

Dilapidation Assessment Report

Prepared for: Cape Cod Australia Pty. Limited
Job address: 30 Alt Street, Queens Park
Property Owner/s: Mr. Doug Murchison
Report reference: **WAVERLEY COUNCIL**
Development Application No: not available
Date of assessment: 23rd November 2016



Shows the front western elevation of the adjoining properties:
No.28 and No.30 Alt Street, Queens Park

This report is provided for the **exclusive information of the Client**. It is a term and condition of the terms upon which this report is provided, that if the **Client** chooses to rely upon the report, that the Company and the person making this report will not be liable to the client or to any other person who suffers personal or property damage or financial loss in respect of any cause of action or tort, contract or however the cause of action is said to arise.

This report is **not a guarantee** or an all-encompassing report dealing with the above property from every aspect. It is based on the condition of the property and the prevailing structural, soil and the weather conditions at the time of assessment. It is a reasonable attempt to identify any significant defects **visible** at the time of assessment.

This report, based on visual assessment, will not disclose defects in inaccessible areas; latent defects or defects which may be apparent in weather conditions that differ from those at the time of assessment.

30th November 2016

The Administrative & Scheduling Officer,
Cape Cod Australia Pty. Limited,
PO Box 2002,
NORTH PARRAMATTA. NSW 1750

Attention: Mr. Chris Koro.

Dear Sir,

Re: Dilapidation Report – No. 30 Alt Street, Queens Park. NSW.

We refer to your instructions in which you requested us to inspect and to prepare a dilapidation report on the above property as a requirement of the Development Application for the adjoining property (your client), No. 28 Alt Street, Queens Park NSW.

We confirm that we assessed the property at 9:00 am on the 23rd November 2016, in the presence of the owner Mr. Doug Murchison.

SITE ASSESSMENT

The sole purpose of the report is to identify existing visible defects in the building to produce a photographic dilapidation report. During the inspection process no furniture or personal belongings were moved / shifted to gain access.

An extensive site assessment was carried out so as to assess the condition of the external and internal structure of the double storey attached residence prior to the construction of an upper floor addition to the rear of the adjoining attached property (your client), No. 28 Alt Street, Queens Park NSW.

We confirm that our assessment was carried out without benefit of construction documents for this residence, No. 30 Alt Street, Queens Park NSW, including the addition to the rear of the residence.

Observations and Notes Taken

The weather at the time of our assessment was fine.

General Description of the Property

It is situated on a sloping site that falls from front to rear and across the site from north to south with a westerly facing frontal aspect.

We noted that the original full brick / brick cavity, attached double storey residence is approximately circa 1910 – 1920 and is supported on sandstone block footings. The rear double storey addition is brick veneer construction.

We observed that there is clay brick *common* party wall with the adjoining property, No. 28 Alt Street, Queens Park. We further noted that the wall extends into the roof cavity to the underside of the rafters but is incomplete.

We noted that the *common* hipped and valley roof is a traditional cut and pitched timber structure with concrete roofing tiles. We noted that the rear double storey addition has a gable ended pitched roof with pre-finished corrugated profile sheet metal roofing.

ROOF SURFACES

Due to NSW Work Health and Safety [WHS] requirements, we confirm that we did not access the roof surfaces but observed the roof surfaces from ground level.

We observed that the concrete roof tiles to the original roof surfaces are generally interlinked and securely bedded, in our opinion forming a weather resistant cover to the residence. **[Photograph 1]**

We noted that the pre-finished corrugated profile sheet metal roofing to the rear addition roof surfaces is in good condition and is securely fixed, in our opinion forming a weather resistant cover to the rear addition. **[Photograph 2]**

We noted vegetation and debris settling in the front gutter system. **[Photograph 3]**

UNDER FLOOR

We were unable to access the under floor area due to construction methods.

EXTERNAL

General

We noted that the external walls are constructed of clay masonry brickwork. We also noted that the external brick work is surface coated.

