

Dilapidation Assessment Report

Prepared for: Cape Cod Australia Pty. Limited
Job address: 362 Avoca Street, Kingsford.
Property Owner/s: Mrs. Gordana Poljak.
Report reference: **RANDWICK CITY COUNCIL**
Development Application No: not available
Date of assessment: 18th August 2016.



Shows the front eastern elevation of the adjoining properties:
No.362 and No.360 Avoca Street, Kingsford.

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This report is **not a guarantee** or an all-encompassing report dealing with the above property from every aspect. It is based on the condition of the property and the prevailing structural, soil and the weather conditions at the time of assessment. It is a reasonable attempt to identify any significant defects **visible** at the time of assessment.

This report, based on visual assessment, will not disclose defects in inaccessible areas; latent defects or defects which may be apparent in weather conditions that differ from those at the time of assessment.

20 August 2016

The Administrative & Scheduling Officer,
Cape Cod Australia Pty. Limited,
PO Box 2002,
NORTH PARRAMATTA. NSW 1750

Attention: Mr. Chris Koro,

Dear Sir,

Re: Dilapidation Report

We refer to your instructions in which you requested us to inspect and to prepare a dilapidation report on the above property as a requirement of the Development Application for the adjoining property (your client), No. 360 Avoca Street, Kingsford.

We confirm that we assessed the property on the 18th August 2016, with the attendance of your client Mrs. Caroline Durning and with the permission of the owner Mrs. Gordana Poljak.

SITE ASSESSMENT

An extensive site assessment was carried out so as to assess the condition of the external and internal structure of the single storey attached residence prior to the construction of a rear addition to the adjoining attached property (your client), No. 360 Avoca Street, Kingsford.

We confirm that our assessment was carried out without benefit of construction documents for this residence, No. 362 Avoca Street, Kingsford.

Observations and Notes Taken

The weather at the time of our assessment was fine.

General Description of the Property

It is situated on a slightly sloping site that falls from front to rear with an easterly facing frontal aspect.

We noted that the attached single storey residence is approximately circa 1920 – 1930 and is supported on brick footings and piers. We noted that the residence is a combination of full brick and brick veneer construction.

We observed that there is clay masonry brick *common party / separation* wall with the adjoining property, No. 360 Avoca Street, Kingsford.

We noted that the *common* hipped roof is a traditional cut and pitched timber structure with concrete roofing tiles and the ridge situated over the *common party / separation* wall. We further noted that the wall extends from below floor level to the underside of the rafters. We noted that the common party wall is supported below floor level on clay masonry brick footings. We noted that the rear section has a skillion roof with sheet metal roofing

ROOF SURFACES

Due to NSW Work Health and Safety [WHS] requirements, we confirm that we did not access the roof surfaces but observed the roof surfaces from ground level.

We observed that the concrete roof tiles to the roof surface are generally interlinked and securely bedded, in our opinion forming a weather resistant cover to the residence. **[Photograph 1]**

We are unable to determine the condition of, or the weather tightness of, the flashing between the common wall of rear skillion section additions and the sheet metal roof surface of the residence.

UNDER FLOOR

We noted that the original floor system is hardwood timber bearers and joists that are supported on clay masonry brick footings. **[Photograph 2]**

We also noted that there is a brick *common party* wall with the adjoining property; 360 Avoca Street, that extends to the floor level.

EXTERNAL

General

We noted that the external walls are constructed of clay masonry brickwork. We also noted that the external brick work is surface coated.

Front Eastern Elevation

We noted radial cracking to the front common boundary wall as seen from the footpath **[Photograph 3]**

We noted that the front northern aspect has a concreted driveway/car space and front path. We did not observe any cracking to the driveway surface **[Photograph 4]**

We noted that the common boundary fence line has a cement rendered brick garden bed built along its entirety with a pre-finished metal fence on the boundary **[Photograph 5]**

We observed that the front porch is of concrete slab construction and that the tessellated tiled surface has differential movement cracking **[Photographs 6 and 7]**

We noted a crack to the window glass at the far end of the front porch, We also noted a general deterioration of the surface coating to the timber trims, posts and windows. **[Photographs 8 and 9]**

We noted a gap between the security door jamb and the common privacy wall. **[Photograph 10]**

We noted damage to the front door threshold step. **[Photograph 11]**

We noted a gap between the electrical ducting and the cement rendered brickwork above the electrical meter board, located on the *common party / separation* wall with the adjoining property, No. 360 Avoca Street, Kingsford.

