

Dilapidation Assessment Report

Prepared for: Cape Cod Australia Pty. Limited
Job address: 19 Brook Street, Coogee.
Property Owner/s: Mrs. Margaret Bettison.
Report reference: **RANDWICK CITY COUNCIL**
Development Application No: not available
Date of assessment: 4th November 2016.



Shows the front southern elevation of the adjoining properties:
No.17 and No.19 Brook Street, Coogee.

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This report is **not a guarantee** or an all-encompassing report dealing with the above property from every aspect. It is based on the condition of the property and the prevailing structural, soil and the weather conditions at the time of assessment. It is a reasonable attempt to identify any significant defects **visible** at the time of assessment.

This report, based on visual assessment, will not disclose defects in inaccessible areas; latent defects or defects which may be apparent in weather conditions that differ from those at the time of assessment.

9 November 2016

The Administrative & Scheduling Officer,
Cape Cod Australia Pty. Limited,
PO Box 2002,
NORTH PARRAMATTA. NSW 1750

Attention: Mr. Chris Koro,

Dear Sir,

Re: Dilapidation Report

We refer to your instructions in which you requested us to inspect and to prepare a dilapidation report on the above property as a requirement of the Development Application for the adjoining property (your client), No. 17 Brook Street, Coogee.

We confirm that we assessed the property on the 4th November, with the attendance of the property owner, Mrs. Margaret Bettison.

SITE ASSESSMENT

The sole purpose of the report is to identify existing visible defects in the building to produce a photographic dilapidation report. During the inspection process no furniture or personal belongings were moved / shifted to gain access.

An extensive site assessment was carried out so as to assess the condition of the external and internal structure of the single storey attached residence prior to the construction of an upper floor addition to the adjoining attached property (your client), No. 17 Brook Street, Coogee.

We confirm that our assessment was carried out without benefit of construction documents for this residence, No. 19 Brook Street, Coogee.

Observations and Notes Taken

The weather at the time of our assessment was fine.

General Description of the Property

It is situated on a sloping site that falls from front to rear with a south westerly facing frontal aspect.

We noted that the attached single storey residence is approximately circa 1910 – 1920 and is supported on sandstone block footings. We noted that the residence is a combination of full brick and brick veneer construction, clad with vinyl weatherboards to the rear and clay masonry brickwork to the front.

We observed that there is clay brick *common party / separation* wall with the adjoining property, No. 17 Brook Street, Coogee.

We noted that the *common* hipped and valley roof is a traditional cut and pitched timber structure with concrete roofing tiles.

ROOF SURFACES

Due to NSW Work Health and Safety [WHS] requirements, we confirm that we did not access the roof surfaces but observed the roof surfaces from ground level.

We observed that the concrete roof tiles to the original roof surfaces are generally interlinked and securely bedded, in our opinion forming a weather resistant cover to the residence. **[Photograph 1 and 2]**

UNDER FLOOR

We noted that the flooring system is hardwood timber bearers and joists and is supported on sandstone block footings. We further noted that

We noted that the original floor system is hardwood timber bearers and joists and strip timber flooring and that there is a brick *common party* wall with the adjoining property, No. 17 Brook Street that extends to floor level. We did not observe cracking in the clay brickwork below floor level in the sub floor area.

We noted that there is no evidence of termite protection to the structural timbers built into or supported upon the base / sandstone or brickwork.

EXTERNAL

General

We noted that the external walls are constructed of clay masonry brickwork, with the exception of the rear north-eastern elevation of which is clad with proprietary finish vinyl weatherboards.

Front South-Western Elevation

We noted that the front fence and the front common boundary fence was timber framed with chain link fence inserts. **[Photograph 3 and 4]**

We noted there is a paved pathway to the front, lined with concrete edging. **[Photograph 5]**

We noted that the patterned vitrified clay tiles to the front porch were generally sound with the grout complete. **[Photograph 6]**

We noted flaking of the surface coating to the front gable end trim. **[Photograph 7]**

We noted flaking of the surface coating to the front elevation window sill. **[Photograph 8]**

Side South-Eastern Elevation

We noted that the side elevation has a concrete pathway along its entirety. **[Photograph 9]**

We noted evidence of a previous gate support on the external brickwork. **[Photograph 10]**

We noted step cracking and displacement of mortar extending down toward the wall vent outside the pantry window **[Photograph 11]**

We noted step cracking and displacement of mortar extending down toward outside the WC window **[Photograph 12]**

Rear North-Eastern Elevation

We noted that the Laundry was built in to the Sub floor level at the rear and that a metal spiral staircase provided access to the rear door of the residence **[Photograph 13]**

We noted that the rear elevation of the residence is clad with proprietary vinyl weatherboards **[Photograph 13]**

We noted that the rear elevation of the property was paved and had vegetation growth through the paved surface. **[Photograph 14]**

We did not note any recent cracking to the clay masonry brickwork to the rear elevation.

