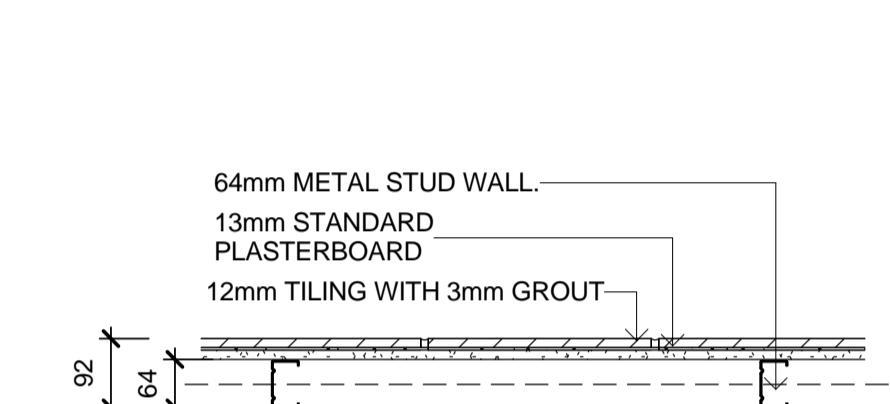
INTERIOR  
W3H - 120MM

## INTERIOR



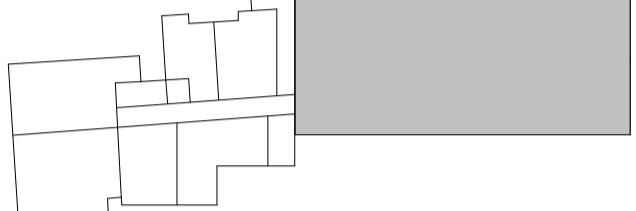
INTERIOR  
W3K -

## EXTERIOR



INTERIOR  
W3N - 92MM

## Key Plan



## Consultants

DEVELOPMENT MANAGER	: PDS AUST
STRUCTURAL ENGINEER	: ERBAS
SERVICES ENGINEER	: DESIGN CONFIDENCE
BCA + ACCESS	: RENZO TONIN
ACOUSTIC	: RAPPORT HERITAGE
HERITAGE	: MCLAREN TRAFFIC ENGINEERING
TRAFFIC	: BRAHIM STORMWATER CONSULTANTS
CIVIL	: URBIS
LANDSCAPE	: CITY PLAN SERVICES
PCA	

## Client

WENTWORTH EQUITIES



## SYDNEY

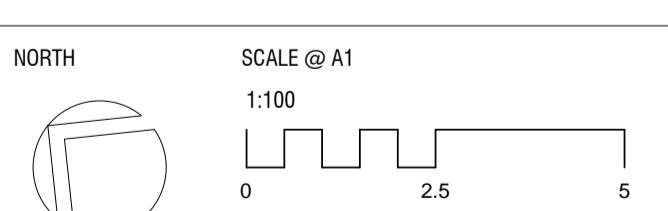
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## Project

BALMAIN APARTMENTS  
100-104 Reynolds St, Balmain

## Sheet Title

WALL TYPES - WALL TYPE 03

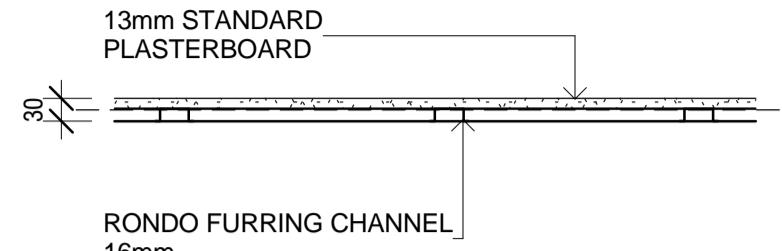


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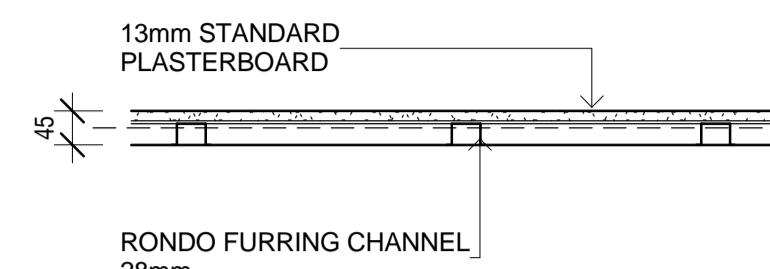
Project No. 3084 Sheet No. A5.003 Revision B

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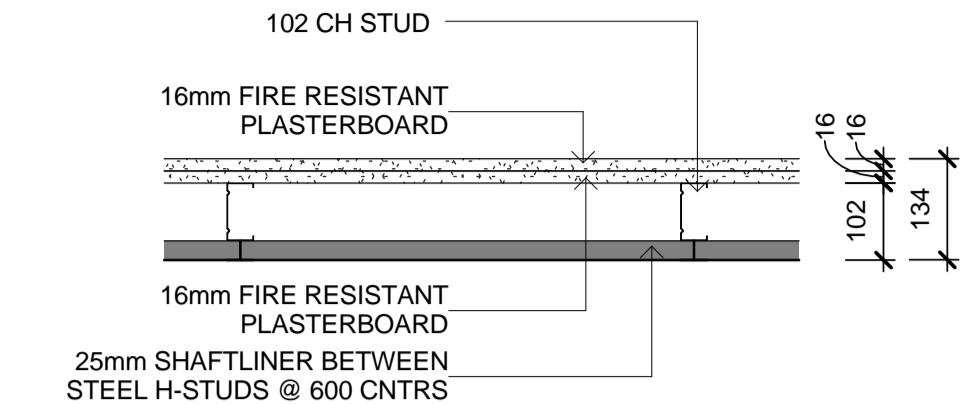
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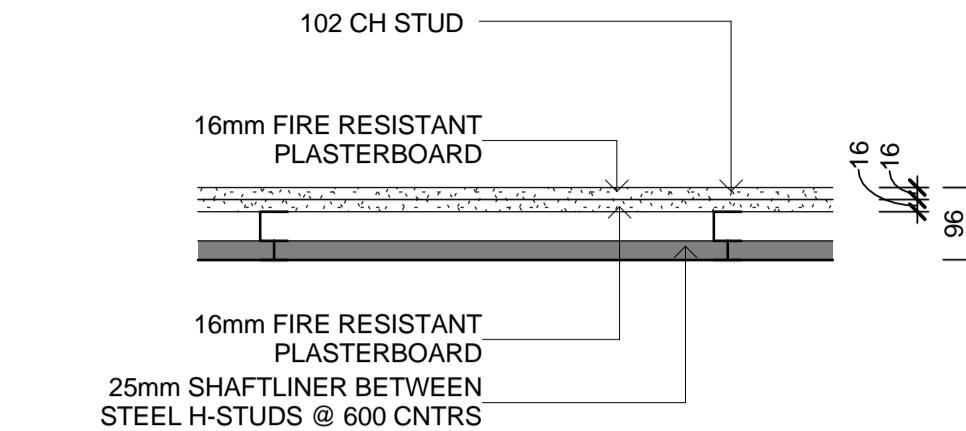
## EXTERIOR



## EXTERIOR



## EXTERIOR



## INTERIOR

W4B : 30MM

## INTERIOR

W4C : 45MM

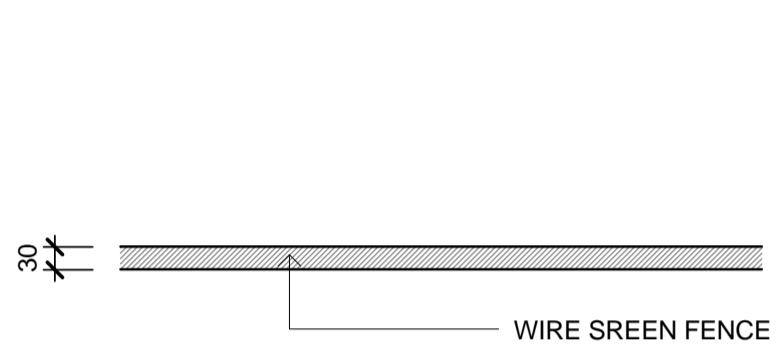
## INTERIOR

W3P - 134MM

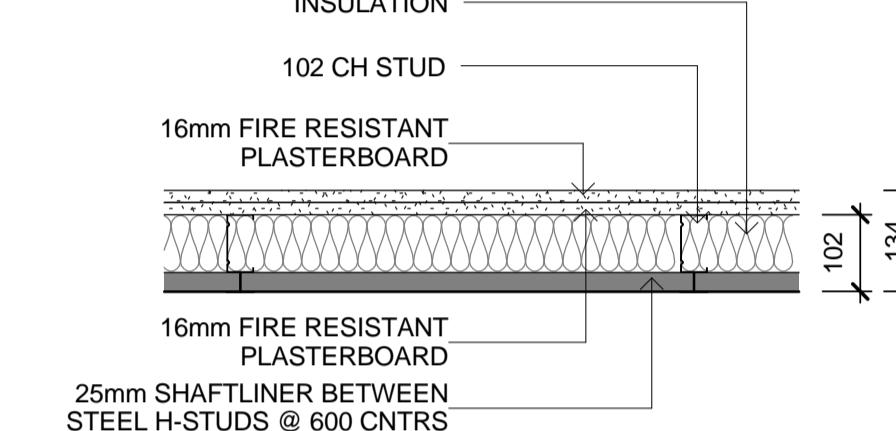
## INTERIOR

W3R - 96MM

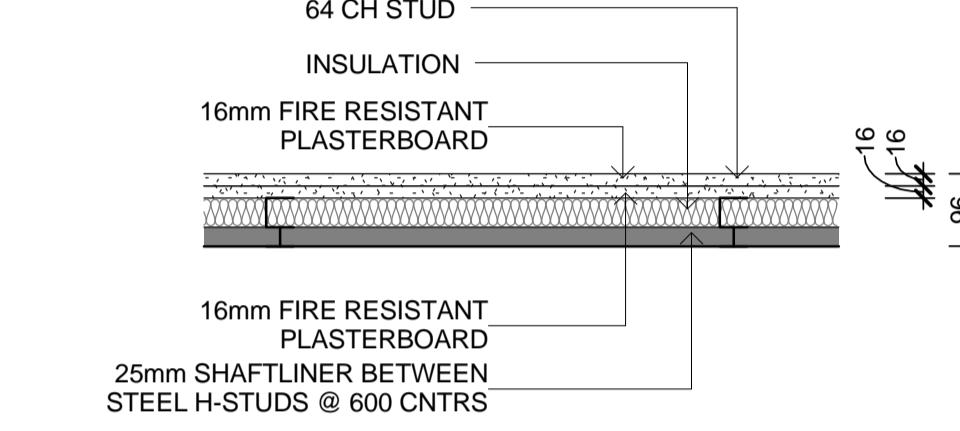
## EXTERIOR



## EXTERIOR



## EXTERIOR



## INTERIOR

W5A

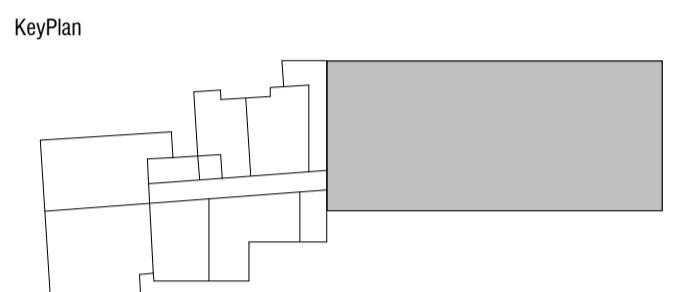
## INTERIOR

W3Q

## INTERIOR

W3S

Revision	Description	Date
A	TENDER ISSUE	22/05/2015
B	100% TENDER	24/06/2015



Consultants	
DEVELOPMENT MANAGER	: PDS AUST
STRUCTURAL ENGINEER	: PDS AUST
SERVICES ENGINEER	: ERBAS
BCA + ACCESS	: DESIGN CONFIDENCE
ACOUSTIC	: RENZO TONIN
HERITAGE	: RAPPOPORT HERITAGE
TRAFFIC	: MCLAREN TRAFFIC ENGINEERING
CIVIL	: IBRAHIM STORMWATER CONSULTANTS
LANDSCAPE	: URBIS
PCA	: CITY PLAN SERVICES

## Client

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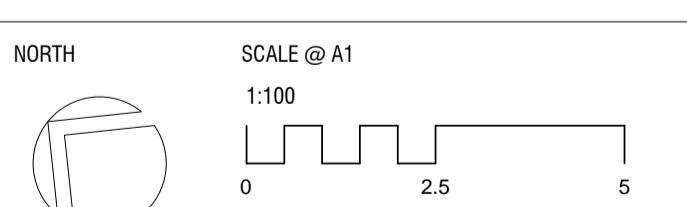
## Project

BALMAIN APARTMENTS

100-104 Reynolds St, Balmain

## Sheet Title

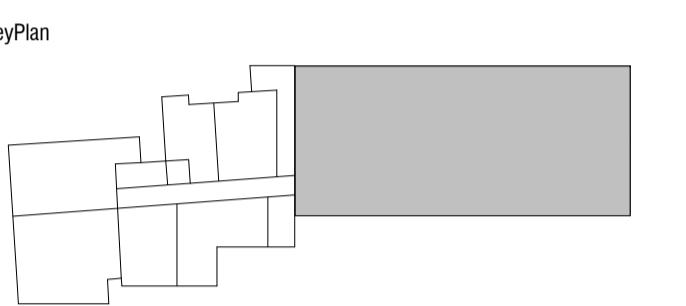
WALL TYPES - WALL TYPE 04



Drawn Author	Checked CS	Date JUN 2015	Scale 1:10 @ A1

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STRUCTURAL ENGINEER	:	PDS AUST
SERVICES ENGINEER	:	ERBAS
BCA + ACCESS	:	DESIGN CONFIDENCE
ACOUSTIC	:	RENZO TONIN
HERITAGE	:	RAPOPORT HERITAGE
TRAFFIC	:	MCLAREN TRAFFIC ENGINEERING
CIVIL	:	IBRAHIM STORMWATER CONSULTANTS
LANDSCAPE	:	URBIS
PCA	:	CITY PLAN SERVICES

**Client**  
**WENTWORTH EQUITIES**

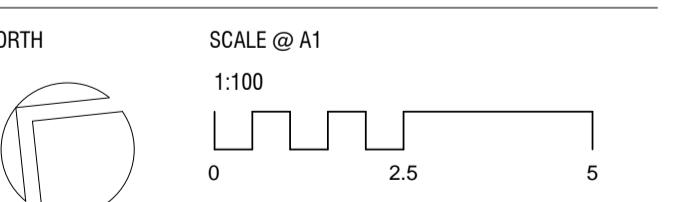


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**Project**  
**BALMAIN APARTMENTS**  
100-104 Reynolds St, Balmain

**Sheet Title**

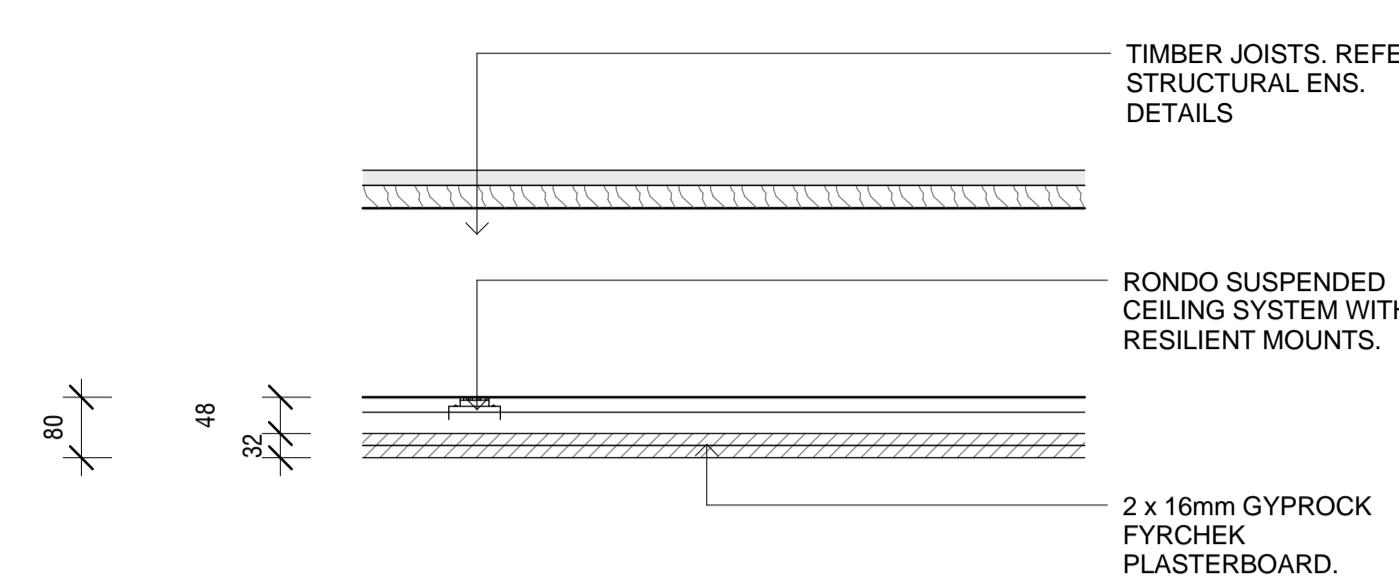
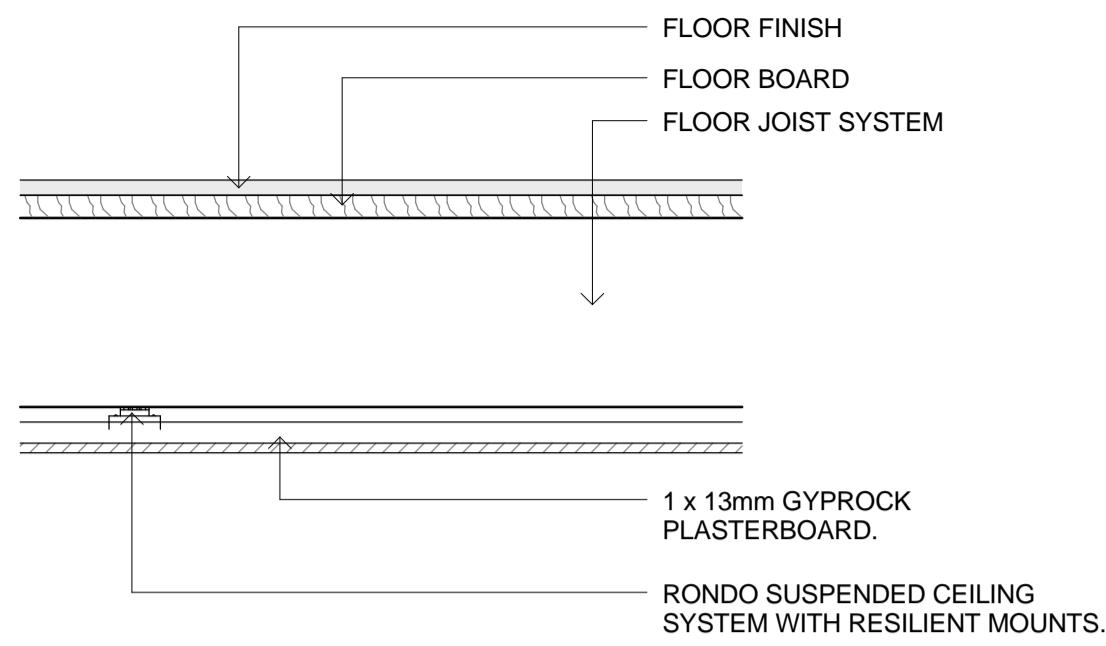
### ROOF DETAILS



Drawn Author	Checked Checker	Date JUN 2015	Scale @ A1
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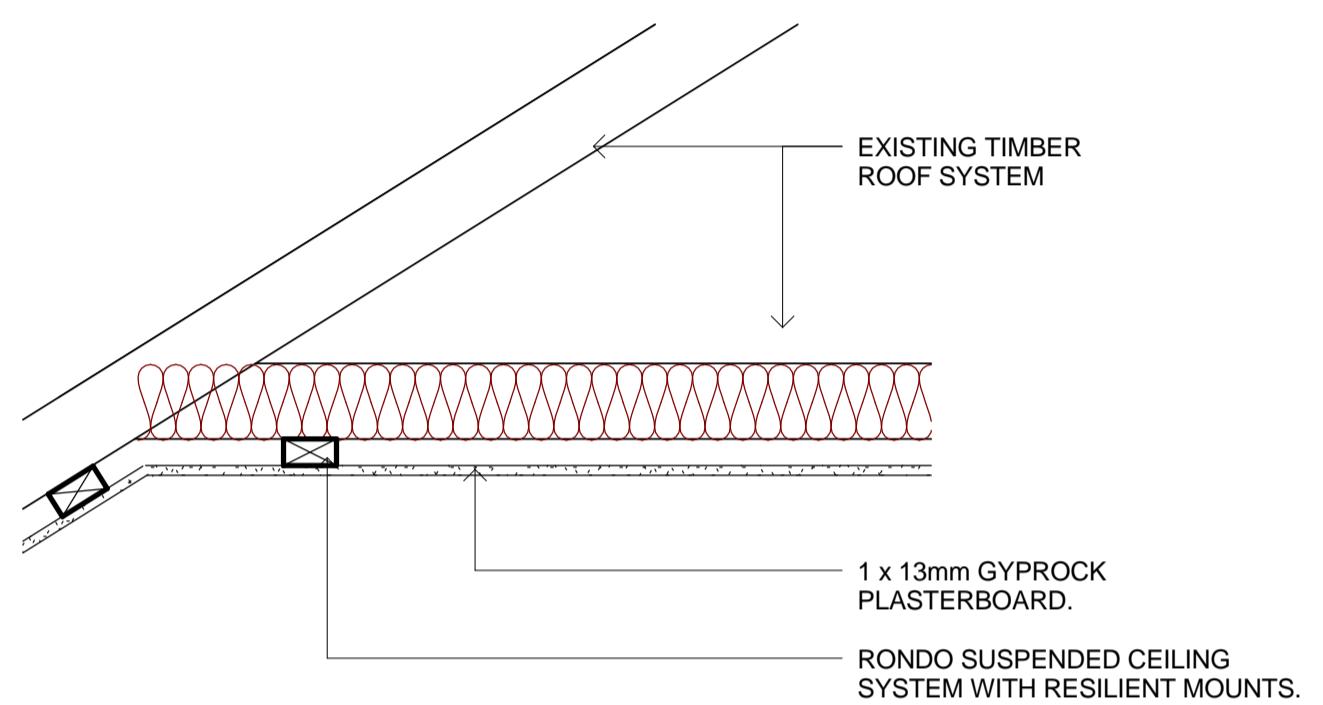
Project No. 3084	Sheet No. A5.005	Revision
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CEILING TYPE- PLASTERBOARD  
1:10

CEILING TYPE - FIRE RATED PLASTERBOARD\_FRL90/90/90 CSR 818  
1:10

KeyPlan



Consultants  
DEVELOPMENT MANAGER : PDS AUST  
STRUCTURAL ENGINEER : ERBAS  
SERVICES ENGINEER : DESIGN CONFIDENCE  
BCA + ACCESS : RENZO TONIN  
ACOUSTIC : RAPPORT HERITAGE  
HERITAGE : McLaren TRAFFIC ENGINEERING  
TRAFFIC : IBRAHIM STORMWATER CONSULTANTS  
CIVIL : URBIS  
LANDSCAPE : URBIS  
PCA : CITY PLAN SERVICES

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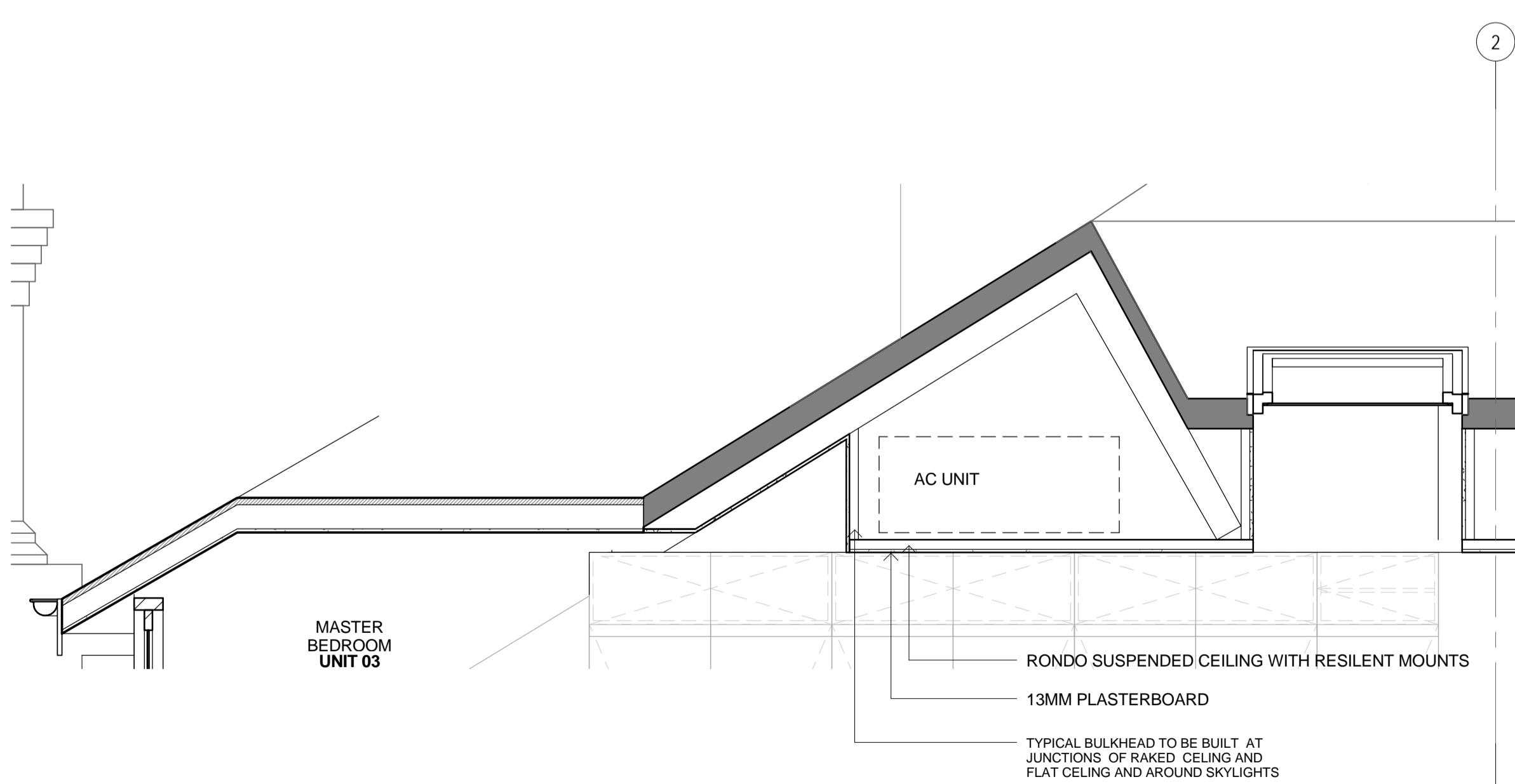
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BALMAIN APARTMENTS  
100-104 Reynolds St, Balmain

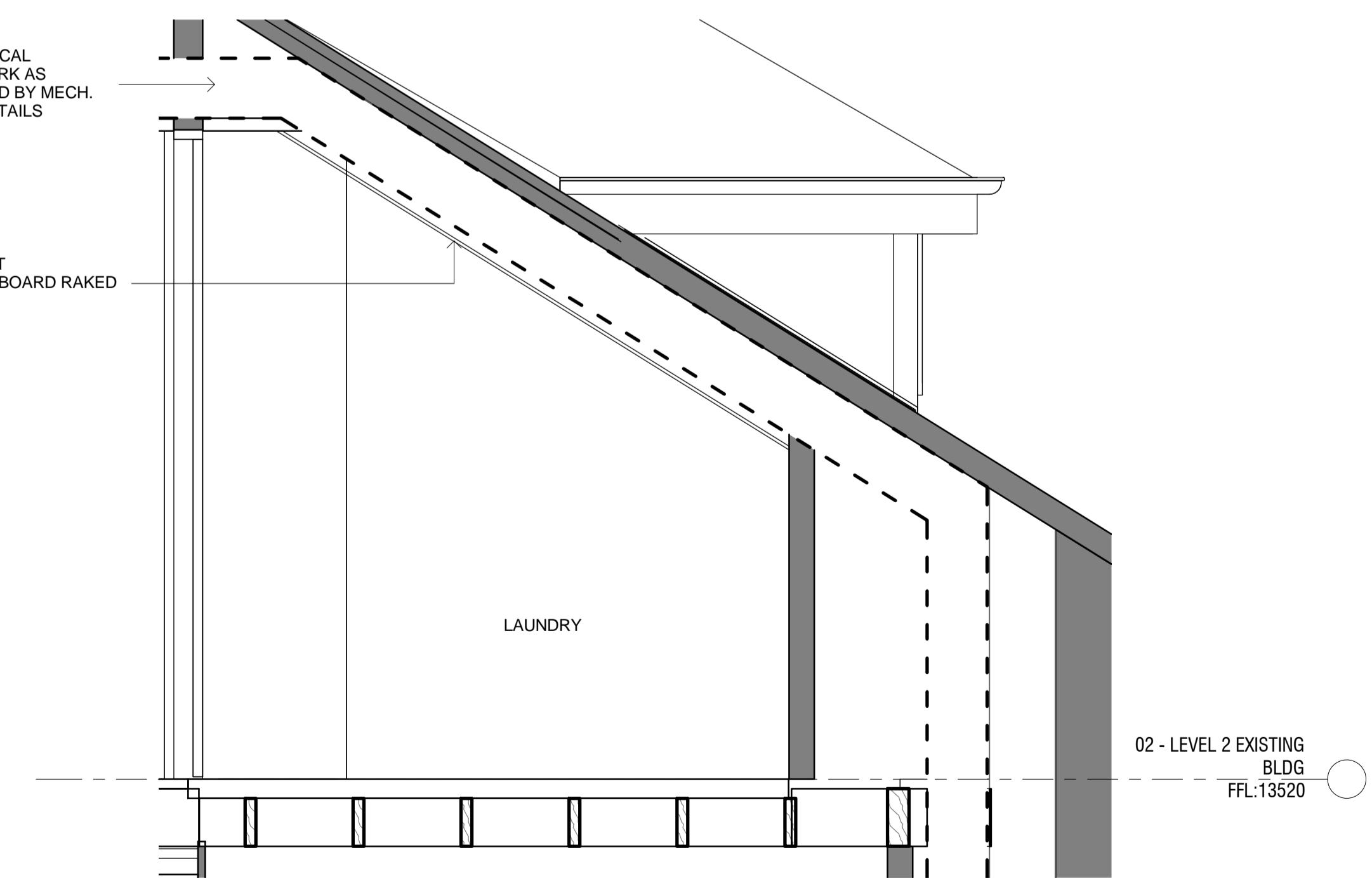
Sheet Title

CEILING TYPES

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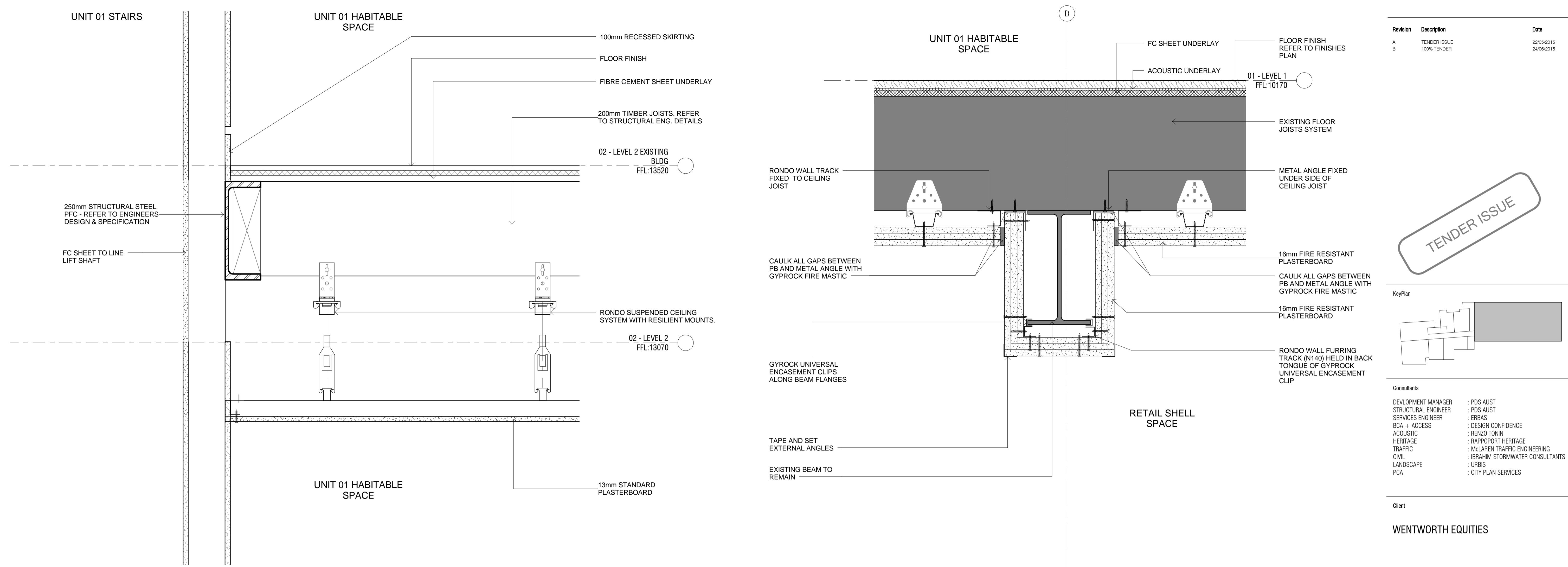


1 RCP SECTION - UNIT 03  
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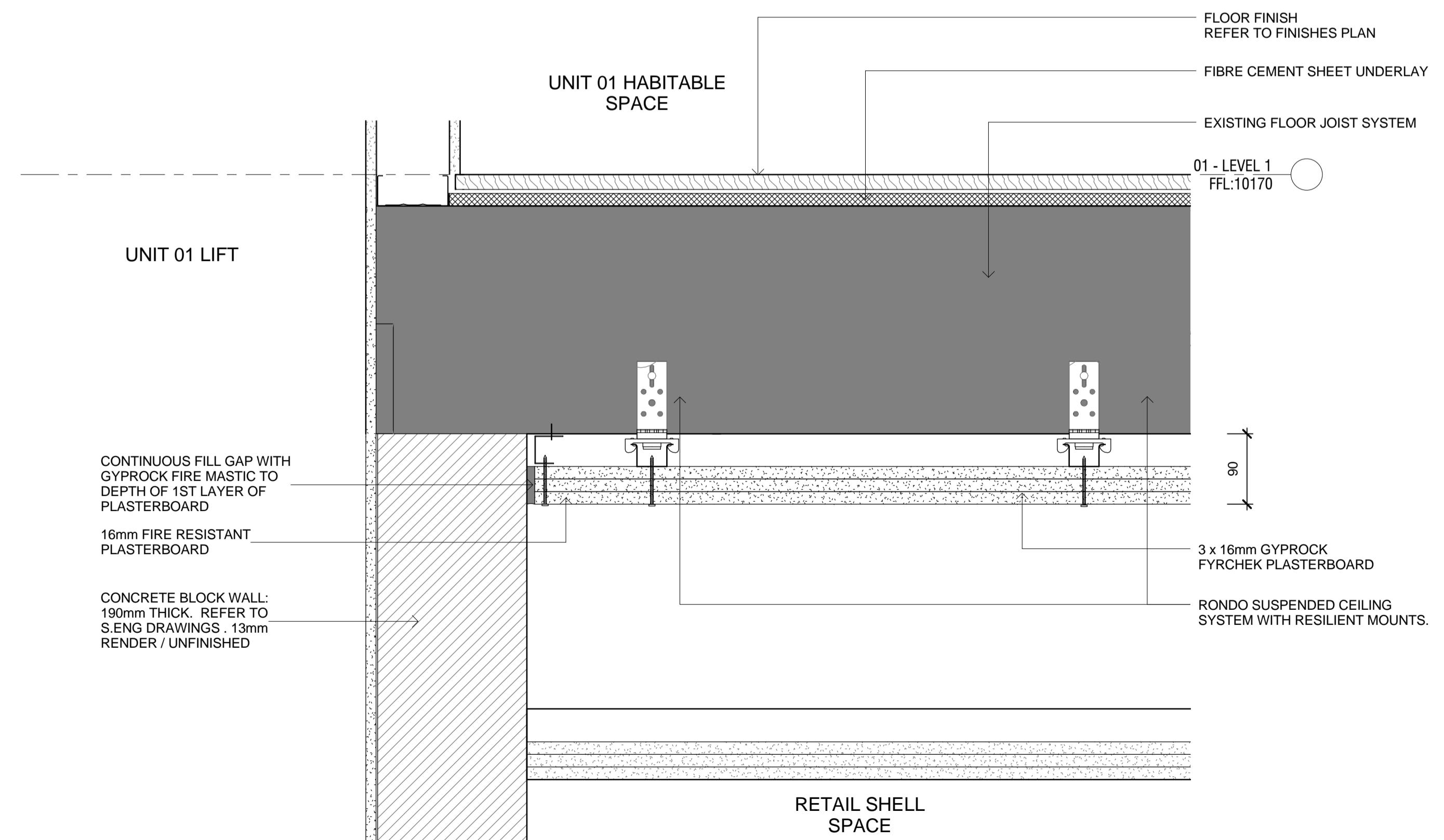


3 CEILING DETAIL - UNIT 06  
A4.002 1:20

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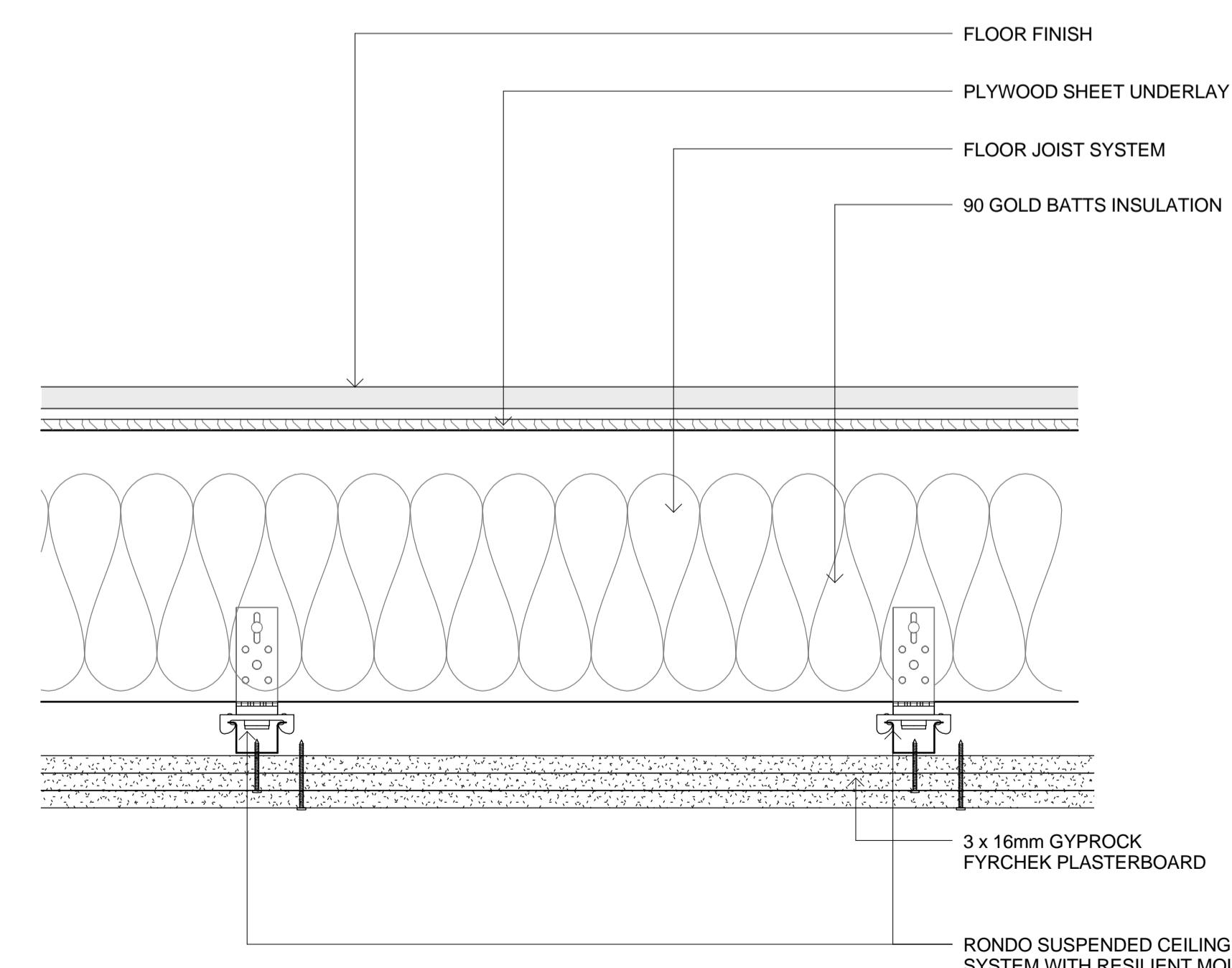


3 LEVEL 2 SUSPENDED CEILING DETAIL  
1:5



1 120/120/120 FIRE RATED CEILING COVING  
A1.031 1:5

2 CEILING DETAIL - 120/120/120 FRL  
A4.001 1:5



CEILING TYPE - FIRE RATED PLASTERBOARD\_FRL120/120/120 CSR 828  
1:5

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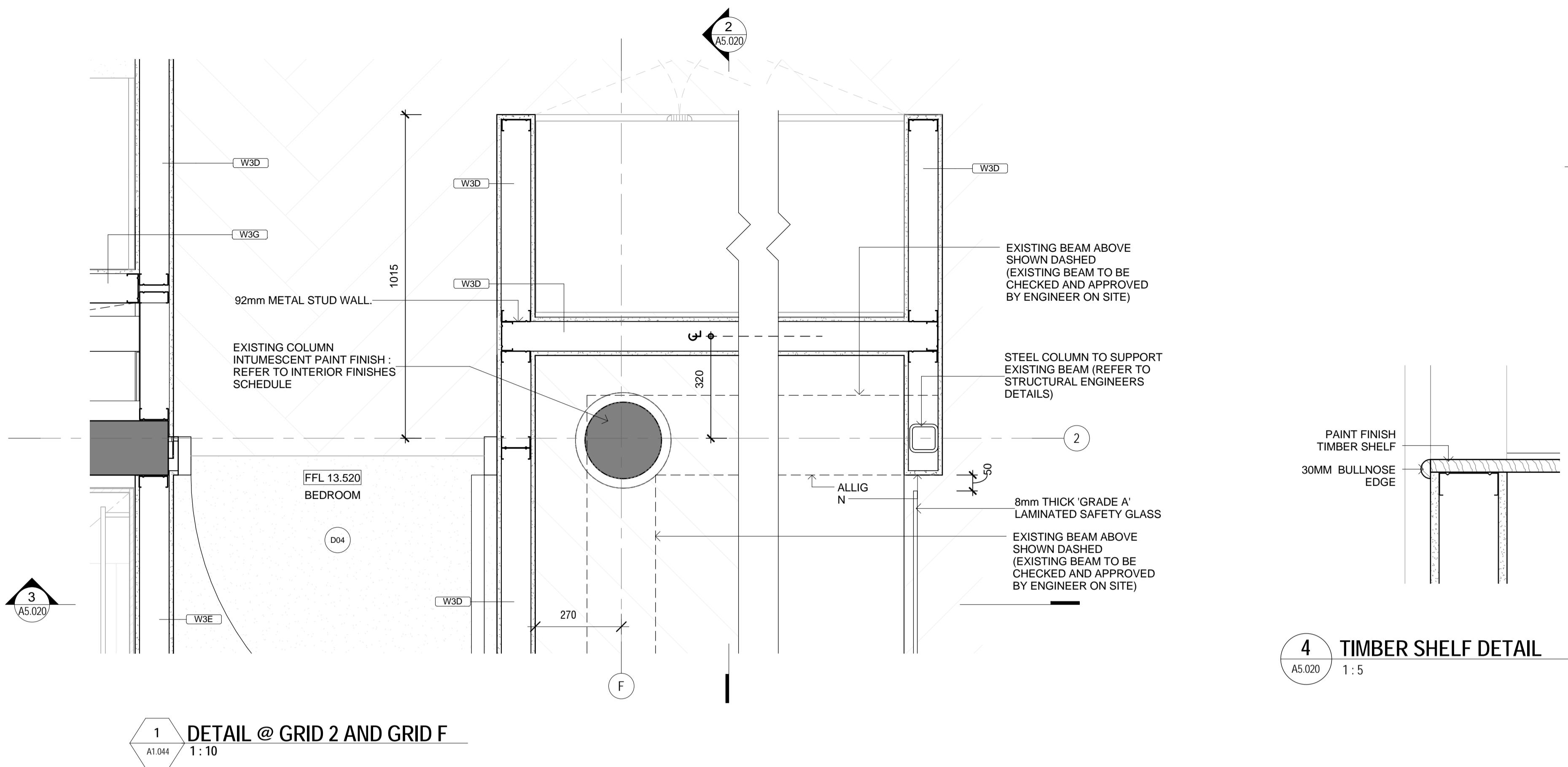
Project  
BALMAIN APARTMENTS  
100-104 Reynolds St, Balmain

