

## Dilapidation Assessment Report

Prepared for: Cape Cod Australia Pty. Limited  
Job address: 26 Parraween Street, Cremorne.  
Property Owner/s: Mrs Rachel Cable.  
Report reference: **NORTH SYDNEY COUNCIL**  
Development Application No: not available  
Date of assessment: 13<sup>th</sup> August 2016



Shows the front south eastern elevation of the adjoining properties:  
No. 26 and No. 28 Parraween Street, Cremorne.

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This report is **not a guarantee** or an all-encompassing report dealing with the above property from every aspect. It is based on the condition of the property and the prevailing structural, soil and the weather conditions at the time of assessment. It is a reasonable attempt to identify any significant defects **visible** at the time of assessment.

This report, based on visual assessment, will not disclose defects in inaccessible areas; latent defects or defects which may be apparent in weather conditions that differ from those at the time of assessment.

14 August 2016

The Administrative & Scheduling Officer,  
Cape Cod Australia Pty. Limited,  
PO Box 2002,  
NORTH PARRAMATTA. NSW 1750

Attention: Mr. Chris Koro,

Dear Sir,

**Re: Dilapidation Report**

We refer to your instructions in which you requested us to inspect and prepare a dilapidation report on the above property as a requirement of the Development Application for the adjoining property (your client), No.28 Parraween Street, Cremorne.

We confirm that we assessed the property on the 13th August 2016, with the attendance of the property owner, Mrs. Rachel Cable.

**SITE ASSESSMENT**

An extensive site assessment was carried out so as to assess the condition of the external and internal structure of the single storey attached residence prior to the construction of an upper floor addition to the adjoining attached property (your client), No.28 Parraween Street, Cremorne.

We confirm that our assessment was carried out without benefit of construction documents for this residence No.26 Parraween Street, Cremorne.

**Observations and Notes Taken**

The weather at the time of our assessment was fine.

**General Description of the Property**

It is situated on a slightly sloping site that falls from front to rear with a south easterly facing frontal aspect.

We noted that the original attached single storey residence is approximately circa 1895 – 1905 and is supported on a combination of sandstone block and brick pier footings. We noted that the residence is a combination of full brick and brick veneer construction, clad with timber weatherboards to the rear and clay masonry brickwork to the front.

We observed that there is a clay brick *common party* wall with the adjoining property, No.28 Parraween Street, Cremorne.

We noted that the *common* hipped roof is a traditional cut and pitched timber structure with corrugated profile sheet metal roofing.

## **ROOF SURFACES**

Due to NSW Work Health and Safety [WHS] requirements, we confirm that we did not access the roof surfaces but observed the roof surfaces from ground level.

We observed that the sheet metal roofing is complete, and in our opinion forming a weather resistant cover to the residence.

We noted that the pre-finished metal guttering and downpipes to the south western elevation were deteriorated and rusted **[Photographs 1 and 2]**

## **UNDER FLOOR**

We were unable to gain access to the under floor space due to construction techniques.

## **EXTERNAL**

### **General**

We noted that the external walls are constructed of clay masonry brickwork to the front original section. We also noted that the external brick work is surface coated.

We noted that the rear (extension) section is of timber weatherboard construction and is surface coated.

### **Front South Eastern Elevation**

We noted that the front porch is a tiled suspended concrete slab construction **[Photograph 3]** and that the front courtyard is paved. **[Photograph 4]**

We noted that the front porch is covered with corrugated profile sheet metal roofing **[Photograph 5]**

We observed that the north eastern elevation wall of the front porch is the *common privacy separation wall* between the adjoining property; No.28 Parraween Street, Cremorne.

We did not observe any recent cracking or displaced mortar to the front south eastern elevation surface coated brick wall or to the surface coated *common privacy separation wall* between the adjoining property; No.28 Parraween Street, Cremorne.

### **Side South Western Elevation**

We noted displaced pavers to the path at the side elevation **[Photograph 6]**

We noted damage to the timber weatherboard cladding under the kitchen window. We also noted deterioration to the surface coating to the window and window sill **[Photograph 7]**

We noted a previous repair to the brickwork between the Lounge Room and the Bathroom. **[Photograph 8]**

We noted a rusting downpipe and displaced pavers to the path outside the Bedroom 2 window.

