

Dilapidation Assessment Report

Prepared for: Cape Cod Australia Pty. Limited
Job address: 7 Jacques Street, Kingsford.
Property Owner/s: Unknown. Access via Mr. Andrew Yong.
Raine & Horne, Kingsford.
Report reference: **RANDWICK CITY COUNCIL**
Development Application No: not available
Date of assessment: 29th August 2016



Shows the front south eastern elevation of the adjoining properties:
No.5 and No.7 Jacques Street, Kingsford.

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This report is **not a guarantee** or an all-encompassing report dealing with the above property from every aspect. It is based on the condition of the property and the prevailing structural, soil and the weather conditions at the time of assessment. It is a reasonable attempt to identify any significant defects **visible** at the time of assessment.

This report, based on visual assessment, will not disclose defects in inaccessible areas; latent defects or defects which may be apparent in weather conditions that differ from those at the time of assessment.

31 August 2016

The Administrative & Scheduling Officer,
Cape Cod Australia Pty. Limited,
PO Box 2002,
NORTH PARRAMATTA. NSW 1750

Attention: Mr. Chris Koro,

Dear Sir,

Re: Dilapidation Report

We refer to your instructions in which you requested us to inspect and to prepare a dilapidation report on the above property as a requirement of the Development Application for the adjoining property (your client), No.5 Jacques Street, Kingsford.

We confirm that we assessed the property on the 29th August 2016, with the permission of the tenant and the managing Real Estate agent Mr. Andrew Yong. Raine & Horne, Kingsford.

SITE ASSESSMENT

An extensive site assessment was carried out so as to assess the condition of the external and internal structure, of the single storey attached residence, prior to the construction of an upper floor addition to the adjoining attached property (your client), No.5 Jacques Street, Kingsford.

We confirm that our assessment was carried out without benefit of construction documents for this residence, No.7 Jacques Street, Kingsford.

Observations and Notes Taken

The weather at the time of our assessment was overcast.

General Description of the Property

It is situated on a near level site with a south easterly facing frontal aspect.

We noted that the attached single storey residence is approximately circa 1920 – 1930 and is supported on clay masonry brick footings. We noted that the residence is of full brick / brick cavity construction and uses a suspended timber flooring system.

We observed that there is clay brick *common party* wall with the adjoining property, No.5 Jacques Street, Kingsford.

We noted that the *common* hipped roof is a traditional cut and pitched timber structure with terracotta roofing tiles.

ROOF SURFACES

Due to NSW Work Health and Safety [WHS] requirements, we confirm that we did not access the roof surfaces but observed the roof surfaces from ground level.

We observed that the terracotta roof tiles to the roof surface are generally interlinked and securely bedded, in our opinion forming a weather resistant cover to the residence. **[Photographs 1 & 2]**

We noted that the ridge pointing shows signs of deterioration to the front eastern corner above Bedroom 1 **[Photograph 1]**, the rear southern corner above the Kitchen **[Photograph 3]** and the rear southern corner above the external Laundry **[Photographs 4 & 5]**

We also noted cracked and lifted tiles to the roof surface above the external Laundry **[Photograph 4]**

We further noted that the flashing was lifted at the junction between the common party wall with the adjoining property; No.5 Jacques Street, Kingsford. **[Photograph 4]**

We also noted evidence of a previous repair to the ridge pointing to the front eastern corner above Bedroom 1 **[Photograph 6]**

UNDER FLOOR

We were unable to gain access to the under floor space due to construction methods.

EXTERNAL

General

We noted that the external walls are constructed of clay masonry brickwork.