Side Southern Elevation

We noted that the side southern elevation external wall is surface coated clay masonry brickwork, we did not note any recent cracking to the external brickwork **[Photograph 12]**

We noted a chip to the brickwork where the security grill is attached to the Bathroom window. **[Photograph 13]**

We noted gaps between the side roofing flashing and the external surface coated brick wall. **[Photograph 13]**

We observed settlement cracking to the side concrete path and mildew growth on the path outside the Bathroom. **[Photograph 14]**

Rear Western Elevation

We observed that the rear of the premises has a timber deck structure with a pre-finished metal pergola that is covered with a combination of acrylic and pre-finished pan profiled sheet metal roofing. **[Photograph 15]**

We noted that the rear common boundary fence is of pre-finished metal post and rail construction with a lattice insert at the top. **[Photographs 16 and 17]**

Rear Side (Northern) Elevation

We noted that the side northern elevation (adjacent to adjoining property No. 360 Avoca Street, Kingsford), external wall is surface coated clay masonry brickwork, we did not note any recent cracking to the external brickwork **[Photograph 18]**

Sewerage / Drainage

We did not assess the condition of or the adequacy of the sewerage / waste water drainage system.

We noted that there was no evidence of surcharge or blockage to the sewerage/drainage service at the time of assessment.

Storm Water Drainage

We did not assess the condition of or the adequacy of the storm water drainage system.

ROOF STRUCTURE / SPACE

We were unable to access the roof space but observed an attic ladder hatch in the hallway.

INTERNAL

We confirm that no personal belongings, such as bedding, wardrobes, furniture, paintings and the like were moved to assess the condition of the walls behind.

Entry

We noted cracking to the door around the hinges of the front door [**Photograph 19**]

Hallway

We noted that there was a skylight built into the roof surface. We also noted hairline separation cracking [$<1.0\text{mm}$] to the cornice mitre joint and the square set joints inside the skylight. [**Photograph 20**]

We noted hairline separation cracking [$<1.0\text{mm}$] at the wall/cornice junction along *the common party / separation* wall with the adjoining property No. 360 Avoca Street, Kingsford. [**Photograph 21**]

We noted hairline separation cracking [$<1.0\text{mm}$] at the wall/cornice junction along *the common party / separation* wall with the adjoining property, adjacent to the hallway arch. [**Photograph 22**]

We noted hairline separation cracking [$<1.0\text{mm}$] at the wall/cornice junction along *the common party / separation* wall with the adjoining property, adjacent to the hallway arch. Opposite side to Photograph 22. [**Photograph 23**]

We noted evidence of a previous repair to the *common party / separation* wall outside Bedroom 2 [**Photograph 24**]

We noted hairline separation cracking [$<1.0\text{mm}$] at the wall/cornice junction along *the common party / separation* wall with the adjoining property, opposite the Laundry. [**Photograph 25**]

We did not observe any cracking to the *common* cement rendered walls with the adjoining property No. 360 Avoca Street, Kingsford

Front Bedroom 1

We noted hairline separation cracking [$<1.0\text{mm}$] at the wall/cornice junction in the north western corner adjacent to the door. We also noted radial cracking [$<1.0\text{mm}$] extending down towards the door head. [**Photograph 26**]

We noted hairline separation cracking [$<1.0\text{mm}$] at the wall/cornice junction in the south eastern corner extending along the wall. [**Photograph 27**]

We noted cracking to the soffit lining, hairline separation cracking [$<1.0\text{mm}$] at the wall/cornice junction and staining to the wall above the window. [**Photograph 28**]

We did not observe any cracking to the plaster ceiling or to the painted cement rendered walls.

Bedroom 2

We noted hairline separation cracking [$<1.0\text{mm}$] at the wall/cornice junction on the northern wall. [**Photograph 29**]

We did not observe any cracking to the plaster ceiling; the painted cement rendered walls, or to the mitre joints in the decorative profiled cornice.

