

2128 W HOPKINS PL

CONCEPT SKETCHES

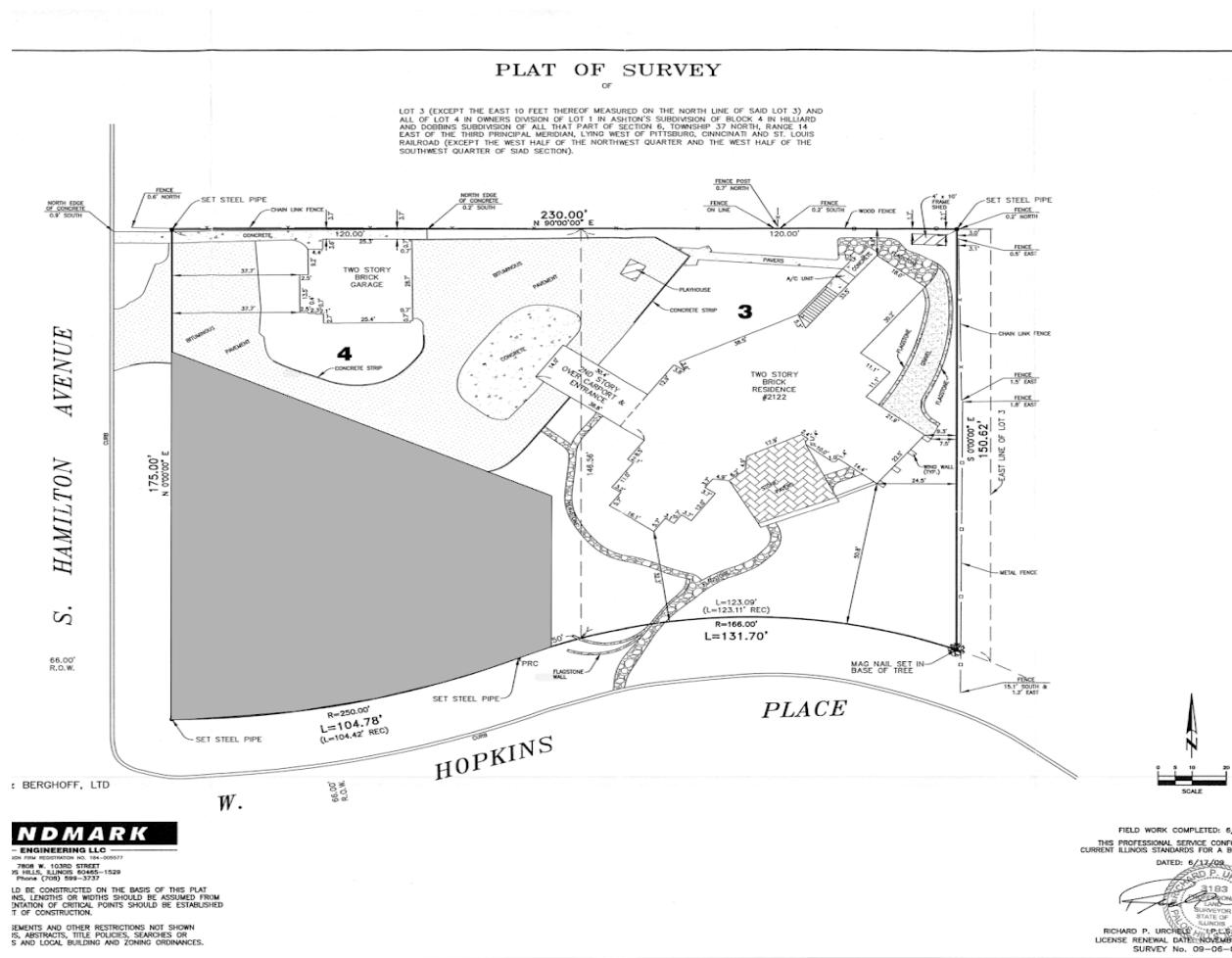
PROJECT

Overview

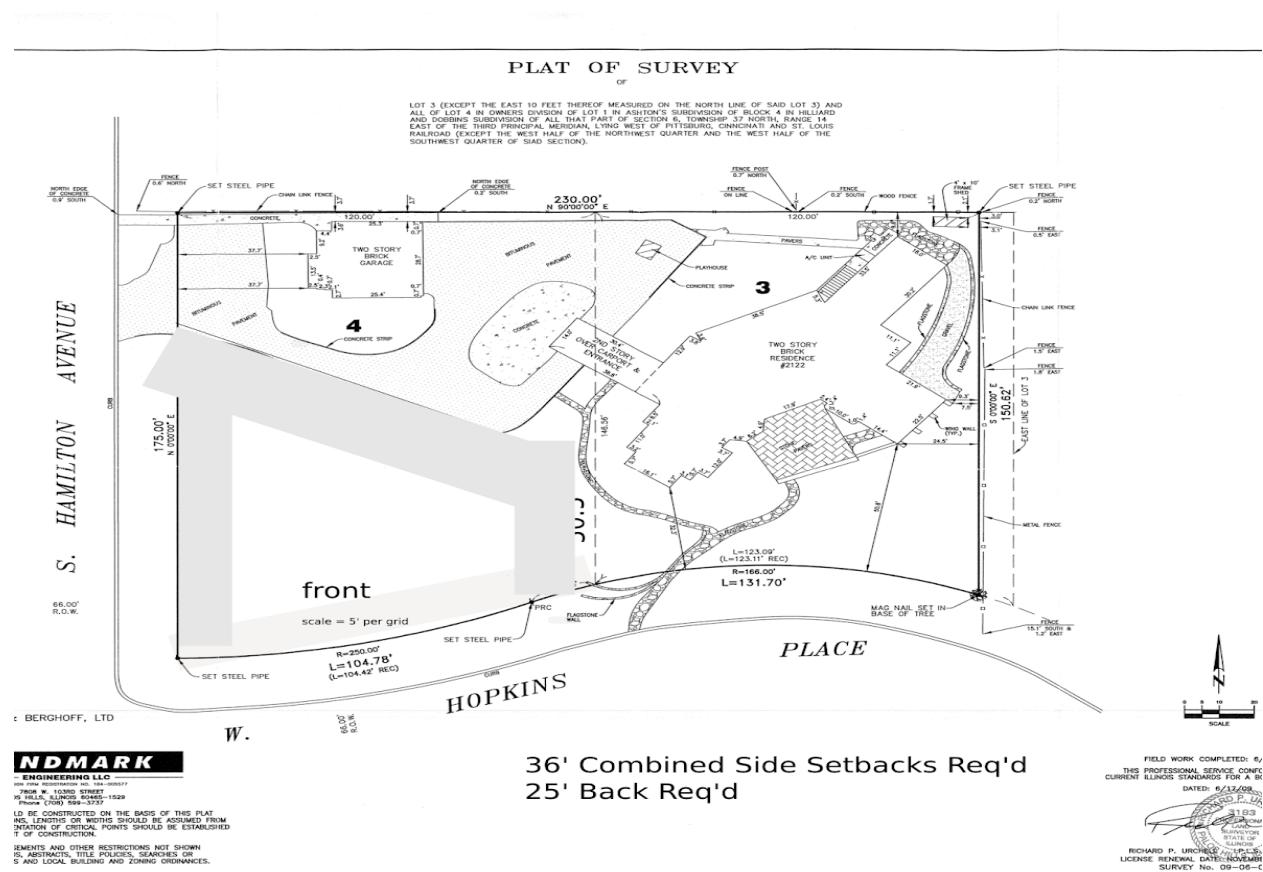
The goal of this project is to develop one or more architectural concept sketches for a single-family residential home located within the historic North Beverly neighborhood on Chicago's south side. The area of the neighborhood where the lot is located consists largely (est. 80%) of traditional wood or brick homes that were constructed from the late 1800's to the 1940's. Roughly 20% of the homes were constructed in the 1950's and 1960's and are of more contemporary (e.g. MCM) designs. The goal of these concept sketches is to develop a single-level residence that has a more modern interior layout, but with an exterior that fits well within the existing architecture around it. The following sections detail the lot and dimensions, examples of nearby architectural examples, and examples of design features that would be desirable to incorporate into the sketches if possible.

Lot Details

The lot is located on a southwest corner as shown on the following plat survey (full-size version in attachments) and is represented by the shaded area.



