

## Dilapidation Assessment Report

Prepared for: Cape Cod Australia Pty. Limited  
Job address: 11 Morrice Street, Lane Cove.  
Property Owner/s: Mrs. Therese Sheridan.  
Report reference: **LANE COVE COUNCIL**  
Development Application No: not available  
Date of assessment: 8<sup>th</sup> November 2016



Shows the front eastern elevation of the adjoining properties:  
No.11 and No.9 Morrice Street, Lane Cove

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This report is **not a guarantee** or an all-encompassing report dealing with the above property from every aspect. It is based on the condition of the property and the prevailing structural, soil and the weather conditions at the time of assessment. It is a reasonable attempt to identify any significant defects **visible** at the time of assessment.

This report, based on visual assessment, will not disclose defects in inaccessible areas; latent defects or defects which may be apparent in weather conditions that differ from those at the time of assessment.

11 November 2016

The Administrative & Scheduling Officer,  
Cape Cod Australia Pty. Limited,  
PO Box 2002,  
NORTH PARRAMATTA. NSW 1750

Attention: Mr. Chris Koro.

Dear Sir,

**Re: Dilapidation Report – 11 Morrice Street, Lane Cove.**

We refer to your instructions in which you requested us to inspect and to prepare a dilapidation report on the above property as a requirement of the Development Application for the adjoining property (your client), **9 Morrice Street, Lane Cove.**

We confirm that we assessed the property at 8:00 am on the 8<sup>th</sup> November 2016, in the presence of owner Mrs. Therese Sheridan.

### **SITE ASSESSMENT**

The sole purpose of the report is to identify existing visible defects in the building to produce a photographic dilapidation report. During the inspection process no furniture or personal belongings were moved / shifted to gain access.

An extensive site assessment was carried out so as to assess the condition of the external and internal structure of the single storey attached residence prior to the construction of an upper floor addition to the rear of the adjoining attached property (your client), **9 Morrice Street, Lane Cove.**

It is our understanding that the internal linings, Bathroom and Laundry to this residence, **11 Morrice Street, Lane Cove** have been recently renovated.

We confirm that our assessment was carried out without benefit of construction documents for this residence, **11 Morrice Street, Lane Cove**, including the addition to the rear of the residence.

### **Observations and Notes Taken**

The weather at the time of our assessment was fine.

#### **General Description of the Property**

It is situated on a sloping site that falls from rear to front with an easterly facing frontal aspect.

We noted that the original full brick / brick cavity, attached single storey residence is approximately circa 1920 – 1930 and is supported on clay masonry brick footings. We noted that the garage is built in to the sub-floor space of the residence.

We observed that there is clay brick *common party* wall with the adjoining property, No. 9 Morrice Street. We further noted that the wall extends from below floor level to the underside of the rafters. We noted that the *common party* wall is supported below floor level on clay brick footings.

We noted that the *common* hipped and valley roof is a traditional cut and pitched timber structure with terra cotta roofing tiles. We further noted that the rear section flat roof is pre-finished sheet metal roofing.

## **ROOF SURFACES**

Due to NSW Work Health and Safety [WHS] requirements, we confirm that we did not access the roof surfaces but observed the roof surfaces from ground level.

We observed that the terracotta roof tiles to the common roof surfaces are generally interlinked and securely bedded, in our opinion forming a weather resistant cover to the residence.

We noted extra flashing / weatherproofing provided to the hip tiles over the front southeast corner [Sunroom] of the residence. **[Photograph 1]**

We noted lifting and some deterioration to the hip capping and pointing over the front southeast corner [Bedroom 1] of the residence. **[Photograph 2]**

We noted that the sheet metal roofing to the rear roof surfaces is in good condition and is securely fixed, in our opinion forming a weather resistant cover to the rear addition.

## **UNDER FLOOR**

We noted that the floor system is hardwood timber bearers and joists and strip timber flooring and that there is a brick *common party* wall with the adjoining property, No. 9 Morrice Street that extends to floor level. We did not observe cracking in the clay brickwork below floor level in the sub floor area.

## **EXTERNAL**

### **General**

We noted that the external walls are constructed of clay masonry brickwork. We also noted that the external brick work is surface coated.