Bedroom 3

We noted hairline separation cracking [$<1.0\text{mm}$] to the mitre joint in the decorative profiled cornice. We also noted separation cracking [$<1.0\text{mm}$] between the painted cement rendered wall and the plasterboard lined wall in the north eastern corner. **[Photograph 30]**

We noted separation cracking [$<1.0\text{mm}$] to the wall/skirting junction and flaking paint to the southern external wall. **[Photograph 31]**

We noted radial cracking [$<1.0\text{mm}$] extending from the window head to the wall vent. **[Photograph 32]**

We noted hairline separation cracking [$<1.0\text{mm}$] at the wall/cornice junction in the south western corner. **[Photograph 33]**

We noted hairline separation cracking [$<1.0\text{mm}$] to the right hand side of the window. **[Photograph 34]**

We noted radial cracking [$<1.0\text{mm}$] extending from the right hand side window sill toward the floor. **[Photograph 35]**

Ensuite

We did not observe any cracking to the plaster ceiling or to the square set wall cornice junction.

We noted that the walls were tiled floor to ceiling and did not observe any recent cracking to the ceramic wall tiles.

We noted that the grout to the wall and floor tiles is complete and that the wall and floor tiles when randomly “tap” tested appeared to be sound. We did not observe any recent cracking to the tile grout at the wall / wall, wall / floor junctions. **[Photographs 36 and 37]**

Bathroom

We noted a previous repair to the ceiling adjacent to the light fitting **[Photograph 38]**

We did not observe any cracking to the plaster ceiling or to the square set wall cornice junction.

We noted that the walls were tiled floor to ceiling and did not observe any recent cracking to the ceramic wall tiles.

We noted that the grout to the wall and floor tiles is complete and that the wall and floor tiles when randomly “tap” tested appeared to be sound. We did not observe any recent cracking to the tile grout at the wall / wall, wall / floor junctions. **[Photographs 39 and 40]**

Kitchen

We observed that the kitchen was of open plan design with an island bench separating it from the lounge room. We also noted two large rectangular shaped skylights in the ceiling.

We noted evidence of a previous repair and separation cracking [$<1.0\text{mm}$] outside the Kitchen in the hallway **[Photograph 41]**

We noted separation cracking to the shadow cornice junction in the north eastern corner **[Photograph 42]**

We did not observe any cracking to the plasterboard ceiling or to the plaster board walls.

Lounge Room

We noted general separation cracking to the shadow cornice between the ceiling and wall junctions
[Photograph 43]

We noted hairline vertical cracking [$<1.0\text{mm}$] to the plasterboard lined wall extending from the window head to the ceiling at the eastern window **[Photograph 44]**

We noted hairline vertical cracking [$<1.0\text{mm}$] to the plasterboard lined wall extending from the window head to the ceiling at the western window **[Photograph 45]**

Opinion

In our opinion it is reasonable to suggest that the observed cracking in the property is not significant to cause impeded structural performance of the property. No large cracks [$>5.0\text{mm}$] were detected in the property.

From our experience and considering the geotechnical characteristics of the site and the age of the property, it is also reasonable to suggest that after any repairs, there is a probability that further cracking may occur to the property.

Trusting these observations and information is of assistance in the matter.

Yours faithfully,



Mark Spindler,

for and behalf of
JONSPIN Building Services Pty. Ltd.

Attached: Photographic Survey – Photographs 1 - 45 inclusive

PHOTOGRAPHIC SURVEY



Photograph 1 shows the condition of the concrete roof tiles to the common roof.



Photograph 2 shows the common party / separation wall under the floor space and the construction method used.



Photograph 3 shows cracking to the front boundary wall.



Photograph 4 shows the front driveway and path.



Photograph 5 shows the common boundary fence and garden bed.



Photograph 6 shows the cracking to the tessellated front porch tiles.



Photograph 7 shows another view of the cracking to the tessellated front porch tiles.



Photograph 8 shows the cracked window glass and the condition of the painted surfaces.



Photograph 9 shows the condition of the painted surface to the front porch support post.



Photograph 10 shows the gap adjacent to the front security door.



Photograph 11 shows damage to the front threshold step.



Photograph 12 shows the general condition of the southern elevation.



Photograph 13 shows the gap between the roof flashing and external wall and chip/broken brickwork.



Photograph 14 shows a crack to the concrete pathway at the southern side and mildew growth.



Photograph 15 shows the general condition of the rear western elevation.



Photograph 16 shows the condition of the common boundary fence with the adjoining property 360 Avoca Street, Kingsford.



