

Dilapidation Assessment Report

Prepared for: Cape Cod Australia Pty. Limited
Job address: 131 Blair Street, NORTH BONDI.
Property Owner/s: Mr. Andrew & Mrs. Kristane Foxton.
Report reference: **WAVERLEY COUNCIL**
Development Application No: not available
Date of assessment: 13th July 2016



Shows the front northern elevation of the adjoining properties:
No.131 and No.129 Blair Street, NORTH BONDI.

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This report is **not a guarantee** or an all-encompassing report dealing with the above property from every aspect. It is based on the condition of the property and the prevailing structural, soil and the weather conditions at the time of assessment. It is a reasonable attempt to identify any significant defects **visible** at the time of assessment.

This report, based on visual assessment, will not disclose defects in inaccessible areas; latent defects or defects which may be apparent in weather conditions that differ from those at the time of assessment.

21 July 2016

The Administrative & Scheduling Officer,
Cape Cod Australia Pty. Limited,
PO Box 2002,
NORTH PARRAMATTA. NSW 1750

Attention: Mr. Chris Koro,

Dear Sir,

Re: Dilapidation Report

We refer to your instructions in which you requested us to inspect and to prepare a dilapidation report on the above property as a requirement of the Development Application for the adjoining property (your client), 129 Blair Street, NORTH BONDI.

We confirm that we assessed the property on the 13th July 2016, with the attendance of the property owners, Mr. Andrew and Mrs. Kristane Foxton.

SITE ASSESSMENT

An extensive site assessment was carried out so as to assess the condition of the external and internal structure of the double storey attached residence prior to the construction of an upper floor addition to the rear of the adjoining attached property (your client), No. 129 Blair Street, NORTH BONDI.

It is our understanding that the internal renovations to this residence and the rear addition to this residence, No. 131 Blair Street, NORTH BONDI are approximately circa 1998.

We confirm that our assessment was carried out without benefit of construction documents for this residence, No. 131 Blair Street, NORTH BONDI, including the first floor addition to the rear of the residence.

Observations and Notes Taken

The weather at the time of our assessment was fine.

General Description of the Property

It is situated on a slightly sloping site that falls from front to rear northerly facing frontal aspect.

We noted that the original full brick / brick cavity, attached single storey residence is approximately circa 1930 – 1940 and is supported on clay masonry brick footings. The rear double storey addition is brick veneer construction with deep timber floor joists and externally clad with weatherboards.

We observed that there is clay brick *common party* wall with the adjoining property, No. 129 Blair Street, NORTH BONDI. We further noted that the wall extends from below floor level to the underside of the rafters. We noted that the *common party* wall is supported below floor level on clay brick footings.

We noted that the *common* hipped and valley roof is a traditional cut and pitched timber structure with terra cotta roofing tiles. We noted that the rear first floor addition has a pitched roof with concrete roofing tiles.

ROOF SURFACES

Due to NSW Work Health and Safety [WHS] requirements, we confirm that we did not access the roof surfaces but observed the roof surfaces from ground level.

We observed that the terra cotta roof tiles to the original roof surfaces are generally interlinked and securely bedded, in our opinion forming a weather resistant cover to the residence. **[Photograph 1]**

We are unable to determine the condition of or the weather tightness of the box gutter and flashing between the wall of rear addition and the tiled roof of the residence.

UNDER FLOOR

We were unable to gain access to the under floor space but were able to gain access through No. 129 Blair Street.

We noted that the original floor system is hardwood timber bearers and joists and that there is a brick *common party* wall with the adjoining property, No. 129 Blair Street, that extends to floor level. We did not observe cracking in the clay brickwork below floor level in the sub floor area.

EXTERNAL

General

We noted that the external walls are constructed of clay masonry brickwork. We also noted that the external brick work is surface coated.

Front Northern Elevation

We noted that the front northern aspect has a paved driveway/car space. **[Photograph 2]** and also noted cracking to the front pathway **[Photograph 3]**

We noted that the common boundary fence is of treated timber construction with lattice inserts **[Photograph 4]**

We did not observe any recent cracking to the surface coated clay masonry brickwork.

Eastern Elevation

We did not observe any recent cracking to the surface coated clay masonry brickwork.

