

## Dilapidation Assessment Report

Prepared for: Cape Cod Australia Pty. Limited  
Job address: 72 Oberon Street, Randwick NSW 2031  
Property Owner/s: Mrs. Julian  
Report reference: **RANDWICK CITY COUNCIL**  
Development Application No: not available  
Date of assessment: 28<sup>th</sup> January 2016



Shows the front northern elevation of the adjoining properties:  
No. 70 and No. 72 Oberon Street, Randwick

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This report is **not a guarantee** or an all-encompassing report dealing with the above property from every aspect. It is based on the condition of the property and the prevailing structural, soil and the weather conditions at the time of assessment. It is a reasonable attempt to identify any significant defects **visible** at the time of assessment.

This report, based on visual assessment, will not disclose defects in inaccessible areas; latent defects or defects which may be apparent in weather conditions that differ from those at the time of assessment.

4 February 2016

The Administrative & Scheduling Officer,  
Cape Cod Australia Pty. Limited,  
PO Box 2002,  
NORTH PARRAMATTA. NSW 1750

Attention: Mr. Chris Koro

Dear Sir,

**Re: Dilapidation Report - No. 72 Oberon Street, Randwick**

We refer to your instructions in which you requested us to inspect and to prepare a dilapidation report on the above property as a requirement of the Development Application for the adjoining property (your client), **No. 70 Oberon Street, Randwick**.

We confirm that we assessed the property at 12.00am on the 28<sup>th</sup> January 2016, in the presence of and with the permission of the property Owner; Mrs. Julian.

We were informed by the property Owner; Mrs. Julian that the original terra cotta roofing tiles were replaced in 2010 with new terra cotta roofing tiles.

**SITE ASSESSMENT**

The sole purpose of the report is to identify existing visible defects in the building to produce a photographic dilapidation report. During the inspection process no furniture or personal belongings were moved / shifted to gain access.

An extensive site assessment was carried out so as to assess the condition of the external and internal structure of the single storey attached residence prior to the construction of an upper floor addition to the adjoining attached property (your client), **No. 70 Oberon Street, Randwick**.

We confirm that our assessment was carried out without benefit of construction documents for this residence, **No. 72 Oberon Street, Randwick**, including the addition to the rear of the residence.

**Observations and Notes Taken**

The weather at the time of our assessment was fine following rain periods.

**General Description of the Property**

It is situated on a slightly sloping site that falls from front to rear and across the site from east to west with a northerly facing frontal aspect.

We noted that the full brick / brick cavity, attached single storey residence is approximately circa 1910 - 1920 and is supported on clay brick footings. The rear addition is framed construction with a suspended timber floor system.

We observed that there is clay brick *common separating / party* wall with the adjoining property, No. 70 Oberon Street. We further noted that the wall extends from below floor level and terminates

just below the roof covering. We noted that the *common separating / party* wall is supported below floor level on clay brick footings.

We noted that the *common* roof is a traditional cut and pitched timber structure with proprietary pressed metal roofing tiles.

## **ROOF SURFACES**

Due to NSW Work Health and Safety [WHS] requirements, we confirm that we did not access the roof surfaces but observed the roof surfaces from ground level.

We noted that the terra cotta roofing tiles appear to be in good condition and appears to be securely fixed, in our opinion forming a weather resistant cover to the property. **[Photograph 1]**

We noted that the corrugated profile sheet metal roofing to the rear skillion roof surfaces in good condition and appears to be securely fixed, in our opinion forming a weather resistant cover to the property

## **UNDER FLOOR**

We also noted that there are areas of dampness [ground water seepage] in the under floor area including along the *common separating / party* wall with the adjoining property, No. 70 Oberon Street. **[Photographs 2, 3 and 4]**

We noted that the floor system is hardwood timber bearers and joists and strip timber flooring and that there is a brick *common separating / party* wall with the adjoining property, No. 70 Oberon Street that extends to floor level. **[Photograph 3]**

We are unable to provide comment on the structural adequacy of the brick footings supporting the *common party / separation* wall.

We noted that there is no evidence of termite protection to the structural timbers built into or supported upon the base brickwork. **[Photograph 3]**

We noted that the structural floor timbers are supported by clay brick piers. **[Photographs 2 and 3]**

## **EXTERNAL**

### **General**

We noted that the walls are constructed of clay masonry brickwork.