Front South Eastern Elevation

We noted that the common boundary fence with No.5 Jacques Street, Kingsford is surface coated brick construction with a timber extension above. **[Photograph 7]**

We noted cracked mortar, displaced mortar and displaced brickwork around the wall vent outside Bedroom 2 (adjacent to the *common* wall with No.5 Jacques Street, Kingsford. **[Photograph 8]**

We noted a rusted lintel above the Bedroom 2 window and horizontal cracking to the mortar as a result. We also noted previous repointing to the mortar around the window. **[Photograph 9]**

We observed general displacement of the mortar (fretting) under the Bedroom 2 window. **[Photograph 10]**

We noted horizontal, step cracking and repointing to the mortar between Bedroom 1 and Bedroom 2. **[Photograph 11]**

We noted a rusted lintel above the Bedroom 1 window and previous repointing to the mortar around the window. **[Photograph 12]**

We observed general displacement of the mortar (fretting) under the Bedroom 1 window. **[Photograph 13]**

We noted damage and rotting to the eave soffit trim adjacent to the fascia board outside the Bedroom 1 window. **[Photograph 14]**

Side North Eastern Elevation

We noted that the side external wall was constructed of clay masonry brickwork. **[Photograph 15]**

We observed displaced brickwork and repointing to the mortar on the eastern corner outside Bedroom 1. **[Photograph 16]**

We noted damage to the fascia board and the gutter to the north eastern corner. **[Photograph 17]**

We noted rusted lintel bars above the Front Porch and the Bathroom window and evidence of previous repairs as a result. **[Photographs 18 and 19]**

We noted evidence of a previous repair to the brickwork and around the pipe adjacent to the front entry. We also noted that the gutter system downpipe discharged directly onto the concrete pathway. **[Photograph 20]**

We noted repointing of the mortar adjacent to the Bathroom window and around the wall vent. **[Photograph 21]**

We noted step cracking, repointing of the mortar and evidence of previous repairs between the Bathroom and Kitchen window. **[Photograph 22]**

We noted step cracking, repointing of the mortar and evidence of previous repairs outside the Kitchen window. **[Photograph 23]**

We noted cracked and raised concrete to the side pathway adjacent to the side gate. **[Photograph 24]**

We noted general settlement cracking to concrete side pathway and that the pathway is lined with a paver edging. **[Photograph 25]**

Side Porch / Entry

We noted that the concrete slab porch is lined with tessellated pattern tiles. We did not observe any recent cracking to the tiled surface. **[Photograph 26]**

We noted flaking paint and rotting to the front door. **[Photograph 27]**

We noted displaced brickwork around the electrical meter board cavity on the eastern wall. **[Photograph 28]**

Rear North Western Elevation

We noted that the rear external wall was constructed of clay masonry brickwork and that the brickwork is surface coated. **[Photograph 2]**

We noted that there was an attached timber awning with acrylic roof joining the main residence to the external Toilet and Laundry. We also noted that there was debris collected in the gutter system, and that the gutter was rusted above the Toilet, adjacent to the *common party / separation wall* with the adjoining property; No.5 Jacques Street, Kingsford. **[Photographs 29 and 30]**

We noted a vertical crack at the brick wall to wall junction adjacent to the sunroom window. We also noted that this wall is the *common party / separation wall* with the adjoining property; No.5 Jacques Street, Kingsford. **[Photograph 31]**

We noted rusting to the gutter system outside the external Laundry. **[Photograph 32]**

We noted rusting to the downpipe to the northern corner of the Laundry adjacent to the *common* boundary fence with the adjoining property; No.5 Jacques Street, Kingsford. **[Photograph 33]**

We noted a paved path surrounding the rear of the property with displaced pavers throughout. **[Photograph 34]**

We also noted mildew / lichen growth to the external Laundry wall on the north eastern corner. **[Photograph 34]**

Garage

We noted a freestanding combination surface coated brick, weatherboard and 'fibro' structure. We also noted that the roof is corrugated profile sheet metal roofing. **[Photograph 35]**

We noted a missing barge board to the front elevation above the garage door. **[Photograph 35]**

We noted that the garage structure had no gutter system and that the surface water discharged directly to the ground. **[Photograph 35]**

Sewerage / Drainage

We did not assess the condition of, or the adequacy of the sewerage / waste water drainage system.