Sheet Title  
CEILING TYPES  
SCALE @ A1  
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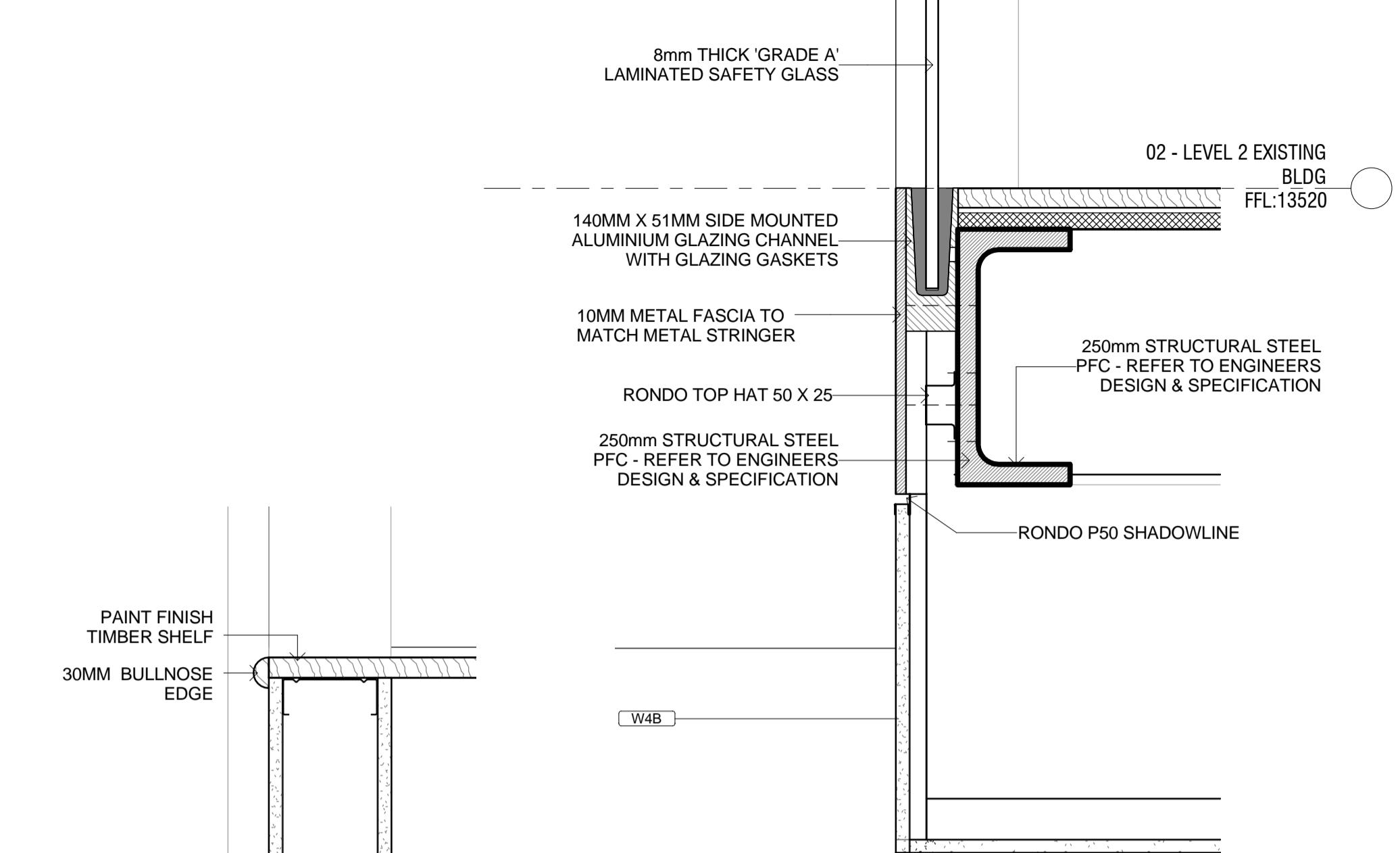
Drawn Checked Date Scale  
Author CS JUN 2015 1:5  
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3084 A5.011 B

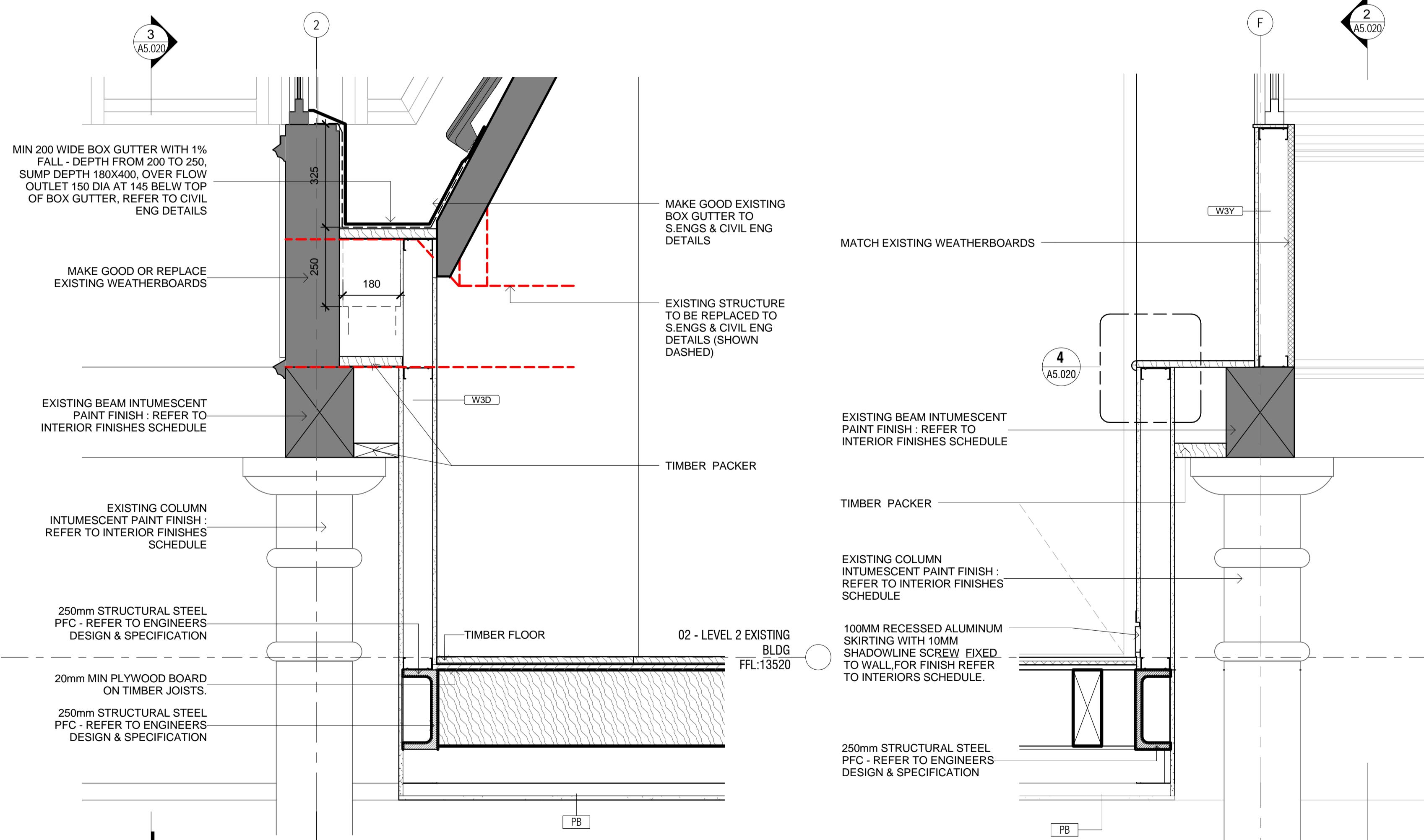
Revision Description Date  
A TENDER ISSUE 22/05/2015  
B 100% TENDER 24/06/2015



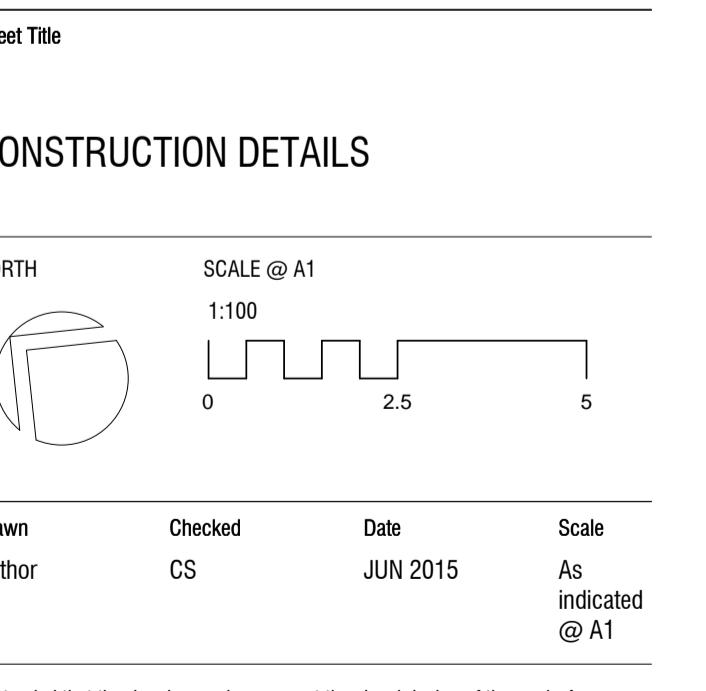
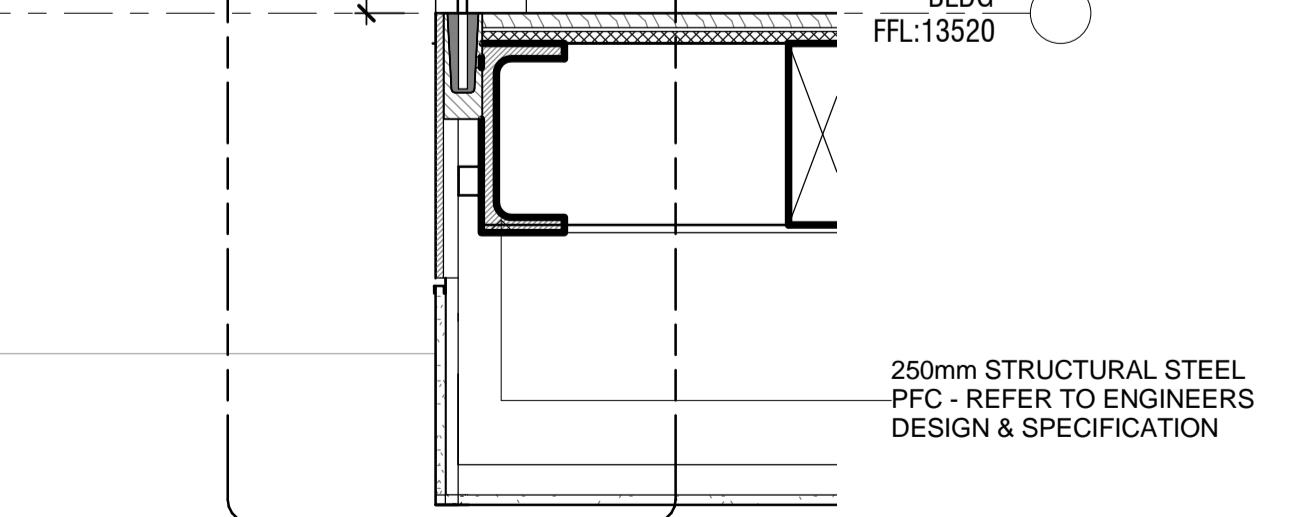
**4 TIMBER SHELF DETAIL**  
A5.020 1:5



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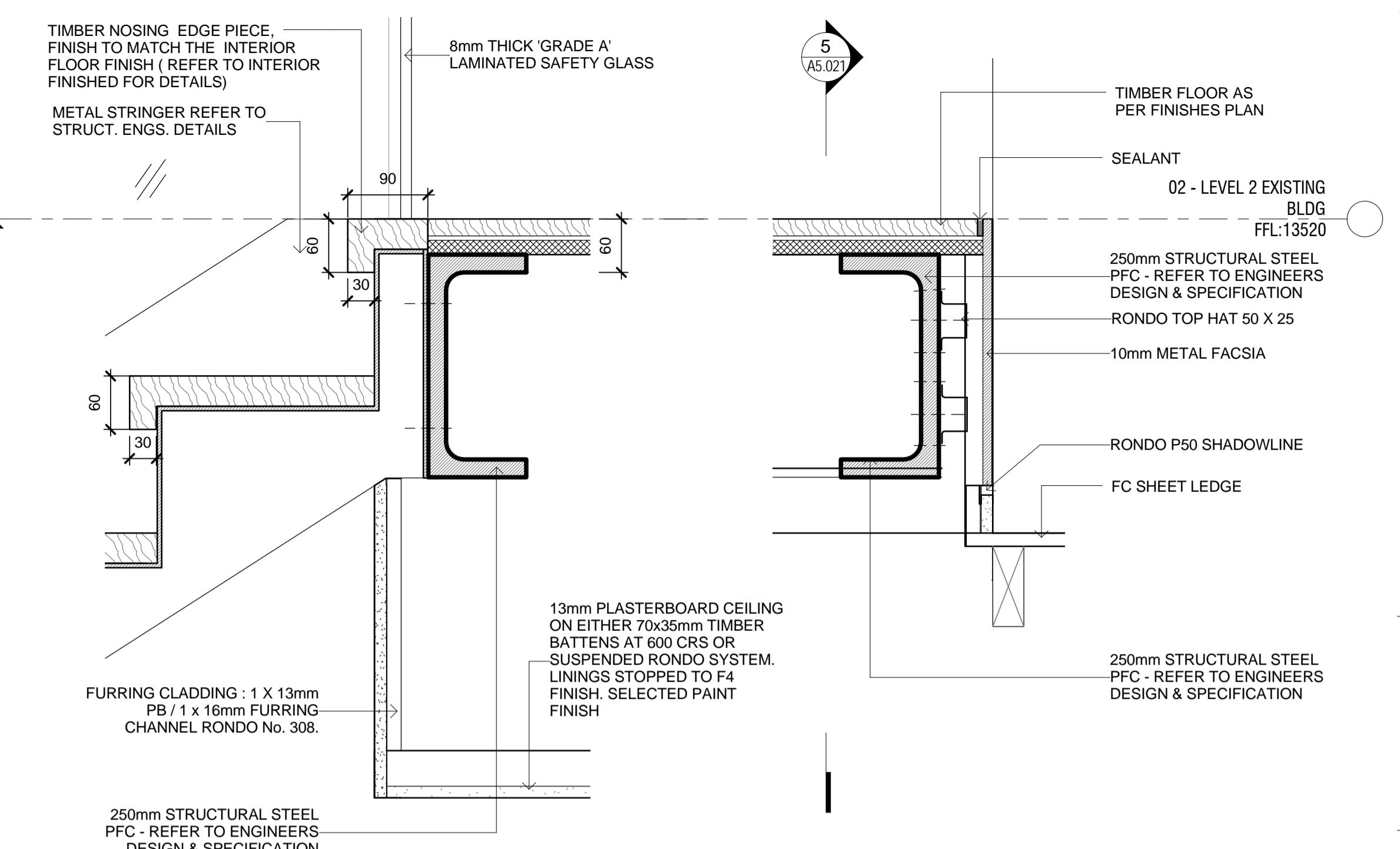
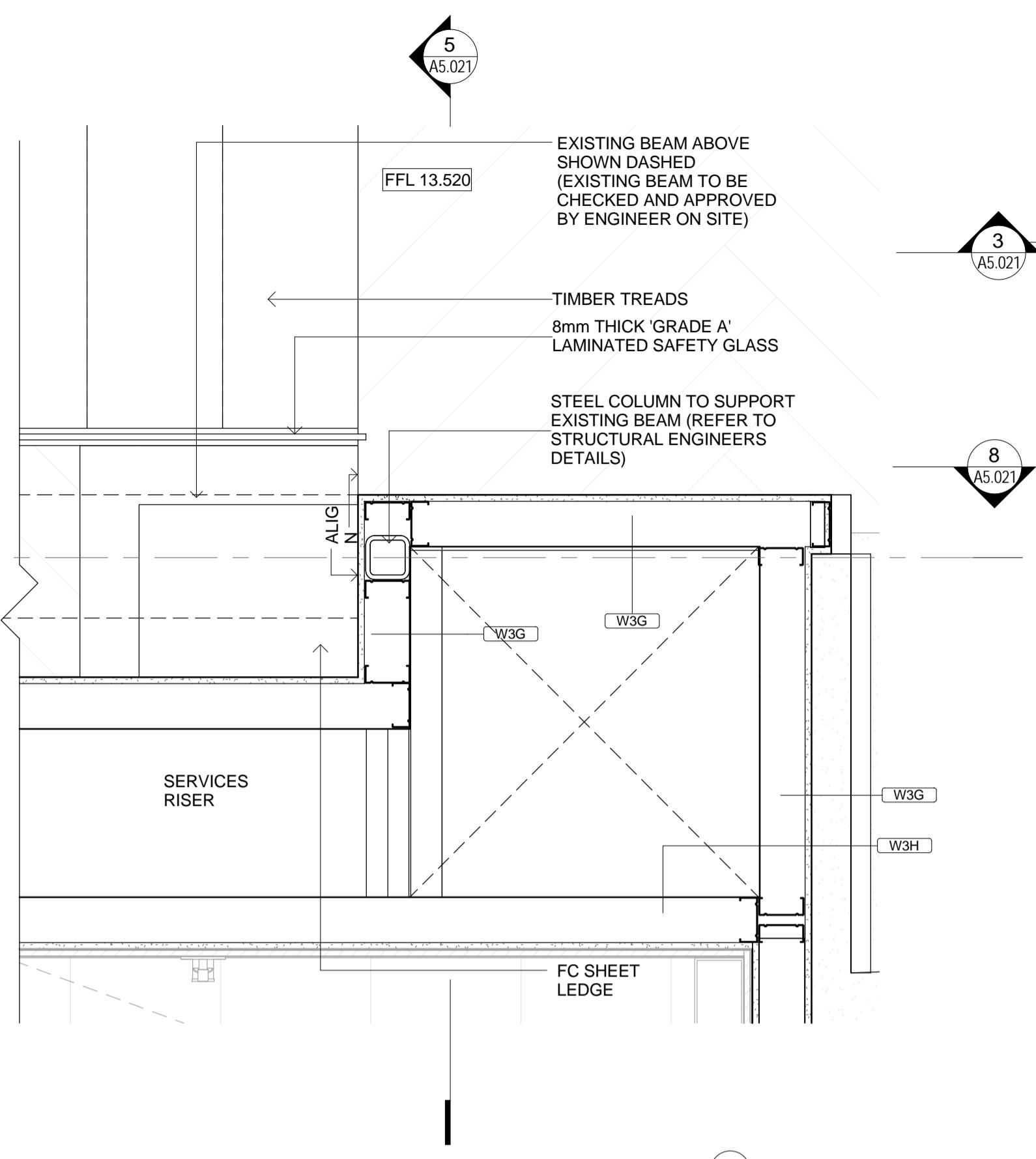
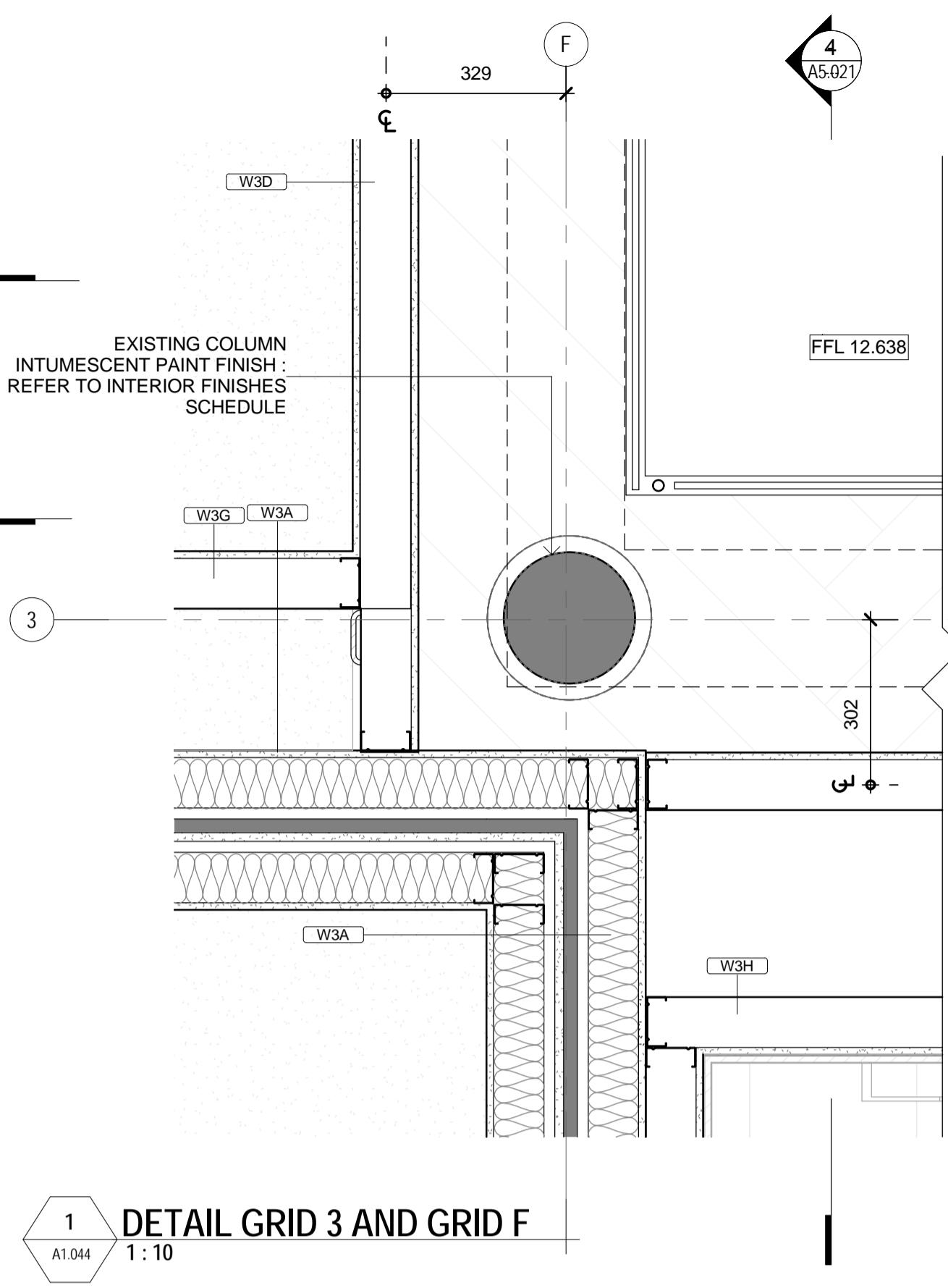


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Revision A Description TENDER ISSUE  
B 100% TENDER  
Date 22/05/2015  
24/06/2015



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STRUCTURAL ENGINEER : ERBAS  
SERVICES ENGINEER : DESIGN CONFIDENCE  
BCA + ACCESS : RENZO TONIN  
ACOUSTIC : RAPPORT HERITAGE  
HERITAGE : McLaren TRAFFIC ENGINEERING  
TRAFFIC : IBRAHIM STORMWATER CONSULTANTS  
CIVIL : URBIS  
LANDSCAPE : CITY PLAN SERVICES

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Sheet Title

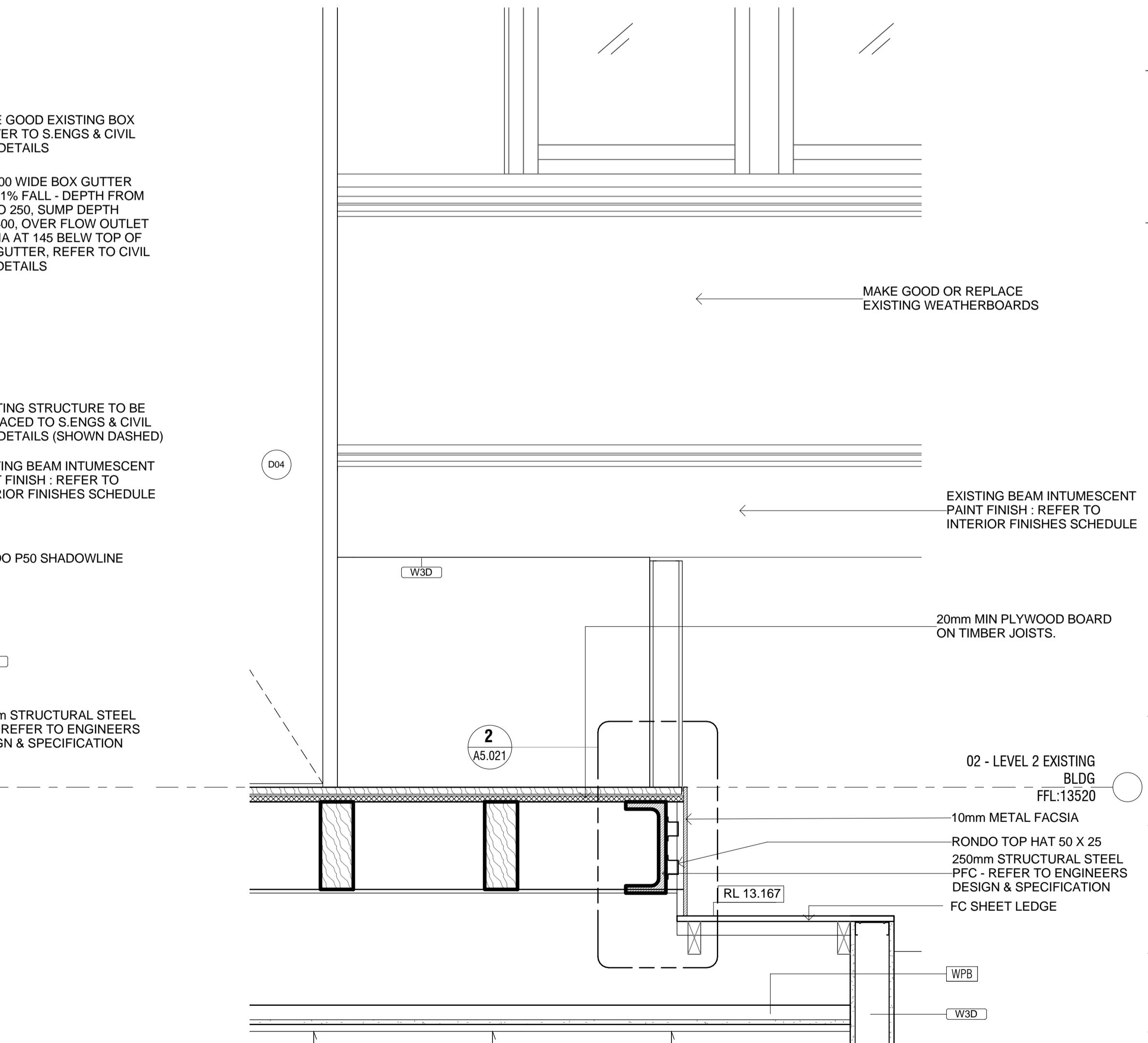
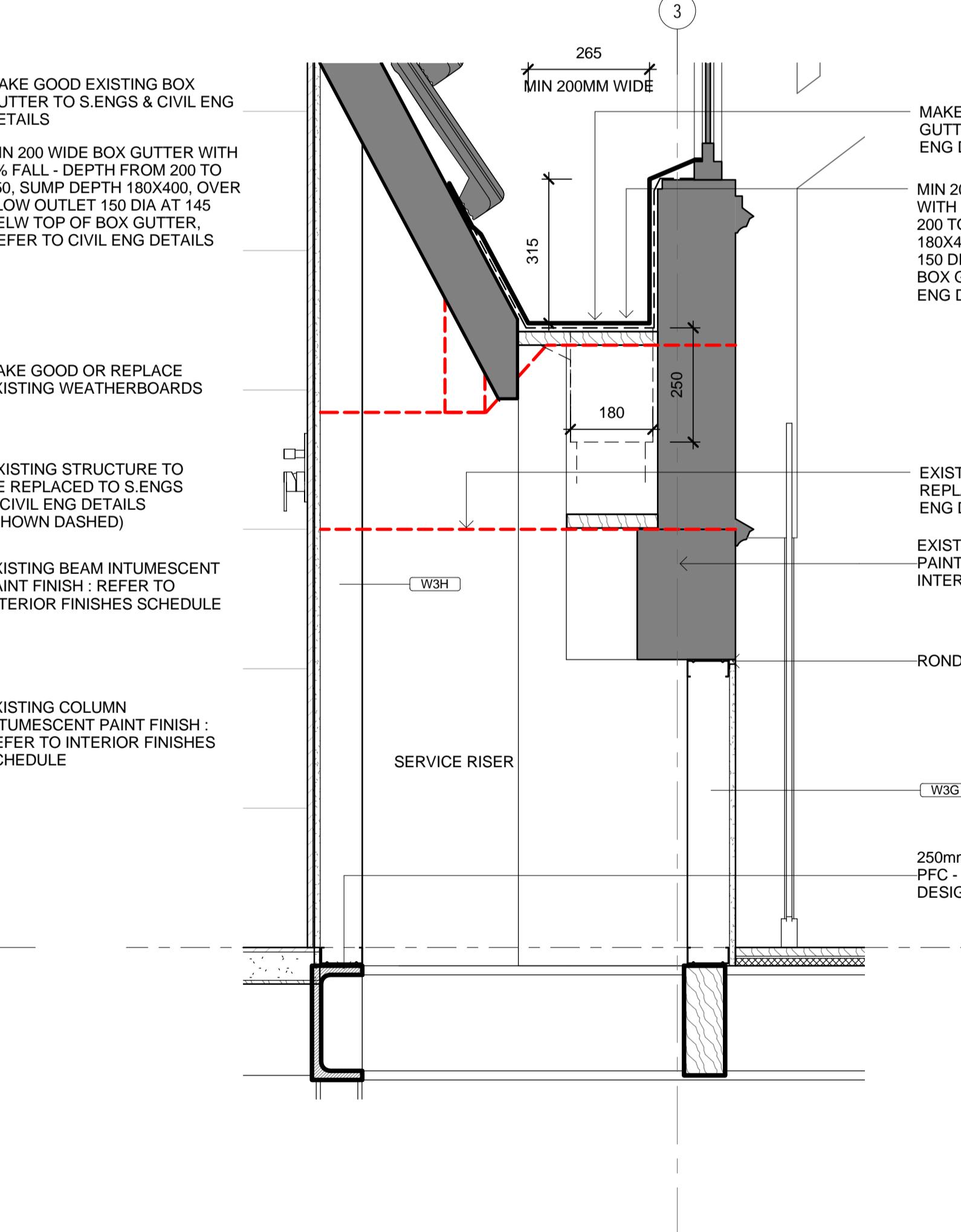
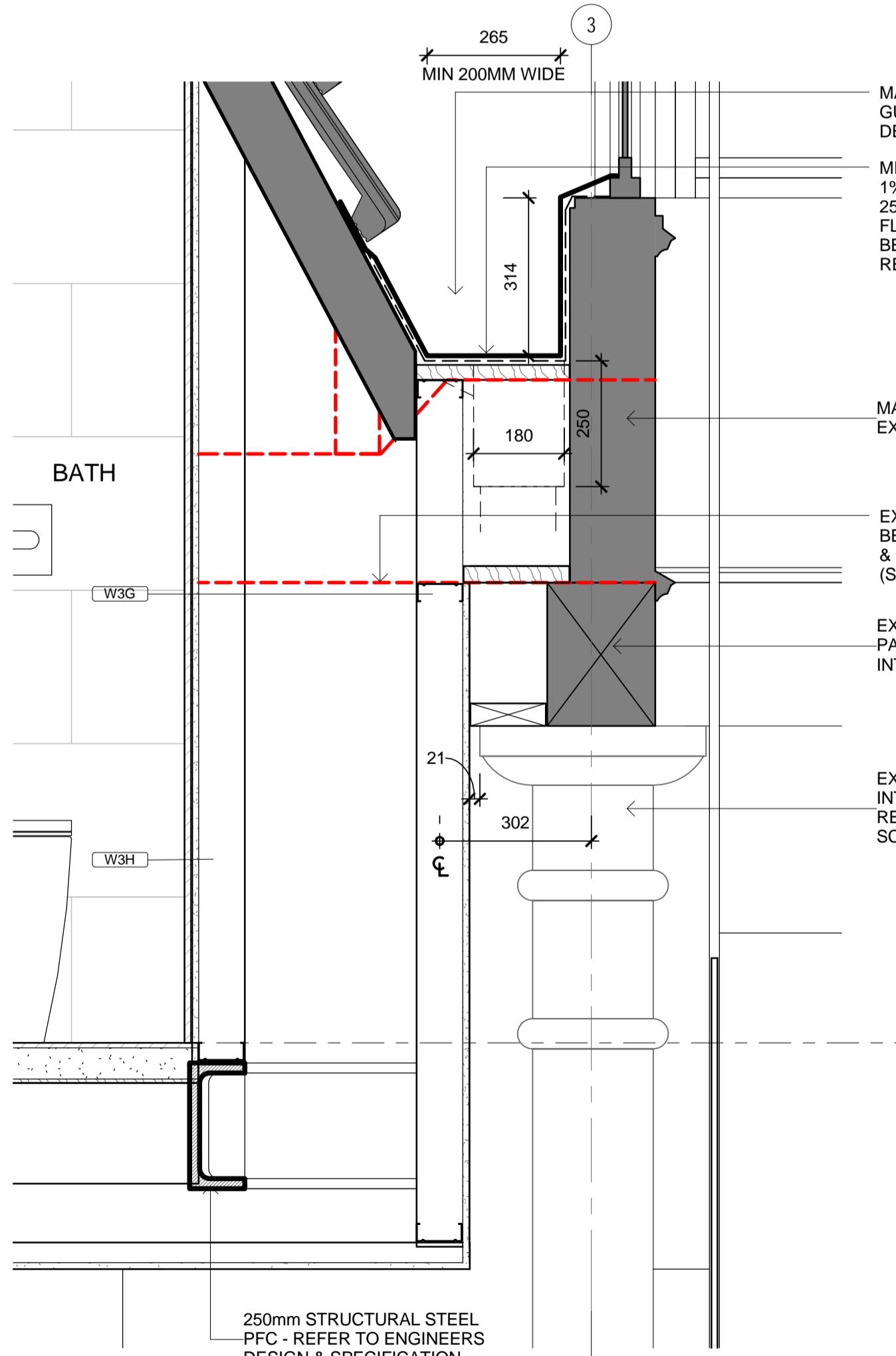
CONSTRUCTION DETAILS

NORTH  
SCALE @ A1  
1:10  
0 25 .5  
Drawn Author CS Checked Date JUN 2015 Scale As indicated @ A1

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Project No. 3084 Sheet No. A5.021 Revision B

1 A1.044 1:10  
**DETAIL GRID 3 AND GRID F**

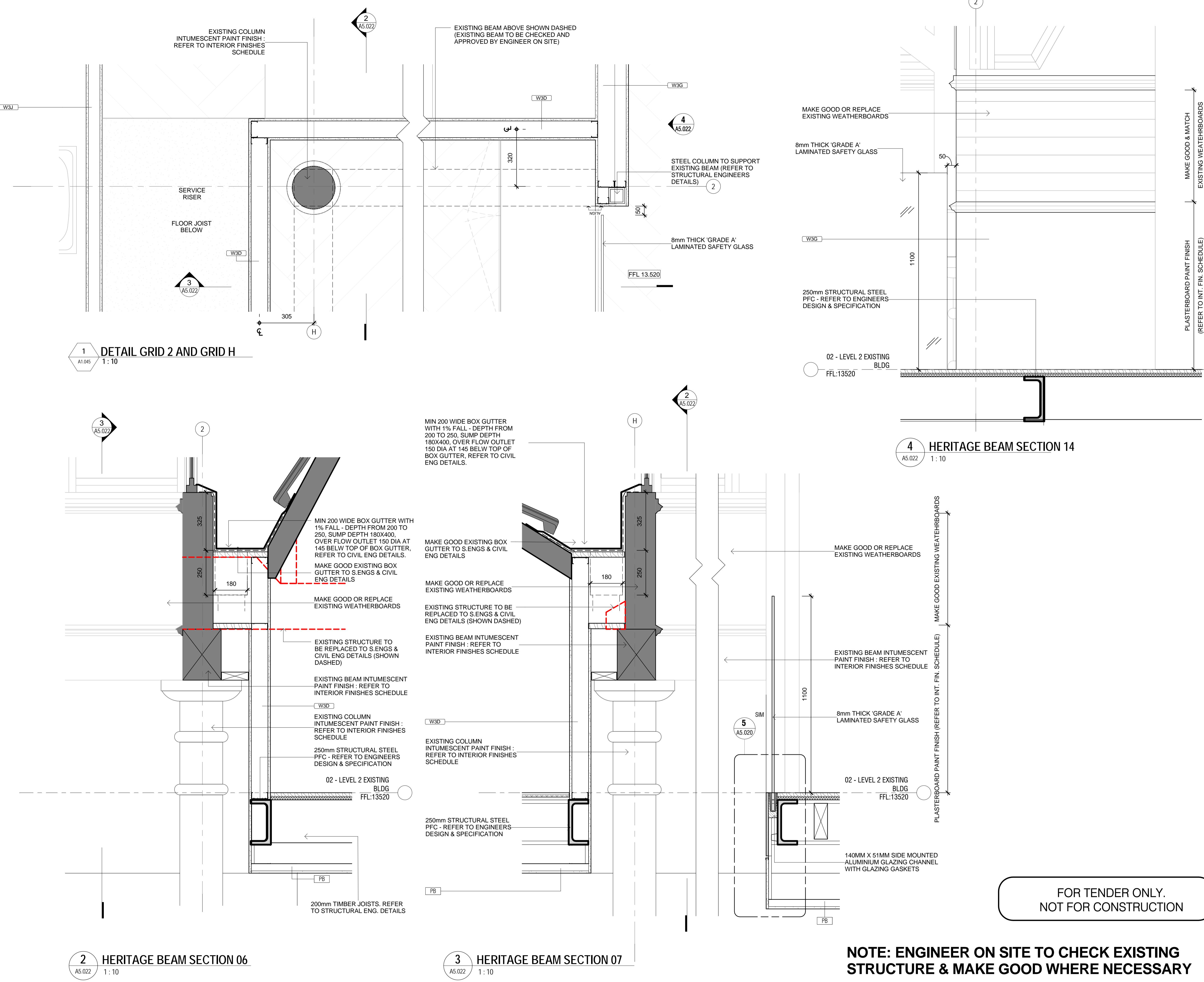


5 A5.021 1:10  
**HERITAGE BEAM SECTION 05**

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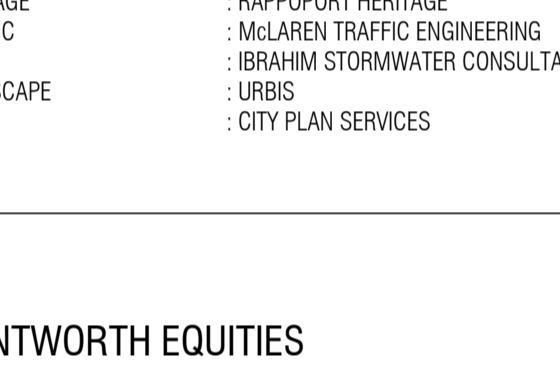
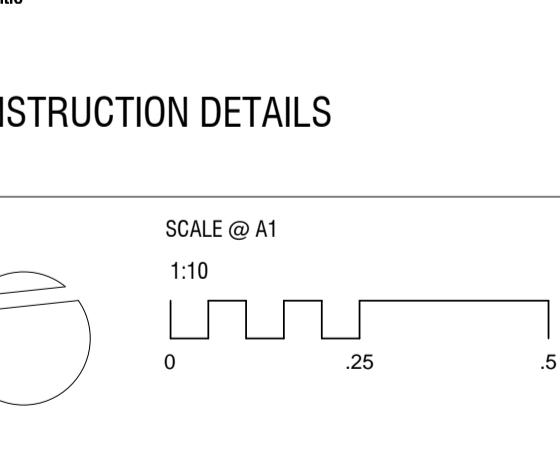
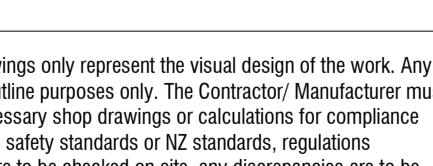
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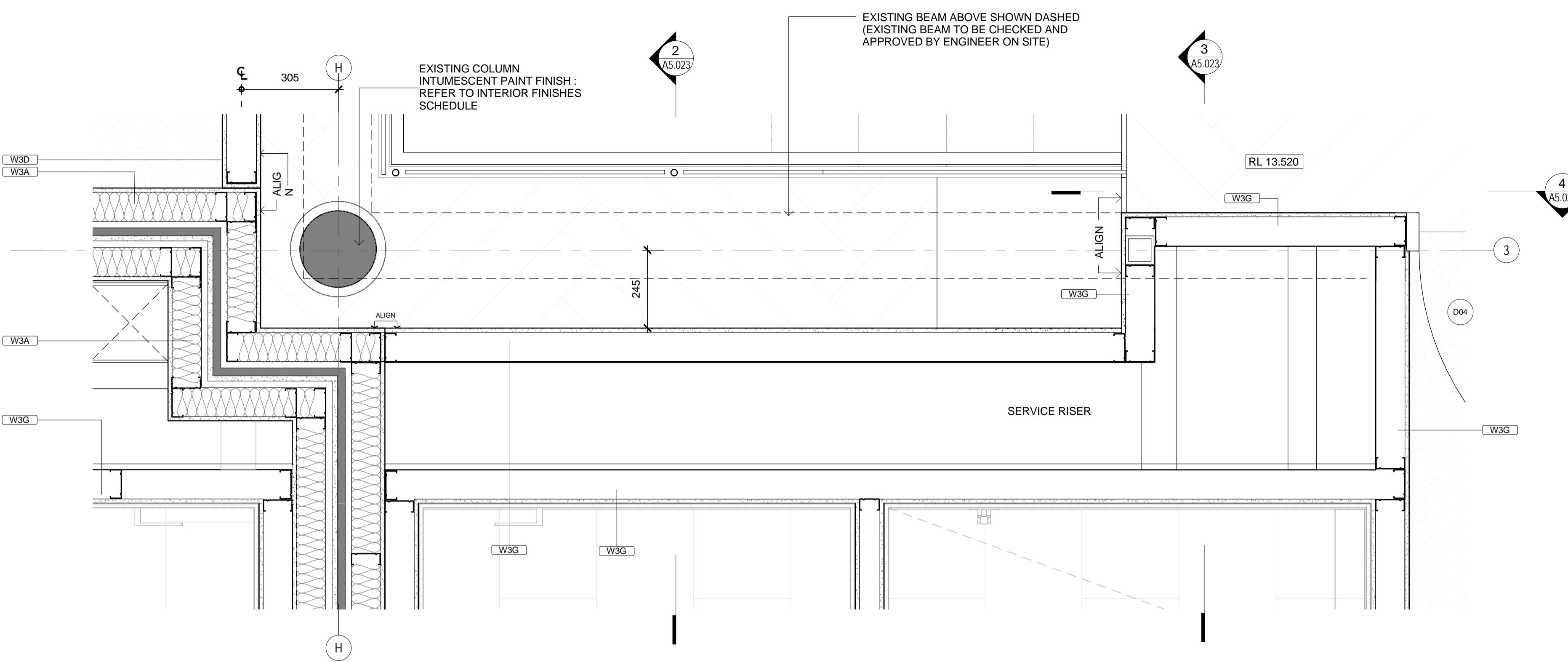
**NOTE: ENGINEER ON SITE TO CHECK EXISTING  
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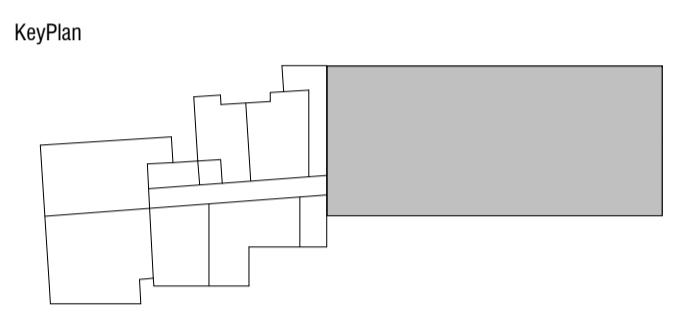
**NOTE: ENGINEER ON SITE TO CHECK EXISTING  
STRUCTURE & MAKE GOOD WHERE NECESSARY**

Revision	Description	Date
A	TENDER ISSUE	22/05/2015
B	100% TENDER	24/06/2015
<hr/>		
KeyPlan		
		
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Consultants		
DEVELOPMENT MANAGER	:	PDS AUST
STRUCTURAL ENGINEER	:	PDS AUST
SERVICES ENGINEER	:	ERBAS
BCA + ACCESS	:	DESIGN CONFIDENCE
ACOUSTIC	:	RENZO TONIN
HERITAGE	:	RAPPOPORT HERITAGE
TRAFFIC	:	MCLAREN TRAFFIC ENGINEERING
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LANDSCAPE	:	URBIS
PCA	:	CITY PLAN SERVICES
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Project		
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Sheet Title		
<b>CONSTRUCTION DETAILS</b>		
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NORTH	SCALE @ A1	
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Drawn	Checked	Date
Author	CS	JUN 2015
		Scale
		1 : 10 @ A1
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Project No.	Sheet No.	Revision
3084	A5 022	R



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A	TENDER ISSUE	22/05/2015
B	100% TENDER	24/06/2015



# DETAIL GRID 3 AND GRID H

This technical drawing provides a detailed architectural and structural cross-section of a heritage beam section (15). The diagram is divided into three main vertical panels, each illustrating a different part of the building's exterior or interior structure.

