

Dilapidation Assessment Report

Prepared for: Cape Cod Australia Pty. Limited
Job address: 29 Knowles Avenue, North Bondi.
Property Owner/s: Unknown. Access via Tenant.
Report reference: **WAVERLEY COUNCIL**
Development Application No: not available
Date of assessment: 15th December 2016



Shows the front eastern elevation of the adjoining properties:
No. 31 and No.29 Knowles Avenue, North Bondi.

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This report is **not a guarantee** or an all-encompassing report dealing with the above property from every aspect. It is based on the condition of the property and the prevailing structural, soil and the weather conditions at the time of assessment. It is a reasonable attempt to identify any significant defects **visible** at the time of assessment.

This report, based on visual assessment, will not disclose defects in inaccessible areas; latent defects or defects which may be apparent in weather conditions that differ from those at the time of assessment.

16th December 2016

The Administrative & Scheduling Officer,
Cape Cod Australia Pty. Limited,
PO Box 2002,
NORTH PARRAMATTA. NSW 1750

Attention: Mr. Chris Koro.

Dear Sir,

Re: Dilapidation Report – No. 29 Knowles Avenue, North Bondi.

We refer to your instructions in which you requested us to inspect and to prepare a dilapidation report on the above property as a requirement of the Development Application for the adjoining property (your client), No. 31 Knowles Avenue, North Bondi.

We confirm that we assessed the property at 10:30 on the 15th December 2016, with the permission of the property Tenants.

SITE ASSESSMENT

The sole purpose of the report is to identify existing visible defects in the building to produce a photographic dilapidation report. During the inspection process no furniture or personal belongings were moved / shifted to gain access.

An extensive site assessment was carried out so as to assess the condition of the external and internal structure of the single storey attached residence prior to the construction of an upper floor addition to the rear of the adjoining attached property (your client), No. 31 Knowles Avenue, North Bondi.

It is our understanding that the internal renovations to this residence, No. 29 Knowles Avenue, North Bondi are approximately circa 2014.

We confirm that our assessment was carried out without benefit of construction documents for this residence, No. 29 Knowles Avenue, North Bondi.

Observations and Notes Taken

The weather at the time of our assessment was overcast.

General Description of the Property

It is situated on a slightly sloping site that falls across the site from north to south with an easterly facing frontal aspect.

We noted that the full brick / brick cavity, attached single storey residence is approximately circa 1930 – 1940 and is supported on a combination of sandstone block and clay masonry brick footings.

We observed that there is clay brick *common party / separation* wall with the adjoining property, No. 31 Knowles Avenue. We further noted that the wall extends in the roof space to the underside of the rafters.

We noted that the *common* hipped and valley roof is a traditional cut and pitched timber structure with terracotta roofing tiles.

ROOF SURFACES

Due to NSW Work Health and Safety [WHS] requirements, we confirm that we did not access the roof surfaces but observed the roof surfaces from ground level.

We observed that the terracotta roof tiles to the roof surfaces are generally interlinked and securely bedded, in our opinion forming a weather resistant cover to the residence. **[Photographs 1 and 2]**

We noted that the surface water from the front gable ended pitched section of the roof discharges directly onto the front porch roof section of the adjoining property, No. 31 Knowles Avenue, North Bondi. **[Photograph 3]**

UNDER FLOOR

We were unable to access the under-floor space due to construction methods.

EXTERNAL

General

We noted that the external walls are constructed of clay masonry brickwork. We also noted that the external brick work is surface coated.

Front Eastern Elevation

We noted displacement and deterioration to the shingle cladding on the front gable end. **[Photograph 4]**

We noted cracking to the cement rendered brick balustrade wall to the front porch. **[Photograph 5]**

We noted damage to the cement rendered brick surface on the porch entry. **[Photograph 6]**

We noted step cracking to the cement rendered brick surface in the north-eastern corner. **[Photograph 7]**

We noted that the patterned vitrified clay tiles to the front verandah were generally sound with the grout complete. **[Photograph 8]**

We noted that there is flaking paint to the front window outside Bedroom 1. **[Photograph 9]**

Side Northern Elevation

We noted step cracking to the cement rendered brick surface adjacent to the downpipe in the north-eastern corner. **[Photograph 10]**

We noted rusting to the gutter system and transformer box in the north-eastern corner. **[Photograph 10]**

We noted damage to the downpipe system in the north-eastern corner. **[Photograph 11]**