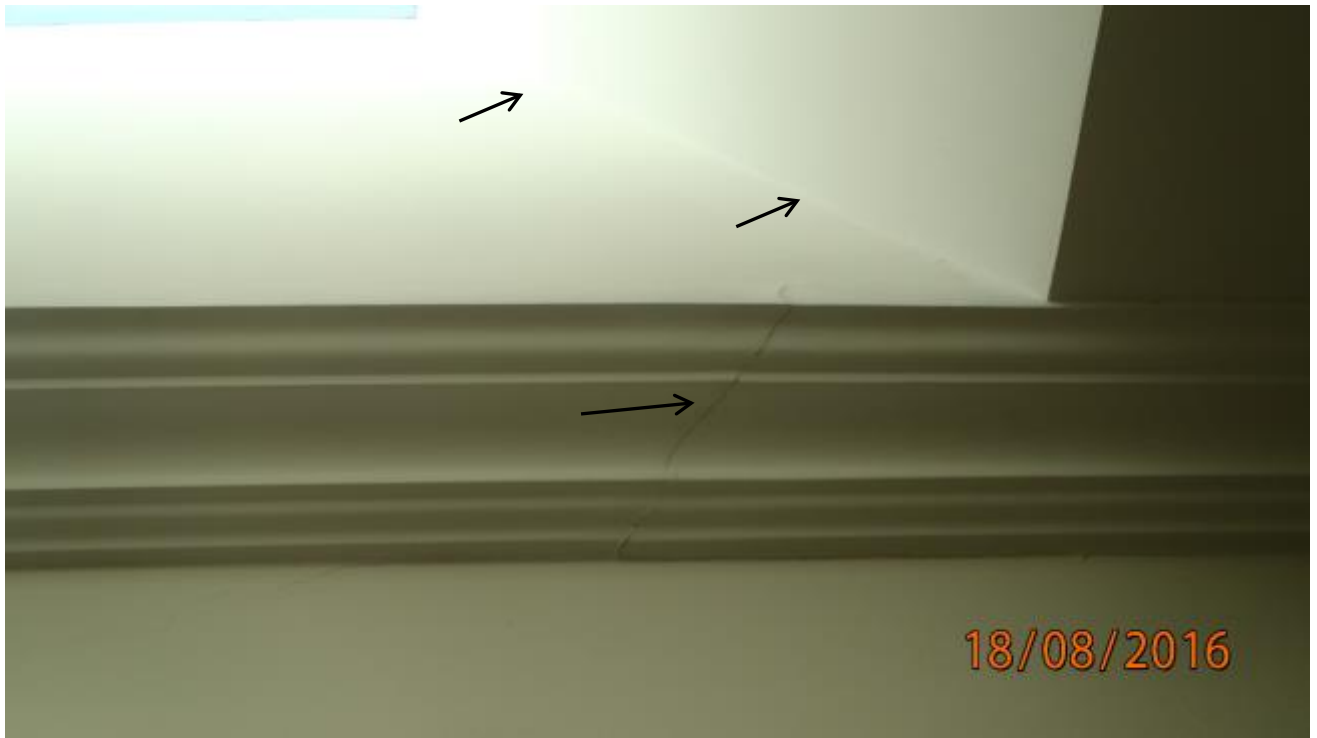
Photograph 17 shows another view of the common boundary fence with the adjoining property 360 Avoca Street, Kingsford.



