

Dilapidation Assessment Report

Prepared for: Cape Cod Australia Pty. Limited
Job address: No. 31 Clyde Street, Croydon Park.
Property Owner/s: Mrs. Monique Apostle.
Report reference: CANTERBURY COUNCIL
Development Application No: not available
Date of assessment: 18th November 2016



Shows the front eastern elevation of the adjoining properties:
No.31 and No.29 Clyde Street, Croydon Park.

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This report is **not a guarantee** or an all-encompassing report dealing with the above property from every aspect. It is based on the condition of the property and the prevailing structural, soil and the weather conditions at the time of assessment. It is a reasonable attempt to identify any significant defects **visible** at the time of assessment.

This report, based on visual assessment, will not disclose defects in inaccessible areas; latent defects or defects which may be apparent in weather conditions that differ from those at the time of assessment.

22 November 2016

The Administrative & Scheduling Officer,
Cape Cod Australia Pty. Limited,
PO Box 2002,
NORTH PARRAMATTA. NSW 1750

Attention: Mr. Chris Koro.

Dear Sir,

Re: Dilapidation Report – No. 31 Clyde Street, Croydon Park.

We refer to your instructions in which you requested us to inspect and to prepare a dilapidation report on the above property as a requirement of the Development Application for the adjoining property (your client), **No. 29 Clyde Street, Croydon Park.**

We confirm that we assessed the property at 10:00 am on the 18th November 2016, in the presence of the owner Mrs. Monique Apostle.

SITE ASSESSMENT

The sole purpose of the report is to identify existing visible defects in the building to produce a photographic dilapidation report. During the inspection process no furniture or personal belongings were moved / shifted to gain access.

An extensive site assessment was carried out to assess the condition of the external and internal structure of the single storey attached residence prior to the construction of an upper floor addition to the rear of the adjoining attached property (your client), **No. 29 Clyde Street, Croydon Park.**

We confirm that our assessment was carried out without benefit of construction documents for this residence, **No. 31 Clyde Street, Croydon Park**, including the addition to the rear of the residence.

Observations and Notes Taken

The weather at the time of our assessment was fine.

General Description of the Property

It is situated on a slightly sloping site that falls across the site from north to south with an easterly facing frontal aspect.

We noted that the original full brick / brick cavity, attached single storey residence is approximately circa 1920 – 1930 and is supported on clay masonry brick footings.

We observed that there is clay brick common party wall with the adjoining property, No. 29 Clyde Street, Croydon Park. We further noted that the wall extends in the roof space to the underside of the rafters.

We noted that the *common* pitched roof is a traditional cut and pitched timber structure with terracotta roofing tiles to the front eastern, side northern and side southern aspects.

We further noted that the rear *common* pitched section is covered with corrugated profile sheet metal roofing.

We noted that the rear addition has a flat/skillion roof structure with corrugated profile sheet metal roofing.

ROOF SURFACES

Due to NSW Work Health and Safety [WHS] requirements, we confirm that we did not access the roof surfaces but observed the roof surfaces from ground level.

We observed that the terracotta roof tiles to the original roof surfaces are generally interlinked and securely bedded, in our opinion forming a weather resistant cover to the residence. **[Photograph 1]**

We also noted vegetation growth to the timber support posts of the front verandah and guttering system. **[Photograph 1]**

We noted that the corrugated profile sheet metal roofing to the rear addition roof surfaces is showing signs of deterioration and rust. **[Photograph 2]**

We noted that the surface water from the pitched section of the roof discharges directly onto the skillion roof section over the Dining room. **[Photograph 2]**

We also noted that the side flashing between the brick wall of rear addition of the adjoining property, No. 29 Clyde Street, Croydon Park and the metal skillion roof is generally intact and forming a weather resistant seal between the wall and the roof surface. **[Photograph 3]**

We further noted that the timber barge boards of rear addition of the adjoining property, No. 29 Clyde Street, Croydon Park were not surface coated. **[Photograph 3]**

UNDER FLOOR

We were unable to access the under-floor space due to construction methods.

EXTERNAL

General

We noted that the original residence external walls are constructed of clay masonry brickwork. We also noted that the external brick work is surface coated.

We noted that the extension is clad with surface coated weatherboards.