We noted horizontal cracking to the cement rendered brick surface extending from the front porch window head. **[Photograph 12]**

We noted rusting to the rear garage door. **[Photograph 13]**

We noted that there is flaking paint to the Bedroom 2 window. We further noted cracking to the cement rendered brick window sill. **[Photograph 14]**

We noted rusting to the vent pipe and gutter system outside Bedroom 2. **[Photograph 15]**

We noted horizontal cracking to the cement rendered brick surface extending between the Bedroom 2 and Bathroom windows. **[Photograph 16]**

We noted that there is flaking paint to the Bathroom window. **[Photograph 17]**

We noted general cracking to the concrete pathway / driveway and vegetation growth between the cracks. **[Photograph 18]**

We noted general rusting to the under-floor vents along the northern wall. **[Photograph 18]**

We noted evidence of previous repairs (different surface texture) around the Lounge Room window. **[Photograph 19]**

We noted evidence of previous repairs (different surface texture) around the Kitchen window. **[Photograph 20]**

We noted deterioration to the timber lined eave soffits in the north-western corner. **[Photograph 21]**

Rear Western Elevation

We noted general cracking to the concrete pathways. **[Photographs 22, 23 & 24]**

We noted that there is a timber post and rail fence constructed on the *common* boundary between the adjoining property, No. 31 Knowles Avenue, North Bondi. **[Photograph 25]**

We did not observe any recent cracking to the surface coated clay masonry brickwork. **[Photograph 26]**

We noted that there is flaking paint to the timber trim above the *common* boundary fence between the adjoining property, No. 31 Knowles Avenue, North Bondi. **[Photograph 27]**

We noted rusting to the gutter system above the *common* boundary fence between the adjoining property, No. 31 Knowles Avenue, North Bondi. **[Photograph 28]**

We noted that the rear gutter system has no connection the stormwater and discharges via the common gutter system with the adjoining property, No. 31 Knowles Avenue, North Bondi. **[Photograph 29]**

Sewerage / Drainage

We did not assess the condition of or the adequacy of the sewerage / waste water drainage system.

We noted that there was no evidence of surcharge or blockage to the sewerage/drainage service at the time of assessment.

Storm Water Drainage

We did not assess the condition of or the adequacy of the storm water drainage system.

ROOF STRUCTURE / SPACE

We observed that the common roof to the properties is of traditional cut and pitched timber construction.

We noted that there is no sarking provided to the underside of the roofing tiles. We further noted that the roof and ceiling timbers that are accessible are generally in good condition. **[Photograph 30]**

We also noted that the clay brick common party wall extends to the underside of the rafters.

INTERNAL

We confirm that no personal belongings, such as bedding, wardrobes, furniture, paintings and the like were moved to assess the condition of the walls behind.

Hallway

We noted that the hallway is lined with strip timber flooring. **[Photograph 31]**

We noted flaking paint and evidence of a previous repair to the painted cement rendered *common party / separation* wall between the adjoining property, No. 31 Knowles Avenue, North Bondi. **[Photograph 32]**

We noted flaking paint to the cement rendered wall outside Bedroom 1. **[Photograph 33]**

We noted evidence of a previous repair to the fibrous plaster ceiling lining outside Bedroom 1. **[Photograph 34]**

We noted evidence of a previous repair to the painted cement rendered wall outside Bedroom 2. **[Photograph 35]**

We did not observe any cracking to the plaster ceiling or to the mitred joints in the cove profiled plaster cornice.

We did not note any other cracking to the cement rendered *common party / separation* wall with the adjoining property, No. 31 Knowles Avenue, North Bondi.

Front Bedroom 1

We noted radial cracking [1.0 mm] and flaking paint to painted cement rendered eastern wall. **[Photograph 36]**

We noted flaking paint to painted cement rendered eastern wall under the wide profiled plaster cornice. **[Photograph 37]**

We noted flaking paint to painted cement rendered northern external wall. **[Photograph 38]**

We noted staining to the plaster ceiling lining and cornice in the north-western corner. **[Photograph 39]**

Bedroom 2

We noted hairline separation cracking [< 0.1 mm] to the fibrous plaster ceiling running east-west down the centre of the room. **[Photograph 40]**

We noted staining to the plaster ceiling lining in the south-western corner. **[Photograph 41]**

We did not observe any cracking to the cement rendered wall surfaces or to the mitred joints in the decorative profiled plaster cornice.