### **Front Eastern Elevation**

We noted hairline radial cracking above the garage door head. **[Photographs 3 & 4]**

We noted shrinkage cracking to the concrete pavement outside the garage. **[Photograph 5]**

We noted cracking to the concrete driveway. **[Photographs 6 & 7]**

We noted damage to the planter boxes above the garage door. **[Photograph 8]**

We noted displaced grout around the vitrified clay tiles to the front steps and landing. **[Photograph 9]**

We noted cracking through the concrete block stringer on the front steps. **[Photograph 10]**

### **Rear Western Elevation**

We did not observe any recent cracking to the surface coated clay masonry brickwork.

We noted that the rear *common* boundary fence with the adjoining property, No. 9 Morrice Street was of timber post and rail construction and was lined with brush covering **[Photograph 11]**

We noted a metal framed louvre awning at the rear over the timber deck. **[Photograph 12] 567**

### Southern Elevation

We noted shrinkage cracking and damage to the concrete pathway. [**Photographs 13 & 14**]

We noted cracking to the cement rendered foundations and staining to the base of the foundations outside the kitchen window. [**Photograph 15**]

We noted cracking around the expansion joint in the brickwork outside the kitchen. [**Photograph 16**]

We noted radial cracking around a previous hole in the brickwork outside Bedroom 2.  
[**Photograph 17**]

We noted separation cracking to the fence wall and the external residence wall. [**Photograph 18**]

### Sewerage / Drainage

We did not assess the condition of or the adequacy of the sewerage / waste water drainage system.

We noted that there was no evidence of surcharge or blockage to the sewerage/drainage service at the time of assessment.

### Storm Water Drainage

We did not assess the condition of or the adequacy of the storm water drainage system.

## **ROOF STRUCTURE / SPACE**

We observed that the *common* roof to the properties is of traditional cut and pitched timber construction.

We noted that there is no sarking provided to the underside of the roofing tiles and further noted that the underside of the roof tiles showed signs of efflorescence and fretting. [**Photograph 19**]

We observed that the roof and ceiling timbers that are accessible are generally in good condition.  
[**Photograph 19**]

We also noted that there was an attic access ladder installed allowing access to the roof space and some goods were stored in the roof space. [**Photograph 19**]

We noted that the timber ceiling joists are built into the *common party* wall. We further noted that the common ridge to the roof is located over the *common party* wall. [**Photograph 19**]

We also noted that the clay brick *common party* wall extends to the underside of the rafters.

## **INTERNAL**

We confirm that no personal belongings, such as bedding, wardrobes, furniture, paintings and the like were moved to assess the condition of the walls behind.

### Entry

We did not observe any cracking to the plaster ceiling or to the mitre joints decorative plaster cornice.

### Sunroom

We did not observe any cracking to the cement rendered wall surfaces or to the decorative plaster ceiling.

### Front Bedroom 1

We noted staining to the ceiling and decorative plaster cornice in the south-eastern corner. **[Photograph 20]**

We did not observe any cracking to the cement rendered wall surfaces or to the decorative plaster ceiling.

### Hallway

We noted that there is a skylight installed in the ceiling. We further noted vertical hairline cracking to the square set joints of the skylight. **[Photograph 21]**

We noted evidence of a previous repair to the decorative plaster cornice along the *common party* wall with the adjoining property, No. 11 Morrice Street. **[Photograph 22]**

We noted displacement of the securers to the plaster ceiling adjacent to the downlight fitting **[Photograph 23]**

We did not observe any cracking to the cement rendered *common party* wall with the adjoining property, No. 11 Morrice Street.

### Bathroom

We did not observe any cracking to the plaster ceiling or to the mitre joints in the cornice.

We did not observe any recent cracking to the ceramic wall tiles.

We noted that the grout to the wall and floor tiles is complete and that the wall and floor tiles when randomly “tap” tested appeared to be sound. We did not observe any recent cracking to the tile grout at the wall / wall, wall / floor junctions. **[Photograph 24]**

### Study

We did not observe any cracking to the cement rendered wall surfaces, the plaster ceiling or to the mitred joints in the decorative profiled plaster cornice.

