

Dilapidation Assessment Report

Prepared for: Cape Cod Australia Pty. Limited
Job address: 49 Onslow Street, Rose Bay.
Property Owner/s: Mrs. Stephanie Rea.
Report reference: **WAVERLEY COUNCIL**
Development Application No: not available
Date of assessment: 13th September 2016



Shows the front northern elevation of the adjoining properties:
No.49 and No.51 Onslow Street, Rose Bay.

This report is provided for **the exclusive information of the Client**. It is a term and condition of the terms upon which this report is provided, that if the **Client** chooses to rely upon the report, that the Company and the person making this report will not be liable to the client or to any other person who suffers personal or property damage or financial loss in respect of any cause of action or tort, contract or however the cause of action is said to arise.

This report is **not a guarantee** or an all-encompassing report dealing with the above property from every aspect. It is based on the condition of the property and the prevailing structural, soil and the weather conditions at the time of assessment. It is a reasonable attempt to identify any significant defects **visible** at the time of assessment.

This report, based on visual assessment, will not disclose defects in inaccessible areas; latent defects or defects which may be apparent in weather conditions that differ from those at the time of assessment.

19 September 2016

The Administrative & Scheduling Officer,
Cape Cod Australia Pty. Limited,
PO Box 2002,
NORTH PARRAMATTA. NSW 1750

Attention: Mr. Chris Koro,

Dear Sir,

Re: Dilapidation Report

We refer to your instructions in which you requested us to inspect and to prepare a dilapidation report on the above property as a requirement of the Development Application for the adjoining property (your client), No. 51 Onslow Street, Rose Bay.

We confirm that we assessed the property on the 13th September, with the attendance of the property owner Mrs Stephanie Rae.

SITE ASSESSMENT

An extensive site assessment was carried out so as to assess the condition of the external and internal structure of the single storey attached residence prior to the construction of an upper floor addition to the adjoining attached property (your client), No. 51 Onslow Street, Rose Bay.

We confirm that our assessment was carried out without benefit of construction documents for this residence, No. 49 Onslow Street, Rose Bay.

Observations and Notes Taken

The weather at the time of our assessment was overcast.

General Description of the Property

It is situated on a slightly sloping site that falls from left to right with a northerly facing frontal aspect.

We noted that the attached single storey residence is approximately circa 1915 – 1925 and is supported on clay masonry brick footings. We noted that the residence is a full brick / brick cavity construction.

We observed that there is clay brick *common party / separation* wall with the adjoining property, No. 51 Onslow Street, Rose Bay. We further noted that the wall extends into the roof space to the underside of the rafters.

We noted that the *common* gable ended hipped and valley roof is a traditional cut and pitched timber structure with terra cotta roofing tiles. We noted that the rear section has a skillion roof with terra cotta roofing tiles.

ROOF SURFACES

Due to NSW Work Health and Safety [WHS] requirements, we confirm that we did not access the roof surfaces but observed the roof surfaces from ground level.

We observed that the terra cotta roof tiles to the roof surface are generally interlinked but show signs of deterioration. **[Photographs 1 and 2]**

We noted that the flashing to the rear extension wall of the adjoining property No. 51 Onslow Street and the tiled skillion roof surface is generally complete but the timber barge board is damaged and rotted. **[Photograph 3]**

We noted that the guttering system to the front north western corner of the adjoining property No. 51 Onslow Street is rusted through, allowing the roof surface water to discharge directly on to the tiled roof surface above the sunroom **[Photograph 4]**

UNDER FLOOR

We were unable to gain access to the under floor space due to construction methods.

EXTERNAL

General

We noted that the external walls are constructed of clay masonry brickwork.

Front Northern Elevation

We noted that the front common boundary fence with No. 51 Onslow Street, Rose Bay is surface coated cement rendered brickwork with a timber lattice extension. **[Photograph 5]**

We noted staining and mould growth to the cement rendered surface. **[Photographs 6 and 7]**

We noted that the front northern elevation is surface coated cement rendered brickwork with a prefabricated metal awning over the sunroom window.