Bathroom

We noted evidence of previous repairs to the fibrous plaster ceiling lining. **[Photograph 42]**

We noted deterioration to the mirrored surface on the eastern wall. **[Photograph 43]**

We noted cracking and staining to the grout on the bath plinth. **[Photograph 44]**

We did not observe any cracking to the plaster ceiling or to the mitre joints in the plaster cornice.

We did not observe any recent cracking to the ceramic wall tiles or to the painted cement rendered walls above the wall tiles.

We noted that the grout to the wall and floor tiles is complete and that the wall and floor tiles when randomly "tap" tested appeared to be sound. We did not observe any recent cracking to the tile grout at the wall / wall, wall / floor junctions. **[Photograph 45]**

Lounge Room

We observed that the floor is finished with parquet flooring.

We noted flaking paint and evidence of previous repairs to the painted cement rendered wall in the north-eastern corner. **[Photograph 46]**

We noted flaking paint to the wide profiled plaster cornice above the window. **[Photograph 47]**

We noted evidence of previous repairs to the painted cement rendered wall in the north-western corner. **[Photograph 48]**

Kitchen

We noted that the floor is finished with linoleum flooring.

We noted cracked tiles abutting the benchtop on the eastern wall. **[Photograph 49]**

We noted staining to the wide profiled plaster cornice on the eastern wall. **[Photograph 50]**

We noted flaking paint and separation cracking [$< 1.0\text{mm}$] between the painted cement rendered wall / cornice junction in the north-eastern corner. **[Photograph 51]**

Laundry

We noted that the floor is finished with linoleum flooring.

We noted hairline vertical cracking [$< 0.1\text{ mm}$] to the painted cement rendered wall above the door. **[Photograph 52]**

We did not observe any cracking to the plaster ceiling or to the mitred joints in the cove profiled plaster cornice.

Dining Room

We noted evidence of a radial crack repair to the painted cement rendered common party / *separation* wall between the adjoining property, No. 31 Knowles Avenue, North Bondi. **[Photograph 53]**

We did not observe any cracking to the plaster ceiling or to the mitred joints in the cove profiled plaster cornice.

Opinion

In our opinion it is reasonable to suggest that the observed cracking in the property is not significant to cause impeded structural performance of the property. No large cracks [$>5.0\text{mm}$] were detected in the property.

From our experience and considering the geo technical characteristics of the site and the age of the property, it is also reasonable to suggest that after any repairs, there is a probability that further cracking may occur to the property.

Trusting these observations and information is of assistance in the matter.

Yours faithfully,

A handwritten signature in black ink, appearing to read 'M. Spindler', with a stylized flourish at the end.

Mark Spindler,

for and behalf of
JONSPIN Building Services Pty. Ltd.

Attached: Photographic Survey – Photographs 1 - 53 inclusive

PHOTOGRAPHIC SURVEY



Photograph 1 shows the general condition of the front roof surface.



Photograph 2 shows the general condition of the rear roof surface and the rear western elevation.



Photograph 3 shows where the surface water from the front gable ended pitched section of the roof discharges directly onto the front porch roof section of the adjoining property.



Photograph 4 shows displacement and deterioration to the shingle cladding on the front gable end.



Photograph 5 shows cracking to the cement rendered brick balustrade wall to the front porch.



Photograph 6 shows the damage to the cement rendered brick surface on the porch entry.



Photograph 7 shows step cracking to the cement rendered brick surface in the north-eastern corner.



Photograph 8 shows the general condition of the porch tiles.



Photograph 9 shows flaking paint to the front window outside Bedroom 1.



Photograph 10 shows step cracking to the cement rendered brick surface and rusting to the gutter system and transformer box



Photograph 11 shows damage to the downpipe system in the north-eastern corner.



Photograph 12 shows horizontal cracking to the cement rendered brick surface extending from the front porch window head.



Photograph 13 shows rusting to the rear garage door.



Photograph 14 shows flaking paint to the Bedroom 2 window and cracking to the cement rendered brick window sill.



Photograph 15 shows rusting to the vent pipe and gutter system outside Bedroom 2.



Photograph 16 shows horizontal cracking to the cement rendered brick surface extending between the Bedroom 2 and Bathroom windows.



Photograph 17 shows the flaking paint to the Bathroom window.



Photograph 18 shows general cracking to the concrete pathway / driveway, vegetation growth between the cracks and rusting to the under-floor vents.



Photograph 19 shows evidence of previous repairs around the Lounge Room window.



Photograph 20 shows evidence of previous repairs around the Kitchen window.