We noted that there was no evidence of surcharge or blockage to the sewerage/drainage service at the time of assessment.

Storm Water Drainage

We did not assess the condition of, or the adequacy of the storm water drainage system.

ROOF STRUCTURE / SPACE

We noted that the common roof space to the adjoining properties is of traditional cut and pitched timber construction with terracotta roof tiles.

We also noted that the common party / separation wall extends into the roof cavity to the underside of the rafters.

INTERNAL

We confirm that no personal belongings, such as bedding, wardrobes, furniture, paintings and the like were moved to assess the condition of the walls behind.

We were advised by the tenant that the inside walls and surfaces of the premises were repaired and surface coated circa 2014.

Entry

We noted a previous repair to the plaster ceiling lining around the light fitting. **[Photograph 36]**

Front Bedroom 1 (Northern)

We noted evidence of a previous repair to the northern wall **[Photograph 37]**

We did not observe any cracking to the mitre joints of the wide decorative plaster cornice or to the plaster ceiling lining.

Front Bedroom 2 (Southern)

We noted a boarded up fireplace adjacent to the *common party / separation wall* with the adjoining property; No.5 Jacques Street, Kingsford. We did not observe any recent cracking around the fireplace structure.

We did not observe any cracking to the mitre joints of the wide decorative plaster cornice or to the plaster ceiling lining.

We did not observe any recent cracking to painted cement rendered walls.

Bathroom

We did not observe any cracking to the plaster ceiling.

We noted that the walls were tiled floor to ceiling. We did not observe any recent cracking to the ceramic floor or wall tiles.

We noted hairline separation cracking [$<1.0\text{mm}$] to the tiled wall / cornice junction in the western corner of the shower. **[Photograph 38]**

We noted that the grout to the wall and floor tiles is complete and that the wall and floor tiles when randomly "tap" tested appeared to be sound. We did not observe any recent cracking to the tile grout at the wall / wall, wall / floor junctions. However, we did note significant mould/mildew growth to the tile grout and the corners of the bath fixture **[Photograph 39]**

We also noted staining and discolouration to the bath surface. **[Photograph 39]**

Kitchen

We noted that the kitchen bench was situated along the external wall of the premises and that the walls were tiled to splashback level. **[Photograph 40]**

We noted evidence of a previous repair to the ceiling lining around the light fitting. **[Photograph 41]**

Dining

We noted evidence of previous repairs to the ceiling lining and around the light fitting. **[Photograph 42]**

We did not observe any cracking to the mitre joints of the wide decorative plaster cornice or to the plaster ceiling lining.

We did not observe any recent cracking to painted cement rendered walls.

Sunroom

We observed that the south western wall of the sunroom was the *common party / separation wall* with the adjoining property; No.5 Jacques Street, Kingsford.

We did not observe any recent cracking to the surface coated clay masonry wall, the plaster ceiling lining or to the cove profiled plaster cornice **[Photograph 43]**

Bedroom 3

We noted evidence of previous repairs to the painted cement rendered wall under the window common with the sunroom. **[Photograph 44]**

We noted evidence of previous repairs to the painted cement rendered *common party / separation wall* with the adjoining property; No.5 Jacques Street, Kingsford. **[Photograph 45]**

We noted evidence of previous repairs to the painted cement rendered wall common with Bedroom 2. **[Photograph 46]**

We noted evidence of previous repairs and hairline radial cracking to the plaster ceiling lining. **[Photograph 47]**

We did not observe any recent cracking to the decorative profiled plaster cornice.