Front Western Elevation

We noted the front boundary fence was of timber post and rail (picket style) construction with a cement rendered brickwork plinth. **[Photograph 4]**

We noted that the common boundary fence with No. 28 Alt Street, Queens Park is of timber post and rail (picket style) construction. **[Photograph 5]**

We noted that the northern wall of the porch was the *common* privacy wall with No. 28 Alt Street, Queens Park. **[Photograph 6]**

We noted that the front verandah soffit was lined with timber boards. **[Photograph 6]**

We noted general deterioration to the surface coating of the timber lining boards and rotting adjacent to the southern guttering system. **[Photograph 7]**

We did not observe any recent cracking to the surface coated clay masonry brickwork.

Southern Side Elevation

We noted that the patterned vitrified clay tiles to the front porch were generally sound with the grout complete. **[Photograph 8]**

We noted general deterioration to the surface coating on the timber window frame outside the Bedroom 1. **[Photograph 9]**

We noted displacement of the pavers to side pathway adjacent to the sandstone block foundation wall. **[Photograph 10]**

We did not observe any recent cracking to the surface coated clay masonry brickwork.

Rear Eastern Elevation

We did not observe any recent cracking to the surface coated clay masonry brickwork.

We noted displacement of the pavers to side pathway adjacent to the rear entry doorway. **[Photograph 11]**

We noted general deterioration to the surface coating on the timber barge and fascia boards. **[Photograph 12]**

We noted general deterioration to the surface coating to the timber balustrade on the rear verandah. **[Photograph 13]**

We further noted general deterioration to the surface coating to the timber lattice work, floor plate and roof beam outside the rear verandah. **[Photograph 14]**

We noted that the rear *common* boundary fence with No. 28 Alt Street, Queens Park was of surface coated brickwork construction. **[Photograph 15]**

We noted that there was a brick external garage built at the rear of the residence. **[Photograph 16]**

We observed that there is a rear timber verandah structure with timber lattice privacy screen and timber balustrade. **[Photograph 17]**

Sewerage / Drainage

We did not assess the condition of or the adequacy of the sewerage / waste water drainage system.

We noted that there was no evidence of surcharge or blockage to the sewerage/drainage service at the time of assessment.

Storm Water Drainage

We did not assess the condition of or the adequacy of the storm water drainage system.

ROOF STRUCTURE / SPACE

We observed that the *common* roof to the properties is of traditional cut and pitched timber construction.

We noted that there is no sarking provided to the underside of the roofing tiles. **[Photograph 18]**

We observed that the roof and ceiling timbers that are accessible are generally in good condition. **[Photograph 18]**

We also noted that the clay brick *common party* wall extends to the underside of the rafters but is incomplete. **[Photograph 19]**

INTERNAL

We confirm that no personal belongings, such as bedding, wardrobes, furniture, paintings and the like were moved to assess the condition of the walls behind.

Entry

We did not observe any cracking to the plaster ceiling or to the decorative profile plaster cornice.

We did not observe any cracking to the cement rendered walls.

Bedroom 1

We noted evidence of a previous repair to the painted cement rendered wall above the window. **[Photograph 20]**

We noted that there are no tiles provided to the hearth of the fireplace. **[Photograph 21]**

We noted horizontal hairline cracking [$<1.0\text{mm}$] to the wide ornate plaster cornice above the window. **[Photograph 22]**

We noted radial hairline cracking [$<1.0\text{mm}$] above the window in the north-western corner. **[Photograph 23]**

We did not observe any cracking to the plaster ceiling or to the decorative plaster ceiling rose.

Bathroom

We did not observe any recent cracking to the ceramic wall tiles or to the painted cement rendered walls above the wall tiles.