Photograph 21 shows deterioration to the timber lined eave soffits in the north-western corner.



Photograph 22 shows the general condition of the rear the concrete pathways.



Photograph 23 shows the general condition of the rear the concrete pathways.



Photograph 24 shows the general condition of the rear the concrete pathways.



Photograph 25 shows the general condition of the *common* boundary between the adjoining property, No. 31 Knowles Avenue, North Bondi.



Photograph 26 shows the general condition of the rear western elevation.



Photograph 27 shows flaking paint to the timber trim above the *common* boundary fence between the adjoining property, No. 31 Knowles Avenue, North Bondi



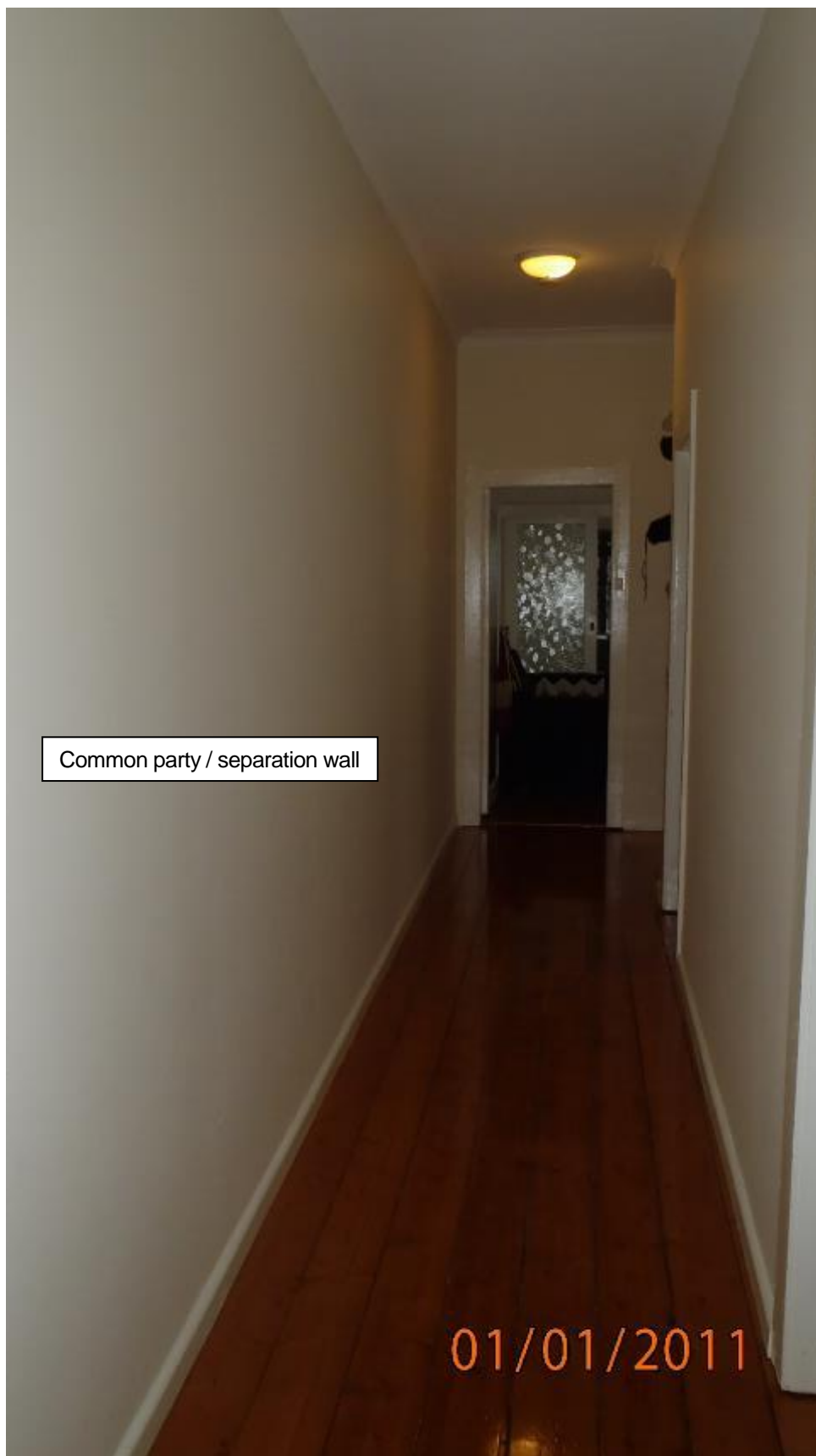
Photograph 28 shows rusting to the gutter system above the *common* boundary fence between the adjoining property, No. 31 Knowles Avenue, North Bondi.



