

17 December 2021

SBS Queensland Pty Ltd
PO Box 986
RAYMOND TERRACE NSW 2324

Head Office 452 Pulteney Street
Adelaide, South Australia 5000
08) 8212 4900
email@ginosengineers.com.au
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STRUCTURAL CERTIFICATION

Project: RESIDENCE
Owner: JAMES CAMERON DODD
Address: LOT 20 NO 21 RUCHI PLACE, WYNNUM WEST QLD
4178
Component: STEEL WALL AND ROOF FRAMING

I, Nicholas Murphy, Chartered Professional Engineer and Independent Technical Expert within the meaning of the NCC 2019 Building Code of Australia, of 452 Pulteney Street, Adelaide, hereby certify that I have examined the structural steel framing plans and details for the above job prepared by:

SBS Queensland Pty Ltd	Job No	:	71158	Job Information
	Drawing No	:	FD 1-3	Steel Roof Framing
		:	FD 4-6, 8-10	Steel Wall Framing
		:	FD 7, 11-16	

Steel Building Systems International standard detail sheets:
SBS 2004 WF01 – WF13 AND WF15-WF17
SBS 2004 RF01 – RF18
SBS 2004 BJ01 – BJ04
SBS 2004 PB pages 1 to 4
SBS 2004 SF01 – SF05

Based on Steel Building Systems International test results, standard section data, and our check calculations the details provided will be in accordance with the provisions for strength, stiffness and serviceability as required by Part 2.1 of the Building Code of Australia.

Notes:

Design Wind Rating Vh.p = 33 m/s (N2)

The following items are specifically excluded from this certification:-

- Lintels to brickwork

The assessment is based on the requirements of the Australian Standards and other documents listed as reference documents in the BCA.

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Consulting Engineers

Per 
Nicholas Murphy
CPEng NER

Reference: 47496

Form 15—Compliance certificate for building design or specification

Version 4 – July 2017

NOTE: This is to be used for the purposes of section 10 of the *Building Act 1975* and/or section 46 of the *Building Regulation 2006*.

RESTRICTION: A building certifier (class B) can only give a compliance certificate about whether building work complies with the BCA or a provision of the Queensland Development Code (QDC). A building certifier (Class B) can not give a certificate regarding QDC boundary clearance and site cover provisions.

1. Property description

This section need only be completed if details of street address and property description are applicable.

E.g. in the case of (standard/generic) pool design/shell manufacture and/or patio and carport systems this section may not be applicable.

The description must identify all land the subject of the application.

The lot and plan details (e.g. SP/RP) are shown on title documents or a rates notice.

If the plan is not registered by title, provide previous lot and plan details.

Street address (include no., street, suburb/locality and postcode)

Lot 20, 21 Ruchi Place

Wynnum West

Postcode 4178

Lot and plan details (attach list if necessary)

In which local government area is the land situated?

Brisbane City Council

2. Description of component/s certified

Clearly describe the extent of work covered by this certificate, e.g. all structural aspects of the steel roof beams.

Steel wall and roof framing (steel trusses, purlins, beams and wall bracing)

3. Basis of certification

Detail the basis for giving the certificate and the extent to which tests, specifications, rules, standards, codes of practice and other publications, were relied upon.

Certification based on Steel Building Systems International test results, standard section data and check calculation and compliance with the requirements of the Building Code of Australia.

Design Wind Rating: Vhp = 33 m/s (N2)

4. Reference documentation

Clearly identify any relevant documentation, e.g. numbered structural engineering plans.

Steel Building Systems job number: 71158

Drawings: FD 01 to FD 02 Information page

FD 3 to FD 10 Steel Roof Framing

FD 11 to FD 18 Steel Wall Framing

SBSI standard detail sheets: SBS 2004 WF01-WF013 & WF13-WF17

 SBS 2004 RF01-RF18, SBS 2004 BJ01-BJ04

 SBS 2004 PB pages 1 to 4, SBS 2004 SF01-SF05

LOCAL GOVERNMENT USE ONLY

Date received	Reference Number/s
---------------	--------------------

1. Building certifier reference number	Building certifier reference number <input type="text"/>		
2. Competent person details A competent person for building work, means a person who is assessed by the building certifier for the work as competent to practice in an aspect of the building and specification design, of the building work because of the individual's skill, experience and qualifications in the aspect. The competent person must also be registered or licensed under a law applying in the State to practice the aspect. If no relevant law requires the individual to be licensed or registered to be able to give the help, the certifier must assess the individual as having appropriate experience, qualifications or skills to be able to give the help. If the chief executive issues any guidelines for assessing a competent person, the building certifier must use the guidelines when assessing the person.	Name (in full) <input type="text" value="Nicholas Murphy"/>		
	Company name (if applicable) <input type="text" value="GINOS ENGINEERS Pty Ltd"/>	Contact person <input type="text" value="Nicholas Murphy"/>	
	Phone no. (business hours) Mobile no. <input type="text" value="(08) 8212 4900"/>	Fax no. <input type="text"/>	
	Email address <input type="text" value="nicholas@ginosengineers.com.au"/>		
	Postal address <input type="text" value="GPO Box 1170"/> <input type="text" value="ADELAIDE SA"/> Postcode <input type="text" value="5001"/>		
	Licence or registration number (if applicable) <input type="text" value="RPEQ: 10892"/>		
	3. Signature of competent person This certificate must be signed by the individual assessed by the building certifier as competent.		
	Signature 		Date <input type="text" value="20/12/2021"/>

The *Building Act 1975* is administered by the Department of Housing and Public Works

JOB NUMBER 71158

Brighton Homes

James Cameron Dodd LOT No. 20
21 Ruchi Place,
Wynnum West QLD 4178

Ground - Area m2	Level 1 - Area m2
Floor	167.37
Total - Ground	167.37
Total	167.37

DRAWING SCHEDULE	Page
Job Info	FD1-2
Floor Plan	FD3
Truss Framing Plan	FD4-6
Beam Layout	FD7
Truss Elevations	FD8-10
Wall Framing Plan	FD11-13
Wall Elevations	FD14-16
Framing Details 1	FD17
Framing Details 2	FD18
Quality Tables	FD20
Wall Stacking	FD21

CUSTOM	
Drawing contains custom walls	-
Drawing contains custom trusses	-
Drawing contains custom floor joists	-
Drawing contains apex cut trusses	-
Drawing contains trusses with web bracing	

TRUSS DELIVERY INFO	
Truss Count	60
Longest Truss	TRG_2 9030
Highest Truss	TRG_3 1953
Weight	641 KG

WALL DELIVERY INFO	
Wall Count	62
Longest Wall	WFG_16 5870
Highest Wall	WFG_1 2615
Weight	1135 KG

FRAMING		
Wind Speed	33 (N2)	
Corrosion Protection Required	NO	

ROOF		
Roof Pitch	22.5	
Cladding Type	Sheet	
Eave Width	450	
Sailover Width		

WALL - GROUND		
External Wall Type	Standard Brick	
External Wall Width	225	
Internal Wall Width	75	
Ceiling Height	2570	
Pitching Height	2615	
Window Head Height	2314, 2105	
Window Reveals	Timber	
Slab Edge Rebate	0	

Framing Drawings have been engineered, certified and compiled using the information provided by the Builder. The trusses are designed for roof loading conditions, considering known wind, dead and live loads as specified by an independent engineer which includes, but not limited to, ceiling, cladding and raking forces with regards to the job specific conditions. Additional loading on Trusses or in the roof cavity requires special consideration. This includes but is not limited to, Solar Panels over 25kg/m2, Hot Water Tanks, Air Conditioners and household storage. Supaloc should be advised prior to commencing design of the truss system pertaining to any additional load requirements. Such items should be specifically detailed and certified by an independent Engineer, on the Framing Drawings and design certificates such as the 'Ministers Schedule 5 of the Development Act 1993' (South Australia), 'Section 40 – Certificate of Compliance – Structural Design' (Northern Territory), 'Form 15 – Compliance Certificate for Building Design or Specification' (Queensland) or any other local area design certification requirements. If in doubt, please contact Supaloc directly on 1300 303 444.

BRICK PIERS/TEMPORARY ROOF SUPPORT
In cases where a brick pier is supporting a beam, such as a garage beam or verandah beam, a 'temporary support' post will be installed by the framers during frame installation. This must remain in place until the construction of the brick pier is completed. The tie down of the roof structure to the pier or other brickwork is the responsibility of the Builder. On tiled Roof projects - the roof shall not be loaded with tiles until the completion of all brick supports.

All dropped ceilings and internal 'bulkhead' frames regardless of truss direction are to be attached to ceiling battens.

Important Note:
Please ensure a risk assessment is carried out on the installation of Supaloc prefabricated frames and trusses and associated products used in the construction of the design.

Ensure adequate resources are allocated to allow correct manual handling procedures to be maintained

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Job Info - Sheet 1

Brighton Homes

Job No.	Drawing No.	Rev
71158	FD 01 / 18	
Scale	NA	Date 13-Dec-2021
Drawn	AXT	Checked CN

Architectural Reference
901115 - 6
Version Number 7.00.71 - 23

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BRACING - GROUND		
	Front	Side
Sqm	60	21
Required kN	18.00	10.00
Actual kN	19.30	35.20

BRACING - LEVEL 1		
	Front	Side
Sqm	0	0
Required kN	0.00	0.00
Actual kN	0.00	0.00

TRUSS PLAN/ELEVATION KEY

TRG_X	Truss
OWTG_X	OWT (Open Web Truss)
OWBG_X	OWB (Open Web Beam)
— — — —	Beam
— = — =	Load Bearing Wall
— - - - -	Roof Plan
— - - - -	Pitching Line
— - - - -	Cross Bracing
— - - - -	Batten as underpurlin
<input type="checkbox"/> C1	Column
O ^{as}	Double Girder Bracket
O	B19 - Truss Tie Down Bracket
X	B20 - Truss Offset Tie Down Bracket
TL	Girder Bracket Connectio Point
▲	B19 - Truss Tie Down Bracket
▲	B20 - Truss Offset Tie Down Bracket
▲	B21 - Truss Load Bearing Bracket
▲	Load Bearing Point
— — —	Ceiling Batten Clip Location
— — —	Roof Purlin Clip Location
o	Truss Connection Bracket
B12	Top Chord Extension Bracket
B11	Truss to Beam Bracket
O ^{as}	B4 Bracket
O ^{as}	B5 Bracket
O ^{as}	B7 Bracket

WALL PLAN/ELEVATION KEY

WFG_X	External Wall
WFG_X	Internal Wall
L	Single Lintel
2L	Double Lintel
—	Single Stud
—	Boxed Stud
— — —	Truss Tie Down Slot

SBS Steel Framing Specification

- * All light gauge steel sections are G550 zincalume coated steel
- * Minimum zincalume coating thickness (AM150) 150 grams of Aluminium / Zinc / Magnesium per m²
- * All cold - formed metal framing designed and constructed in accordance with NASH Standard Part 1

Wall Framing

- * 75mm wall
 - * Nominal stud size is 75x35 (0.55mm BMT) c section
 - * Nominal nogging size is 75x35 (0.55mm BMT) notched c section
 - * Nominal plate size is 75x35 (0.55mm BMT) notched c section
- * 92mm wall
 - * Nominal stud size is 92x40 (0.75mm BMT) c section
 - * Nominal nogging size is 92x40 (0.75mm BMT) notched c section
 - * Nominal plate size is 92x40 (0.75mm BMT) notched c section
- * Wall bracing straps are 30x0.8mm galv ms steel with tensioners (refer certification documentation for fixing requirements)
- * Nominal lintel is 284x9x1.2mm G550 galv. (AM150) lipped flat plate fixed as per SBS certification requirements.
- * Wall sheet bracing to be 5mm frc (hardbrace) fixed in accordance with manufacturers requirements.

Roof Framing / Floor

- * Truss chords are nominal 85x50 (0.75mm BMT) z section
- * Webs are nominal 60x25 (0.42mm BMT) mechanically stitched flattened tubular sections
- * All members bolted with M12 purlin bolts
- * Roof bracing to be 30x0.8mm hoop iron strap as indicated on roof framing plan.
- * Webs to be braced with 22mm top hat section at 1800mm max. spacings on conventional trusses only
- * Roof purlins - 40mm top hat section (0.55mm BMT)
- * Ceiling batten - 22mm top hat section (0.42mm BMT)

NOTE:
Roof truss webs must be braced at 1800mm max. ctrs. Where consecutive trusses of differing web configurations occur then the alternative bracing system as described in the detail shown (refer to SBS Installation Detail ID-RF-501 for further information) shall be used.
This applies to main trusses only.

WINDOWS

Label	Height	Width	Head Height	Left	Right	Top	Bottom	Reveal
W01	1800	1810	2314	30	30	30	30	T
W02	860	1210	2105	30	30	30	30	T
W03	1800	1210	2314	30	30	30	30	T
W04	600	1810	2314	30	30	30	30	T
W05	1800	1810	2314	30	30	30	30	T
W06	860	610	2105	30	30	30	30	T
W07	1200	1570	2314	30	30	30	30	T
W08	1200	1570	2314	30	30	30	30	T

DOORS

Label	Height	Width	Left	Right	Top	Jamb
D01	2400	890	10	10	10	32
D02	2100	890	10	10	10	32
D03	2100	3590	30	30	30	0
D04	2415	1600	0	0	0	0
D05	2400	775	0	0	0	19
D06	2340	1150	0	0	0	0
D07	2400	875	0	0	0	19
D08	2400	875	0	0	0	19
D09	2400	875	0	0	0	19
D10	2340	800	0	0	0	0
D11	2400	825	0	0	0	19
D12	2400	1055	0	0	0	0
D13	2340	1770	0	0	0	0
D14	2400	475	0	0	0	19
D15	2400	1595	0	0	0	19
D16	2400	1455	0	0	0	0
D17	2400	875	0	0	0	19
D18	2400	875	0	0	0	19
D19	2400	1455	0	0	0	0

WALL BEAMS

LABEL	LINTEL	LENGTH	BOB	TOP
WFG_62	None	1390	2415	2615

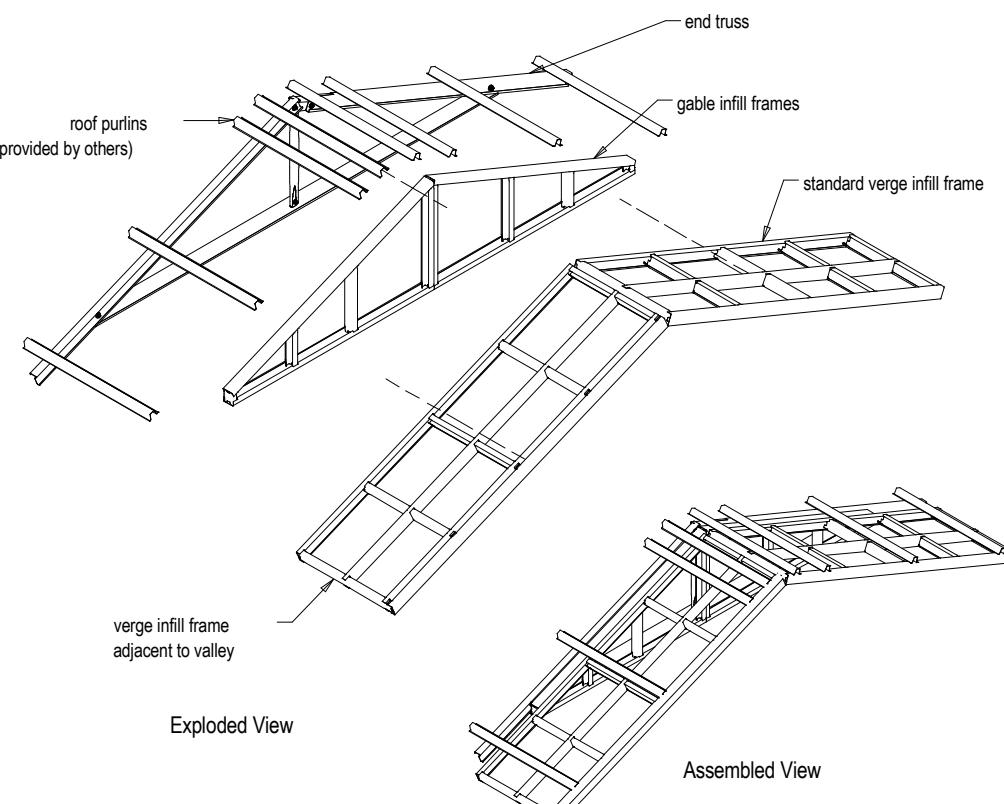
CUSTOM PLATES

LABEL	QTY	LENGTH	HEIGHT

NON STRUCTURAL BEAMS

LABEL	TYPE	QTY	LENGTH	BOB	TOB	PITCH
B1	2/C25019-BOXED	1	5760	2341	2615	0
B2	2/C15012-BOXED	1	2075	2443	2615	0
B3	2/C15012-BOXED	1	4039	2443	2615	0

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DUTCH GABLE DETAIL

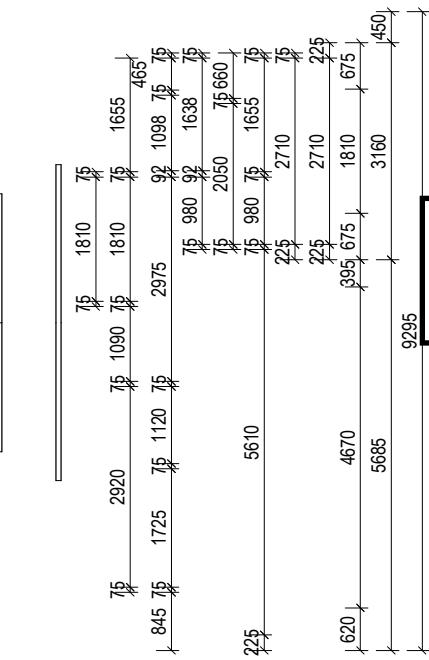
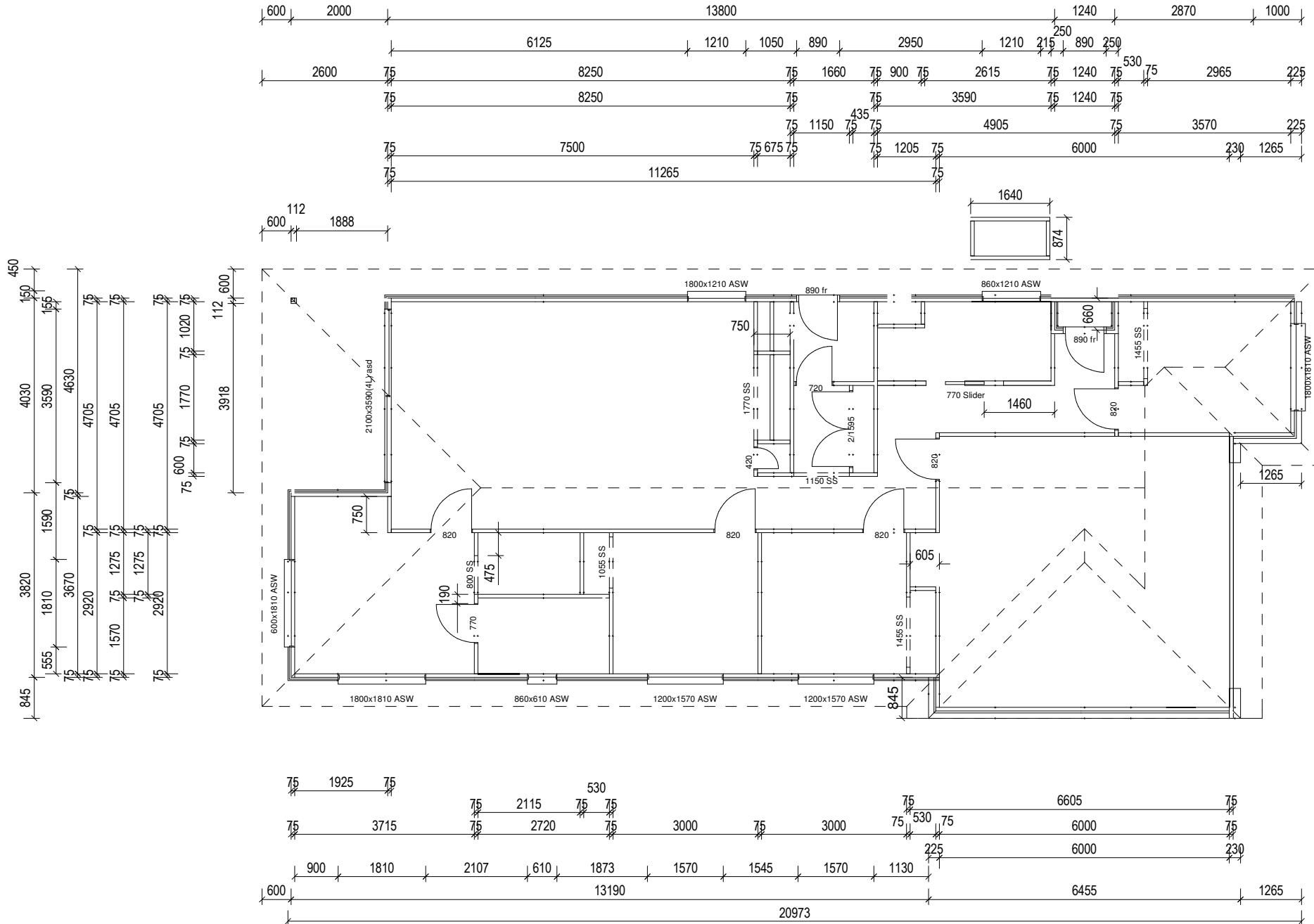
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Job Info - Sheet 2