We noted that the grout to the wall and floor tiles is complete and that the wall and floor tiles when randomly “tap” tested appeared to be sound. We did not observe any recent cracking to the tile grout at the wall / wall, wall / floor junctions. **[Photograph 24]**

Dining Room

We noted flaking paint to the cement rendered wall in the north-western corner of the room and abutting the common party / separation wall with the adjoining property No. 28 Alt Street, Queens Park. **[Photograph 25]**

We noted flaking paint to the decorative plaster cornice in the north-western corner of the room. **[Photograph 26]**

We noted flaking paint to the cement rendered wall in the north-eastern corner of the room and abutting the common party / separation wall with the adjoining property No. 28 Alt Street, Queens Park. **[Photograph 27]**

We noted radial hairline cracking [$<1.0\text{mm}$] to the *common party / separation* wall with the adjoining property No. 28 Alt Street, Queens Park. **[Photograph 28]**

We noted areas of flaking / lifting paint to the north-eastern wall adjacent to the *common party / separation* wall with the adjoining property No. 28 Alt Street, Queens Park. This, in our experience, is consistent with rising damp. **[Photograph 29]**

We noted flaking paint to the cement rendered external wall adjacent to the door. **[Photograph 30]**

We did not observe any cracking to the plaster ceiling or to the decorative plaster ceiling rose.

Lounge Room

We did not observe any cracking to the cement rendered wall surfaces plaster ceiling or to the decorative plaster ceiling rose.

We noted that there are no tiles provided to the hearth of the fireplace. **[Photograph 31]**

Laundry

We did not observe any cracking to the plaster ceiling or to the mitred joints in the decorative plaster cornice.

We did not observe any recent cracking painted cement rendered walls.

We noted that the grout to the floor tiles is complete and that the tiles when randomly “tap” tested appeared to be sound. **[Photograph 32]**

Kitchen

We did not observe any cracking to the cement rendered wall surfaces or to the plaster ceiling.

We noted that the floor is finished with polished timber boards. **[Photograph 33]**

Family Room

We did not observe any cracking to the cement rendered wall surfaces and in particular to the *common party / separation* wall with the adjoining property, No. 28 Alt Street, Queens Park.

We noted a fireplace built in to the *common party / separation* wall with the adjoining property, No. 28 Alt Street, Queens Park. **[Photograph 34]**

Stairwell and Landing

We noted step cracking [$<1.0\text{mm}$] to the painted cement rendered wall on the western wall. **[Photographs 35 & 36]**

We noted flaking paint to the southern wall surface. **[Photograph 37]**

We noted damage to the carpet at the top of the stairwell. **[Photograph 38]**

We noted damage to the plasterboard wall surface and evidence of a previous repair to the eastern wall common with Bedroom 2. **[Photograph 39]**

First Floor Bathroom

We did not observe any recent cracking to the ceramic wall tiles or to the walls above the wall tiles.

We noted that the grout to the wall and floor tiles is complete and that the wall and floor tiles when randomly "tap" tested appeared to be sound. We did not observe any recent cracking to the tile grout at the wall / wall, wall / floor junctions. **[Photograph 40]**

We noted hairline radial cracking to the ceramic tiled surface extending outward from the window sill. **[Photograph 41]**

We noted mildew / mould growth to the tile grout under the window. **[Photograph 41]**

Bedroom 2

We noted radial cracking [$<1.0\text{mm}$] to the plasterboard wall extending from below the timber window sill. **[Photograph 42]**

We noted vertical cracking [$<1.0\text{mm}$] to the wall to wall junction of the plasterboard walls in the south-eastern corner. **[Photograph 43]**

We noted vertical cracking [$<1.0\text{mm}$] to the wall to wall junction of the plasterboard walls in the south-western corner. **[Photograph 44]**

We did not observe any cracking to the plaster ceiling or to the mitred joints in the decorative plaster cornice.

Bedroom 3

We noted staining to the plaster ceiling lining in the south-eastern corner. **[Photograph 45]**

We did not observe any cracking to the plaster ceiling or to the mitred joints in the decorative plaster cornice.

We did not observe any recent cracking to the plasterboard lined wall surfaces.

Office / Study

We did not observe any cracking to the plaster ceiling or to the mitred joints in the decorative plaster cornice.

We did not observe any recent cracking to the plasterboard lined wall surfaces.

Opinion

In our opinion it is reasonable to suggest that the observed cracking in the property is not significant to cause impeded structural performance of the property. No large cracks [$>5.0\text{mm}$] were detected in the property.

From our experience and considering the geo technical characteristics of the site and the age of the property, it is also reasonable to suggest that after any repairs, there is a probability that further cracking may occur to the property.