### Bedroom 2

We noted a fireplace in the south-western corner.

We noted flaking paint and staining to the decorative plaster ceiling and plaster cornice. **[Photograph 25]**

We noted evidence of a previous patch repair to the plaster ceiling. **[Photograph 26]**

We noted flaking paint to the decorative plaster ceiling and plaster cornice. **[Photograph 27]**

### Laundry

We did not observe any cracking to the plaster ceiling or to the mitred joints in the cornice.

We did not observe any recent cracking to the ceramic wall tiles.

We noted that the grout to the wall and floor tiles is generally complete and that the wall and floor tiles when randomly “tap” tested appeared to be sound. **[Photograph 28]**

We noted displaced grout to the wall / wall joint in the north-western corner above the door. **[Photograph 29]**

## Kitchen

We noted that the room is open plan design with an island bench. [**Photograph 30**]

We noted staining to the plaster ceiling lining in the south-western corner. [**Photograph 31**]

We noted hairline cracking [ $<1.0\text{mm}$ ] to the mitre joint in the plaster cornice in the south-eastern corner. [**Photograph 32**]

We noted vertical hairline cracking [ $<1.0\text{mm}$ ] to the wall / wall junction and the cupboard / wall junction in the south-eastern corner. [**Photograph 32**]

We noted displacement of the securers to the plaster ceiling. [**Photograph 33**]

## Lounge Room

We did not observe any cracking to the cement rendered wall surfaces and in particular to the *common party* wall with the adjoining property, No. 11 Morrice Street.

We observed cracking [ $1.0\text{mm} - 3.0\text{mm}$ ] of the plaster cornice and evidence of a previous repair above the *common party* wall with the adjoining property, No. 11 Morrice Street. [**Photograph 34**]

We noted hairline separation cracking [ $<1.0\text{mm}$ ] to the plaster ceiling lining extending across the Lounge room [**Photographs 35 & 36**]

We noted cracking [ $<1.0\text{mm}$ ] to the cornice joint above the *common party wall* with the adjoining property, No. 11 Morrice Street. [**Photograph 37**]

We noted cracking [ $<1.0\text{mm}$ ] to the mitre joint in the plaster cornice in the north-western corner. [**Photograph 38**]

## Opinion

In our opinion it is reasonable to suggest that the observed cracking in the property is not significant to cause impeded structural performance of the property. No large cracks [ $>5.0\text{mm}$ ] were detected in the property.

From our experience and considering the geo technical characteristics of the site and the age of the property, it is also reasonable to suggest that after any repairs, there is a probability that further cracking may occur to the property.

Trusting these observations and information is of assistance in the matter.



**Mark Spindler,**

for and behalf of  
**JONSPIN Building Services Pty. Ltd.**

Attached: Photographic Survey – Photographs 1 - 38 inclusive

## PHOTOGRAPHIC SURVEY



**Photograph 1** shows extra flashing / weatherproofing provided to the hip tiles over the front southeast corner [Sunroom].



**Photograph 2** shows lifting and some deterioration to the hip capping and pointing over the front southeast corner [Bedroom 1] of the residence.





**Photograph 3** shows radial cracking above the garage door head.



**Photograph 4** shows radial cracking above the garage door head.





**Photograph 5** shows shrinkage cracking to the concrete pavement outside the garage.



**Photograph 6** shows the general condition of the driveway pavement.



**Photograph 7** shows the general condition of the driveway pavement.





**Photograph 8** shows damage to the planter boxes above the garage.



**Photograph 9** shows displacement to the grout on the front steps.



**Photograph 10** shows cracking to the front steps stringer wall.



**Photograph 11** shows the general condition of the rear common boundary fence



**Photograph 12** shows the rear elevation of the residence.





**Photograph 13** shows damage to the side concrete pathway





**Photograph 14** shows cracking and deterioration to the side concrete pathway adjacent to the side gate.



**Photograph 15** shows cracking to the cement rendered foundations and staining to the base of the foundations outside the kitchen window.