### **Front Courtyard**

We noted that the area is partially covered with quarry tiles. We did not observe any recent cracking to the tiles.

We noted that the grout to the tiles is complete and that the tiles when randomly "tap" tested were sound. Due to concealment we are unable to comment on the base strata to the tiles. **[Photograph 5]**

### **Front Northern Elevation**

We did not observe any recent cracking to the surface coated cement rendered clay masonry brickwork particularly at the junction between the properties.

We noted that the front verandah is finished with quarry tiles. We did not observe any recent cracking to the tiles.

We noted that the grout to the tiles is complete and that the tiles when randomly “tap” tested were sound. Due to concealment we are unable to comment on the base strata to the tiles.

We noted that there is an area of peeling / lifting surface coating [paint] from the verandah soffit. **[Photograph 6]**

#### Eastern Elevation

We did not observe any recent cracking to the cement render masonry brickwork.

We previous repairs to the cement render finish abutting the exposed pipework. **[Photograph 7]**

We noted dampness and lichen growth to the surface of the pavement between the residence and the western *common boundary* with the adjoining property, No. 74 Oberon Street. **[Photograph 8]**

#### Rear Southern Elevation

We noted that the timber decking structure and surface coating to the clad wall surfaces is generally in sound condition. **[Photographs 9 and 10]**

#### Sewerage / Drainage

We did not assess the condition of or the adequacy of the sewerage / waste water drainage system.

We noted that there was no evidence of surcharge or blockage to the sewerage/drainage service at the time of assessment.

#### Storm Water Drainage

We did not assess the condition of or the adequacy of the storm water drainage system.

### **ROOF STRUCTURE / SPACE**

We confirm that we did not access the roof space. Based on our observations from the adjoining No. 70 Oberon Street, we noted that the;

*“common roof to the properties is of traditional cut and pitched timber construction”.* **[Photographs 11, 12 and 13]**

*“timber ceiling joists are built into the common party/ separation wall. We further noted that the common ridge to the roof is located over the common party/ separation wall. [Photographs 11, 12 and 13]*

*“clay brick common separating / party wall and terminates just below the roof covering.”* **[Photographs 11, 12 and 13]**

Based on our internal assessment of this property, in our opinion it is reasonable to suggest that the roof and ceiling frame timbers have performed adequately over the life of the property as there was no indication that the roof or ceiling has significant deflection.

### **INTERNAL**

We confirm that no personal belongings, such as bedding, wardrobes, furniture, paintings and the like were moved to assess the condition of the walls behind.

### Entry / Hallway

We noted that the eastern wall of the Entry / Hallway is the *common party / separation* wall with the adjoining property, No. 70 Oberon Street.

We noted that the floor is finished with ceramic tiles. We noted that the grout to the tiles is generally complete and that the tiles when randomly “tap” tested appeared to be sound. Notwithstanding this we noted a hairline crack and displaced grout the tiles at the front entry doorway. **[Photograph 14]**

We noted that the wall surfaces below picture rail height and particularly the *common party / separation* wall are covered with wall paper. **[Photograph 15]**

We did not observe any recent noticeable cracking to the surface coated cement rendered wall surfaces particularly along the *common party / separation* wall.

We noted a hairline crack [ $<1.0\text{mm}$ ] to the set joint in the ceiling in the immediate vicinity of the timber arch frieze. **[Photograph 16]**

We also noted previous repairs to the mitre joints to the cove profile cornice in the immediate vicinity of the arch including abutting the *common party / separation* wall. **[Photographs 17 and 18]**

### Front Bedroom 1

We noted that the wall surfaces below picture rail height are covered with wall paper.

We did not observe any cracking to the surface coated cement rendered wall surfaces or to the plasterboard ceiling or to the mitred joints in the cove profile plaster cornice.

### Bedroom 2

We noted that the wall surfaces below picture rail height are covered with wall paper.

We did not observe any cracking to the surface coated cement rendered wall surfaces or to the plasterboard ceiling or to the mitred joints in the cove profile plaster cornice.

### Lounge room

We noted that the eastern wall of the room is the *common party / separation* wall with the adjoining property, No. 70 Oberon Street.