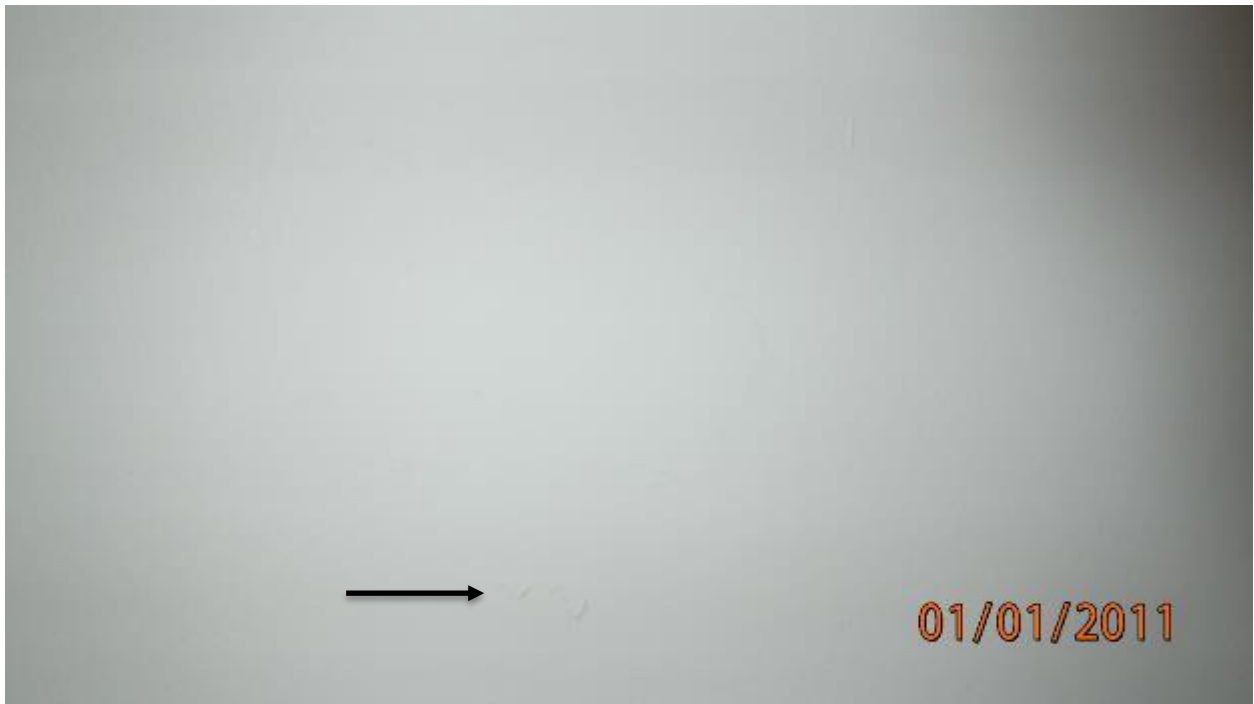
Photograph 29 shows the rear gutter system has no connection the stormwater and discharges via the common gutter system with the adjoining property, No. 31 Knowles Avenue, North Bondi.



Photograph 30 shows there is no sarking provided to the underside of the roofing tiles and the general condition of the roofing timbers.



Photograph 31 shows the general condition of the hallway. Note: *Common party / separation wall* between the adjoining property, No. 31 Knowles Avenue, North Bondi.



Photograph 32 shows flaking paint and evidence of a previous repair to the painted cement rendered *common party / separation* wall.



Photograph 33 shows flaking paint to the cement rendered wall outside Bedroom 1.



Photograph 34 shows evidence of a previous repair to the fibrous plaster ceiling lining outside Bedroom 1.



Photograph 35 shows evidence of a previous repair to the painted cement rendered wall outside Bedroom 2



Photograph 36 shows radial cracking and flaking paint to painted cement rendered eastern wall of Bedroom 1.