**Left Panel:** This panel shows a vertical wall section. Key features include a diagonal timber handrail, a glass panel with 8mm thick 'GRADE A' laminated safety glass, and a structural steel frame at the base. Annotations specify 'PB 2900' at the bottom left and 'FRAMING TO BUILDER DETAIL' near the glass panel. Structural dimensions include 180, 250, and 325. Construction instructions include 'MAKE GOOD OR REPLACE EXISTING WEATHERBOARDS' and 'EXISTING BEAM INTUMESCENT PAINT FINISH : REFER TO INTERIOR FINISHES SCHEDULE'.

**Middle Panel:** This panel shows a more complex vertical section, likely a corner or a more intricate wall detail. It includes a diagonal handrail, a glass panel, and a structural steel frame. Annotations specify 'W3G' labels, 'EXISTING COLUMN INTUMESCENT PAINT FINISH : REFER TO INTERIOR FINISHES SCHEDULE', and 'EXISTING BEAM INTUMESCENT PAINT FINISH : REFER TO INTERIOR FINISHES SCHEDULE'. Structural dimensions include 180, 250, and 325. Construction instructions include 'MAKE GOOD OR REPLACE EXISTING WEATHERBOARDS' and 'EXISTING BEAM INTUMESCENT PAINT FINISH : REFER TO INTERIOR FINISHES SCHEDULE'.

**Right Panel:** This panel shows a horizontal section, likely a floor slab or a header beam. It includes a diagonal handrail, a glass panel, and a structural steel frame. Annotations specify 'SIM' and 'A5.021' labels, and 'EXISTING BEAM INTUMESCENT PAINT FINISH : REFER TO INTERIOR FINISHES SCHEDULE'. Structural dimensions include 180, 250, and 325. Construction instructions include 'MAKE GOOD OR REPLACE EXISTING WEATHERBOARDS' and 'EXISTING BEAM INTUMESCENT PAINT FINISH : REFER TO INTERIOR FINISHES SCHEDULE'.

**Bottom Right:** A small circular inset labeled '4 A5.023' provides a magnified view of a specific detail, likely related to the 'FRAMING TO BUILDER DETAIL' mentioned in the left panel.

# 2 HERITAGE BEAM SECTION 08

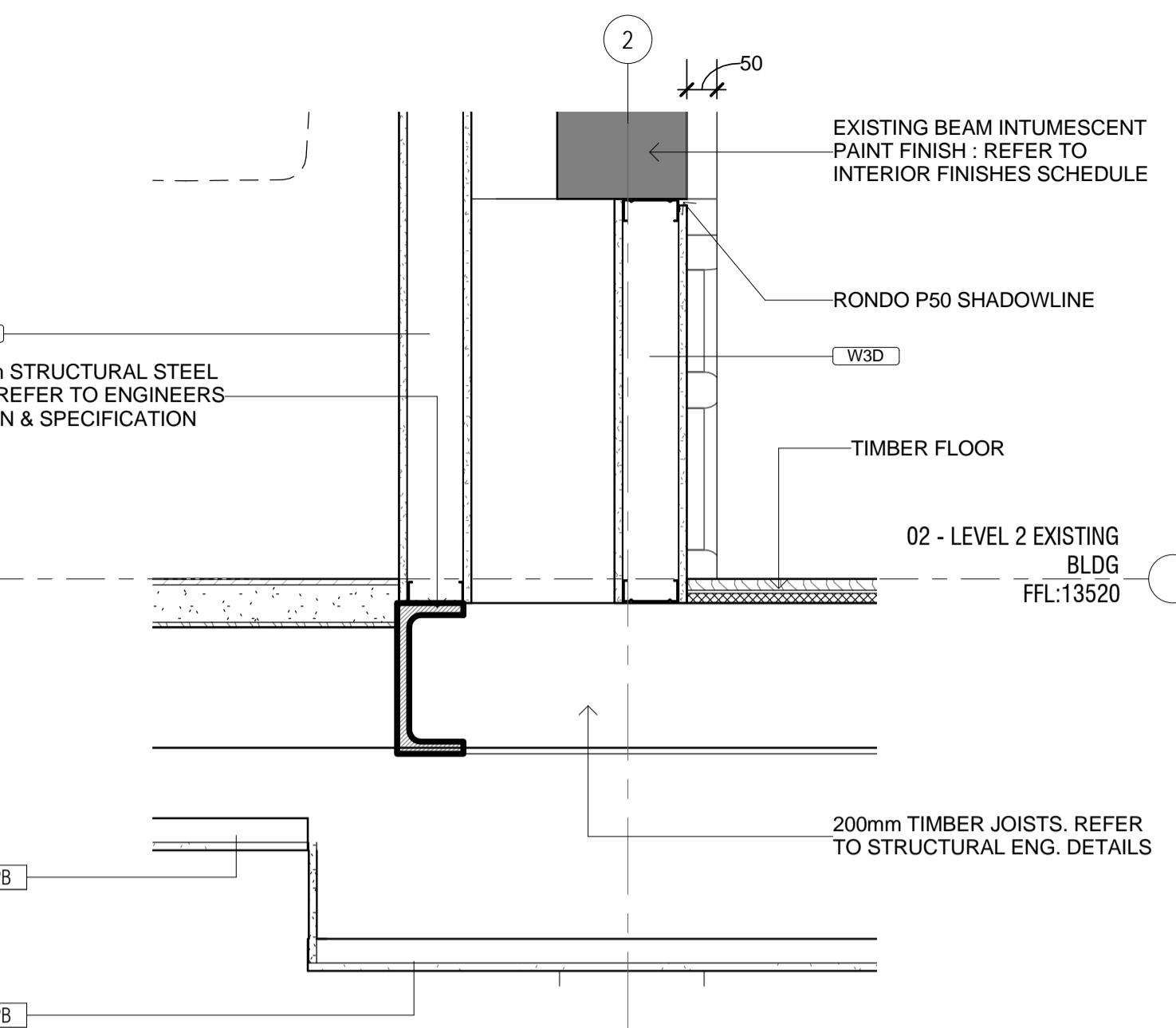
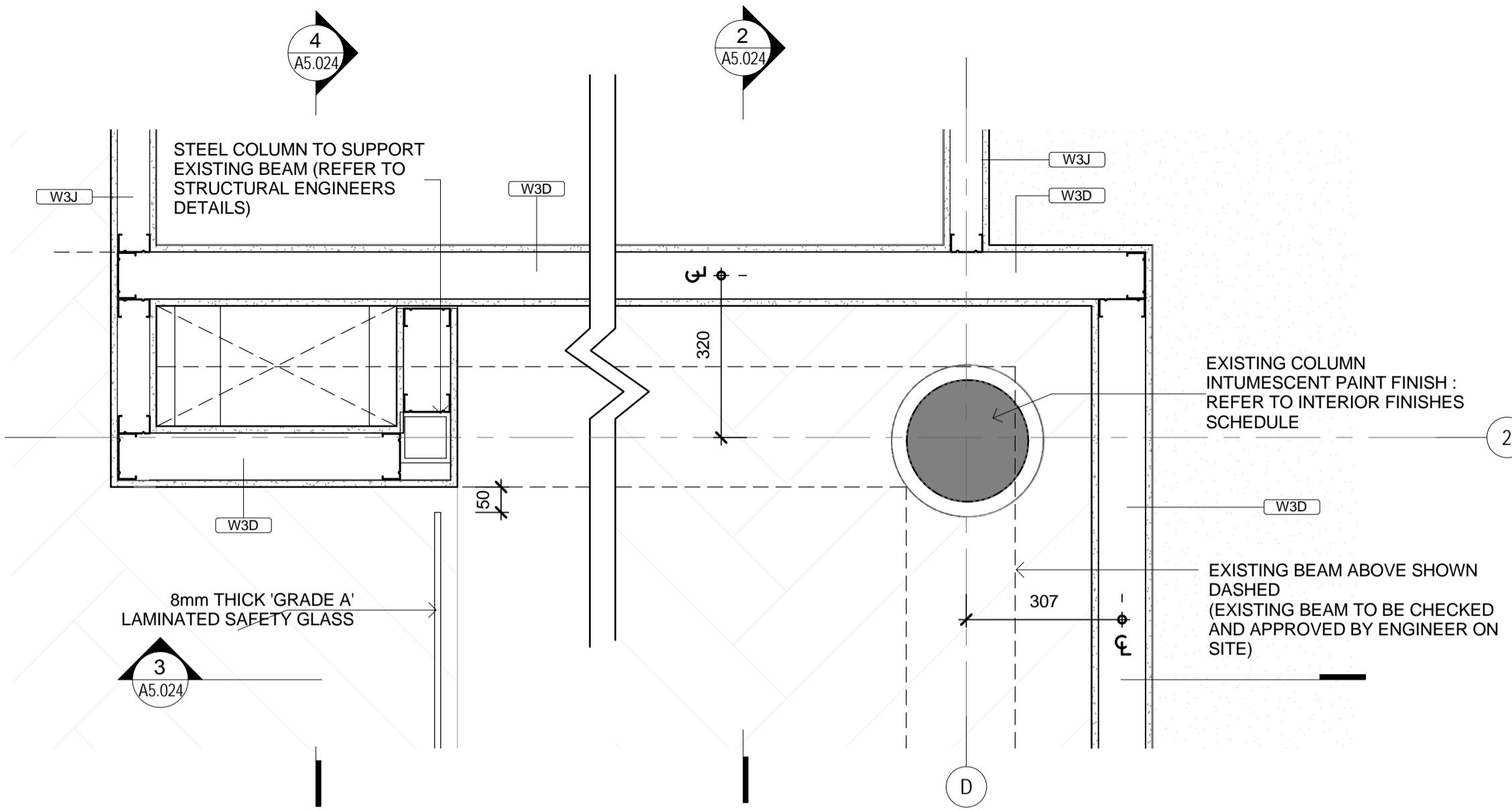
# 3 HERITAGE BEAM SECTION 0

4 HERITAGE BEAM SECTION 15  
A5.023 1 : 10

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3084 A5.023 B



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STRUCTURAL ENGINEER	: PDS AUST
SERVICES ENGINEER	: ERBAS
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ACOUSTIC	: RENZO TONIN
HERITAGE	: RAPPORT HERITAGE
TRAFFIC	: MCLAREN TRAFFIC ENGINEERING
CIVIL	: IBRAHIM STORMWATER CONSULTANTS
LANDSCAPE	: URBIS
PCA	: CITY PLAN SERVICES

**Client**

**WENTWORTH EQUITIES**

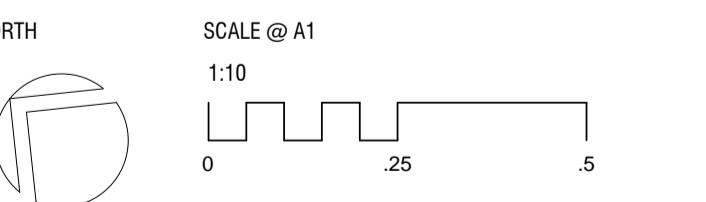


**Project**

**BALMAIN APARTMENTS**  
100-104 Reynolds St, Balmain

**Sheet Title**

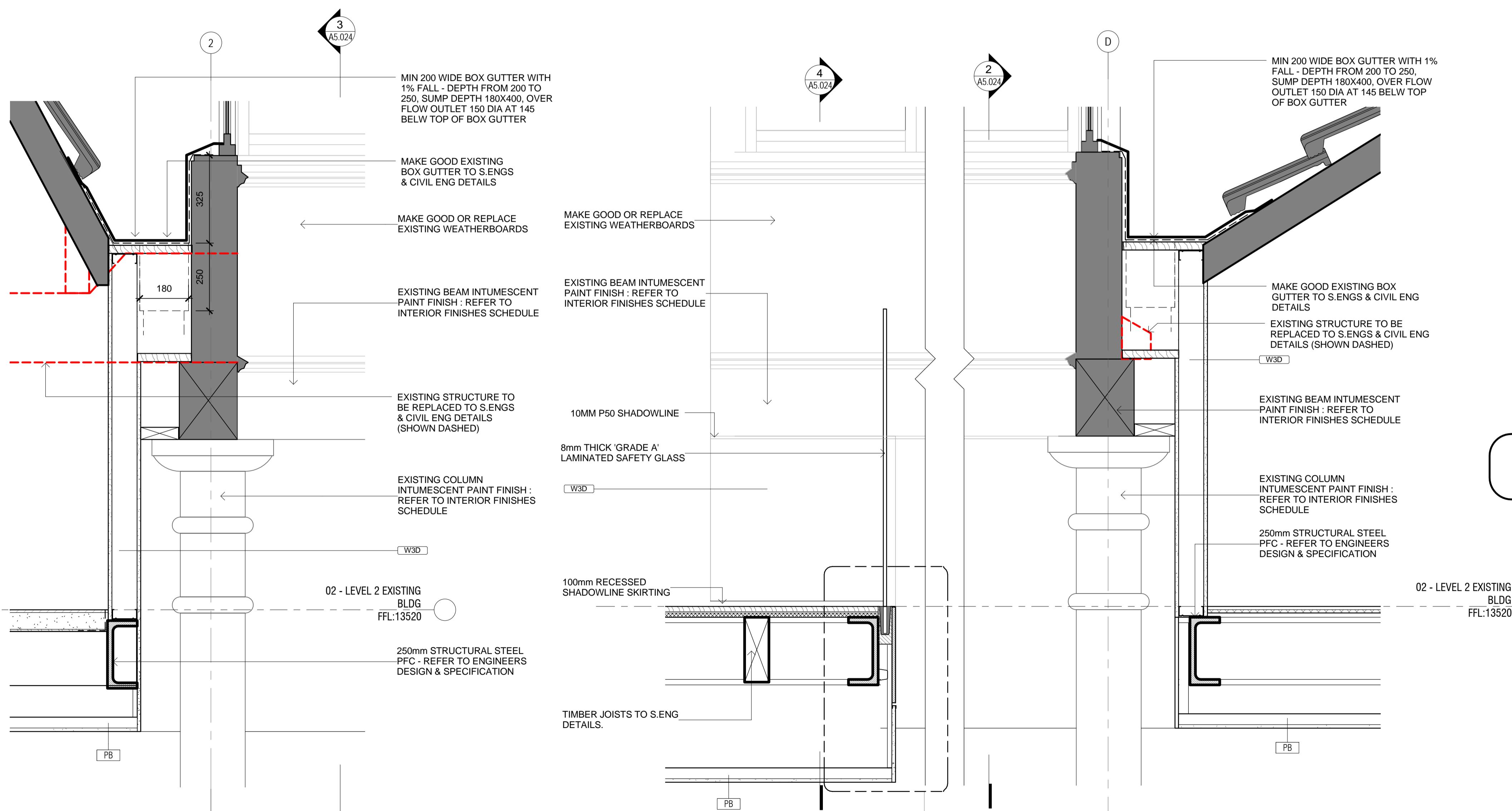
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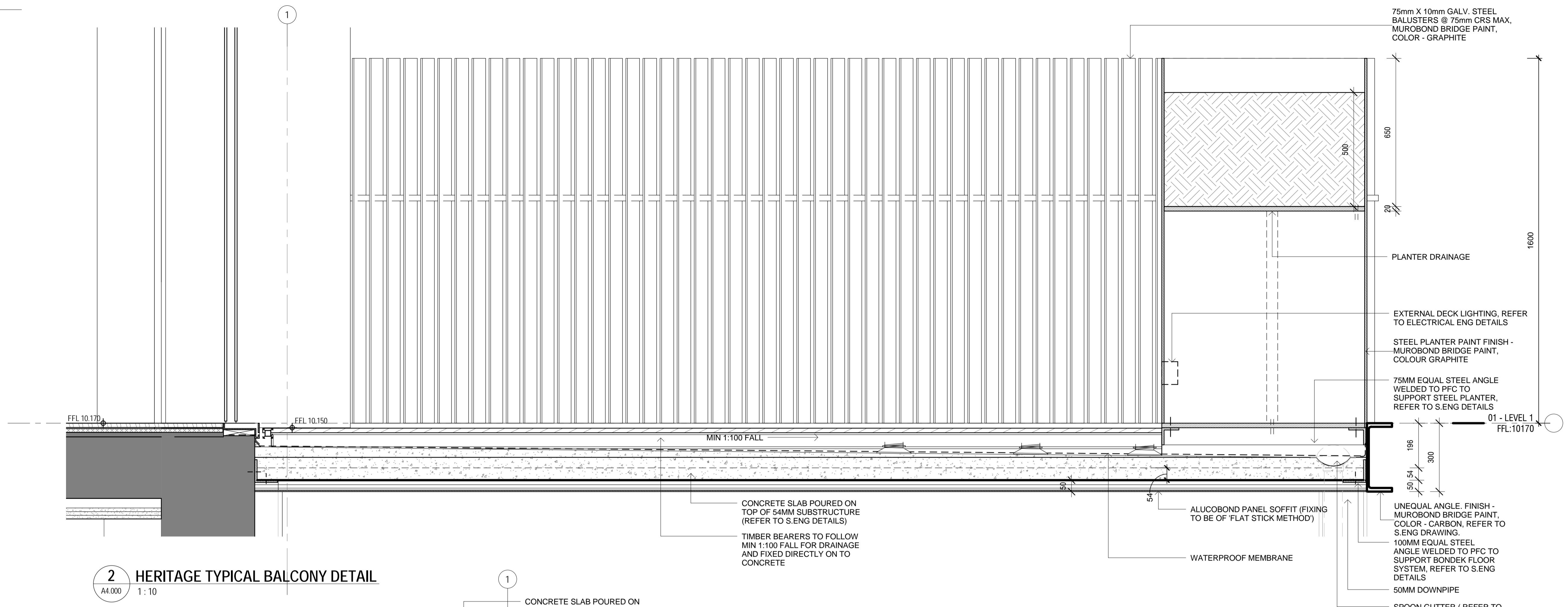
Drawn Checked Date Scale  
Author CS JUN 2015 1:10  
@ A1

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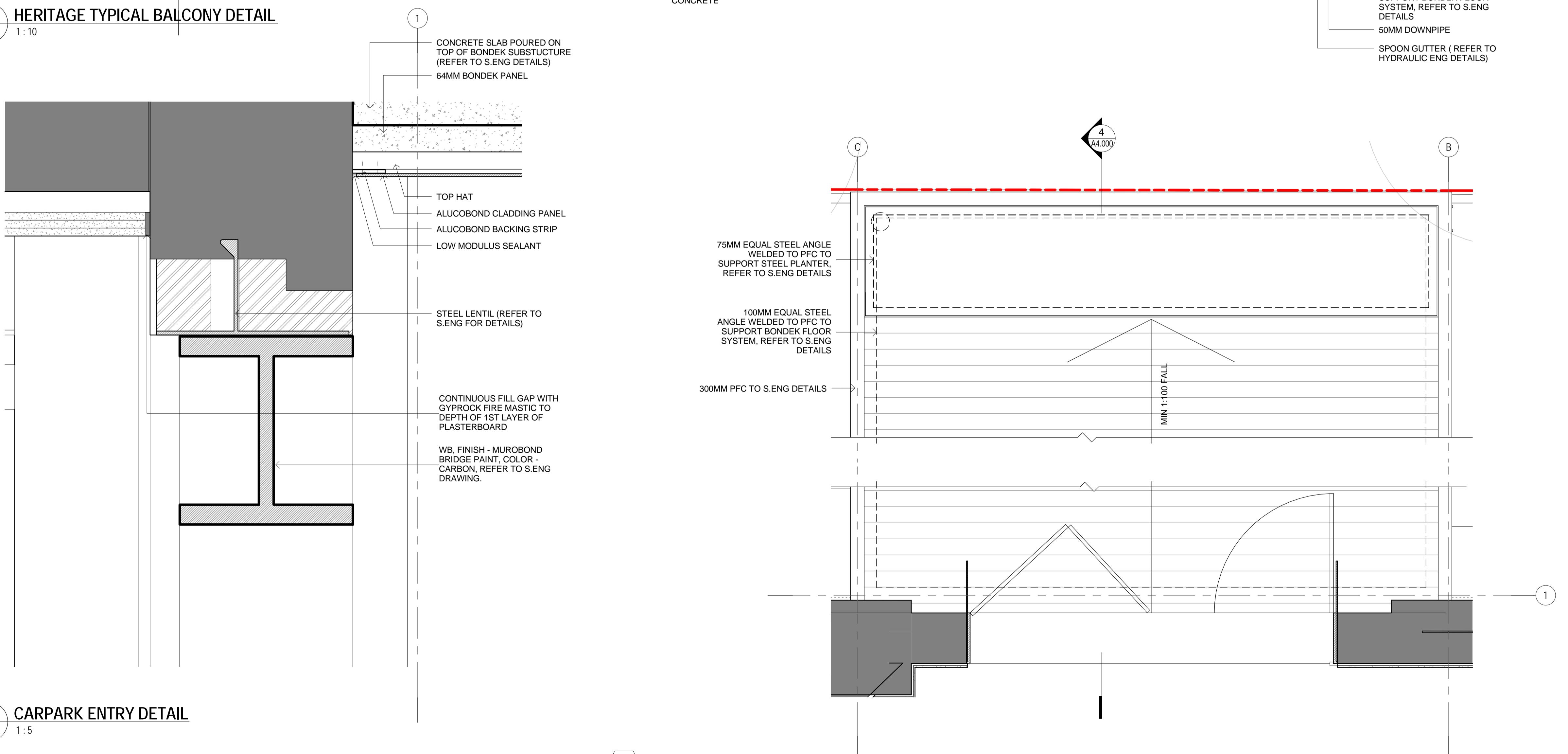
**Project No.** 3084 **Sheet No.** A5.024 **Revision** B



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2 HERITAGE TYPICAL BALCONY DETAIL  
A4.000 1:10



1 CARPARK ENTRY DETAIL  
A4.051 1:5

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STRUCTURE & MAKE GOOD WHERE NECESSARY



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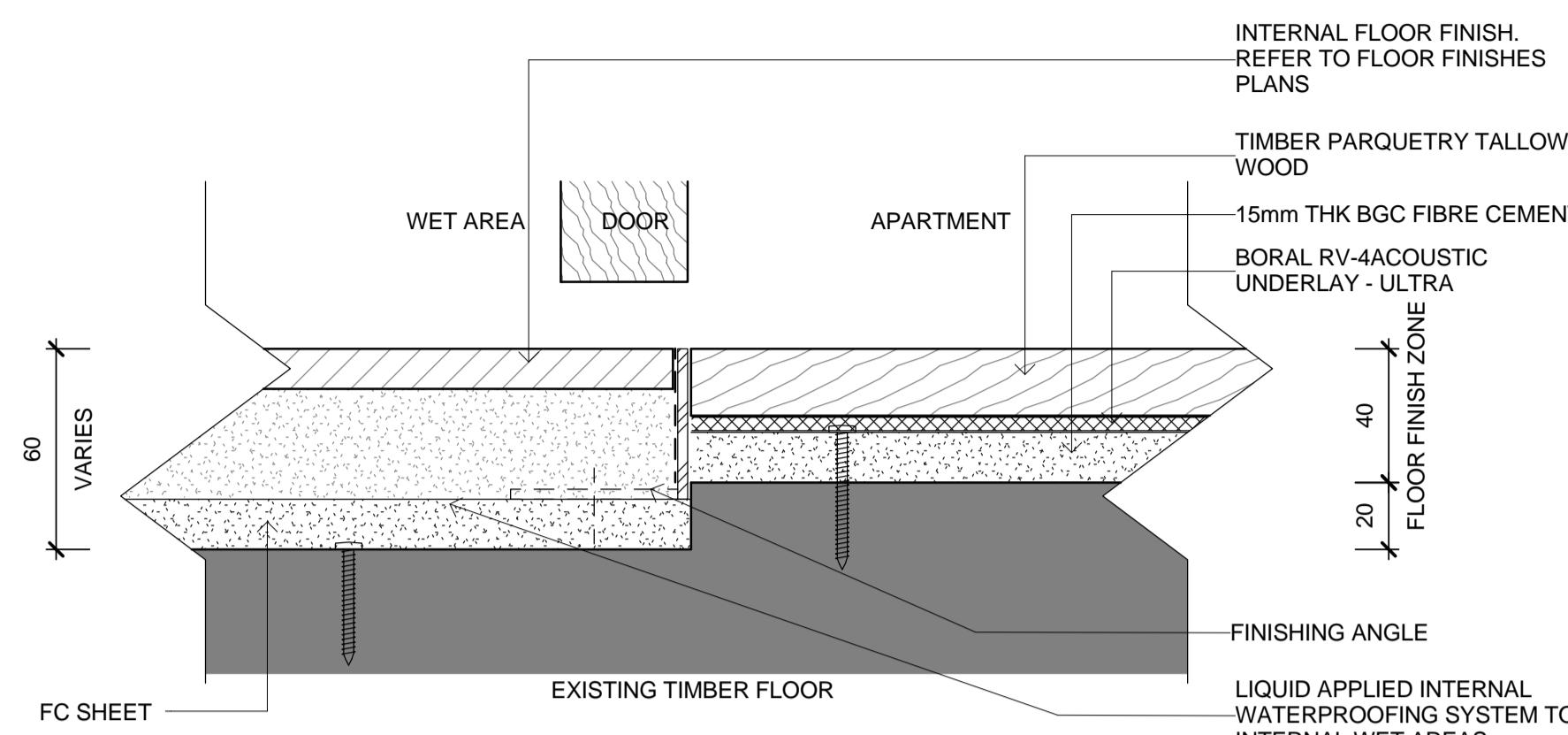
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CONSTRUCTION DETAILS - TYPICAL  
BALCONY DETAIL

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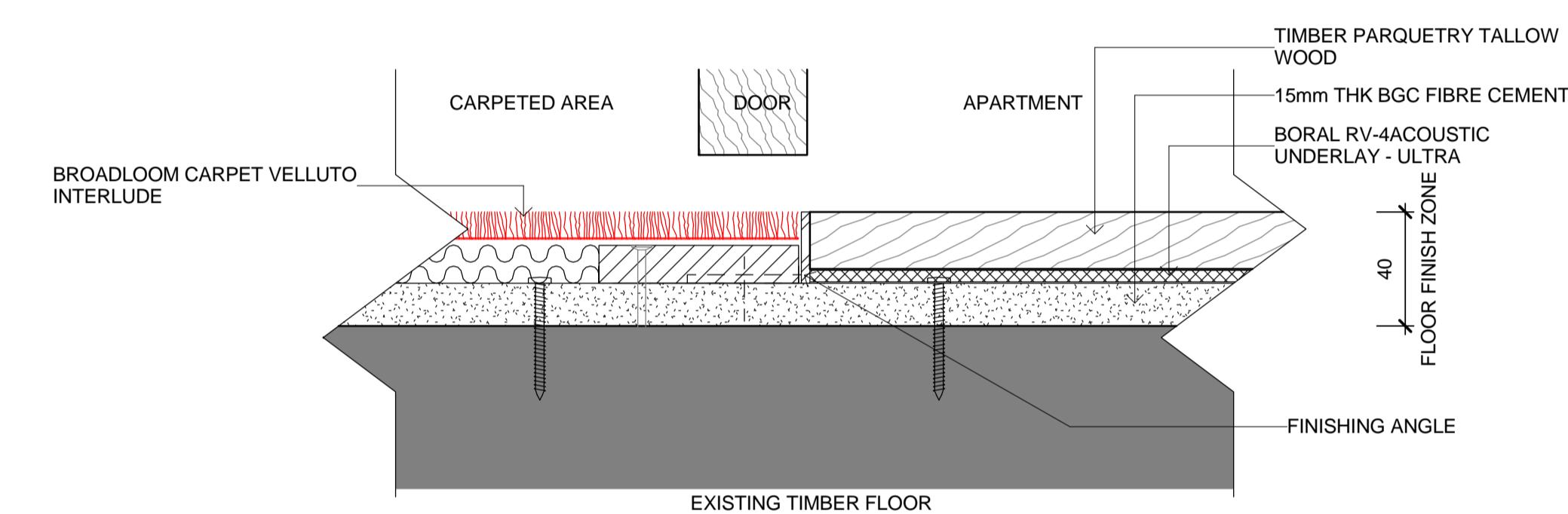
Drawn Checked Date Scale  
Author CS JUN 2015 As indicated  
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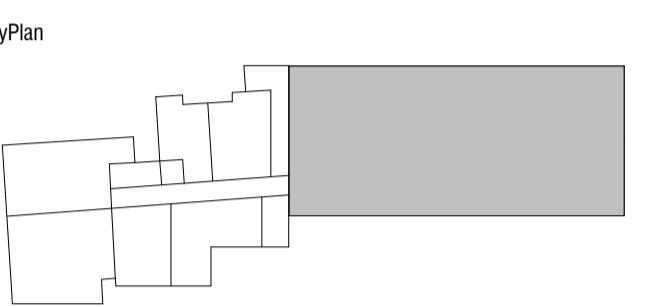
Project No. Sheet No. Revision  
3084 A5.025 B



**1 PAQUETRY TO WET AREAS - LEVEL 1**



**2 CARPET TO TIMBER FLOOR AREAS - LEVEL 1**



**Consultants**

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STRUCTURAL ENGINEER	: ERBAS
SERVICES ENGINEER	: DESIGN CONFIDENCE
BCA + ACCESS	: RENZO TONIN
ACOUSTIC	: RAPPORT HERITAGE
HERITAGE	: MCLAREN TRAFFIC ENGINEERING
TRAFFIC	: IBRAHIM STORMWATER CONSULTANTS
CIVIL	: URBIS
LANDSCAPE	: CITY PLAN SERVICES
PCA	

**Client**  
**WENTWORTH EQUITIES**

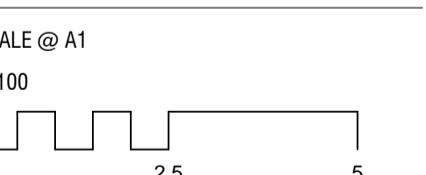


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**Sheet Title**

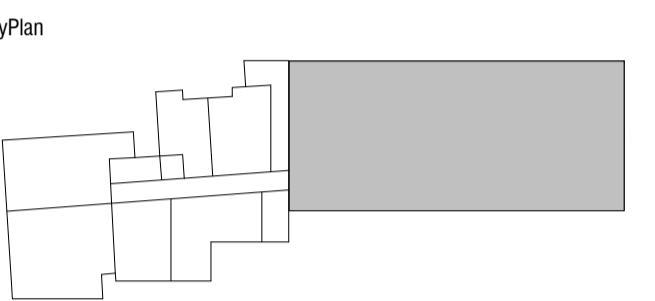
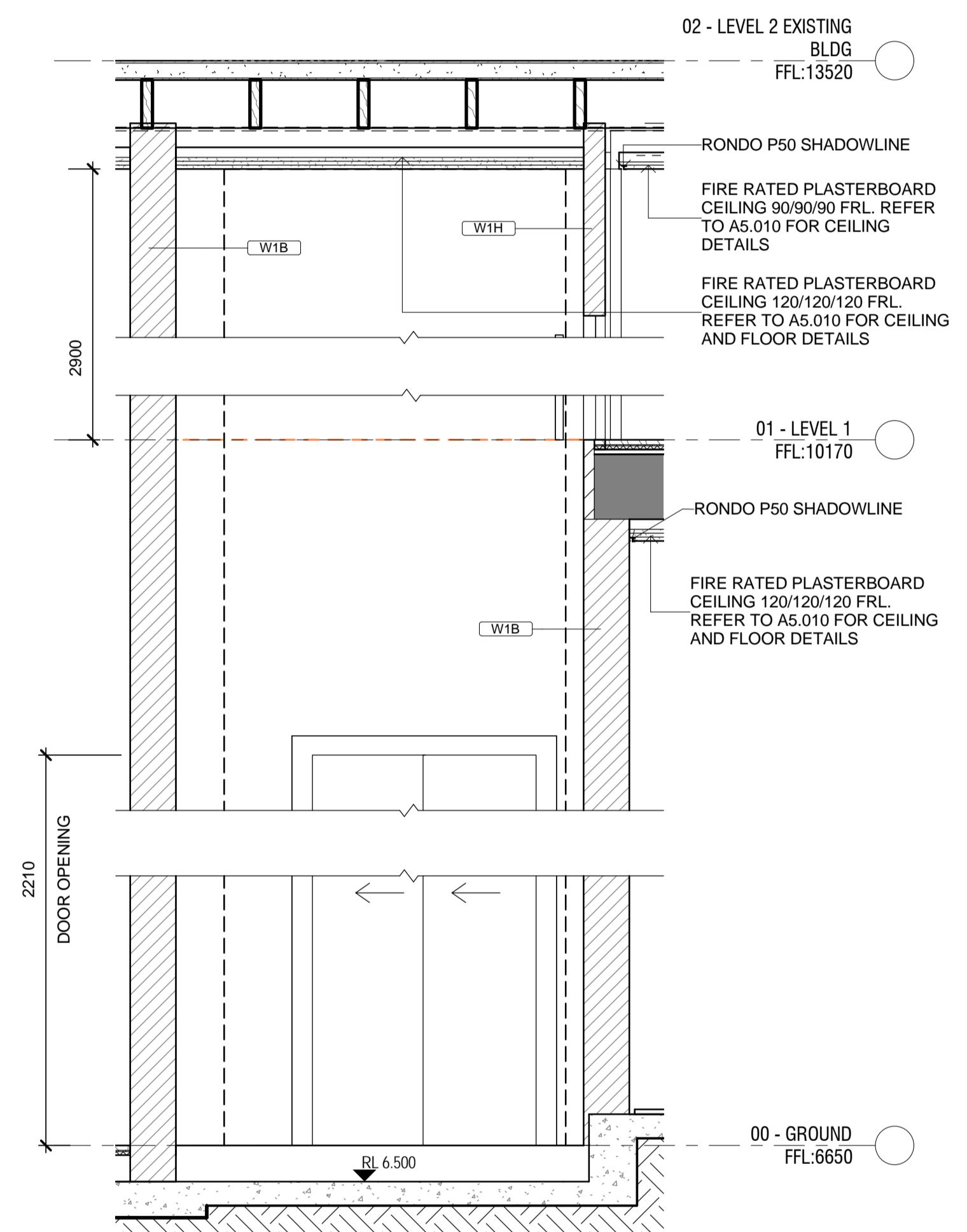
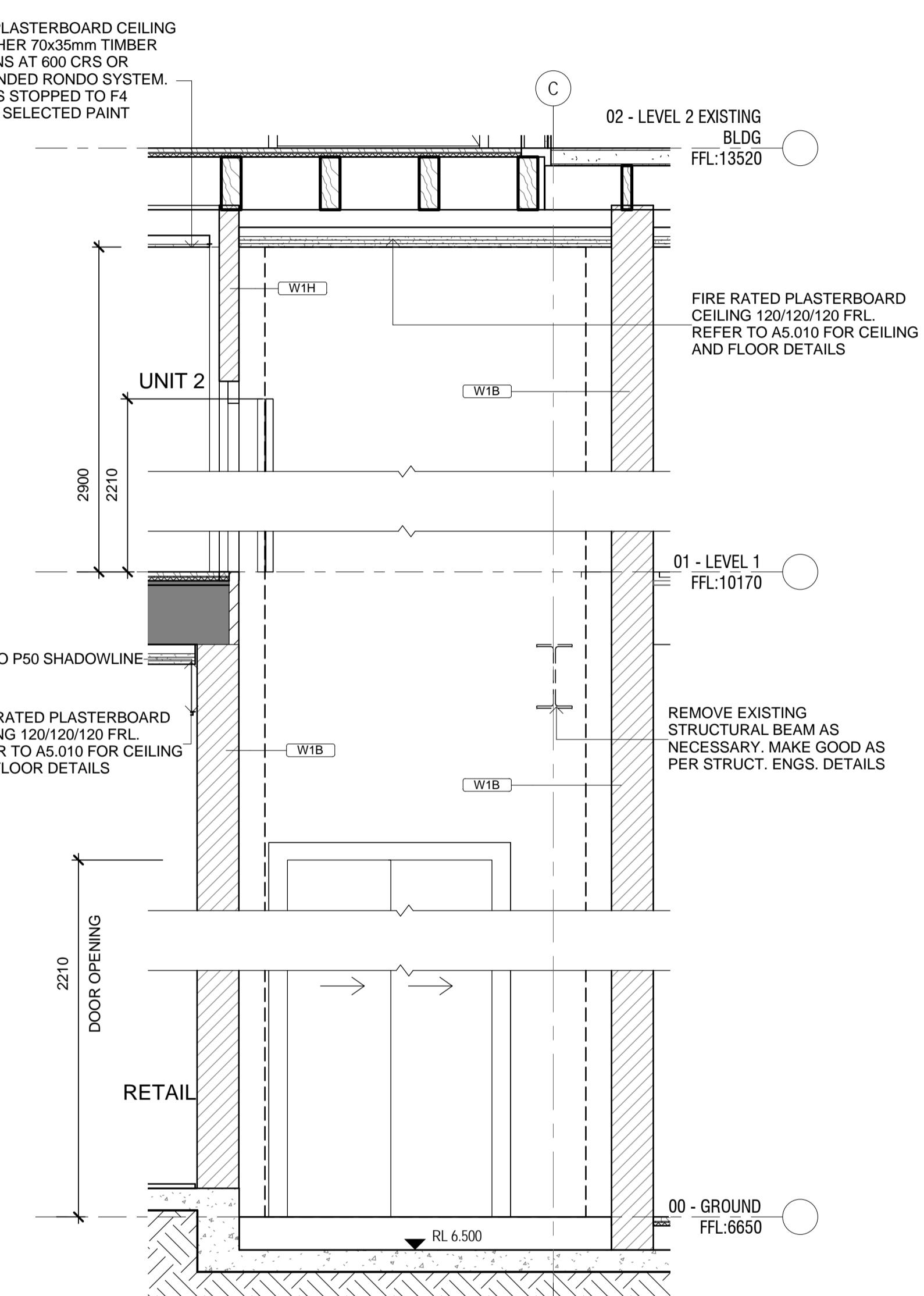
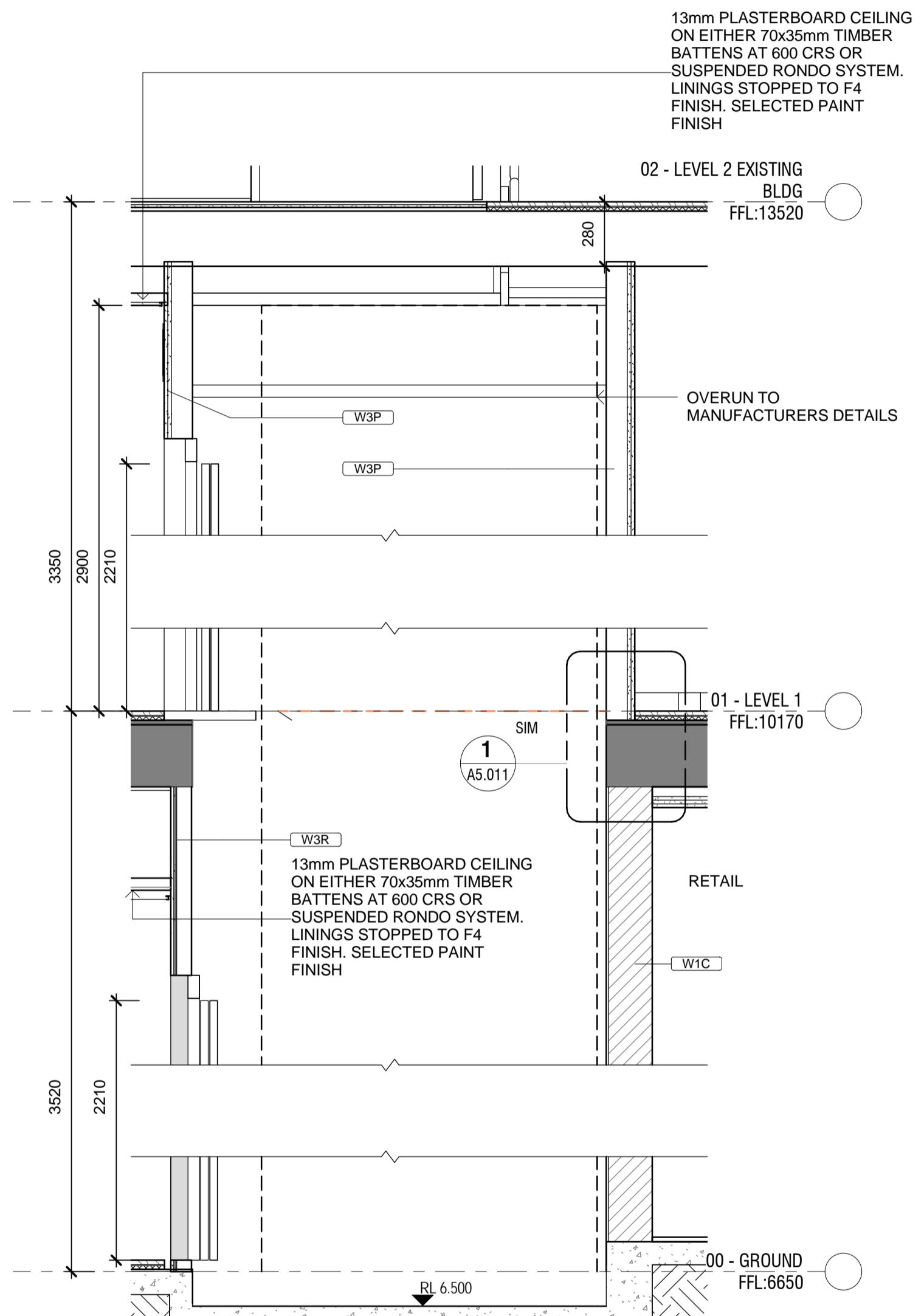
### FLOORING DETAIL