Front Eastern Elevation

We noted shrinkage cracking to concrete slab front pathway. **[Photograph 4]**

We noted that the front *common* boundary fence is of metal pool style construction. **[Photograph 4]**

We noted that the front gate latch was rusted and loose **[Photograph 5]**

We noted step cracking in the surface coated verandah wall **[Photograph 6]**

We noted that the checker board patterned tiles to the front verandah were generally sound with the grout complete. **[Photograph 7]**

We observed evidence of previous repairs and step cracking to the surface coated brickwork above the Bedroom 1 window. **[Photographs 8 & 9]**

We noted damage to the cover batten and gaps between the brick wall and ceiling lining in the north-western corner of the verandah. **[Photograph 10]**

We noted cracking and damage to the front door threshold step. **[Photograph 11]**

We did not observe any recent cracking to the surface coated clay masonry brickwork on the *common privacy* wall to the front entry.

Side Southern Elevation

We noted there is an attached timber framed carport with pan profiled sheet metal roofing to the front south eastern elevation. **[Photograph 12]**

We noted that the front eastern section is surface coated brickwork and the rear extension section is clad with weatherboards. **[Photograph 13]**

We noted cracking to the strip concrete driveway and vegetation growth through the cracks. **[Photographs 14 and 15]**

We noted displaced and fretting mortar along the brick footings. **[Photographs 16 and 17]**

We noted gaps between the surface coated brickwork and the weatherboard cladding. **[Photograph 18]**

We noted damage to the base of the surface coated weatherboards adjacent to the rear deck. **[Photograph 19]**

Rear Western Elevation

We noted that the rear of the residence has a timber framed deck structure with corrugated profile acrylic sheet roofing. **[Photograph 20]**

We noted that the rear western elevation is clad with weatherboards. **[Photograph 20]**

We noted damage to the bottom of the weatherboards adjacent to the rear door. **[Photograph 21]**

We noted that the rear common boundary fence is constructed of pan profile sheet metal. **[Photograph 22]**

We noted that there is a built-in void between the wall of the rear addition and the *common* boundary wall with the adjoining property, No. 29 Clyde Street, Croydon Park. **[Photograph 23]**

Sewerage / Drainage

We did not assess the condition of or the adequacy of the sewerage / waste water drainage system.

We noted that there was no evidence of surcharge or blockage to the sewerage/drainage service at the time of assessment.

Storm Water Drainage

We did not assess the condition of or the adequacy of the storm water drainage system.

ROOF STRUCTURE / SPACE

We observed that the common roof to the properties is of traditional cut and pitched timber construction.

We noted that there is no sarking provided to the underside of the roofing tiles. We further noted signs of general deterioration and efflorescence of the terracotta tiles **[Photograph 24]**

We observed that the roof and ceiling timbers that are accessible are generally in good condition. **[Photograph 24]**

We noted that the timber ceiling joists are built into the *common party* wall. We further noted that the common ridge to the roof is located over the *common party* wall.

We also noted that the clay brick *common party* wall extends to the underside of the rafters.

INTERNAL

We confirm that no personal belongings, such as bedding, wardrobes, furniture, paintings and the like were moved to assess the condition of the walls behind.

Entry / Hallway

We noted that the floor throughout was painted strip timber flooring and that the *common party / separation* wall with the adjoining property, No. 29 Clyde Street, Croydon Park was painted cement rendered brickwork. **[Photograph 25]**

We noted that a strip of hat / coat hooks was fixed to the *common party / separation* wall with the adjoining property, No. 29 Clyde Street, Croydon Park. **[Photograph 25]**

We noted radial cracking [$<1.0\text{mm}$] to the wall above the entry door head. **[Photograph 26]**

We noted gaps to the floor boards and between the skirting and the floor boards. **[Photograph 27]**

We did not observe any cracking to the decorative plaster ceiling or to the mitre joints in the decorative plaster cornice.

We did not observe any cracking to the cement rendered *common party / separation* wall with the adjoining property, No. 29 Clyde Street, Croydon Park.