Sewerage / Drainage

We did not assess the condition of or the adequacy of the sewerage / waste water drainage system.

We noted that there was no evidence of surcharge or blockage to the sewerage/drainage service at the time of assessment.

Storm Water Drainage

We did not assess the condition of or the adequacy of the storm water drainage system.

ROOF STRUCTURE / SPACE

We noted that the common roof space to the adjoining properties is of traditional cut and pitched timber construction.

We noted that there is malthoid sarking to the underside of the roofing tiles restricting access to the underside of the roofing tiles.

We noted that the clay masonry brick *common party / separation* wall extends in the roof space to the underside of the rafters.

INTERNAL

We confirm that no personal belongings, such as bedding, wardrobes, furniture, paintings and the like were moved to assess the condition of the walls behind.

Ground Floor

Entry

We noted separation cracking [$<1.0\text{mm}$] to the wall / ceiling junction and staining of the wall above the front entry door, adjacent to the *common party / separation* wall with the adjoining property No. 17 Brook Street, Coogee. **[Photograph 15]**

We noted hairline radial cracking extending from the front entry door head toward the ceiling. **[Photograph 16]**

Front Sunroom

We noted that the front sunroom has tessellated patterned tiles to the floor were generally sound with the grout complete. **[Photograph 17]**

We noted flaking paint and areas of mineral deposits to the front south western external wall. This, in our experience, is consistent with rising damp. **[Photograph 18]**

We did not observe any cracking to the plaster ceiling.

Front Bedroom 1

We noted hairline radial cracking [$<1.0\text{mm}$] to the wall above the door head to the front sunroom. **[Photograph 19]**

We noted that the ceiling has exposed joists. **[Photograph 20]**

We did not observe any cracking to the ceiling lining.

Hallway

We noted flaking paint and evidence of a previous repair to the cement rendered wall adjacent to the Bedroom 1 door. **[Photograph 21]**

We noted hairline radial cracking [$<1.0\text{mm}$] and staining to the cement rendered wall above the Bedroom 1 door **[Photograph 22]**

We noted separation cracking [$<1.0\text{mm}$] to the wall / ceiling junction timber moulding along the *common party / separation* wall with the adjoining property No. 17 Brook Street, Coogee. **[Photograph 23]**

We noted flaking paint to the ceiling lining. **[Photograph 24]**

We noted flaking paint to the *common party / separation* wall with the adjoining property No. 17 Brook Street, Coogee adjacent to the hall middle doorway. **[Photograph 25]**

Bedroom 2

We noted hairline radial cracking [$<1.0\text{mm}$] to the plaster ceiling lining across the eastern corner. **[Photograph 26]**

We noted hairline radial cracking [$<1.0\text{mm}$] to the cement rendered wall around the wall vent and above the window on the external south eastern wall. **[Photograph 26]**

Lounge Room

We noted that the ceiling was lined with timber look panelling. **[Photograph 27]**

We did not observe any cracking to the ceiling lining or to the painted cement rendered walls.

Bedroom 3

We noted hairline radial cracking [$<1.0\text{mm}$] to the plaster ceiling lining across the eastern corner. **[Photograph 28]**

We noted radial cracking [$<1.0\text{mm}$] to the cement rendered north eastern wall behind the bookcase shelving. **[Photograph 29]**

We noted radial cracking [$<1.0\text{mm}$] to the cement rendered north eastern wall adjacent to the window sill. **[Photograph 30]**

We noted hairline radial cracking [$<1.0\text{mm}$] to the plaster ceiling lining across the southern corner. **[Photograph 31]**

Kitchen

We did not observe any cracking to the ceiling lining or to the painted cement rendered walls.

We noted a skylight built into the ceiling and a decorative plaster ceiling rose. **[Photograph 32]**

Bathroom

We did not observe any cracking to the plaster ceiling.