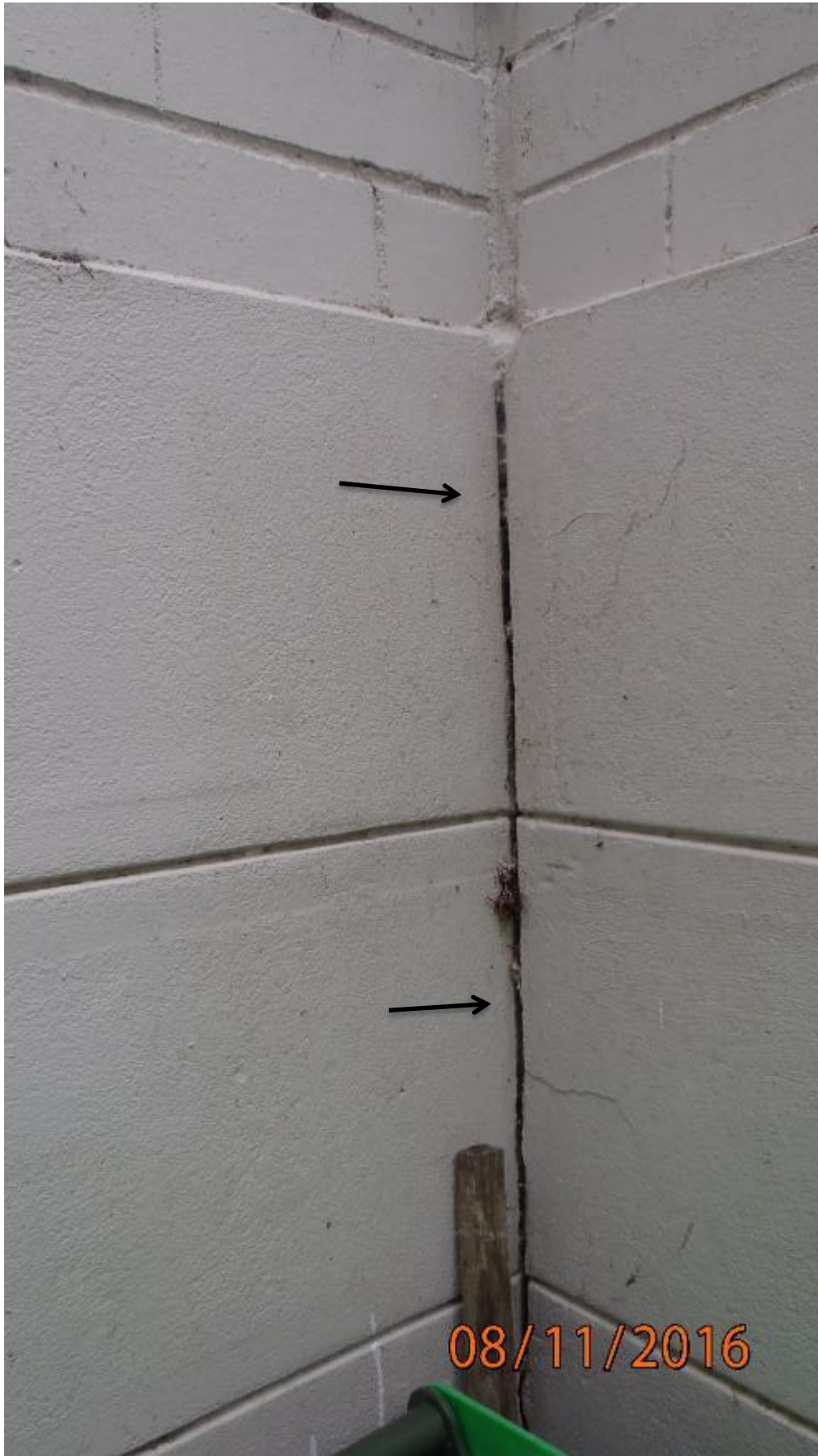


**Photograph 16** shows cracking around the expansion joint in the brickwork outside the kitchen.



**Photograph 17** shows radial cracking to the brickwork around a previous hole outside Bedroom 2.





**Photograph 18** shows separation and radial cracking to the fence wall and the external residence wall.



**Photograph 19** shows signs of efflorescence and fretting to the terracotta tiles, and goods stored in the roof space.



**Photograph 20** shows staining to the ceiling and decorative plaster cornice in the south-eastern corner of Bedroom 1.



**Photograph 21** shows vertical hairline cracking to the square set joints of the skylight.



**Photograph 22** shows evidence of a previous repair to the decorative plaster cornice along the *common party* wall with the adjoining property, No. 11 Morrice Street.