We noted that the wall surfaces below picture rail height and particularly the *common party / separation* wall are covered with wall paper.

We did not observe any recent noticeable cracking to the surface coated cement rendered wall surfaces particularly along the *common party / separation* wall.

We a previously repaired section of ceiling [nominal 600mm x 600mm] abutting the *common party / separation* wall. **[Photograph 19]**

We did not observe any cracking to the plaster ceiling or to the mitred joints in the cove profile plaster cornice.

### Dining room

We noted that the eastern wall of the room is the *common party / separation* wall with the adjoining property, No. 70 Oberon Street.

We noted that the *common party / separation* wall is fully concealed by a built cupboard. We also noted that the wall surfaces below picture rail height are covered with wall paper. **[Photograph 20]**

We did not observe any cracking to the surface coated cement rendered wall surfaces or to the plaster ceiling or to the mitred joints in the cove profile plaster cornice.

#### Kitchen / Meals

We noted that the eastern wall of the room is the *common party / separation* wall with the adjoining property, No. 70 Oberon Street.

We noted that the *common party / separation* wall is partially concealed by wall mounted cupboards. **[Photograph 21]**

We observed that the floor is finished with cork tiles. We noted that tiles appeared to be well adhered to the flooring.

We noted that the ceiling is raked following the underside of the rafters. We did not observe any cracking to the plasterboard ceiling.

We did not observe any cracking to the cove profile plaster cornices and particularly to the *common party / separation* wall with the adjoining property, No. 70 Oberon Street.

#### Bathroom / WC

We noted that the wall tiles are to 1.8m in shower recess and with skirting tiles to other areas. We did not observe any recent cracking to the tiles.

We noted that the grout to the wall and floor tiles is complete and that the wall and floor tiles when randomly "tap" tested appeared to be sound. We did not observe any recent cracking to the tile grout at the wall / wall, wall / floor junctions. **[Photograph 22]**

We did not observe any cracking to the plasterboard ceiling or to the cove profile plaster cornices.

#### Opinion

In our opinion it is reasonable to suggest that the observed cracking in the property is not significant to cause impeded structural performance of the property. We did not detect and large cracks [ $>5.0\text{mm}$ ] in the property.

From our experience and considering the geo technical characteristics of the site and the age of the property, it is also reasonable to suggest that after any repairs, there is a probability that further cracking may occur to the property.

Trusting these observations and information is of assistance in the matter.