We also noted lichen growth to the wall and fence outside the Bedroom 2 window **[Photograph 9]**

### Rear North Western Elevation

We noted that the attached hardwood timber deck structure was generally in good condition and that it was covered with corrugated profile acrylic roofing.

We noted that the common boundary fence between the adjoining property; No.28 Parraween Street, Cremorne has climbing plant growing along its entirety. **[Photograph 10]**

We noted that there was a paved outdoor area and barbeque area to the rear of the premises. **[Photograph 11]**

We noted that there was a shed common with the adjoining property; No.28 Parraween Street.

### Sewerage / Drainage

We did not assess the condition of or the adequacy of the sewerage / waste water drainage system.

We noted that there was no evidence of surcharge or blockage to the sewerage/drainage service at the time of assessment.

### Storm Water Drainage

We did not assess the condition of or the adequacy of the storm water drainage system.

## **ROOF STRUCTURE / SPACE**

We noted that the common roof space to the adjoining properties is of traditional cut and pitched timber construction.

We observed that the *common party / separation wall* does not extend past the ceiling joist level.

## **INTERNAL**

We confirm that no personal belongings, such as bedding, wardrobes, furniture, paintings and the like were moved to assess the condition of the walls behind.

### Hallway

We noted that the north eastern wall of the Entry / Hallway is the *common party / separation wall* with the adjoining property; No.28 Parraween Street, Cremorne. **[Photograph 12]**

We noted vertical hairline cracking [ $<1.0\text{mm}$ ] to the wall / wall junction on both sides of the hallway arch **[Photographs 13 and 14]**

We noted areas of flaking / lifting paint to the internal wall common with the Bathroom. This, in our experience, is consistent with rising damp. **[Photographs 15 and 16]**

We did not observe any recent noticeable cracking to the plaster ceiling or to the mitre joints in the decorative profiled plaster cornice.

## Front Bedroom 1

We noted separation cracking [ $<1.0\text{mm}$ ] at the cornice / wall junction in the northern corner. **[Photograph 17]**

We noted chipped & cracked tiles to the fireplace hearth tiles. **[Photograph 18]**

We did not observe any recent noticeable cracking to the surface coated cement rendered wall surfaces.

We did not observe any recent noticeable cracking to the fibrous plaster ceiling lining or to the mitre joints to the wide decorative profiled plaster cornices.

## Bedroom 2

We did not observe any recent noticeable cracking to the fibrous plaster ceiling lining.

We noted vertical cracking [ $<1.0\text{mm}$ ] all the wall / wall junction extending through the wide decorative profiled plaster cornice in the northern corner. **[Photograph 19]**

We noted staining to the painted cement rendered wall surface adjacent to the fireplace **[Photograph 20]**

We noted separation cracking [ $<1.0\text{mm}$ ] at the cornice / wall junction in the western corner. **[Photograph 21]**

We did not observe any chipped or cracked tiles to the fireplace hearth tiles.

## Bathroom

We did not observe any recent cracking to the plaster ceiling lining.

We noted separation cracking [ $<1.0\text{mm}$ ] at the cornice / wall and cornice / ceiling junction in the southern corner. **[Photograph 22]**

We also noted separation cracking [ $<1.0\text{mm}$ ] to the mitre joint of the wide decorative profiled plaster cornice in the southern corner. **[Photograph 22]**

We noted separation cracking [ $<1.0\text{mm}$ ] at the wall / wall junction in the southern corner adjacent to the dryer cupboard. **[Photograph 23]**

We did not observe any recent cracking to the ceramic wall tiles or to the painted cement rendered walls above the wall tiles.

We noted that the grout to the wall and floor tiles is complete and that the wall and floor tiles when randomly “tap” tested appeared to be sound. We did not observe any recent cracking to the tile grout at the wall / wall, wall / floor junctions. **[Photograph 24]**

## Lounge Room

We observed that there is a fireplace on the *common party / separation* wall with the adjoining property; No.28 Parraween Street, Cremorne.

We noted hairline vertical cracking [ $<1.0\text{mm}$ ] at the wall / wall junction at the fireplace adjacent to the *common party / separation* wall with the adjoining property; No.28 Parraween Street, Cremorne **[Photograph 25]**

We did not observe any recent noticeable cracking to the surface coated cement rendered wall surfaces.