**Photograph 23** shows displacement of the securers to the plaster ceiling in the Hallway.





**Photograph 24** shows the general layout of the Bathroom.



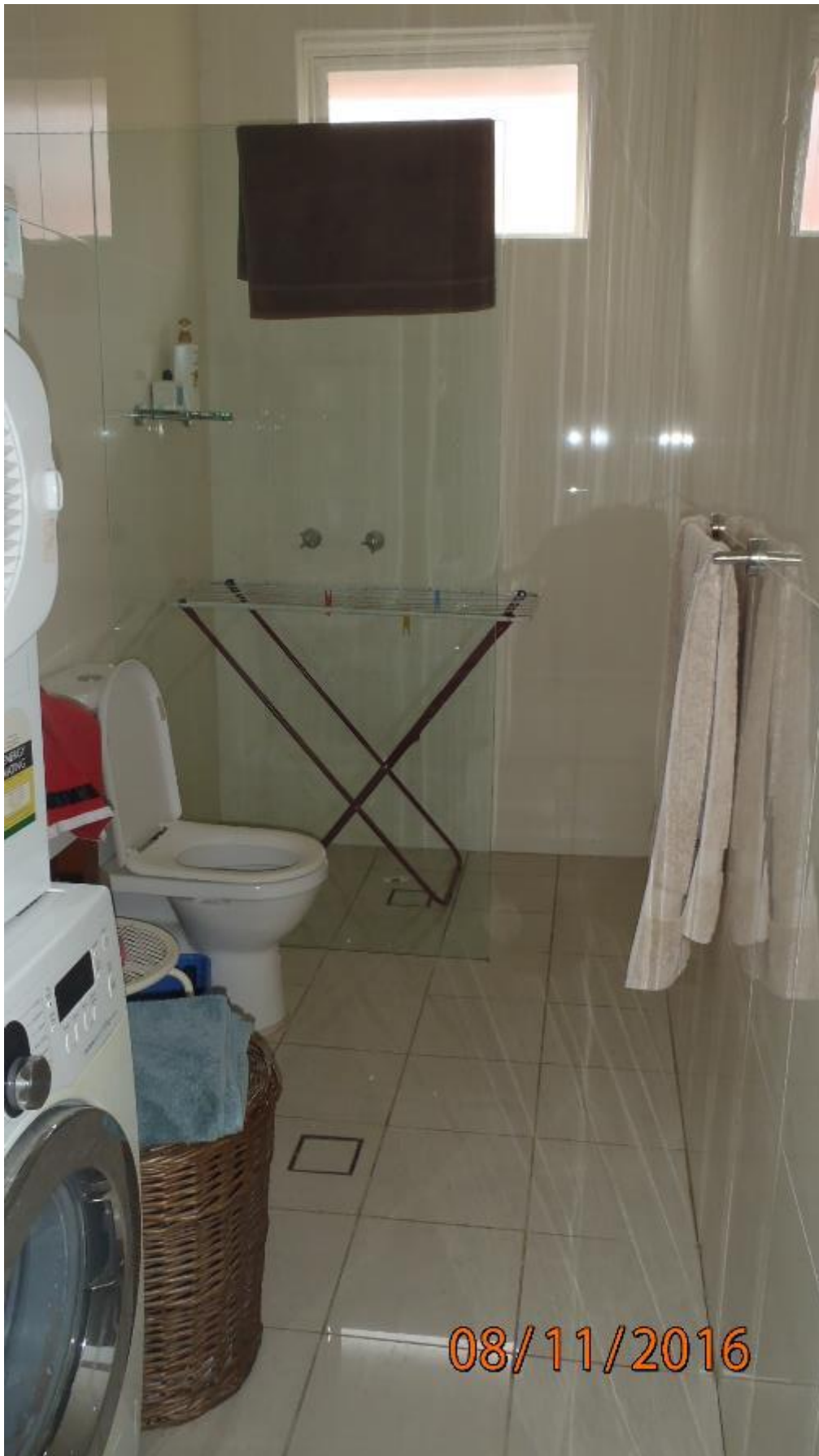
**Photograph 25** shows flaking paint and staining to the decorative plaster ceiling and plaster cornice in Bedroom 2.