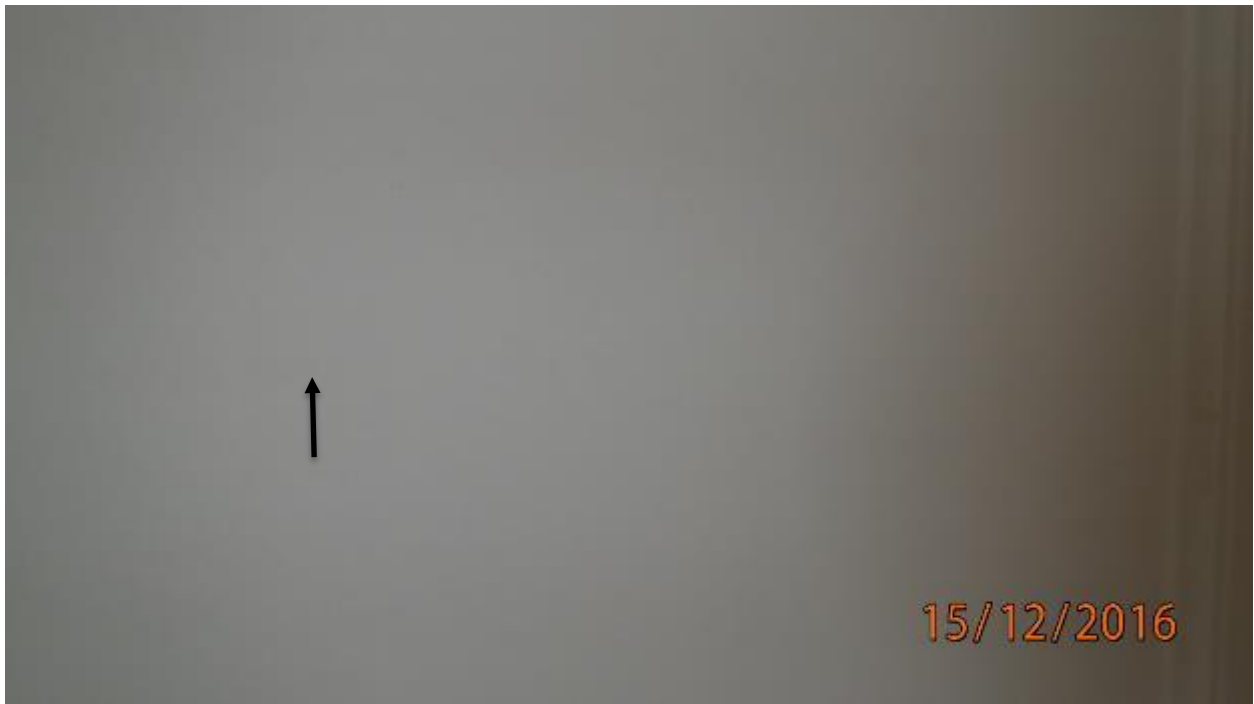
Photograph 37 shows flaking paint to painted cement rendered eastern wall under the wide profiled plaster cornice in Bedroom 1.



Photograph 38 shows flaking paint to painted cement rendered northern external wall in Bedroom 1.



Photograph 39 shows staining to the plaster ceiling lining and cornice in the north-western corner of Bedroom 1.