We did not observe any recent cracking to the surface coated cement rendered brickwork. **[Photograph 1]**

We noted that the front pathway is tiled with ceramic tiles. We did not observe any recent cracking to the ceramic tiles and noted that the grout is complete. **[Photograph 8]**

We noted that the side pathway is also tiled with ceramic tiles. We did not observe any recent cracking to the ceramic tiles but did observe vegetation growth through the grout. **[Photograph 9]**

We noted evidence of rising damp to the external brickwork on the front north western corner of the cement rendered brickwork. We also noted that the roof surface water originally discharged directly to the ground adjacent to this corner. Recent work has extended the stormwater to the street system. **[Photograph 9 and 10]**

Side Western Elevation

We noted that the side western elevation is surface coated clay masonry brickwork. **[Photograph 11]**

We did not observe any recent cracking to the surface coated clay masonry brickwork.

We noted that the side of the residence is covered with a concrete pathway. **[Photograph 11]**

We noted hairline radial cracking [$<1.0\text{mm}$] to the pathway outside the kitchen window. **[Photograph 12]**

We noted flaking to the surface coating on the barge board above the laundry window **[Photograph 13]**

We noted flaking to the surface coating on the Laundry window sill and window **[Photograph 14]**

We noted flaking to the surface coating on the Lounge Room window sill and window **[Photograph 15]**

We noted flaking to the surface coating on the barge board and fascia above the Sunroom **[Photograph 16]**

Rear Southern Elevation

We noted that the rear of the residence has an attached timber framed pergola structure with corrugated profile fibreglass sheet roofing. **[Photograph 2]**

Sewerage / Drainage

We did not assess the condition of or the adequacy of the sewerage / waste water drainage system.

We noted that there was no evidence of surcharge or blockage to the sewerage/drainage service at the time of assessment.

Storm Water Drainage

We did not assess the condition of / or the adequacy of the storm water drainage system, but did note that the stormwater and gutter system had recently been extended at the front north western corner of the residence. **[Photograph 9]**

ROOF STRUCTURE / SPACE

We noted that the common roof space to the adjoining properties is of traditional cut and pitched timber

We also noted that there was no sarking provided to the underside of the roofing tiles except to the front section and that there was no insulation provided.

We also noted that the *common party / separation wall* extends in the roof space to the underside of the rafters.

INTERNAL

We confirm that no personal belongings, such as bedding, wardrobes, furniture, paintings and the like were moved to assess the condition of the walls behind.

Entry/Hallway

We noted that the eastern wall is the *common party / separation* wall with the adjoining property No. 51 Onslow Street, Rose Bay.

We did not observe any recent cracking to the *common* cement rendered walls with the adjoining property No. 51 Onslow Street, Rose Bay.

We observed general flaking paint to the decorative fibrous plaster ceiling. **[Photograph 17]**

Sunroom

We noted areas of flaking / lifting paint to the external north western wall and internal wall common with the Main Bedroom. This, in our experience, is consistent with rising damp. **[Photograph 18 & 19]**

We did not observe any recent cracking to the ceiling lining.

Main Bedroom 1

We noted hairline radial cracking [$<1.0\text{mm}$] extending from the decorative profile cornice toward the floor on the eastern wall. **[Photograph 20]**

We observed general flaking paint, mildew/mould growth and staining to the decorative fibrous plaster ceiling. **[Photograph 21]**

We did not observe any recent cracking to the decorative plaster cornice or the decorative fibrous plaster ceiling lining.

Bedroom 2

We noted flaking paint and hairline radial cracking [$<1.0\text{mm}$] to the southern wall common with the Bathroom. **[Photograph 22]**

We observed general flaking paint to the decorative fibrous plaster ceiling. **[Photograph 23]**

We noted hairline vertical cracking [$<1.0\text{mm}$] at the wall / wall junction in the north western corner. **[Photograph 24]**

We noted separation cracking [$<1.0\text{mm}$] at the wall / cornice junction in the north western corner. **[Photograph 24]**

Bathroom

We noted mildew/mould growth to the painted cement rendered external wall above the window. **[Photograph 25]**

We did not observe any recent cracking to the plaster ceiling.

We did not observe any recent cracking to the ceramic wall tiles or to the painted cement rendered walls above the wall tiles.