Brighton Homes

Job No.	Drawing No.	Rev
71158	FD 02 / 18	
Scale	NTS	Date 13-Dec-2021
Drawn	AXT	Checked CN
Architectural Reference		
901115 - 6		
Version Number	7.00.71 - 23	
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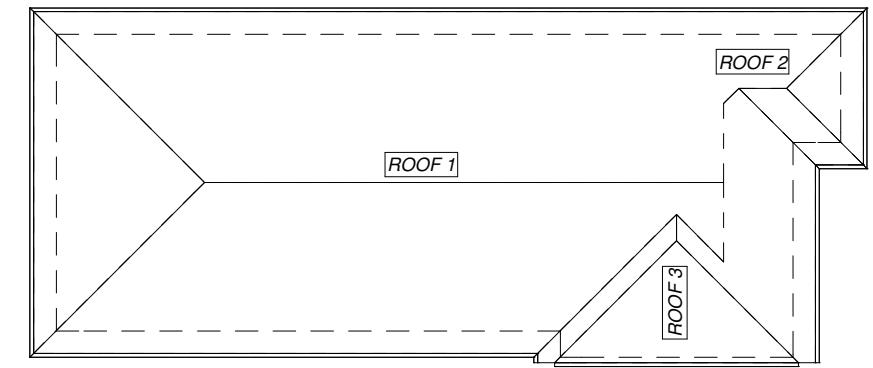
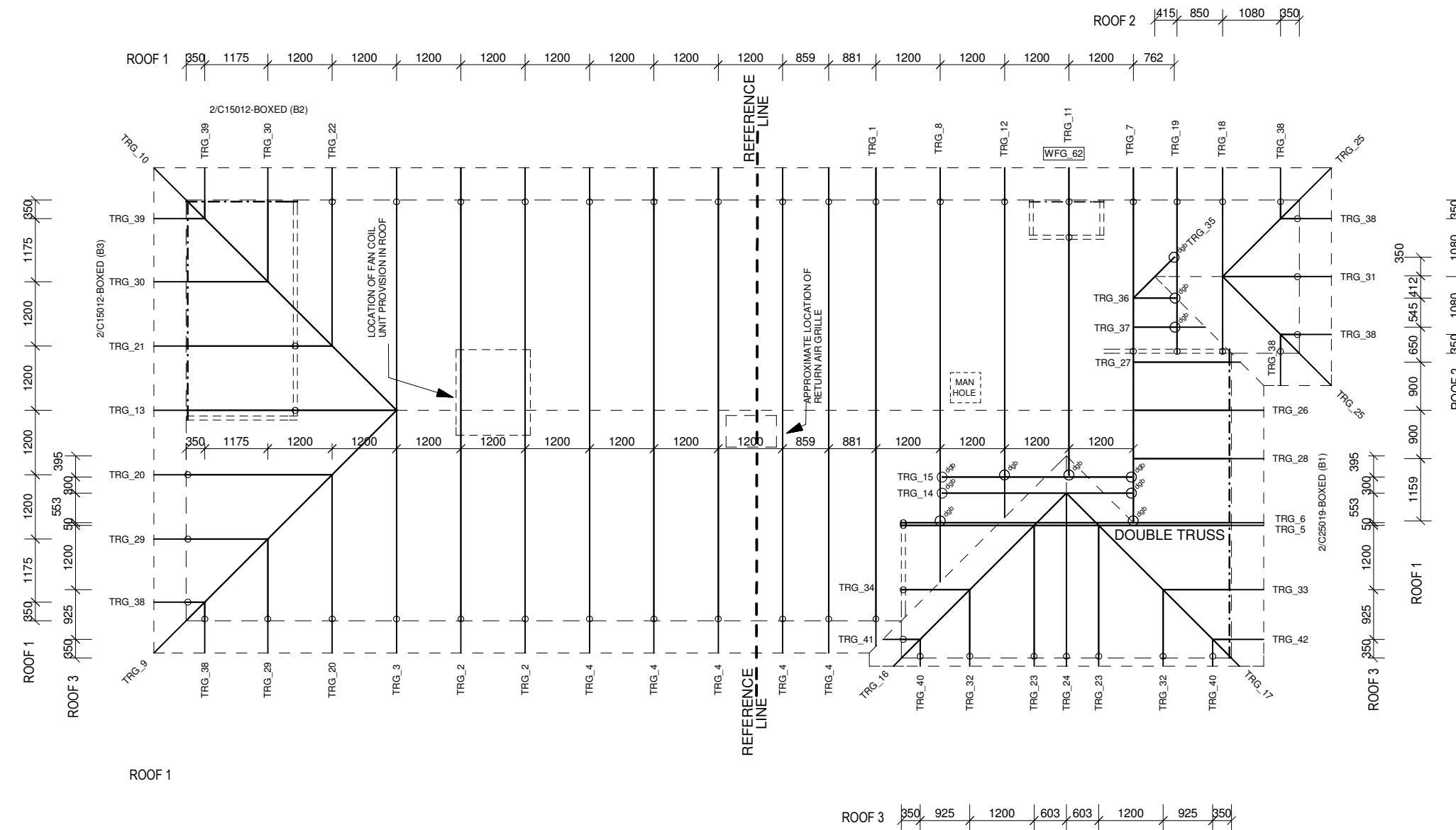
Floor Plan - Ground

Brighton Homes

Job No.	Drawing No.	Rev
71158	FD 03 / 18	
Scale NTS	Date 13-Dec-2021	

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Truss Framing Plan Sheet 1

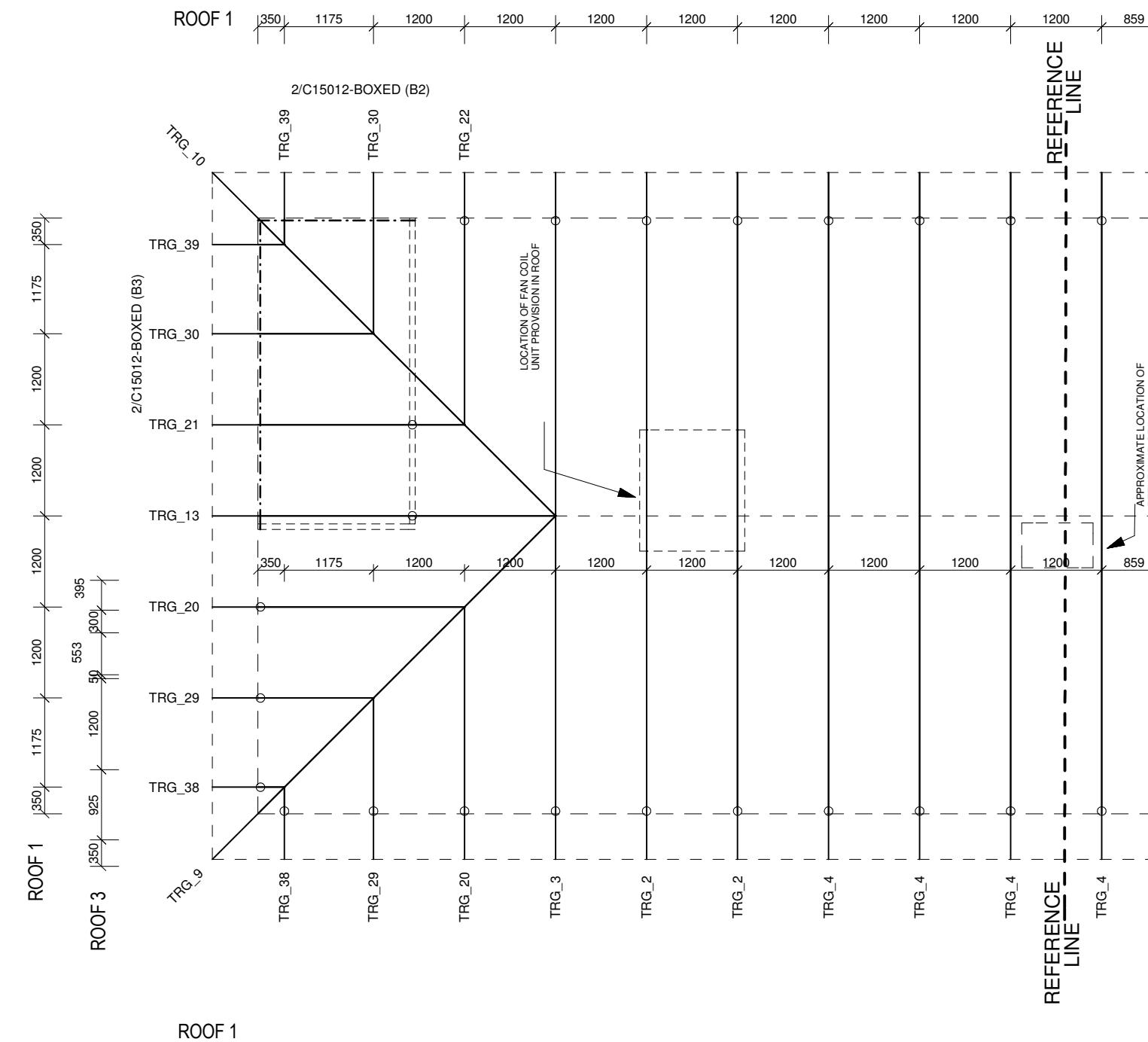
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Job No. 71158	Drawing No. FD 04 / 18	Rev
Scale 1:100	Date 13-Dec-2021	
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Truss Framing Plan

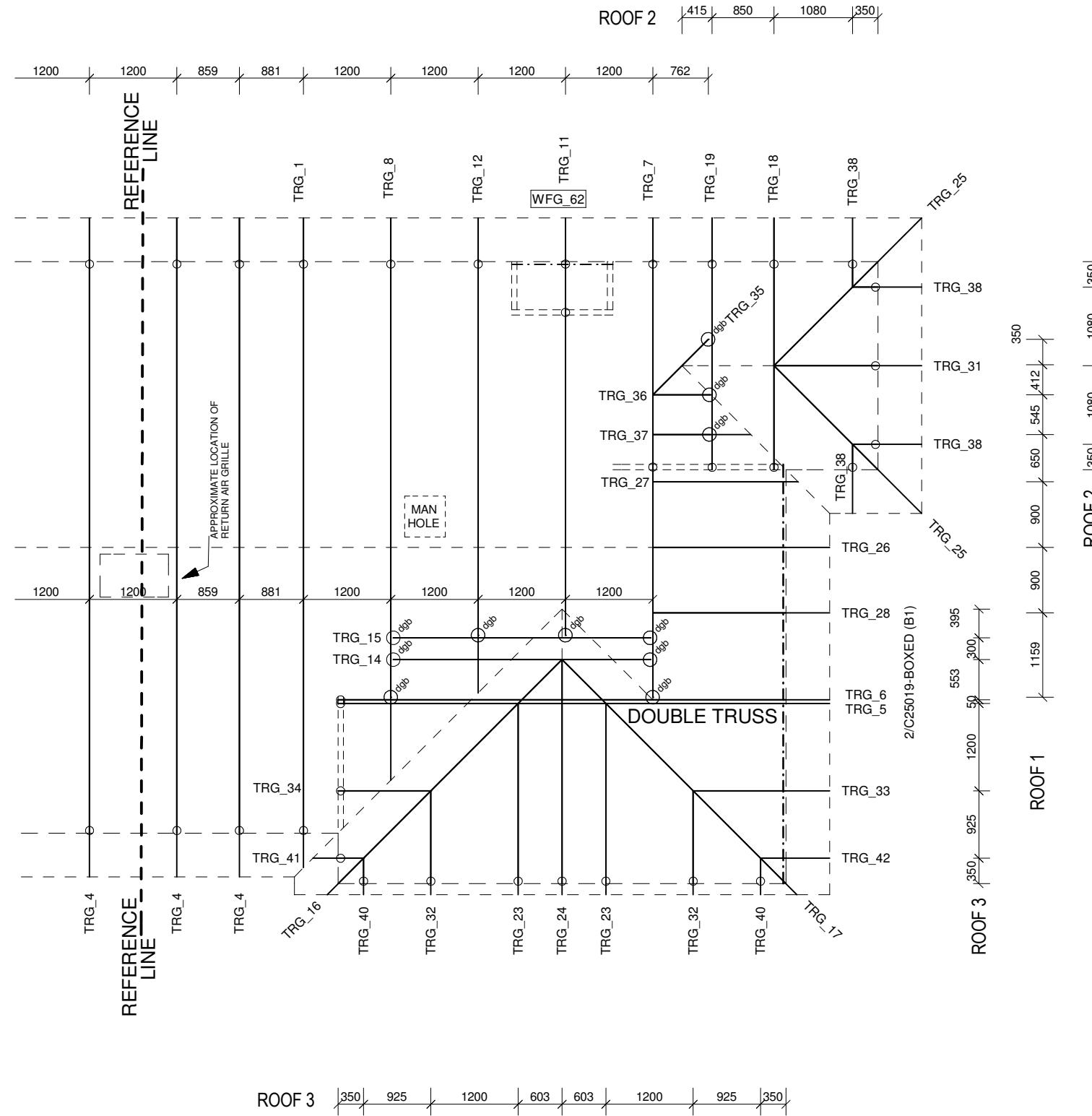
Sheet 2

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Job No. 71158	Drawing No. FD 05 / 18	Rev
Scale	NTS	Date 13-Dec-2021
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**Truss Framing Plan
Sheet 3**

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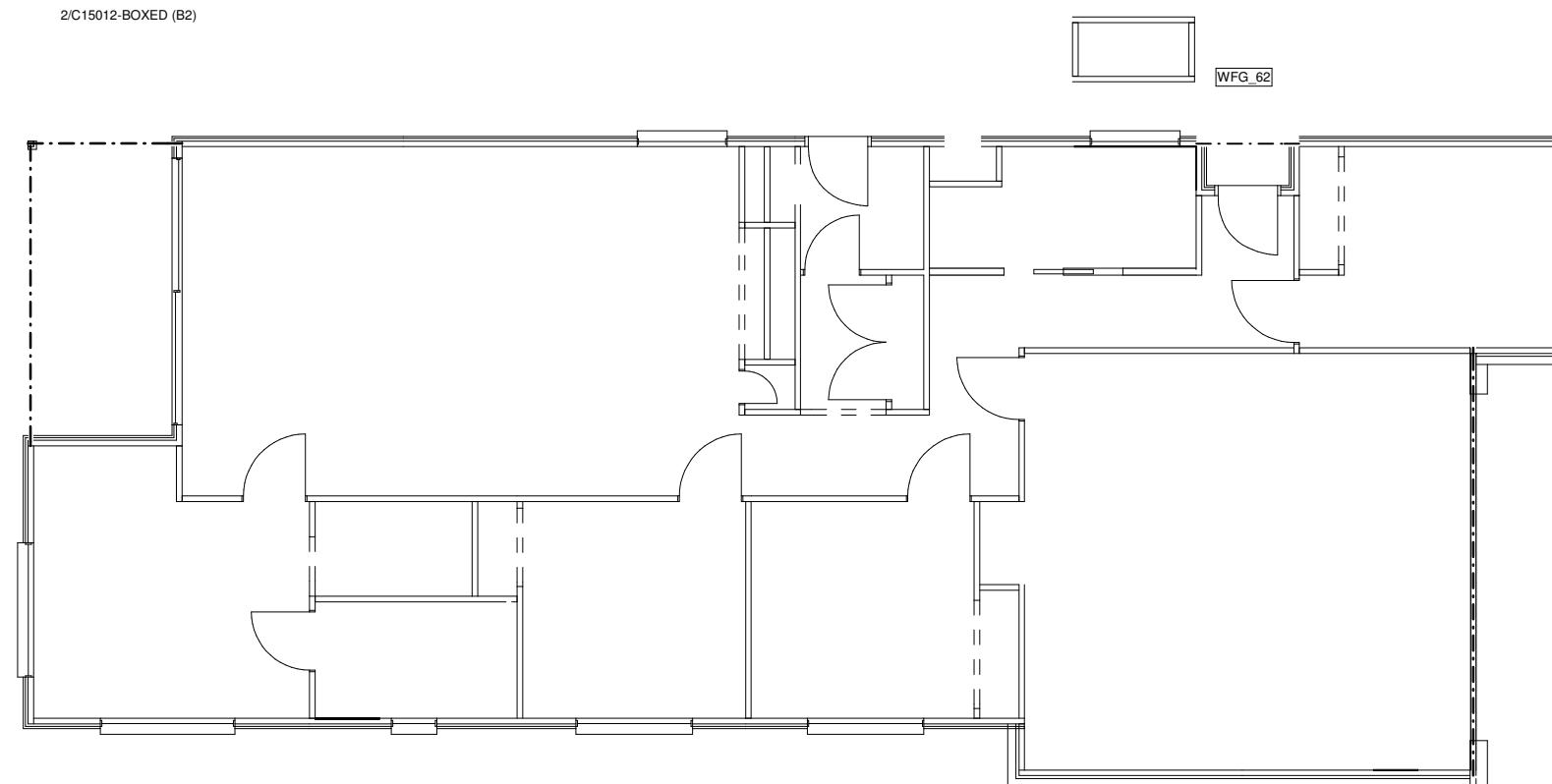
Job No.	Drawing No.	Rev
71158	FD 06 / 18	
Scale	NTS	Date 13-Dec-2021

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2/C15012-BOXED (B3)



2/C25019-BOXED (B1)

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Beam Layout

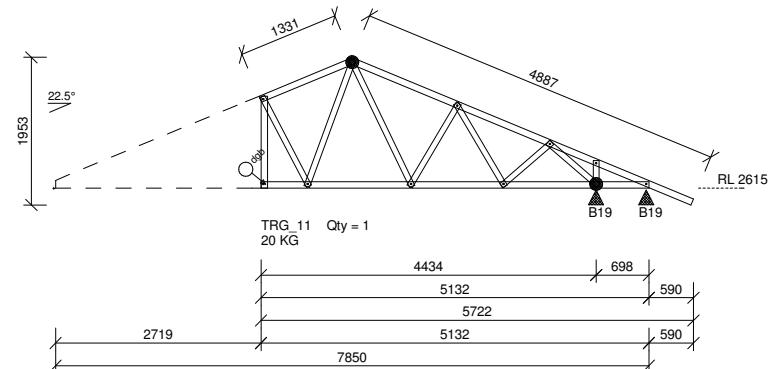
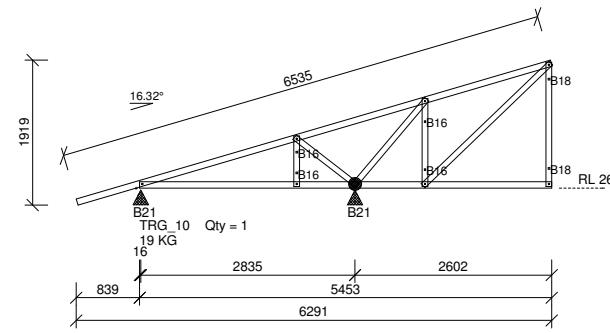
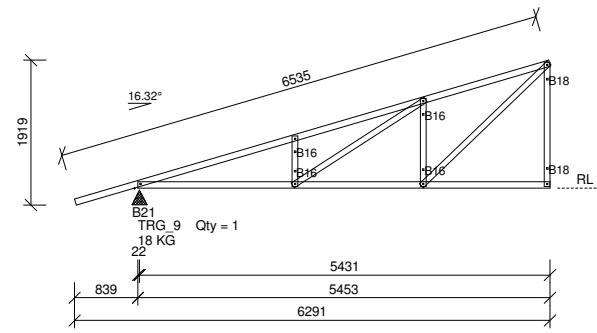
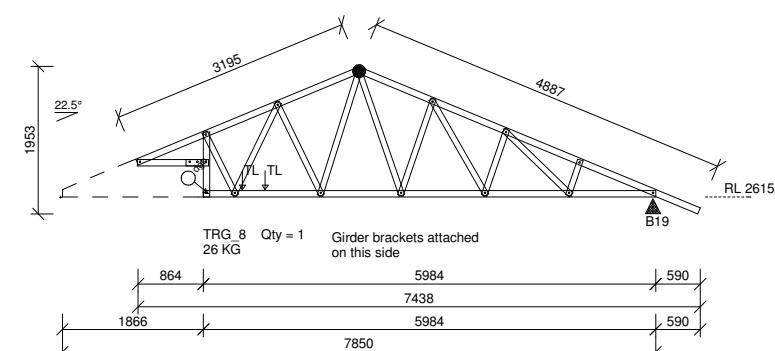
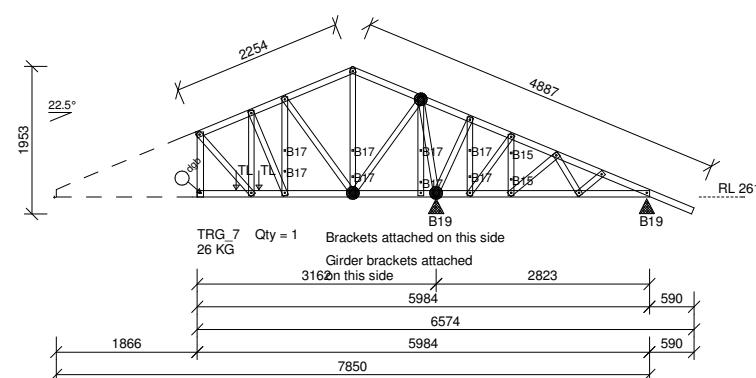
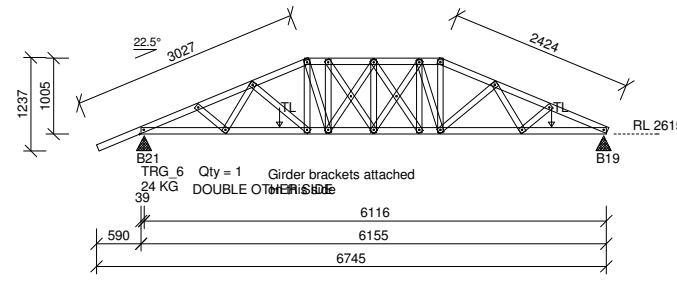
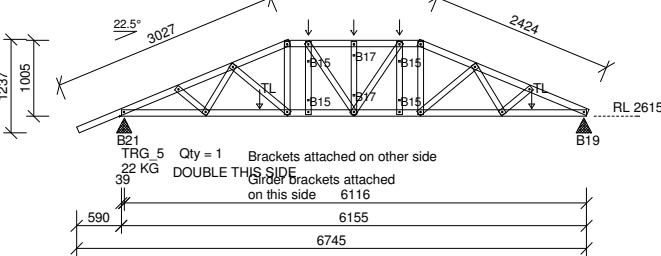
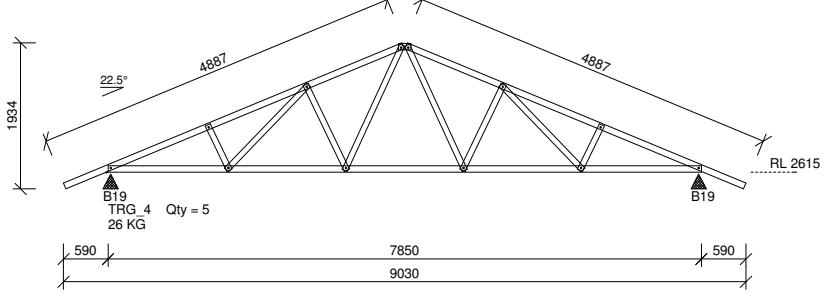
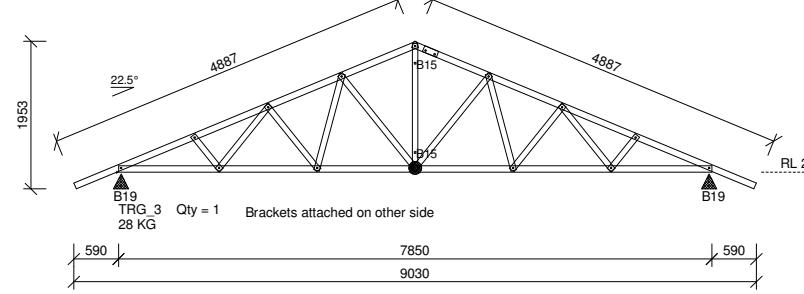
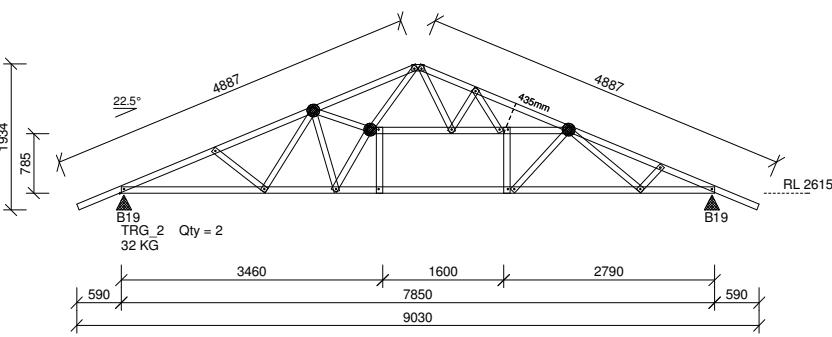
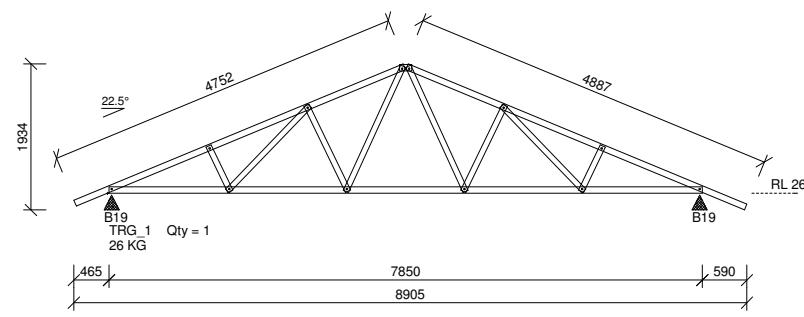
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Job No.	Drawing No.	Rev
71158	FD 07 / 18	
Scale 1:100		Date 13-Dec-2021
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Truss Elevations 2