We did not observe any recent noticeable cracking to the fibrous plaster ceiling lining or to the mitre joints to the wide decorative profiled plaster cornices

## Kitchen

We did not observe any recent noticeable cracking to the surface coated cement rendered wall surfaces.

We did not observe any recent noticeable cracking to the fibrous plaster ceiling lining or to the mitre joints to the cove profiled plaster cornices

We did not observe any recent cracking to the ceramic wall tiles or to the painted cement rendered walls above the wall tiles.

We noted that the grout to the wall and floor tiles is complete and that the wall and floor tiles when randomly "tap" tested appeared to be sound. We did not observe any recent cracking to the tile grout at the wall / wall, wall / floor junctions. [**Photograph 26**]

## Dining

We did not observe any recent noticeable cracking to the surface coated cement rendered wall surfaces.

We did not observe any recent noticeable cracking to the fibrous plaster ceiling lining or to the mitre joints to the cove profiled plaster cornices

We noted separation cracking [ $<1.0\text{mm}$ ] at the cornice / wall junction on the north eastern wall (*common party / separation wall*) [**Photographs 27 and 28**]

## Opinion

In our opinion it is reasonable to suggest that the observed cracking in the property is not significant to cause impeded structural performance of the property. No large cracks [ $>5.0\text{mm}$ ] were detected in the property.

From our experience and considering the geo technical characteristics of the site and the age of the property, it is also reasonable to suggest that after any repairs, there is a probability that further cracking may occur to the property.

Trusting these observations and information is of assistance in the matter.

Yours faithfully,



**Mark Spindler,**

for and behalf of  
**JONSPIN Building Services Pty. Ltd.**

Attached: Photographic Survey – Photographs 1 - 28 inclusive

## PHOTOGRAPHIC SURVEY



**Photograph 1** shows rusted out guttering to the south western elevation.



**Photograph 2** shows a rusted downpipe to the south western elevation.





**Photograph 3** shows the general condition of the tiled front porch



**Photograph 4** shows the general condition of the front courtyard paving. Note some displacement.





**Photograph 5** shows the condition of the front porch roof section.



**Photograph 6** shows displaced pavers to the side pathway.



**Photograph 7** shows damage to the timber weatherboards and general deterioration of the surface coating on the Kitchen window.



**Photograph 8** shows evidence of a previous repair to the brickwork between the Lounge Room and the Bathroom.





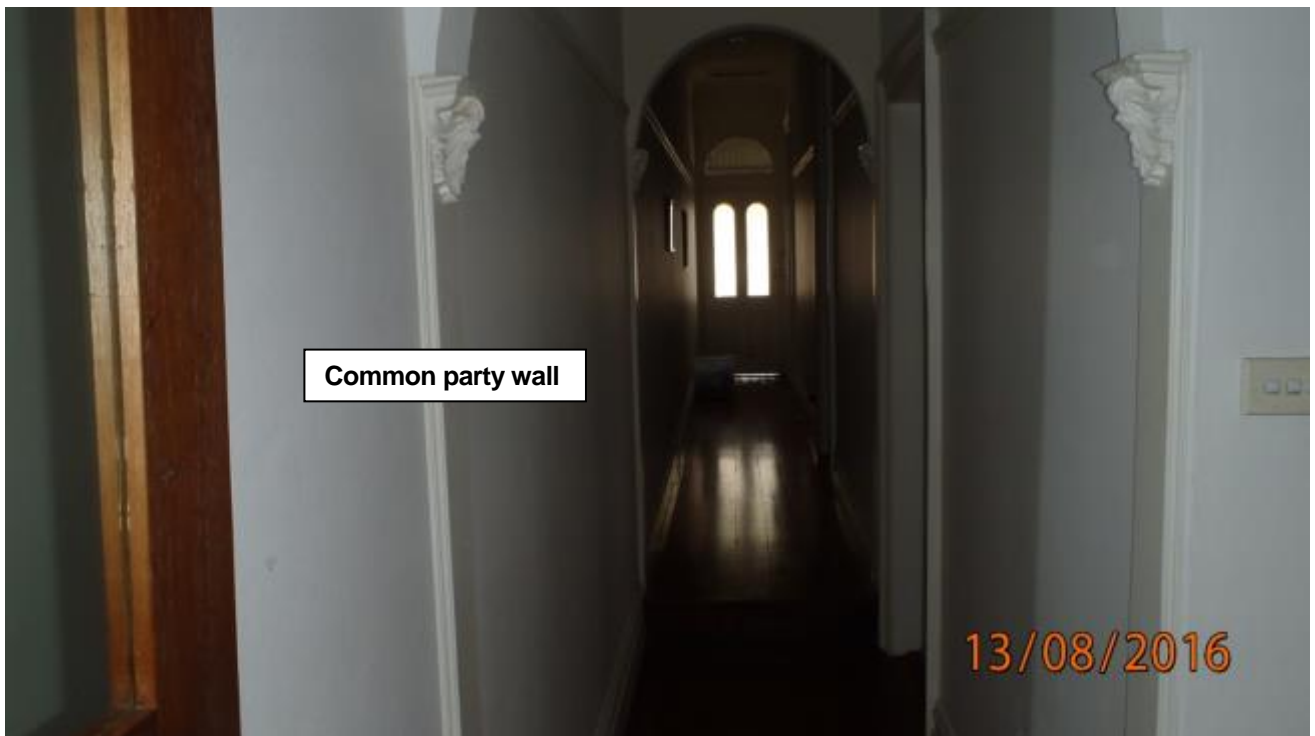
**Photograph 9** shows a rusted downpipe, displaced pavers and lichen/moss growth on the surface coated footings outside the Bedroom 2 window.