We noted that the grout to the wall and floor tiles is complete and that the wall and floor tiles when randomly "tap" tested appeared to be sound. We did not observe any recent cracking to the tile grout at the wall / wall, wall / floor junctions. **[Photograph 26]**

Lounge Room

We noted separation cracking [$<1.0\text{mm}$] at the wall / cornice junction on the western wall. **[Photograph 27]**

We noted separation cracking [$<1.0\text{mm}$] at the wall / cornice junction in the south western corner. **[Photograph 28]**

We noted flaking paint overall to the decorative plaster ceiling. **[Photographs 27 & 28]**

We noted vertical and radial cracking [$1.0\text{mm} - 3.0\text{mm}$] extending from the decorative profile cornice toward the floor on the southern wall. **[Photograph 29]**

We noted vertical and radial cracking [$<1.0\text{mm}$] extending from the decorative profile cornice toward the door head on the southern wall adjacent to the redundant fireplace. **[Photograph 30]**

Dining

We noted vertical and radial cracking [$<1.0\text{mm}$] extending from the decorative profile cornice toward the door head on the northern wall adjacent (opposite Photograph 30). **[Photograph 31]**

We noted flaking paint overall to the decorative plaster ceiling. **[Photographs 32]**

Note: adjacent to the *common party / separation* wall with No. 51 Onslow Street, Rose Bay.

Bedroom 3

We noted that the ceiling was raked and further noted flaking paint overall to the decorative plaster ceiling. **[Photographs 33]**

We noted hairline vertical cracking [$<1.0\text{mm}$] at the wall / wall junction in the south eastern corner. **[Photograph 34]**

We noted staining to the surface coated cement rendered wall on the eastern wall. Note: *common party / separation* wall with No. 51 Onslow Street, Rose Bay. **[Photograph 34]**

Kitchen

We noted separation cracking [$<1.0\text{mm}$] at the wall / cornice junction on the western external wall. **[Photograph 35]**

We noted staining to the plaster ceiling lining above the window **[Photograph 35]**

We noted vertical and radial cracking [$<1.0\text{mm}$] extending from the Laundry door head on the southern wall to the cove profile cornice. **[Photograph 36]**

We did not observe any recent cracking to the plaster ceiling.

We did not observe any recent cracking to the ceramic wall tiles or to the painted cement rendered walls above the wall tiles.

We noted that the grout to the wall tiles is complete and that the tiles when randomly “tap” tested appeared to be sound. We did not observe any recent cracking to the tile grout at the junctions. **[Photograph 37]**

Laundry

We noted that the ceiling was raked and further noted flaking paint overall to the plaster ceiling lining. **[Photographs 38]**

We noted radial cracking [$<1.0\text{mm}$] extending from the Laundry door head on the southern wall to the cove profile cornice. **[Photograph 38]**

We noted separation cracking [$<1.0\text{mm}$] at the wall / cornice junction on the western external wall. **[Photograph 38]**

Opinion

In our opinion it is reasonable to suggest that the observed cracking in the property is not significant to cause impeded structural performance of the property. No large cracks [$>5.0\text{mm}$] were detected in the property.

From our experience and considering the geo technical characteristics of the site and the age of the property, it is also reasonable to suggest that after any repairs, there is a probability that further cracking may occur to the property.

Trusting these observations and information is of assistance in the matter.

Yours faithfully,



Mark Spindler,

for and behalf of
JONSPIN Building Services Pty. Ltd.

Attached: Photographic Survey – Photographs 1 - 38 inclusive

PHOTOGRAPHIC SURVEY



Photograph 1 shows the general condition of the front *common* roof surface and the front elevation of the residence.



Photograph 2 shows the general condition of the rear *common* roof surface and the rear elevation of the residence.



Photograph 3 shows the flashing to the rear extension wall of the adjoining property No. 51 Onslow Street. Note: the condition of the barge board.



Photograph 4 shows the condition of the front gutter and downpipe at No. 51 Onslow Street. Note: roof surface water to discharge directly on to the tiled roof surface above the sunroom.



Photograph 5 shows the condition of the front common boundary fence with No. 51 Onslow Street.



Photograph 6 shows staining to the cement rendered front common boundary fence with No. 51 Onslow Street, Rose Bay



Photograph 7 shows mildew growth to the cement rendered front common boundary fence with No. 51 Onslow Street, Rose Bay.



Photograph 8 shows the general condition of the tiled front pathway.