Yours faithfully,



**John Spindler,**

for and behalf of  
**JONSPIN Building Services Pty. Ltd.**

Attached: Photographic Survey – Photographs 1 - 22 inclusive

## PHOTOGRAPHIC SURVEY



**Photograph 1** shows the junction of the front elevation roof surfaces



**Photograph 2** shows rising dampness to the base of the common party / separation wall brickwork



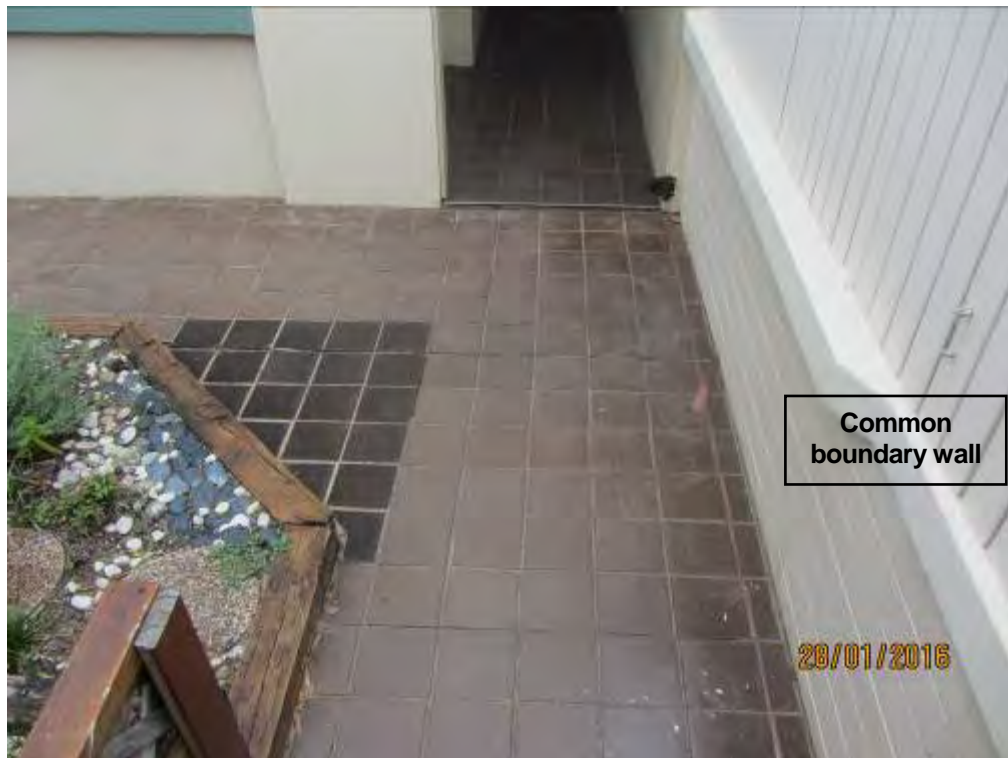


**Photograph 3** shows the underfloor area – Note: dampness to the soil and rising dampness to the base of the brickwork



**Photograph 4** shows dampness to the underfloor area including the base brickwork





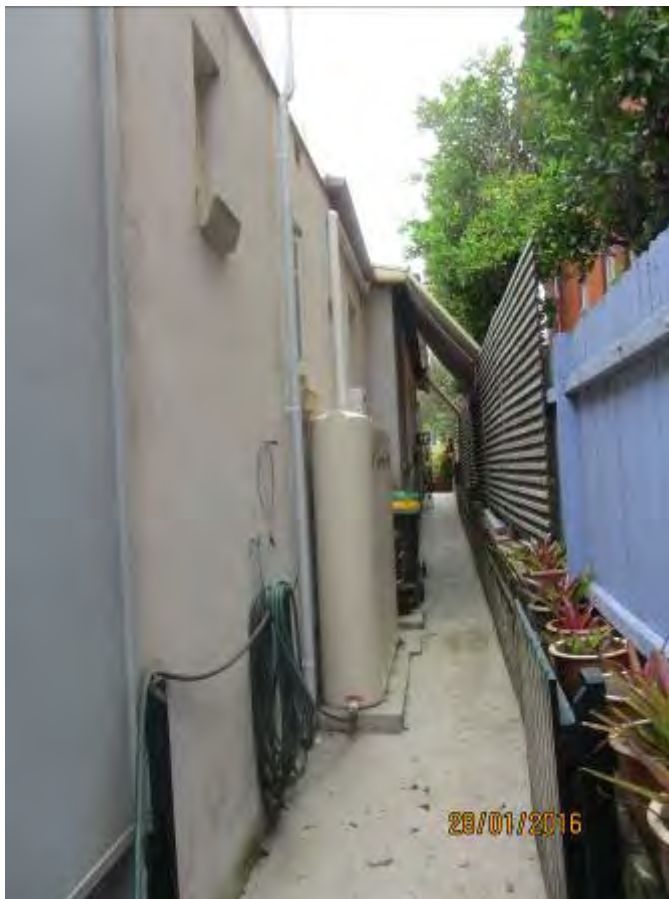
**Photograph 5** shows the condition of the quarry tile to the front garden / courtyard area



**Photograph 6** shows the front Verandah - Note: peeling / lifting of the surface coating from the soffit



**Photograph 7** shows previous repairs to the cement render to the eastern elevation



**Photograph 8** shows the eastern elevation of the residence viewed from the rear [south] towards the front



**Photograph 9** shows the rear elevation addition to the property



**Photograph 10** shows the rear elevation junction between the properties





**Photograph 11** shows the brick *common party / separation* wall within the roof space of the adjoining property; No. 70 Oberon Street



**Photograph 12** shows the roof timber joining over the brick *common party / separation* wall within the roof space of the adjoining property; No. 70 Oberon Street