We did not observe any recent cracking to the ceramic wall tiles or to the painted cement rendered walls above the wall tiles.

We noted that the grout to the wall and floor tiles is complete and that the wall and floor tiles when randomly "tap" tested appeared to be sound. We did not observe any recent cracking to the tile grout at the wall / wall, wall / floor junctions. **[Photograph 33]**

Pantry

We did not observe any cracking to the plaster ceiling or to the cement rendered walls

Rear Sunroom

We noted that the ceiling is raked and further noted flaking paint to the wall along the *common party / separation* wall with the adjoining property No. 17 Brook Street, Coogee. **[Photograph 34]**

Toilet

We noted evidence of a previous repair to the cement rendered wall below the window sill. **[Photograph 35]**

Laundry

We noted that the Laundry was built into the subfloor space under the rear sunroom / Kitchen area **Photograph 13]**

We noted flaking paint around the door **[Photograph 36]**

Opinion

In our opinion it is reasonable to suggest that the observed cracking in the property is not significant to cause impeded structural performance of the property. No large cracks [$>5.0\text{mm}$] were detected in the property.

From our experience and considering the geo technical characteristics of the site and the age of the property, it is also reasonable to suggest that after any repairs, there is a probability that further cracking may occur to the property.

Trusting these observations and information is of assistance in the matter.

Yours faithfully,



Mark Spindler,

for and behalf of
JONSPIN Building Services Pty. Ltd.

Attached: Photographic Survey – Photographs 1 - 36 inclusive.

PHOTOGRAPHIC SURVEY



Photograph 1 shows the front south-western elevation of the tiled roof surface.



Photograph 2 shows the rear north-eastern elevation of the tiled roof surface.



Photograph 3 shows the front common boundary fence.



Photograph 4 shows the front boundary fence of the residence.



Photograph 5 shows the front paved pathway.



Photograph 6 shows the condition of the tiles on the front porch.



Photograph 7 shows flaking paint to the front gable end trim.



Photograph 8 shows flaking paint to the front elevation window sill.



Photograph 9 shows general condition of the side south-eastern elevation.



Photograph 10 shows evidence of a previous gate on the south-eastern external wall.



Photograph 11 shows step cracking and displaced mortar to the brickwork on the south-eastern elevation external wall outside the pantry window.



Photograph 12 shows step cracking and displaced mortar to the brickwork on the south-eastern elevation external wall outside the toilet window.



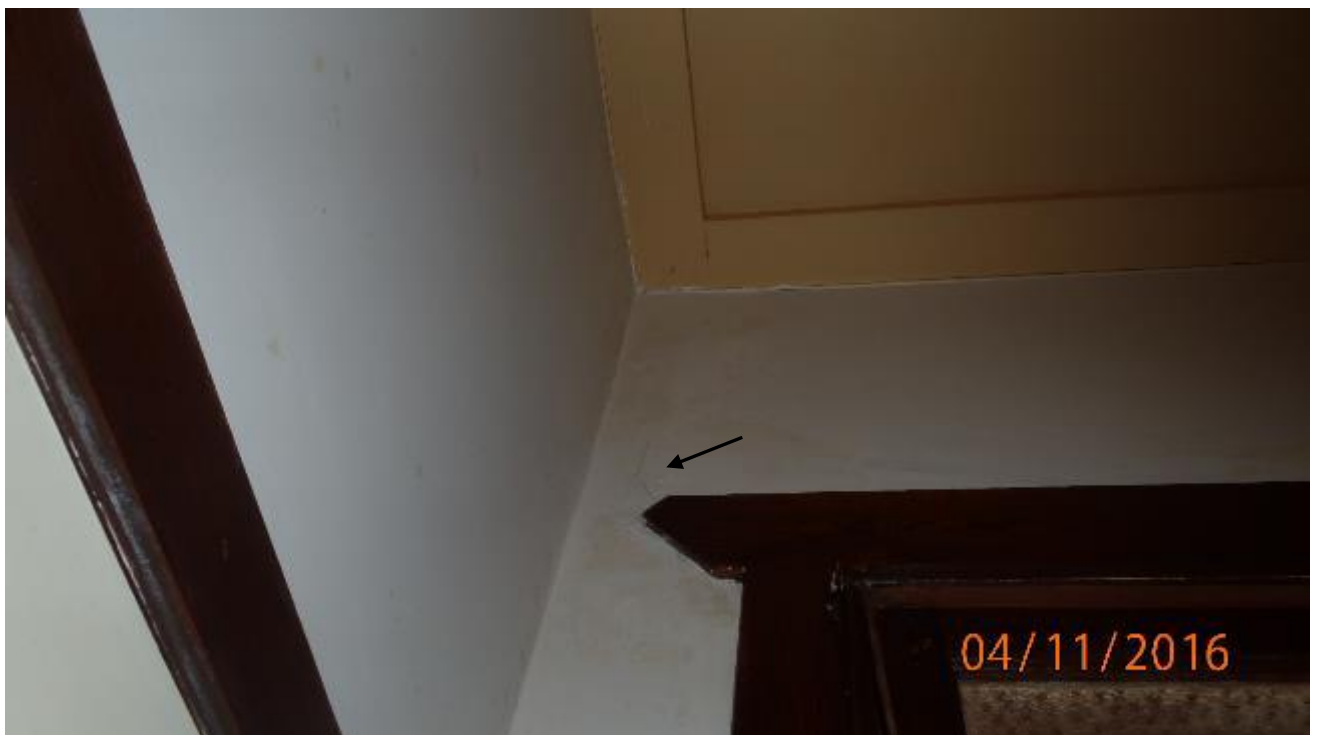
Photograph 13 shows the general condition of the rear north-eastern elevation.