**Photograph 10** shows the rear common boundary fence between the adjoining property; No.28 Parraween Street, Cremorne.



**Photograph 11** shows the general condition of the rear paved outdoor entertainment area.



**Photograph 12** shows the general condition of the common party / separation wall.





**Photograph 13** shows vertical cracking at the hallway arch.



**Photograph 14** shows vertical cracking at the hallway arch.



**Photograph 15** shows flaking / lifting paint to the internal wall common with the Bathroom. This, in our experience, is consistent with rising damp.



**Photograph 16** shows flaking / lifting paint to the internal wall common with the Bathroom. This, in our experience, is consistent with rising damp.



**Photograph 17** shows separation cracking at the wall / cornice junction in the front Bedroom.

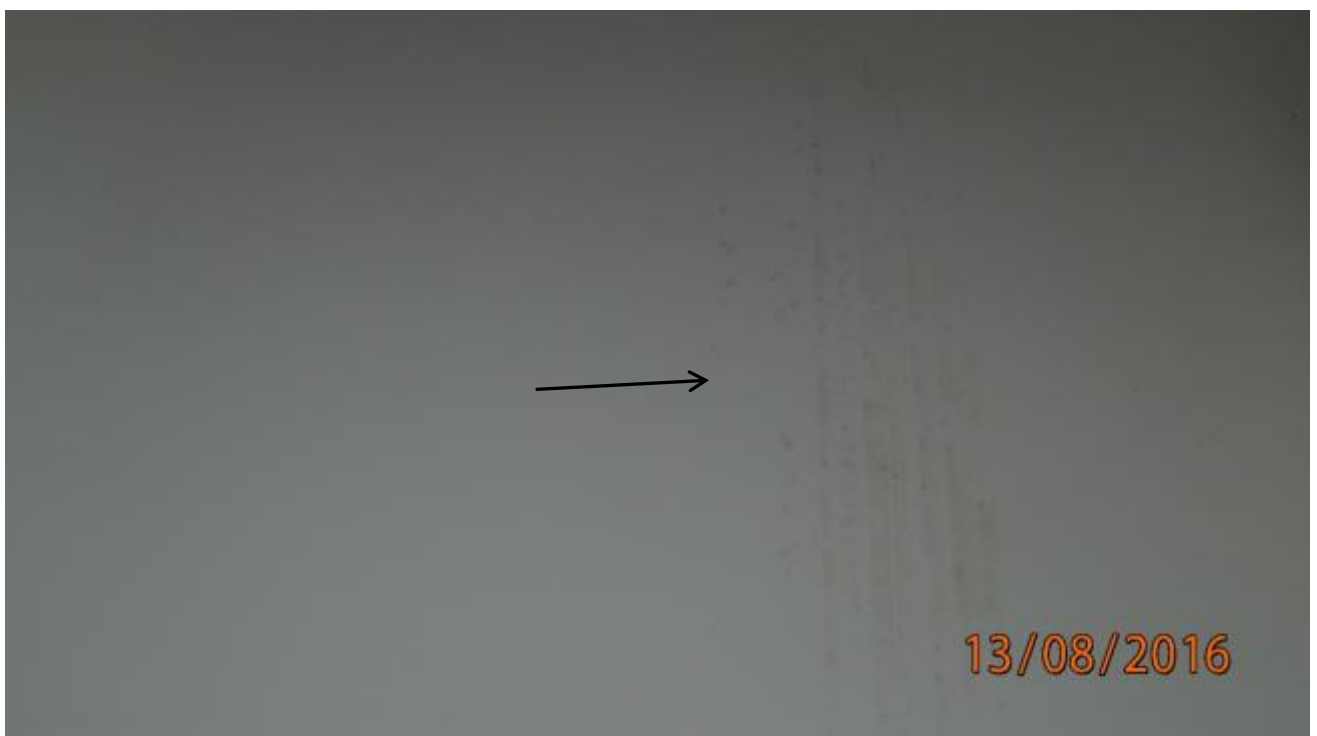


**Photograph 18** shows chips and cracks to the hearth tiles of the fireplace in Bedroom 1.





**Photograph 19** shows a vertical crack at the wall / wall junction extending through the plaster cornice in Bedroom 2.



**Photograph 20** shows staining to the cement rendered wall surface in Bedroom 2.



**Photograph 21** shows separation cracking at the cornice / wall junction in Bedroom 2.



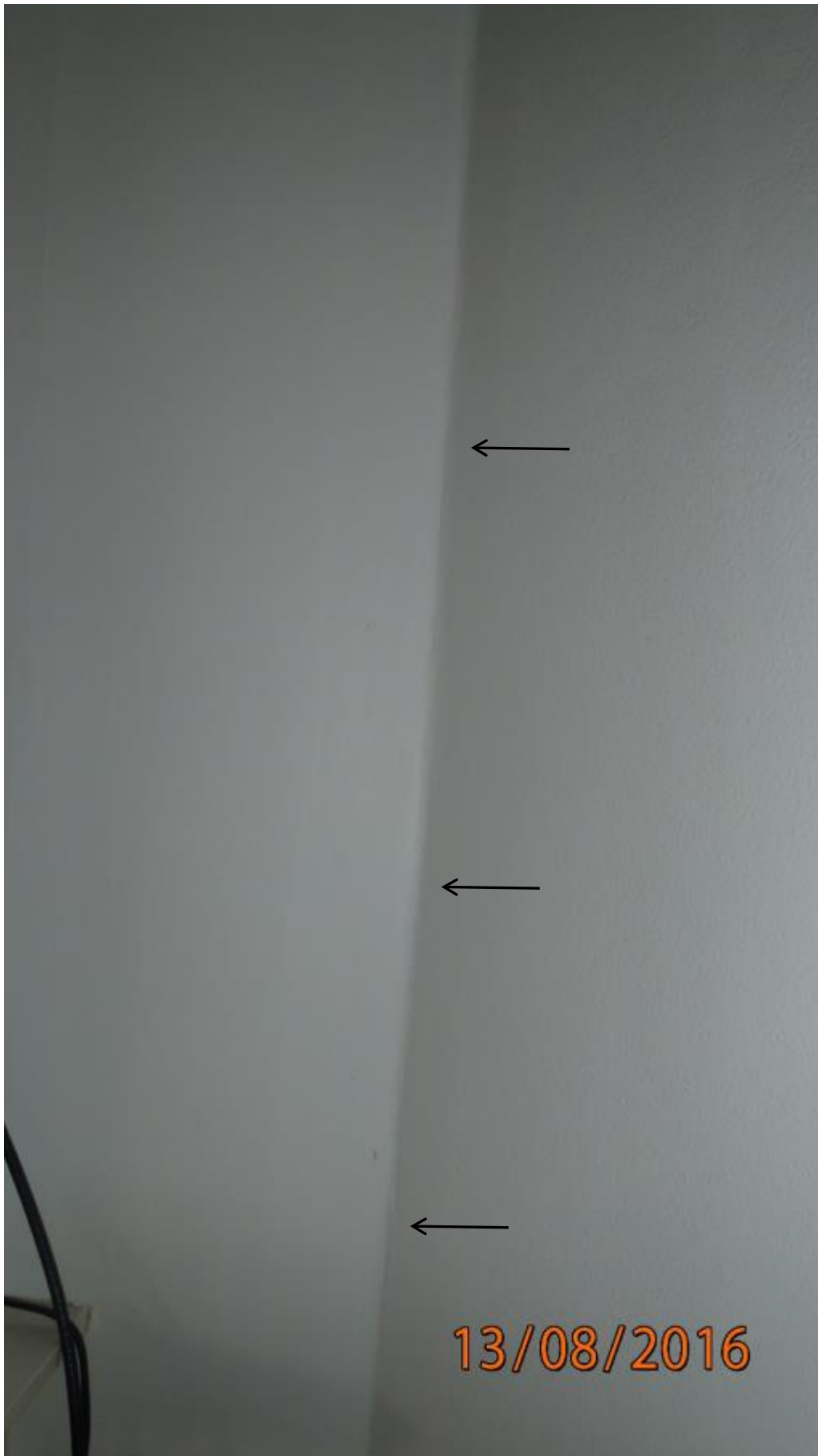
**Photograph 22** shows separation cracking at the cornice / wall and cornice / ceiling junctions in the Bathroom.