Front Bedroom 1

We noted cracking to the decorative cornice joint in the north-eastern corner. **[Photograph 28]**

We noted radial cracking [$<1.0\text{mm}$] adjacent to the front verandah window. **[Photograph 29]**

We noted step cracking [$<1.0\text{mm}$] adjacent to the front verandah window. **[Photograph 30]**

We noted general separation cracking [$<1.0\text{mm}$] to the wall / cornice junction. **[Photograph 31]**

Bedroom 2

We noted staining to the decorative plaster ceiling lining adjacent to the southern wall. **[Photograph 32]**

We noted staining (water marks) to the southern wall and separation cracking [$<1.0\text{mm}$] to the wall / cornice junction. **[Photograph 33]**

We noted that the picture rail had been removed from the western wall and not repaired. **[Photograph 34]**

We noted that the picture rail and skirting board had been removed from the northern wall adjacent to the door and not repaired. **[Photographs 35 and 36]**

We noted staining to the decorative plaster ceiling lining in the centre of the room. **[Photograph 37]**

Lounge Room

We noted general cracking to the hearth tiles to the fireplace. **[Photograph 38]**

We did not observe any cracking to the cement rendered wall surfaces or to the decorative plaster ceiling or to the mitred joints in the decorative plaster cornice.

Dining Room

We noted radial cracking [$<1.0\text{mm}$] above the Kitchen doorway extending toward the *common party / separation* wall with the adjoining property, No. 29 Clyde Street, Croydon Park. **[Photograph 39]**

We noted evidence of a previous repair above the window head. **[Photograph 40]**

We noted areas of flaking / lifting paint to the south-western wall. This in our experience, is consistent with rising damp. **[Photographs 41, 42 & 43]**

Bathroom

We noted that the walls were timber lined and that there is a skylight installed in the splay ceiling.

We noted flaking paint to the door jamb on the right-hand side. **[Photograph 44]**

We did not observe any recent cracking to the ceramic wall tiles.

We noted that the grout to the wall and floor tiles is complete and that the wall and floor tiles when randomly “tap” tested appeared to be sound. We did not observe any recent cracking to the tile grout at the wall / wall, wall / floor junctions. **[Photograph 45]**

Kitchen

We noted horizontal cracking [$<1.0\text{mm}$] above the door head (opposite side to Photograph 38). **[Photograph 46]**

We observed that the painted cement rendered walls are tiled to splashback level. We noted that the grout to the tiles is complete and that the tiles when randomly “tap” tested appeared to be sound. **[Photograph 47]**

We noted that the ceiling is raked following the underside of the roof purlins. We did not observe any cracking to the plasterboard lined ceiling.

We noted cracking to the floor tiles adjacent to the step. **[Photograph 48]**

We observed that the floor is finished with ceramic tiles. We noted cracking and displaced grout to the Kitchen step. **[Photograph 49]**

We did not observe any cracking to the cement rendered wall surfaces and in particular to the *common party / separation* wall with the adjoining property, No. 29 Clyde Street, Croydon Park.

We noted cracked floor tiles and separation cracking [1.0mm - 3.0mm] to the wall / skirting junction adjacent to the external door. **[Photograph 50]**

We noted staining to the plaster ceiling lining above the *common party / separation* wall with the adjoining property, No. 29 Clyde Street, Croydon Park. **[Photograph 51]**

Laundry

We noted unrepaired holes in the wall lining from a removed bracket. **[Photograph 52]**

We noted mildew / mould growth to the cornice junction in the external south-western corner. **[Photograph 52]**

Opinion

In our opinion it is reasonable to suggest that the observed cracking in the property is not significant to cause impeded structural performance of the property. No large cracks [$>5.0\text{mm}$] were detected in the property.

From our experience and considering the geo technical characteristics of the site and the age of the property, it is also reasonable to suggest that after any repairs, there is a probability that further cracking may occur to the property.

Trusting these observations and information is of assistance in the matter.

Yours faithfully,



Mark Spindler,

for and behalf of
JONSPIN Building Services Pty. Ltd.

Attached: Photographic Survey – Photographs 1 - 52 inclusive

PHOTOGRAPHIC SURVEY



Photograph 1 shows the general condition of the front roof surface and the vegetation growth.



Photograph 2 shows the general condition of the rear sheet metal roof section.



Photograph 3 shows the side flashing between No.29 Clyde Street and the rear section of roof. Note: Timber barge boards not painted.



Photograph 4 shows cracking to the front pathway and the common boundary fence with the adjoining property, No.29 Clyde Street, Croydon Park.



Photograph 5 shows the rusted gate latch at the front boundary wall.



Photograph 6 shows step cracking to the verandah wall.