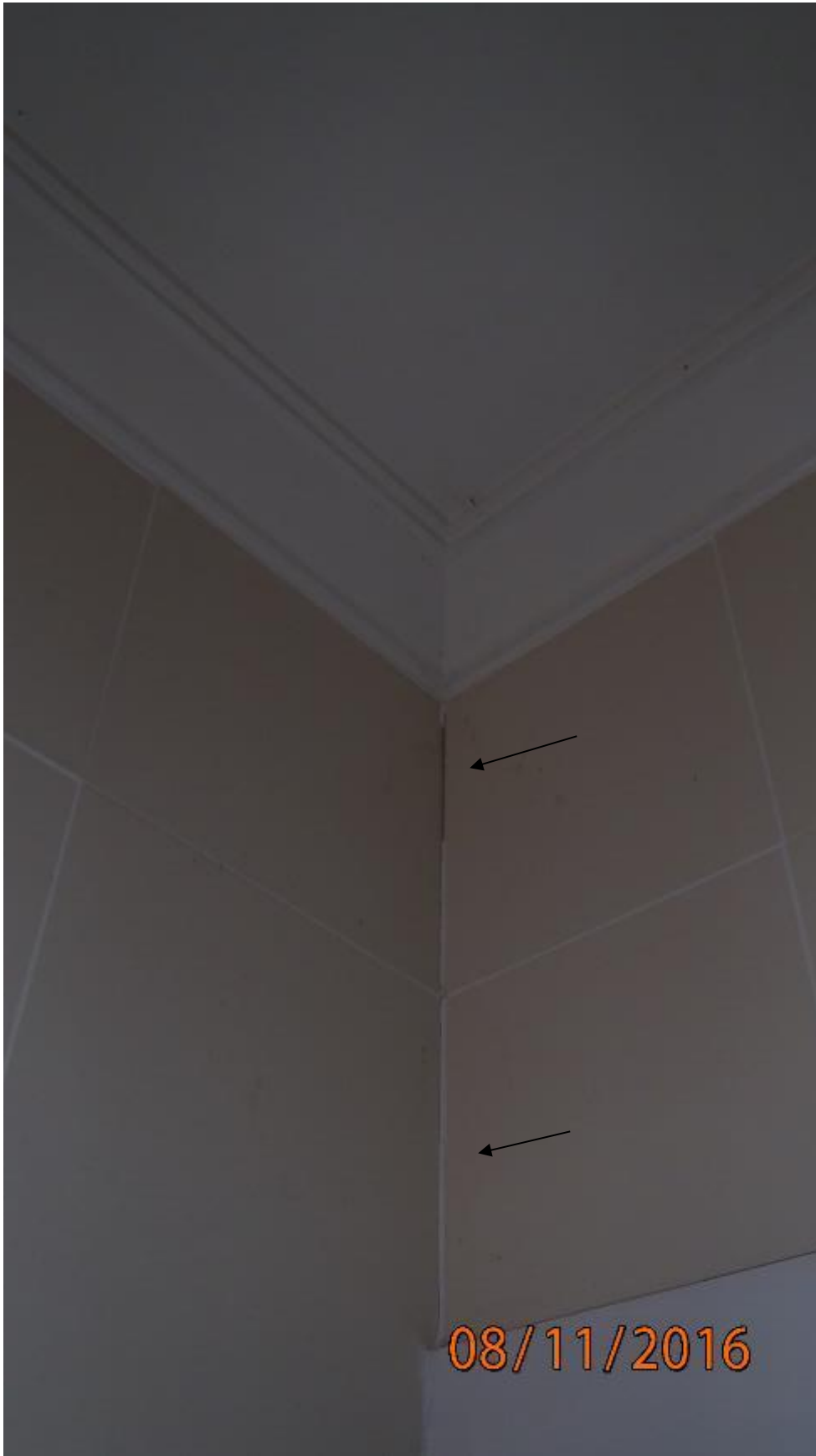
**Photograph 26** shows evidence of a previous patch repair to the plaster ceiling in Bedroom 2.