**Photograph 23** shows separation cracking at the wall / wall junction adjacent to the dryer cupboard in the Bathroom



**Photograph 24** shows the general condition of the Bathroom.

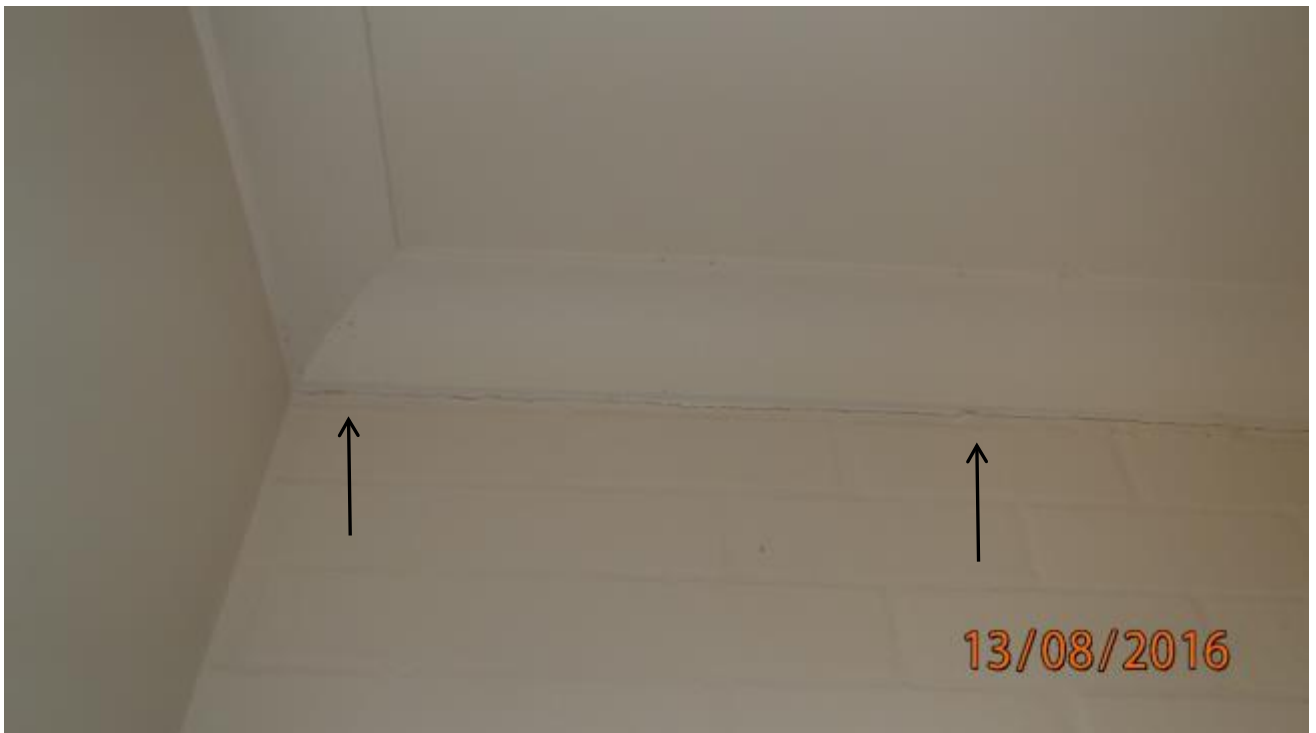


**Photograph 25** shows vertical cracking at the wall / wall junction adjacent to the *common party / separation* wall with the adjoining property; No.28 Parraween Street, Cremorne.

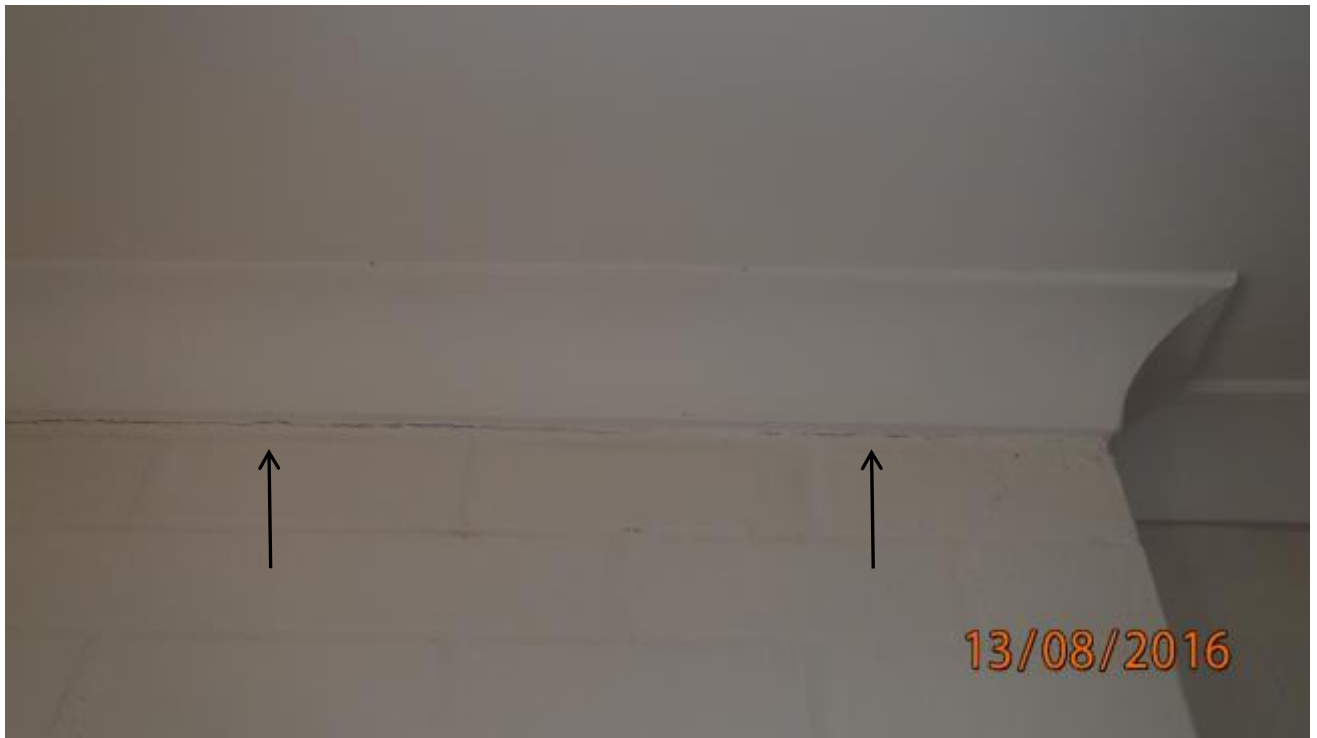




**Photograph 26** shows the general condition of the Kitchen.



**Photograph 27** shows separation cracking at the cornice / wall junction on the north eastern wall  
(common party / separation wall)



**Photograph 28** shows separation cracking at the cornice / wall junction on the north eastern wall (*common party / separation wall*).