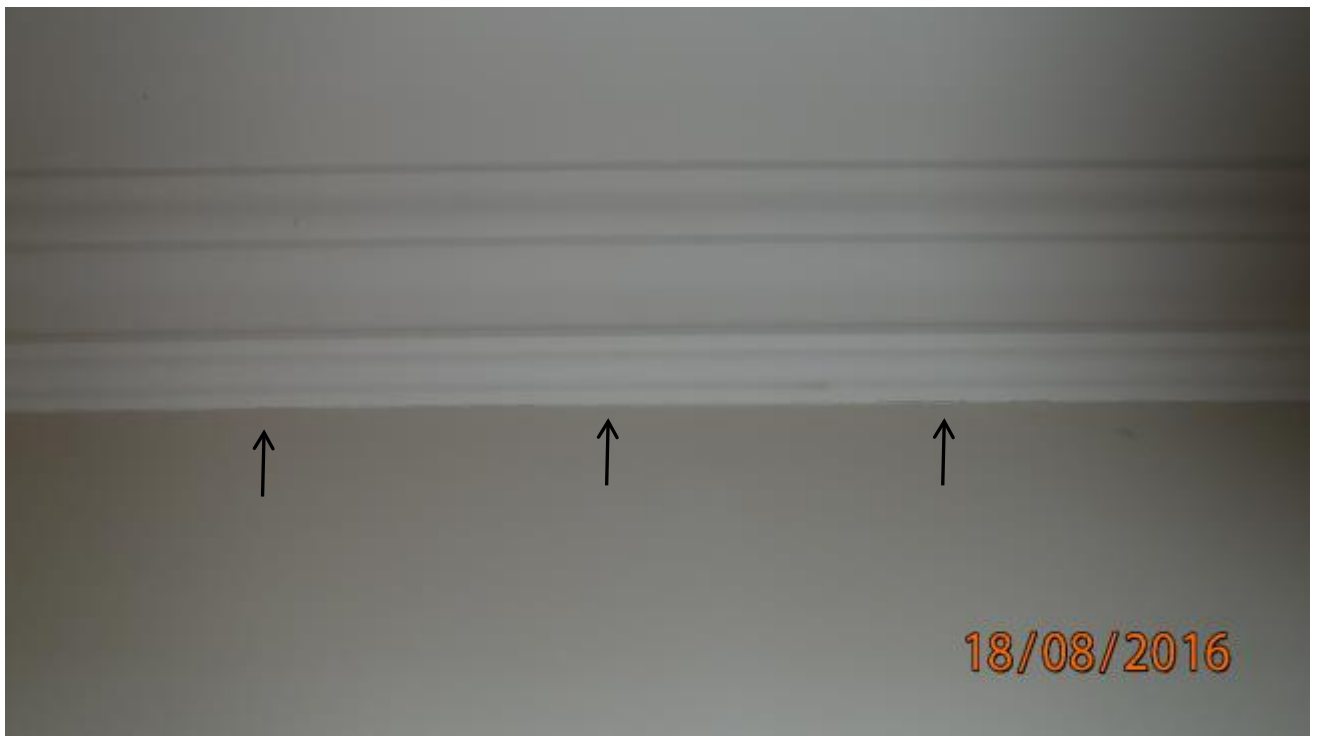
Photograph 18 shows the general condition of the northern elevation external wall.



Photograph 19 shows cracking to the wall around the door hinges of the front door.



Photograph 20 shows cracking to the cornice joint and inside skylight.



Photograph 21 shows cracking to the wall / cornice junction in the Hallway



Photograph 22 shows cracking to the wall / cornice junction adjacent to the hallway arch.



Photograph 23 shows cracking to the wall / cornice junction adjacent to the hallway arch (other side of the arch to Photograph 22).



Photograph 24 shows evidence of a previous repair to the common party / separation wall outside Bedroom 2.



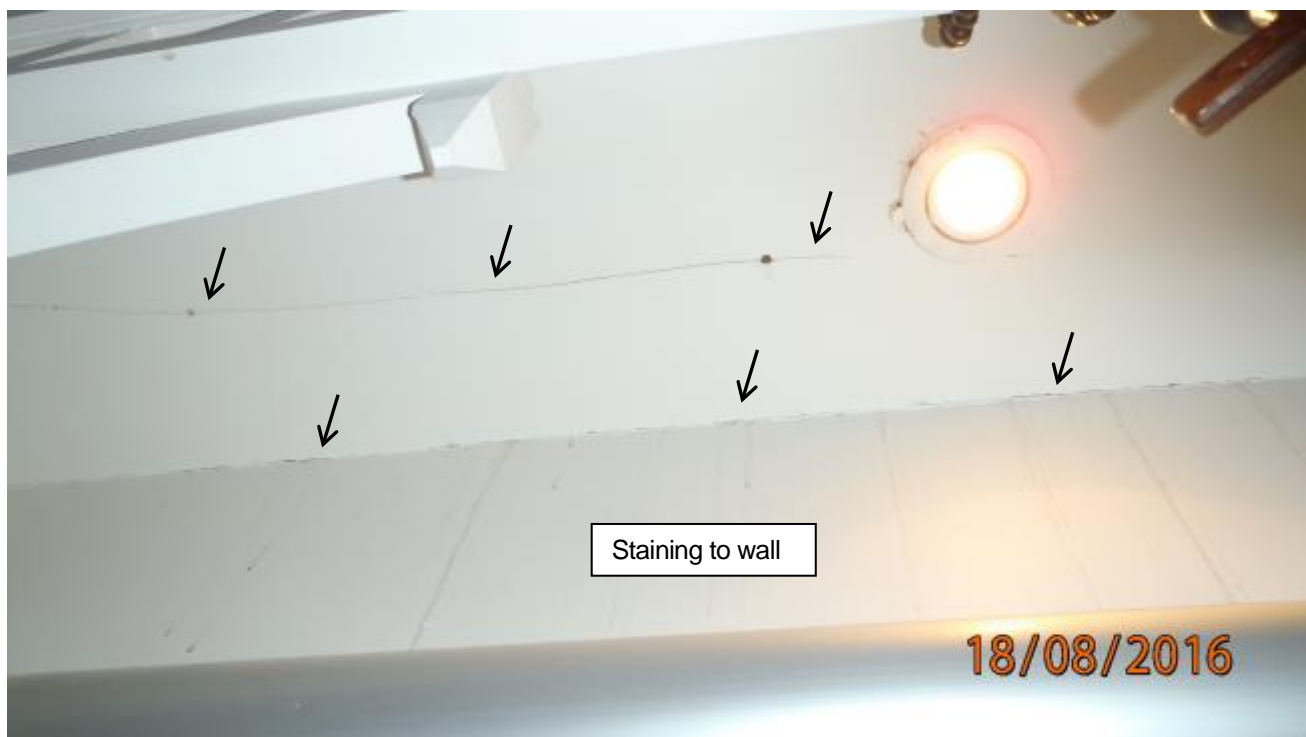
Photograph 25 shows cracking to the wall / cornice junction outside the Laundry.