**Photograph 27** shows flaking paint to the decorative plaster ceiling and plaster cornice.



**Photograph 28** shows the general condition of the Laundry.



**Photograph 29** shows displaced grout to the wall / wall joint in the north-western corner above the door in the Laundry.



**Photograph 30** shows the general layout of the Kitchen.



**Photograph 31** shows staining to the plaster ceiling lining in the south-western corner in the Kitchen.



**Photograph 32** shows cracking to the mitre joint in the plaster cornice, the wall / wall junction and the cupboard / wall junction in the south-eastern corner in the Kitchen.

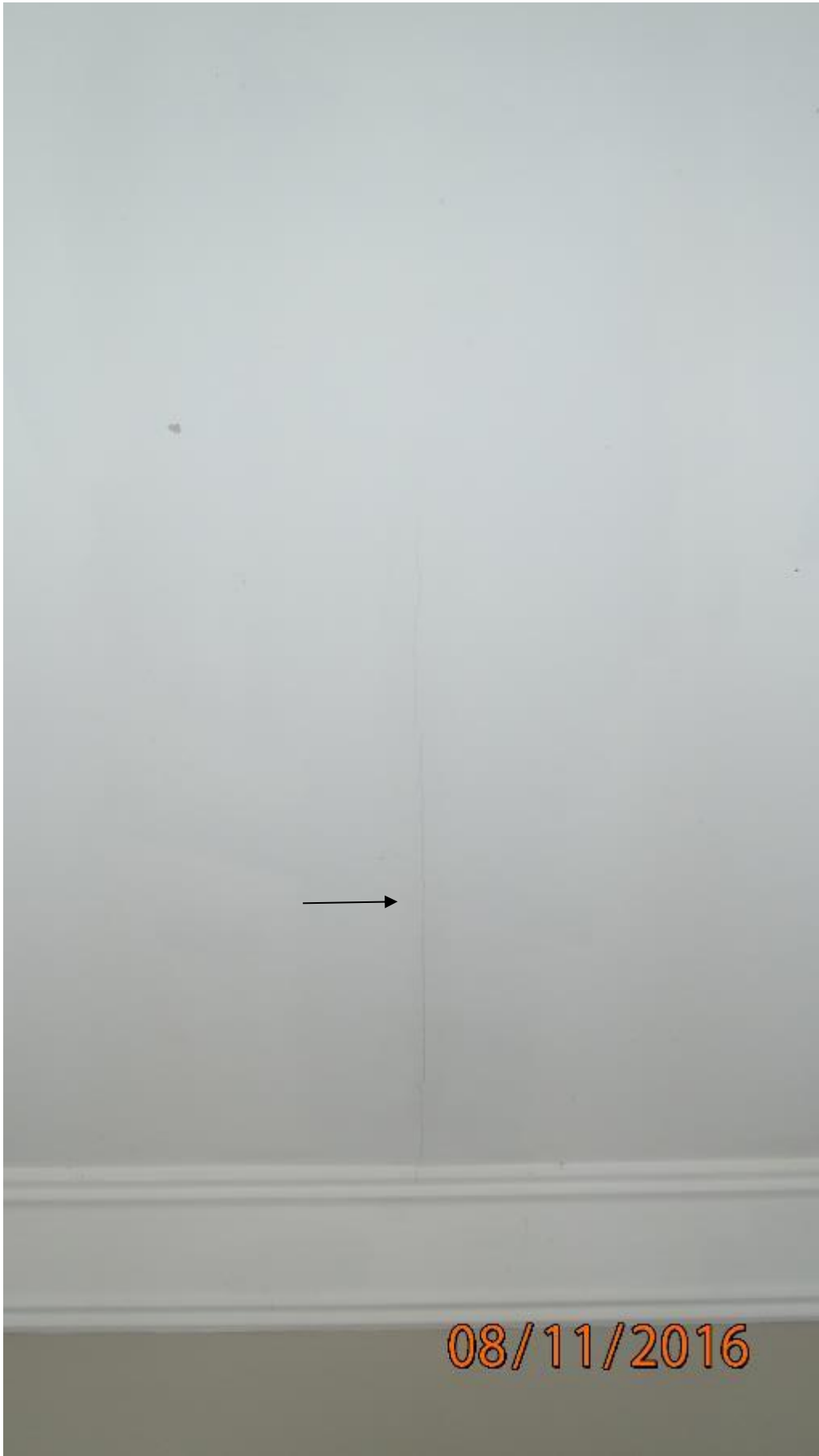