Trusting these observations and information is of assistance in the matter.

Yours faithfully,

A handwritten signature in black ink, appearing to read 'M. Spindler', with a stylized, cursive script.

Mark Spindler,

for and behalf of
JONSPIN Building Services Pty. Ltd.

Attached: Photographic Survey – Photographs 1 - 45 inclusive

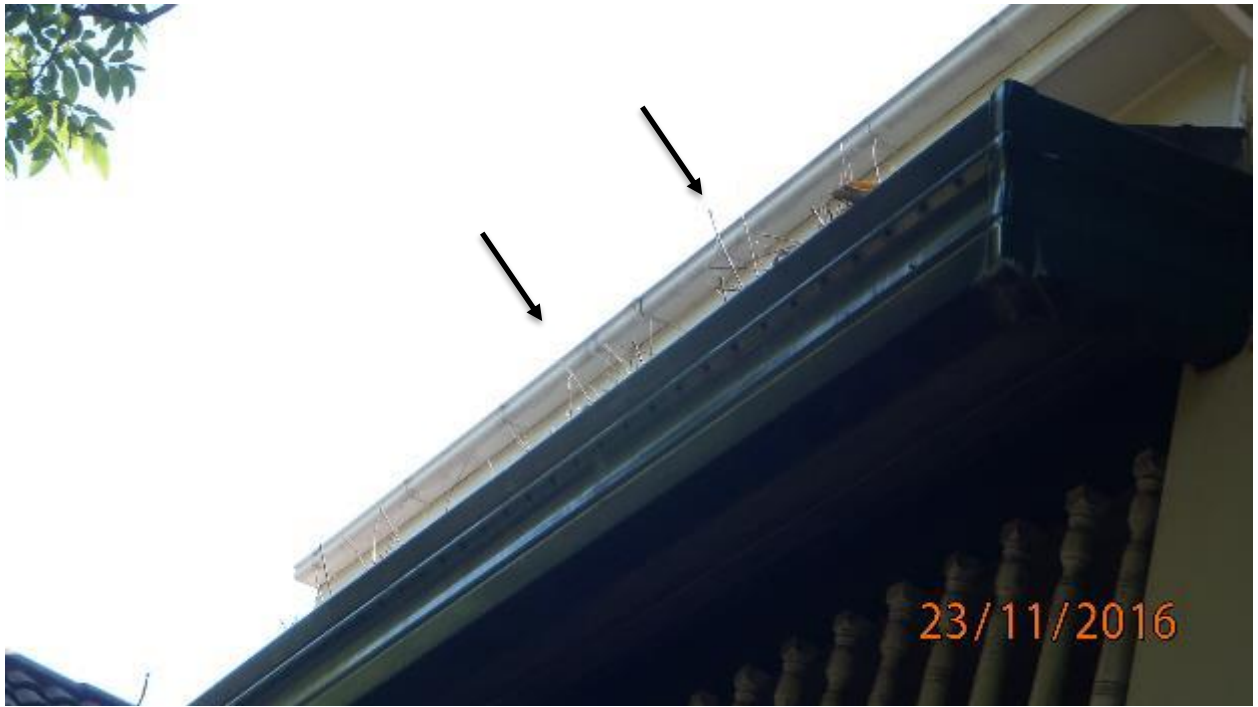
PHOTOGRAPHIC SURVEY



Photograph 1 shows the front elevation of the residence.



Photograph 2 shows the rear elevation of the residence.



Photograph 3 shows vegetation and debris settling in the front gutter system.



Photograph 4 shows the front boundary fence.



Photograph 5 shows the front common boundary fence with No. 28 Alt Street.



Photograph 6 shows the front verandah of the residence.



Photograph 7 shows deterioration to the surface coating and rotting of the timber lining boards on the front verandah.



Photograph 8 shows the general condition of the front entry porch.



Photograph 9 shows general deterioration to the surface coating on the timber window frame outside the Bedroom 1.



Photograph 10 shows the displacement of the pavers to side pathway.



Photograph 11 shows the displacement of the pavers adjacent to the rear entry door.



Photograph 12 shows general deterioration to the surface coating on the timber barge and fascia boards to the rear eastern elevation.