We noted evidence of a step crack repair extending from the wall vent outside Bedroom 2 to the top left corner of the Bedroom 2 window. **[Photograph 5]**

We noted evidence of a step crack repair extending from the left side of the Lounge Room window sill. **[Photograph 6]**

We noted general deterioration and flaking of the surface coating to the Lounge room window **[Photograph 7]**

We noted damage to the surface coating and brickwork between the Kitchen and Lounge windows **[Photograph 8]**

Rear Southern Elevation

We did not observe any recent cracking to the surface coated clay masonry brickwork. **[Photograph 9]**

We noted that there is a timber deck structure extending from the rear doors of the residence **[Photograph 10]**

Sewerage / Drainage

We did not assess the condition of or the adequacy of the sewerage / waste water drainage system.

We noted that there was no evidence of surcharge or blockage to the sewerage/drainage service at the time of assessment.

Storm Water Drainage

We did not assess the condition of or the adequacy of the storm water drainage system.

ROOF STRUCTURE / SPACE

We were unable to access the roof space of the original roof but observed that the common roof to the properties is of traditional cut and pitched timber construction.

INTERNAL

We confirm that no personal belongings, such as bedding, wardrobes, furniture, paintings and the like were moved to assess the condition of the walls behind.

Ground Floor

Entry

We did not observe any cracking to the plaster ceiling or to the mitre joints in the cove profiled plaster cornice.

Sunroom

We did not observe any cracking to the surface coated brick walls.

We noted a separation crack to the quad moulding / ceiling junction **[Photograph 11]**

We noted flaking paint to the ceiling lining in the south eastern corner **[Photograph 12]**

We noted a previous repair / light fitting removal from the centre of the ceiling lining **[Photograph 13]**

Front Bedroom 1

We noted general deterioration and flaking of the surface coating to the Bedroom 1 ceiling lining **[Photograph 14]**

Hallway

We did not observe any cracking to the plasterboard lined cement rendered walls with the adjoining property, No. 129 Blair Street.

We observed a separation crack to the wall / cornice junction in the north western corner adjoining the common party wall with No. 129 Blair Street. **[Photograph 15]**

We observed separation cracking to the wall / cornice junction in the north western corner outside Bedroom 2 adjoining the common party wall with No. 129 Blair Street. **[Photograph 16]**

We observed a vertical crack to the wall / wall junction that extends through the cove profiled cornice on the plasterboard lined common party wall with No. 129 Blair Street, at the base of the stairs to the first floor addition. **[Photographs 17 and 18]**

We observed general cracking and previous repairs to the plaster wall / ceiling junction, wall / wall junction and the plaster cornice above the first floor staircase **[Photograph 19]**

We noted vertical cracking to the wall door junction on the hinge side of the cupboard door **[Photograph 20]**

Bathroom

We did not observe any cracking to the plaster ceiling.

We did not observe any recent cracking to the ceramic wall tiles or to the painted cement rendered walls above the wall tiles.

We noted that the grout to the wall and floor tiles is complete and that the wall and floor tiles when randomly “tap” tested appeared to be sound. We did not observe any recent cracking to the tile grout at the wall / wall, wall / floor junctions. **[Photograph 21]**

Bedroom 2

We observed a separation crack to the wall / cornice junction in the north eastern corner **[Photograph 22]**

We observed a separation crack to the wall / cornice junction above the western wall **[Photograph 23]**

Lounge Room

We did not observe any cracking to the plaster ceiling or to the mitre joints in the cornice.

Kitchen

We noted that the room is open plan design.

We did not observe any cracking to the plaster ceiling or to the mitre joints in the plaster cornice.

First floor extension

Bedroom 3

We did not observe any cracking to the plaster ceiling or to the mitre joints in the cornice.

Bedroom 4

We did not observe any cracking to the plaster ceiling or to the mitre joints in the cornice.

Hallway

We observed a separation to the Bedroom 4 door architrave / wall junction **[Photograph 24]**

We noted cracking to the plasterboard ceiling lining extending from the cove profiled plaster cornice to the smoke alarm fixture. **[Photograph 25]**

Bathroom

We did not observe any cracking to the plasterboard ceiling.

We did not observe any recent cracking to the ceramic wall tiles or to the painted cement rendered walls above the wall tiles.