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**Consultants**

DEVELOPMENT MANAGER	: PDS AUST
STRUCTURAL ENGINEER	: ERBAS
SERVICES ENGINEER	: DESIGN CONFIDENCE
BCA + ACCESS	: RENZO TONIN
ACOUSTIC	: RAPPORT HERITAGE
HERITAGE	: McLAREN TRAFFIC ENGINEERING
TRAFFIC	: BRAHIM STORMWATER CONSULTANTS
CIVIL	: URBIS
LANDSCAPE	: CITY PLAN SERVICES
PCA	

**Client**

WENTWORTH EQUITIES

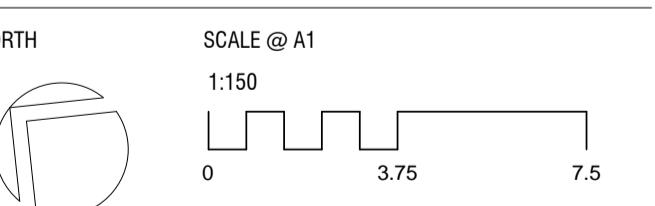


**SYDNEY**  
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Sydney, NSW  
2000, Australia  
PH (02) 8270 3933  
www.custance.com.au

**Project**  
**BALMAIN APARTMENTS**  
100-104 Reynolds St, Balmain

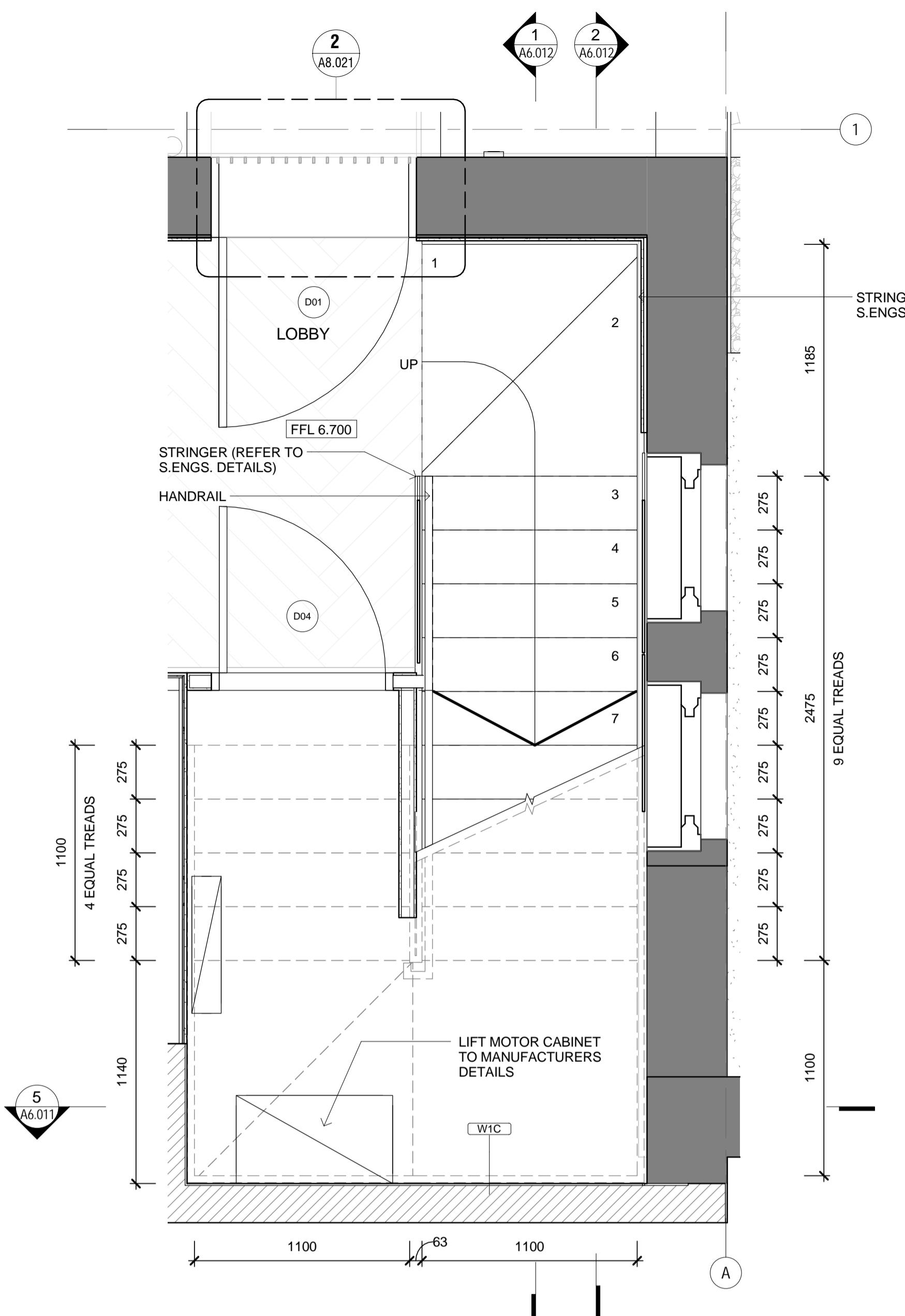
**Sheet Title**

### LIFT DETAILS



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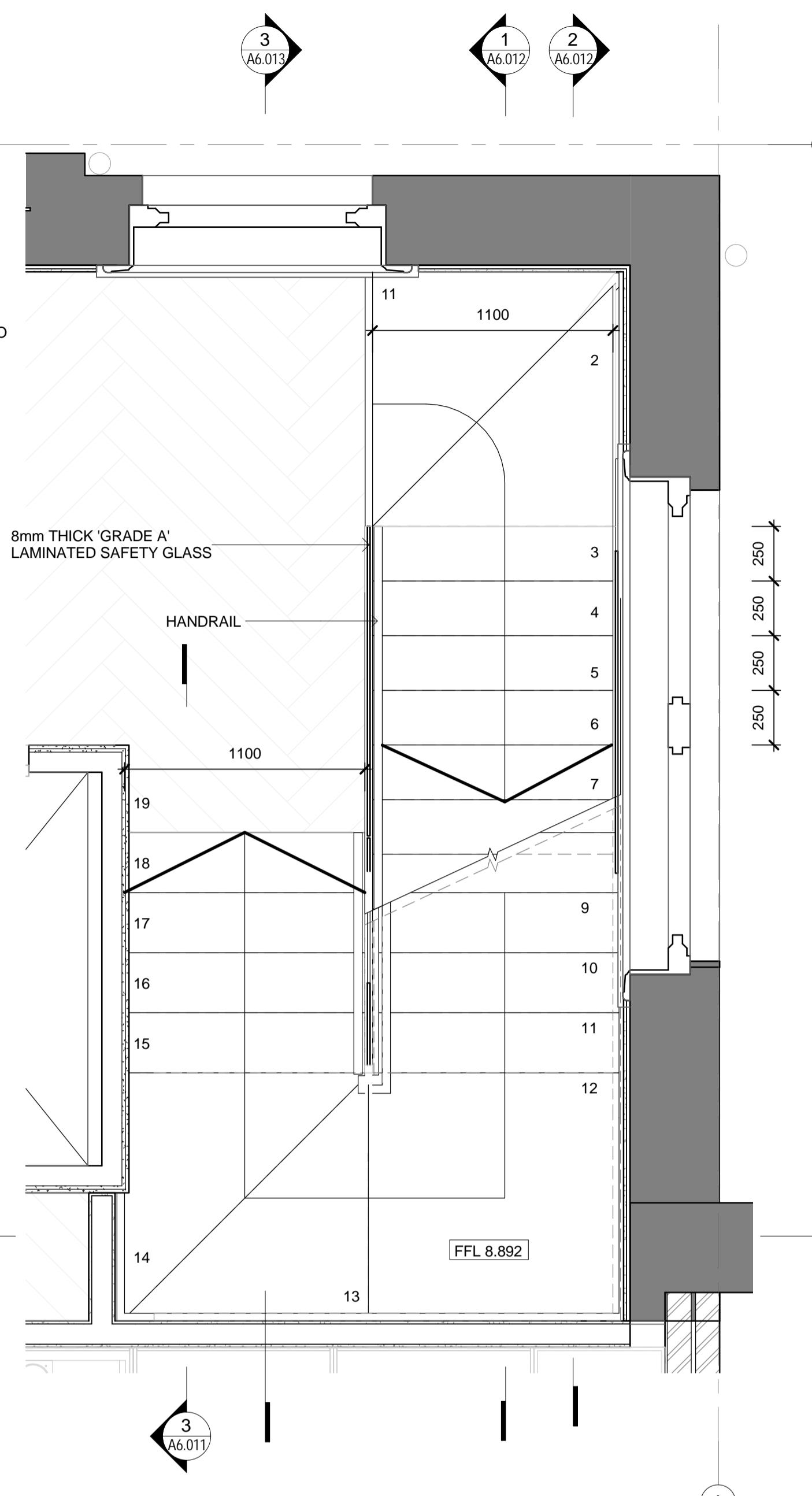
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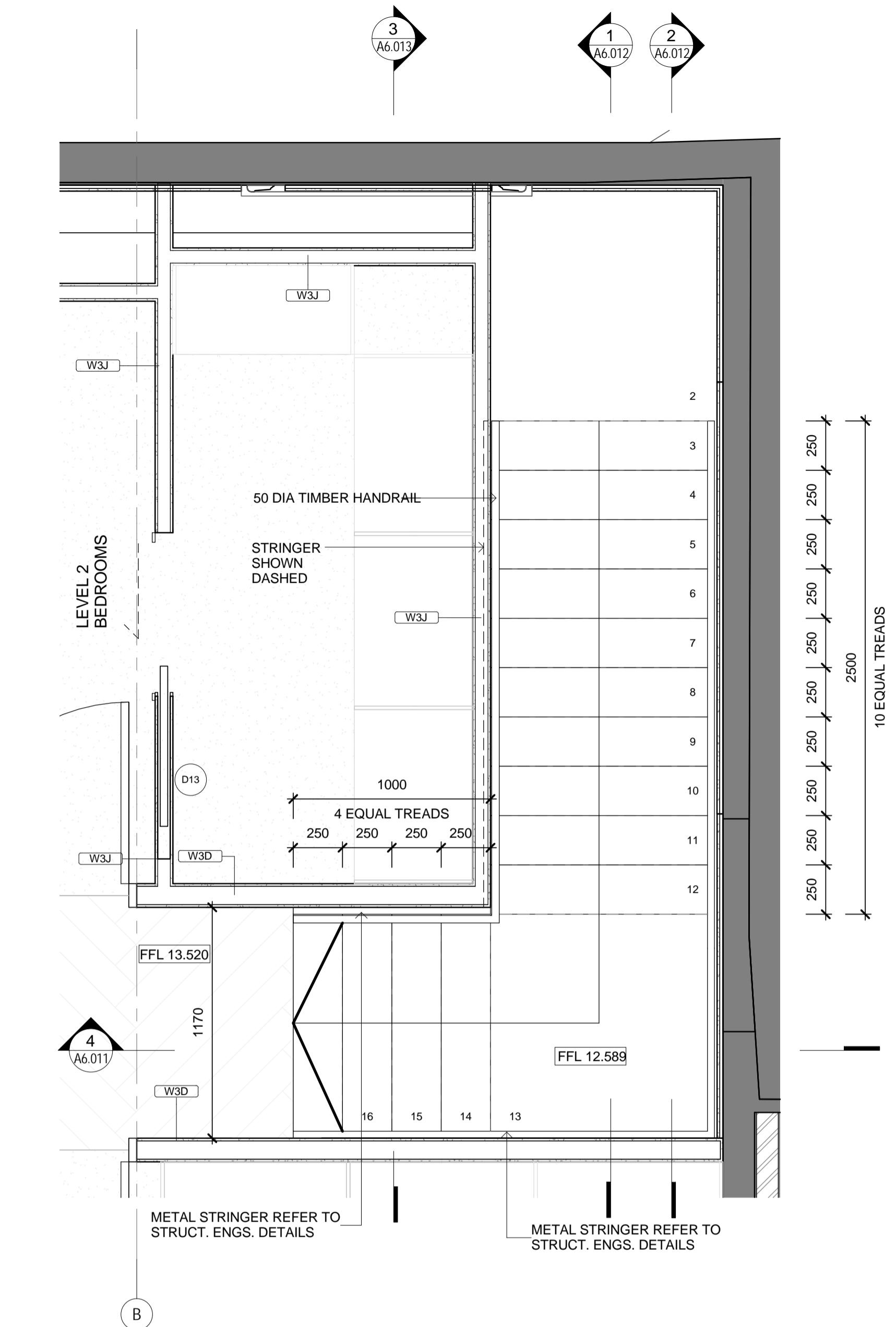


# STAIR DETAIL PLAN - UNIT 01 - STAIR 1 - GL

1 : 20

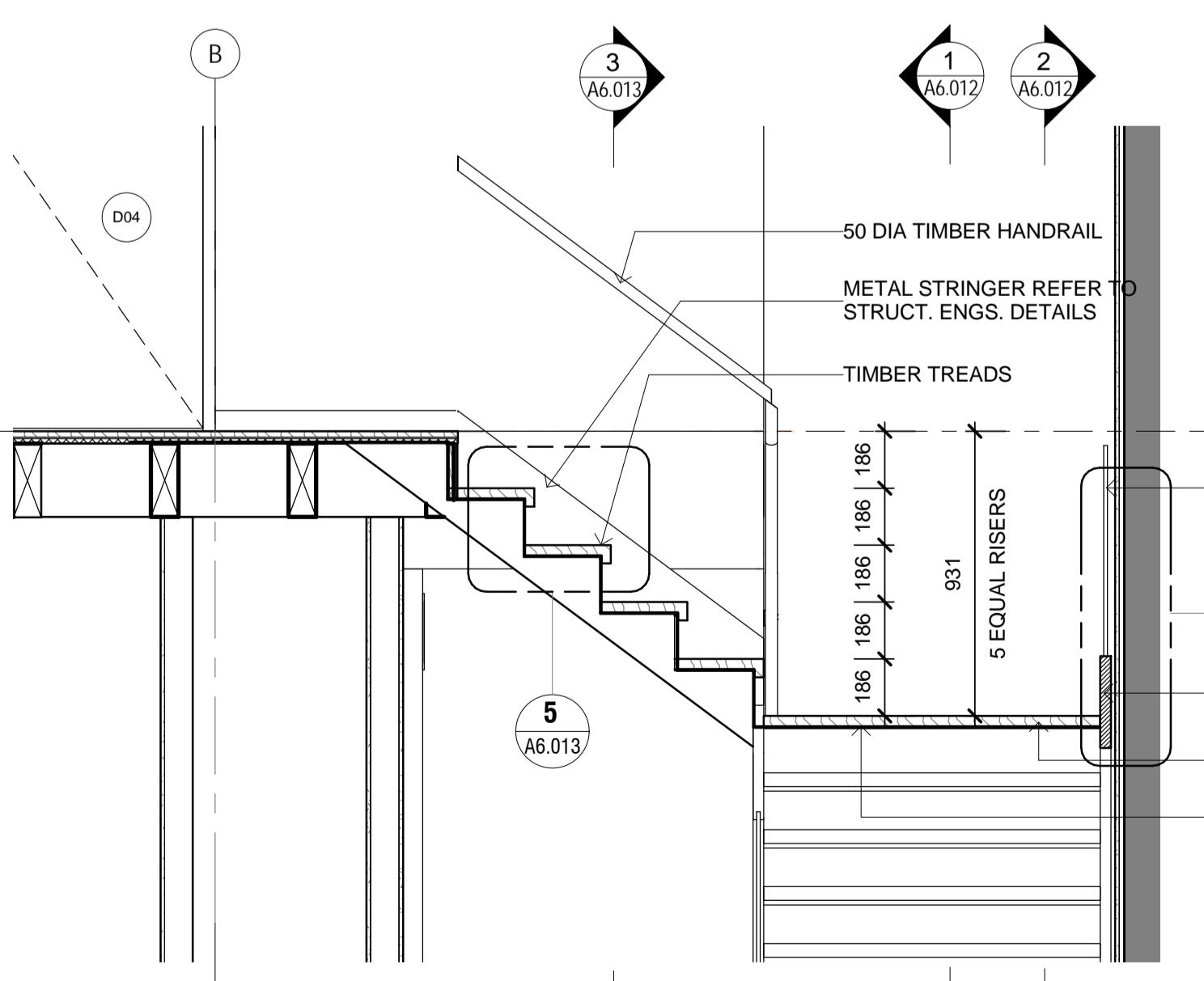


**STAIR DETAIL PLAN - UNIT 01 - STAIR 1 - LEVEL 1**

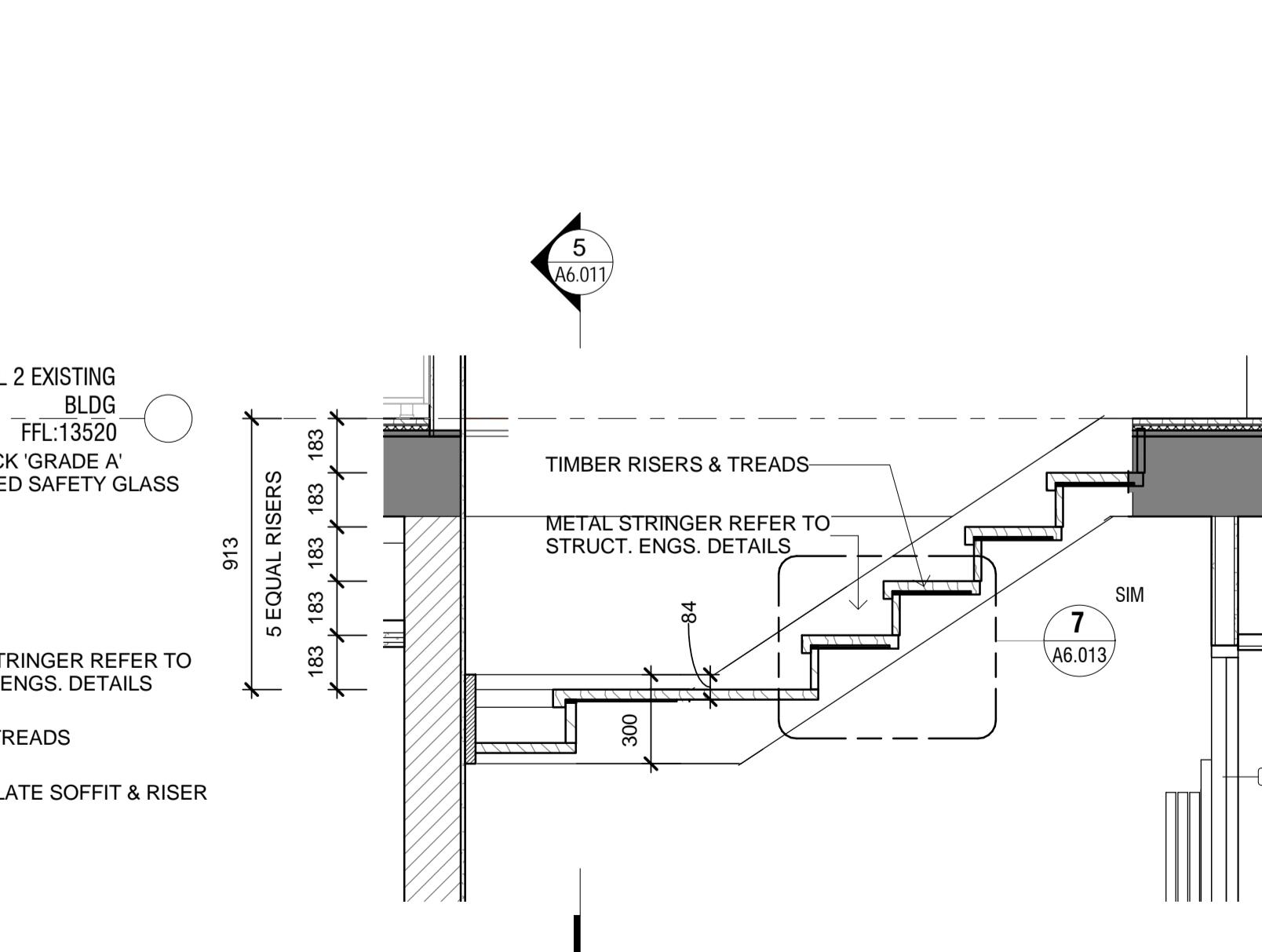


 STAIR DETAIL PLAN - UNIT 01 - STAIR 1 - LEVEL 2  
A1.041 1 : 20

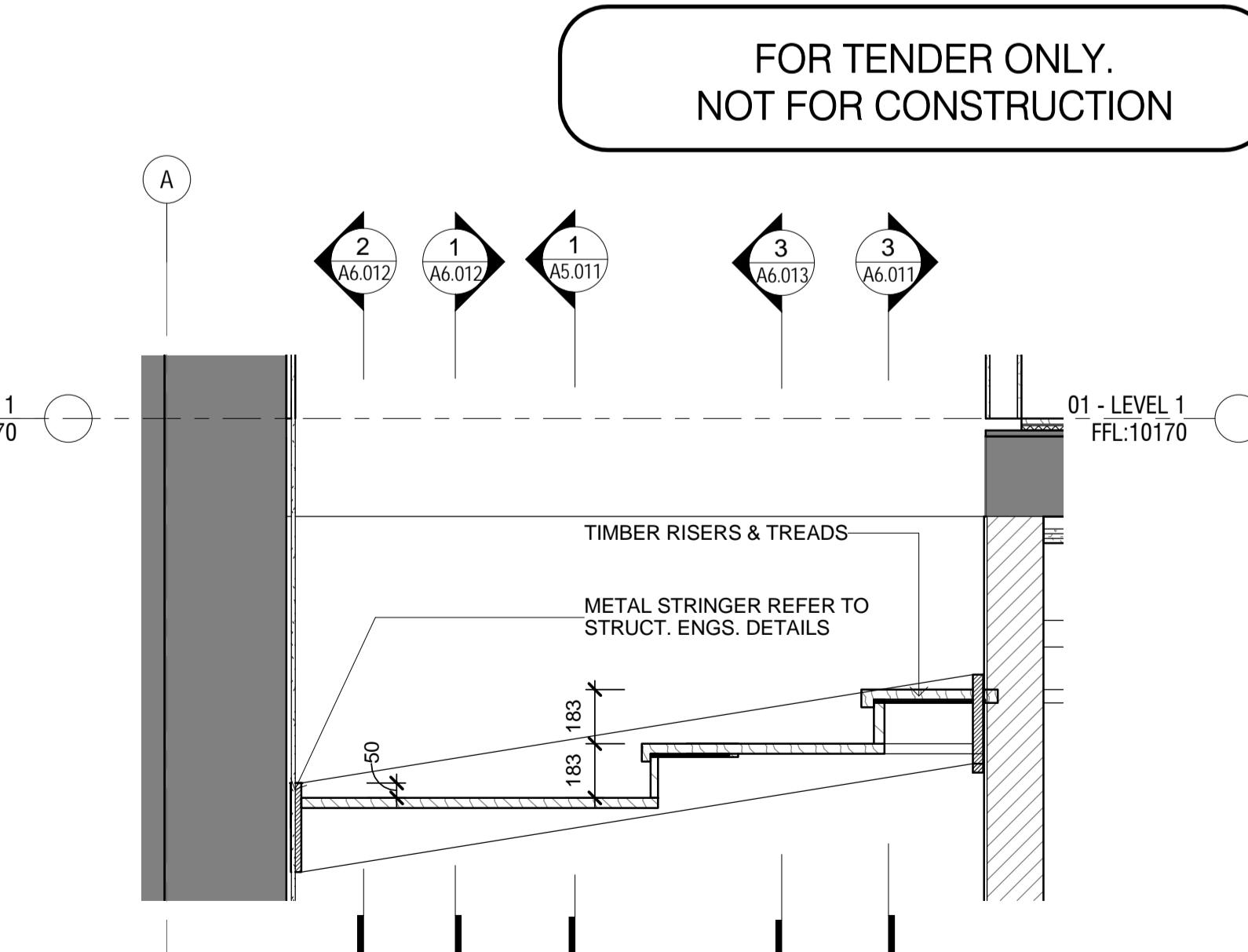
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# STAIR SECTION 03 - UNIT 01



**3** STAIR SECTION 04 - UNIT 01  
A6.011 1 : 20



**5** STAIR SECTION 05 - UNIT 01  
A6.011 1 : 20

<b>Revision</b>	<b>Description</b>	<b>Date</b>
A	TENDER ISSUE	22/05/2015
B	100% TENDER	24/06/2015

**Date**

22/05/2015  
24/06/2015

Project Details	
Development Manager	: PDS AUST
Structural Engineer	: PDS AUST
Services Engineer	: ERBAS
BCA + Access	: DESIGN CONFIDENCE
Acoustic	: RENZO TONIN
Heritage	: RAPPOPORT HERITAGE
Traffic	: McLAREN TRAFFIC ENGINEERING
Civil	: IBRAHIM STORMWATER CONSULTANTS
Landscape	: URBIS
BCA	: CITY PLAN SERVICES

Client

Strategy  
Urban Design  
Architecture  
Interior Design

**SYDNEY**  
Level M, 50 Carrington St  
Sydney, NSW  
2000, Australia

**Project**

# BALMAIN APARTMENTS

## 100-104 Reynolds St. Balmain

Sheet Title

STAIR DETAIL - UNIT 01

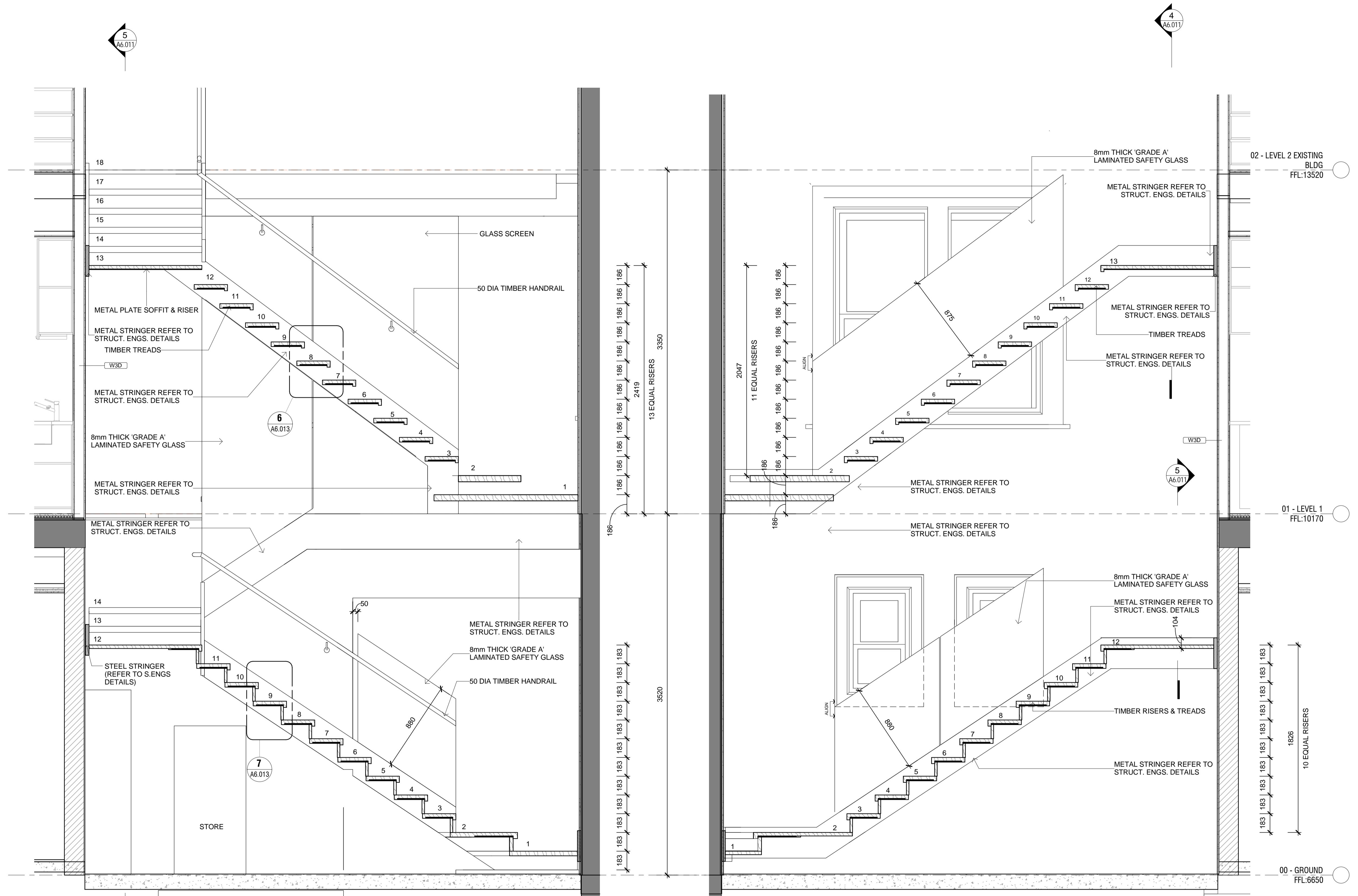
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Drawn	Checked	Date	Scale
Author	CS	JUN 2015	1 : 20 @ A1

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Project No. Sheet No. Revision  
3084 A6.011 B



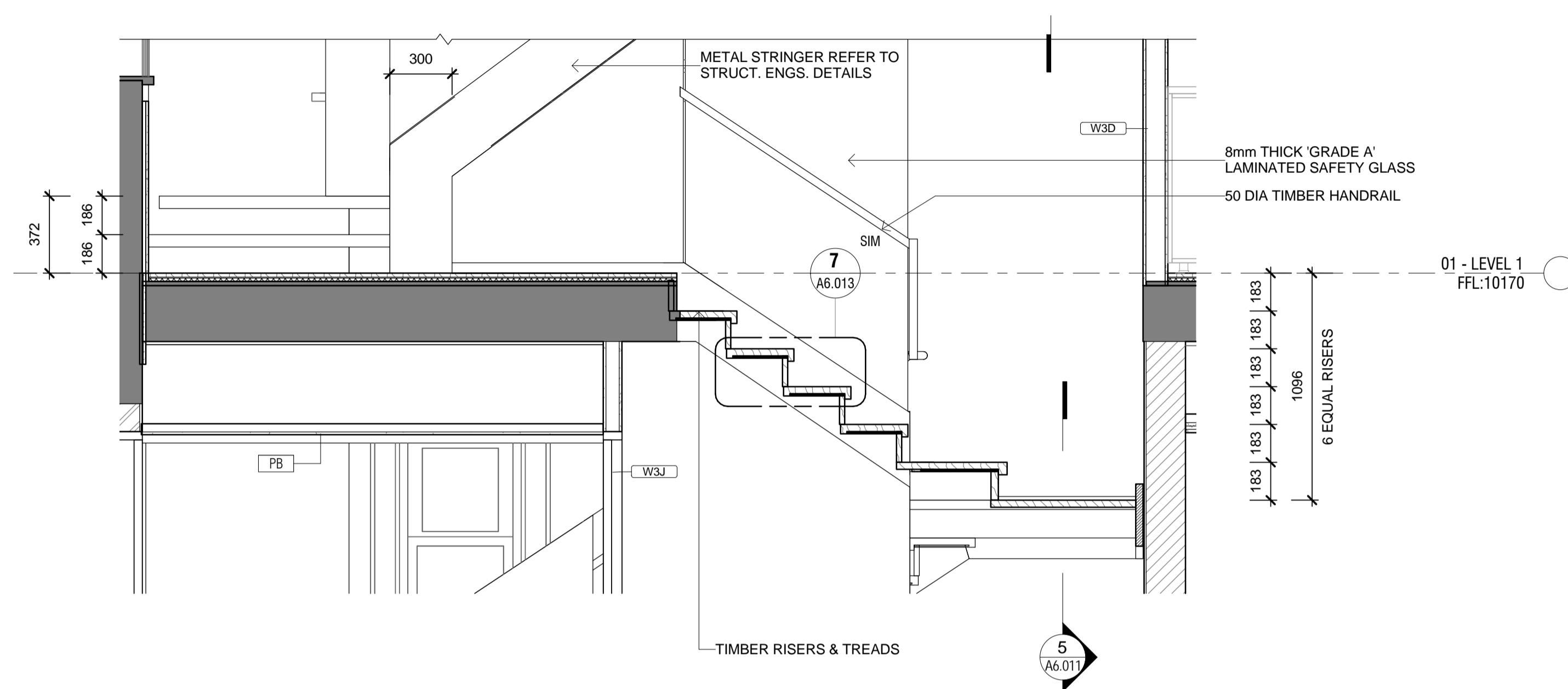
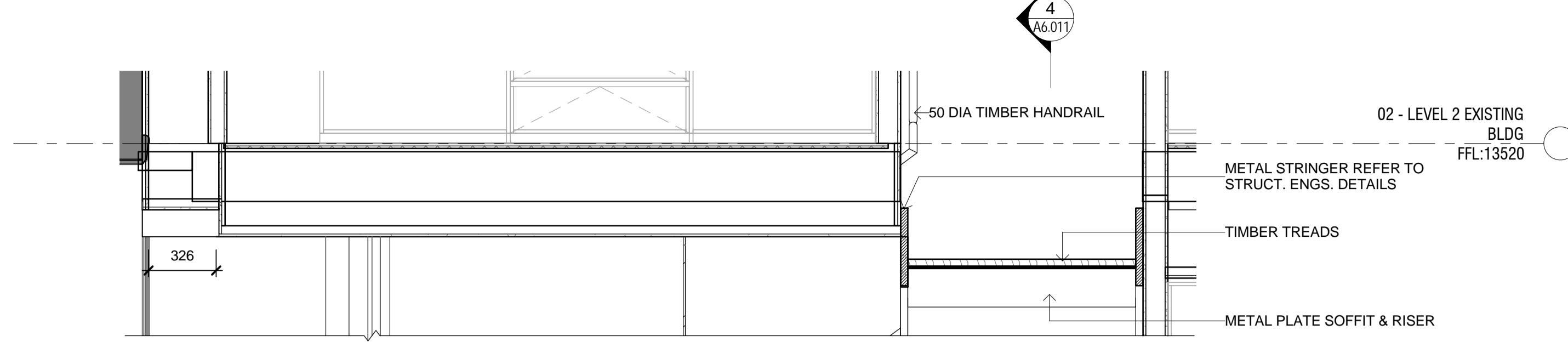
1 DETAIL SECTION 01 - UNIT 01 STAIR  
A6.011 1:20

2 STAIR SECTION 02 - UNIT 01  
A6.011 1:20

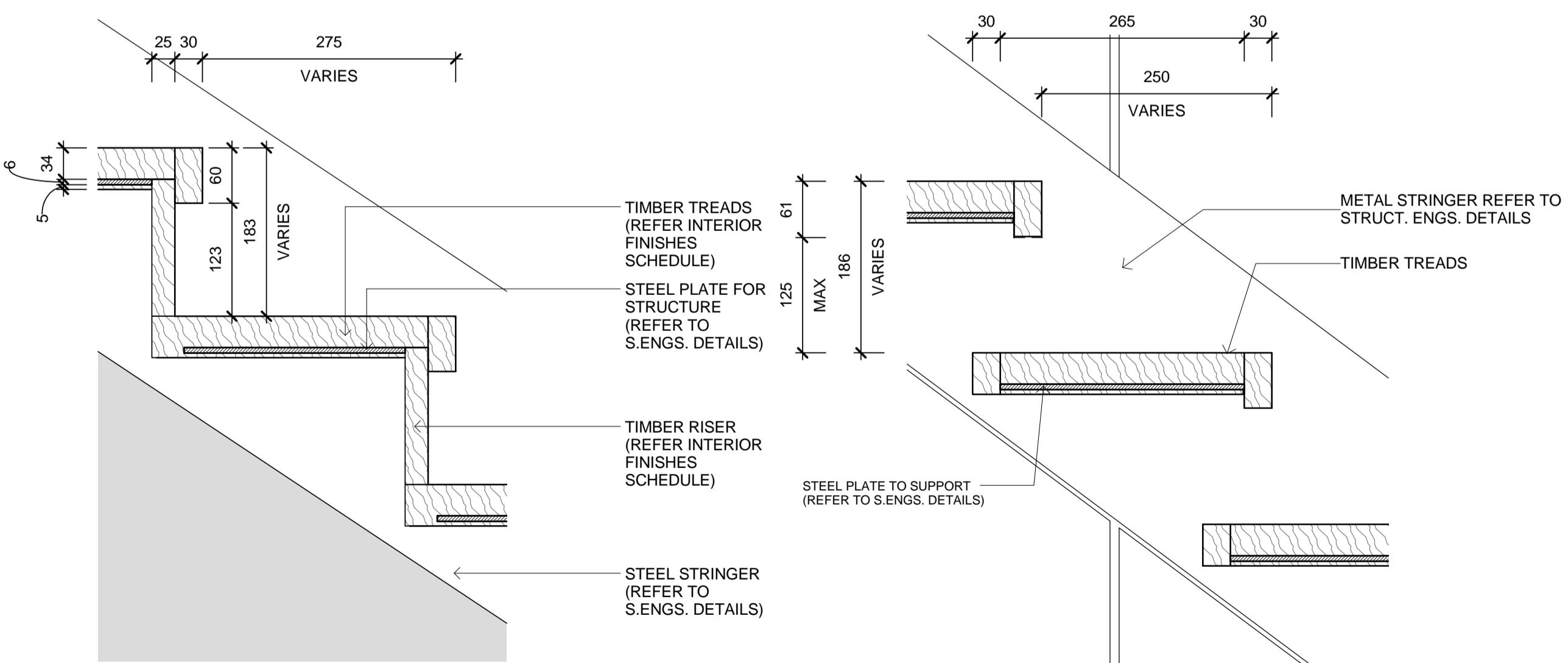
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3 STAIR SECTION 06 - UNIT 01  
A6.011 1:20

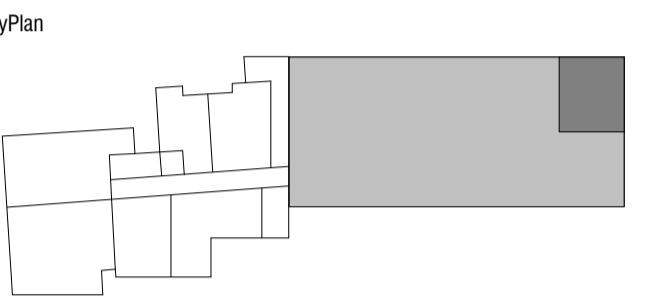


7 ENCLOSED STAIR TREAD DETAIL - TYPICAL  
A6.011 1:5

6 OPEN STAIR TREAD DETAIL - TYPICAL  
A6.012 1:5

5 METAL SOFFIT STAIR DETAIL - TYPICAL  
A6.011 1:5

4 TYPICAL BALUSTRADE DETAIL  
A6.011 1:5



**Consultants**

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STRUCTURAL ENGINEER	:	ERBAS
SERVICES ENGINEER	:	DESIGN CONFIDENCE
BCA + ACCESS	:	RENZO TONIN
ACOUSTIC	:	RAPPORT HERITAGE
HERITAGE	:	MCLAREN TRAFFIC ENGINEERING
TRAFFIC	:	IBRAHIM STORMWATER CONSULTANTS
CIVIL	:	URBIS
LANDSCAPE	:	CITY PLAN SERVICES
PCA	:	

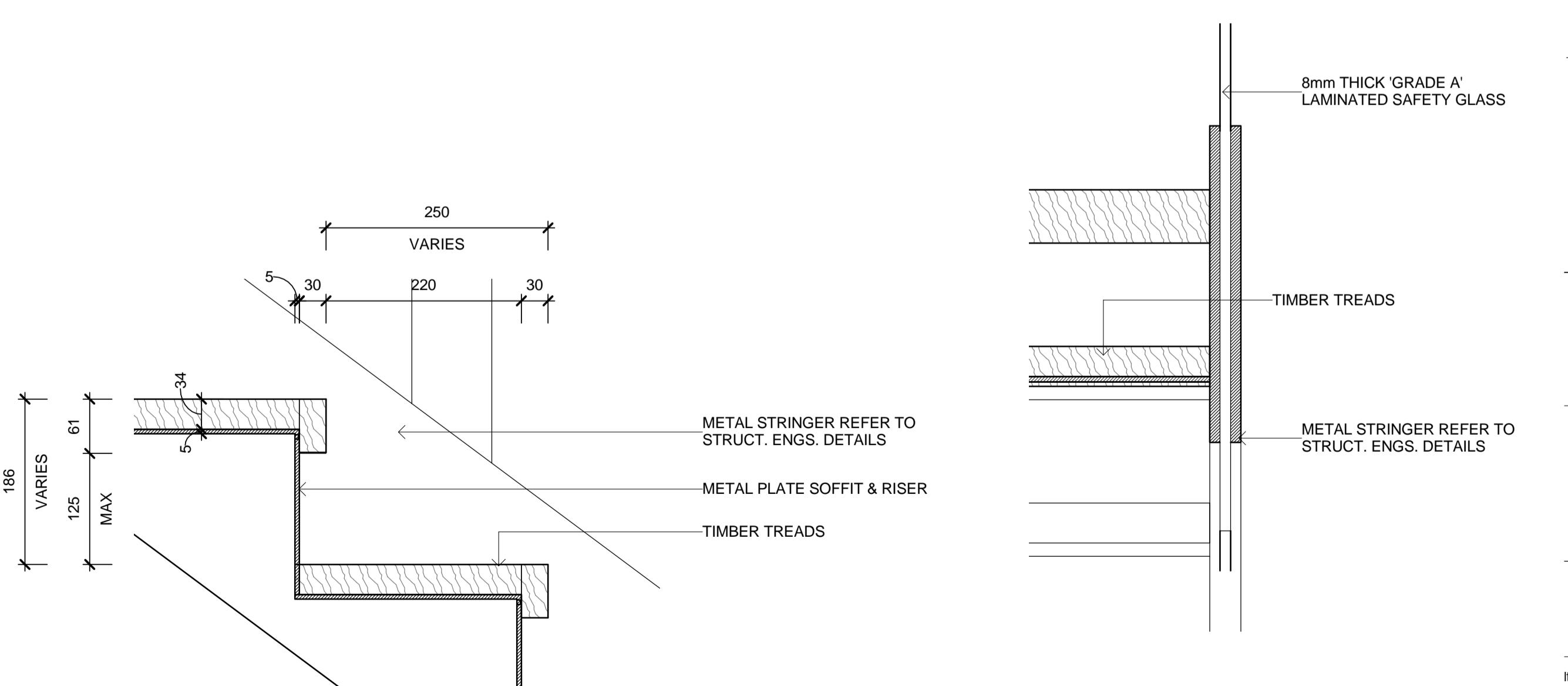
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WENTWORTH EQUITIES