Photograph 7 shows the general condition of the front verandah tiled surface.



Photograph 8 shows step cracking and evidence of previous repairs to the front verandah wall above the Bedroom 1 window.



Photograph 9 shows step cracking to the front verandah wall above the Bedroom 1 window.



Photograph 10 shows damage to the cover batten and gaps between the brick wall and ceiling lining in the north-western corner of the verandah.



Photograph 11 shows damage to the front threshold step.



Photograph 12 shows the general condition of the carport structure.



Photograph 13 shows the general condition of the side southern elevation.



Photograph 14 shows cracking to the side concrete driveway and vegetation growth.



Photograph 15 shows cracking to the side concrete driveway and vegetation growth.



Photograph 16 shows displaced and fretting mortar along the brick footings along the side southern elevation.



Photograph 17 shows displaced and fretting mortar along the brick footings along the side southern elevation.



Photograph 18 shows gaps between the surface coated brickwork and the weatherboard cladding to the side southern elevation.



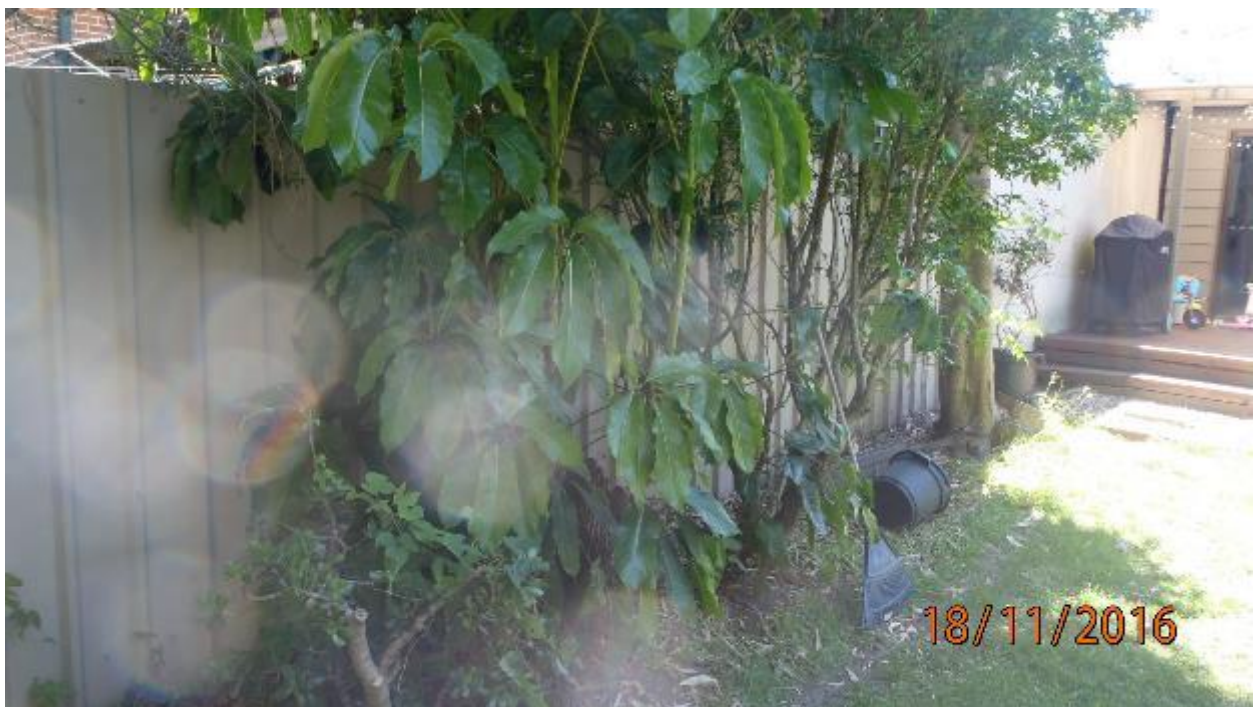
Photograph 19 shows damaged weatherboards to the rear south-western corner.



Photograph 20 shows the general condition of the rear western elevation of the residence.



Photograph 21 shows damage to the bottom of the weatherboards adjacent to the rear door.



Photograph 22 shows the general condition of the rear common boundary fence with the adjoining property, No.29 Clyde Street, Croydon Park.