We noted that the grout to the wall and floor tiles is complete and that the wall and floor tiles when randomly "tap" tested appeared to be sound. We did not observe any recent cracking to the tile grout at the wall / wall, wall / floor junctions. [**Photograph 26**]

Main Bedroom

We noted vertical cracking to the architrave / door jamb junction and a radial crack extending from the architrave mitre joint towards the ceiling. [**Photograph 27**]

We noted vertical cracking to the wall to wall junction adjacent to the door [**Photograph 27**]

Opinion

In our opinion it is reasonable to suggest that the observed cracking in the property is not significant to cause impeded structural performance of the property. No large cracks [$>5.0\text{mm}$] were detected in the property.

From our experience and considering the geo technical characteristics of the site and the age of the property, it is also reasonable to suggest that after any repairs, there is a probability that further cracking may occur to the property.

Trusting these observations and information is of assistance in the matter.

Yours faithfully,



Mark Spindler,

for and behalf of
JONSPIN Building Services Pty. Ltd.

Attached: Photographic Survey – Photographs 1 - 27 inclusive

PHOTOGRAPHIC SURVEY



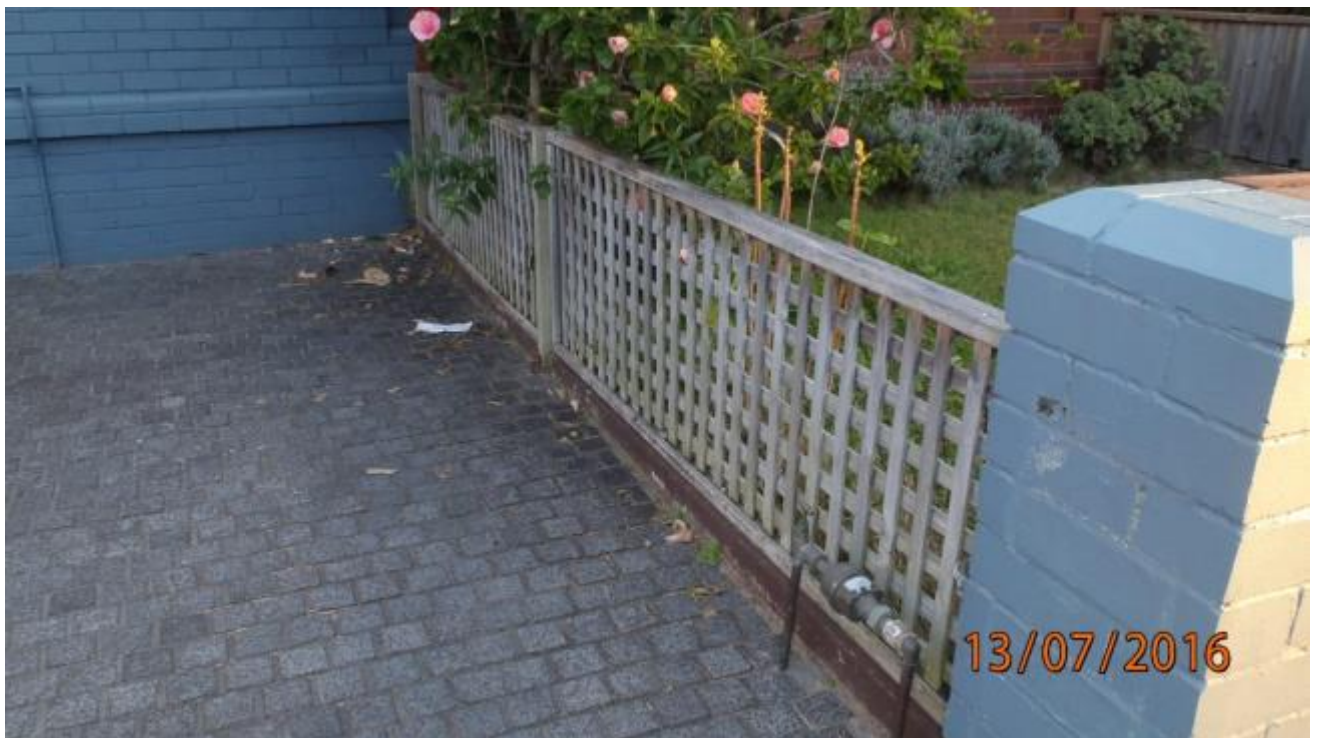
Photograph 1 shows terra cotta roof tiles to the original and first floor extension roof surfaces.



Photograph 2 shows the general condition of the front paved driveway/car space.