Photograph 26 shows cracking to the wall / cornice junction extending down toward the door in Bedroom 1.



Photograph 27 shows cracking at the wall/cornice junction in the south eastern corner extending along the wall in Bedroom 1.



Photograph 28 shows cracking to the soffit lining, separation cracking at the wall/cornice junction and staining to the wall above the window in Bedroom 1.



Photograph 29 shows cracking to the wall / cornice junction in Bedroom 2.



Photograph 30 shows cracking to the mitre joint in the cornice and vertical cracking at the wall / wall junction in Bedroom 3.



Photograph 31 shows cracking to the wall/skirting junction and flaking paint to the southern external wall in Bedroom 3.



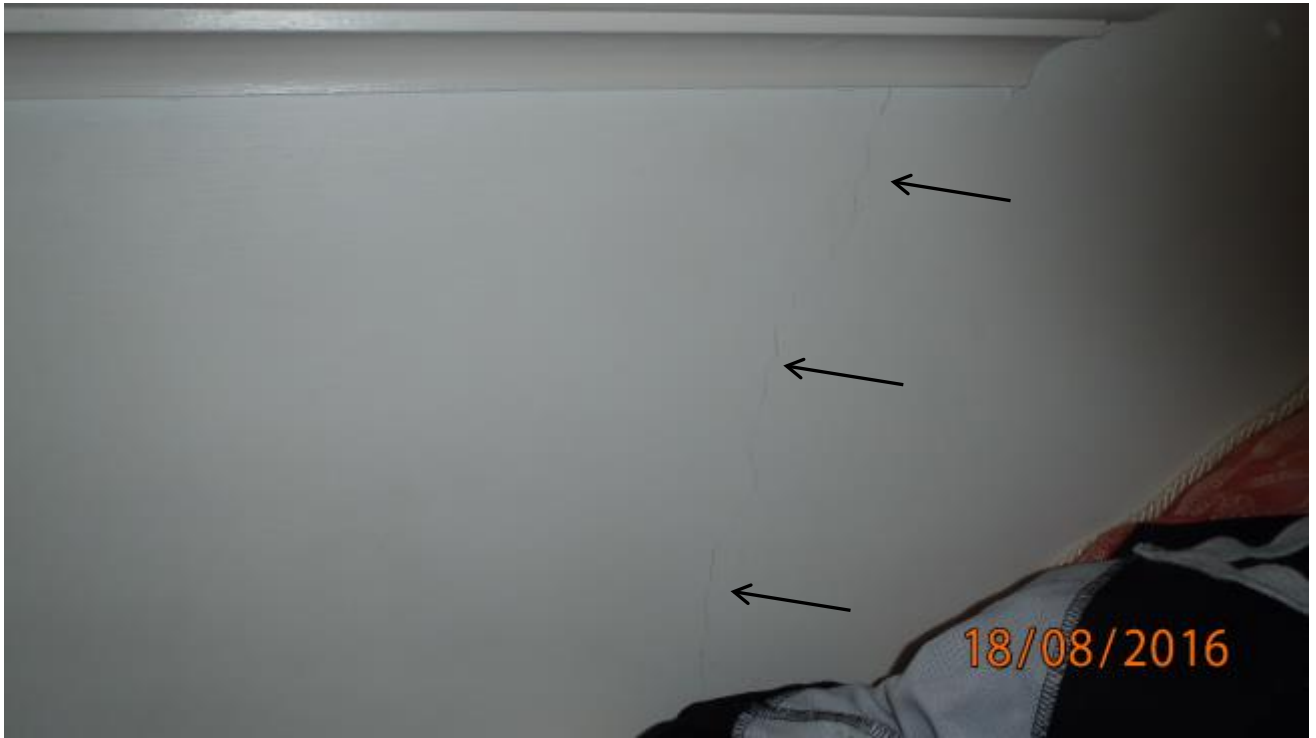
Photograph 32 shows radial cracking extending from the window head to the wall vent in Bedroom 3