Photograph 23 shows the void between the wall of the rear addition and the *common* boundary wall with the adjoining property, No. 29 Clyde Street, Croydon Park and the condition of the finish.



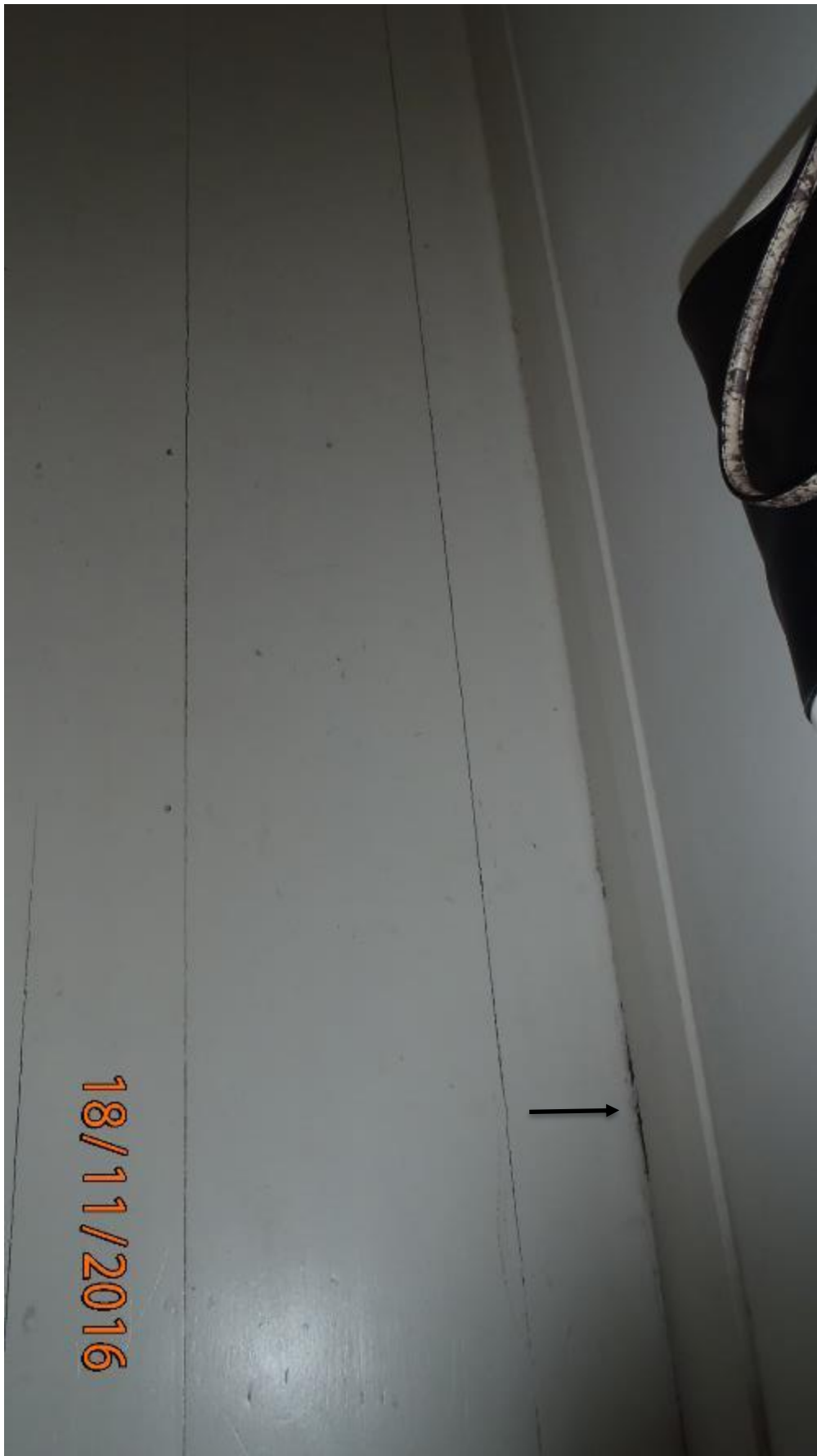
Photograph 24 shows the general condition of the roofing structure and underside of the roof tiles.



Photograph 25 shows the general condition of the painted strip timber flooring and the coat hooks installed on the *common party / separation* wall with the adjoining property, No. 29 Clyde Street, Croydon Park.