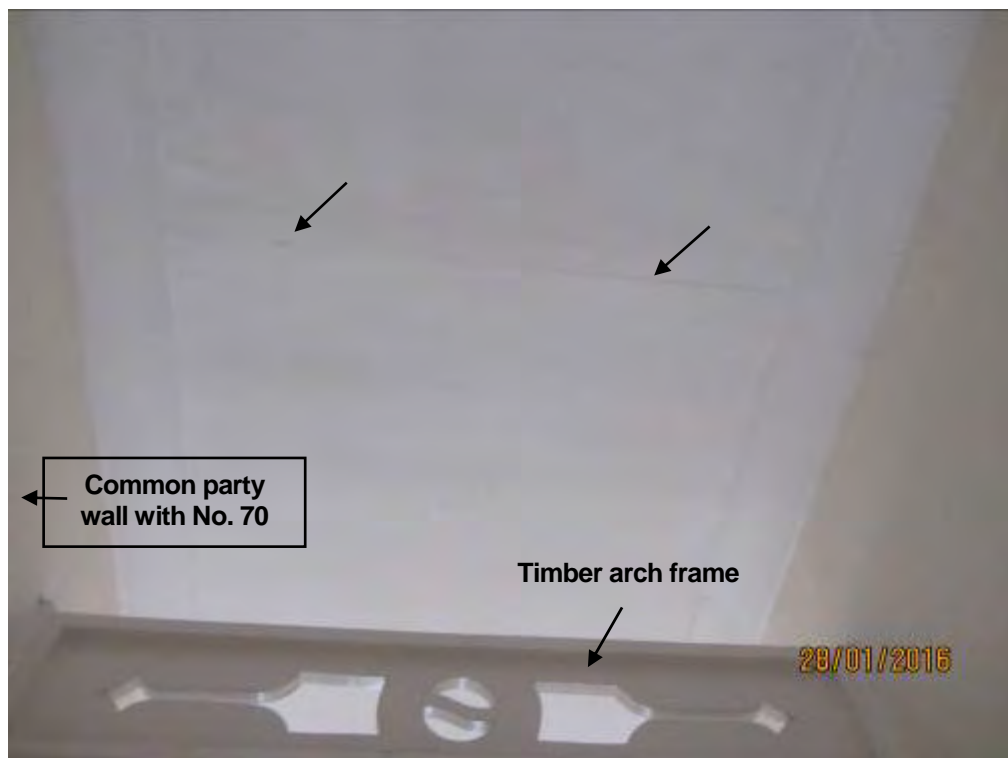
**Photograph 13** shows the brick *common party /separation wall* and the corrugated sheet metal to the skillion roof surface within the roof space of the adjoining property; No. 70 Oberon Street