Photograph 9 shows the general condition of the tiled side pathway and the extension to the downpipe to the stormwater system.



Photograph 10 shows evidence of rising damp to the external brickwork on the front north western corner of the cement rendered brickwork.



Photograph 11 shows the general condition of the western elevation of the residence.



Photograph 12 shows a crack to the concrete path outside the Kitchen window.



Photograph 13 shows deterioration and flaking of the surface coating to the barge outside the Laundry



Photograph 14 shows deterioration and flaking of the surface coating to the Laundry window.



Photograph 15 shows deterioration and flaking of the surface coating to the Lounge Room window.



Photograph 16 shows deterioration and flaking of the surface coating to the north west corner of the residence.



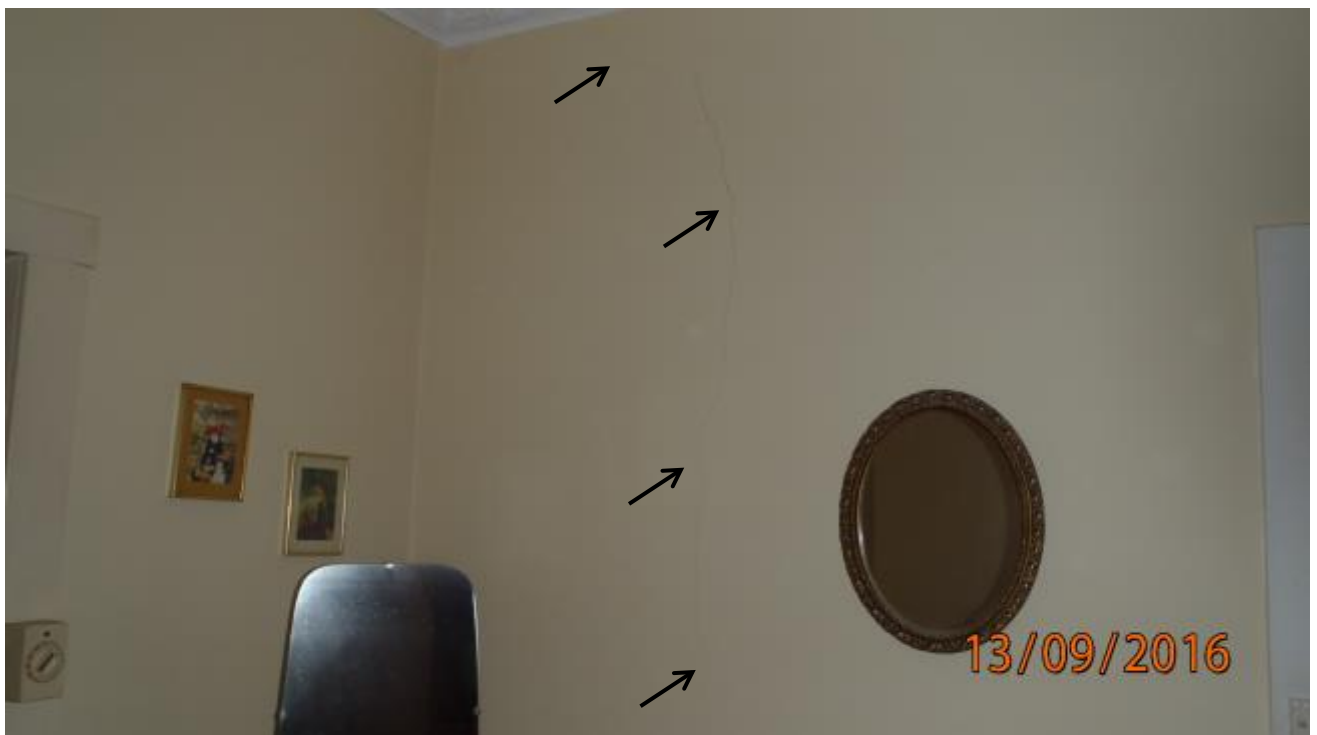
Photograph 17 shows flaking paint to the ceiling in the Hallway.



Photograph 18 shows evidence of rising damp to the wall common with the Main Bedroom in the Sunroom.



Photograph 19 shows evidence of rising damp to the external north western wall in the Sunroom.



Photograph 20 shows hairline radial cracking on the eastern wall in the Main Bedroom.