Photograph 13 shows general deterioration to the surface coating to the timber balustrade on the rear verandah.



Photograph 14 shows deterioration to the surface coating to the timber lattice work, floor plate and roof beam outside the rear verandah.



Photograph 15 shows the general condition of the rear common boundary fence.



Photograph 16 shows the external brick garage to the rear with entry off Alt Lane.



Photograph 17 shows the general condition of the rear verandah structure.



Photograph 18 shows the roof space of the residence. **Note:** no sarking to the underside of the roofing tiles.



Photograph 19 shows the brick *common party / separation* wall in the roof space. **Note:** the brick wall does not span the entire common roof space.



Photograph 20 shows evidence of a previous repair to the painted cement rendered wall above the window in Bedroom 1.



Photograph 21 shows no tiles provided to the hearth of the fireplace in Bedroom 1.



Photograph 22 shows horizontal cracking to the plaster cornice above the window in Bedroom 1.



Photograph 23 shows radial cracking above the window in the north-western corner of Bedroom 1.



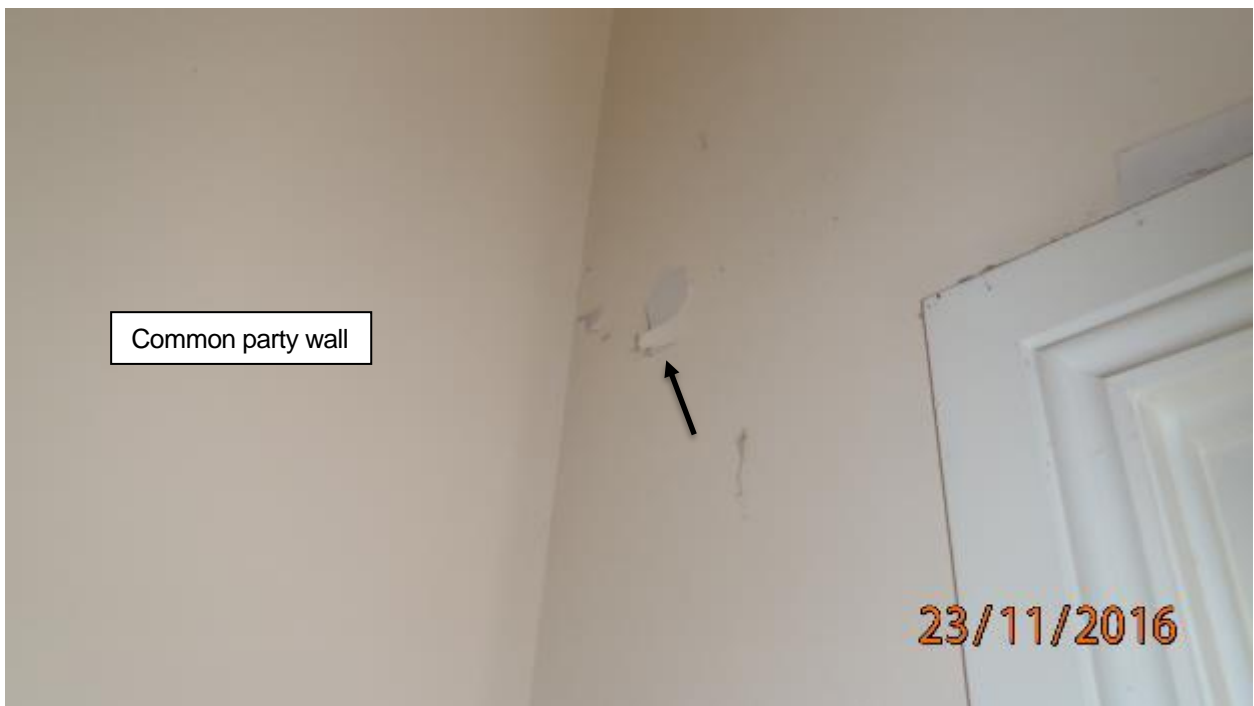
Photograph 24 shows the general layout of the Bathroom.