Toilet

We noted cracking to the mitre joint of the cornice in the northern corner. We also noted a hole in the wall surface for pipework **[Photograph 48] 2002**

We noted separation cracking [1.0mm – 3.0mm] to the wall / cornice junction along the north eastern wall. **[Photograph 48] 2002**

Laundry

We noted damage to the plaster ceiling lining, flaking paint and noted a hole in the wall surface for pipework **[Photograph 49] 997**

We noted mildew growth to the wall common with the toilet. We also noted holes drilled in the wall surface on the *common* north western wall. **[Photograph 50] 998**

We noted damage to the shelf around the vertical conduit/pipe. **[Photograph 50] 998**

We noted flaking paint and hairline radial cracking [<1.0mm] to the northern corner **[Photograph 51] 999**

We noted flaking paint to the ceiling in the eastern corner **[Photograph 52] 2001**

Opinion

In our opinion it is reasonable to suggest that the observed cracking in the property is not significant to cause impeded structural performance of the property. No large cracks [$>5.0\text{mm}$] were detected in the property.

From our experience and considering the geo technical characteristics of the site and the age of the property, it is also reasonable to suggest that after any repairs, there is a probability that further cracking may occur to the property.

Trusting these observations and information is of assistance in the matter.

Yours faithfully,

A handwritten signature in black ink, appearing to read 'M Spindler', with a stylized flourish at the end.

Mark Spindler,

for and behalf of
JONSPIN Building Services Pty. Ltd.

Attached: Photographic Survey – Photographs 1 - 53 inclusive

PHOTOGRAPHIC SURVEY



Photograph 1 shows the general condition of the roof surface to the front elevation.



Photograph 2 shows the general condition of the roof surface to the rear elevation.



Photograph 3 shows the damage to the ridge pointing above the Kitchen.



Photograph 4 shows the damage to the ridge pointing above the Laundry, lifted flashing from the *common* party wall, and cracked tiles.



Photograph 5 shows the damage and deterioration of the ridge pointing above the Laundry.



Photograph 6 shows a previous repair to the frontal elevation ridge pointing above Bedroom 1.



Photograph 7 shows the general condition of the from *common* boundary fence.



Photograph 8 shows cracked mortar, displaced mortar and displaced brickwork around the wall vent outside Bedroom 2.



Photograph 9 shows a rusted lintel above the Bedroom 2 window and horizontal cracking to the mortar adjacent as a result.



Photograph 10 shows general displacement of the mortar under the Bedroom 2 window.



Photograph 11 shows horizontal, step cracking and repointing to the mortar between Bedroom 1 and Bedroom 2.



Photograph 12 shows a rusted lintel above the Bedroom 1 window and previous repointing to the mortar around the window.



Photograph 13 shows the general displacement of the mortar under the Bedroom 1 window.



Photograph 14 shows damage and rotting to the eave soffit trim adjacent to the fascia board outside Bedroom 1 window



Photograph 15 shows the general condition of the side elevation external wall.



Photograph 16 shows displaced brickwork and repointing to the mortar on the eastern corner outside Bedroom 1.



Photograph 17 shows damage to the fascia board and the gutter to the north eastern corner.



Photograph 18 shows rusted lintel bars above the Front Porch and the Bathroom window.



Photograph 19 shows rusted lintel bars above the Front Porch and the Bathroom window and evidence of previous repairs as a result.



Photograph 20 shows evidence of a previous repair to the brickwork and around the pipe adjacent to the front entry. It also shows the downpipe being discharged directly onto the concrete side pathway



Photograph 21 shows repointing of the mortar adjacent to the Bathroom window and around the wall vent.



Photograph 22 shows repointing of the mortar and evidence of previous repairs between the Bathroom and Kitchen window.



Photograph 23 shows step cracking, repointing of the mortar and evidence of previous repairs outside the Kitchen window.



Photograph 24 shows cracked and raised concrete to the side pathway adjacent to the side gate.



Photograph 25 shows cracking to the concrete pathway at the side.



Photograph 26 shows the general condition of the front porch tiles.



Photograph 27 shows flaking paint and rotting to the front door.