Photograph 21 shows flaking paint, mildew/mould growth and staining in the Main Bedroom.



Photograph 22 shows flaking paint and hairline radial cracking to the southern wall common with the Bathroom in the Bedroom 2.



Photograph 23 shows flaking paint to the ceiling in the Bedroom 2.



Photograph 24 shows flaking paint to the plaster ceiling lining, hairline vertical cracking at the wall / wall junction and separation cracking to the wall / cornice junction in the north western corner.



Photograph 25 shows noted mildew/mould growth in the Bathroom.



Photograph 26 shows the general layout of the Bathroom.



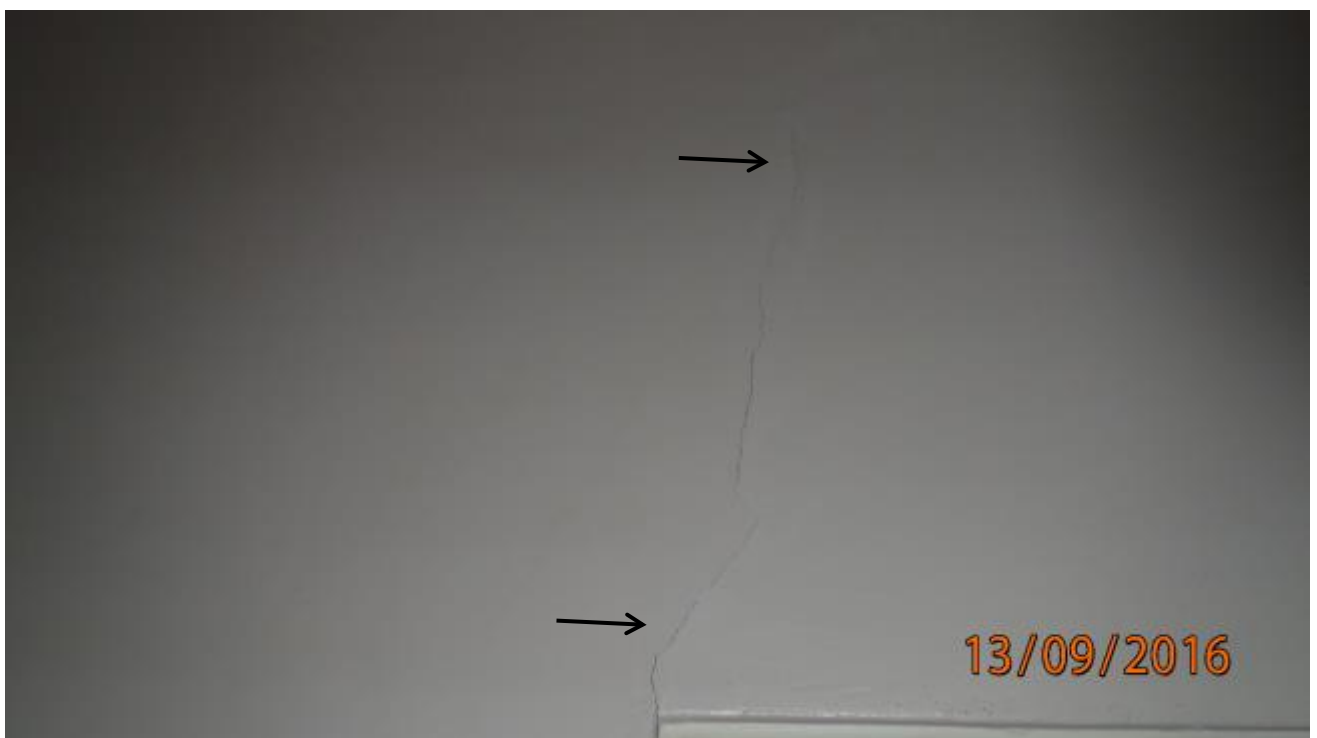
Photograph 27 shows flaking paint and separation cracking at the wall / cornice junction on the western wall in the Lounge Room.