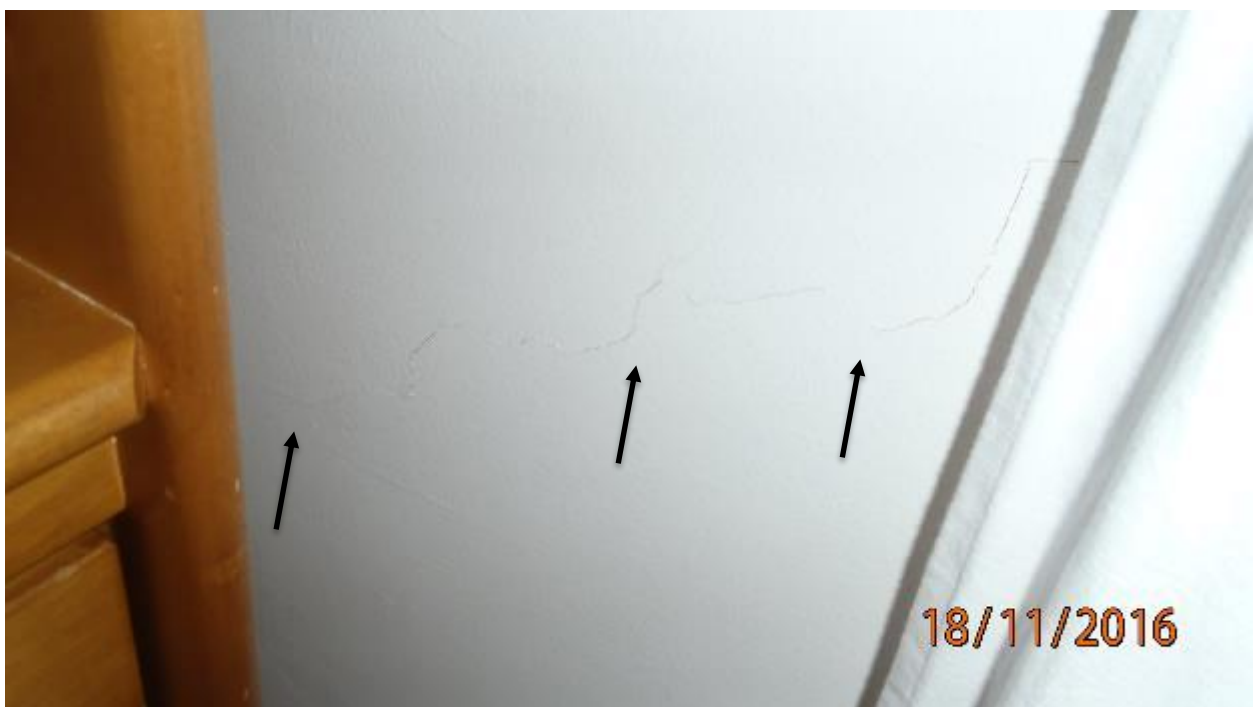
Photograph 26 shows radial cracking to the wall above the entry door head.



Photograph 27 shows gaps to the floor boards and between the skirting and the floor boards in the Hallway.



Photograph 28 shows cracking to the decorative cornice joint in the north-eastern corner of Bedroom 1.



Photograph 29 shows radial cracking adjacent to the front verandah window in Bedroom 1.