Photograph 3 shows cracking to the front pathway.



Photograph 4 shows the general condition of the front common boundary fence.



Photograph 5 shows a previously repaired step crack between the wall vent and the window head outside the Bedroom 2 window.



Photograph 6 shows previously repaired step cracking outside the Bedroom Lounge Room window.



Photograph 7 shows general deterioration and flaking of the surface coating to the Lounge room window.



Photograph 8 shows damage to the brickwork between the Kitchen and Lounge Room windows.



Photograph 9 shows the general condition of the rear southern elevation.



Photograph 10 shows the general condition of the rear deck structure.



Photograph 11 shows separation cracking between the moulding and ceiling



Photograph 12 shows flaking paint to the ceiling lining in the Sunroom.



Photograph 13 shows a previous repair / light fitting removal in the Sunroom.



Photograph 14 shows general deterioration of the surface coating to the ceiling of Bedroom 1.



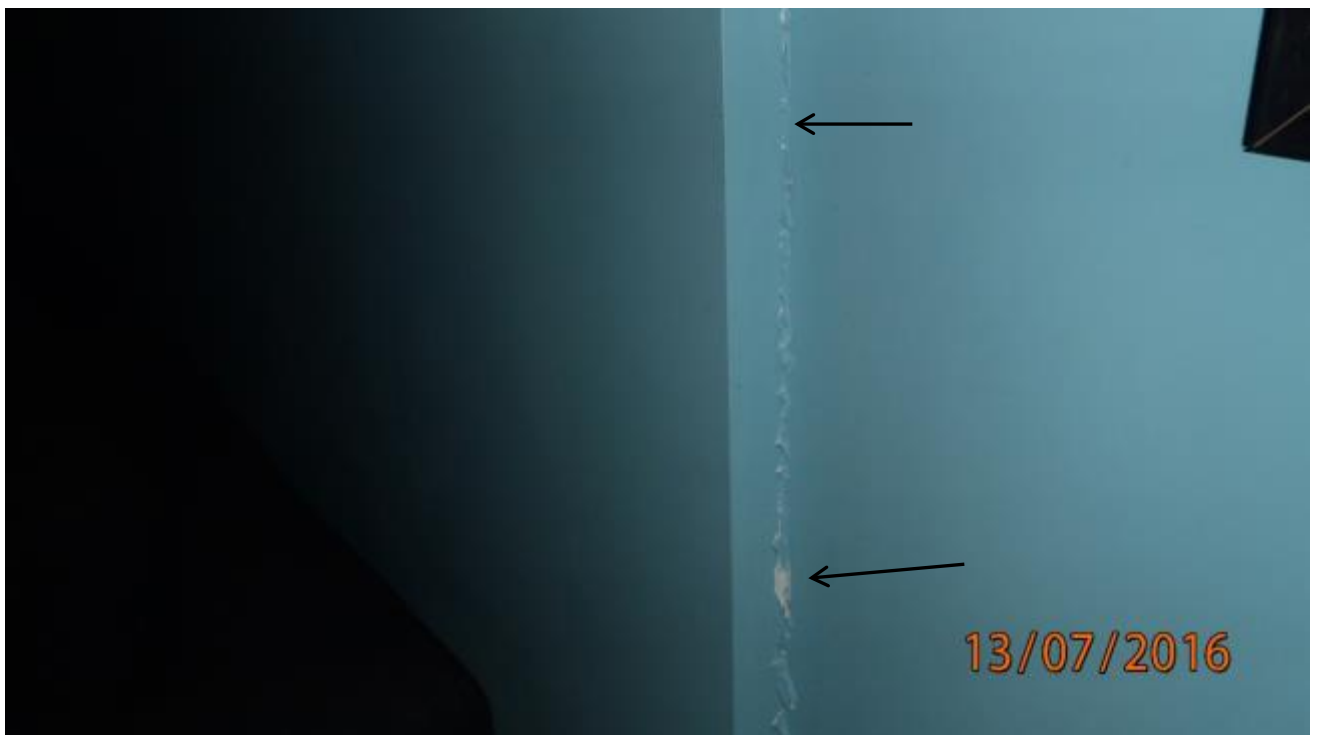
Photograph 15 shows separation cracking to the wall cornice junction in the Hallway.