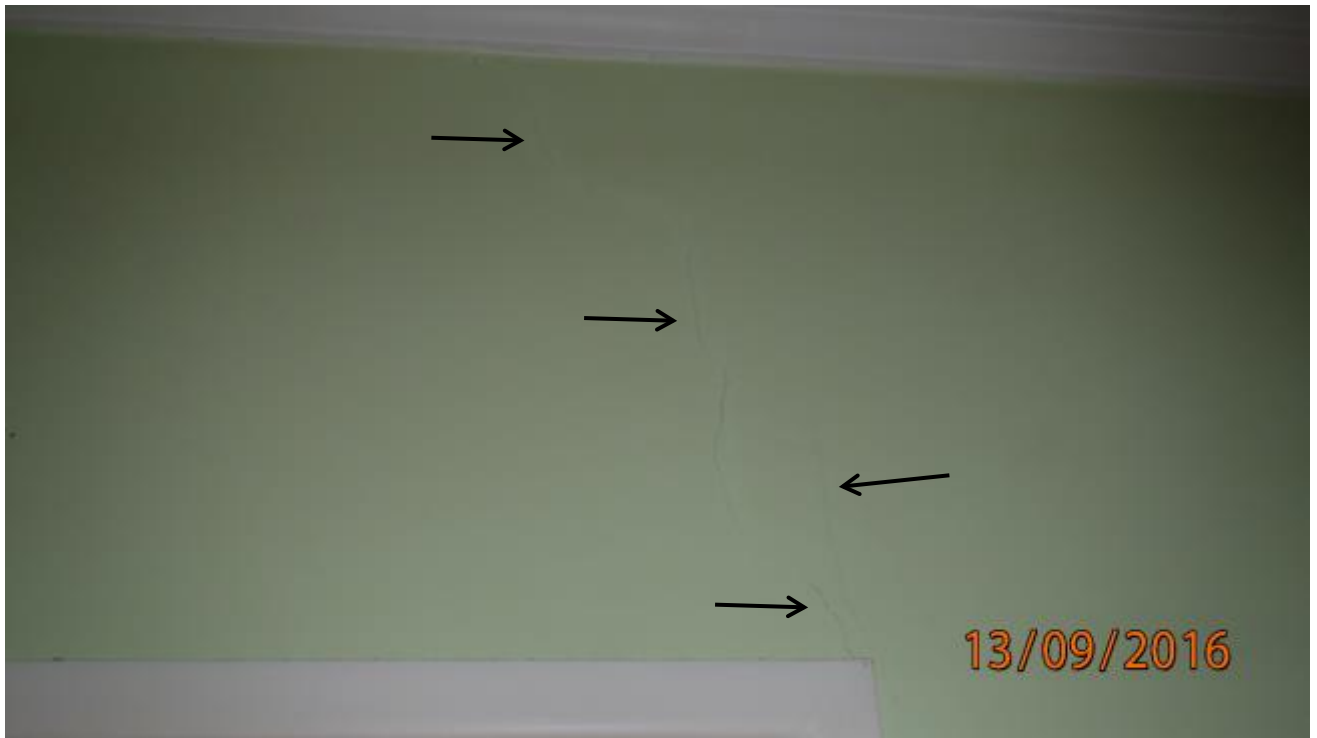
Photograph 28 shows flaking paint to the plaster ceiling in the Lounge Room.



Photograph 29 shows vertical and radial cracking on the southern wall in the Lounge Room.



Photograph 30 shows vertical and radial cracking extending from the decorative profile cornice toward the door head on the southern wall adjacent to the redundant fireplace in the Lounge Room.



Photograph 31 shows vertical and radial cracking extending from the decorative profile cornice toward the door head on the northern wall in the Dining Room.



Photograph 32 shows flaking paint overall to the decorative plaster ceiling in the Dining Room.



Photograph 33 shows flaking paint overall to the decorative plaster ceiling in the Bedroom 3.



Photograph 34 shows flaking paint, hairline vertical cracking at the wall / wall junction in the south eastern corner and staining to the surface coated cement rendered wall.



Photograph 35 shows separation cracking at the wall / cornice junction on the western external wall and staining to the plaster ceiling in the Kitchen.



Photograph 36 shows vertical and radial cracking extending from the Laundry door head on the southern wall **of the Kitchen**.



Photograph 37 shows the general layout of the Kitchen.



Photograph 38 shows flaking paint to the ceiling, radial cracking extending from the Laundry door head on the southern wall and separation cracking at the wall / cornice junction on the western external wall in the Laundry.