**Photograph 33** shows displacement of the securers to the plaster ceiling in the Kitchen.



**Photograph 34** shows cracking of the plaster cornice and evidence of a previous repair above the common party wall with the adjoining property, No. 11 Morrice Street.



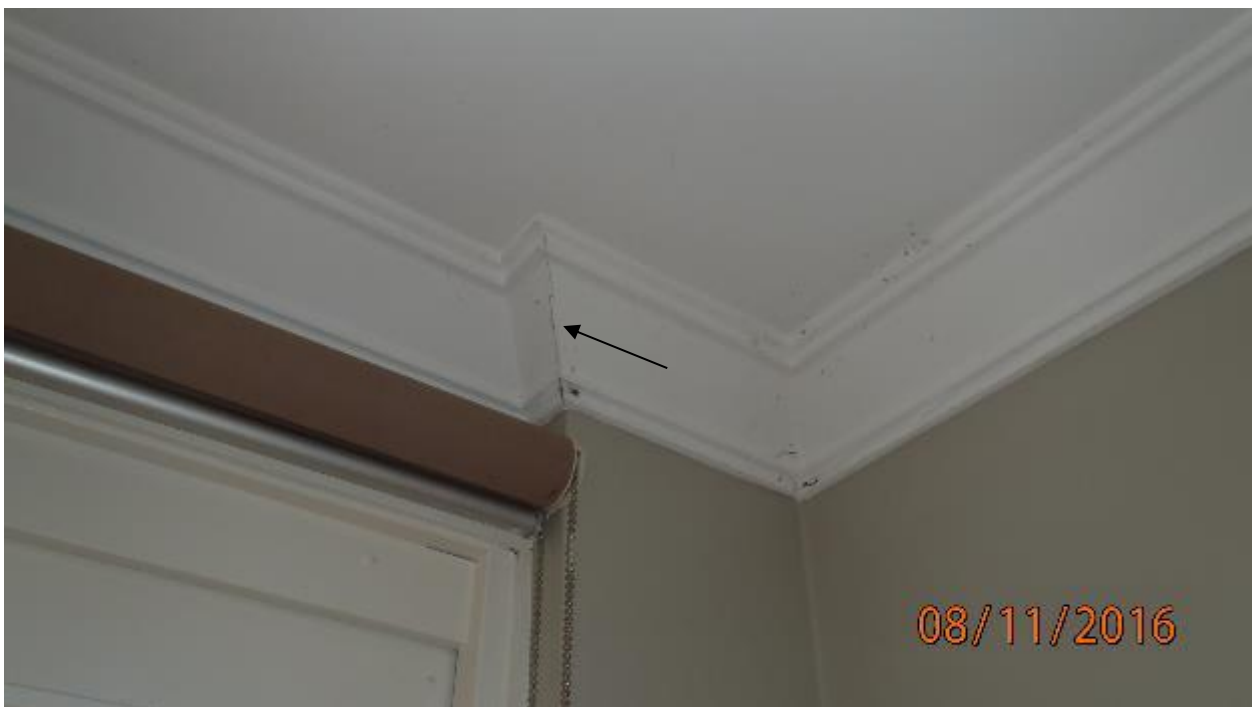
**Photograph 35** shows cracking to the plaster ceiling lining extending across the Lounge room.



**Photograph 36** shows cracking to the plaster ceiling lining extending across the Lounge room.



**Photograph 37** shows cracking to the cornice joint above the common party wall with the adjoining property, No. 11 Morrice Street in the Lounge Room.



**Photograph 38** shows cracking to the mitre joint in the plaster cornice in the north-western corner of the Lounge Room.