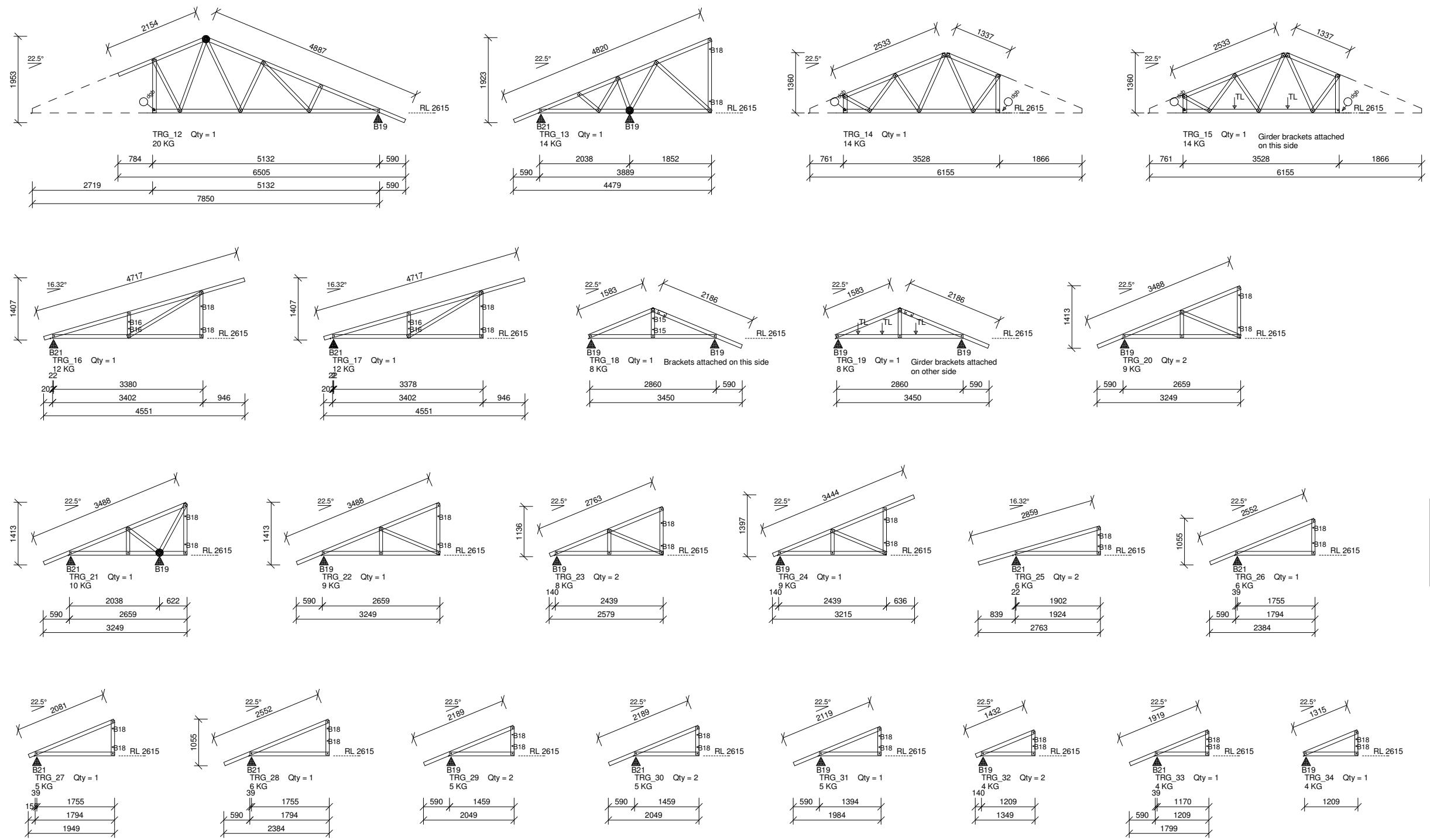
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Drawn AXT Checked CN

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Truss Elevations 3

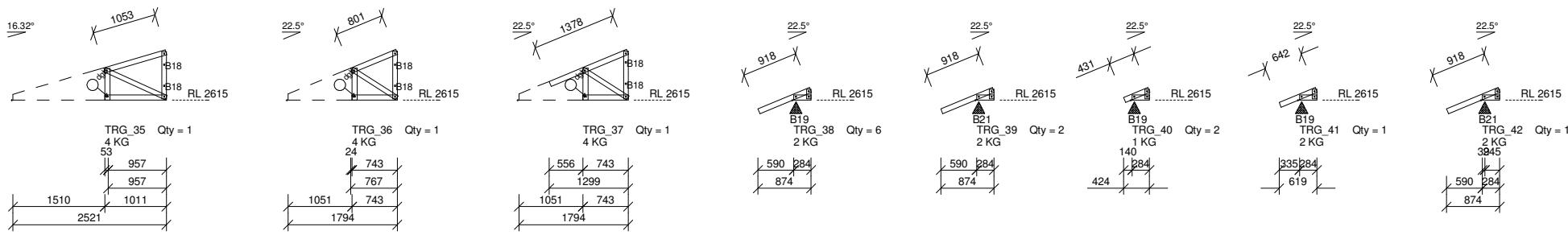
Brighton Homes

Job No. 71158	Drawing No. FD 09 / 18	Rev
Scale 1:100	Date 13-Dec-2021	
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Truss Elevations 4

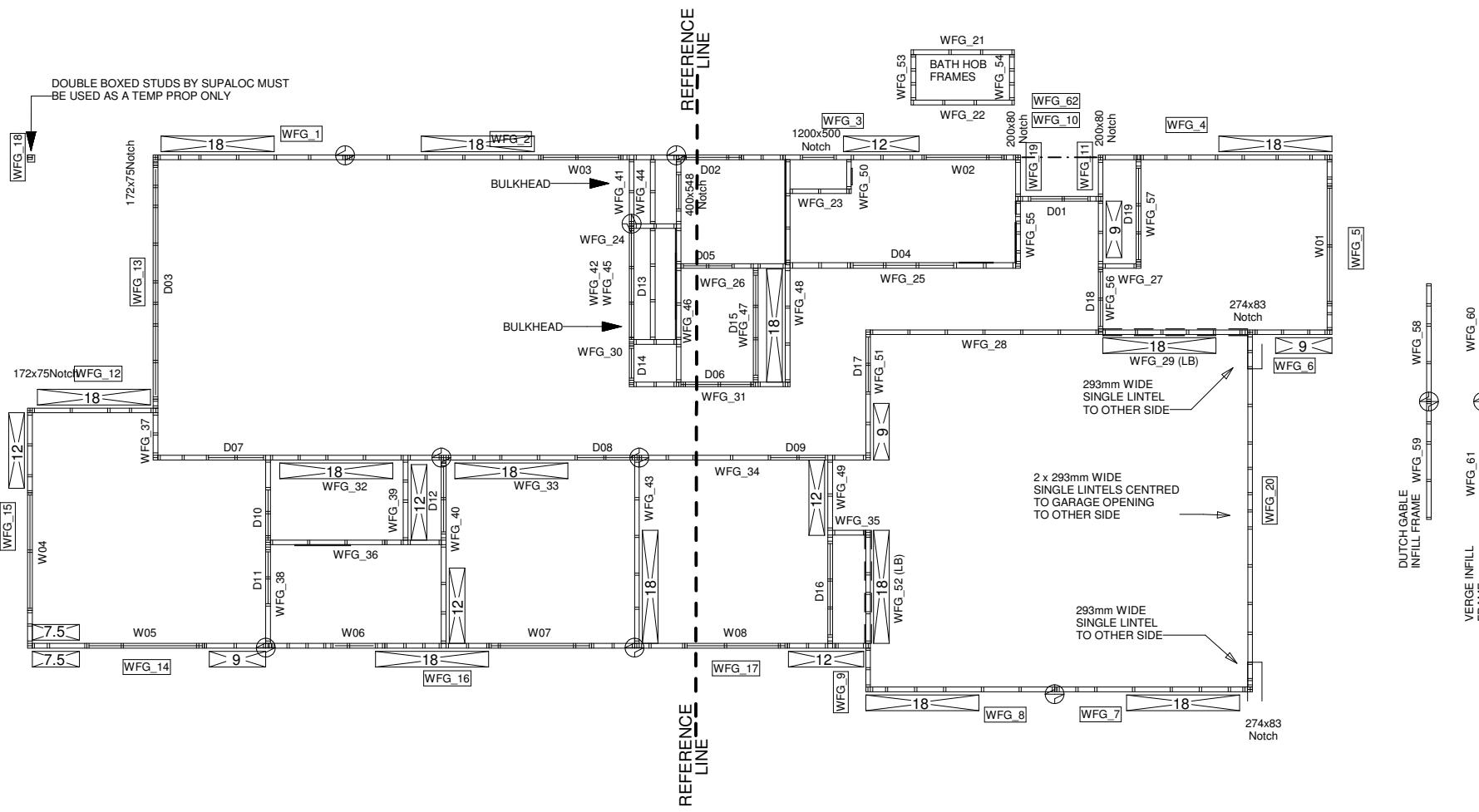
Brighton Homes

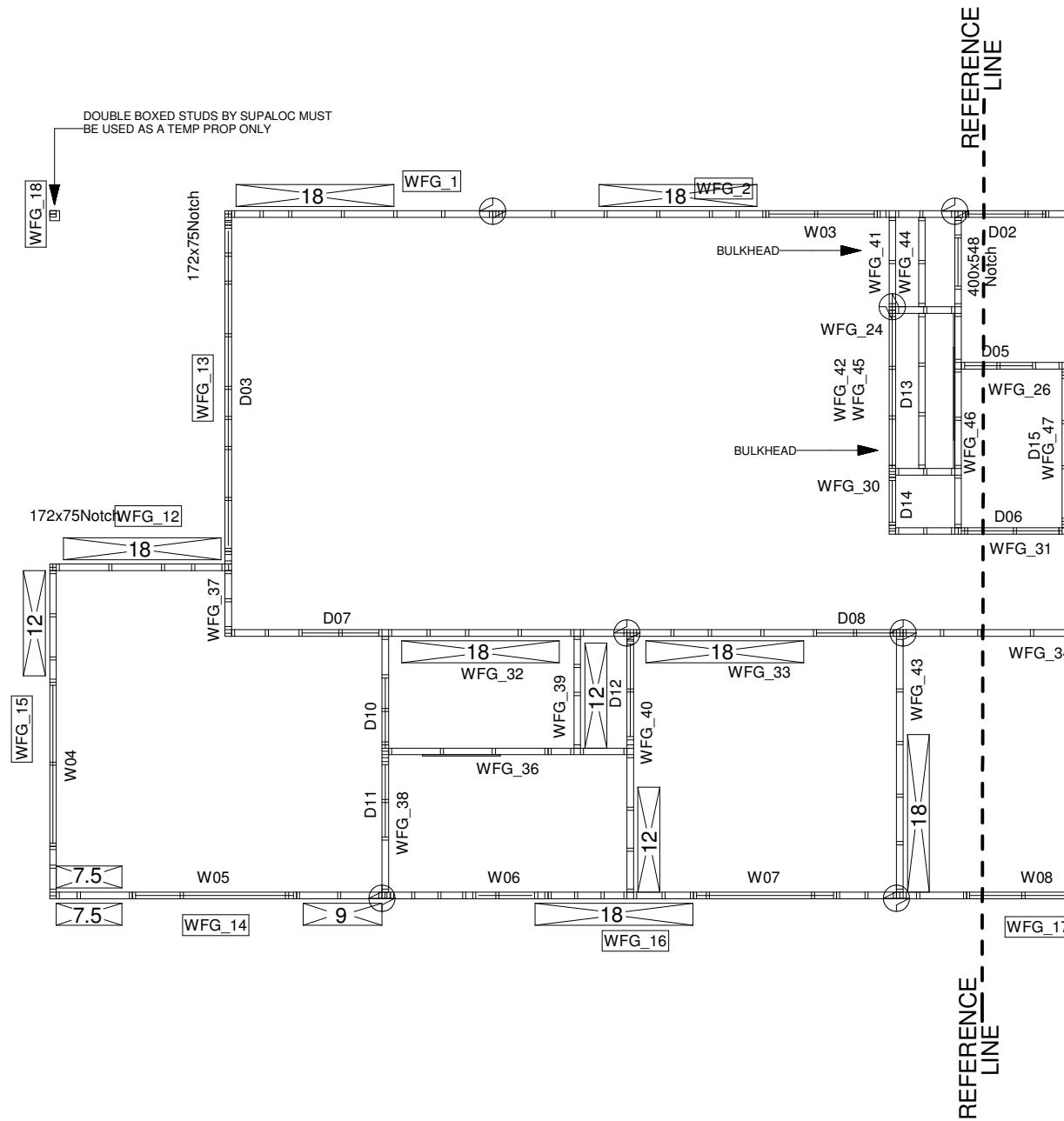
Job No.	Drawing No.	Rev
71158	FD 10 / 18	
Scale 1:100	Date 13-Dec-2021	
Drawn AXT	Checked CN	

Architectural Reference
901115 - 6
Version Number 7.00.71 - 23

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Wall Framing Plan
Ground - Sheet 2

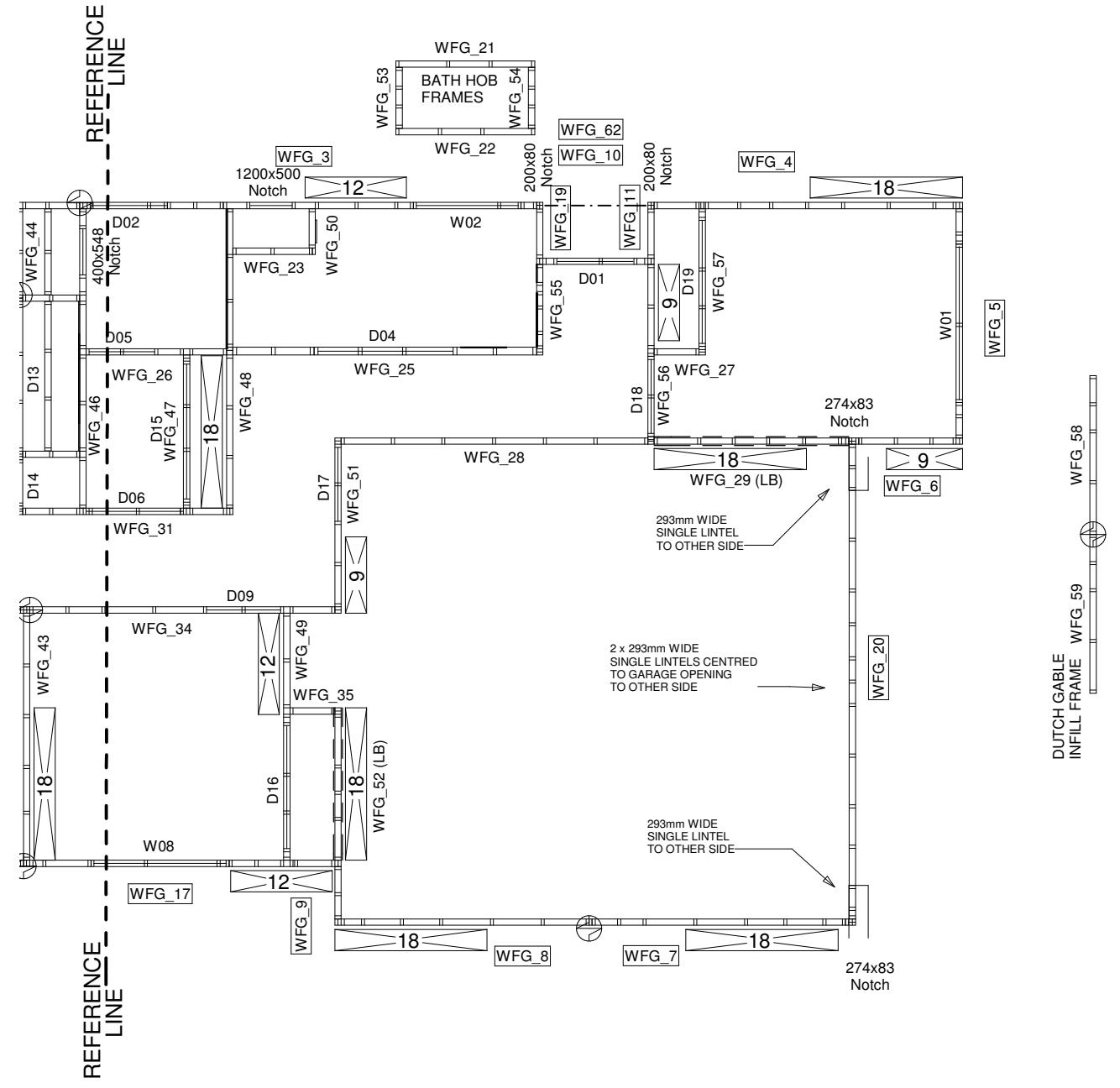
Brighton Homes

Job No.	Drawing No.	Rev
71158	FD 12 / 18	
Scale NTS	Date 13-Dec-2021	

Drawn AXT Checked CN
Architectural Reference
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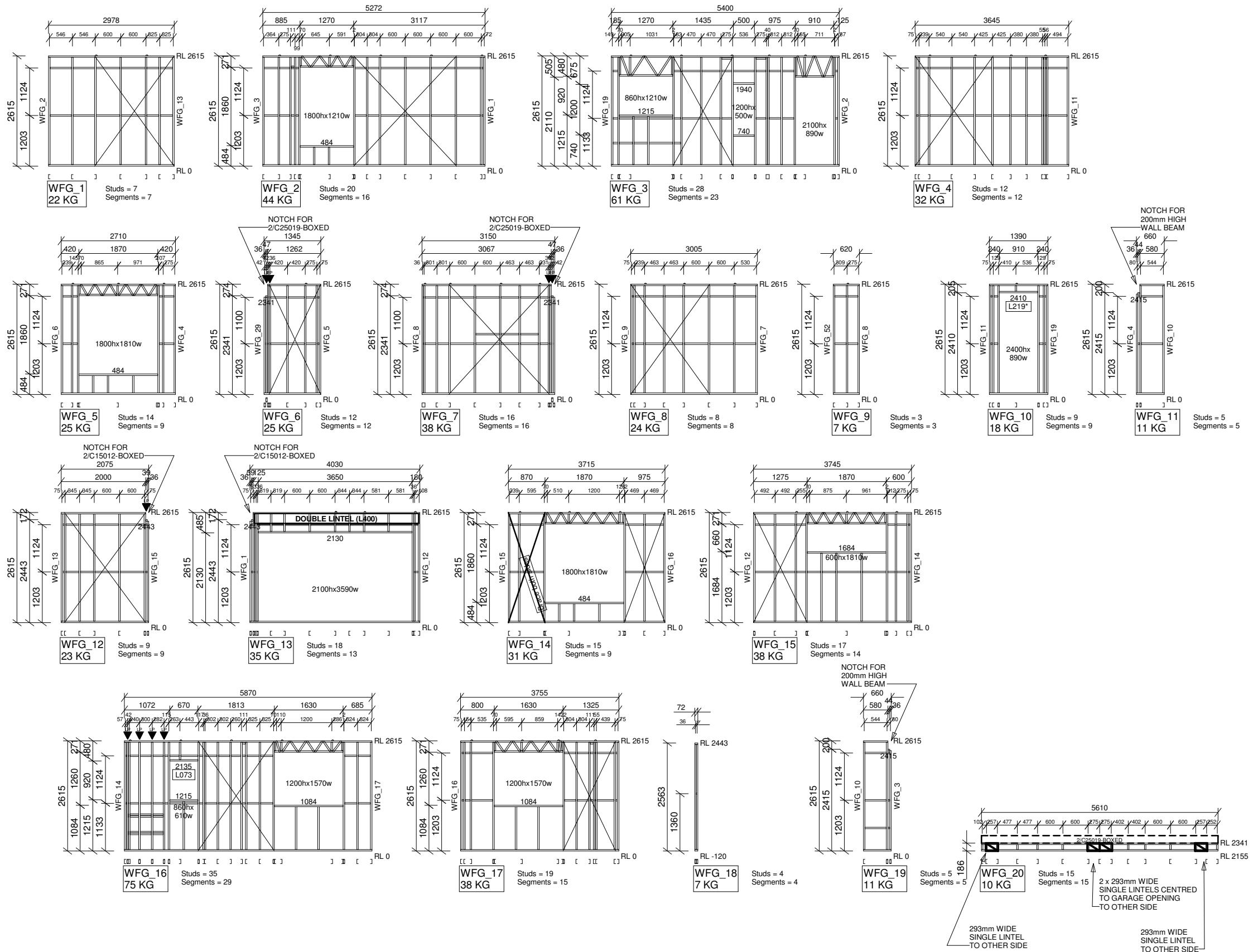
**Wall Framing Plan
Ground - Sheet 3**