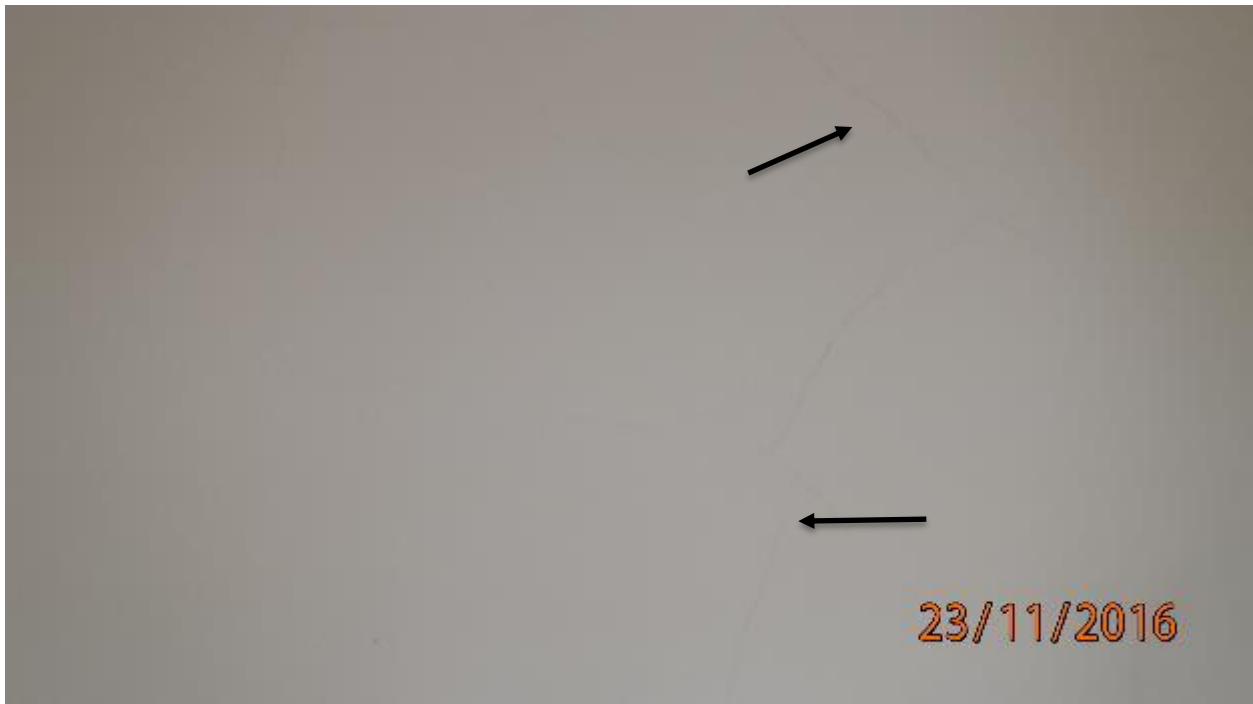
Photograph 25 shows flaking paint to the cement rendered wall in the north-western corner of the Dining Room and abutting the common party / separation wall with the adjoining property No. 28 Alt Street, Queens Park.



Photograph 26 shows flaking paint to the plaster cornice in the north-western corner of the Dining Room.



Photograph 27 shows flaking paint to the cement rendered wall in the north-eastern corner of the Dining Room and abutting the common party / separation wall with the adjoining property No. 28 Alt Street, Queens Park.



Photograph 28 shows radial hairline cracking to the common party / separation wall with the adjoining property No. 28 Alt Street, Queens Park.



Photograph 29 shows flaking / lifting paint to the north-eastern wall adjacent to the common party / separation wall with the adjoining property No. 28 Alt Street, Queens Park



Photograph 30 shows flaking paint to the cement rendered external wall adjacent to the door in the Dining Room.



Photograph 31 shows no tiles provided to the hearth of the fireplace in the Lounge Room.