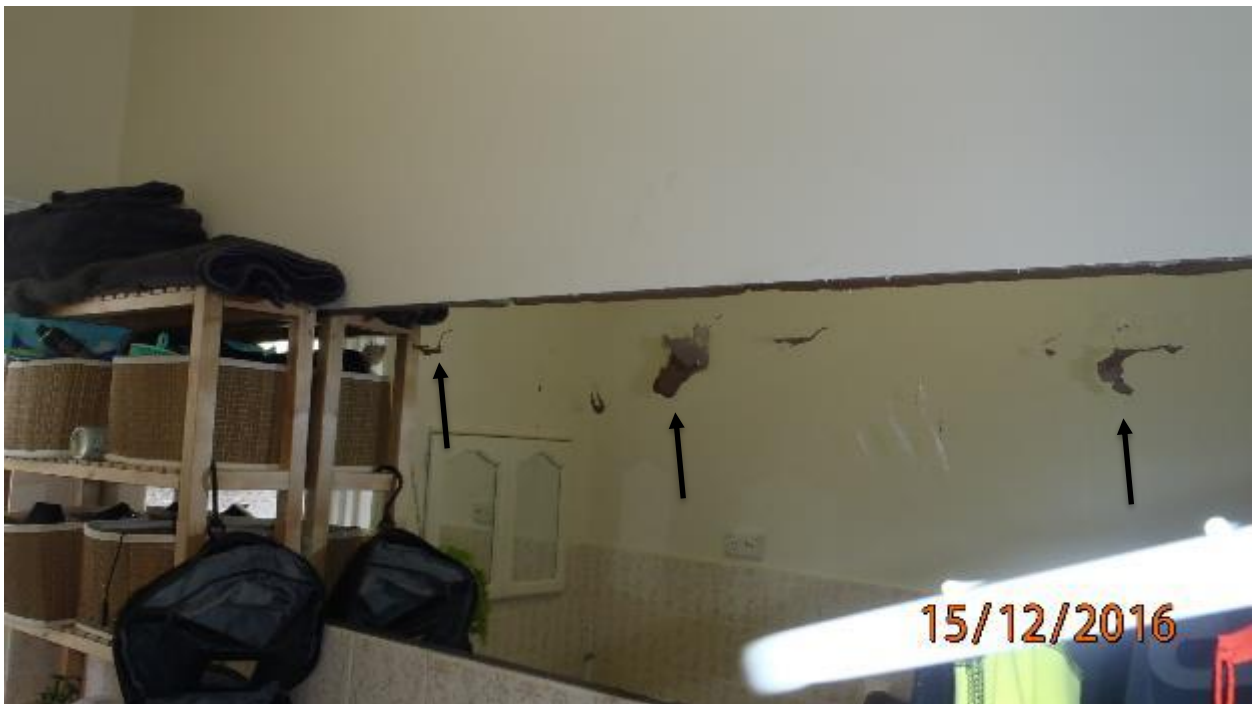
Photograph 40 shows separation cracking to the fibrous plaster ceiling running east-west down the centre of the Bedroom 2.



Photograph 41 shows staining to the plaster ceiling lining in the south-western corner of Bedroom 2.



Photograph 42 shows evidence of previous repairs to the fibrous plaster ceiling lining in the Bathroom.



Photograph 43 shows deterioration to the mirrored surface on the eastern wall in the Bathroom.



Photograph 44 shows cracking and staining to the grout on the bath plinth.



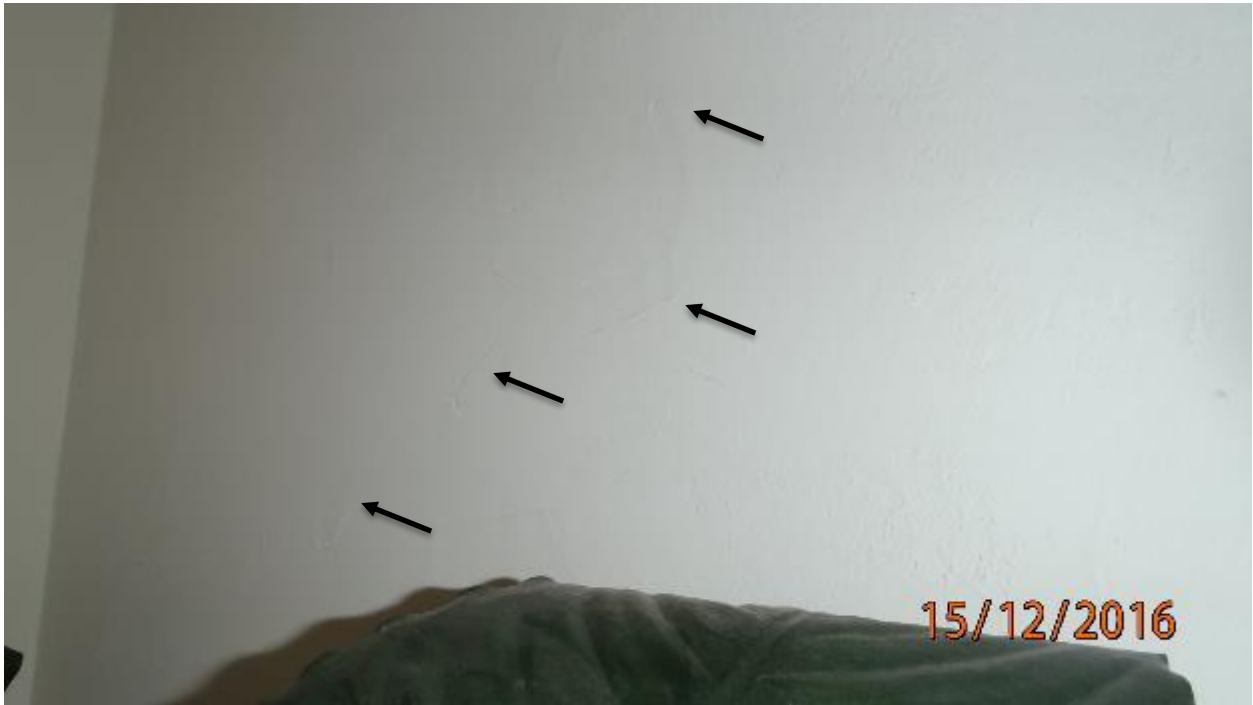
Photograph 45 shows the general condition of the bathroom.