Brighton Homes

Job No.	Drawing No.	Rev
71158	FD 13 / 18	
Scale NTS	Date 13-Dec-2021	

Drawn AXT Checked CN
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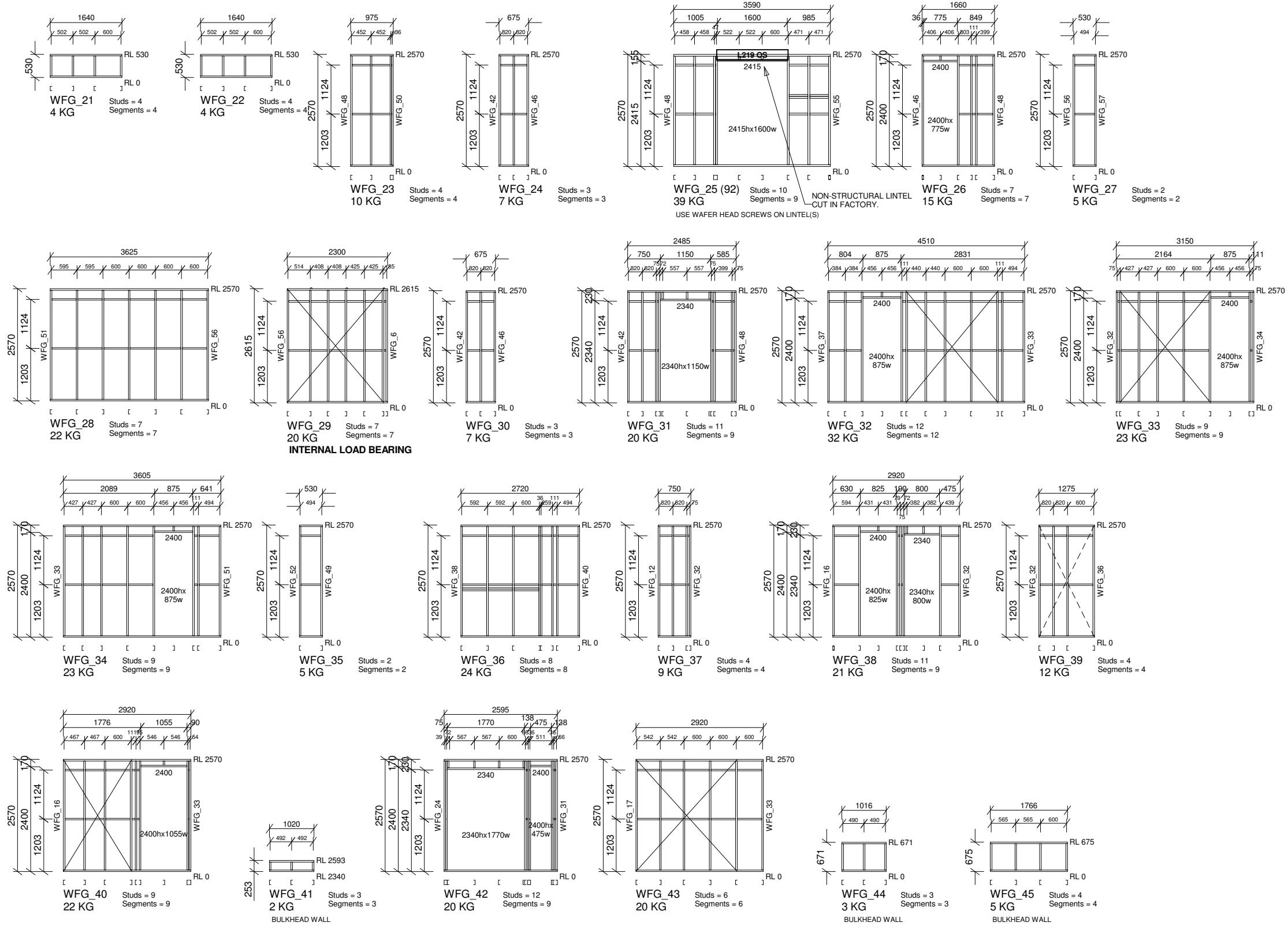
Wall Elevations Ground

Brighton Homes

Job No.	Drawing No.	Rev
71158	FD 14 / 18	
Scale N/A	Date 13-Dec-2021	

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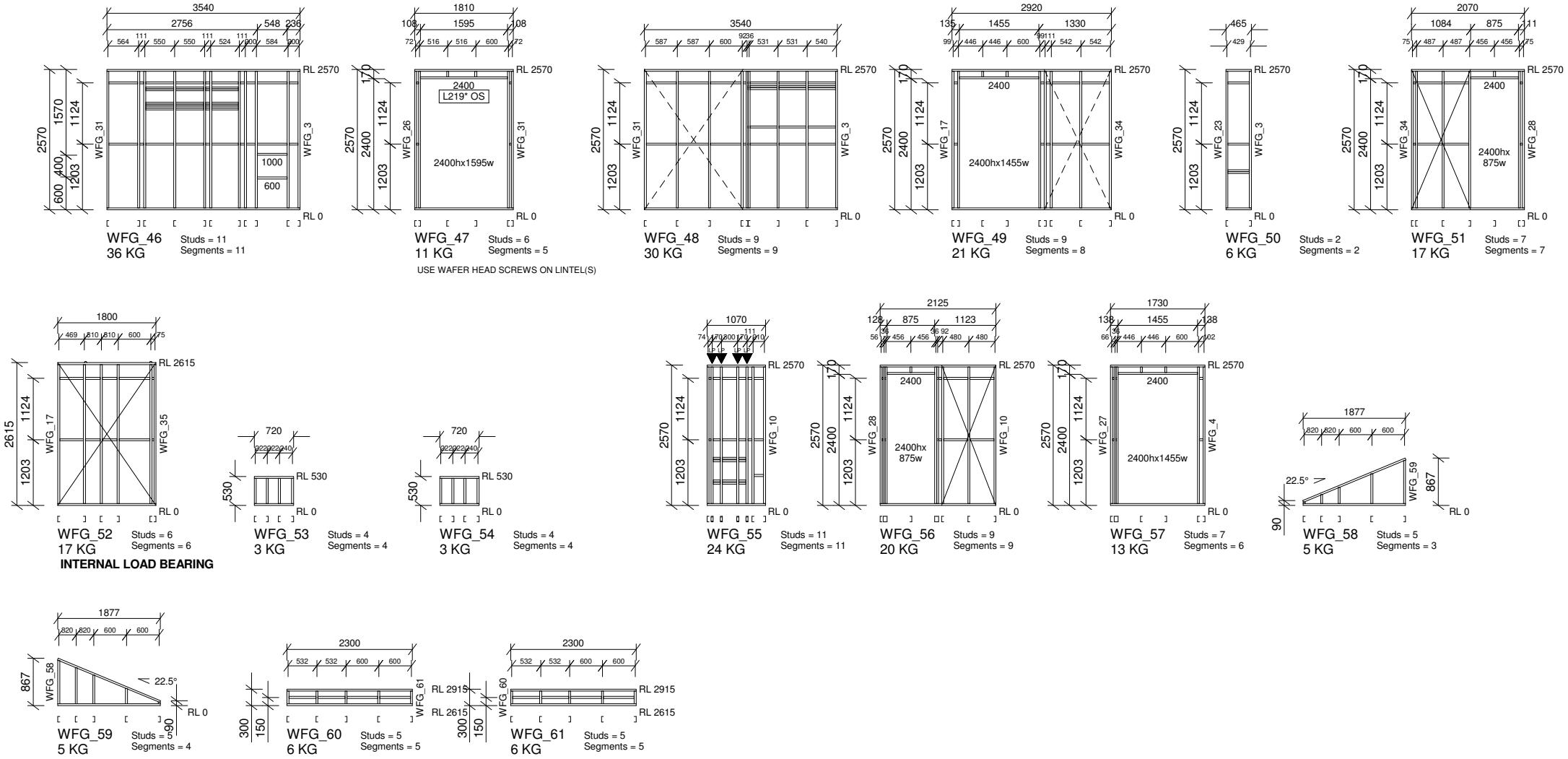
Wall Elevations
Ground

Brighton Homes

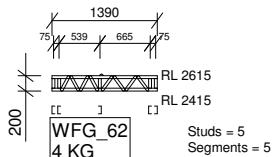
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71158	FD 15 / 18	
Scale	N/A	Date 13-Dec-2021

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WALL BEAMS



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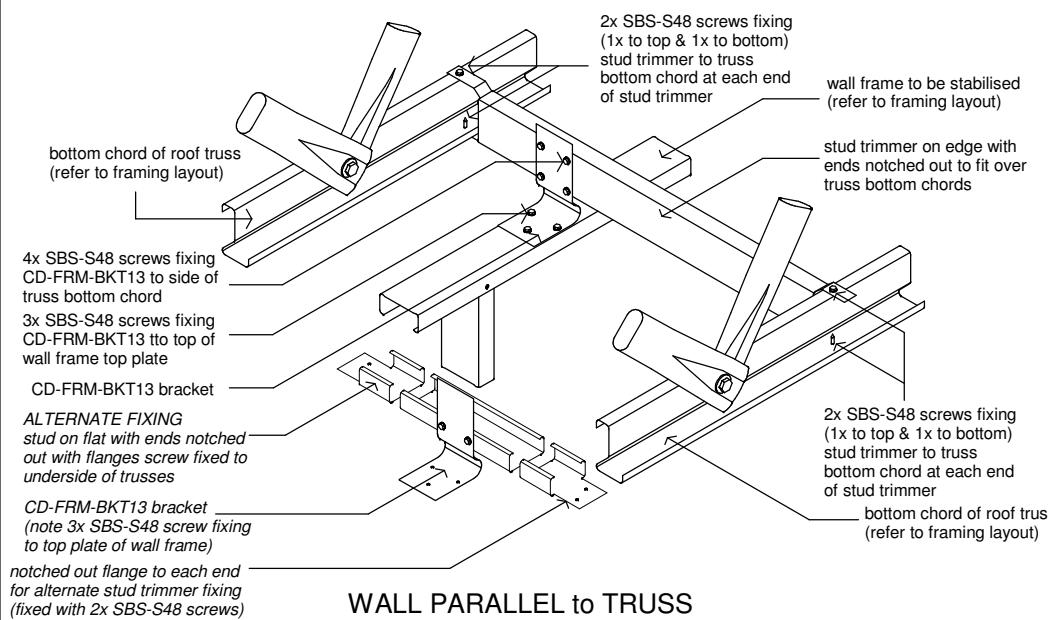
Wall Elevations
Ground

Brighton Homes

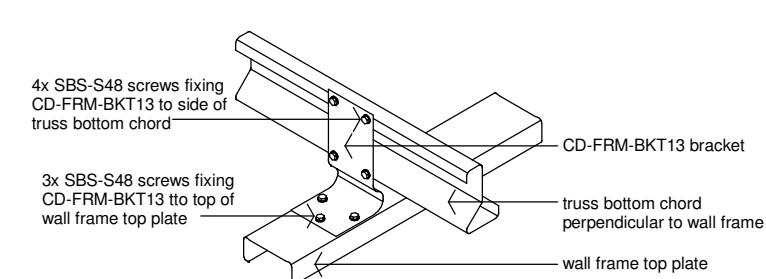
Job No.	Drawing No.	Rev
71158	FD 16 / 18	
Scale	N/A	Date 13-Dec-2021

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Version Number 7.00.71 - 23

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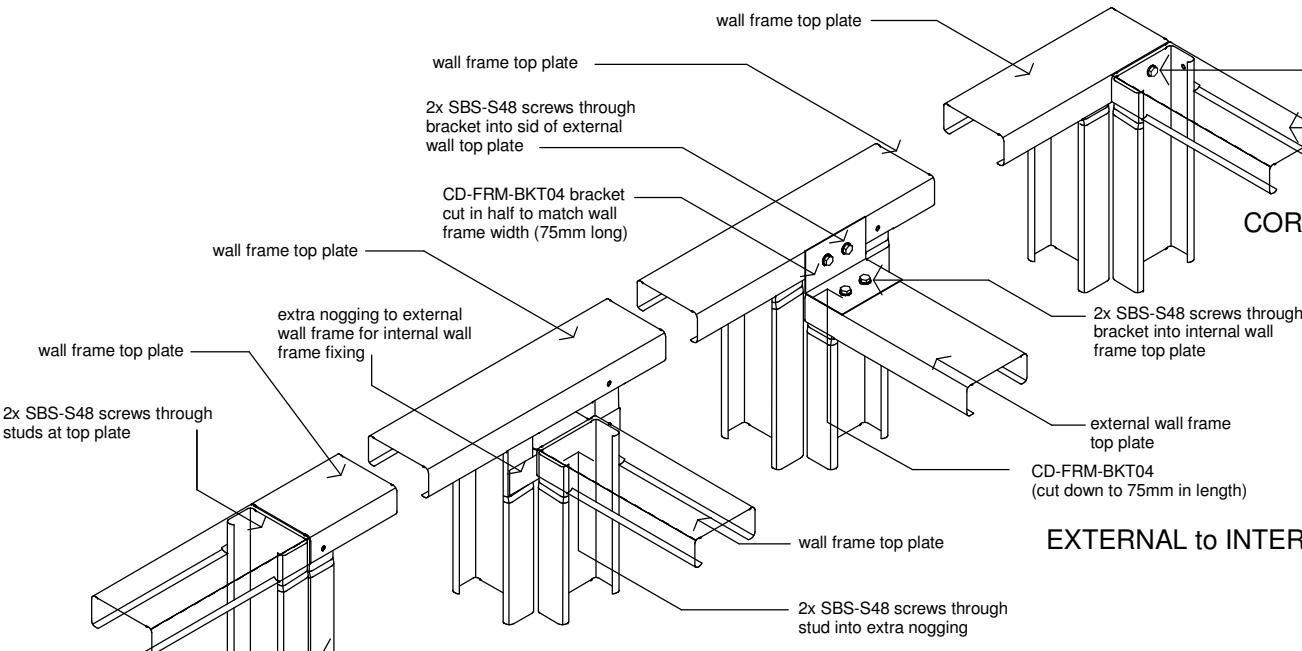


WALL PARALLEL to TRUSS

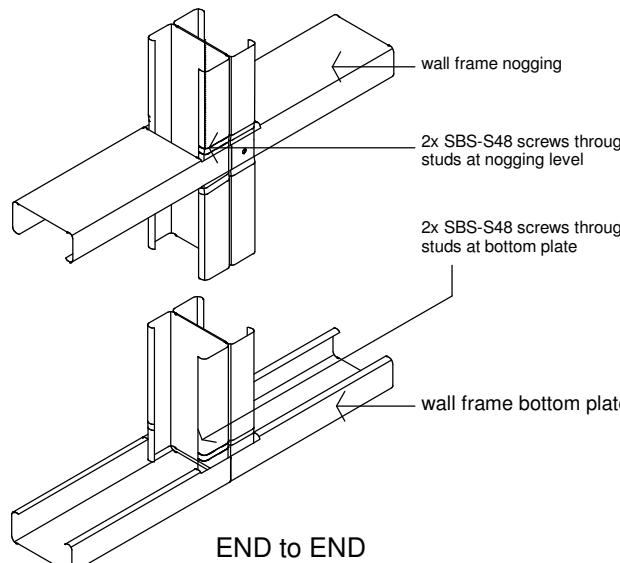


WALL PERPENDICULAR to TRUSS

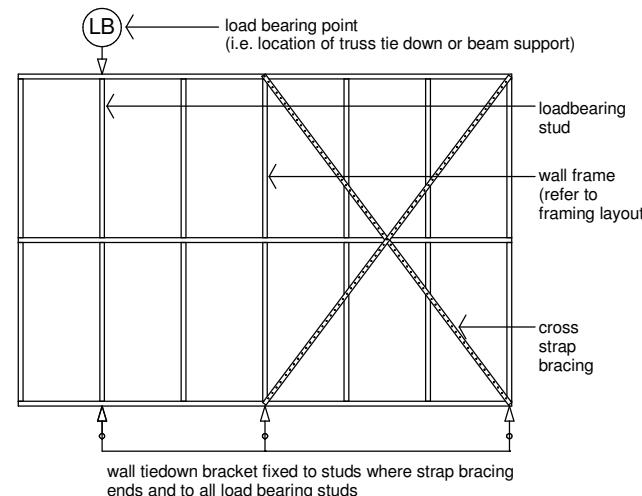
STABILISING INTERNAL WALL FRAMES



EXTERNAL to INTERNAL (method 1)



WALL CONNECTION DETAIL



FIXING DOWN REQUIREMENTS

CD-WLL-BKT03 BRACKET FIXING REQUIREMENTS

REQUIRED BRACKET LOCATION	WIND SPEED	
	28m/s - 33m/s	37m/s - 41m/s
STANDARD TRUSSES	1 bracket at studs supporting trusses	2 brackets at load bearing studs (boxed) and 1 bracket at intermediate studs at 600mm maximum centres
SCREW FIXING REQUIREMENTS	2x SBS-S48 screws	4x SBS-S48 screws
GIRDER TRUSSES	as per standard trusses for allowed spans GIRDER TRUSSES OVER 8.0m DOUBLE TIE-DOWN BRACKETS REQUIRED	
STANDARD WALL BRACING	for all windspeeds bracket to studs at each end of bracing	
HARDIE BRACE WALL BRACING	for all windspeeds bracket to each end and to intermediate studs	
LINTELED OPENINGS	for all windspeeds as per standard trusses double brackets to boxed jamb studs	
LOAD BEARING	for all windspeeds 1 bracket to stud nominated as a 'Load Bearing Stud' 2 brackets to boxed studs	

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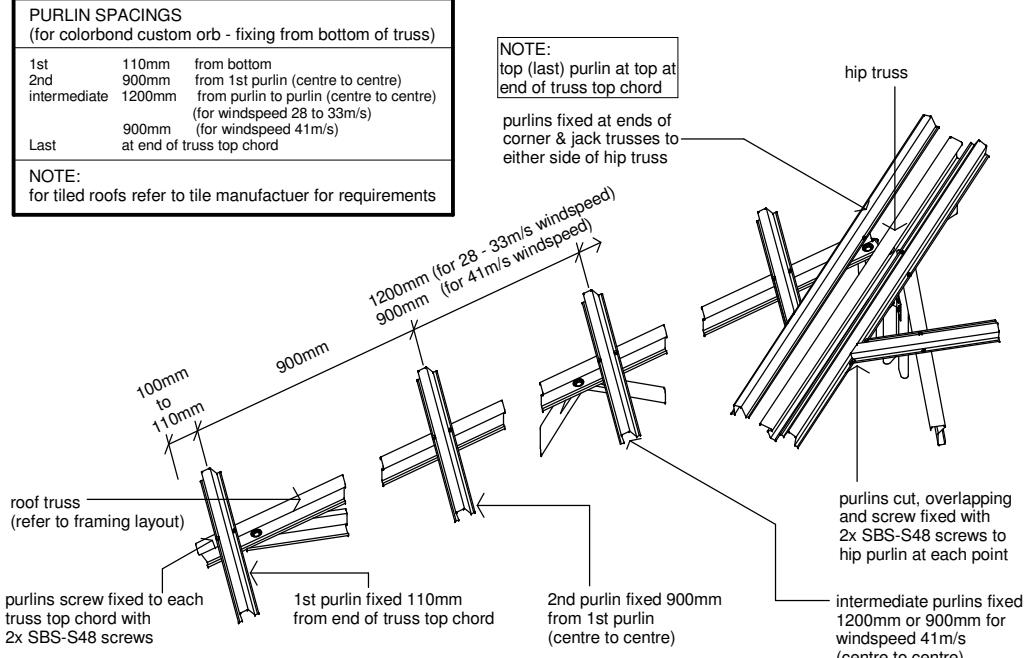
Framing Details 1

Brighton Homes

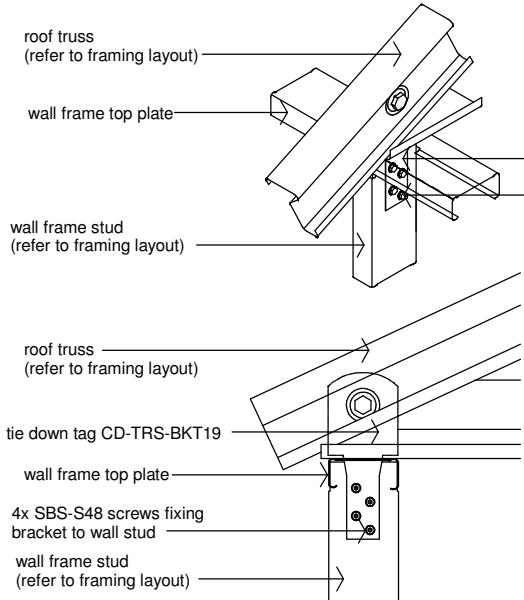
Job No.	Drawing No.	Rev
71158	FD 17 / 18	
Scale	N/A	Date 13-Dec-2021
Drawn	AXT	Checked CN
Architectural Reference		
901115 - 6		
Version Number	7.00.71 - 23	
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PURFLIN SPACINGS (for colorbond custom orb - fixing from bottom of truss)		
1st	110mm	from bottom
2nd	900mm	from 1st purlin (centre to centre)
intermediate	1200mm	from purlin to purlin (centre to centre)
		(for windspeed 28 to 33m/s)
Last	900mm	(for windspeed 41m/s)
		at end of truss top chord

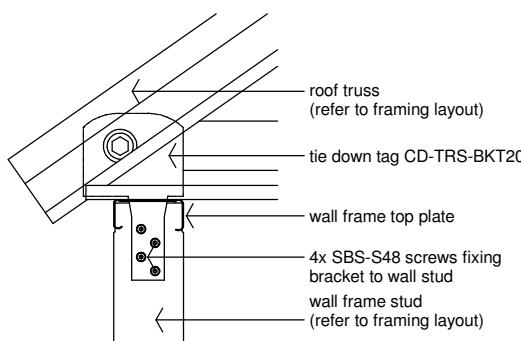
NOTE:
for tiled roofs refer to tile manufacturer for requirements



ROOF PURFLIN SETOUT AND FIXING (colorbond roof only)