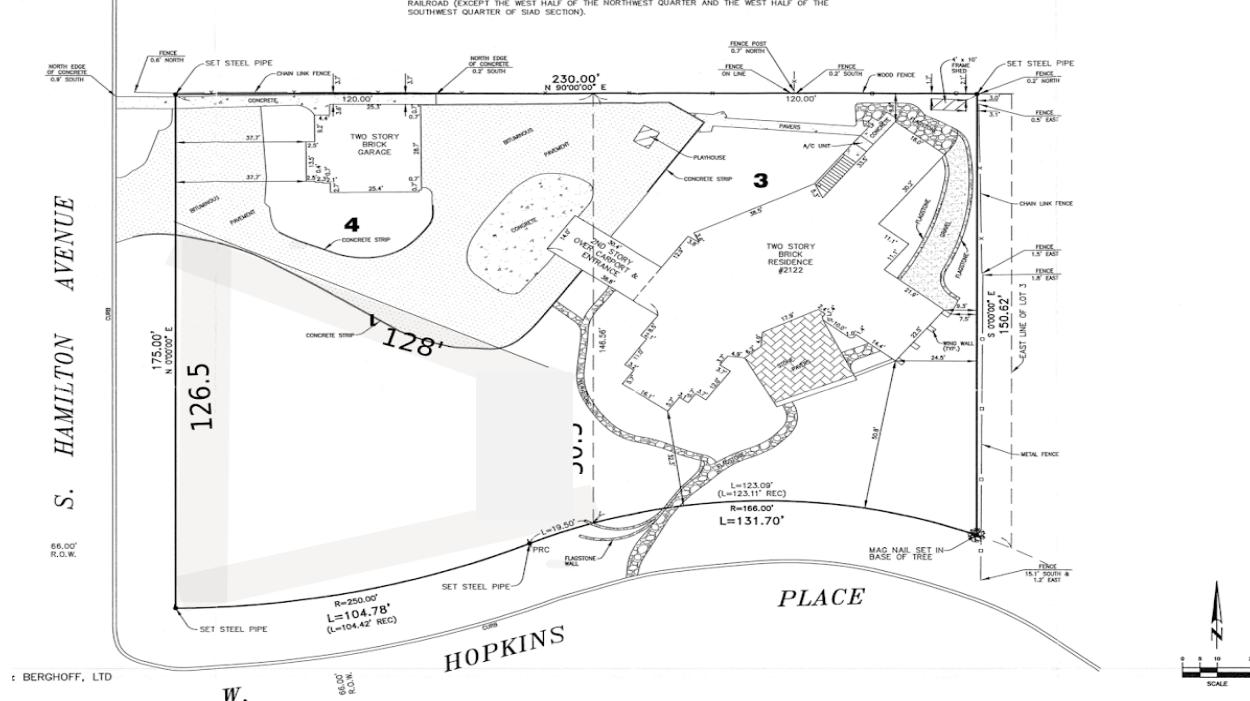
The shape of the lot is irregular with an area of 11,113 ft² (1032 m²). In Chicago, there are residential zones that determine the required "standoffs" for any building. The building cannot encroach into the standoff areas. Since the house is located on a corner, the standoffs differ depending on how the building is oriented. If the home is facing south towards W Hopkins PL (most likely orientation), the standoffs look like this:



If the home instead faces Hamilton Ave, the standoffs look like this:

PLAT OF SURVEY

LOT 3 (EXCEPT THE EAST 10 FEET THEREOF MEASURED ON THE NORTH LINE OF SAID LOT 3) AND ALL OF LOT 4 IN OWNERS DIVISION OF LOT 1 IN ASHTON'S SUBDIVISION OF BLOCK 4 IN HILLARD AND DOBERMAN'S SUBDIVISION OF ALL THAT PART OF SECTION 9, TOWNSHIP 37 NORTH, RANGE EAST OF THE MERIDIAN, IN THE CITY OF CINCINNATI, IN THE STATE OF OHIO, WEST OF PITTSBURGH, CINCINNATI AND ST. LOUIS RAILROAD (EXCEPT THE WEST HALF OF THE NORTHEAST QUARTER AND THE WEST HALF OF THE SOUTHWEST QUARTER OF SAID SECTION).



NDMARK

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DISCLAIMER: THE INFORMATION ON THE BASIS OF THIS PLAT
MAY NOT BE ACCURATE. DIMENSIONS, LENGTHS OR WIDTHS SHOULD BE ASSUMED FROM
INTENT OF CRITICAL POINTS SHOULD BE ESTABLISHED
BY A CERTIFIED SURVEYOR.

ELEMENTS AND OTHER RESTRICTIONS NOT SHOWN
S. ABSTRACTS, TITLE POLICIES, SEARCHES OR
S. AND LOCAL BUILDING AND ZONING ORDINANCES.

36' Combined Side Setbacks Req'd
25' Back Req'd

FIELD WORK COMPLETED: 6/12/09
THIS PROFESSIONAL SERVICE CONFORMS
CURRENT ILLINOIS STANDARDS FOR A BR
DATED: 6/12/09

RICHARD P. URQUHART, SURVEYOR
LICENSE NUMBER: 1P-1525
SURVEY No. 09-06-C

These just need to be kept in mind for the sketches to make sure that the design will actually fit within the lot in one orientation or the other.