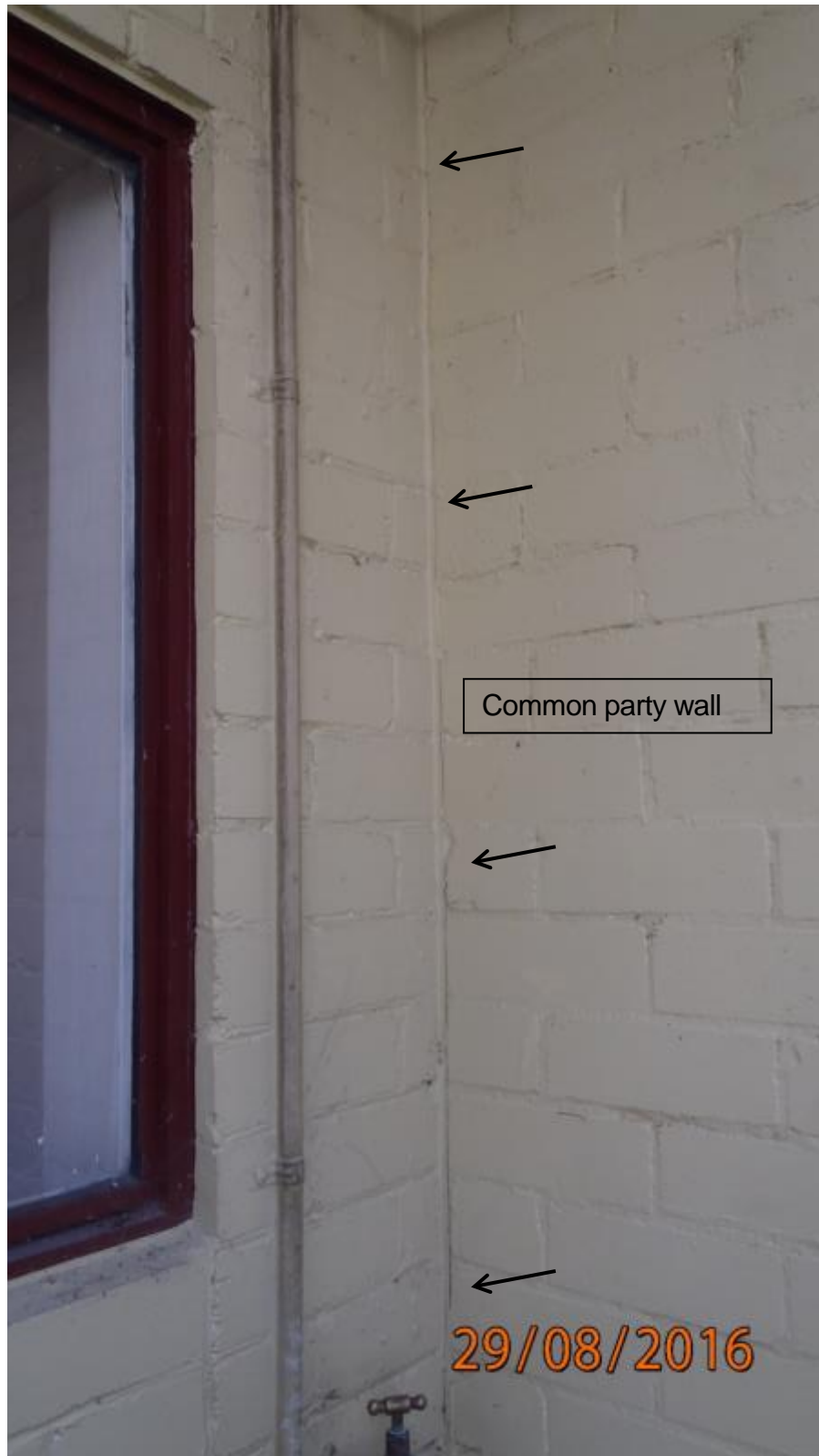
Photograph 28 shows displaced brickwork around the electrical meter board cavity.



Photograph 29 shows the general condition of the back awning.