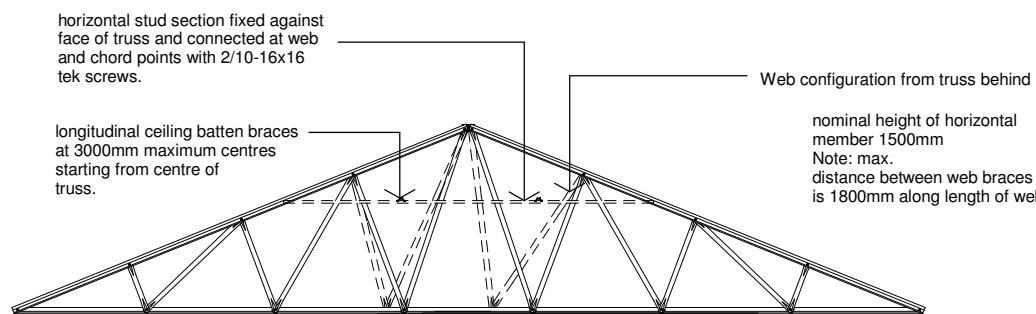


SECTION for CD-TRS-BKT19

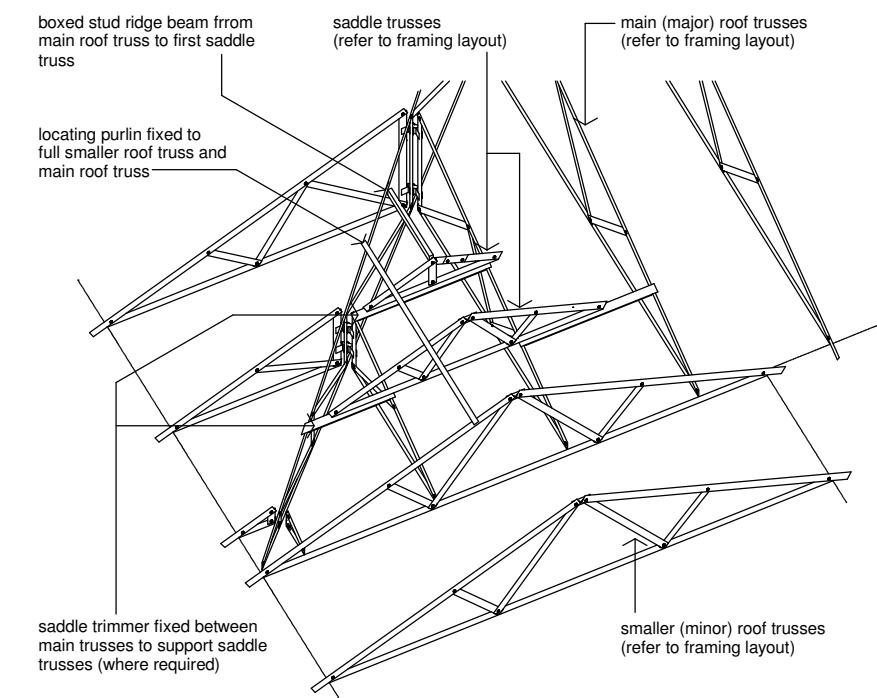


SECTION for CD-TRS-BKT20
(for roof pitched over 30°)

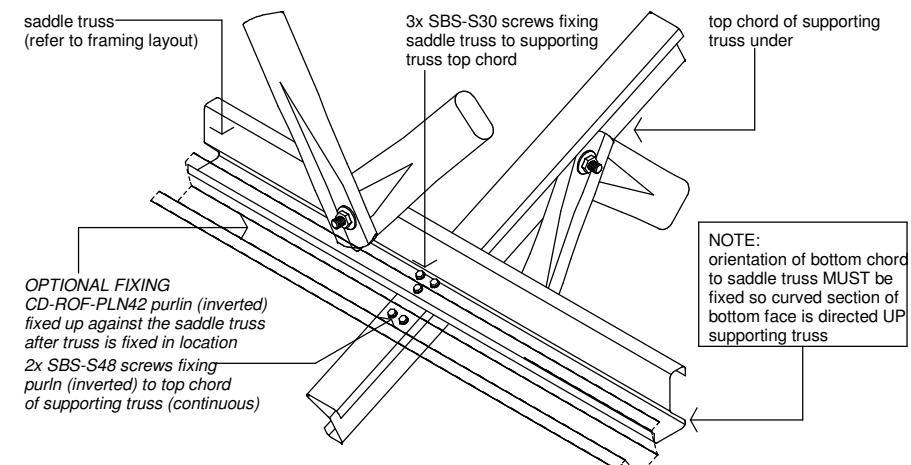
WALL CONNECTION DETAIL



BRACING OF ROOF TRUSS WEBS
SCENARIO #1 (MULTIPLE TRUSSES WITH DIFFERENT WEB CONFIGURATION)



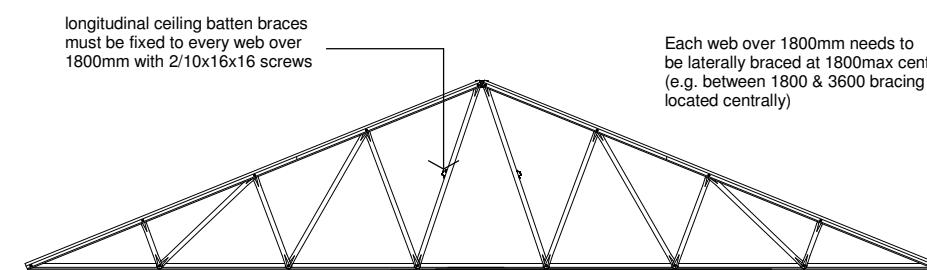
SADDLE TRUSS OVERALL DETAIL



NOTE:
orientation of bottom chord to saddle truss MUST be fixed so curved section of bottom face is directed UP supporting truss

SADDLE TRUSS FIXING DETAIL

SADDLE TRUSS CONSTRUCTION



BRACING OF ROOF TRUSS WEBS
SCENARIO #2 (MULTIPLE TRUSSES WITH IDENTICAL WEB CONFIGURATION)

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Framing Details 2

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71158	FD 18 / 18	
Scale	N/A	Date 13-Dec-2021
Drawn	AXT	Checked CN
Architectural Reference		
901115 - 6		
Version Number	7.00.71 - 23	

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SHEET INDEX

COVER SHEET
SITE PLAN
GROUND FLOOR PLAN
WINDOW & DOOR SCHEDULES
ELEVATIONS / SECTION
ELEVATIONS
KITCHEN DETAILS
BATHROOM DETAILS
ENSUITE DETAILS
LAUNDRY DETAILS
FLOOR COVERINGS
CONSTRUCTION DETAILS
CONSTRUCTION DETAILS
CONSTRUCTION DETAILS

SUSTAINABILITY COMMITMENTS

1 PRELIMINARY SUSTAINABILITY COMPLIANCE FOR
2 YOUR HOME REQUIRES FURTHER ASSESSMENT TO
3 DETERMINE COMPLIANCE CRITERIA. THIS
4 ASSESSMENT WILL BE FINALISED UPON APPROVAL
5 OF YOUR EXTERNAL COLOUR SELECTIONS TO
6 DETERMINE IF VARIATIONS ARE REQUIRED TO THE
7 PROPOSED DWELLING E.G. ADDITIONAL
8 INSULATION, CHANGES IN WINDOW GLAZING / SIZE /
9 ORIENTATION ETC. YOU WILL BE ADVISED OF ANY
10 REQUIREMENTS OR ALTERNATIVES ONCE THE
11 ASSESSMENT HAS BEEN COMPLETED.

WATER COMMITMENTS

3 STAR (> 7.5 BUT <= 9L/MIN) SHOWER HEADS
4 STAR TOILET SUITES
3 STAR KITCHEN TAPS
3 STAR BATHROOM TAPS

194.23 m² TOTAL ROOF AREA

NO WATER TANK

NO RETICULATED RECYCLED WATER SUPPLY

107 m² GARDEN/LAWN AREA

ENERGY COMMITMENTS

HOT WATER SYSTEM

- GAS CONTINUOUS FLOW - 6 STAR

HEATING SYSTEM

- 1-PHASE REVERSE CYCLE AIR CONDITIONING
EER 3.5 - 4.0

COOLING SYSTEM

- 1-PHASE REVERSE CYCLE AIR CONDITIONING
EER 3.0 - 3.5

VENTILATION (EXHAUST FANS)

- NO MECHANICAL VENTILATION TO BATHROOMS
- KITCHEN RANGEHOOD:
DUCTED TO OUTSIDE AIR, MANUAL SWITCH
ON/OFF
- NO MECHANICAL VENTILATION TO LAUNDRY

PORCH AREA (TO EAVE)

1.56

1.56 m²

TOTAL FLOOR AREAS

37.19

117.58

12.04

0.82

167.63 m²

GARAGE

LIVING

OUTDOOR LIVING

PORCH

BUILDING INFORMATION

GROUND FLOOR PITCHING HEIGHT(S): 2615mm
FRAMES AND TRUSSES: STEEL
ROOF PITCH (U.N.O.): 22.5°
ELECTRICITY SUPPLY: SINGLE PHASE
GAS SUPPLY: BOTTLED LPG

ROOF MATERIAL: SHEET METAL
ROOF COLOUR: MEDIUM
ROOF INSULATION: R3.0 Batts
WIND DRIVEN ROOF VENTILATORS: 1

WALL MATERIAL: BRICK VENEER, CLADDING
WALL COLOUR: MEDIUM
WALL INSULATION: R1.5 Batts TO ALL CLADDED AREAS
WALL WRAP TO ENTIRE HOUSE

FLOOR INSULATION: N/A

SITE & ENGINEERING INFORMATION

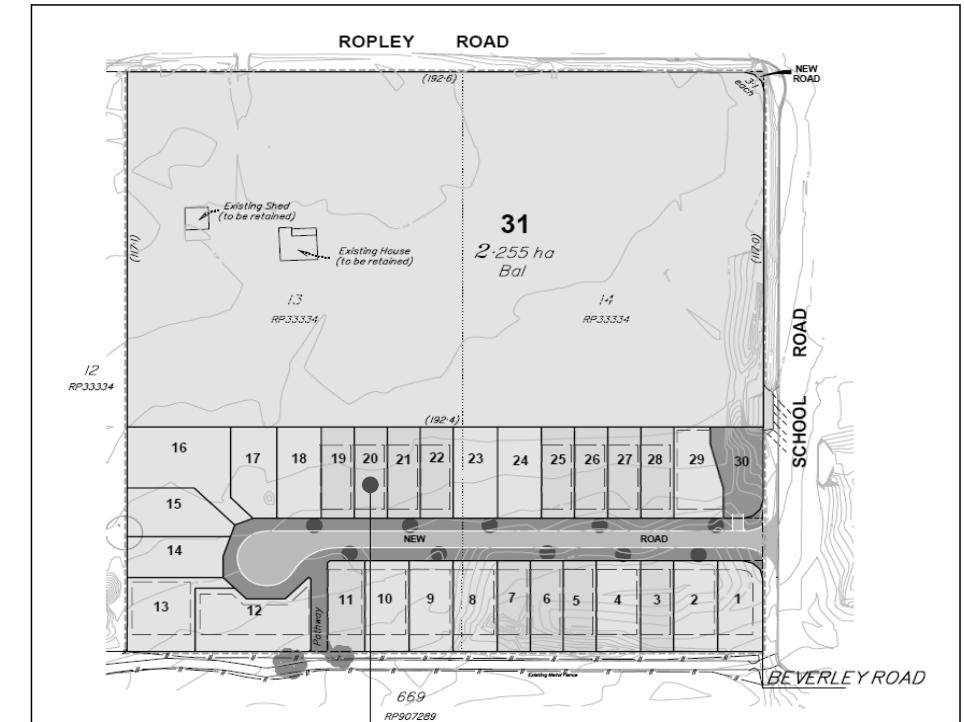
DESIGN WIND CLASSIFICATION: N2

SITE CLASSIFICATION: H1
SLAB CLASSIFICATION: H1

SLAB TO BE 85mm THICK (U.N.O.) WITH REINFORCEMENT TO ENGINEERS
SPECIFICATIONS & DETAILS OVER A 200μm WATERPROOF MEMBRANE ON A
BED OF FREE DRAINING COARSE SAND (WHERE SPECIFIED)

PROVIDE BRICK CONTROL JOINTS IN ACCORDANCE WITH N.C.C. & AS 3700

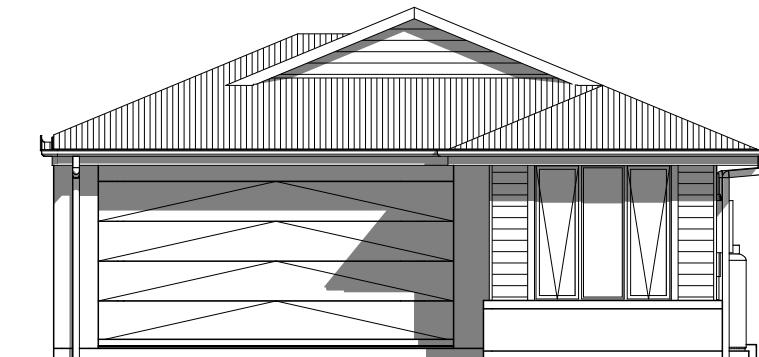
ALL STEEL FRAMING TO BE DESIGNED TO AS 4100-2020 OR AS/NZS 4600-2018



LOCATION MAP

**LOT 20 (#21) RUCHI PLACE,
WYNNUM WEST**

GINOS ENGINEERS PTY LTD
CONSULTING ENGINEERS
20/12/21



**PRELODGE CHECKED AND ACKNOWLEDGED
CLAUSES APPLIES:**
- SMALL LOT CODE APPLIES
- TOWN PLANNING APPLICATION REQUIRED
- MIN. 4.3m AHD REQUIRED

CONSTRUCTION PLANS

DATE: 24/11/2021 REVISION: 6

DRAFTER: RLA ESTIMATOR: RNE

DRAFTING OFFICE: QUEENSLAND

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REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
 - SUSTAINABILITY REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION

REMOVE TREES, STUMPS, ROOTS AND SLASH/SCRAPE LONG GRASS AND UNDERGROWTH FROM BUILDING AREA. WHERE STUMPS HAVE BEEN REMOVED THE GROUND IS TO BE FILLED AND COMPACTED.

SITE CLASSIFICATION H1 SOIL SURFACE AS PER STA CONSULTING ENGINEERS ES 203884 DATED 30TH APRIL 2020.

APPROX. 2700mm ENCOUNTERED FILL ON SITE. COMPACTED & CERTIFIED IN ACCORDANCE WITH 3798 (LEVEL ONE SUPERVISION). NO ROCK ENCOUNTERED AT TIME OF SITE INVESTIGATION.

WERE TREES IDENTIFIED WITHIN THE ZONE OF INFLUENCE OF THE PROPOSED BUILDING FOOTPRINT - YES
IS THE SITE SUBJECT TO MARINE/COASTAL FALLOUT - NO

REFER TO WATER MANAGEMENT PLAN FOR ALL ROOF COLLECTION, SURFACE DRAINAGE CONNECTIONS AND DISCHARGE SYSTEMS.

WIND CLASSIFICATION N2

WITHIN 1 KM. OF BREAKING SALT WATER NO

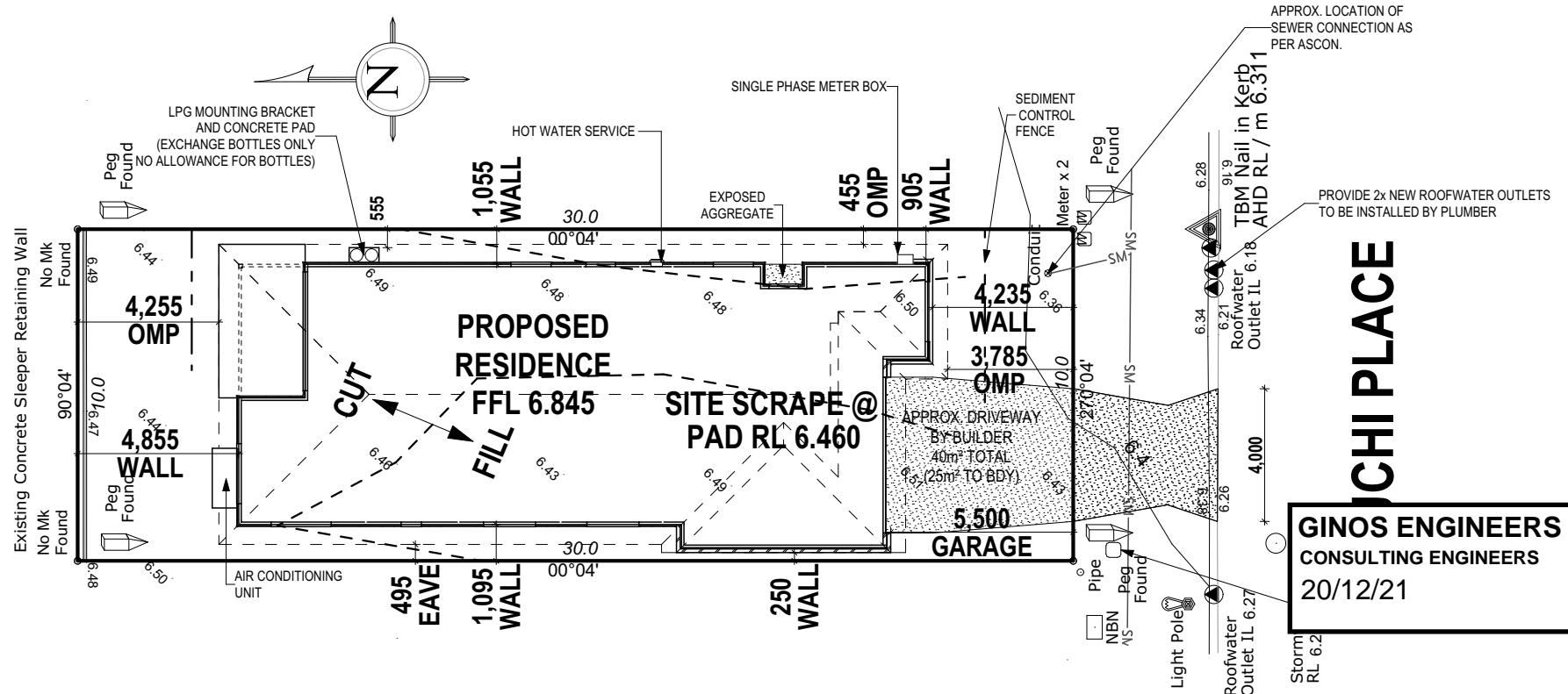
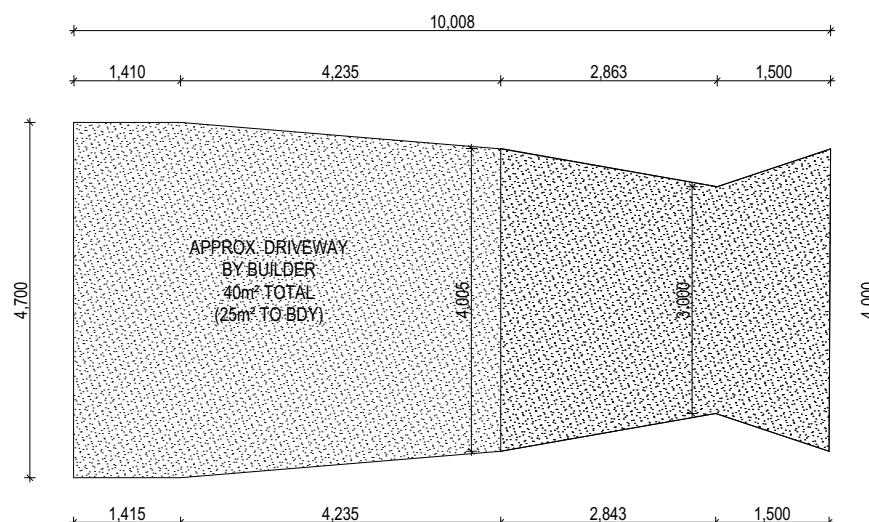
WITHIN 100 M. OF SALT WATER NO

MINIMUM AHD FLOOR LEVEL APPLICABLE YES

ASCONS
SEWER
SL:6.34
IL:4.95
DEPTH: 1.39

PAD RL CRITICAL @ 6.460 FOR STORMWATER FALL

MINIMUM FINISHED FLOOR LEVEL 4.3m AHD



LOT	20	on	Preliminary
New Road			
Suburb			Wynnum
Local Auth			Brisbane City Council
Lat:-27.458	Area		300m²
			Long:153.149

Last Published: Tuesday, 30 November 2021 3:42 PM

RUCHI PLACE
GINOS ENGINEERS PTY LTD
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[Signature]

CUT/FILL CALCULATIONS	
CUT VOLUME (m ³)	FILL VOLUME (m ³)
1.64	1.63

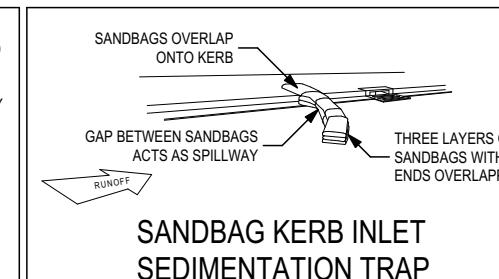
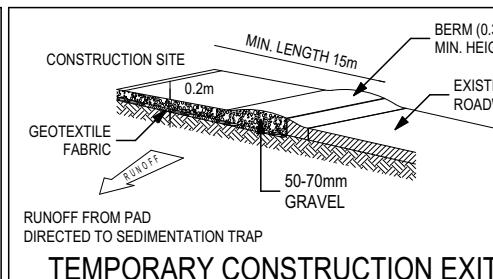
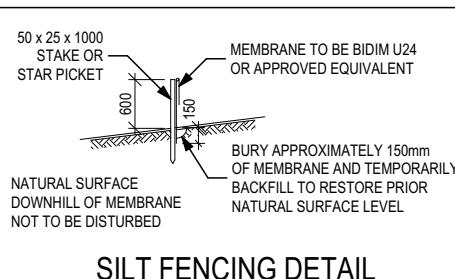
HOUSE TOTAL FOOTPRINT = 167.63m²
SITE COVERAGE = 55.88%

CONSTRUCTION PLANS

DATE: 24/11/2021 REVISION: 6
DRAFTER: RLA ESTIMATOR: RNE
DRAFTING OFFICE: QUEENSLAND

20 (Alita-Hampton) - AC21.ph

File Location: G:\Queensland\Drafting\Brighton Built\Hampton Jobs\901115 - Lot 20 - Brighton Built\w



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BRIGHTON
BUILT
let life in.

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REVISION	DRAWN
2 ALL REPORTS	RLA 2021.08.27
3 ENGINEERING	RLA 2021.09.17
4 OUTDOOR LIVING AMENDMENTS	RLA 2021.09.27
5 PRELIMINARY CONSTRUCTION PLANS	RLA 2021.11.24
6 CONSTRUCTION PLANS	RLA 2021.11.24

CLIENT:
JAMES CAMERON DODD
ADDRESS:
21 RUCHI PLACE, WYNNUM WEST QLD 4178
LOT / SECTION / SP/RP: **20 / - / SP309350** COUNCIL: **BRISBANE CITY COUNCIL**

HOUSE DESIGN:
ALITA
FAÇADE DESIGN:
HAMPTON
SHEET TITLE:
SITE PLAN SHEET No.: **2 / 14** SCALES: **1:200**

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901115

REFER TO SHEET 1 (COVER SHEET) FOR ALL BUILDING INFORMATION REGARDING:
 - SUSTAINABILITY REQUIREMENTS
 - SITE CLASSIFICATION
 - GENERAL BUILDING INFORMATION

CDP CHARGED DOWNPipe DIRECTED TO TANK
 SDP STANDARD DOWNPipe DIRECTED TO STORMWATER DISCHARGE

ALL GROUND FLOOR INTERNAL DOORS TO BE 2340 HIGH UNLESS NOTED OTHERWISE.