Photograph 14 shows the general condition of the paved area to the rear.



Photograph 15 shows separation cracking to the wall / ceiling junction and staining of the wall above the front entry door, adjacent to the common party / separation wall.



Photograph 16 shows hairline radial cracking extending from the front entry door head toward the ceiling.



Photograph 17 shows the general condition of the floor tiles in the front sunroom.



Photograph 18 shows flaking paint and areas of mineral deposits to the front south western external wall.



Photograph 19 shows radial cracking to the wall above the door head to the front sunroom.



Photograph 20 shows the general condition of the ceiling in the Front Bedroom.



Photograph 21 shows flaking paint and evidence of a previous repair to the cement rendered wall adjacent to the Bedroom 1 door.



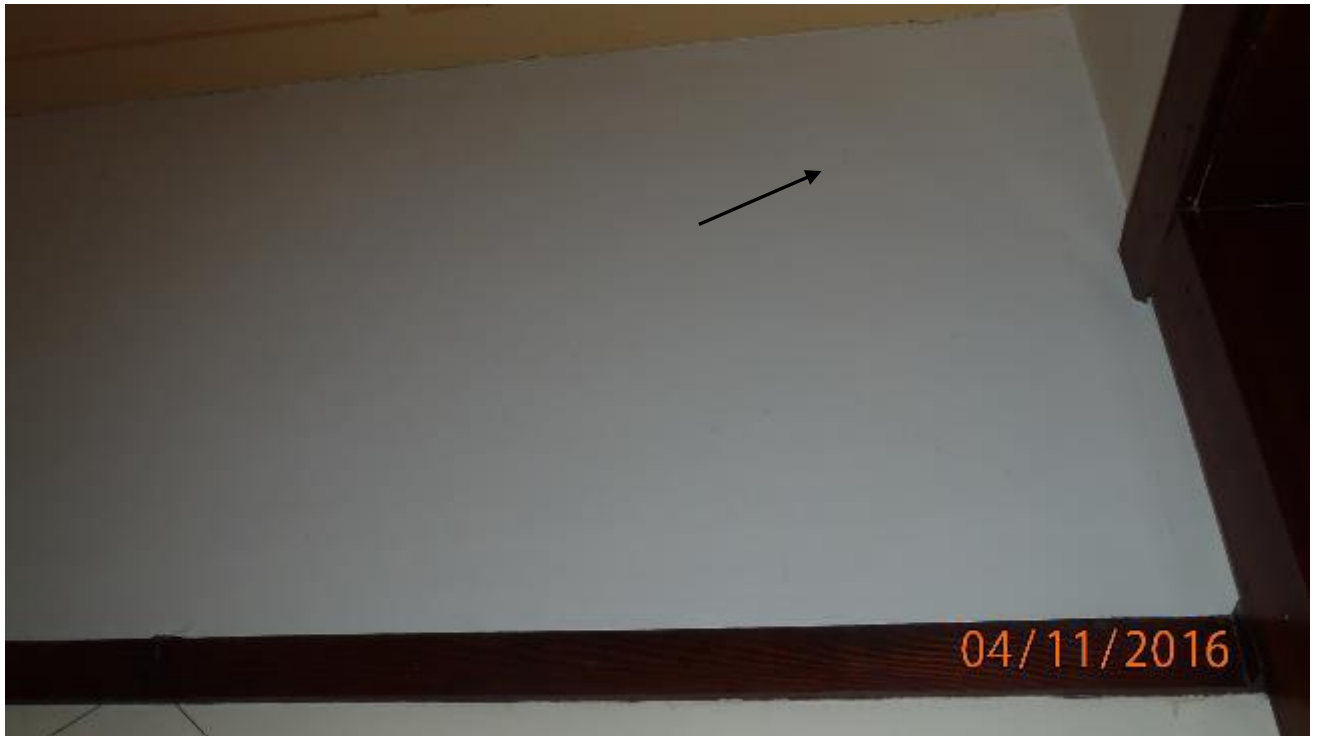
Photograph 22 shows radial cracking and staining to the cement rendered wall above the Bedroom 1 door.