Photograph 33 shows cracking at the wall/cornice junction in the south western corner in Bedroom 3.



Photograph 34 shows separation cracking to the right hand side of the window in Bedroom 3.



Photograph 35 shows a radial crack extending from the right hand side window sill toward the floor in Bedroom 3.



Photograph 36 shows the general condition of the ensuite shower.



Photograph 37 shows the general condition of the ensuite cabinet.



Photograph 38 shows a previous repair to the ceiling adjacent to the light fitting in the Bathroom.



Photograph 39 shows the general condition of the Bathroom shower.



Photograph 40 shows the general condition of the Bath.



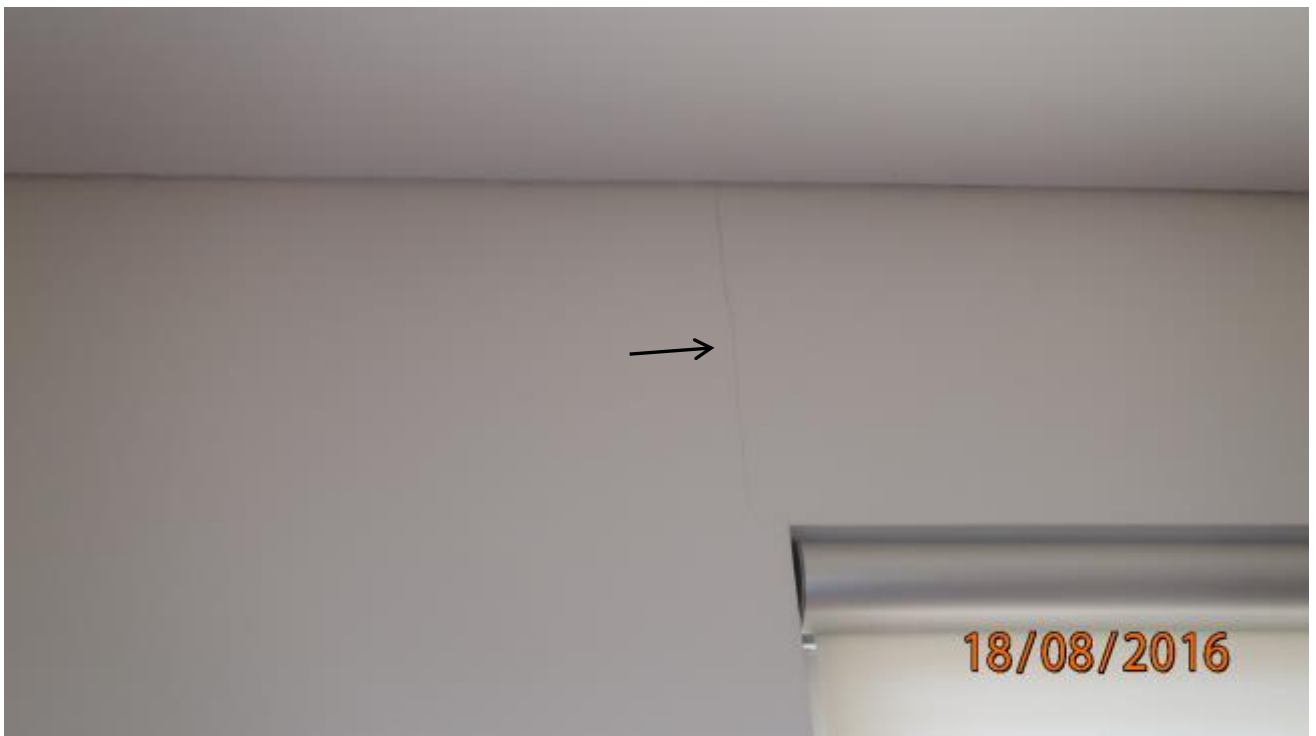
Photograph 41 shows evidence of a previous repair and separation cracking outside the Kitchen in the hallway.