The lot is wooded along the southern edge (Hopkins PL side) with lower vegetation along the Hamilton Ave side. Here is a view of the lot taken from the perspective of the eastern edge facing west. The lot is relatively open in the proposed building area and of level grade.



Below is a view from the Hopkins street side viewing the southern edge of the lot



And from the Hamilton side viewing the western edge of the lot. There are fewer existing trees and more large shrubs on the western edge.



Neighborhood Characteristics

Most of the existing homes are architect-designed residences built either prior to 1935 (approx 80%) or in the 1950's-1960's. Below are some examples to illustrate neighboring architecture.

This home is located directly to the south of the lot. The Mediterranean design with stucco represents a smaller minority of homes in the neighborhood (<5%), but there are several nearby.



Here is a traditional brick home located across the street from the lot. This is a far more common architectural style in the area around the lot.



Here are some more modern examples located within several blocks of the lot.





Two more traditional homes located across the street from the lot



Here is an example of a more recently constructed commercial building at the edge of the neighborhood that incorporates the traditional brick facade with limestone accents that is also very common on the original homes within the neighborhood.



Some Proposed Design Features

1. Basement windows to make the below grade space functional

Many of the homes in the neighborhood have functional basement space where there are windows at the top of the basement walls to allow natural light (it's also required by the building code if you want to finish the basement). This impacts the overall design because the entrance to the home is typically 4-5 feet above grade and overall building height is increased. Here is an example on a common Chicago Bungalow. The entrance here is on the side, which we aren't looking for, but it illustrates the windows and increased height of the first floor.



2. A main great room section with significant ceiling height and window area with living quarters with

reduced ceiling height and more privacy in terms of windows.

Here are a couple of examples (from the web, not actual neighborhood properties) that show the great room with reduced height living quarters on either side



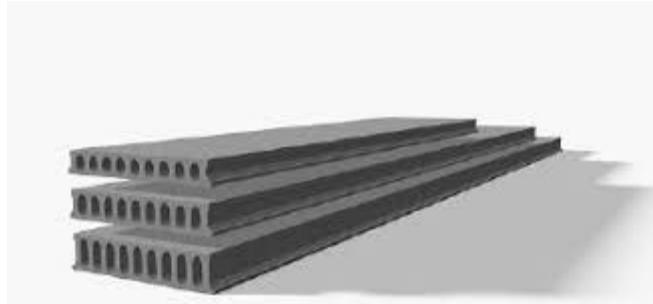


Here is an actual property from the neighborhood that has a similar concept (sorry, pic isn't great)



3. Utilize more recent commercial construction approaches.

I'd like to use prestressed concrete hollowcore slabs to span the first floor. This would create an extremely open floor plan in the below grade basement area. This isn't vital to the sketch process, but wanted to mention it. These materials are readily available locally and drastically speed construction.



I also like the idea of steel trusses (or possibly wood trusses) to support the roof and leaving them exposed on the interior. Here is an example:



This likely dictates a low-slope flat roof approach (but there are other options). A low-slope flat roof would also give the option of creating a roof deck that is accessible from within the interior of the great room. Here is an example showing potential roof access:



The most common type of flat roof in Chicago residential brick buildings is the basic parapet wall design.



4. Larger windows on the great room, much smaller on the living areas.

The examples above show larger window area on the great room section. Here is a nearby home (not a great pic, windows on living area are to the left in pic) which

illustrates the use of less window area on the living quarters. The windows are placed higher on the wall and don't allow viewing into the living areas from outside the building, but allow natural light.