Photograph 23 shows separation cracking to the wall / ceiling junction timber moulding along the common party / separation wall.



Photograph 24 shows flaking paint to the ceiling lining in the hallway.



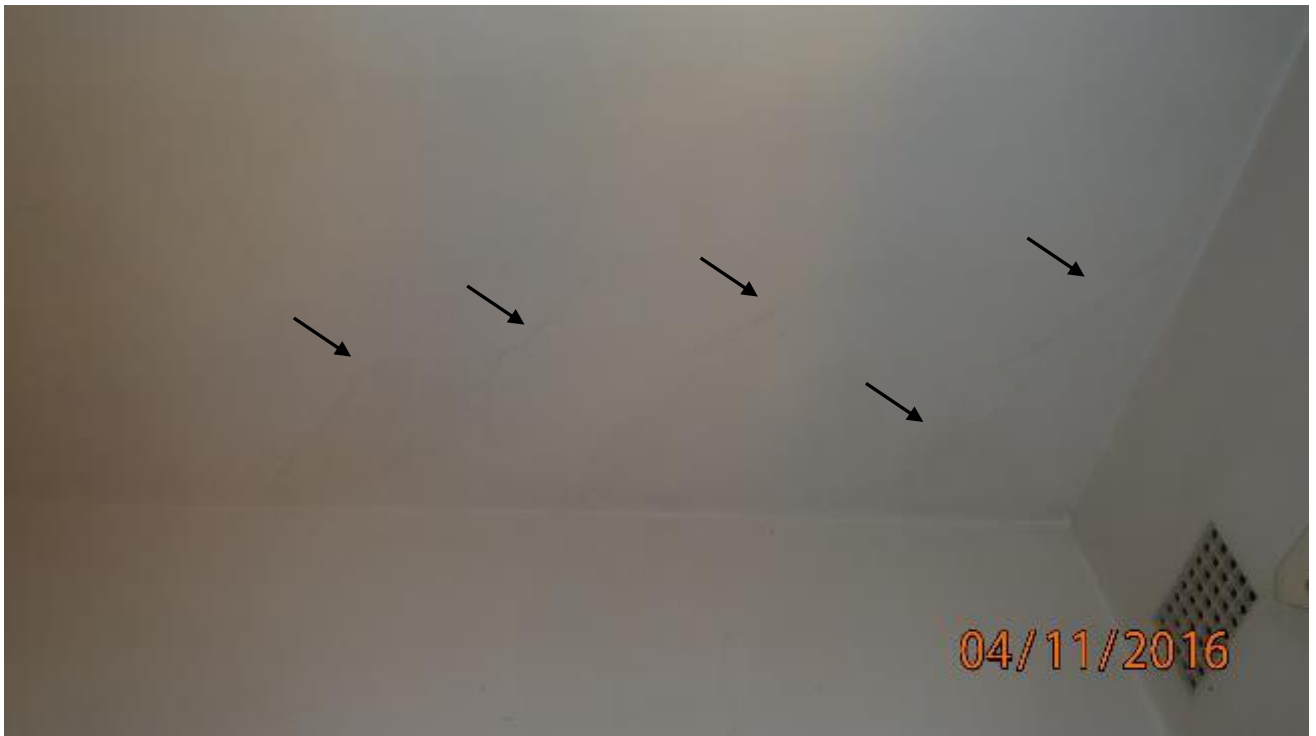
Photograph 25 shows flaking paint to the common party / separation wall with the adjoining property No. 17 Brook Street adjacent to the hall middle doorway.