ALL EXTERIOR STEPS AND LANDINGS BY OWNER UNLESS NOTED OTHERWISE

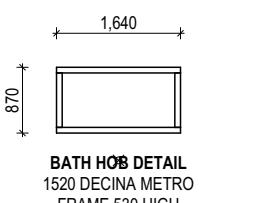
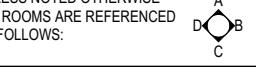
ALL GROUND FLOOR BULKHEAD AND SQUARE SET OPENING FRAMES TO BE 2340 ABOVE FFL UNLESS NOTED OTHERWISE

REFER TO WINDOW & DOOR SCHEDULES FOR FULL DETAILS OF ALL WINDOWS AND DOORS

FINAL WINDOW AND EXTERIOR DOOR LOCATIONS MAY BE ADJUSTED ON SITE TO SUIT BRICKWORK GAUGE

PROVIDE ENERGY EFFICIENT LIGHTING TO A MINIMUM 80% OF TOTAL FIXED ARTIFICIAL LIGHTING AS REQUIRED BY MP4.1 - (A3) SUSTAINABLE BUILDING

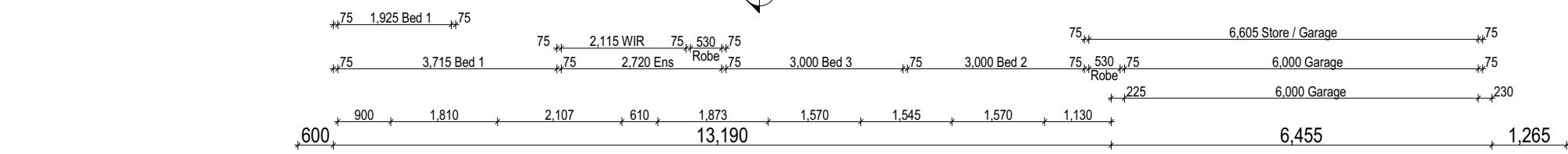
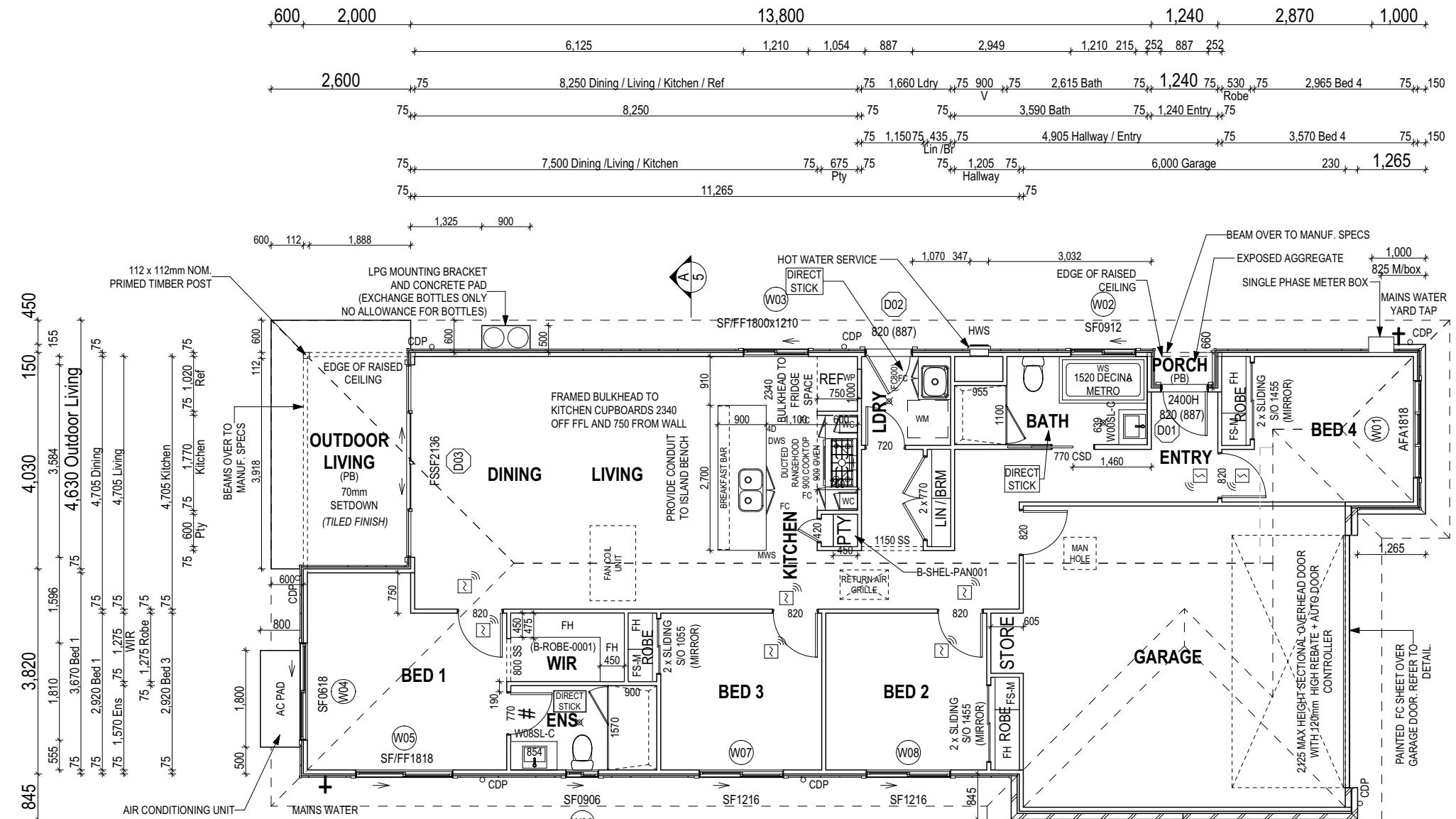
UNLESS NOTED OTHERWISE ALL ROOMS ARE REFERENCED AS FOLLOWS:



BATH HOB DETAIL
1520 DECINA METRO
FRAME 530 HIGH

FLOOR PLAN LEGEND

- HS / WS HOB SPOUT / WALL SPOUT
- FACE BRICK / COMMON BRICK
- HEBEL
- SOUND INSULATION
- AJ BRICK ARTICULATION JOINT
- 3D DENOTES DRAWER SIDE
- EXHAUST FAN
- L.B.W LOAD BEARING WALL
- THIS DOOR OPENS FIRST
- SMOKE ALARM
- LIFT OFF HINGE
- WATER POINT
- FRIDGE WATER POINT
- WP GAS
- GAS BAYONET



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PROVIDE AND INSTALL SINGLE PHASE REVERSE CYCLE AIR CONDITIONING SYSTEM. NUMBER AND POSITIONING OF OUTLETS AND THE FINAL LOCATION OF THE RETURN AIR GRILLE WILL BE DETERMINED ON SITE BY THE AIR CONDITIONING CONTRACTOR AND IS SUBJECT TO TRUSS LAYOUT AND ANY OTHER CONSTRUCTION CONSTRAINTS.

FRAME MANUFACTURER TO PROVIDE CLEARANCE FOR PASSAGE OF FAN COIL UNIT FROM RETURN AIR OPENING TO FINAL FAN COIL LOCATION.

ANY PART OF THE FASCIA, GUTTERING OR DOWNPipe THAT IS WITHIN 450mm OF ANY BOUNDARY IS TO BE NON-COMBUSTIBLE IN ACCORDANCE WITH THE NCC.

ALL OUTDOOR LIVING / PATIO / PORCH / VERANDAH SLABS TO BE GRADED BY CONCRETER TO ACHIEVE APPROX. 1:100 FALL TO OUTSIDE EDGE WITH MAXIMUM CROSSFALL OF 30mm OVER ENTIRE SLAB.

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CONSTRUCTION PLANS

DATE: 24/11/2021 REVISION: 6
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WINDOW SCHEDULE

^{0.1} ASSUME LOOKING FROM OUTSIDE

ID	CODE ^a	ROOM	HEIGHT	WIDTH	PERIMETER	AREA (m ²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING AREA (m ²)	GLAZING TYPE	ADDITIONAL INFORMATION ^b
W01	AFA1818	BED 4	1,800	1,810	7,220	3.26	ALUMINIUM	N/A	NONE	S	2.51	CLEAR	MP 603-603
W02	SF0912	BATH	860	1,210	4,140	1.04	ALUMINIUM	N/A	NONE	E	0.86	CLEAR, TOUGHENED	
W03	SF/FF1800x1210	KITCHEN	1,800	1,210	6,020	2.18	ALUMINIUM	N/A	NONE	E	1.80	CLEAR	BP 600, MP 605/0
W04	SF0618	BED 1	600	1,810	4,820	1.09	ALUMINIUM	N/A	NONE	N	0.89	CLEAR	
W05	SF/FF1818	BED 1	1,800	1,810	7,220	3.26	ALUMINIUM	N/A	NONE	W	2.79	CLEAR	BP 600, MP 905/0
W06	SF0906	ENS	860	610	2,940	0.52	ALUMINIUM	N/A	NONE	W	0.39	CLEAR, TOUGHENED	
W07	SF1216	BED 3	1,200	1,570	5,540	1.88	ALUMINIUM	N/A	NONE	W	1.64	CLEAR	
W08	SF1216	BED 2	1,200	1,570	5,540	1.88	ALUMINIUM	N/A	NONE	W	1.64	CLEAR	

15.11

12.52

EXTERIOR DOOR SCHEDULE

^{0.1} ASSUME LOOKING FROM OUTSIDE

ID	CODE ^a	ROOM	HEIGHT	WIDTH	AREA (m ²)	FRAME TYPE	BAL RATING	SILL TYPE	ORIENT.	GLAZING TYPE	DOOR TYPE	ADDITIONAL INFORMATION ^b
D01	820	ENTRY	2,400	887	2.13	TIMBER	N/A	NONE	E	DOOR(S): OBSCURE - SIDELIGHT(S): N/A	SWINGING	
D02	820	LDRY	2,100	887	1.86	TIMBER	N/A	NONE	E	DOOR(S): N/A - SIDELIGHT(S): N/A	SWINGING	
D03	FSSP2136	OUTDOOR LIVING	2,100	3,584	7.53	ALUMINIUM	N/A	NONE	N	CLEAR, TOUGHENED	SLIDING	

11.52 m²

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INTERIOR DOOR SCHEDULE

QTY	CODE	TYPE	HEIGHT	WIDTH	GLAZING	ADDITIONAL INFORMATION
1	1150 SS	SQUARE SET OPENING	2,340	1,150	N/A	
1	2 x 770	SWINGING	2,340	1,540	N/A	
2	2 x SLIDING	SLIDING	2,340	1,440	N/A	SELECT
1	2 x SLIDING	SLIDING	2,340	1,040	N/A	SELECT
1	420	SWINGING	2,340	420	N/A	
1	720	SWINGING	2,340	720	N/A	
1	770	SWINGING	2,340	770	N/A	LIFT-OFF HINGES
1	770 CSD	CAVITY SLIDING	2,340	770	N/A	
1	800 SS	SQUARE SET OPENING	2,340	800	N/A	
5	820	SWINGING	2,340	820	N/A	

PICTURE/TV RECESS & SQUARE SET WINDOW SCHEDULE

QTY TYPE HEIGHT WIDTH AREA (m²)

REFER TO SHEET 1 (COVER SHEET) FOR
ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

CONSTRUCTION PLANS

DATE: 24/11/2021 REVISION: 6

DRAFTER: RLA ESTIMATOR: RNE

DRAFTING OFFICE:
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4	OUTDOOR LIVING AMENDMENTS		RLA	2021.09.27
5	PRELIMINARY CONSTRUCTION PLANS		RLA	2021.11.24
6	CONSTRUCTION PLANS		RLA	2021.11.24

CLIENT:
JAMES CAMERON DODD
ADDRESS:
21 RUCHI PLACE, WYNNUM WEST QLD 4178
LOT / SECTION / SP/RP: 20 / - / SP309350
COUNCIL: BRISBANE CITY COUNCIL

HOUSE DESIGN:
ALITA
FACADE DESIGN:
HAMPTON
SHEET TITLE:
WINDOW & DOOR SCHEDULES
HOUSE CODE:
FAÇADE CODE:
SCALES:
4 / 14

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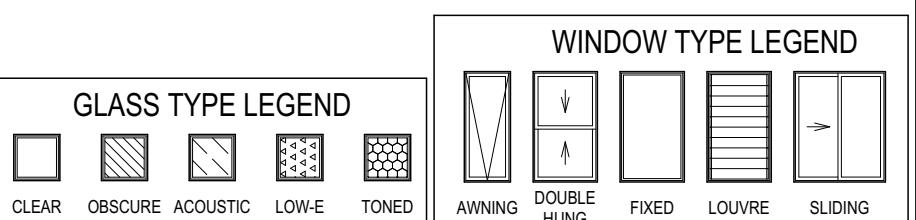
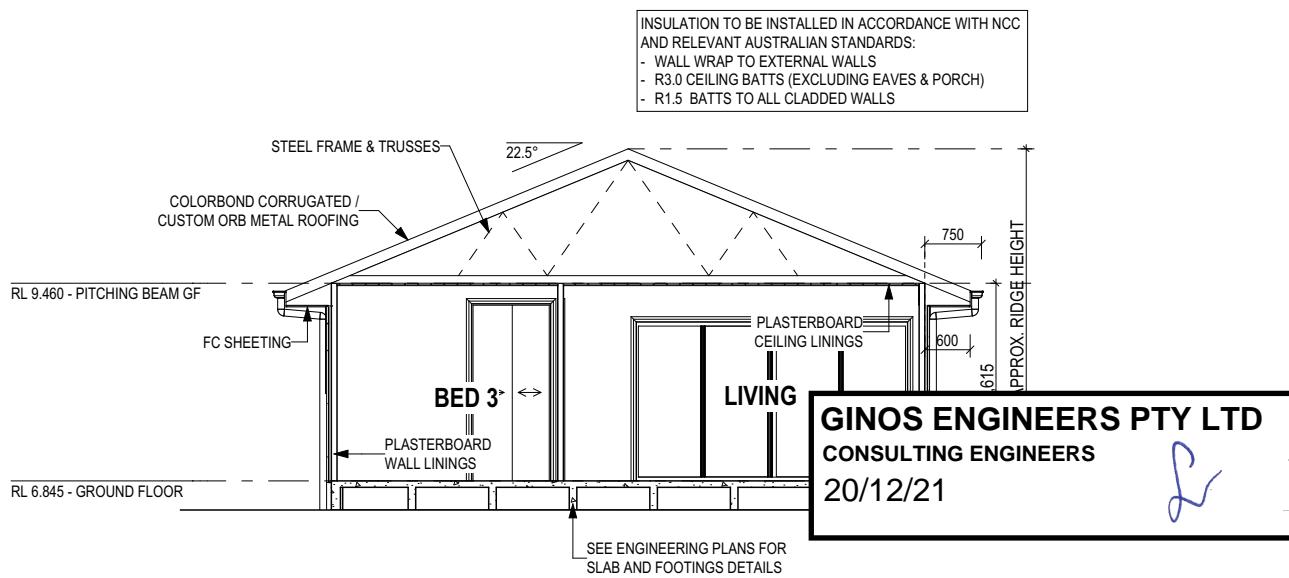
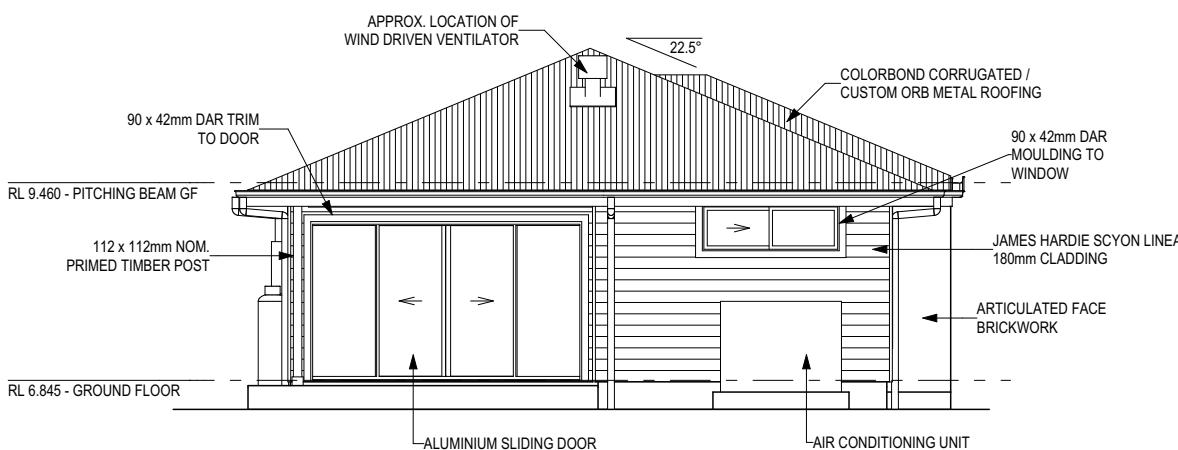
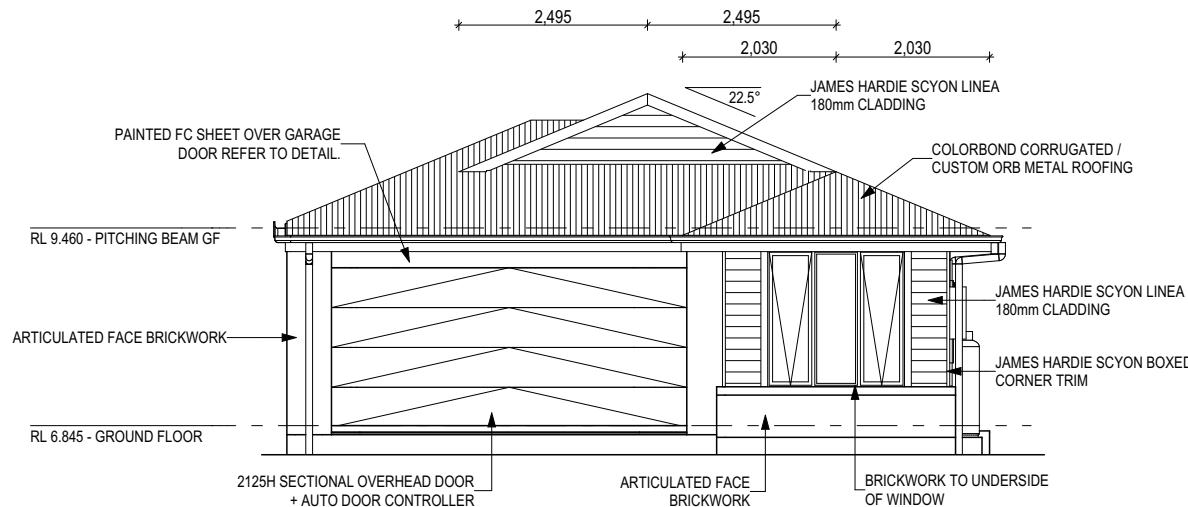
Template Version: 21/2020
File Location: G:\Queensland\Drafting\Brighton Built\Hampton Jobs\901115 - Lot 20 - Brighton Built\w

901115

REFER TO SHEET 1 (COVER SHEET) FOR
ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

SH = SNAP HEADER SILL

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ALL CUT/FILL BATTERS ARE 1:2 MAX. GRADIENT

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CONSTRUCTION PLANS

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5 PRELIMINARY CONSTRUCTION PLANS	RLA 2021.11.24
6 CONSTRUCTION PLANS	RLA 2021.11.24

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ADDRESS: 21 RUCHI PLACE, WYNNUM WEST QLD 4178
LOT / SECTION / SP/RP: 20 / - / SP309350
COUNCIL: BRISBANE CITY COUNCIL

HOUSE DESIGN: ALITA	HOUSE CODE:
FACADE DESIGN: HAMPTON	FACADE CODE:
SHEET TITLE: ELEVATIONS / SECTION	SCALES: 5 / 14 1:100

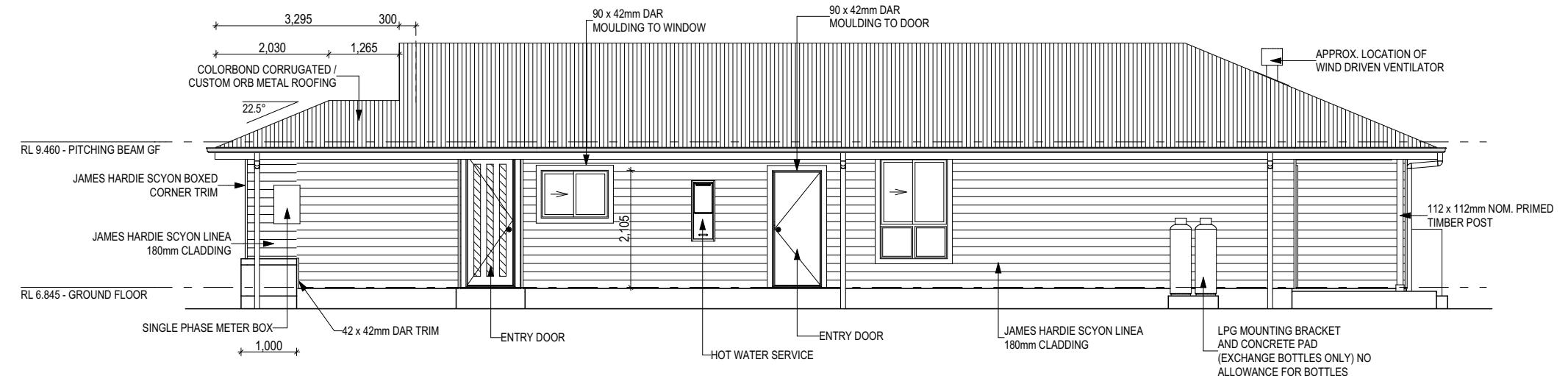
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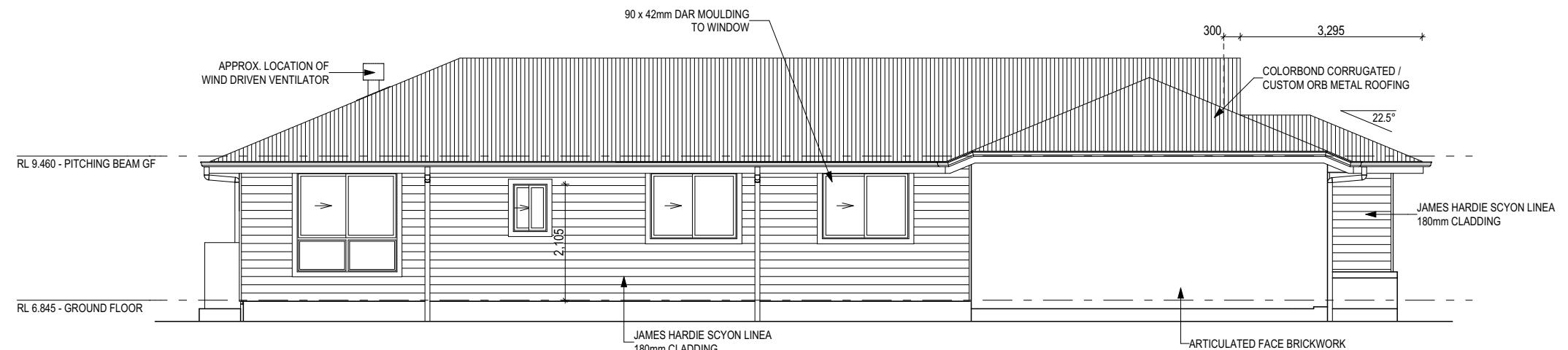
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LEFT ELEVATION