Photograph 16 shows separation cracking to the wall cornice junction in the Hallway



Photograph 17 shows a vertical crack at the wall to wall junction and damage to the surface coating in the Hallway.



Photograph 18 shows a vertical crack at the wall to wall junction in the Hallway.



Photograph 19 shows previous repairs and cracking to the wall / wall junction and cornice under the staircase.



Photograph 20 shows a vertical crack adjacent to the cupboard in the Hallway.



Photograph 21 shows the general condition of the Bathroom.



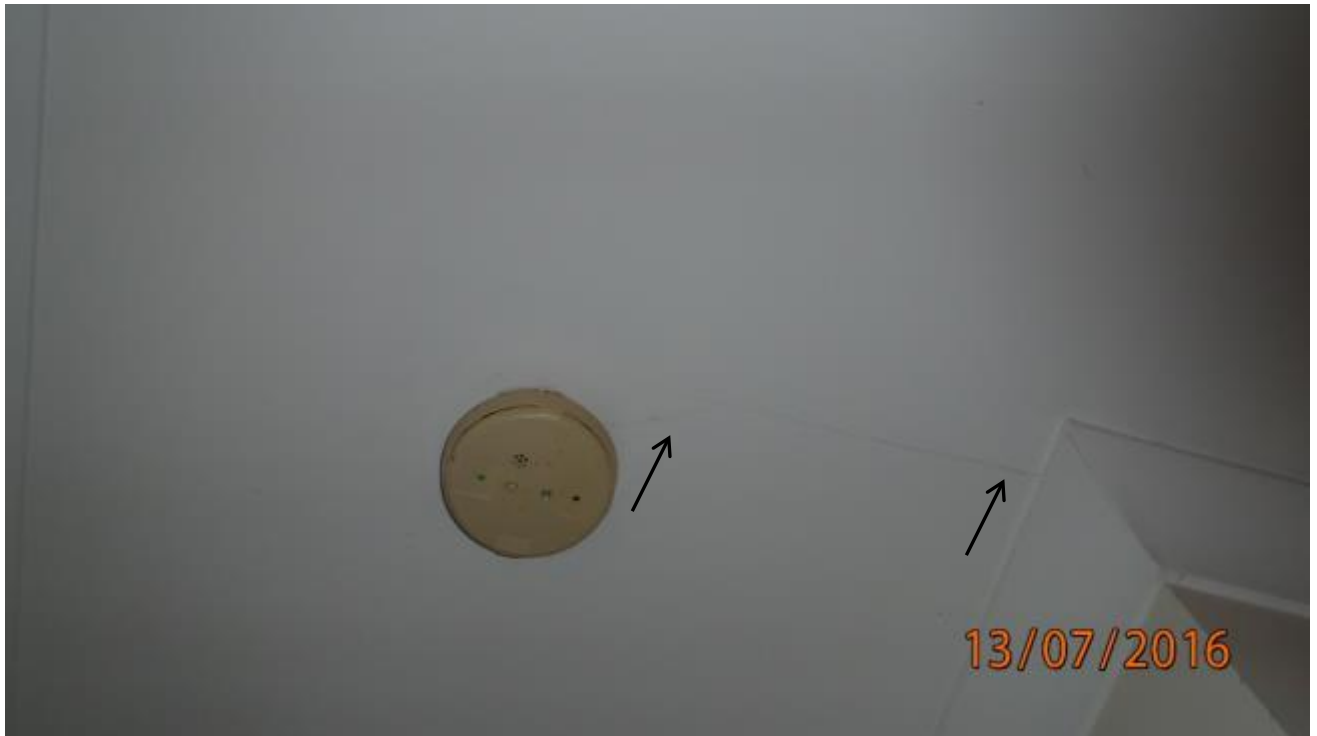
Photograph 22 shows separation cracking to the wall cornice junction in Bedroom 2.



Photograph 23 shows separation cracking to the wall cornice junction in Bedroom 2.



Photograph 24 shows separation cracking adjacent to the architrave outside Bedroom 4.



Photograph 25 shows a crack to the ceiling lining adjacent to the smoke alarm fitting in the upstairs Hallway.



Photograph 26 shows the general condition of the upstairs Bathroom.



Photograph 27 shows vertical cracking to the architrave / door jamb junction and a radial crack extending from the architrave mitre joint towards the ceiling and vertical cracking to the wall to wall junction adjacent to the door.