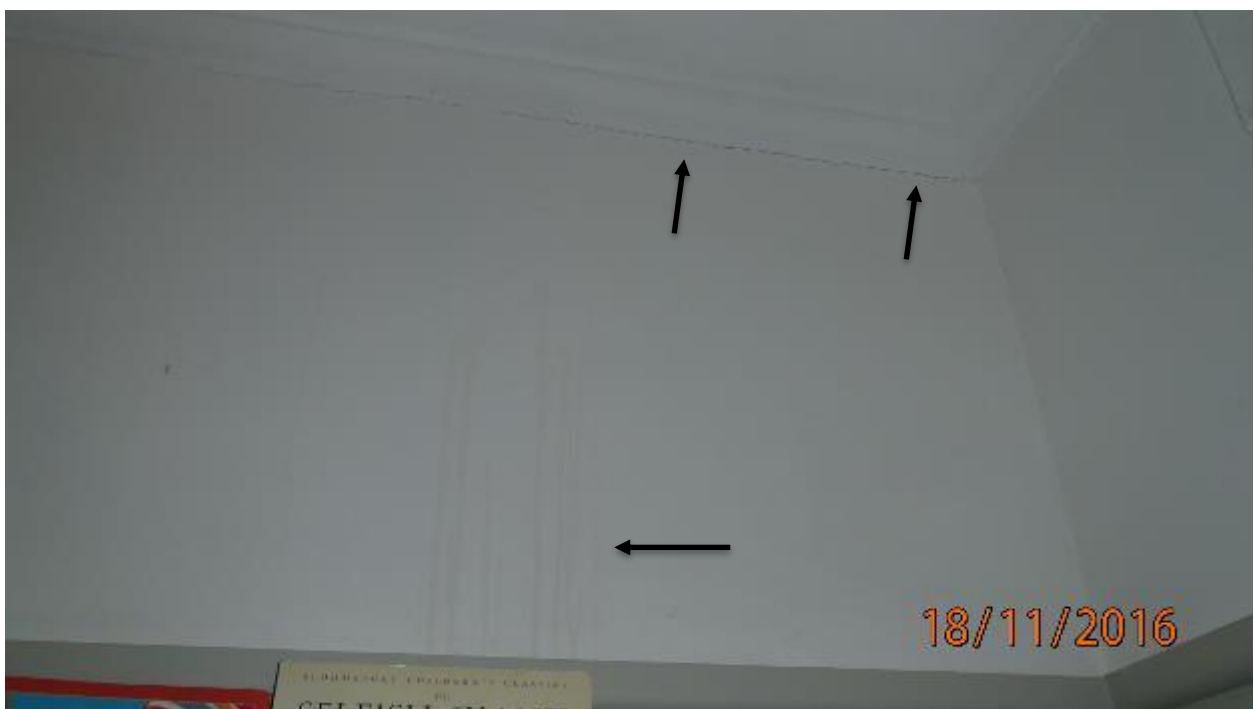
Photograph 30 shows step cracking adjacent to the front verandah window in Bedroom 1.



Photograph 31 shows general separation cracking to the wall / cornice junction in Bedroom 1.



Photograph 32 shows staining to the decorative plaster ceiling lining adjacent to the southern wall in Bedroom 2.



Photograph 33 shows staining (water marks) to the southern wall and separation cracking to the wall / cornice junction in Bedroom 2.



Photograph 34 shows that the picture rail had been removed from the western wall and not repaired in Bedroom 2.



Photograph 35 shows the skirting board had been removed from the northern wall adjacent to the door and not repaired in Bedroom 2.



Photograph 36 shows the picture rail and skirting board had been removed from the northern wall adjacent to the door and not repaired in Bedroom 2.



Photograph 37 shows staining to the decorative plaster ceiling lining in the centre of the room in Bedroom 2.



Photograph 38 shows the condition of the Lounge Room fireplace heart tiles.



Photograph 39 shows radial cracking above the Kitchen doorway extending toward the common party / separation wall with the adjoining property, No. 29 Clyde Street, Croydon Park.



Photograph 40 shows evidence of a previous repair above the window head in the Dining Room.



Photograph 41 shows flaking / lifting paint to the south-western wall in the Dining Room.



Photograph 42 shows flaking / lifting paint to the south-western wall in the Dining Room



Photograph 43 shows flaking / lifting paint to the south-western wall in the Dining Room



Photograph 44 shows flaking paint to the right-hand side door jamb in the Bathroom.



Photograph 45 shows the general layout of the bathroom.



Photograph 46 shows horizontal cracking above the door head (opposite side to Photograph 39).



Photograph 47 shows the general layout of the Kitchen.



Photograph 48 shows cracking to the floor tiles adjacent to the step in the Kitchen.



Photograph 49 shows cracking and displaced grout to the Kitchen step.



Photograph 50 shows cracked floor tiles and separation cracking to the wall / skirting junction adjacent to the rear external door in the Kitchen.



Photograph 51 shows staining to the plaster ceiling lining above the common party / separation wall with the adjoining property, No. 29 Clyde Street, Croydon Park in the Kitchen.



Photograph 52 shows unrepaired holes in the wall lining from a removed bracket and mildew / mould growth to the cornice junction in the external south-western corner.