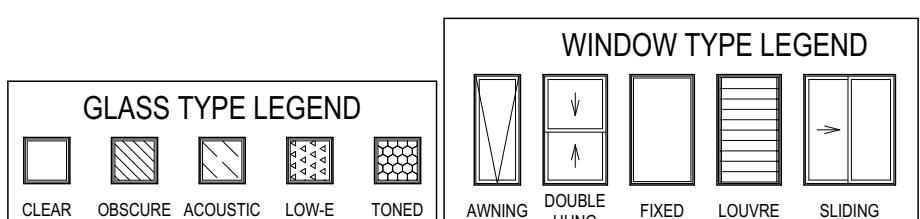
Scale: 1:100

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RIGHT ELEVATION

Scale: 1:100



CONSTRUCTION PLANS

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CLIENT: JAMES CAMERON DODD
ADDRESS: 21 RUCHI PLACE, WYNNUM WEST QLD 4178
LOT / SECTION / SP/RP: 20 / - / SP309350
COUNCIL: BRISBANE CITY COUNCIL

HOUSE DESIGN: ALITA	HOUSE CODE:
FACADE DESIGN: HAMPTON	FACADE CODE:
SHEET TITLE: ELEVATIONS	SCALES: 6 / 14 1:100

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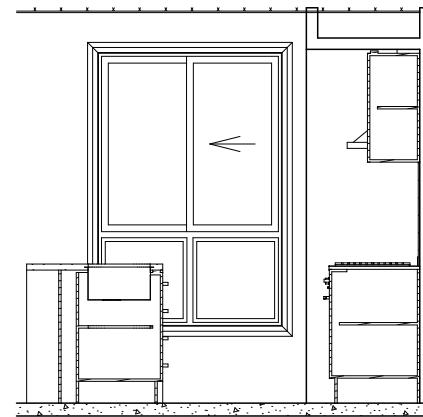
GAS CONNECTION FOR COOKTOP TO BE LOCATED 700mm TO RIGHT HAND SIDE OF CENTRE OF COOKTOP

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20 (Alita-Hampton) - AC21.pln

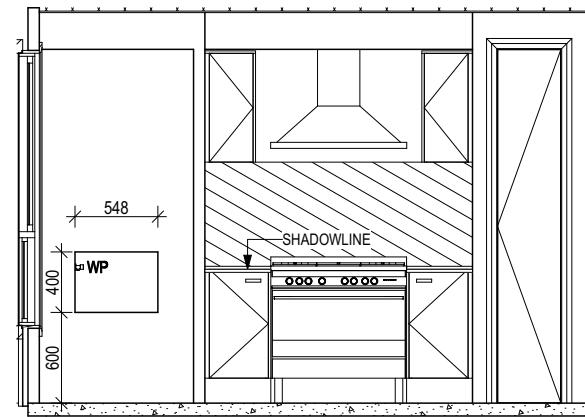
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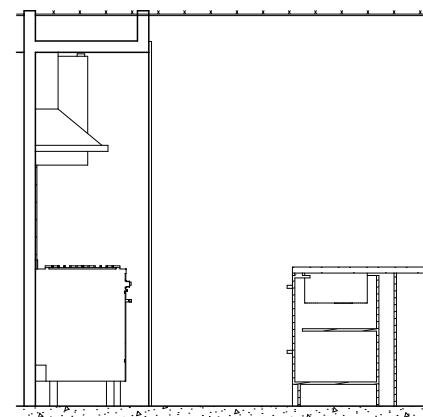
ELEVATION A

Scale: 1:50



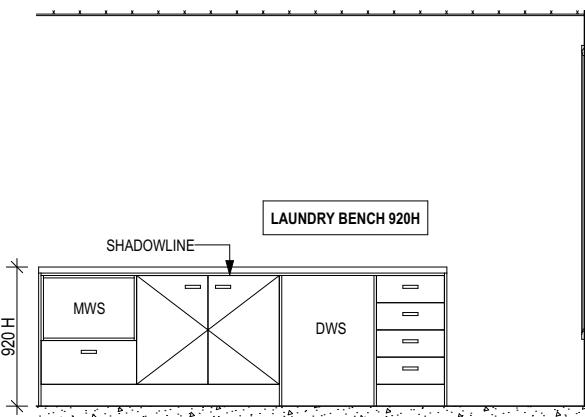
ELEVATION B

Scale: 1:50



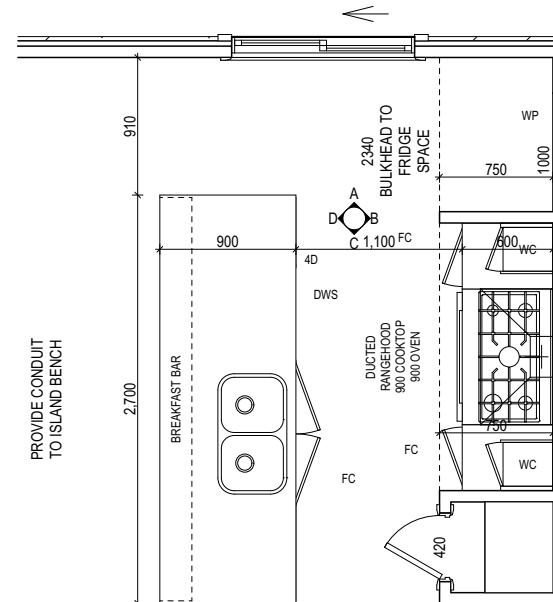
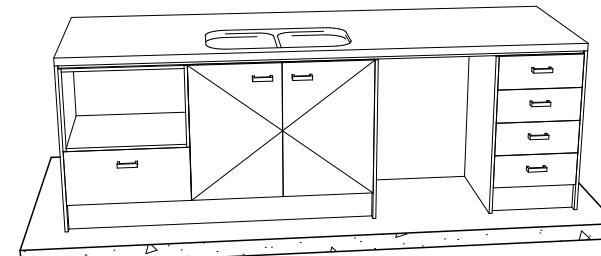
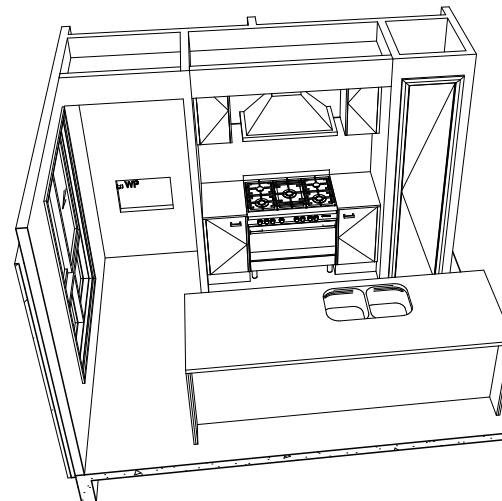
ELEVATION C

Scale: 1:50



ELEVATION D

Scale: 1:50



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KITCHEN PLAN

Scale: 1:50

CONSTRUCTION PLANS

DATE: 24/11/2021 REVISION: 6

DRAFTER: RLA ESTIMATOR: RNE

DRAFTING OFFICE: QUEENSLAND

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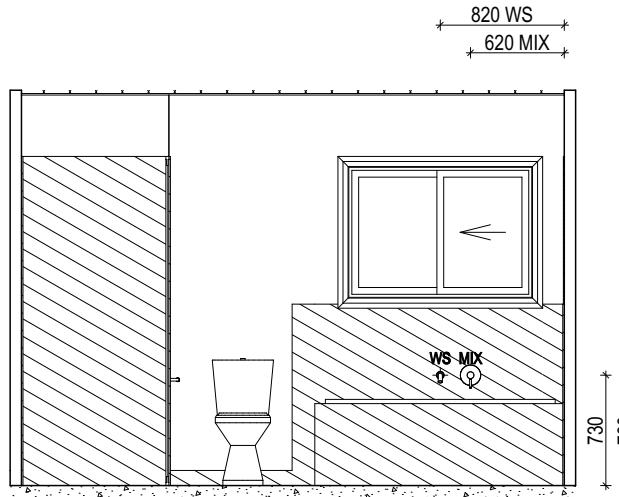
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FAÇADE DESIGN:	HAMPTON	FAÇADE CODE:
SHEET TITLE:	KITCHEN DETAILS	SCALES:

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**WALL HUNG VANITY
SUPPORT AS PER DETAIL
B-FRAM-VANI01**

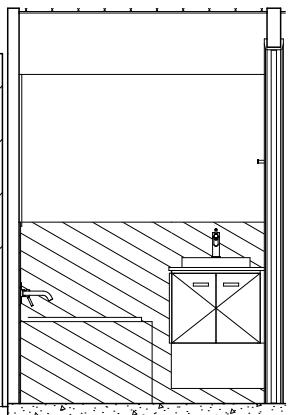
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ELEVATION A

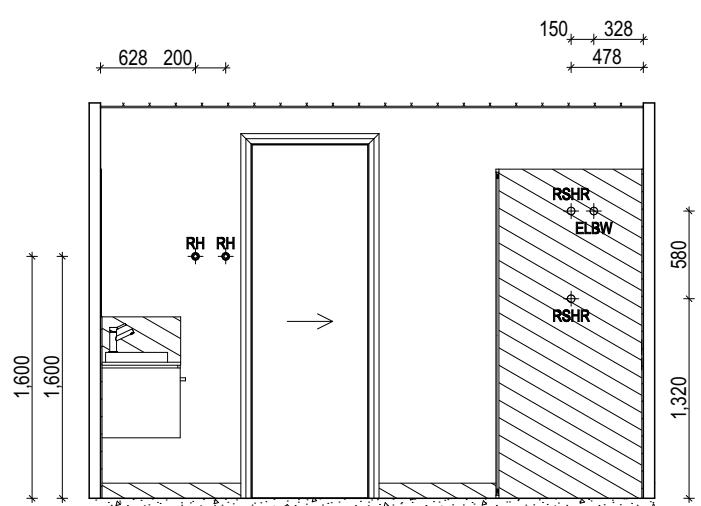
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ELEVATION B

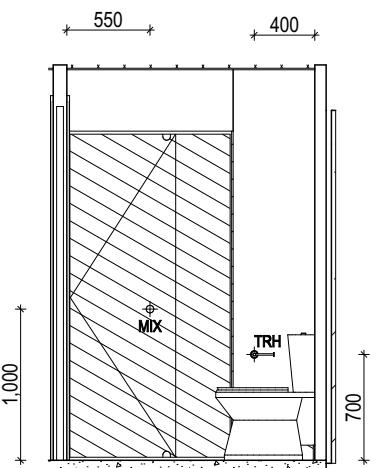
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**FW - GULLY TRAP /
DIRECT STICK**



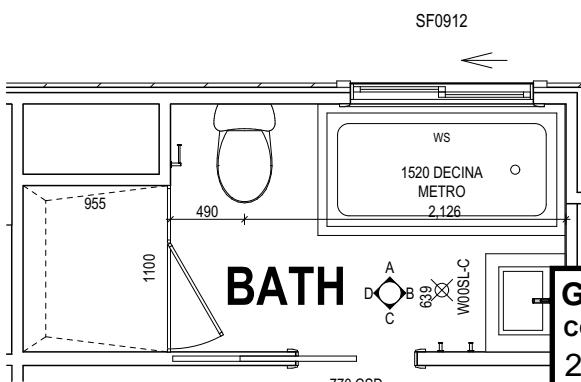
ELEVATION C

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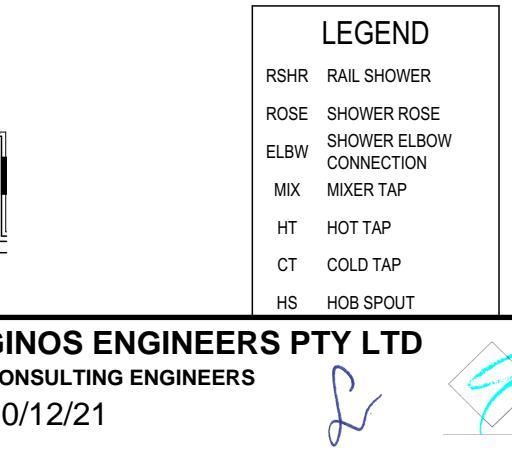
ELEVATION D

Scale: 1:50



BATHROOM PLAN

Scale: 1:50



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LEGEND
 RSHR RAIL SHOWER
 ROSE SHOWER ROSE
 ELBW SHOWER ELBOW CONNECTION
 MIX MIXER TAP
 HT HOT TAP
 CT COLD TAP
 HS HOB SPOUT
 TR-D TOWEL RAIL - DOUBLE
 TL TOWEL LADDER
 TH TOWEL HOLDER
 TR TOWEL RACK
 TMB TUMBLER HOLDER
 RNG TOWEL RING
 RH ROBE HOOK
 SHLF SHELF
 SR SHAMPOO RECESS
 SOAP SOAP HOLDER

CONSTRUCTION PLANS

DATE: 24/11/2021 REVISION: 6

DRAFTER: RLA ESTIMATOR: RNE

DRAFTING OFFICE: QUEENSLAND

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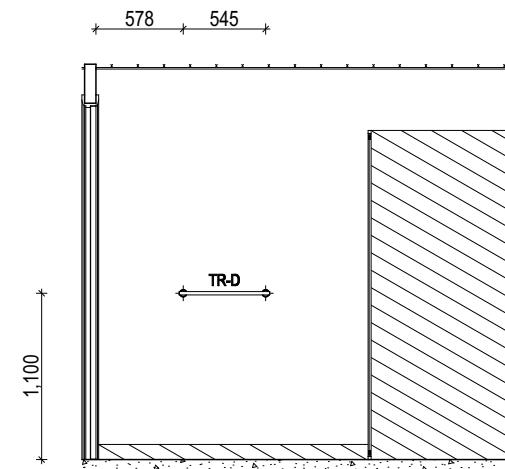
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ADDRESS: 21 RUCHI PLACE, WYNNUM WEST QLD 4178	
LOT / SECTION / SP/RP: 20 / - / SP309350	COUNCIL: BRISBANE CITY COUNCIL

HOUSE DESIGN: ALITA	HOUSE CODE:	
FACADE DESIGN: HAMPTON	FACADE CODE:	
SHEET TITLE: BATHROOM DETAILS	SHEET No.: 8 / 14	SCALES: 1:50

**WALL HUNG VANITY
SUPPORT AS PER DETAIL
B-FRAM-VANI01**

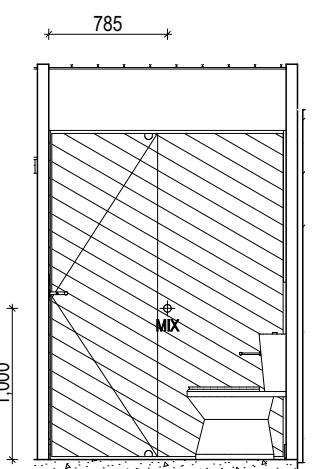
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ELEVATION A

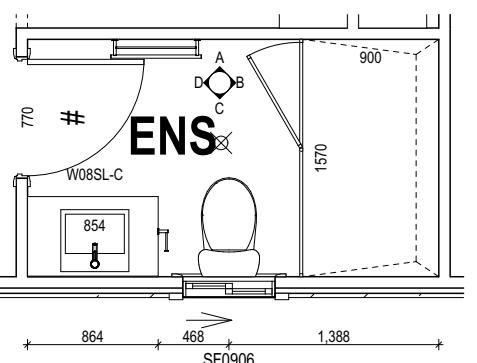
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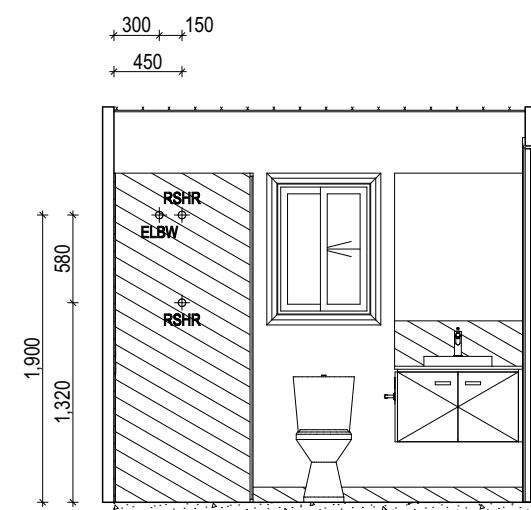
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**FW - GULLY TRAP /
DIRECT STICK**



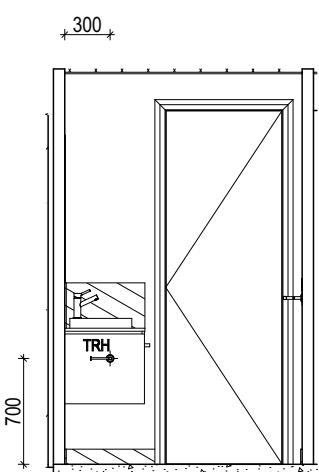
ENSUITE PLAN

Scale: 1:50



ELEVATION C

Scale: 1:50



ELEVATION D

Scale: 1:50

LEGEND

RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT

TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER

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CONSTRUCTION PLANS

DATE:	REVISION:
24/11/2021	6
DRAFTER:	ESTIMATOR:
RLA	RNE
DRAFTING OFFICE:	
QUEENSLAND	

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REVISION	DRAWN
2 ALL REPORTS	RLA 2021.08.27
3 ENGINEERING	RLA 2021.09.17
4 OUTDOOR LIVING AMENDMENTS	RLA 2021.09.27
5 PRELIMINARY CONSTRUCTION PLANS	RLA 2021.11.24
6 CONSTRUCTION PLANS	RLA 2021.11.24

CLIENT: JAMES CAMERON DODD
ADDRESS: 21 RUCHI PLACE, WYNNUM WEST QLD 4178
LOT / SECTION / SP/RP: 20 / - / SP309350
COUNCIL: BRISBANE CITY COUNCIL

HOUSE DESIGN: ALITA	HOUSE CODE:
FACADE DESIGN: HAMPTON	
FACADE CODE:	
SHEET TITLE: ENSUITE DETAILS	SCALES: 9 / 14 1:50

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Template Version: 21/10/2020 File Location: G:\Queensland\Drafting\Brighton Built\Hampton Jobs\901115 - Lot 20 - Brighton Built\W

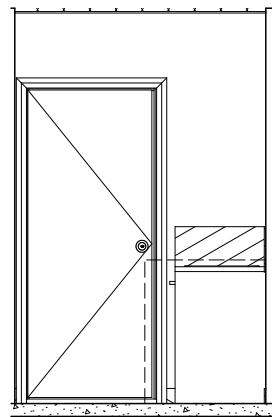
901115

REFER TO SHEET 1 (COVER SHEET) FOR
ALL BUILDING INFORMATION REGARDING:
- SUSTAINABILITY REQUIREMENTS
- SITE CLASSIFICATION
- GENERAL BUILDING INFORMATION

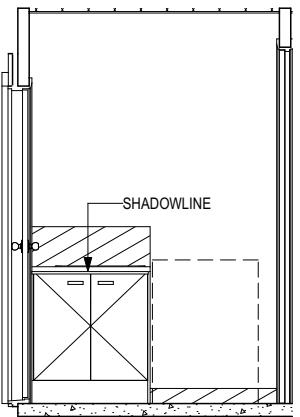
DETAILS DEPICTED ON THIS SHEET ARE A
REPRESENTATION ONLY

Last Published: Tuesday, 30 November 2021 3:43 PM

20 (Alita-Hampton) - AC21.pln

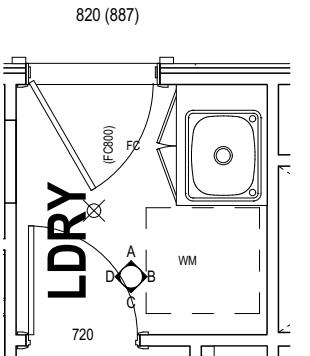


ELEVATION A
Scale: 1:50

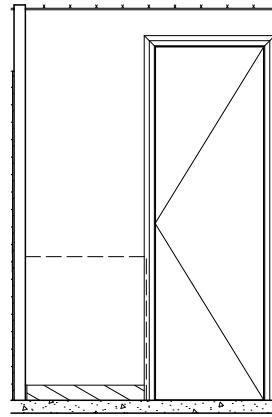


ELEVATION B
Scale: 1:50

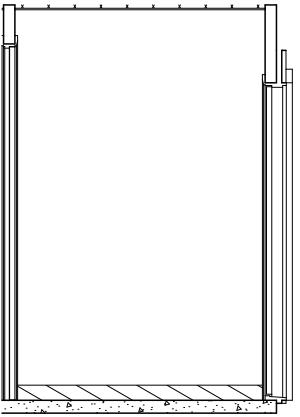
FW - GULLY TRAP / DIRECT STICK



LAUNDRY PLAN
Scale: 1:50



ELEVATION C
Scale: 1:50



ELEVATION D
Scale: 1:50

LEGEND

RSHR	RAIL SHOWER
ROSE	SHOWER ROSE
ELBW	SHOWER ELBOW CONNECTION
MIX	MIXER TAP
HT	HOT TAP
CT	COLD TAP
HS	HOB SPOUT

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TR-D	TOWEL RAIL - DOUBLE
TL	TOWEL LADDER
TH	TOWEL HOLDER
TR	TOWEL RACK
TMB	TUMBLER HOLDER
RNG	TOWEL RING
RH	ROBE HOOK
SHLF	SHELF
SR	SHAMPOO RECESS
SOAP	SOAP HOLDER