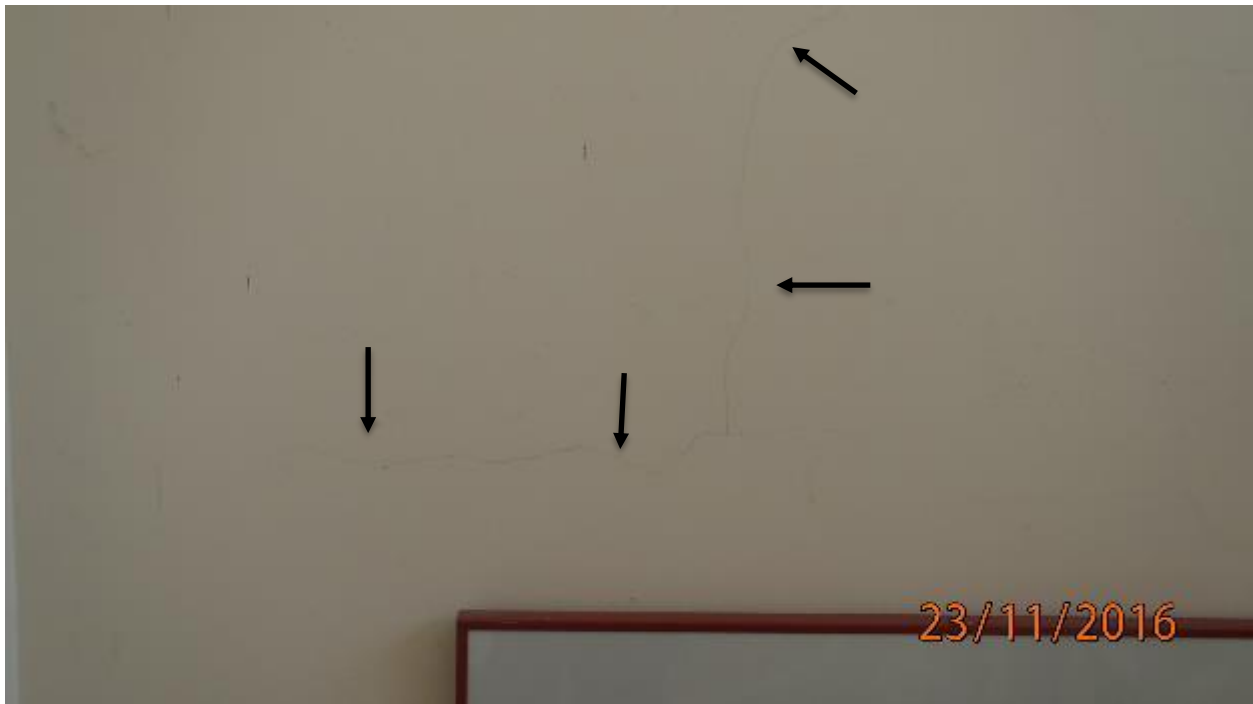
Photograph 32 shows the general condition of the Laundry floor tiles.



Photograph 33 shows the general layout of the Kitchen.



Photograph 34 shows the fireplace built into the common party / separation wall with the adjoining property, No. 28 Alt Street, Queens Park in the Family Room.



Photograph 35 shows step cracking to the painted cement rendered wall on the western wall of the stairwell.



Photograph 36 shows step cracking to the painted cement rendered wall on the western wall of the stairwell.



Photograph 37 shows flaking paint to the southern wall surface of the stairwell.



Photograph 38 shows the condition of the carpet at the top of the staircase.



Photograph 39 shows damage to the plasterboard wall surface and evidence of a previous repair to the eastern wall outside Bedroom 2.



Photograph 40 shows the general condition of the first floor Bathroom.



Photograph 41 shows hairline radial cracking to the ceramic tiled surface and mildew / mould growth to the tile grout under the window in the first floor Bathroom.



Photograph 42 shows radial cracking to the plasterboard wall extending from below the timber window sill in Bedroom 2.



Photograph 43 shows cracking to the wall to wall junction of the plasterboard walls in the south-eastern corner in Bedroom 2.



Photograph 44 shows cracking to the wall to wall junction of the plasterboard walls in the south-western corner in Bedroom 2.



Photograph 45 shows staining to the plaster ceiling lining in the south-eastern corner in Bedroom 3.