**Photograph 14** shows cracking missing / displaced grout from the floor tiles at the front / entry

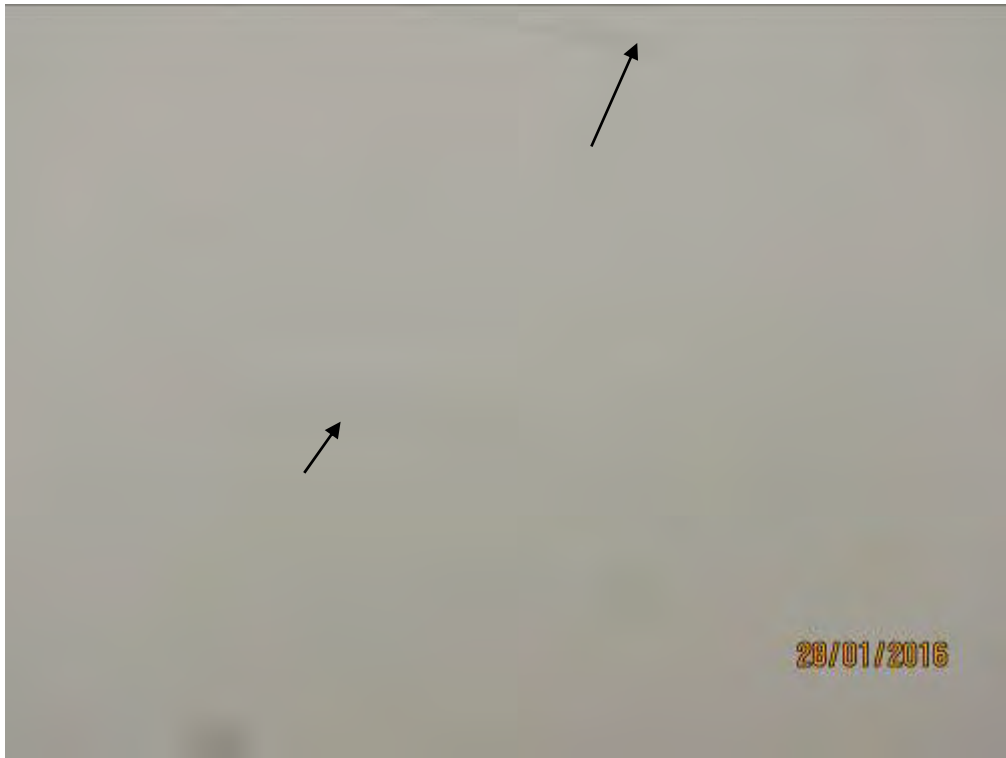


**Photograph 15** shows the Entry / Hallway viewed towards the Lounge room – Note: wallpaper from the floor level to the picture rail height

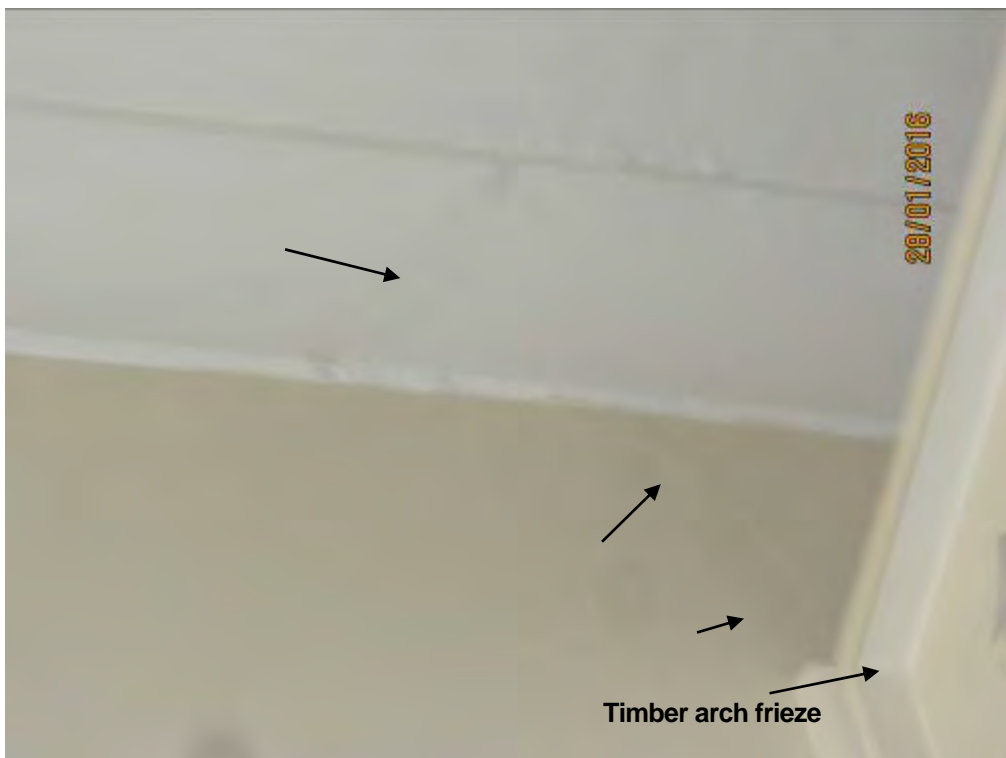


**Photograph 16** shows a hairline crack to the set joint in the ceiling of the Hallway





**Photograph 17** shows repairs to the ceiling in the immediate vicinity of the timber arch in the Hallway frieze



**Photograph 18** shows a previously repaired radial crack and repairs to the cornice in the Hallway in the immediate vicinity of the timber arch frieze



**Photograph 19** shows previously repaired and hairline crack to the ceiling of the Lounge room



**Photograph 20** shows built in cupboard concealing the *common party / separation* wall in the Dining room



**Photograph 21** shows the *common party / separation* wall in the Kitchen



**Photograph 22** shows the layout of the Bathroom / WC