CONSTRUCTION PLANS

DATE: 24/11/2021 REVISION: 6
DRAFTER: RLA ESTIMATOR: RNE
DRAFTING OFFICE: QUEENSLAND

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LOT / SECTION / SP/RP:	COUNCIL:
20 / - / SP309350	BRISBANE CITY COUNCIL

HOUSE DESIGN: ALITA	HOUSE CODE:
FACADE DESIGN: HAMPTON	FACADE CODE:
SHEET TITLE: LAUNDRY DETAILS	SHEET No.: 10 / 14 SCALES: 1:50

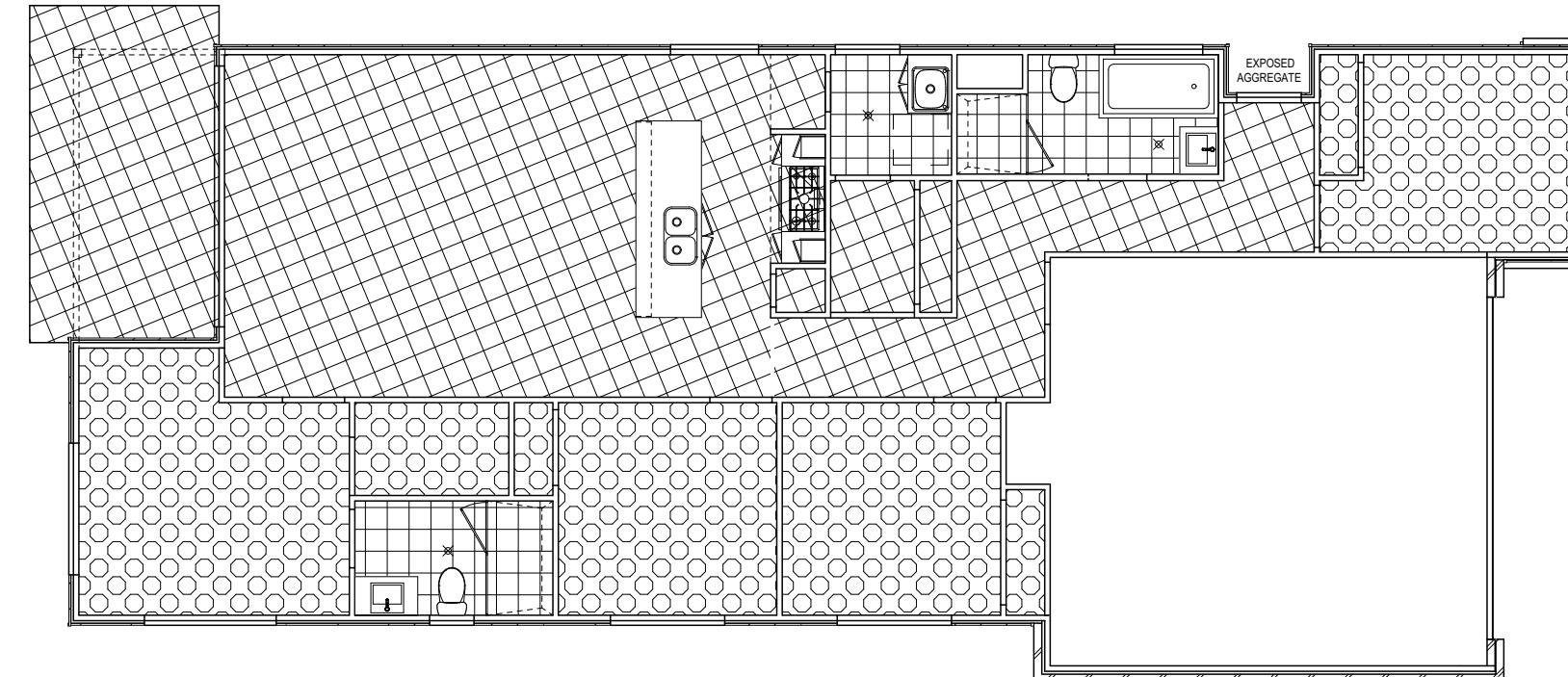
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FLOOR TILES SHOWN ON PLAN DO NOT INDICATE THE SIZE OR JOINT LOCATIONS OF THE ACTUAL FLOOR TILES.
 TIMBER FLOORING SHOWN ON PLAN DOES NOT INDICATE THE BOARD SIZE OR DIRECTION OF THE ACTUAL FLOORING.

COVERINGS LEGEND

[Solid Box]	NO COVERING
[Cross Hatched Box]	COVER GRADE CONCRETE
[Circles Box]	CARPET
[Diagonal Lines Box]	TIMBER/LAMINATE (BY OWNER)
[Horizontal Lines Box]	TILE (STANDARD WET AREAS)
[Vertical Lines Box]	TILE (UPGRADED AREAS)
[Dashed Box]	VINYL



FLOOR COVERINGS

Scale: 1:100

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CONSTRUCTION PLANS

DATE: 24/11/2021 REVISION: 6
 DRAFTER: RLA ESTIMATOR: RNE
 DRAFTING OFFICE: QUEENSLAND

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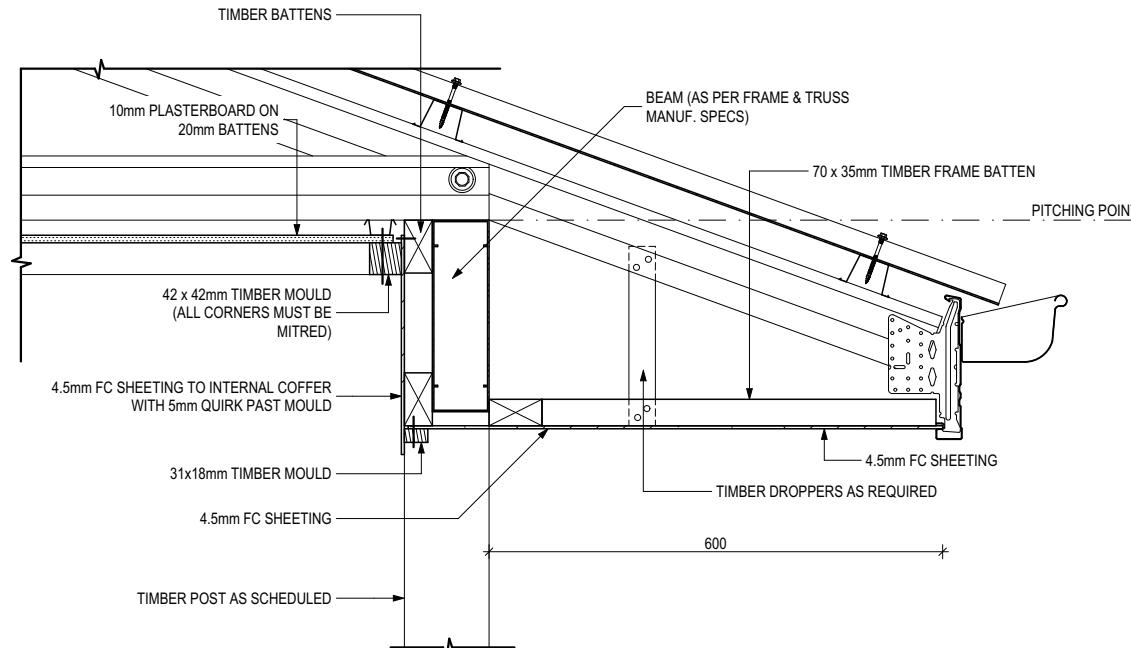
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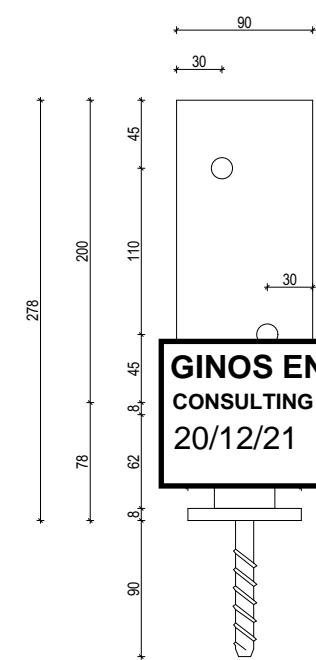
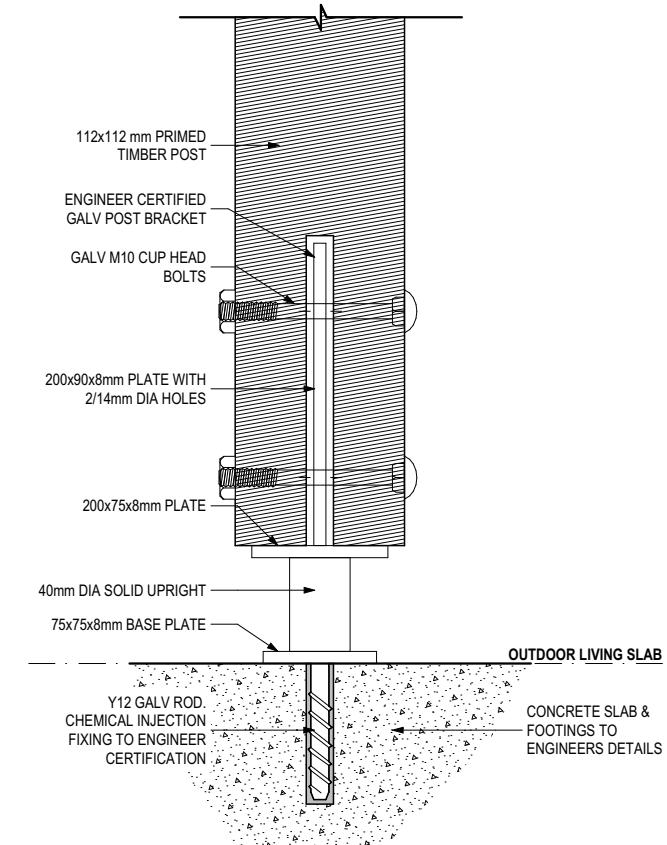
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HOUSE DESIGN:
ALITA
 FACADE DESIGN:
HAMPTON
 SHEET TITLE: FLOOR COVERINGS SHEET No.: 11 / 14 SCALES: 1:100



OUTDOOR LIVING SOFFIT DETAIL - POST

Scale: 1:10



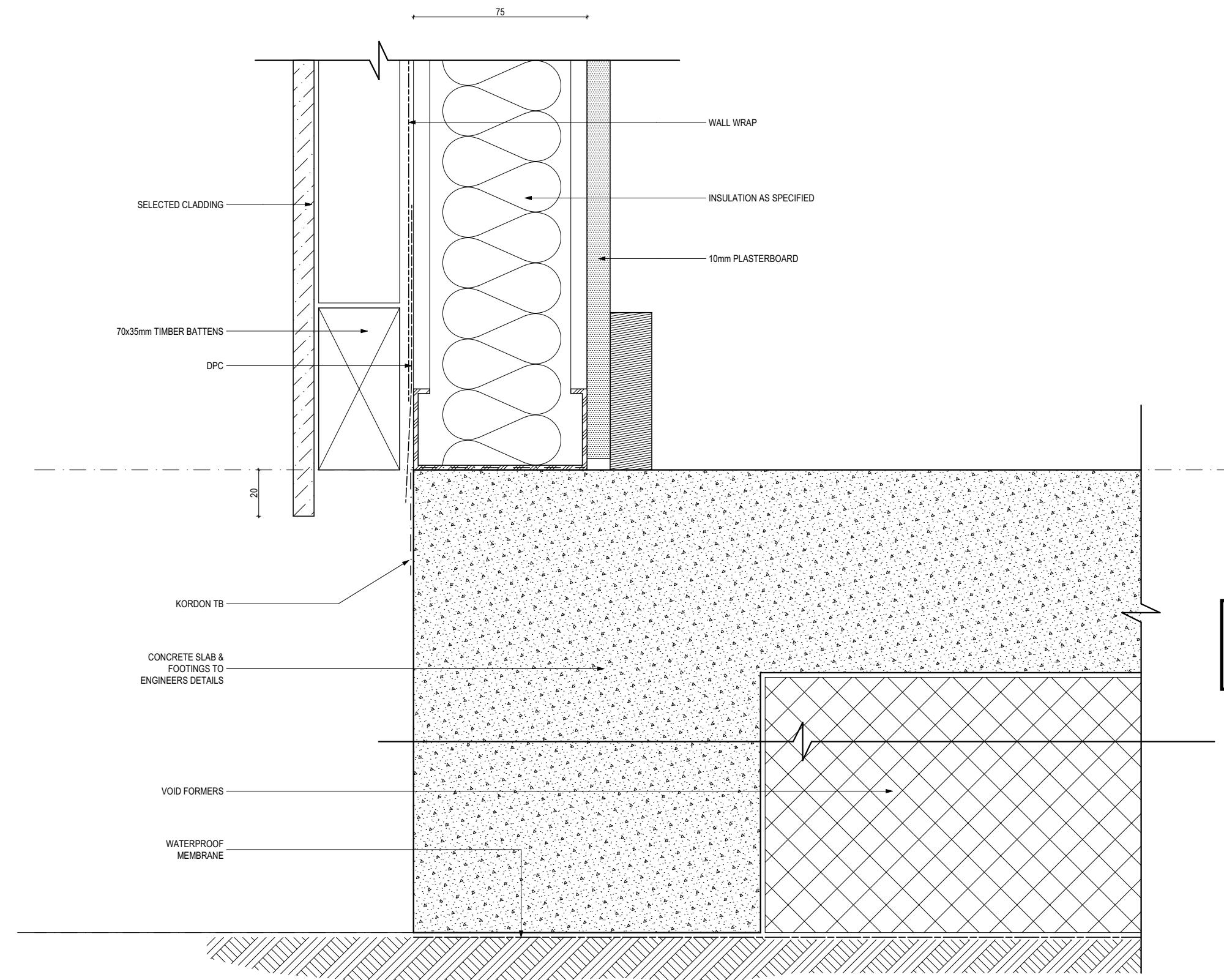
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[Signature]

POST BRACKET DETAIL - 70MM STEPDOWN TO PORCH SLAB

Scale: 1:5

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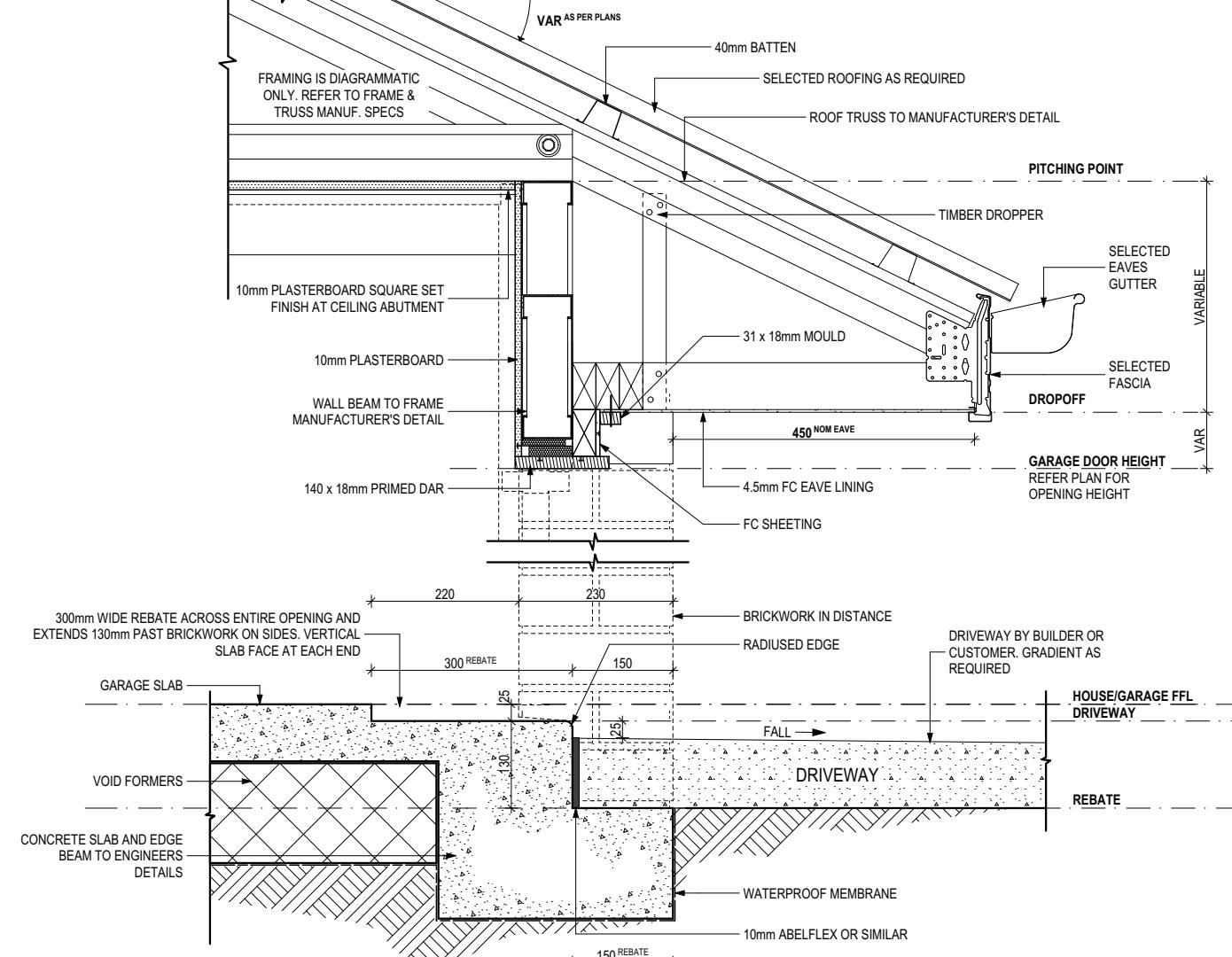
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L

FULL HEIGHT CLADDING SLAB EDGE DETAIL

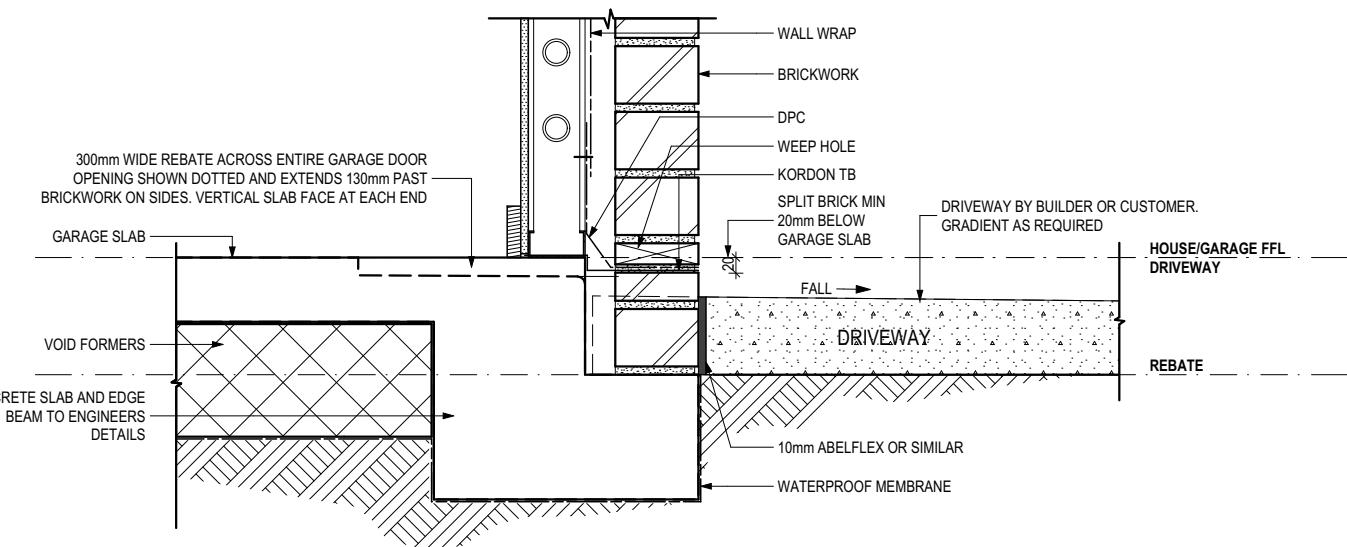
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GARAGE DOOR HEAD AND REBATE DETAILS- FACEBRICK

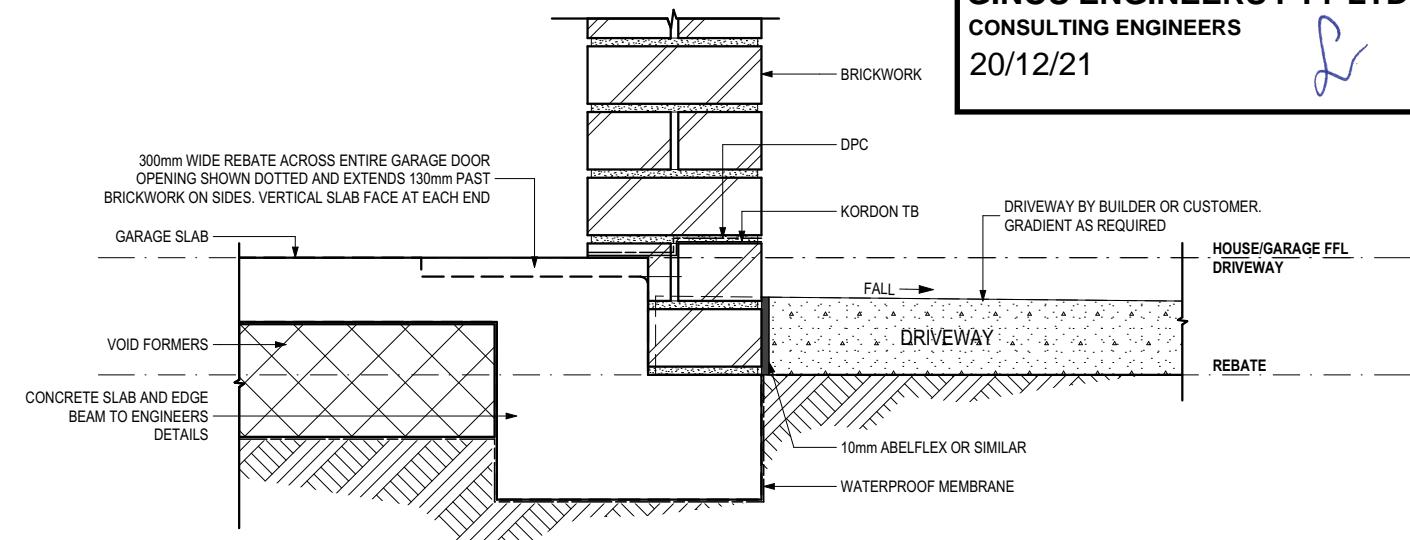
Scale: 1:10



GARAGE BRICK VENEER REBATE DETAIL

Scale: 1:10

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GARAGE 230 BRICK PIER REBATE DETAIL

Scale: 1:10

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