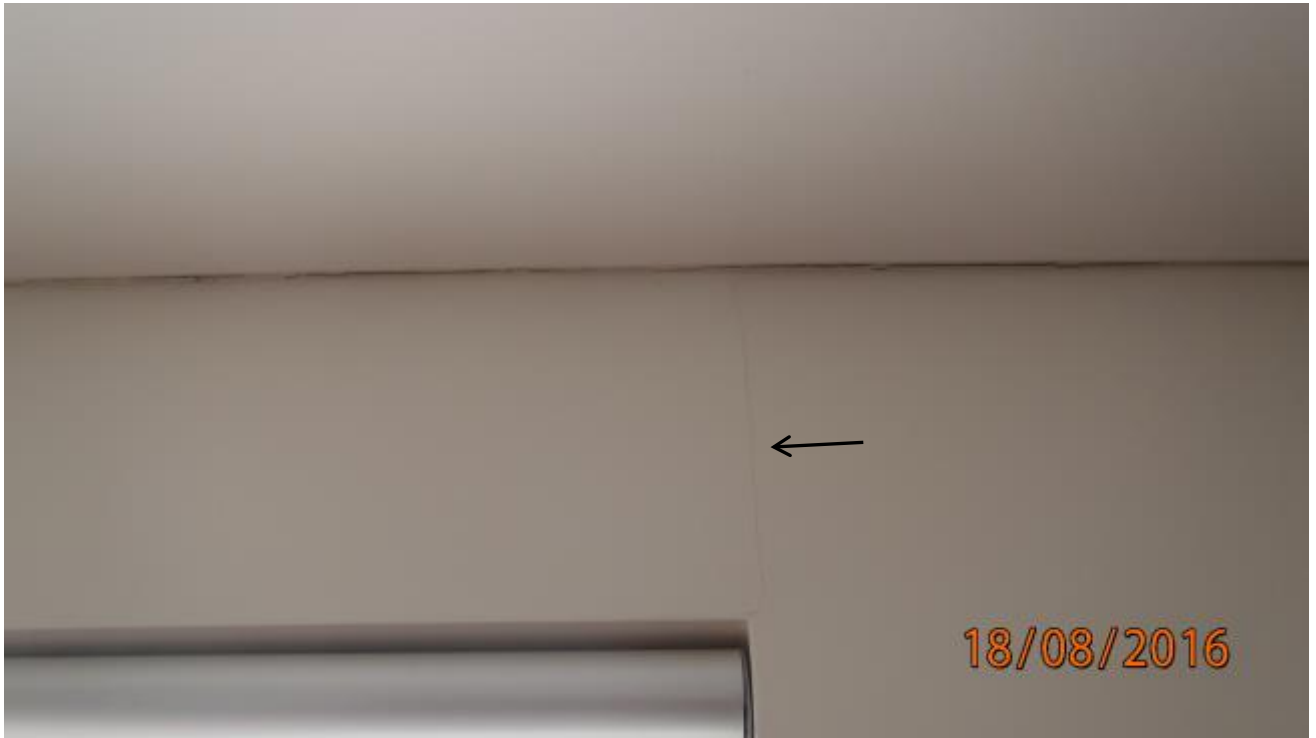
Photograph 42 shows separation cracking to the shadow cornice junction in the north eastern corner of the Kitchen.



Photograph 43 shows an example of general separation cracking to the shadow cornice junction in the Lounge Room.



Photograph 44 shows vertical cracking to the plasterboard lined wall extending from the window head to the ceiling at the eastern window in the Lounge room.



Photograph 45 shows vertical cracking to the plasterboard lined wall extending from the window head to the ceiling at the western window in the Lounge room.