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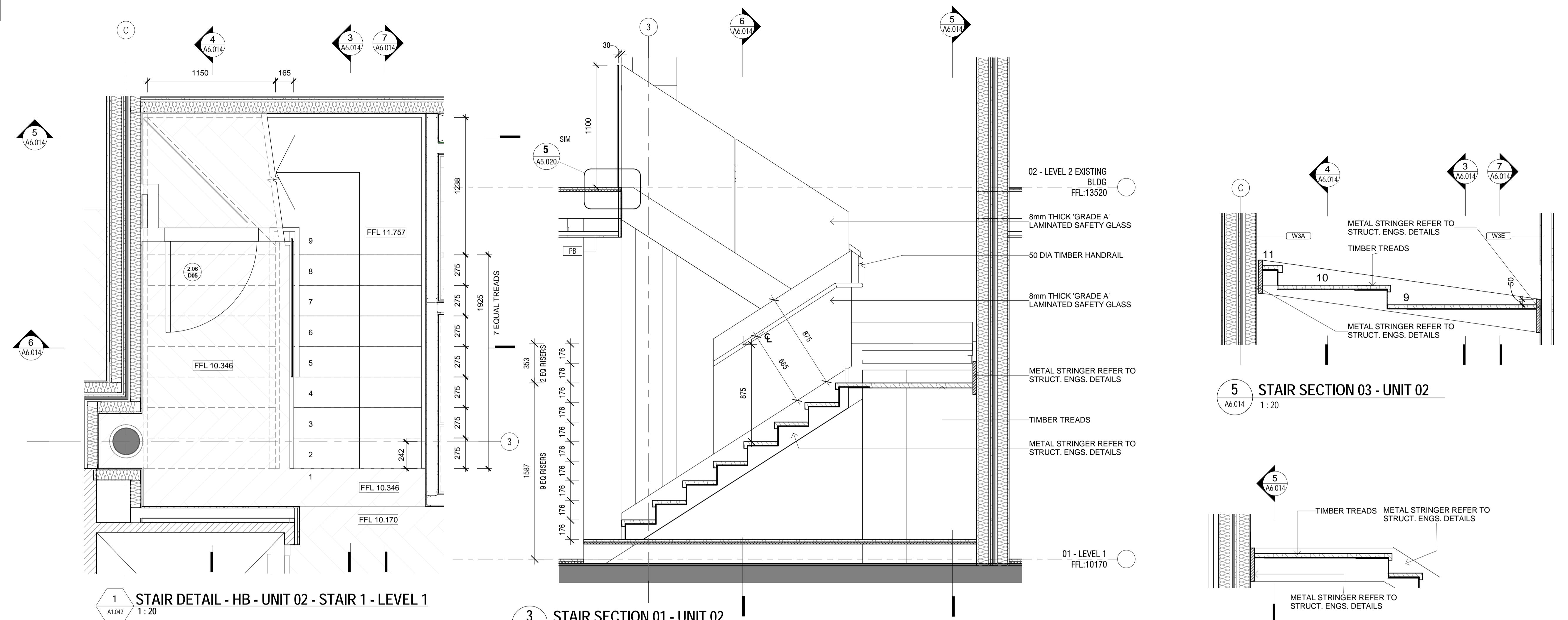
**Project**  
**BALMAIN APARTMENTS**  
100-104 Reynolds St, Balmain

**Sheet Title**  
**STAIR DETAIL - UNIT 01**



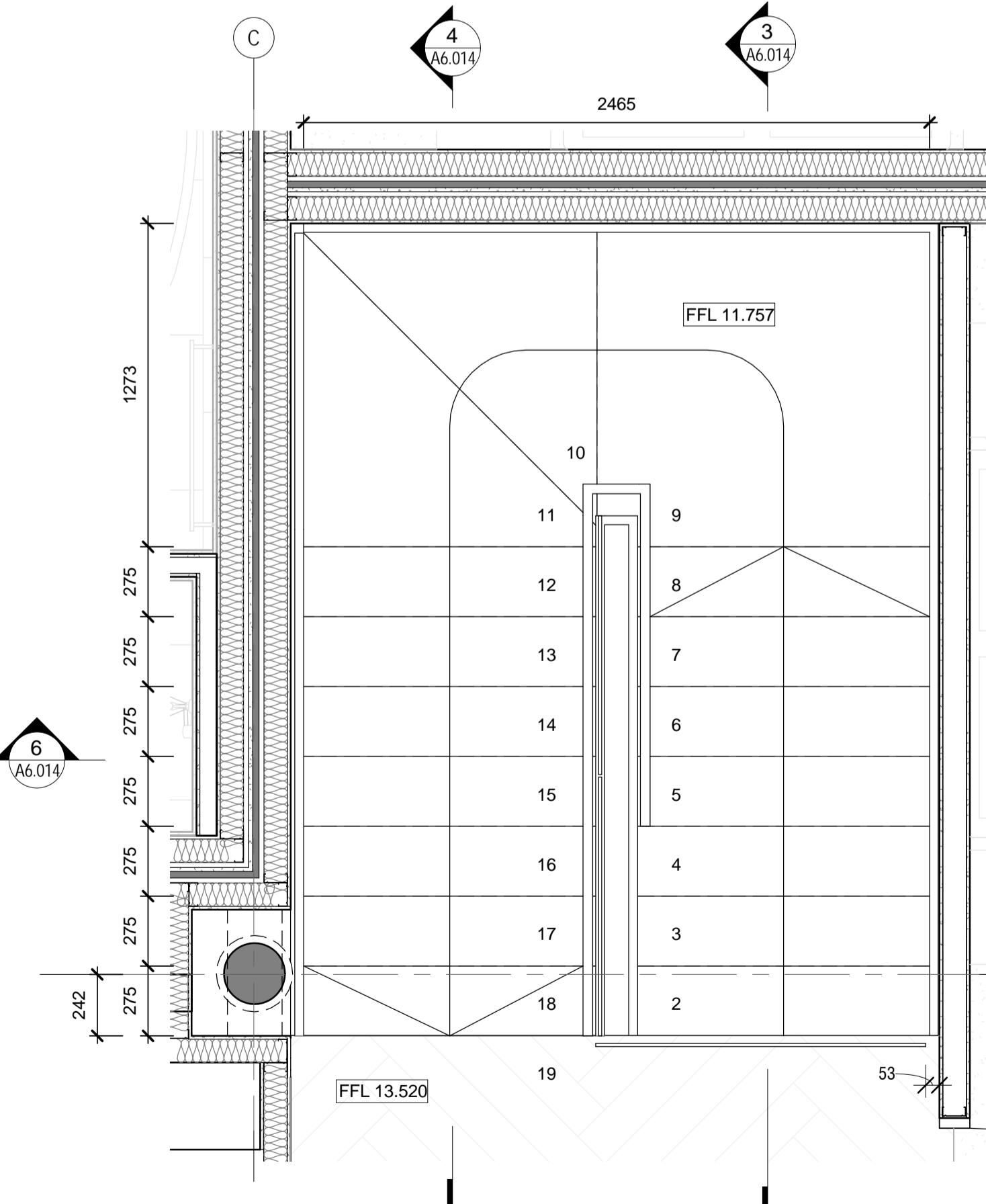
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Drawn Author	Checked CS	Date JUN 2015	Scale As indicated @ A1
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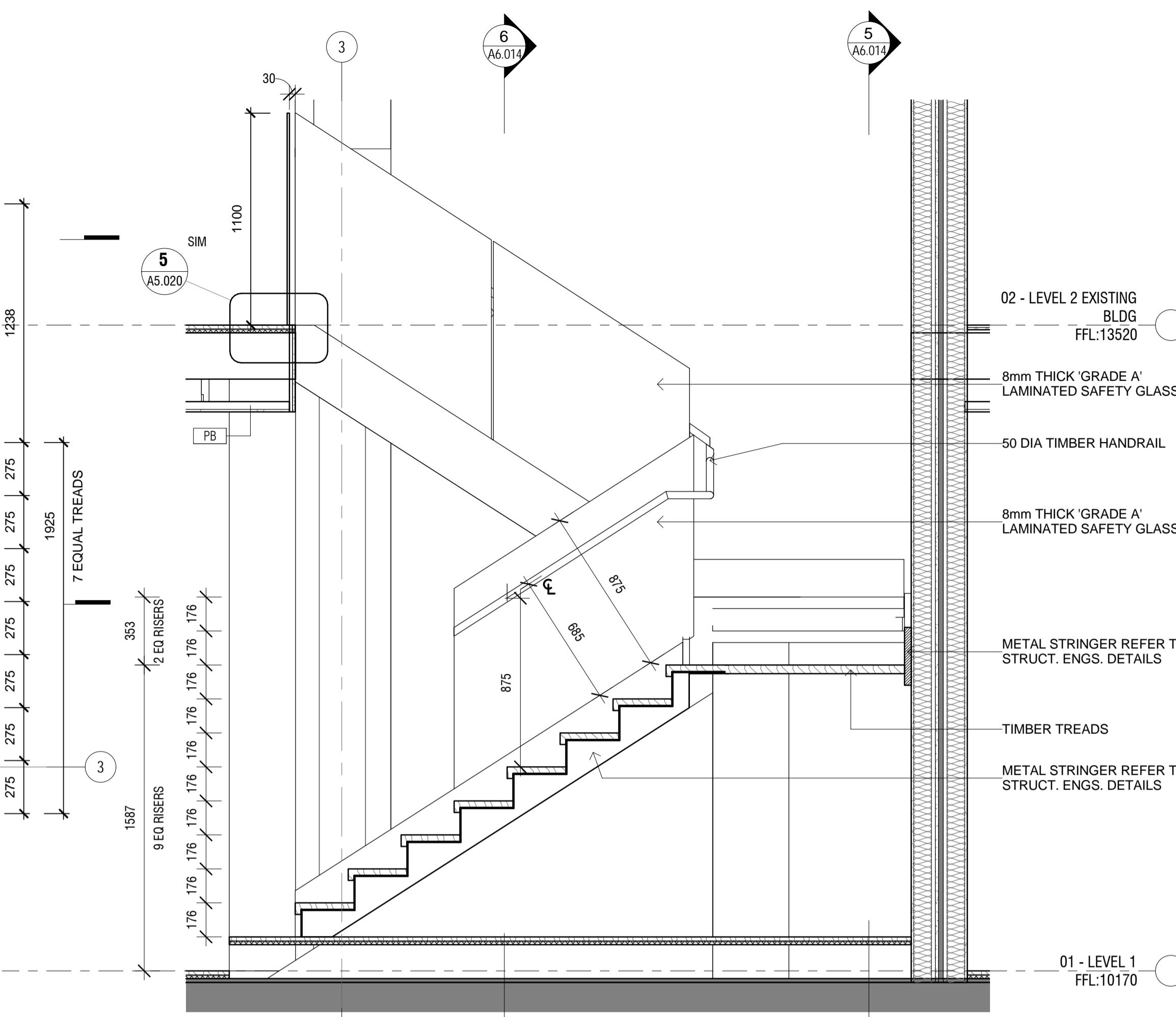
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A1.042 1:20

3 STAIR SECTION 01 - UNIT 02  
A1.014 1:20

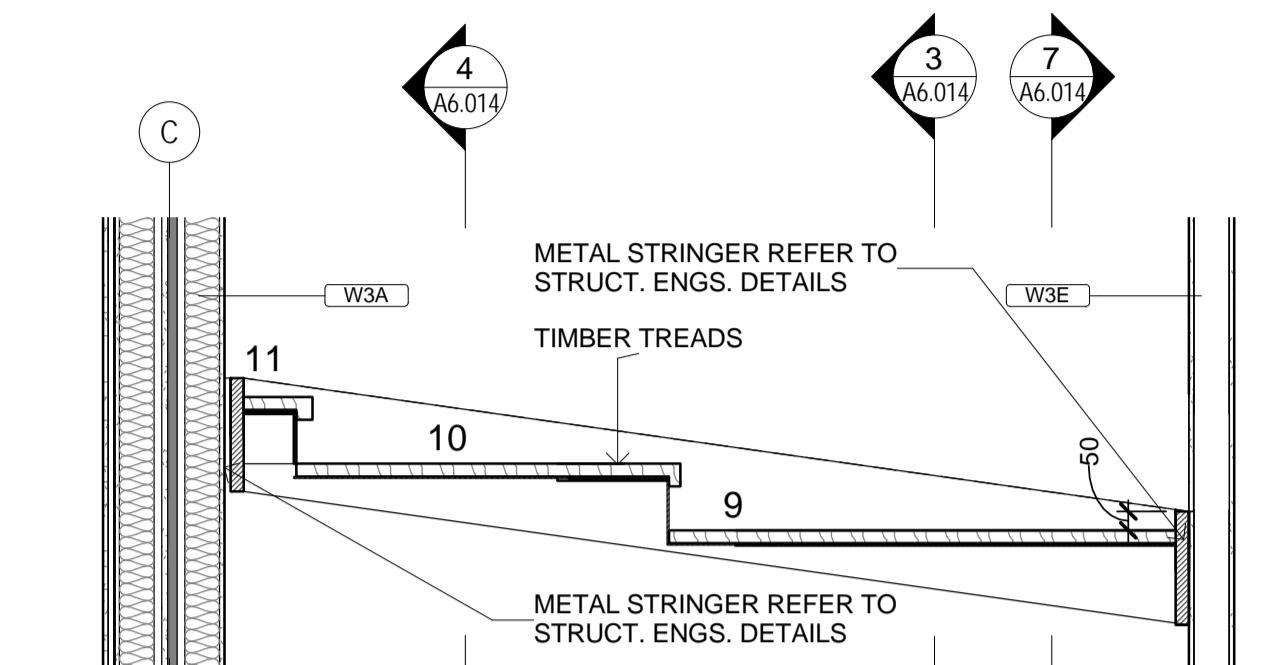


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A1.042 1:20

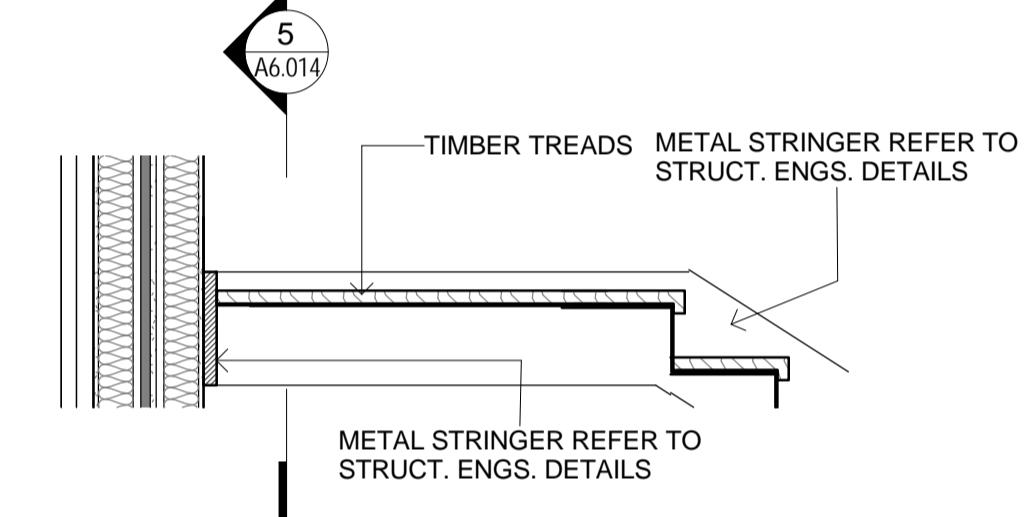
4 STAIR SECTION 02 - UNIT 02  
A1.014 1:20



6 STAIR SECTION 04 - UNIT 02  
A1.014 1:20



5 STAIR SECTION 03 - UNIT 02  
A1.014 1:20



7 STAIR SECTION 05 - UNIT 02  
A1.014 1:20



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Project  
BALMAIN APARTMENTS  
100-104 Reynolds St, Balmain

Sheet Title  
STAIR DETAIL - UNIT 02

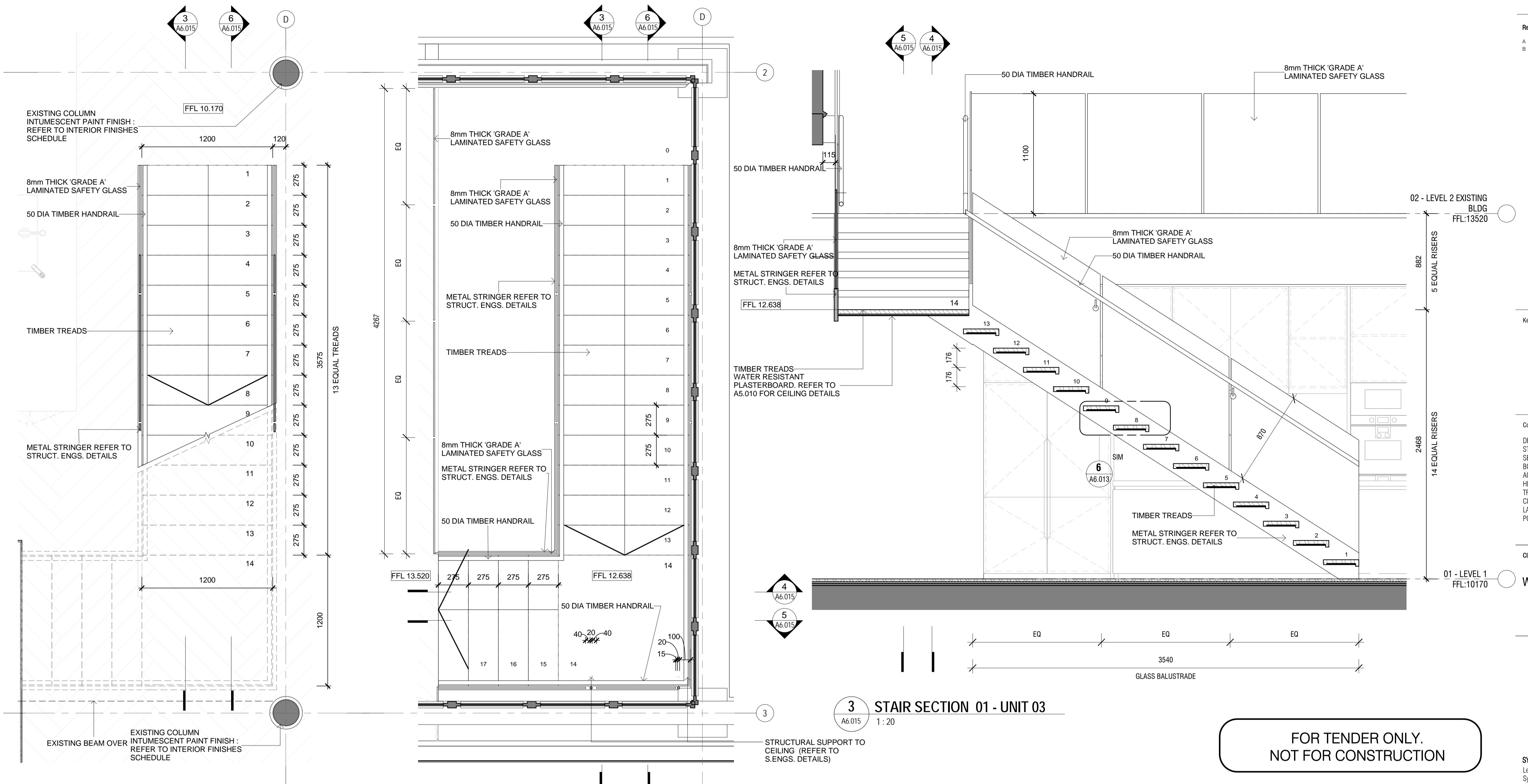
NORTH

Drawn Author CS  
Checked Date JUN 2015  
Scale 1:20 @ A1

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Project No. 3084 Sheet No. A6.014 Revision B

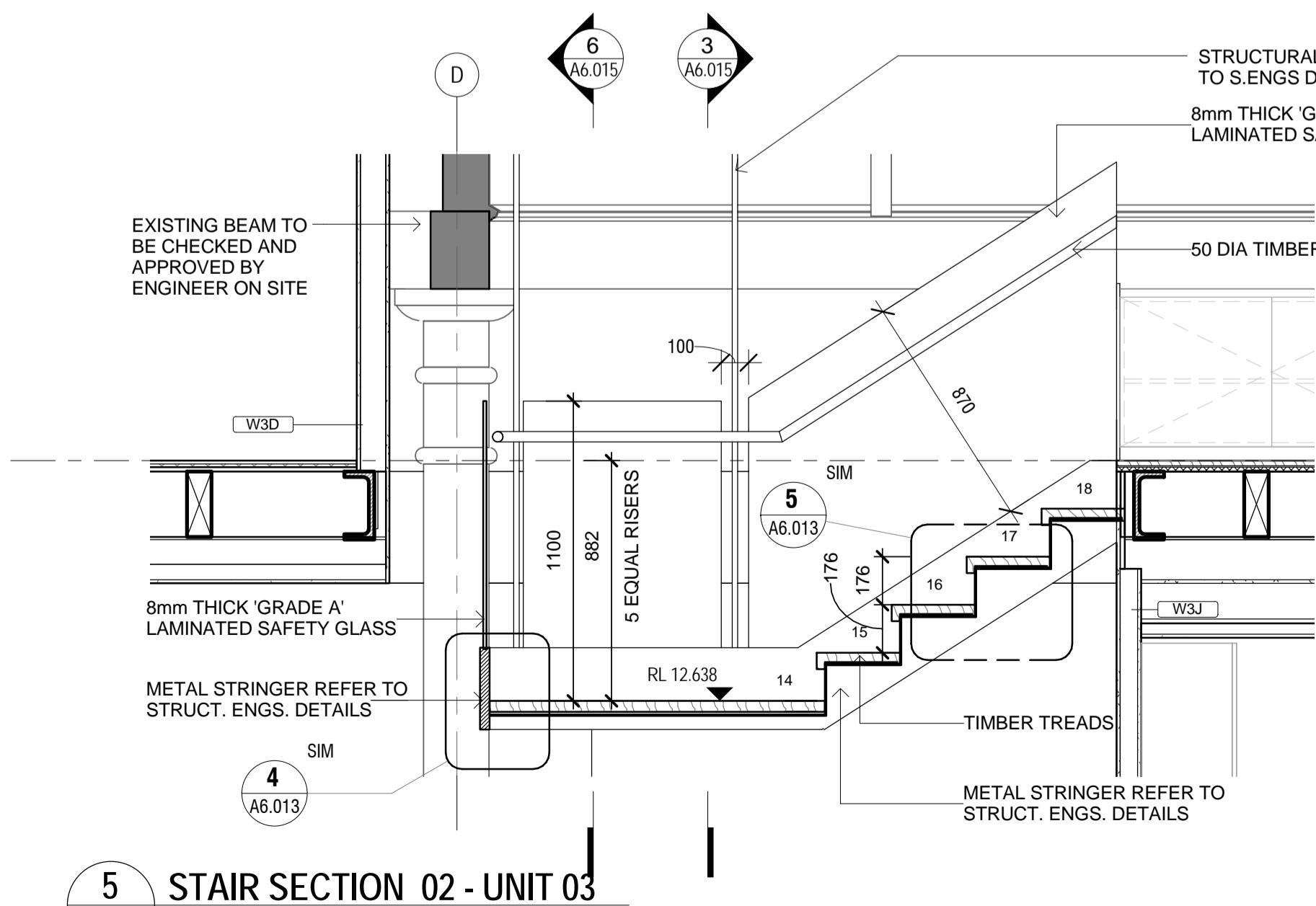


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**1** STAIR DETAIL - HB - UNIT 03 LEVEL 1  
A1.043 1 : 20

**2** STAIR DETAIL - HB - UNIT 03 LEVEL 2  
A1.043 1 : 20



This technical drawing illustrates the cross-section of a staircase (Stair Section 03 - Unit 03). The staircase consists of five timber treads supported by a central metal stringer. Safety railings made of 50mm diameter timber are installed on both sides, each featuring 8mm thick 'Grade A' laminated safety glass panels. The wall behind the stairs is finished with water-resistant plasterboard. The ceiling above is made of SIM (Structural Insulated Metal) panels. The drawing also shows an existing beam labeled 'W3D' which needs to be checked and approved by an engineer on site. Structural details for the metal stringer and ceiling are referred to as A6.013. The overall height of the stairs is indicated as 880 units.

8mm THICK 'GRADE A'  
LAMINATED SAFETY GLASS

50 DIA TIMBER HANDRAIL

TIMBER TREADS

870

880

5 EQUAL TREADS

18

17

16

176

15

14

W3J

METAL STRINGER REFER TO  
STRUCT. ENGS. DETAILS

8mm THICK 'GRADE A'  
LAMINATED SAFETY GLASS

50 DIA TIMBER HANDRAIL

WATER RESISTANT  
PLASTERBOARD. REFER TO  
A5.010 FOR CEILING DETAILS

SIM

5

A6.013

D

EXISTING BEAM TO  
BE CHECKED AND  
APPROVED BY  
ENGINEER ON SITE

W3D

STRUCTURAL  
BEAM (REFER  
TO S.ENGS.  
DETAILS)

PB

METAL STRINGER REFER TO  
STRUCT. ENGS. DETAILS

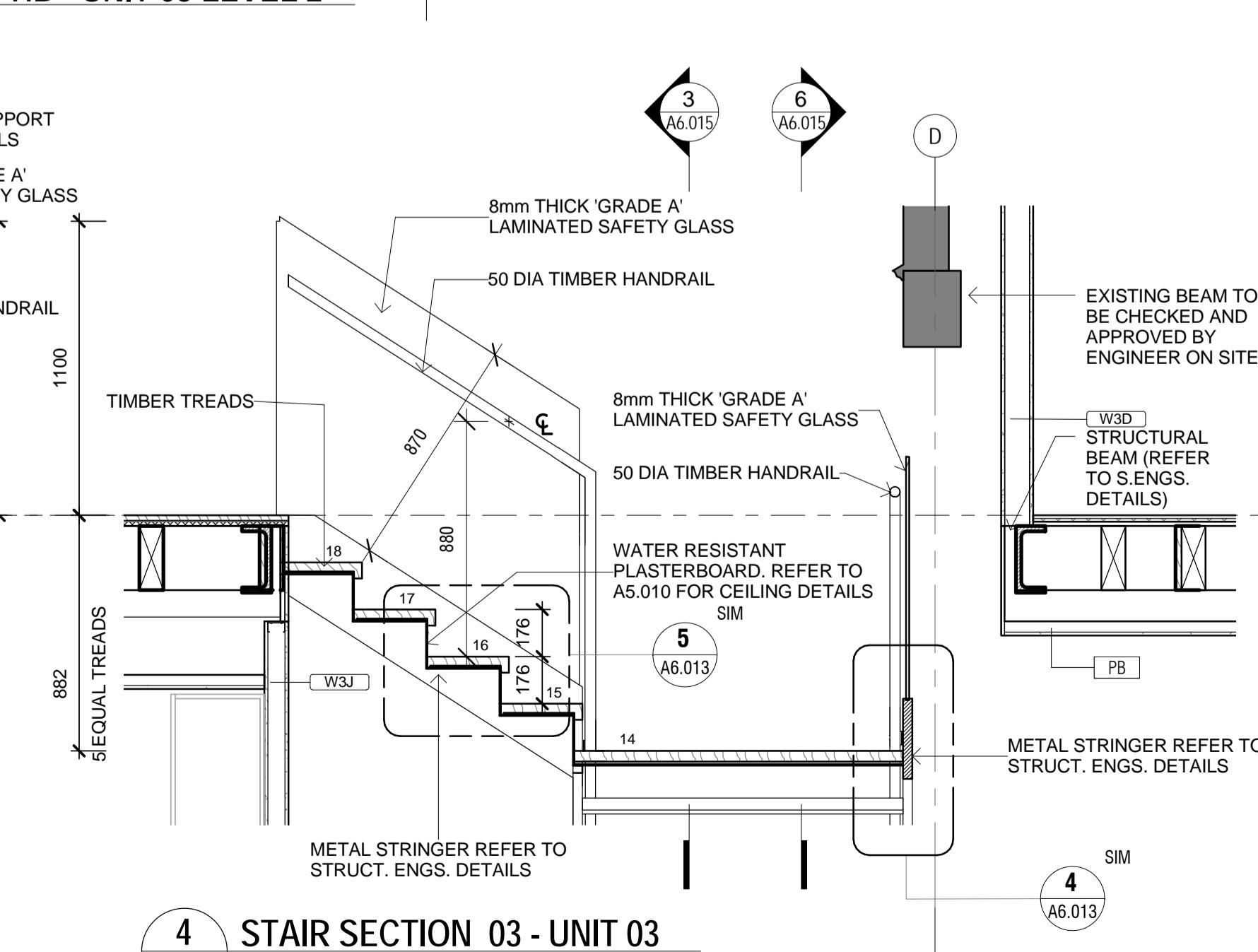
4

A6.013

4

A6.013

STAIR SECTION 03 - UNIT 03



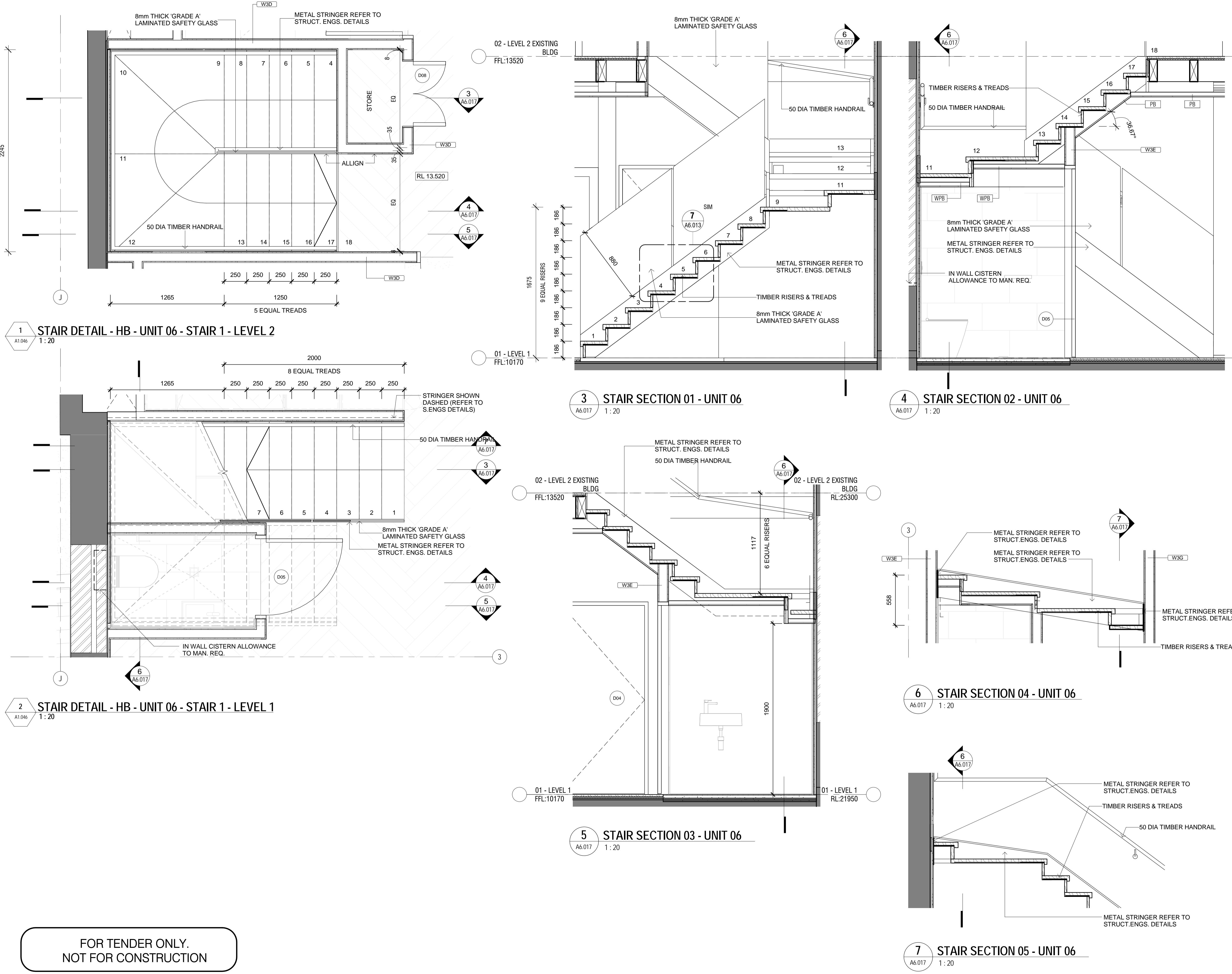
This technical drawing provides a detailed cross-section of a staircase. The drawing includes various labels and callouts:

- STRUCTURAL SUPPORT (REFER TO STRUCTURAL ENGINEERS DETAILS)**
- W3A**
- 02 - LEVEL 2 EXISTING BLDG FFL:13520**
- METAL STRINGER REFER TO STRUCT. ENGS. DETAILS**
- SIM**
- 4 A6.013**
- METAL STRINGER REFER TO STRUCT. ENGS. DETAILS**
- WATER RESISTANT PLASTERBOARD. REFER TO A5.010 FOR CEILING DETAILS**
- 8mm THICK 'GRADE A' LAMINATED SAFETY GLASS**
- 50 DIA TIMBER HANDRAIL**
- TIMBER TREADS**
- 905**
- 1100**
- 4 A6.015**
- 5 A6.015**
- 3**

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object No. Sheet No. Revision  
084 A6.015 B





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revision	Description	Date
	TENDER ISSUE	22/05/2015
	100% TENDER	24/06/2015

The image shows a geometric pattern on the left side consisting of several white rectangles of varying heights, arranged in a stepped or staircase-like configuration. This pattern is bounded by a thick black outline. To the right of this pattern is a large, solid gray rectangle. The entire image is set against a white background.

CONSULTANTS	
DEVELOPMENT MANAGER	: PDS AUST
STRUCTURAL ENGINEER	: PDS AUST
SERVICES ENGINEER	: ERBAS
CA + ACCESS	: DESIGN CONFIDENCE
ACOUSTIC	: RENZO TONIN
HERITAGE	: RAPPOPORT HERITAGE
TRAFFIC	: McLAREN TRAFFIC ENGINEERING
VIL	: IBRAHIM STORMWATER CONSULTANTS
ANDSCAPE	: URBIS
CA	: CITY PLAN SERVICES

VENTWORTH EQUITIES



# ALMAIN APARTMENTS

**Project Title**

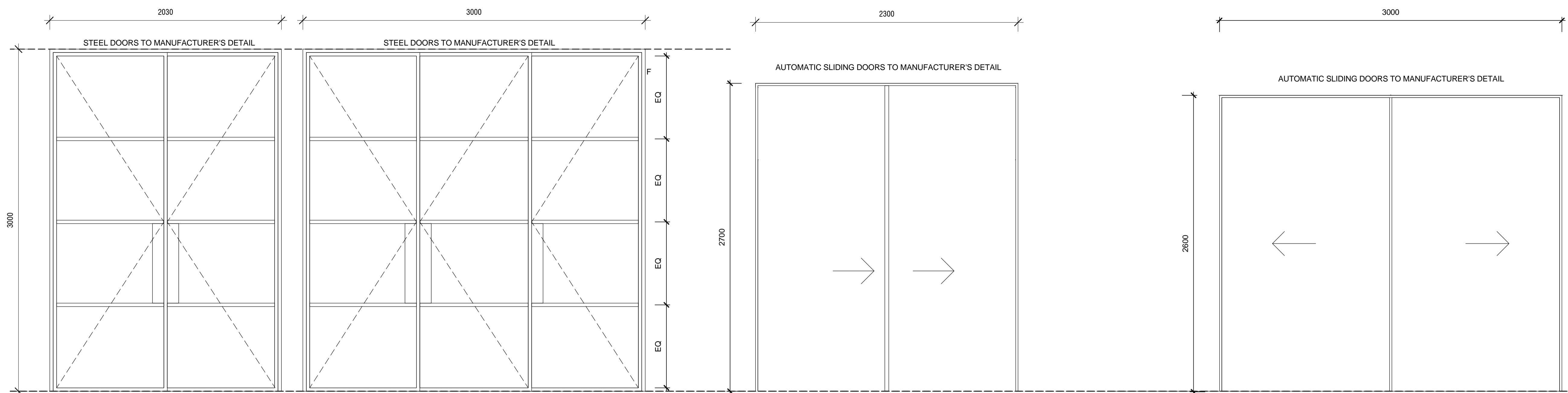
STAIR DETAIL - UNIT 06

ORTH

Author	Checked	Date	Scale
John Smith	CS	JUN 2015	1 : 20 @ A1

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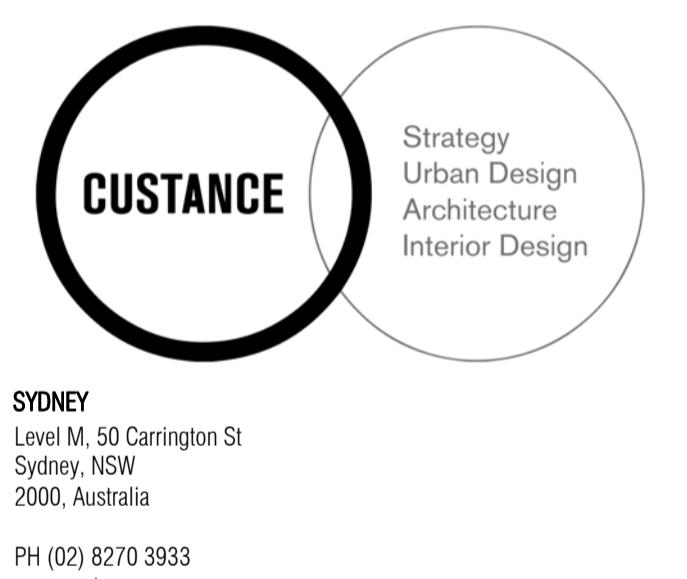
oject No. Sheet No. Revision  
084 A6.017 B



Revision	Description	Date
A	TENDER ISSUE	22/05/2015
B	100% TENDER	24/06/2015

Consultants
DEVELOPMENT MANAGER : PDS AUST
STRUCTURAL ENGINEER : ERBAS
SERVICES ENGINEER : DESIGN CONFIDENCE
BCA + ACCESS : RENZO TONIN
ACOUSTIC : RAPPORT HERITAGE
HERITAGE : McLaren TRAFFIC ENGINEERING
TRAFFIC : CIVIL STORMWATER CONSULTANTS
CIVIL : URBIS
LANDSCAPE : CITY PLAN SERVICES
PCA

Client  
WENTWORTH EQUITIES

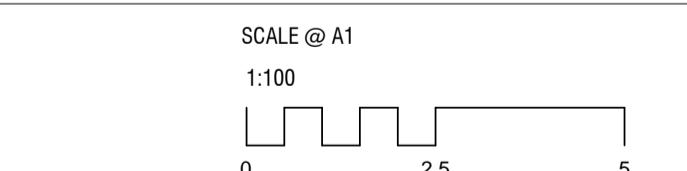


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PH (02) 8270 3933  
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Project  
BALMAIN APARTMENTS  
100-104 Reynolds St, Balmain

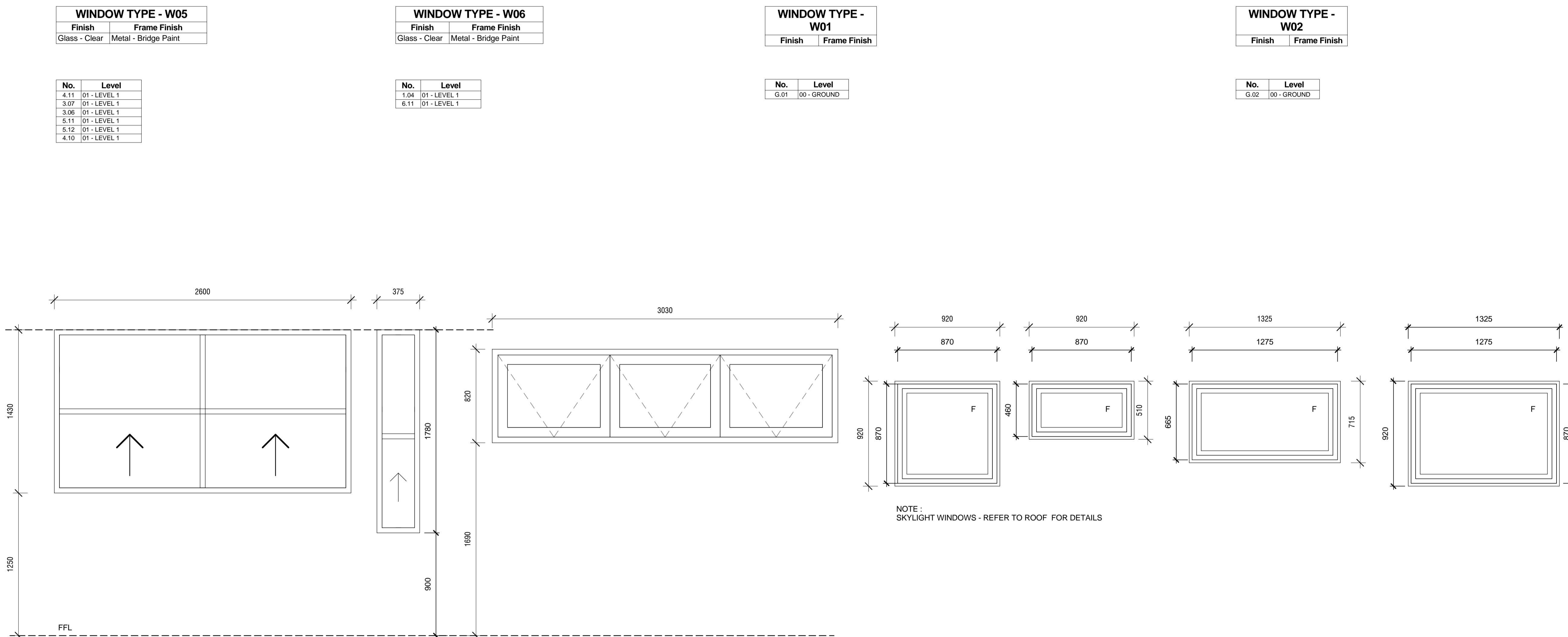
Sheet Title

WINDOW SCHEDULE



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Project No. 3084 Sheet No. A8.000 Revision B