Photograph 26 shows radial cracking to the plaster ceiling lining across the eastern corner, radial cracking to the cement rendered wall around the wall vent and above the window on the external south eastern wall of Bedroom 2.



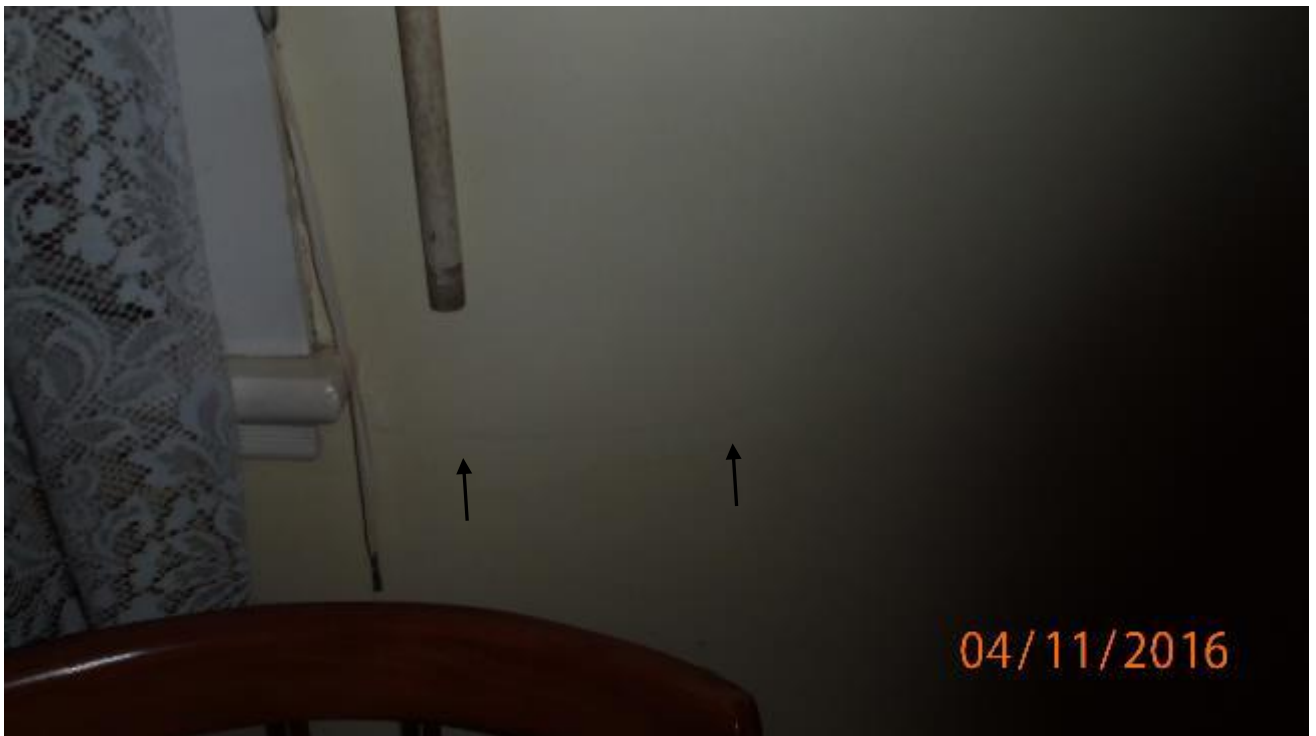
Photograph 27 shows the general condition of the Lounge Room ceiling.



Photograph 28 shows radial cracking to the plaster ceiling lining across the eastern corner of Bedroom 3.



Photograph 29 shows radial cracking to the cement rendered north eastern wall behind the bookcase shelving.



Photograph 30 shows radial cracking to the cement rendered north eastern wall adjacent to the window sill.



Photograph 31 shows radial cracking to the plaster ceiling lining across the southern corner of Bedroom 3.



Photograph 32 shows the general condition of the ceiling in the Kitchen / Dining area.



Photograph 33 shows the general condition and layout of the Bathroom.



Photograph 34 shows the raked ceiling and flaking paint to the wall along the common party / separation wall with the adjoining property No. 17 Brook Street, Coogee.



Photograph 35 shows the general condition and layout of the WC / toilet.



Photograph 36 shows flaking paint around the door in the Laundry.