5. Exterior of home constructed of structural brick.

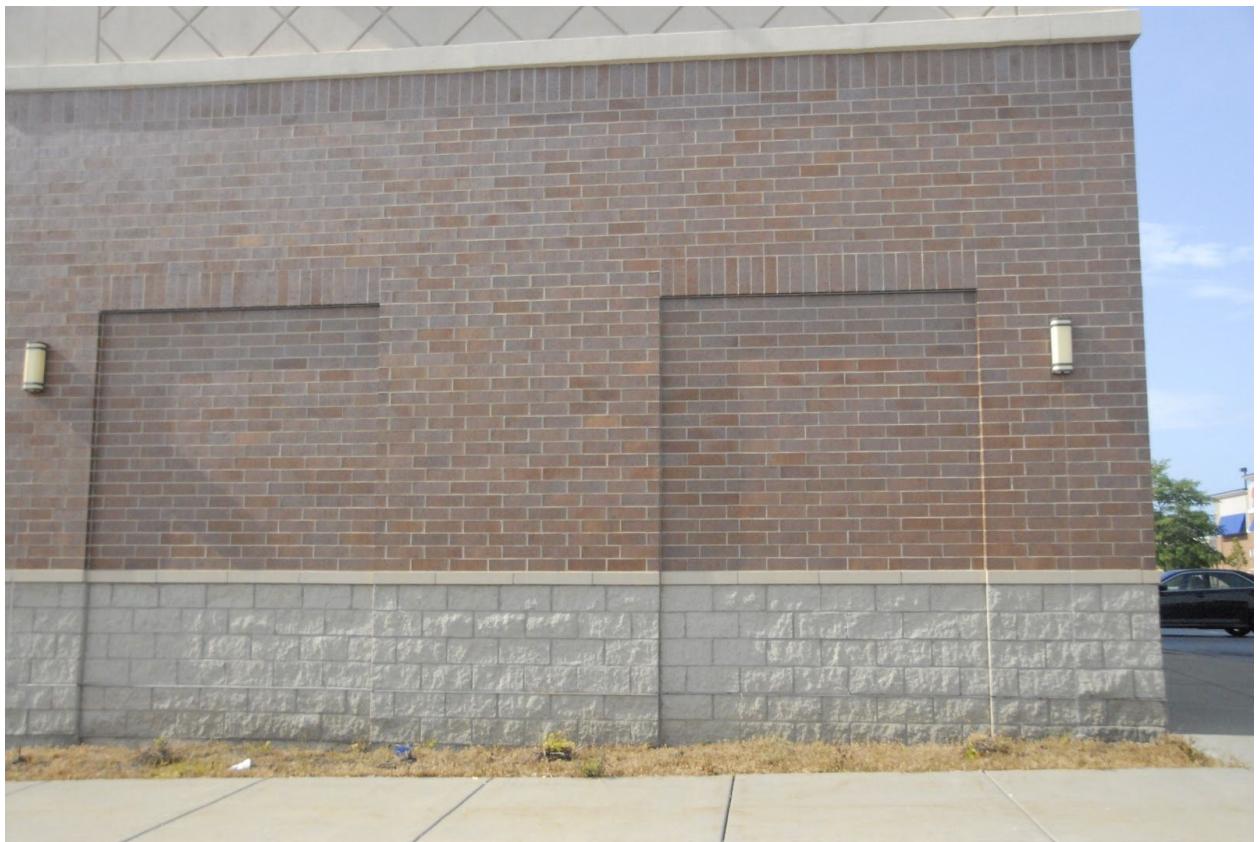
Structural brick is a more modern material similar to CMU construction but built as a hollow clay brick (which is then reinforced with steel/grout to add strength) that provides both structural support and the facade surface. The brick provides the support for the roof and places few restrictions on the interior floor plan since the load is born by the exterior walls and trusses.



Here are some good local examples using structural brick where the buildings are more modern in overall design but the brick facade with limestone accents really integrates well into the neighborhood. These are light-commercial buildings, but it should translate to residential design as well.



(Not a huge McDonald's fan, but I like the brick/limestone facade here)





Here is a decent example with a parapet flat roof.



6. Ideas about building shape within the lot

There is an existing home on the east edge of the lot. It would be nice to use the structure of the home to create some degree of additional privacy for the outdoor spaces of the property. Here is an example where the shape of the building shields the green space behind the home from the property to the east, which would allow for a more private patio area. Note that the garage can be detached as well, and is allowed to encroach into the standoff area if desired. This example is just meant to illustrate the point, the shape isn't meant to be a hard constraint. *Note that the residence can also face Hamilton if that ends up being a better fit.

PLAT OF SURVEY

LOT 3 (EXCEPT THE EAST 10 FEET THEREOF MEASURED ON THE NORTH LINE OF SAID LOT 3) AND ALL OF LOT 4 IN OWNERS SECTION "LOT 1" IN ADDITION TO SUBDIVISION "LOCK 4" IN PARCEL AND DISPOSED OF BY THE PART OF SECTION 8, TOWNSHIP 37 NORTH, RANGE 14 EAST OF THE THIRD PRINCIPAL MERIDIAN, LYING WEST OF PITTSBURG, CINCINNATI AND ST. LOUIS RAILROAD (EXCEPT THE WEST HALF OF THE NORTHWEST QUARTER AND THE WEST HALF OF THE SOUTHWEST QUARTER OF SIXTH SECTION).