Finish	Frame Finish
Glass - Clear	Metal - Bridge Paint

Finish	Frame Finish
Glass - Clear	Timber - White

Finish	Frame Finish
Glass - Clear	Timber - White

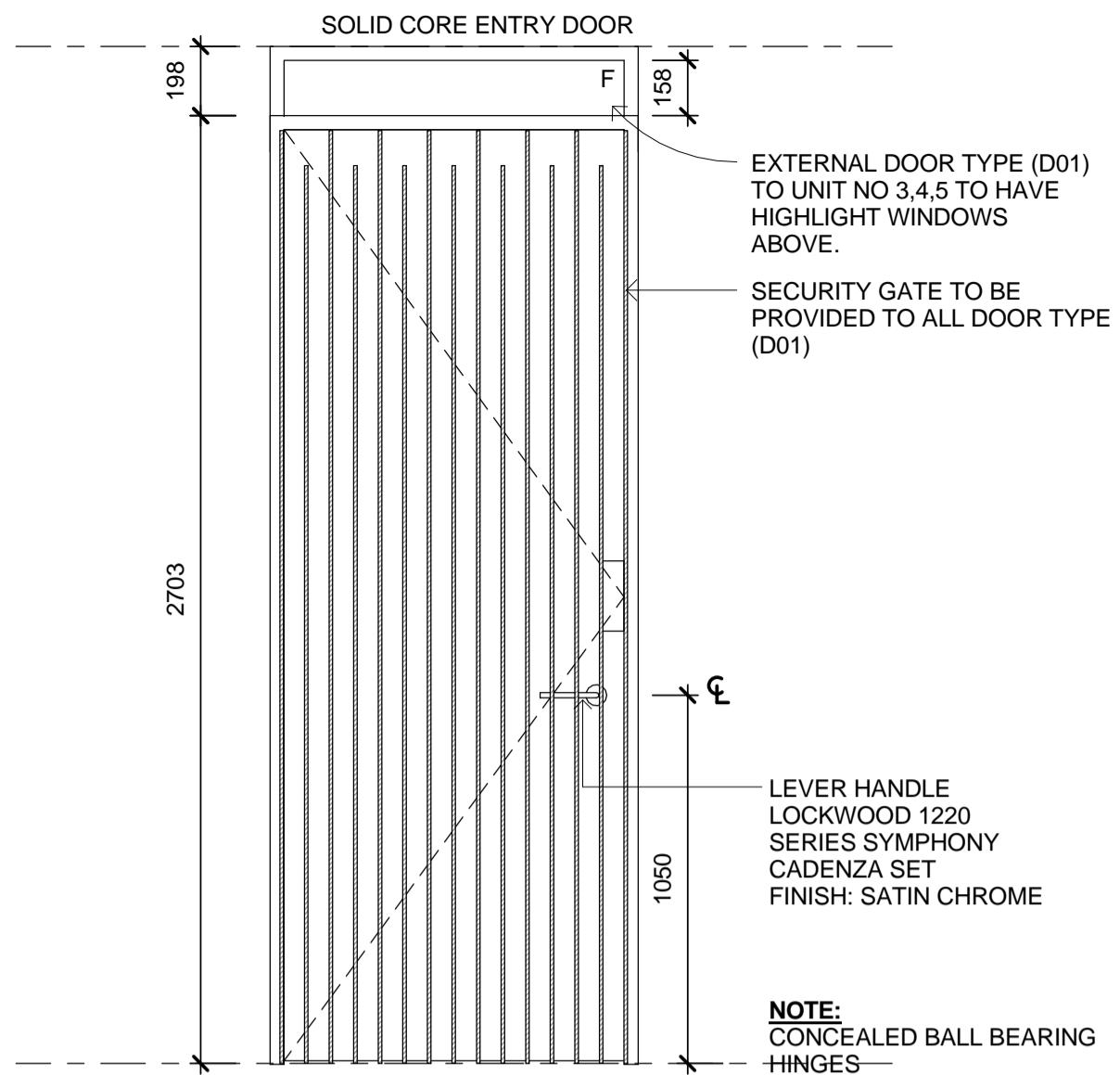
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Glass - Clear	Timber - White

Finish	Frame Finish
Glass - Clear	Metal - Aluminum

Finish	Frame Finish
Glass - Clear	Metal - Aluminum

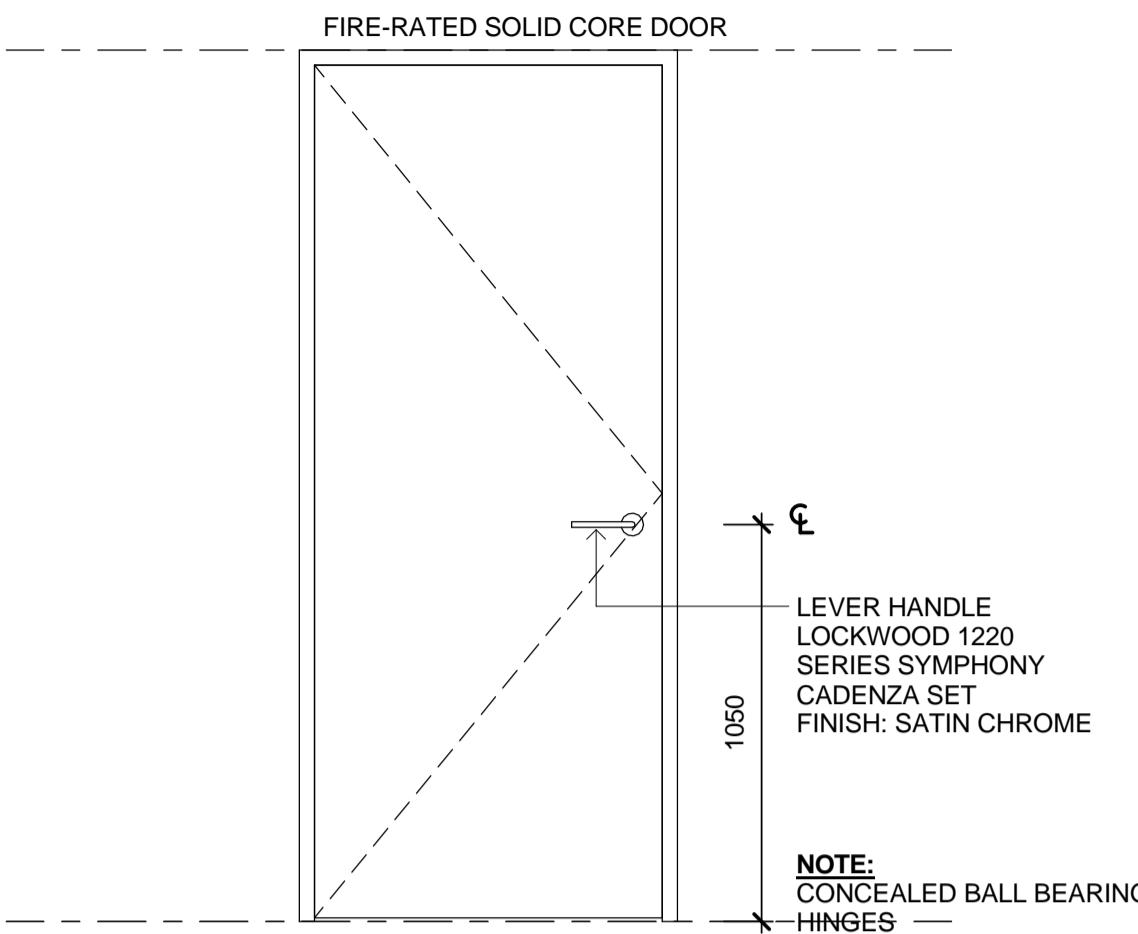
Drawn Checked Date Scale  
Author CS JUN 2015 1:20  
@ A1

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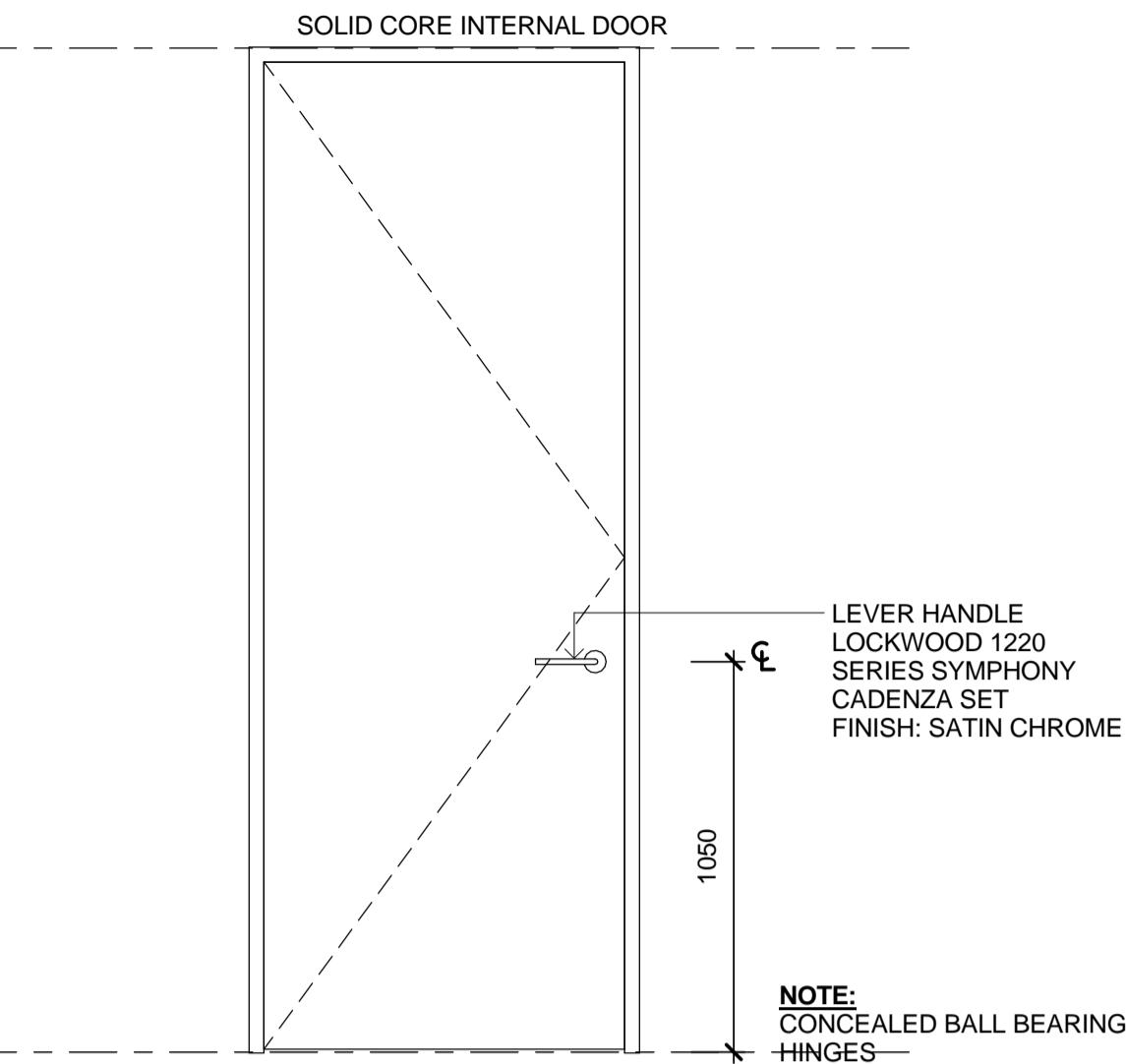
DOOR TYPE - D01					
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4	Timber - Paint	Metal - Paint	-	LOCKWOOD	LOCKWOOD

No.	Level	H	W	Finish
1.01	00 - GROUND	2300	1050	PT5
1.03	01 - LEVEL 1	2300	1050	PT5
2.02	01 - LEVEL 1	2300	1050	PT5
3.01	01 - LEVEL 1	2700	1050	PT5
4.06	01 - LEVEL 1	2700	1050	PT5
5.07	01 - LEVEL 1	2700	1050	PT5



DOOR TYPE - D03					
Hinges	Panel Finish	Frame Finish	Handle	Latch	
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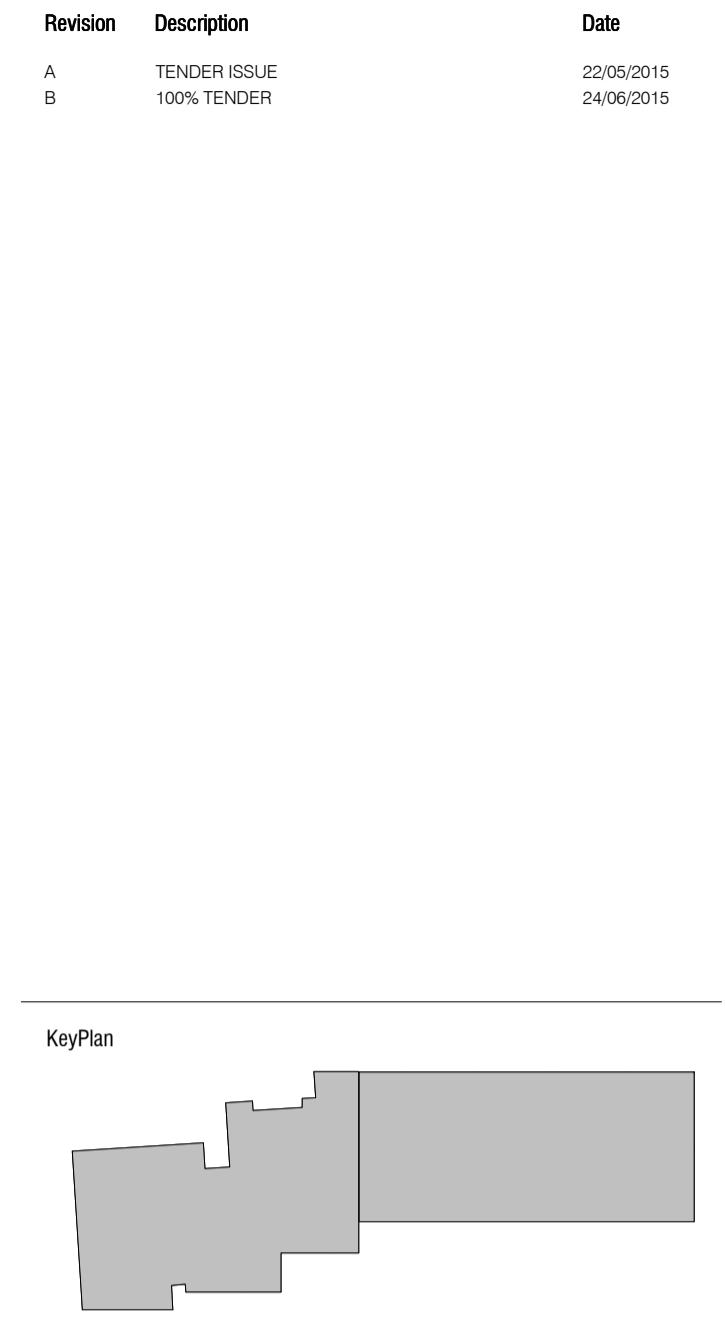
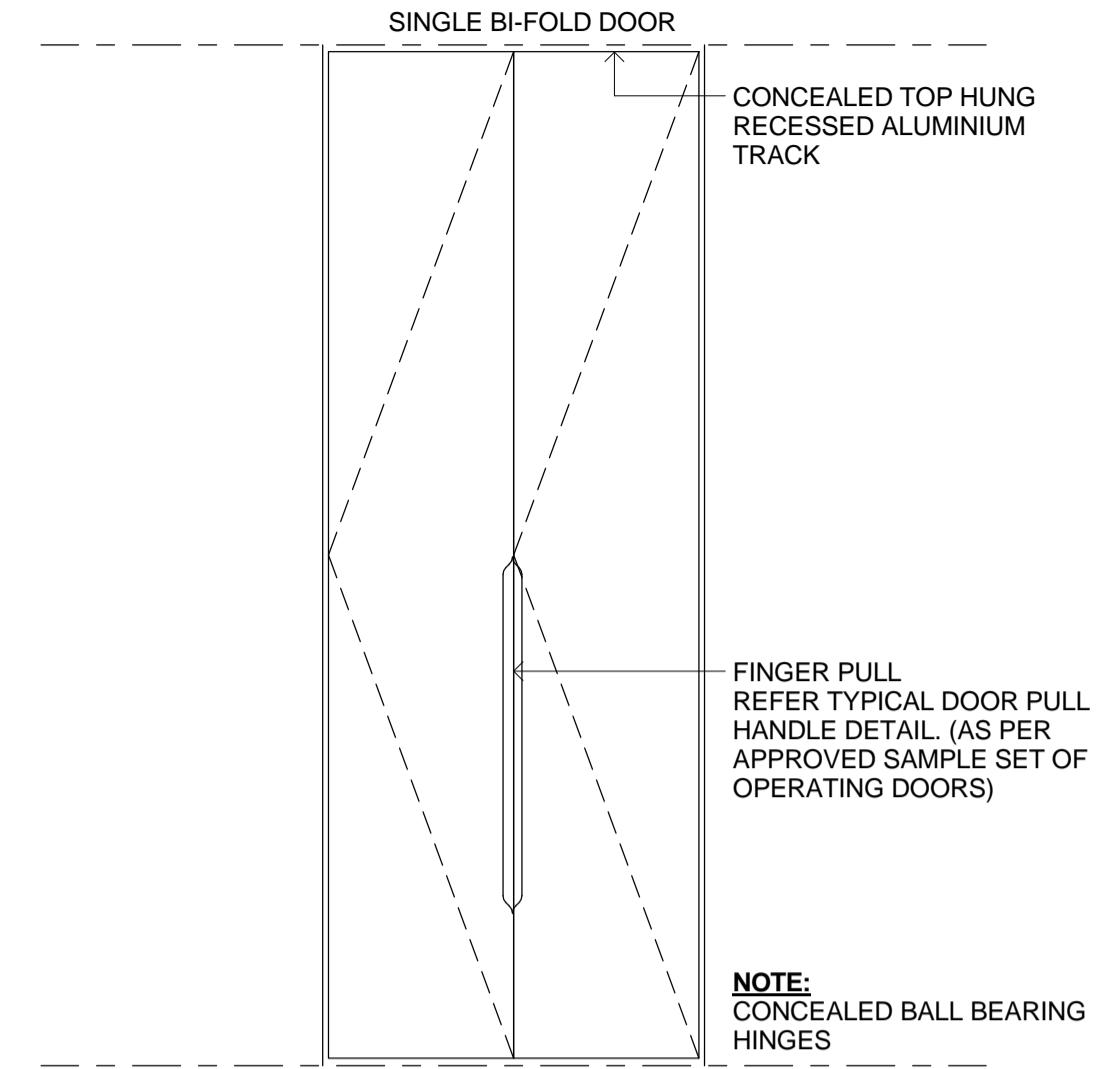
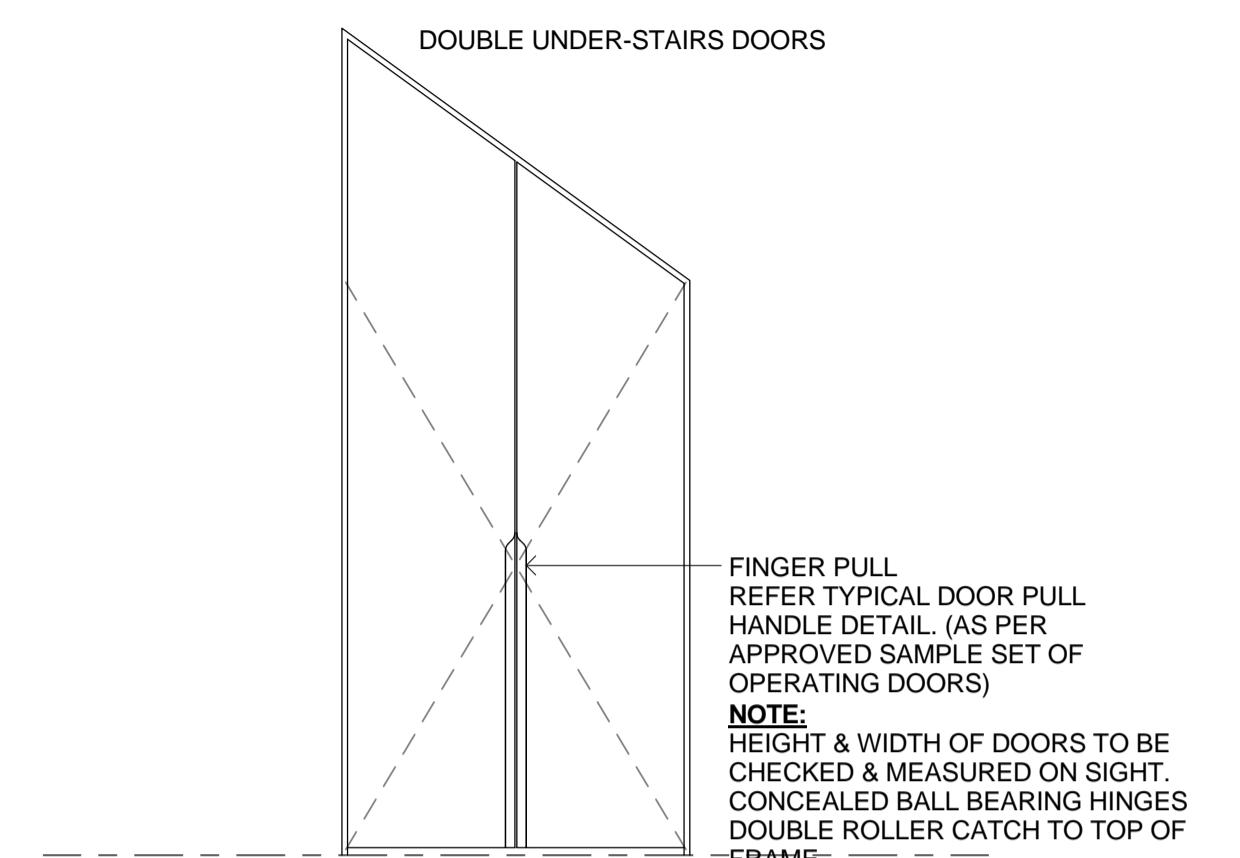
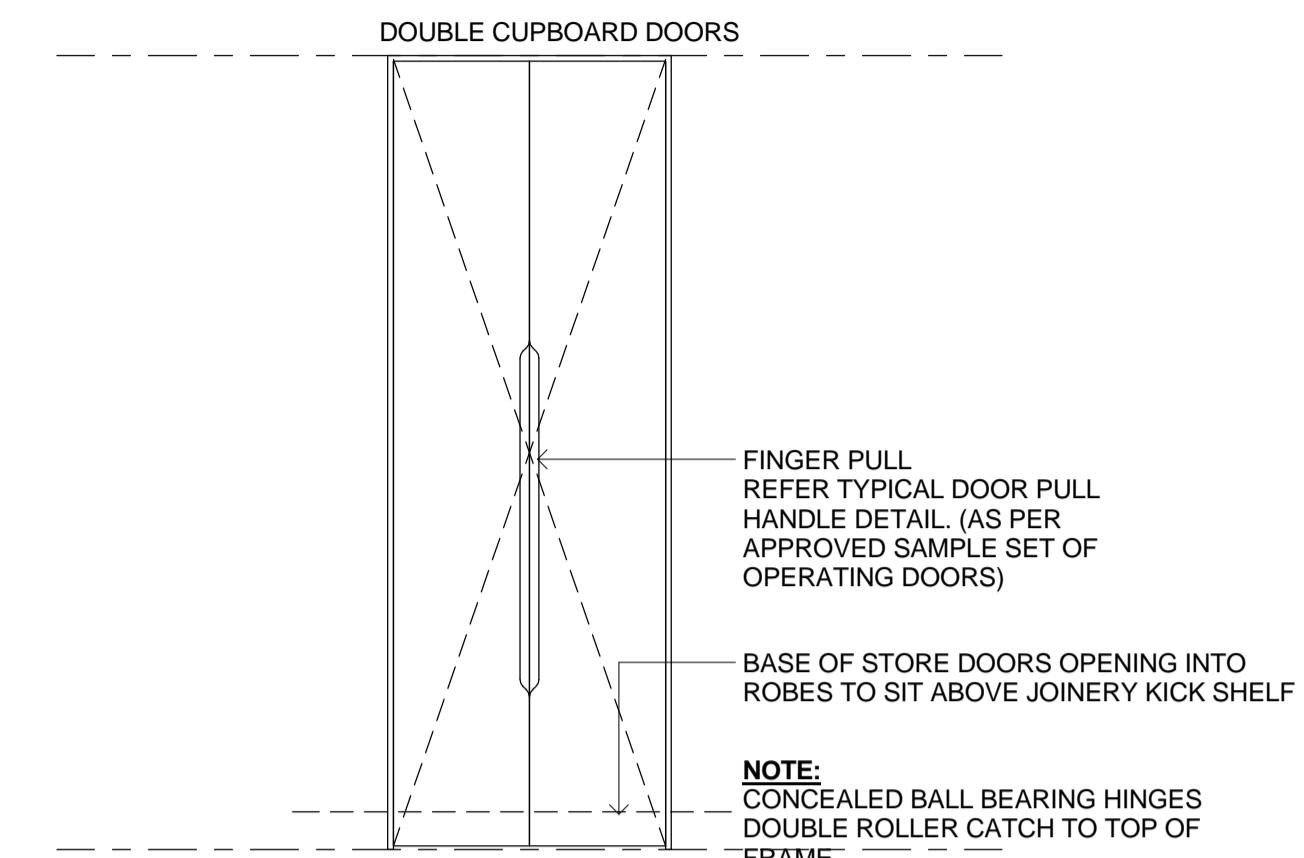
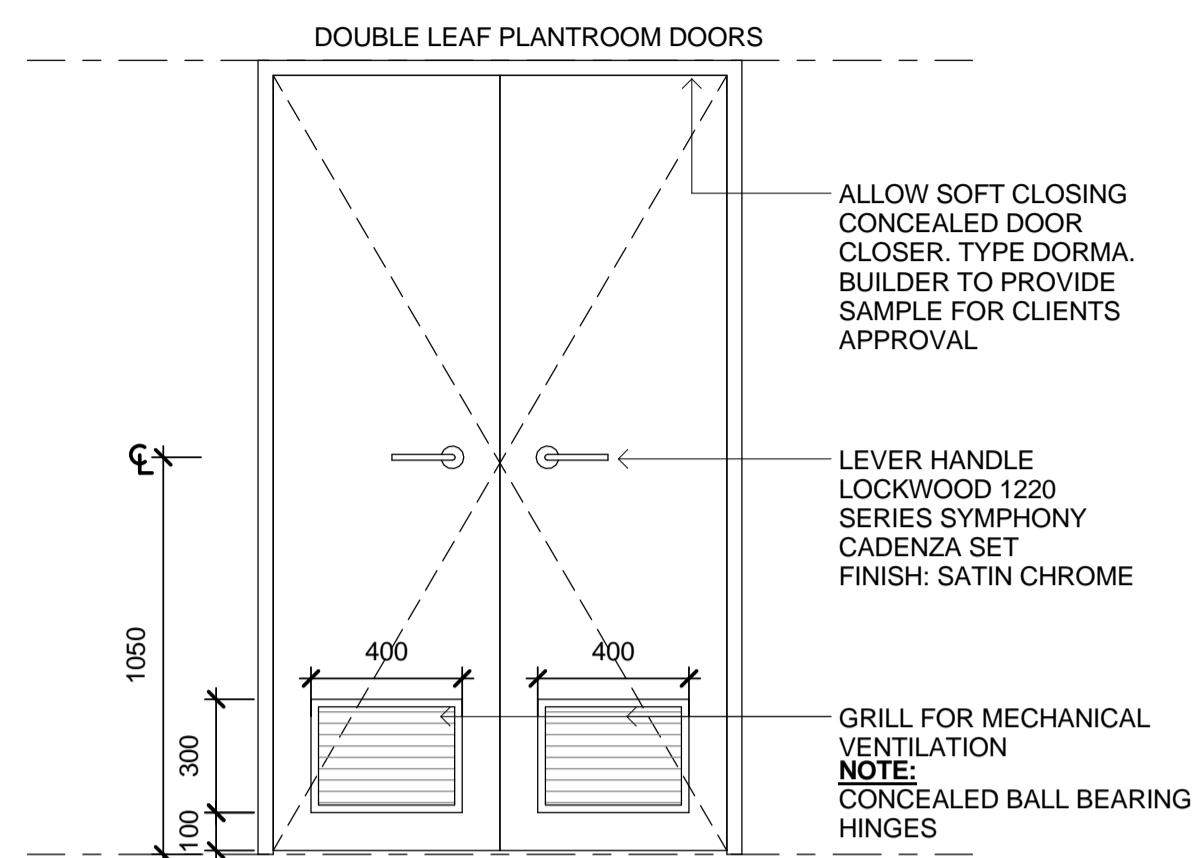
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9.01	01 - LEVEL 1	2300	1000	-60/30	PT2
10.01	01 - LEVEL 1	2300	1000	-60/30	PT2
11.01	01 - LEVEL 1	2300	1000	-60/30	PT2
12.01	01 - LEVEL 1	2300	1000	-60/30	PT2
13.01	02 - LEVEL 2	2300	1000	-60/30	PT2
14.01	02 - LEVEL 2	2300	1000	-60/30	PT2
15.01	02 - LEVEL 2A	2300	1000	-60/30	PT2
16.01	02 - LEVEL 2A	2300	1000	-60/30	PT2
17.01	02 - LEVEL 2	2300	1000	-60/30	PT2
18.01	02 - LEVEL 2	2300	1000	-60/30	PT2
19.01	03 - LEVEL 3	2300	1000	-60/30	PT2
19.04	03 - LEVEL 3	2300	1000	-60/30	PT5
19.05	03 - LEVEL 3	2300	1000	-60/30	PT5
20.01	03 - LEVEL 3	2300	1000	-60/30	PT2
21.01	03 - LEVEL 3A	2300	1000	-60/30	PT2
22.01	03 - LEVEL 3A	2300	1000	-60/30	PT2
23.01	03 - LEVEL 3A	2300	1000	-60/30	PT2
24.01	03 - LEVEL 3A	2300	1000	-60/30	PT2
25.01	03 - LEVEL 3	2300	1000	-60/30	PT2
C1.02	01 - LEVEL 1	2300	1000	-60/30	PT5
C1.03	01 - LEVEL 1	2300	1000	-60/30	PT5
C2.01	02 - LEVEL 2	2300	1000	-60/30	PT5
C2.04	02 - LEVEL 2	2300	1000	-60/30	PT5
C3.01	03 - LEVEL 3	2300	1000	-60/30	PT5
C3.04	03 - LEVEL 3	2300	1000	-60/30	PT5
CB.01	B - BASEMENT	2300	1000	-60/30	PT5
CG.01	00 - GROUND LEVEL	2300	1000	-60/30	PT5
CG.06	00 - GROUND LEVEL	2300	1000	-60/30	PT5
G.05	00 - GROUND	2700	1000	-60/30	PT5



DOOR TYPE - D04					
Hinges	Panel Finish	Frame Finish	Handle	Latch	
4	as below	Metal - Paint	LOCKWOOD	LOCKWOOD	

No.	Level	H	W	Finish
1.02	00 - GROUND	2700	930	PT5
1.05	01 - LEVEL 1	2700	930	L4
1.07	02 - LEVEL 2	2700	1000	L4
1.09	02 - LEVEL 2	2700	1000	L4
1.10	02 - LEVEL 2	2700	1000	L4
1.11	02 - LEVEL 2	2700	930	L4
1.12	02 - LEVEL 2	2700	930	PT5
1.20	01 - LEVEL 1	2300	930	PT5
1.27	01 - LEVEL 1	2300	1000	PT5
1.30	02 - LEVEL 2	2300	930	PT5
1.33	02 - LEVEL 2	2300	930	PT5
1.34	02 - LEVEL 2	2300	930	PT5
1.35	02 - LEVEL 2	2300	930	PT5
1.42	02 - LEVEL 2	2300	930	PT5
1.45	02 - LEVEL 2	2300	930	PT5
1.48	02 - LEVEL 2	2300	930	PT5
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2.01	02 - LEVEL 2	2300	930	PT5
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2.03	02 - LEVEL 2	2300	930	PT5
2.04	02 - LEVEL 2	2300	930	PT5
2.05	02 - LEVEL 2	2300	930	PT5
2.06	02 - LEVEL 2	2300	930	PT5
2.07	02 - LEVEL 2	2300	930	PT5
2.08	02 - LEVEL 2	2300	930	PT5
2.09	02 - LEVEL 2	2300	930	PT5
2.10	02 - LEVEL 2	2300	930	PT5
2.11	02 - LEVEL 2	2300	930	PT5
2.12	02 - LEVEL 2	2300	930	PT5
2.13	02 - LEVEL 2	2300	930	PT5
2.14	02 - LEVEL 2			

Revision	Description	Date
A	TENDER ISSUE	22/05/2015
B	100% TENDER	24/06/2015



**DOOR TYPE - DO7**

Hinges	Panel Finish	Frame Finish	Handle	Latch
4	Timber - Paint	Metal - Paint	LOCKWOOD	LOCKWOOD

**DOOR TYPE - DO8**

Hinges	Panel Finish	Frame Finish
4	Paint	Paint

**DOOR TYPE - DO9**

Hinges	Panel Finish	Frame Finish
3	Paint	Paint

**DOOR TYPE - D10**

Hinges	Panel Finish	Frame Finish
3	Paint	Paint

No.	Level	H	W	Fire Rating	Finish
CB.07	D - BASEMENT	2100	1530		PT5
CB.08	B - BASEMENT	2100	1530		PT5
CB.09	B - BASEMENT	2100	1530		PT5
CB.10	B - BASEMENT	2100	1530		PT5
CG.07	00 - GROUND LEVEL	2100	2090		PT5
CG.08	00 - GROUND LEVEL	2100	1530		PT5
CG.09	00 - GROUND LEVEL	2100	1030		PT5
G.09	00 - GROUND	2100	1280		PT5
G.10	00 - GROUND	2100	1920		PT5

No.	Level	H	W	Finish
2.09	02 - LEVEL 2 EXISTING BLDG	1400	750	PT5
2.10	02 - LEVEL 2 EXISTING BLDG	1400	750	PT5
3.04	01 - LEVEL 1	2700	750	PT5
4.22	02 - LEVEL 2 EXISTING BLDG	1400	750	PT5
5.16	02 - LEVEL 2 EXISTING BLDG	1400	750	PT5
6.12	02 - LEVEL 2 EXISTING BLDG	1400	750	PT5
6.14	02 - LEVEL 2 EXISTING BLDG	2100	750	PT5
6.18	02 - LEVEL 2 EXISTING BLDG	1400	750	PT5
9.03	01 - LEVEL 1	2300	800	PT5
12.03	01 - LEVEL 1	2300	1150	PT5
14.04	02 - LEVEL 2	2300	990	PT5
C2.05	03 - LEVEL 2	2100	800	PT5
C2.03	02 - LEVEL 2	2100	750	PT5
C3.02	03 - LEVEL 3	2100	750	PT5
C.03	03 - LEVEL 3	2100	750	PT5

No.	Level	H	W	Finish
19.02	02 - LEVEL 3	VARIES	850	PT5
20.03	03 - LEVEL 3	VARIES	1200	PT5
20.04	03 - LEVEL 3	VARIES	1200	PT5
21.03	03 - LEVEL 3A	VARIES	1200	PT5
22.02	03 - LEVEL 3A	VARIES	1200	PT5
22.03	03 - LEVEL 3A	VARIES	1200	PT5
23.04	03 - LEVEL 3A	VARIES	1200	PT5

No.	Level	H	W	Finish
1.05	01 - LEVEL 1	2700	1050	PT5
10.07	01 - LEVEL 1	2300	930	PT5
25.04	03 - LEVEL 3	2300	930	PT5

Consultants	
DEVELOPMENT MANAGER	: PDS AUST
STRUCTURAL ENGINEER	: PDS AUST
SERVICES ENGINEER	: ERBAS
BCA + ACCESS	: DESIGN CONFIDENCE
ACOUSTIC	: RENZO TONIN
HERITAGE	: RAPPORPORT HERITAGE
TRAFFIC	: MCLAREN TRAFFIC ENGINEERING
CIVIL	: BRAHIM STORMWATER CONSULTANTS
LANDSCAPE	: URBIS
PCA	: CITY PLAN SERVICES

Client

WENTWORTH EQUITIES

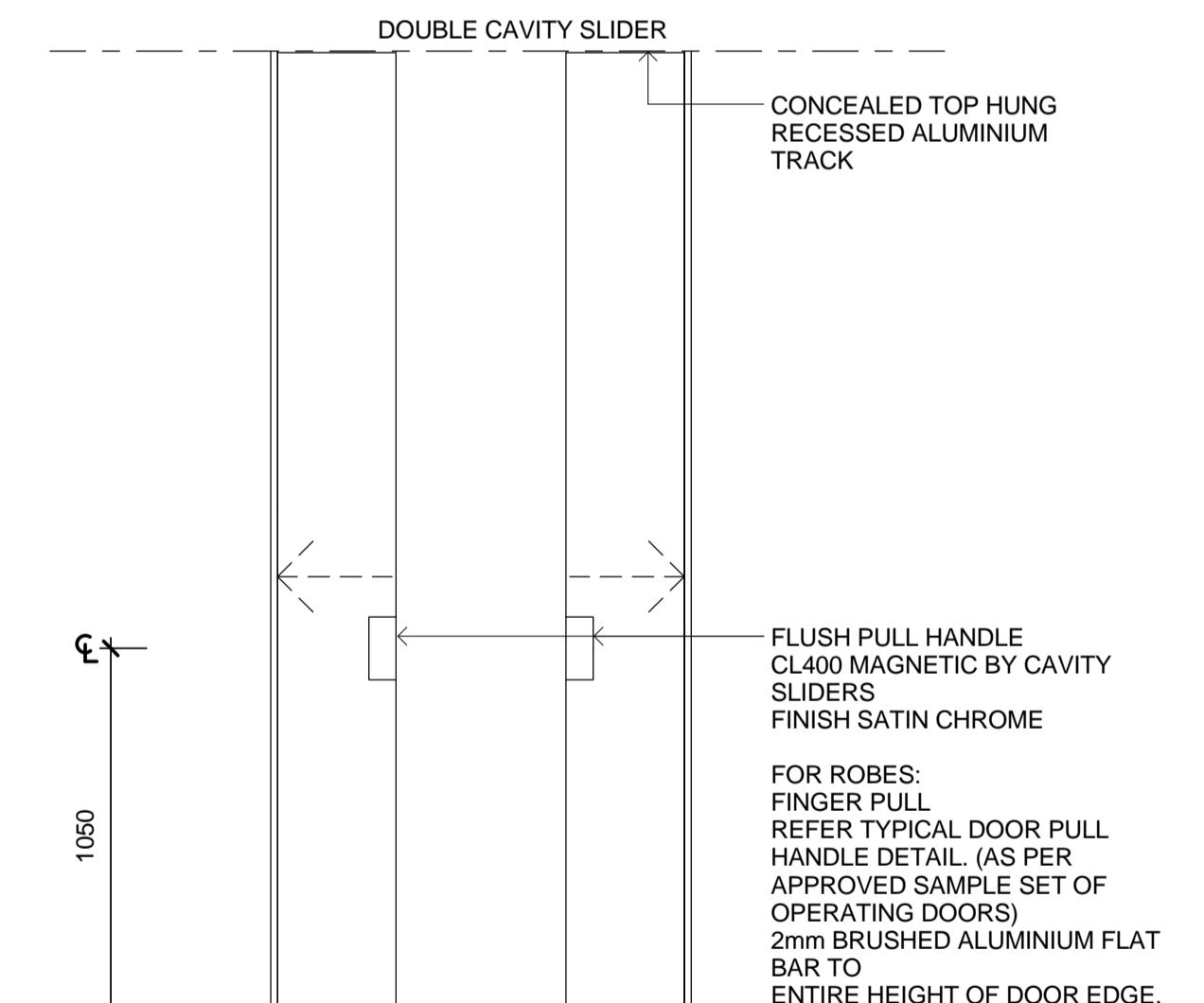
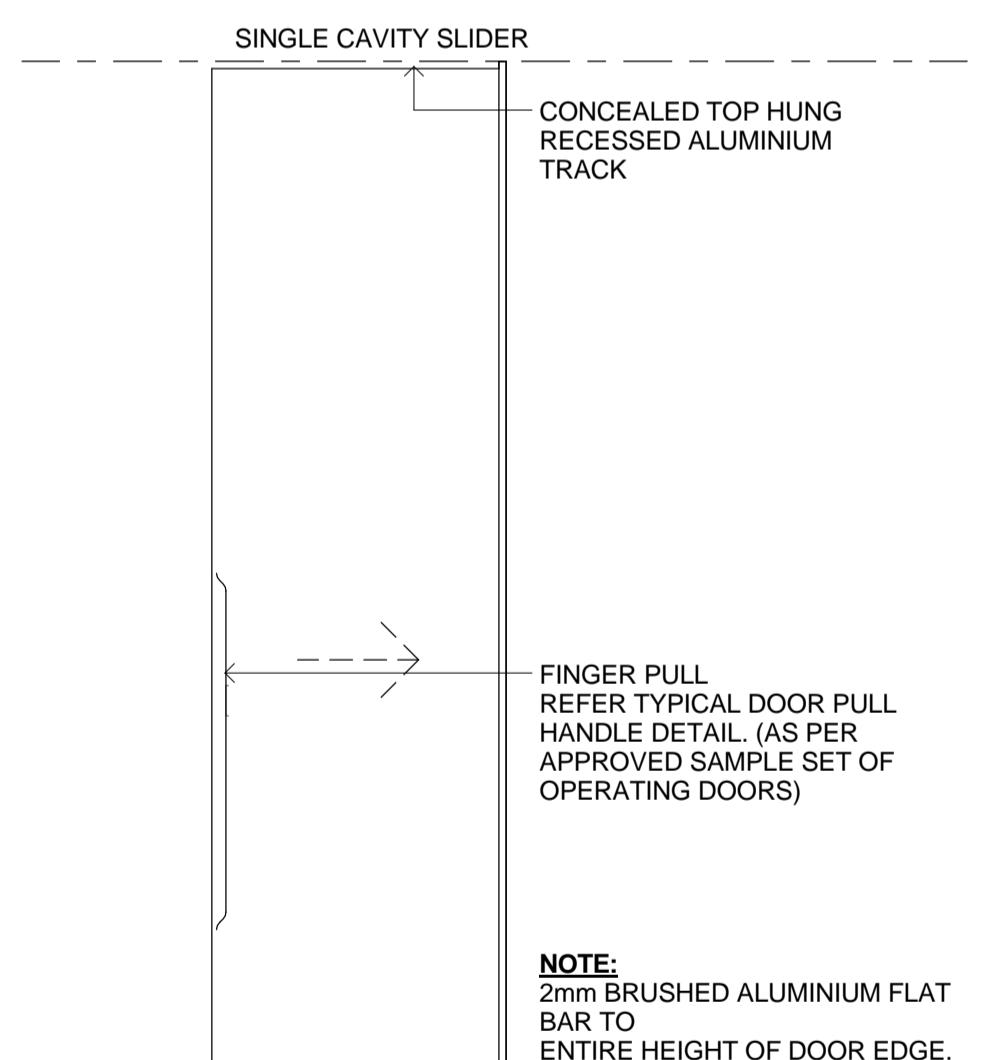
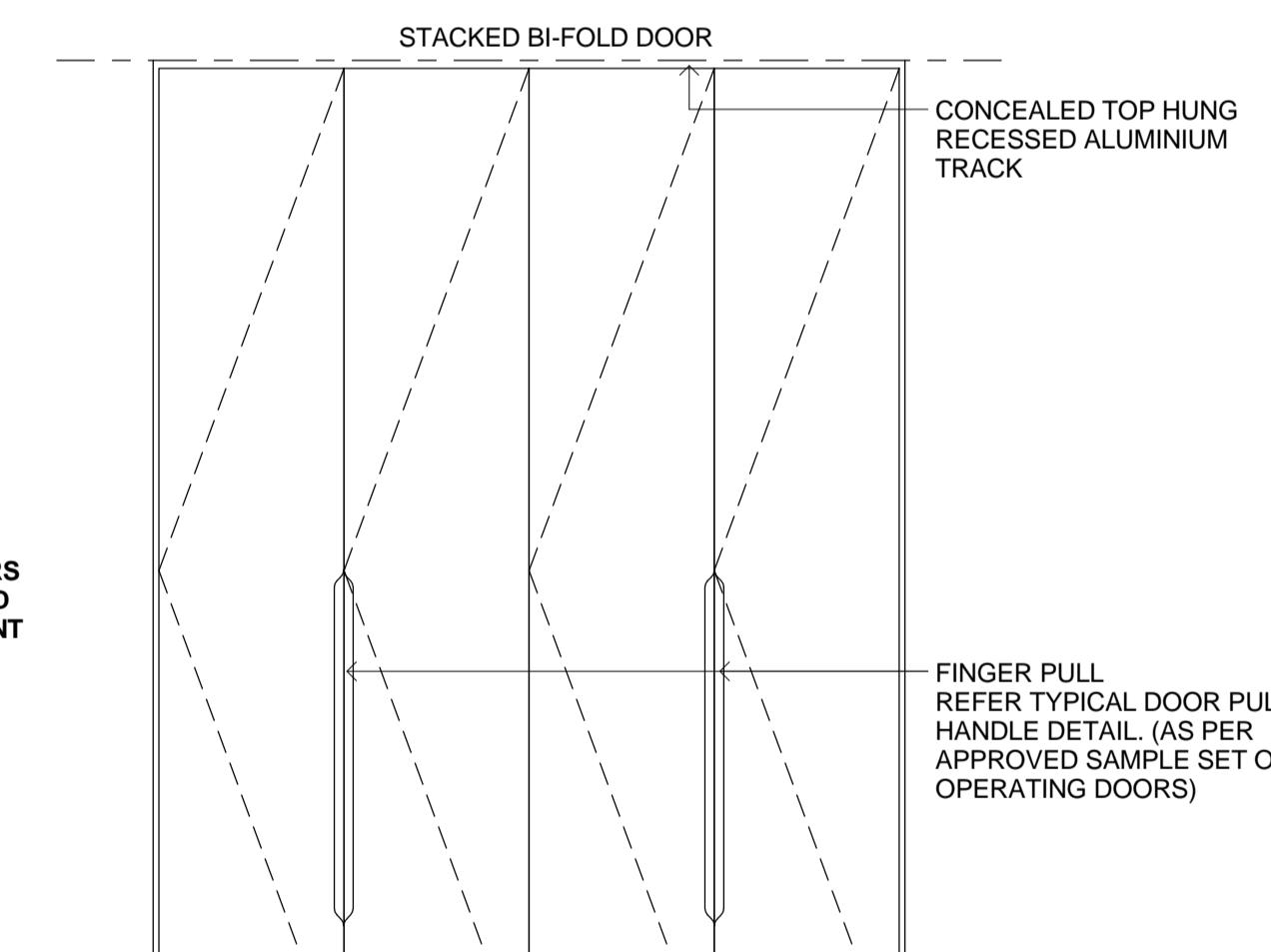
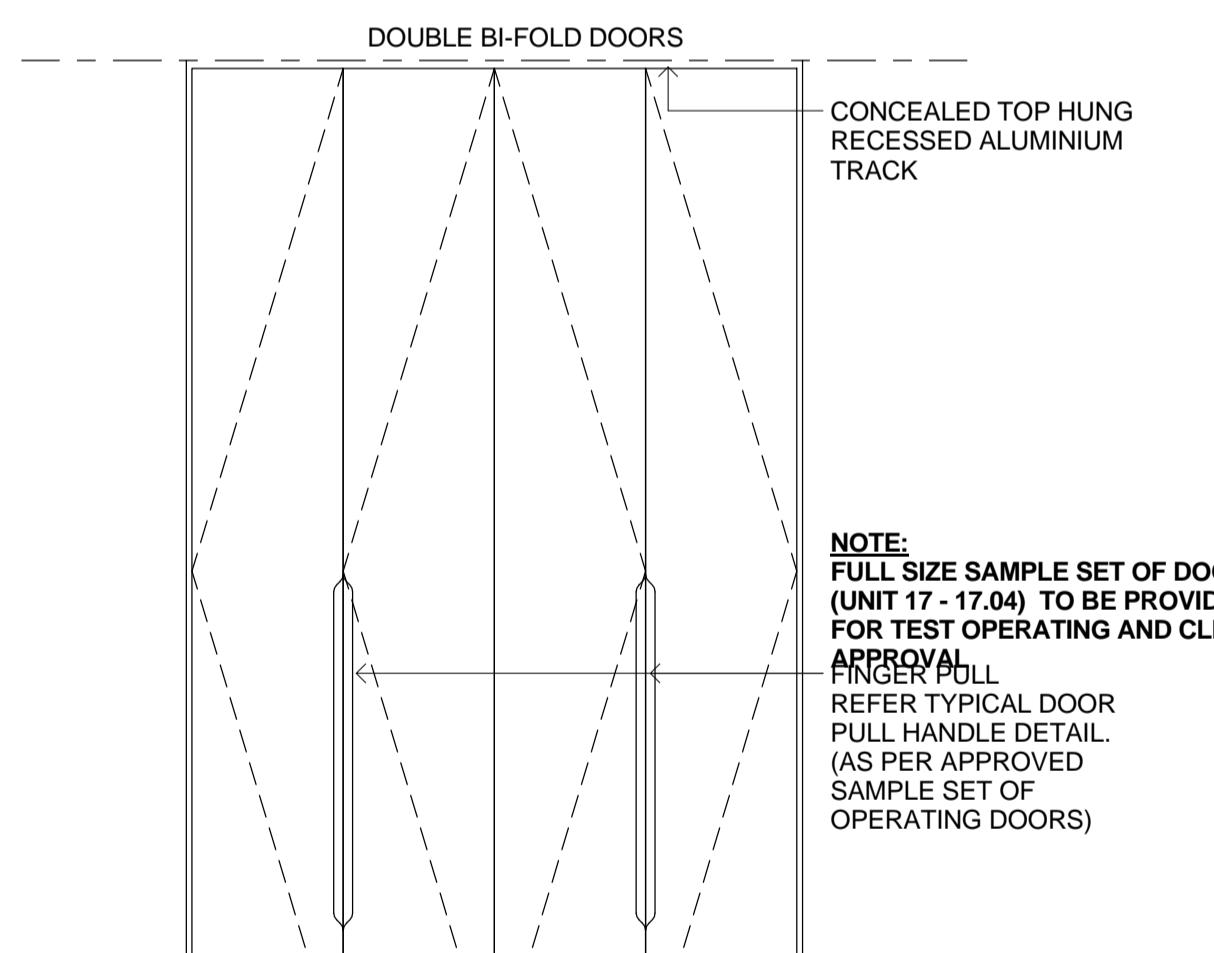