Photograph 46 shows flaking paint and evidence of previous repairs to the painted cement rendered wall in the north-eastern corner of the Lounge Room.



Photograph 47 shows flaking paint to the wide profiled plaster cornice above the window in the Lounge Room.



Photograph 48 shows evidence of previous repairs to the painted cement rendered wall in the north-western corner of the Lounge Room.



Photograph 49 shows cracked tiles abutting the benchtop on the eastern wall of the Kitchen.



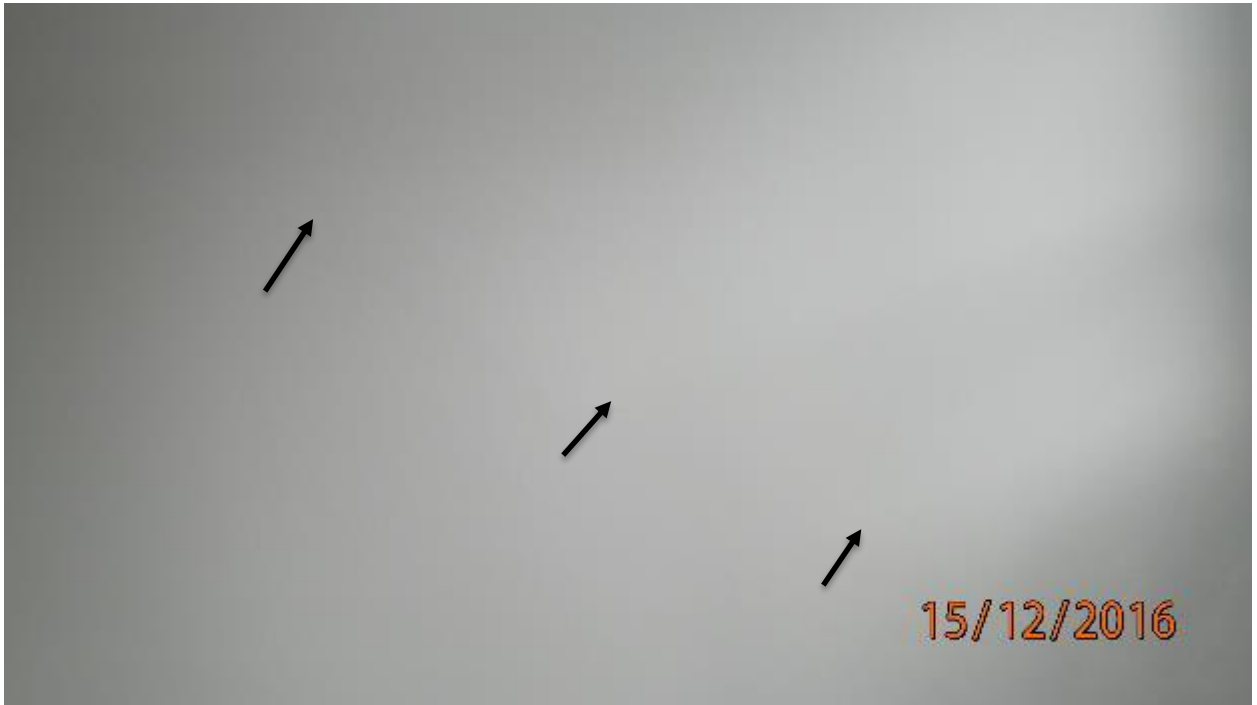
Photograph 50 shows staining to the wide profiled plaster cornice on the eastern wall of the Kitchen.



Photograph 51 shows flaking paint and separation cracking between the painted cement rendered wall / cornice junction in the north-eastern corner of the Kitchen.



Photograph 52 shows hairline vertical cracking to the painted cement rendered wall above the door in the Laundry.



Photograph 53 shows evidence of a radial crack repair a to the painted cement rendered common party / *separation* wall between the adjoining property, No. 31 Knowles Avenue, North Bondi in the Dining Room.