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**BALMAIN APARTMENTS**  
100-104 Reynolds St, Balmain

Sheet Title

DOOR SCHEDULE



**DOOR TYPE - D11**

Hinges	Panel Finish	Frame Finish
3	Paint	Paint

**DOOR TYPE - D12**

Hinges	Panel Finish	Frame Finish
3	Laminate	-

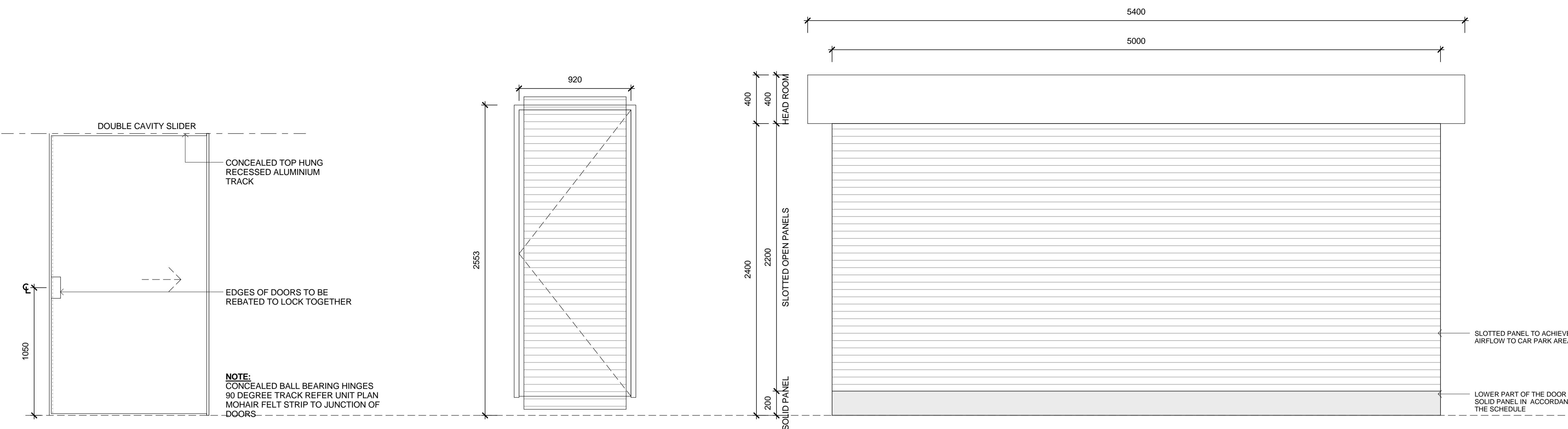
**DOOR TYPE - D13**

Hinges	Panel Finish	Frame Finish
-	as below	-

**DOOR TYPE - D14**

Hinges	Panel Finish	Frame Finish
-	Laminate	-

No.	Level	H	W	Finish
2.05	01 - LEVEL 1	2700	1600	PT5
7.05	01 - LEVEL 1	2300	1500	PT5
8.03	01 - LEVEL 1	2300	1500	PT5
9.02	01 - LEVEL 1	2300	1500	PT5
11.03	01 - LEVEL 1	2300	1500	PT5
11.04	01 - LEVEL 1	2300	1500	PT5
12.06	01 - LEVEL 1	2300	1500	PT5
13.06	02 - LEVEL 2	2300	1500	PT5
14.03	02 - LEVEL 2	2300	1500	PT5
15.02	02 - LEVEL 2	2300	1500	PT5



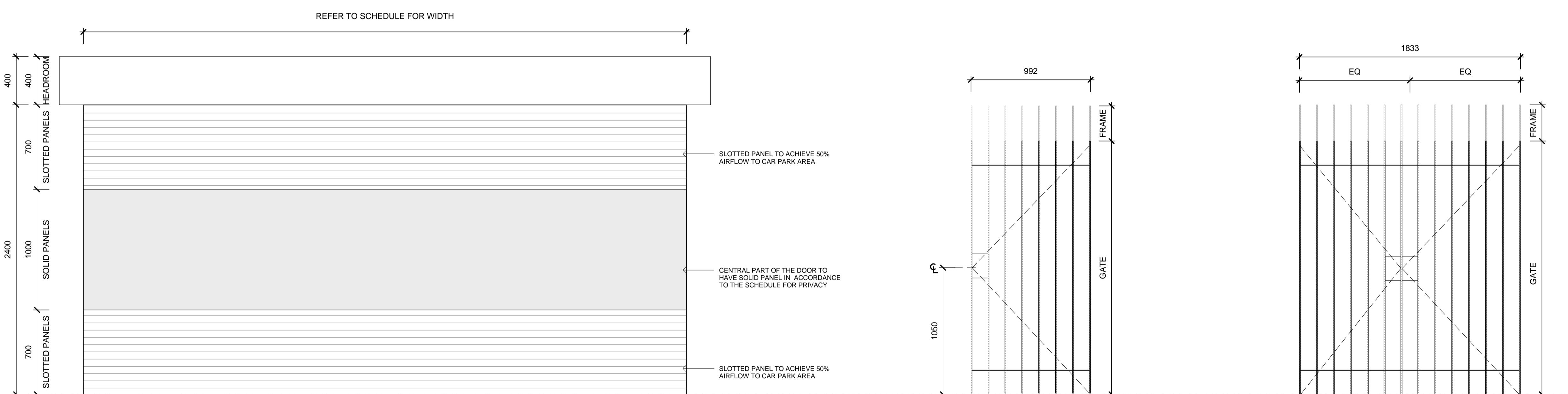
Consultants

DEVELOPMENT MANAGER	: PDS AUST
STRUCTURAL ENGINEER	: PDS AUST
SERVICES ENGINEER	: ERBAS
BCA + ACCESS	: DESIGN CONFIDENCE
ACOUSTIC	: RENZO TONIN
HERITAGE	: RAPPORT HERITAGE
TRAFFIC	: MCLAREN TRAFFIC ENGINEERING
CIVIL	: BRAHIM STORMWATER CONSULTANTS
LANDSCAPE	: URBIS
PCA	: CITY PLAN SERVICES

Client

WENTWORTH EQUITIES

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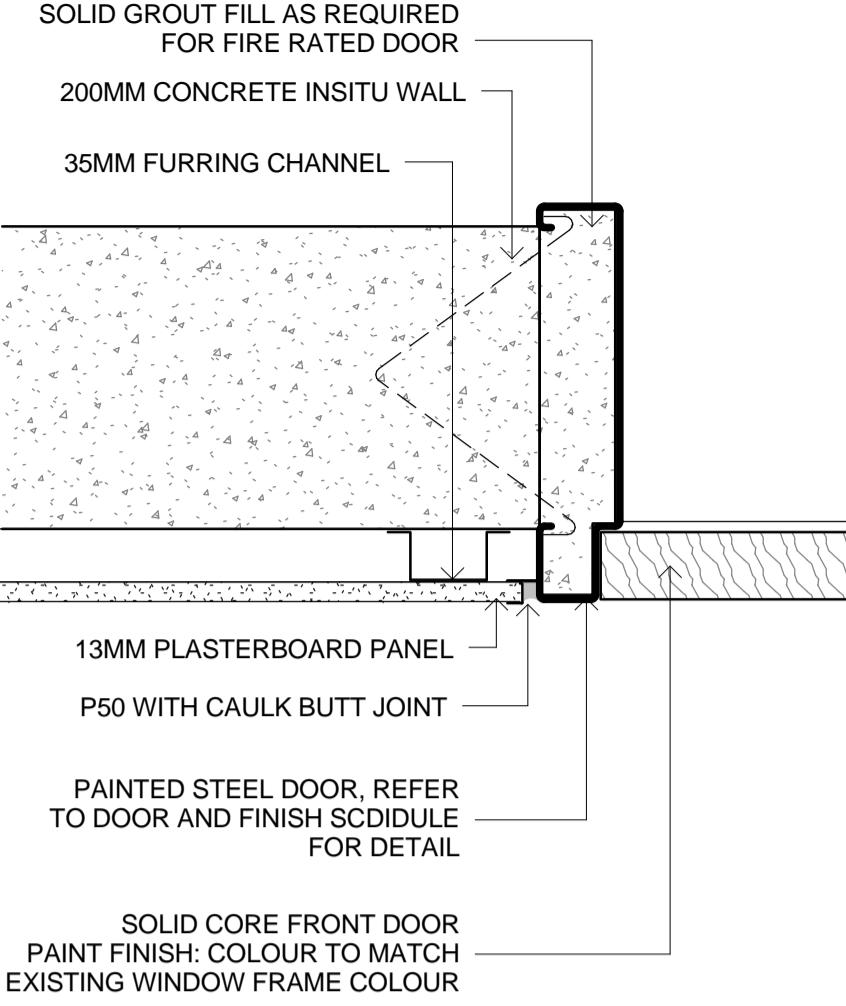
**BALMAIN APARTMENTS**  
100-104 Reynolds St, Balmain

Sheet Title

DOOR SCHEDULE

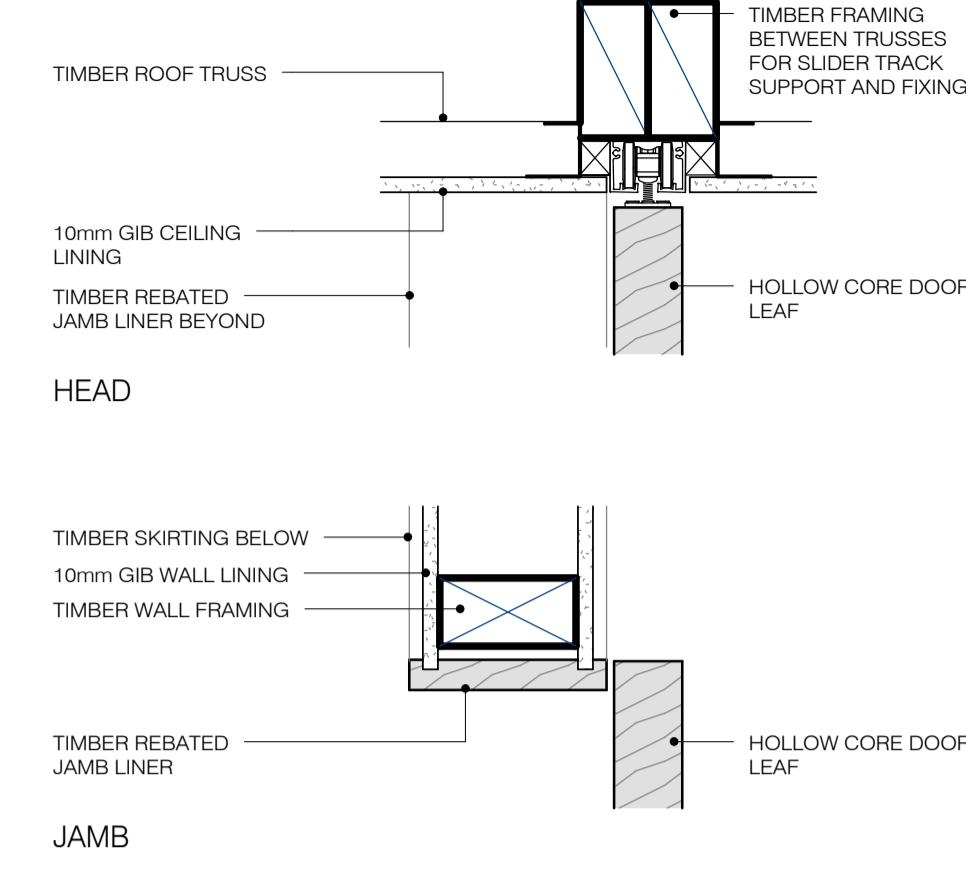
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Project No. Sheet No. Revision  
3084 A8.012 B



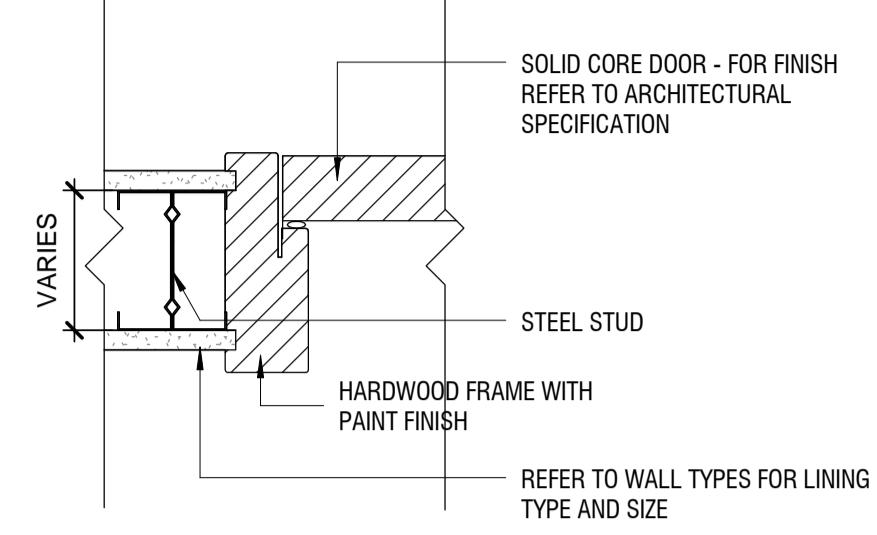
**CU\_TYPICAL JAM DETAIL**

1:5



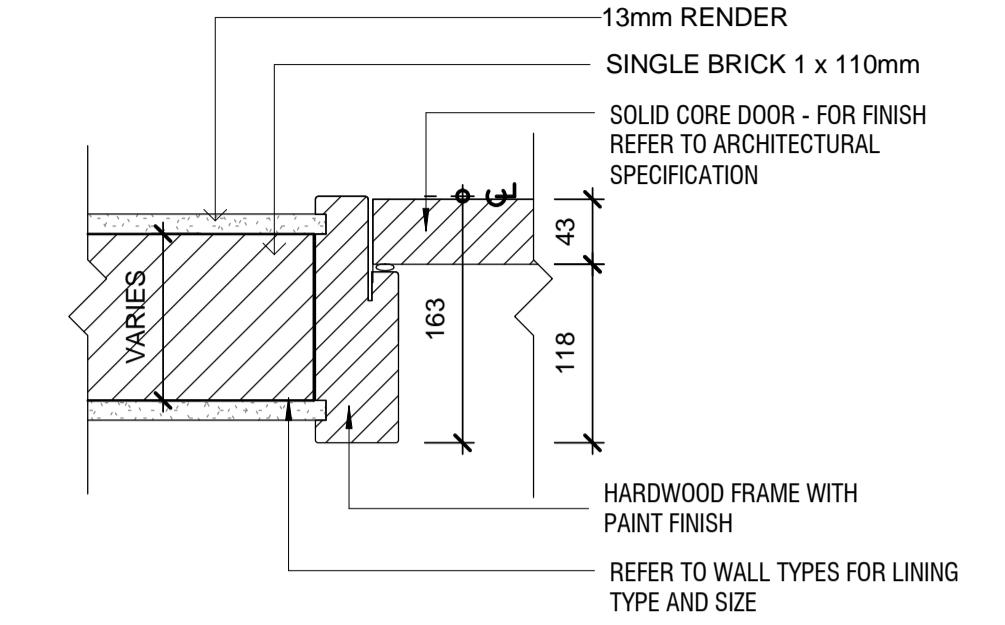
**INTERNAL DOOR SLIDING HEAD/JAMB**

1:5



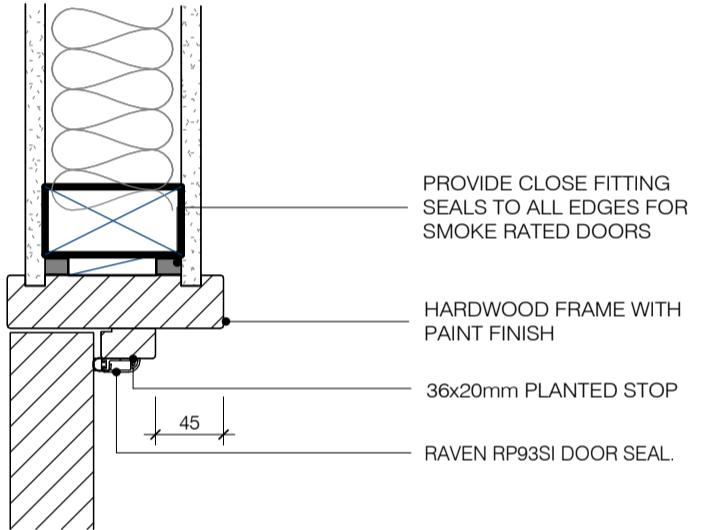
**INTERNAL DOOR HEAD JAMB\_STUD WALL**

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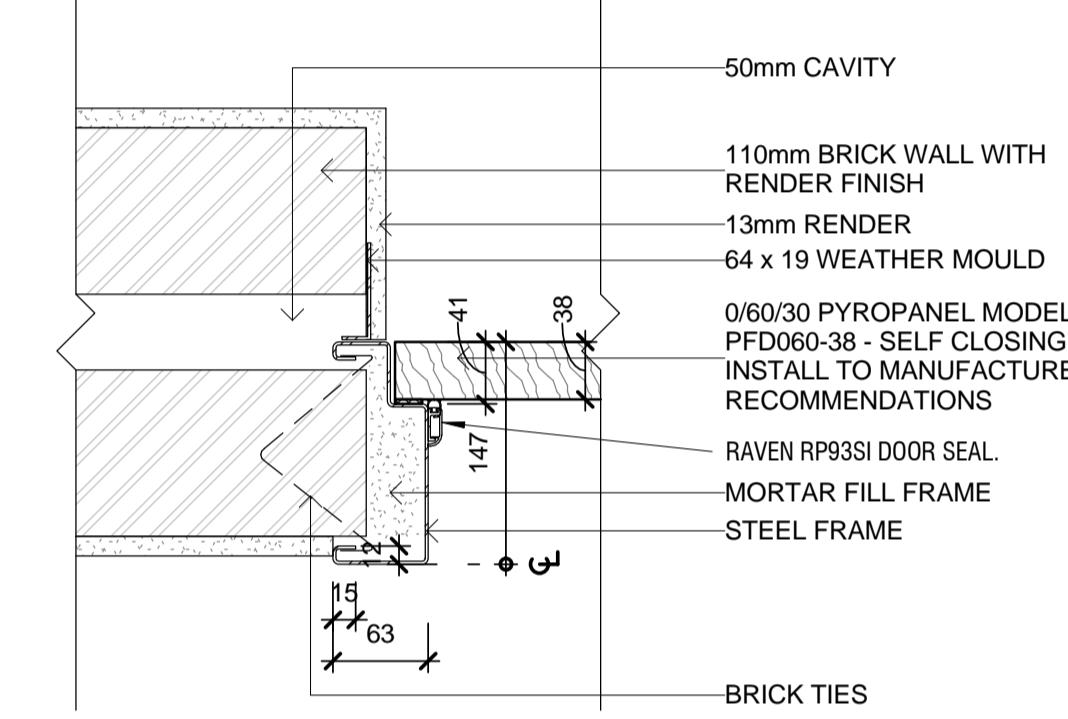
**INTERNAL DOOR HEAD JAMB\_BRICK WALL**

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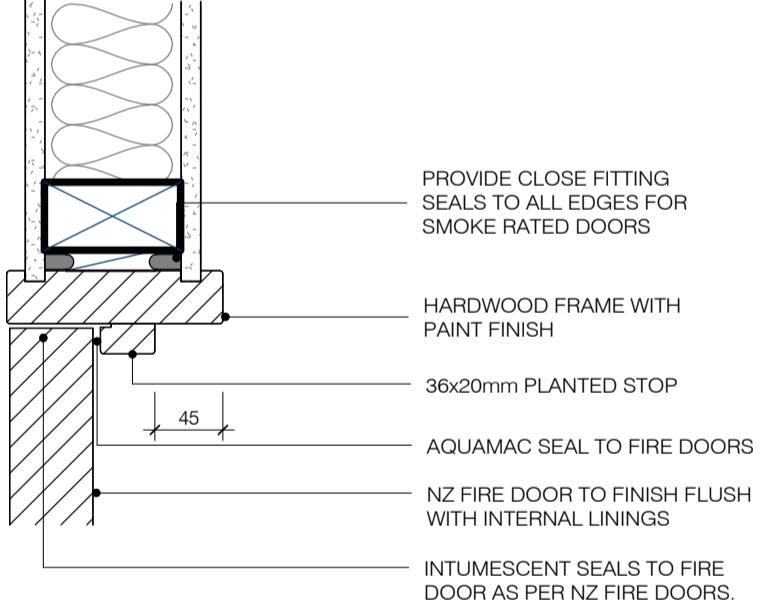
**INTERNAL ACOUSTIC DOOR HEAD JAMB**

1:5



**FIRE RATED DOOR HEAD JAMB TYPICAL**

1:5

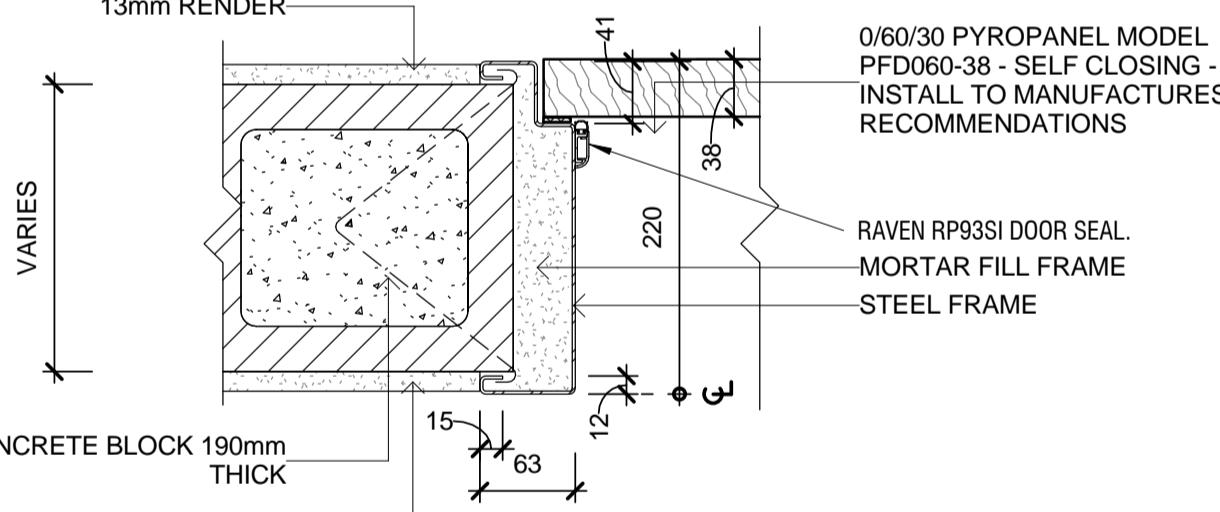


**INTERNAL FIRE DOOR HEAD**

1:5

**FIRE RATED DOOR HEAD JAMB TYPICAL DETAIL\_CONC. BLOCK WALL 90MM**

1:5

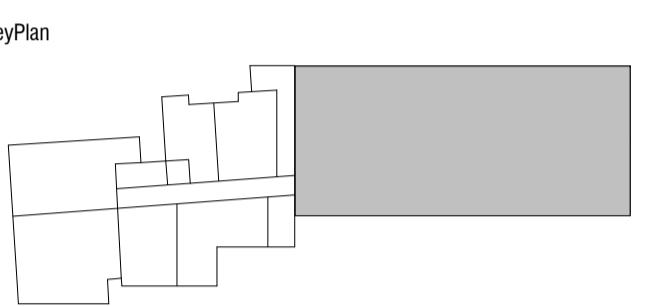


**FIRE RATED DOOR HEAD JAMB TYPICAL DETAIL\_CONC. BLOCK WALL 190MM**

1:5

Revision	Description	Date
A	TENDER ISSUE	22/05/2015
B	100% TENDER	24/06/2015

Date  
22/05/2015  
24/06/2015



**Consultants**  
DEVELOPMENT MANAGER : PDS AUST  
STRUCTURAL ENGINEER : ERBAS  
SERVICES ENGINEER : DESIGN CONFIDENCE  
BCA + ACCESS : RENZO TONIN  
ACOUSTIC : RAPPORT HERITAGE  
HERITAGE : McLaren Traffic Engineering  
TRAFFIC : BRAHIM STORMWATER CONSULTANTS  
CIVIL : URBIS  
LANDSCAPE : CITY PLAN SERVICES  
PCA

**Client**  
WENTWORTH EQUITIES

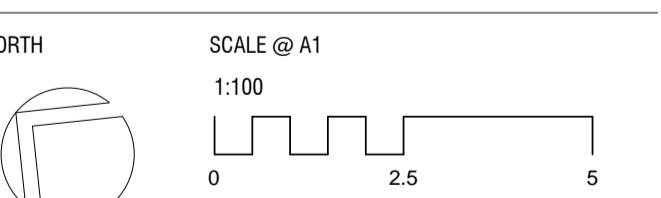


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**BALMAIN APARTMENTS**  
100-104 Reynolds St, Balmain

**Sheet Title**

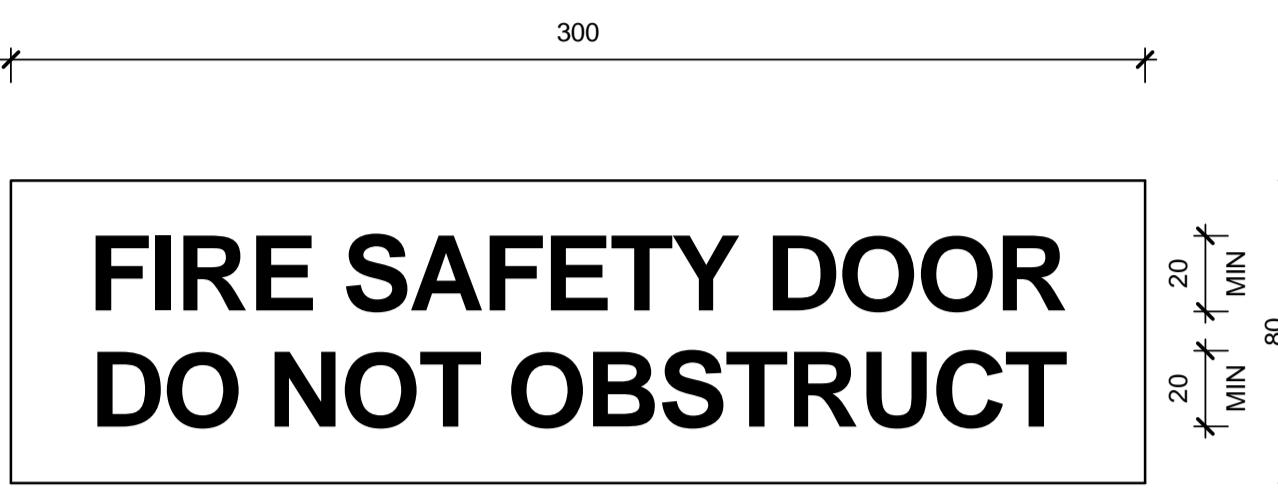
**TYPICAL DOOR JAMB DETAIL**



Drawn Author CS Checked Date JUN 2015 Scale 1:5 @ A1  
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**Project No.** 3084 **Sheet No.** A8.013 **Revision** B

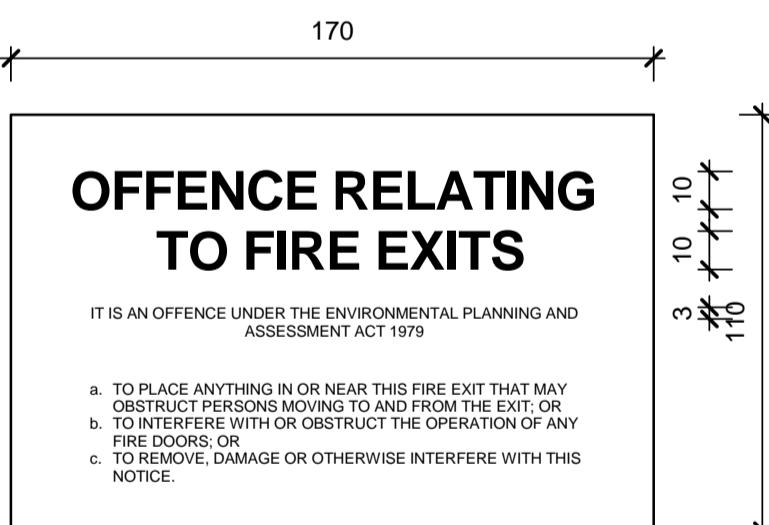
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NOTE: SIGNAGE FOR DOOR DISCHARGING FROM FIRE-ISOLATED EXIT IN ACCORDANCE TO BCA.  
FINISH: BLACK LETTERING AND PICTOGRAMS ETCHED ON NATURAL STAIN ANODISED ALUMINUM



NOTE: SIGNAGE FOR SELF-CLOSING DOOR IN ACCORDANCE TO BCA  
FINISH: BLACK LETTERING AND PICTOGRAMS ETCHED ON NATURAL STAIN ANODISED ALUMINUM



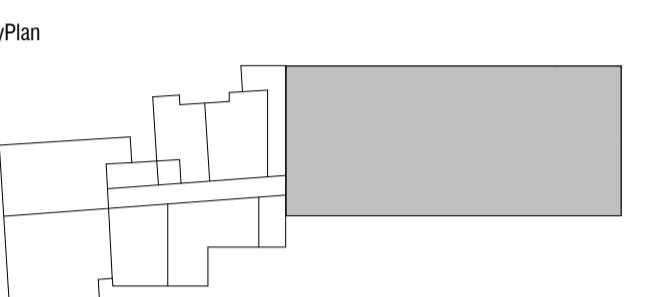
NOTE: SIGNAGE IN ACCORDANCE TO ENVIRONMENTAL PLANNING AND ASSESSMENT REGULATION.  
FINISH: BLACK LETTERING AND PICTOGRAMS ETCHED ON NATURAL STAIN ANODISED ALUMINUM



NOTE: SIGNAGE IN ACCORDANCE TO AUSTRALIAN STANDARDS.  
FINISH: BLACK LETTERING AND PICTOGRAMS ETCHED ON NATURAL STAIN ANODISED ALUMINUM



NOTE: SIGNAGE IN ACCORDANCE TO AUSTRALIAN STANDARDS.  
FINISH: BLACK LETTERING AND PICTOGRAMS ETCHED ON NATURAL STAIN ANODISED ALUMINUM



Consultants

DEVELOPMENT MANAGER	: PDS AUST
STRUCTURAL ENGINEER	: ERBAS
SERVICES ENGINEER	: DESIGN CONFIDENCE
BCA + ACCESS	: RENZO TONIN
ACOUSTIC	: RAPPORPORT HERITAGE
HERITAGE	: MCLAREN TRAFFIC ENGINEERING
TRAFFIC	: BRAHIM STORMWATER CONSULTANTS
CIVIL	: URBIS
LANDSCAPE	: CITY PLAN SERVICES
PCA	

Client  
WENTWORTH EQUITIES



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Project  
BALMAIN APARTMENTS  
100-104 Reynolds St, Balmain

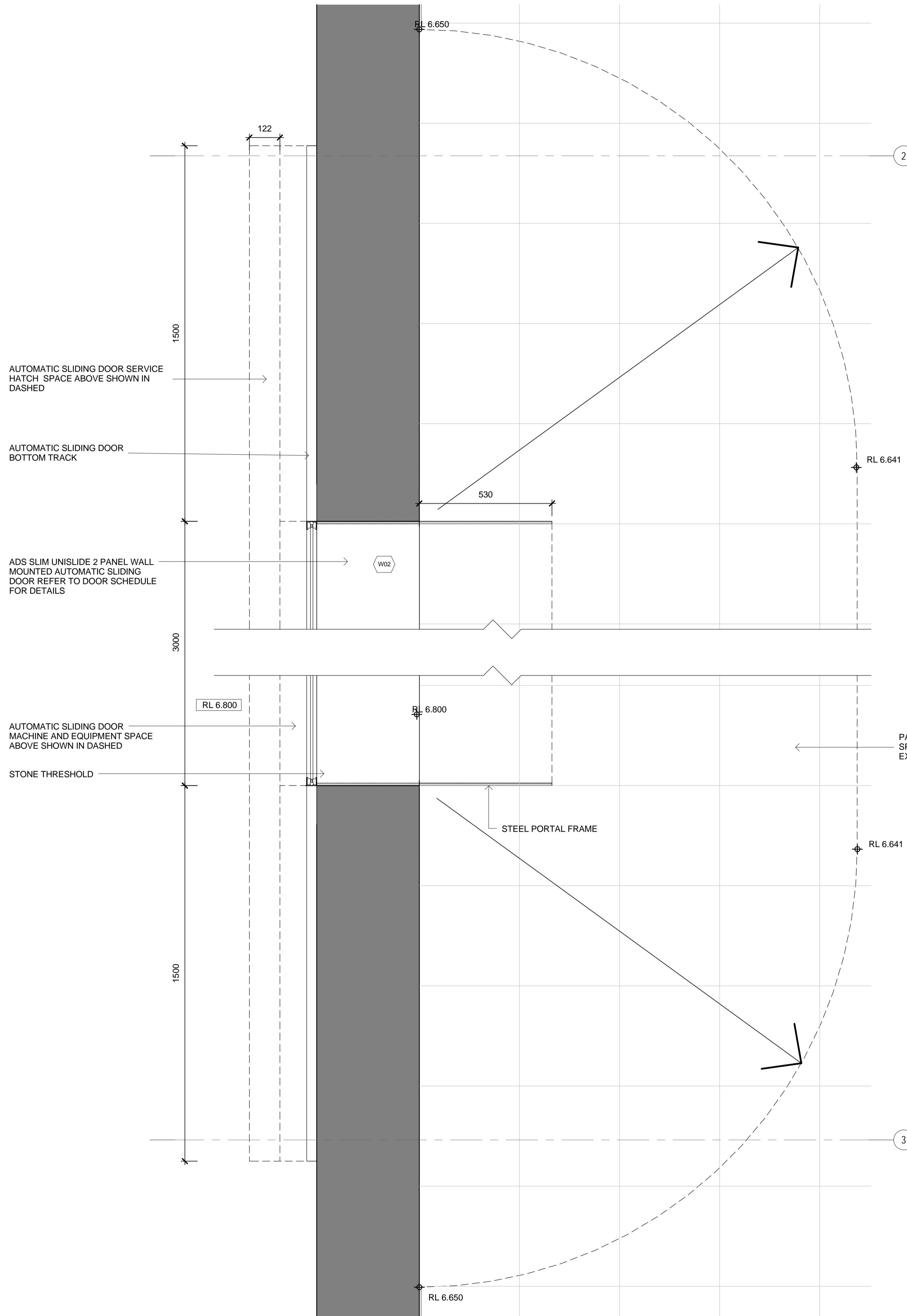
Sheet Title  
SIGNAGE DETAILS

Drawn  
Author  
Checked  
CS  
Date  
JUN 2015  
Scale  
1:2  
@ A1

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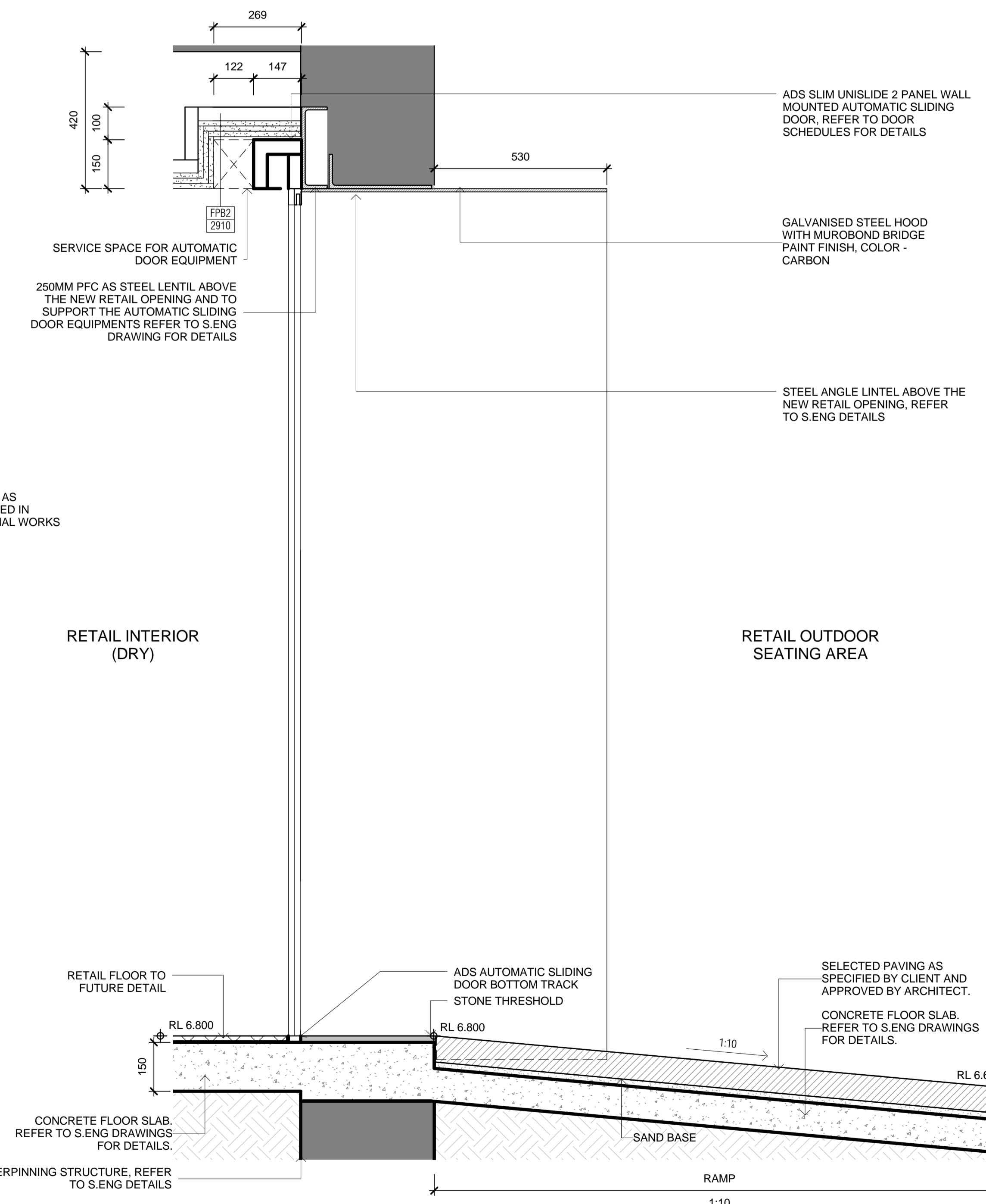
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Project No.  
3084  
Sheet No.  
A8.015  
Revision  
B

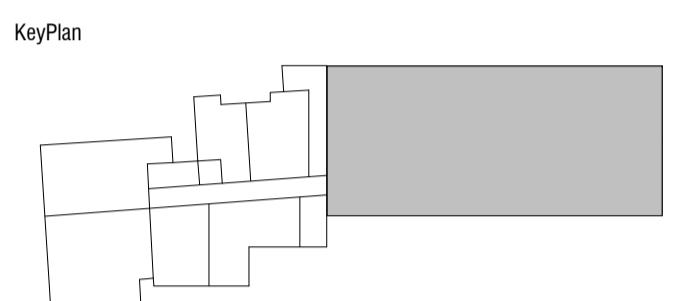


1 A1.031 RETAIL ENTRY-HYAM ST - PLAN 1:10

2 A1.031 RETAIL ENTRY-HYAM ST - SECTION 1:10



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Consultants

DEVELOPMENT MANAGER	: PDS AUST
STRUCTURAL ENGINEER	: ERBAS
SERVICES ENGINEER	: DESIGN CONFIDENCE
BCA + ACCESS	: RENZO TONIN
ACOUSTIC	: RAPPORT HERITAGE
HERITAGE	: McLaren TRAFFIC ENGINEERING
TRAFFIC	: IBRAHIM STORMWATER CONSULTANTS
CIVIL	: URBIS
Landscape PCA	: CITY PLAN SERVICES

Client

WENTWORTH EQUITIES



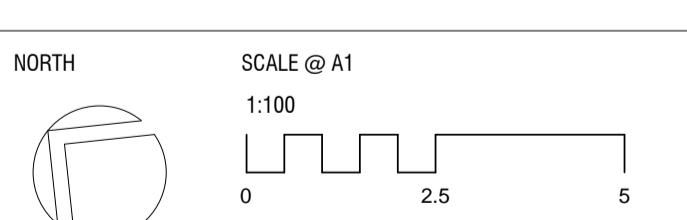
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BALMAIN APARTMENTS  
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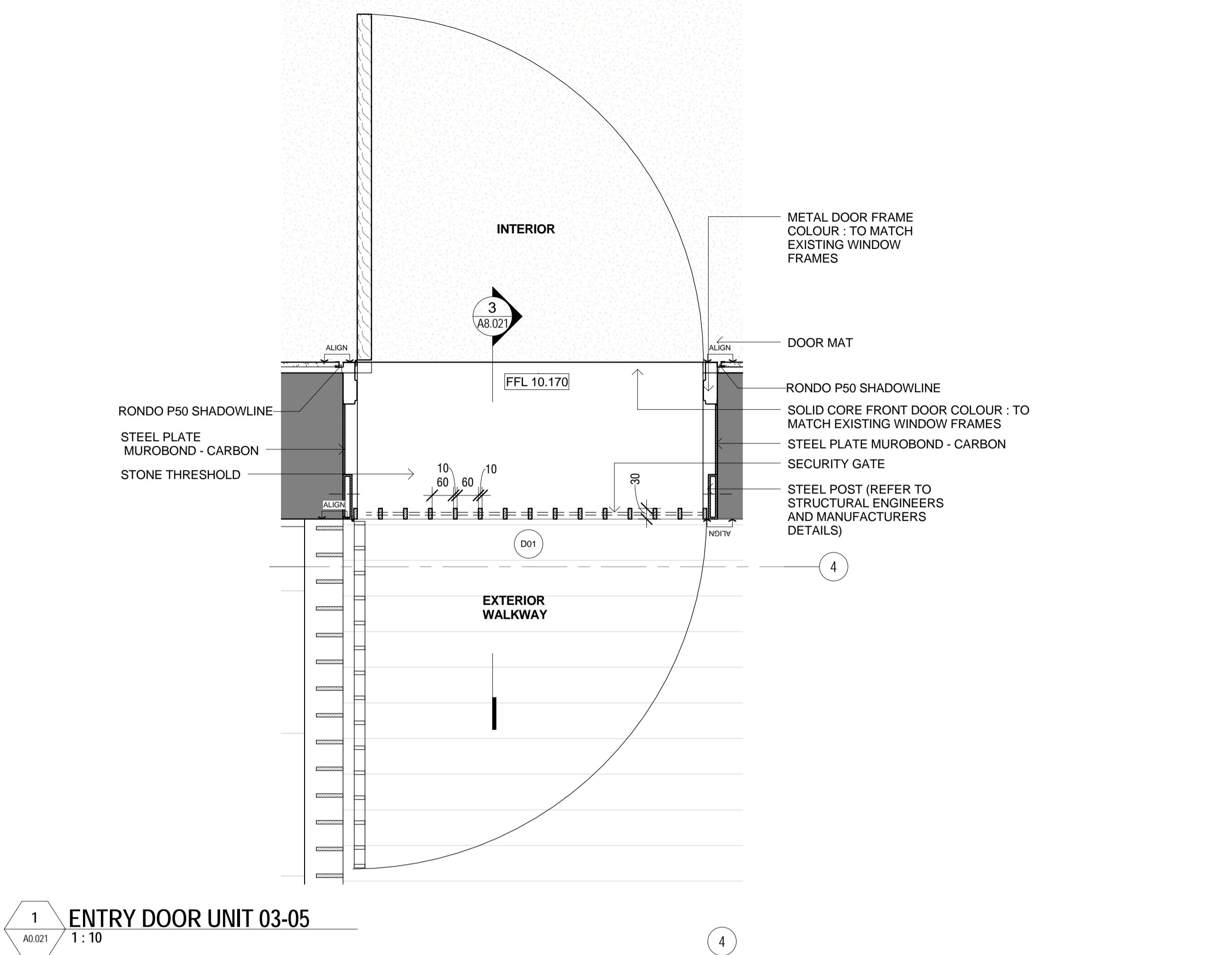
Sheet Title

THRESHOLD DETAIL-RETAIL



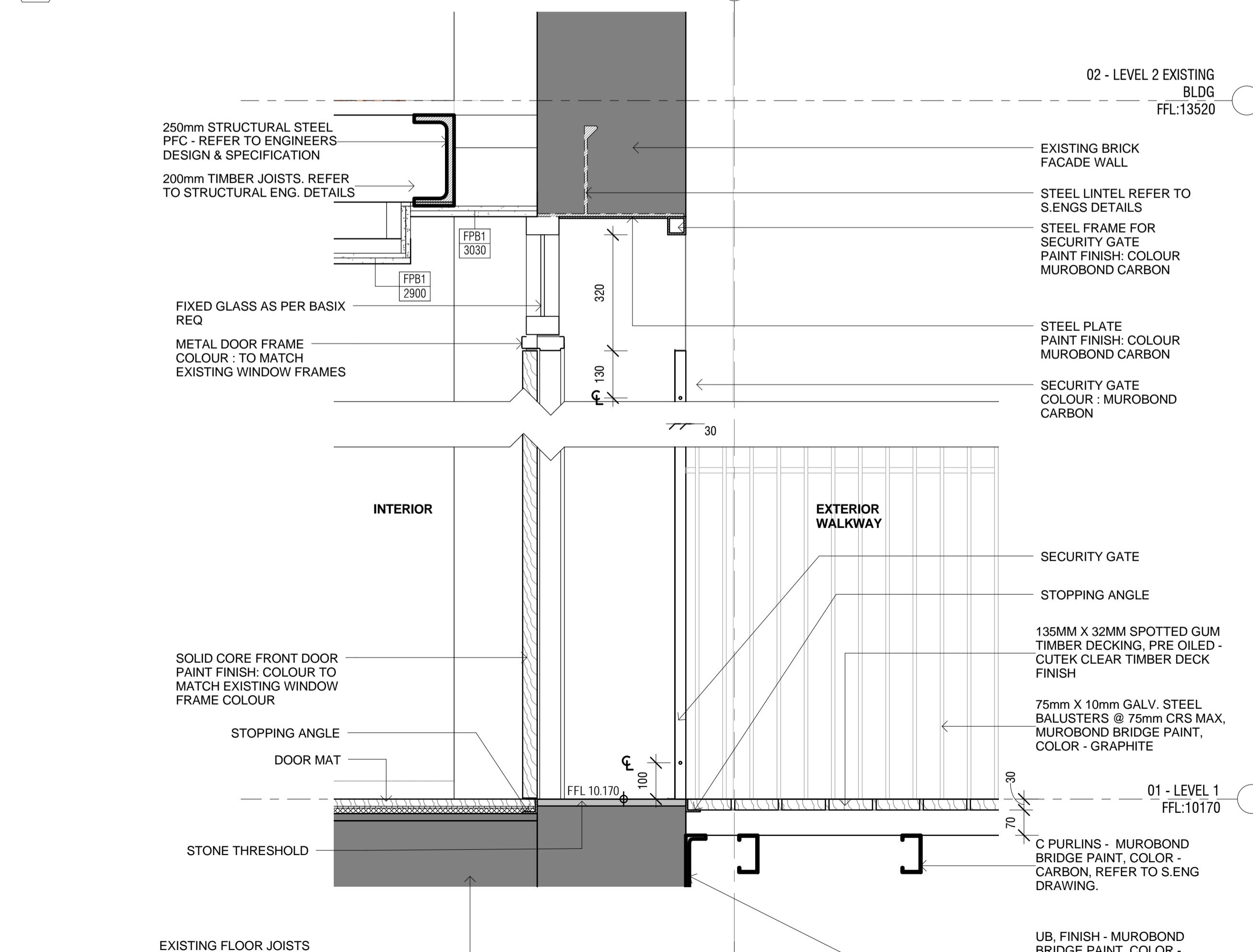
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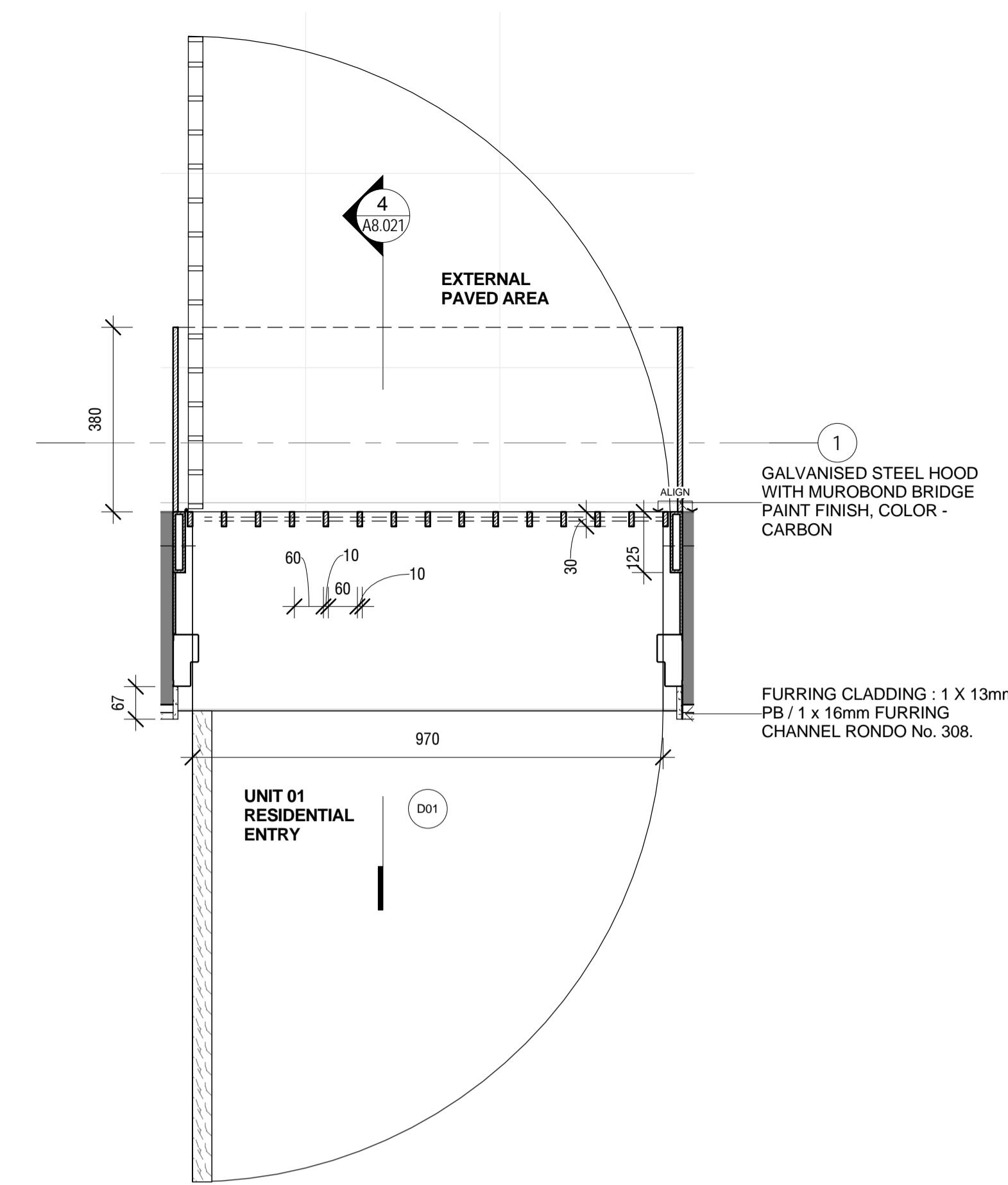


**ENTRY DOOR UNIT 03-05**

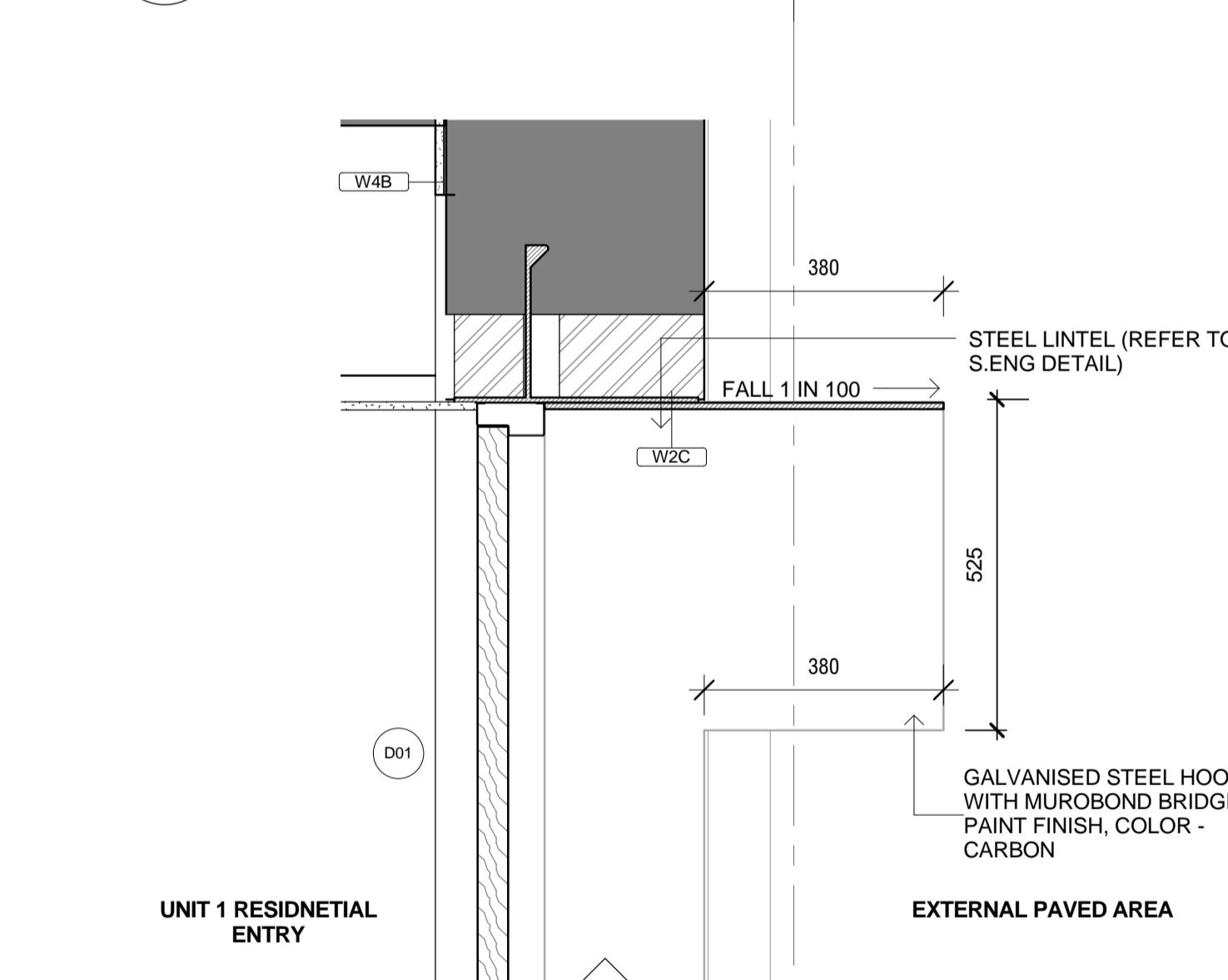
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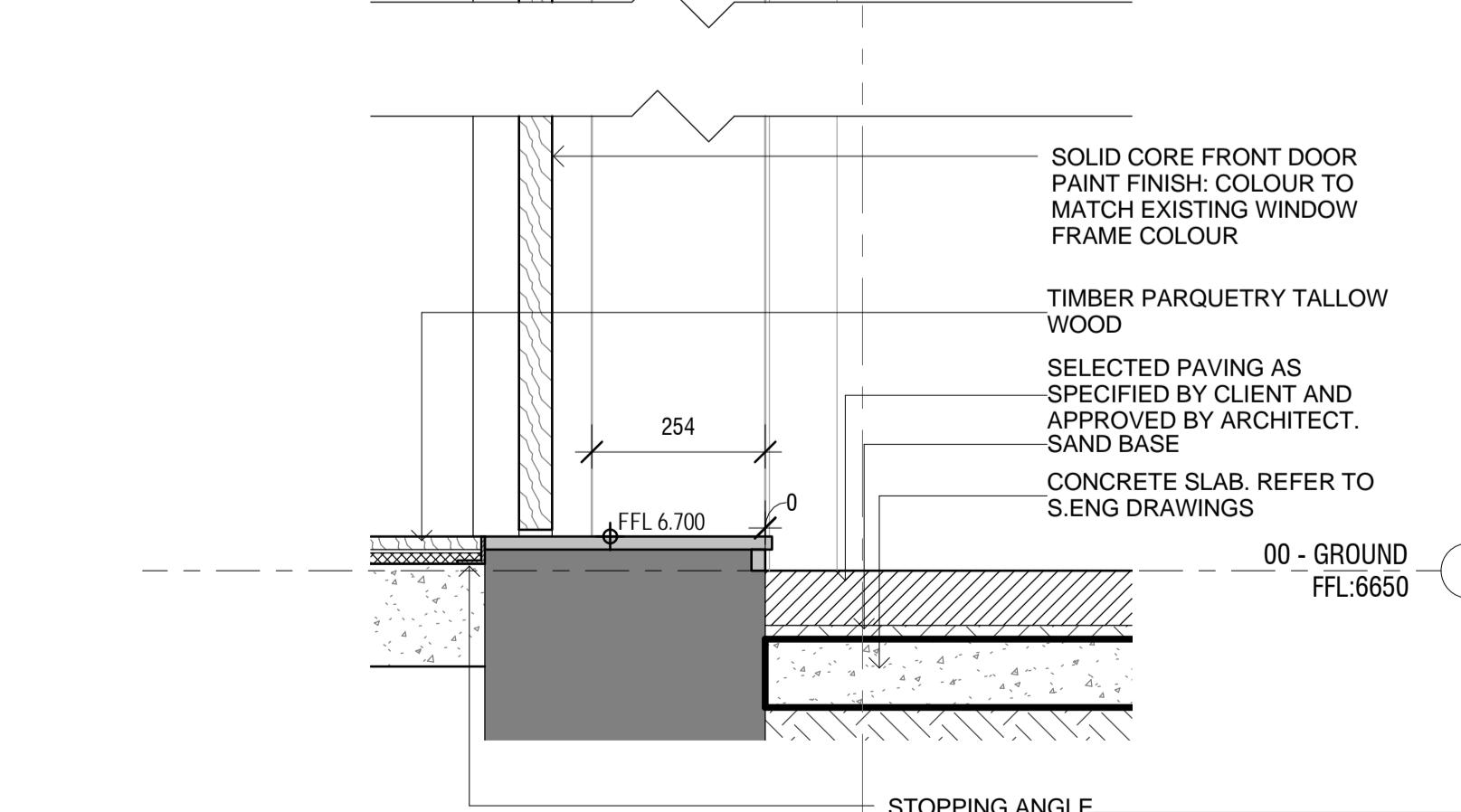
**3** ENTRY DOOR UNIT 03-05  
A8.021 1 : 10



2 1 : 10



UNIT 1 RESIDNETIAL



**4** UNIT 01 - ENTRY SECTION  
A3.001 1 : 10

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<b>Revision</b>	<b>Description</b>	<b>Date</b>
A	TENDER ISSUE	22/05/2015
B	100% TENDER	24/06/2015

Consultants	
DEVELOPMENT MANAGER	: PDS AUST
STRUCTURAL ENGINEER	: PDS AUST
SERVICES ENGINEER	: ERBAS
BCA + ACCESS	: DESIGN CONFIDENCE
ACOUSTIC	: RENZO TONIN
HERITAGE	: RAPPOPORT HERITAGE
TRAFFIC	: McLAREN TRAFFIC ENGINEERING
CIVIL	: IBRAHIM STORMWATER CONSULTANTS
LANDSCAPE	: URBIS
PCA	: CITY PLAN SERVICES

**WENTWORTH EQUITIES**



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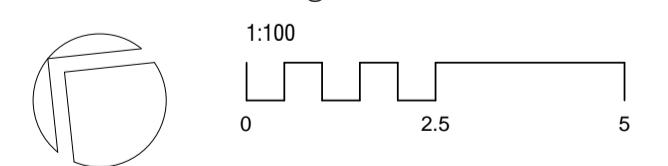
**Project**

# BALMAIN APARTMENTS

## 100-104 Reynolds St, Balmain

---

## Sheet Title

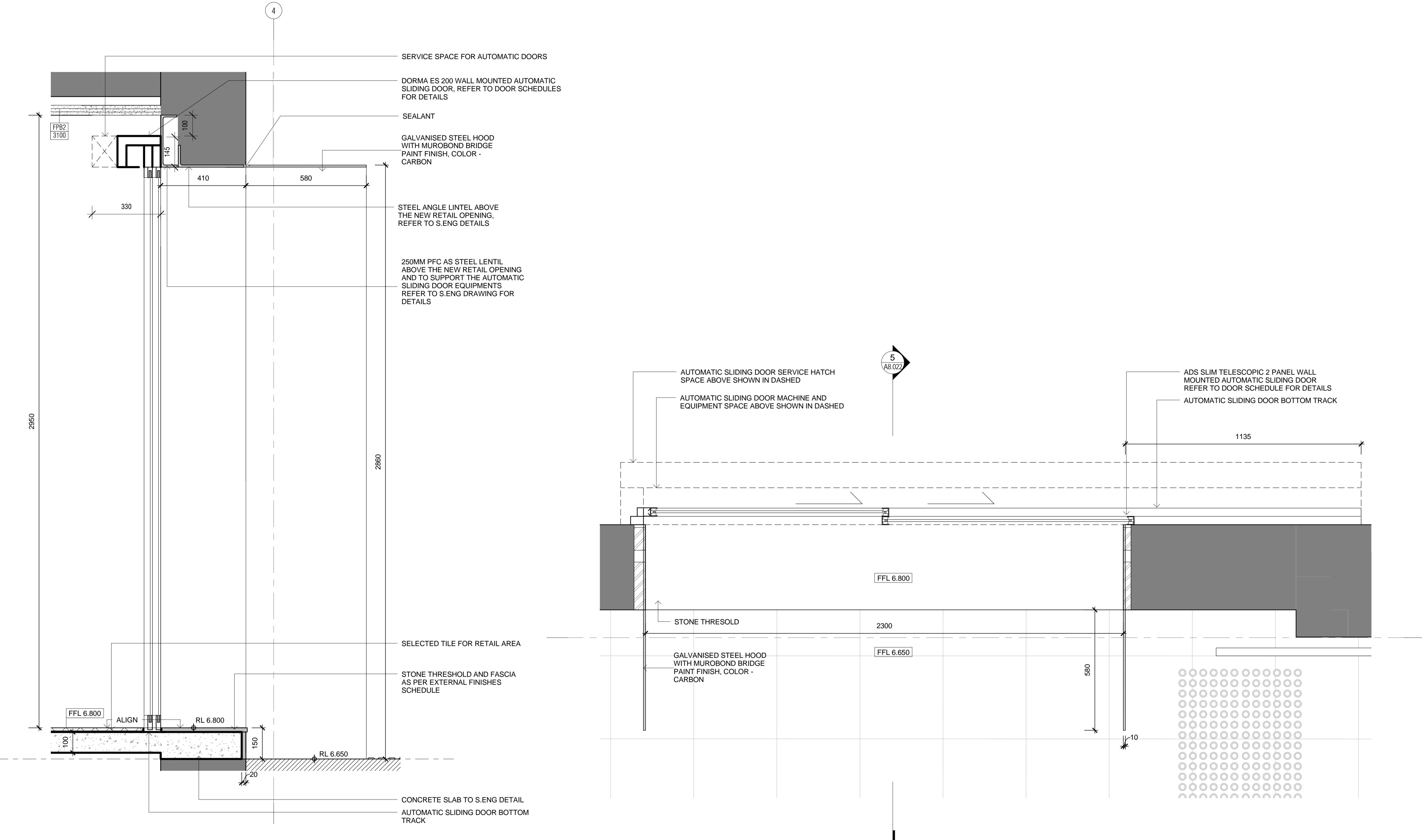


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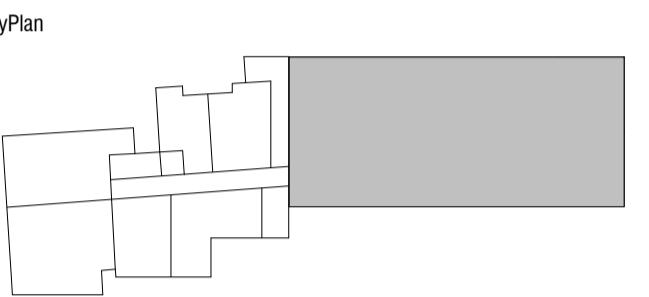
Project No. Sheet No. Revision  
3084 A8.021 B

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RETAIL COURTYARD DOOR - REYNOLDS ST  
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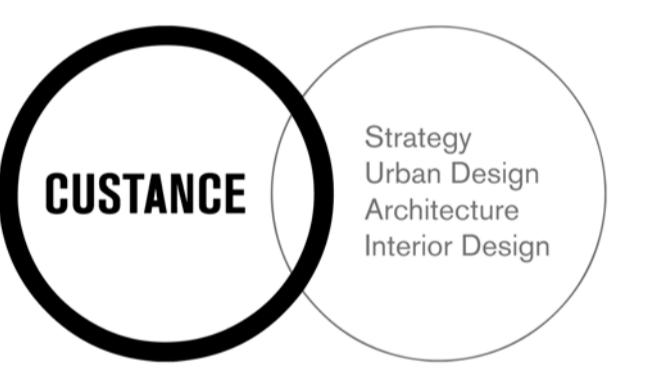
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**Consultants**

DEVELOPMENT MANAGER	:	PDS AUST
STRUCTURAL ENGINEER	:	PDS AUST
SERVICES ENGINEER	:	ERBAS
BCA + ACCESS	:	DESIGN CONFIDENCE
ACOUSTIC	:	RENZO TONIN
HERITAGE	:	RAPOPORT HERITAGE
TRAFFIC	:	MCLAREN TRAFFIC ENGINEERING
CIVIL	:	IBRAHIM STORMWATER CONSULTANTS
LANDSCAPE	:	URBIS
PCA	:	CITY PLAN SERVICES

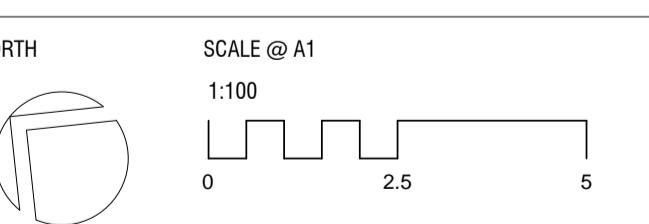
**Client**  
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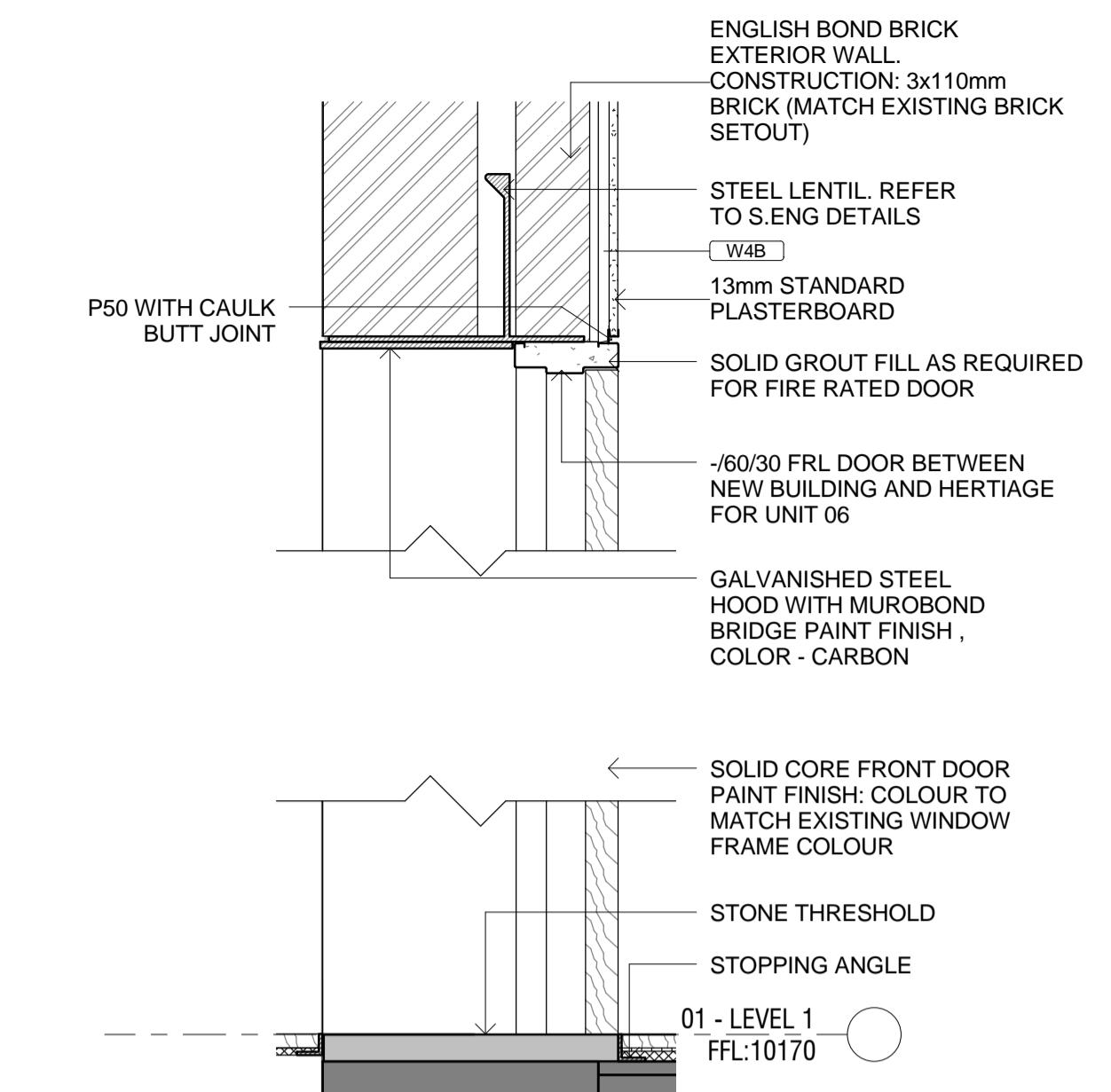
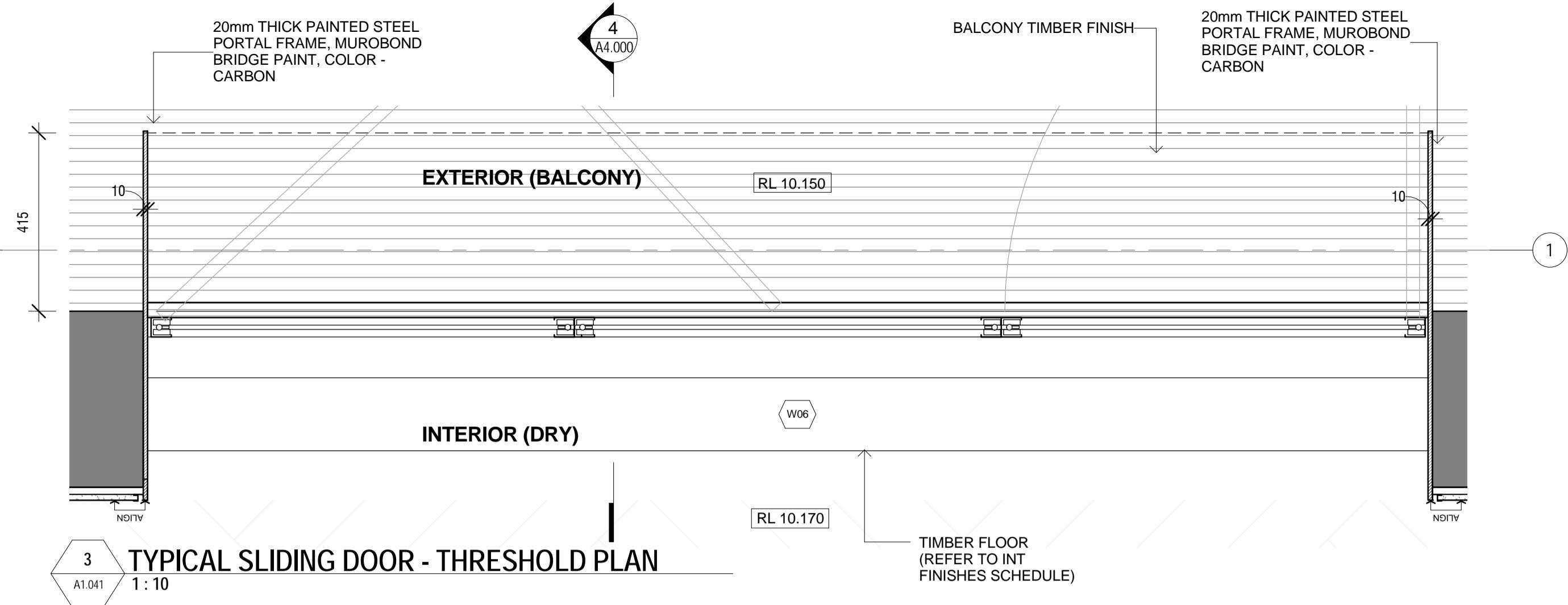
**Sheet Title**  
**THRESHOLD DETAIL - RETAIL**



**Drawn**      **Checked**      **Date**      **Scale**  
**Author**      CS      JUN 2015      1:10  
@ A1

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**Project No.** 3084      **Sheet No.** A8.022      **Revision** B



Revision	Description	Date
A	TENDER ISSUE	22/05/2015
B	100% TENDER	24/06/2015

**Consultants**

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ACOUSTIC	: RAPPORT HERITAGE
HERITAGE	: MCLEAREN TRAFFIC ENGINEERING
TRAFFIC	: BRAHIM STORMWATER CONSULTANTS
CIVIL	: URBIS
LANDSCAPE	: CITY PLAN SERVICES
PCA	

**Client**  
WENTWORTH EQUITIES

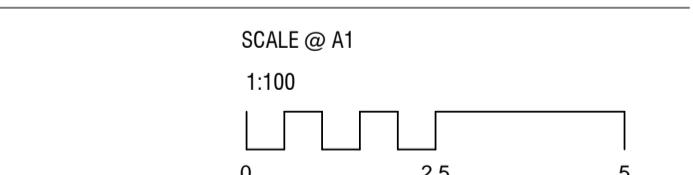


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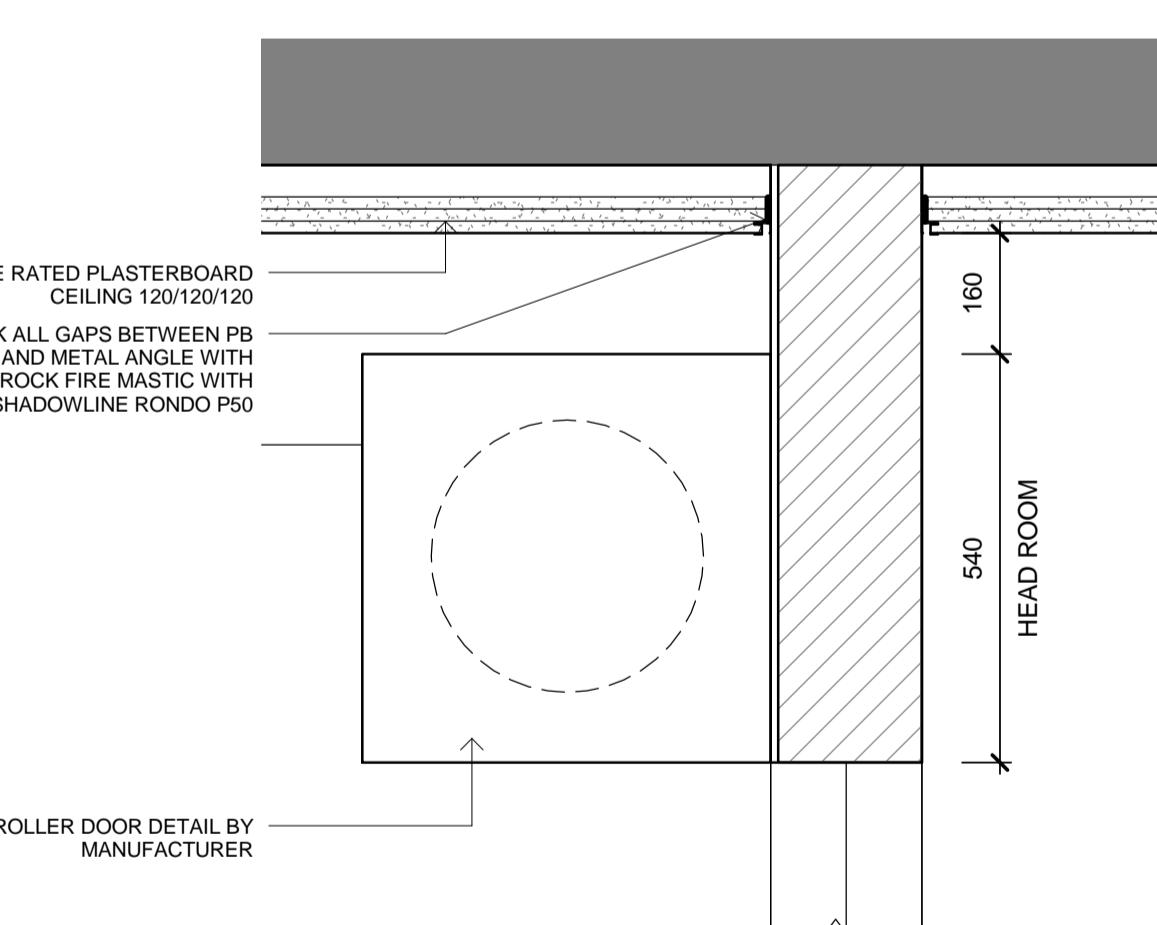
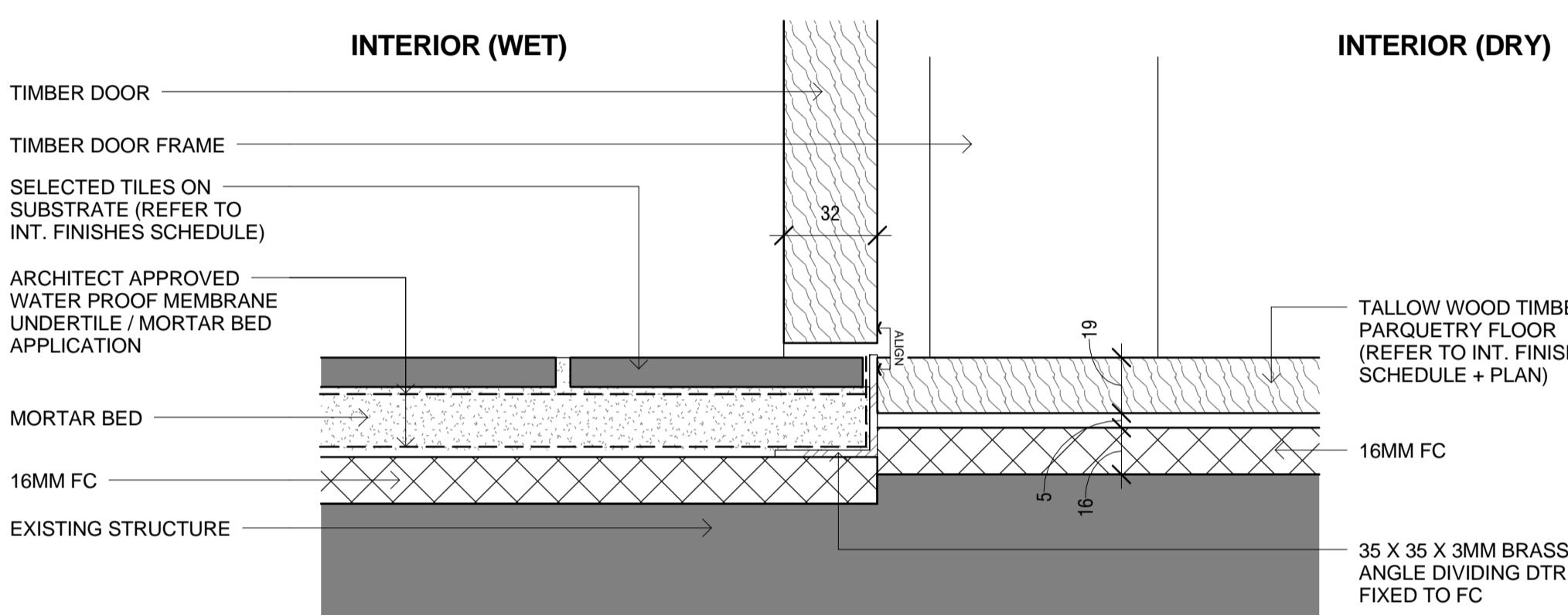
**THRESHOLD DETAIL - RETAIL**



**Drawn Author** CS **Checked Date** JUN 2015 **Scale As indicated @ A1**

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