Photograph 30 shows rusting to the gutter and debris collected in the gutter.



Photograph 31 shows vertical crack at the brick wall to wall junction adjacent to the sunroom window. Note: Common party separation wall.



Photograph 32 shows rusting to the gutter system outside the external Laundry.



Photograph 33 shows rusting to the downpipe to the northern corner of the Laundry.



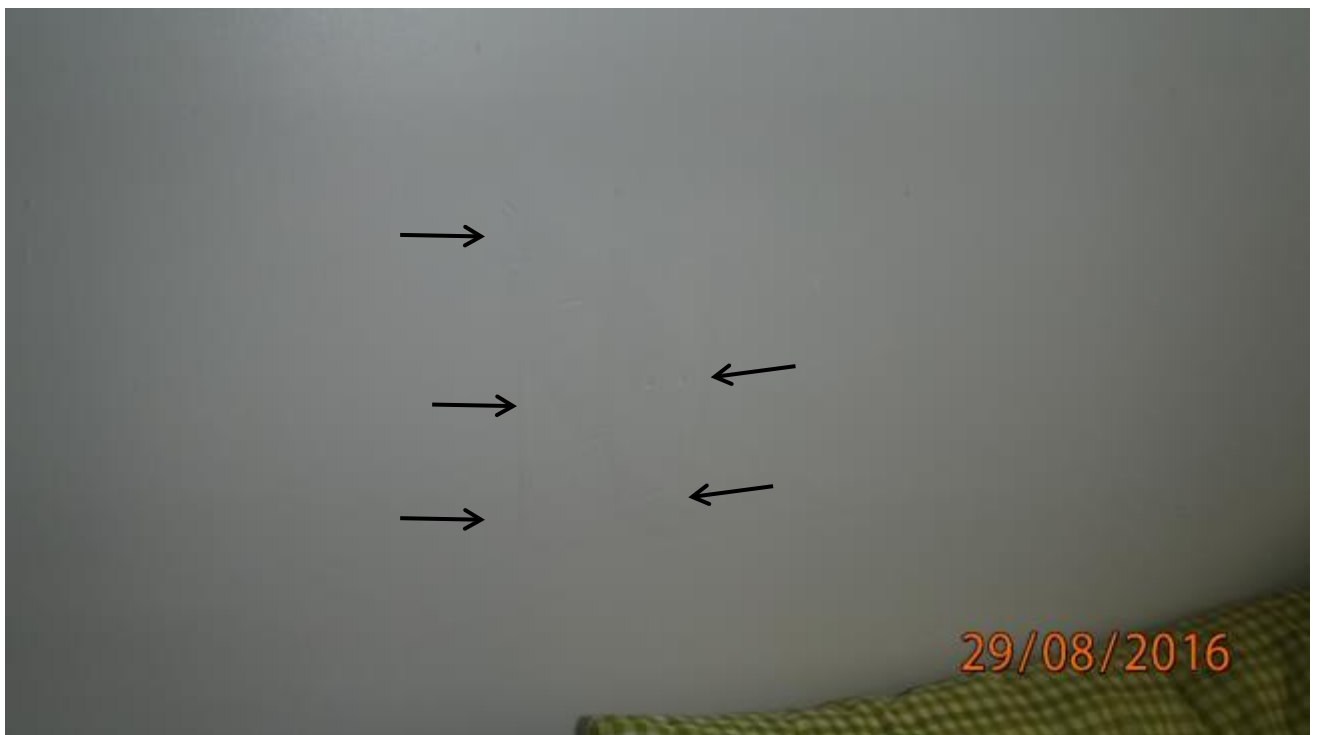
Photograph 34 shows the general condition of the rear paved pathway and mildew / lichen growth to the external wall.



Photograph 35 shows the missing barge board to the garage.



Photograph 36 shows evidence of a previous repair to the plaster ceiling lining around the light fitting.



Photograph 37 shows evidence of a previous repair to the northern wall.



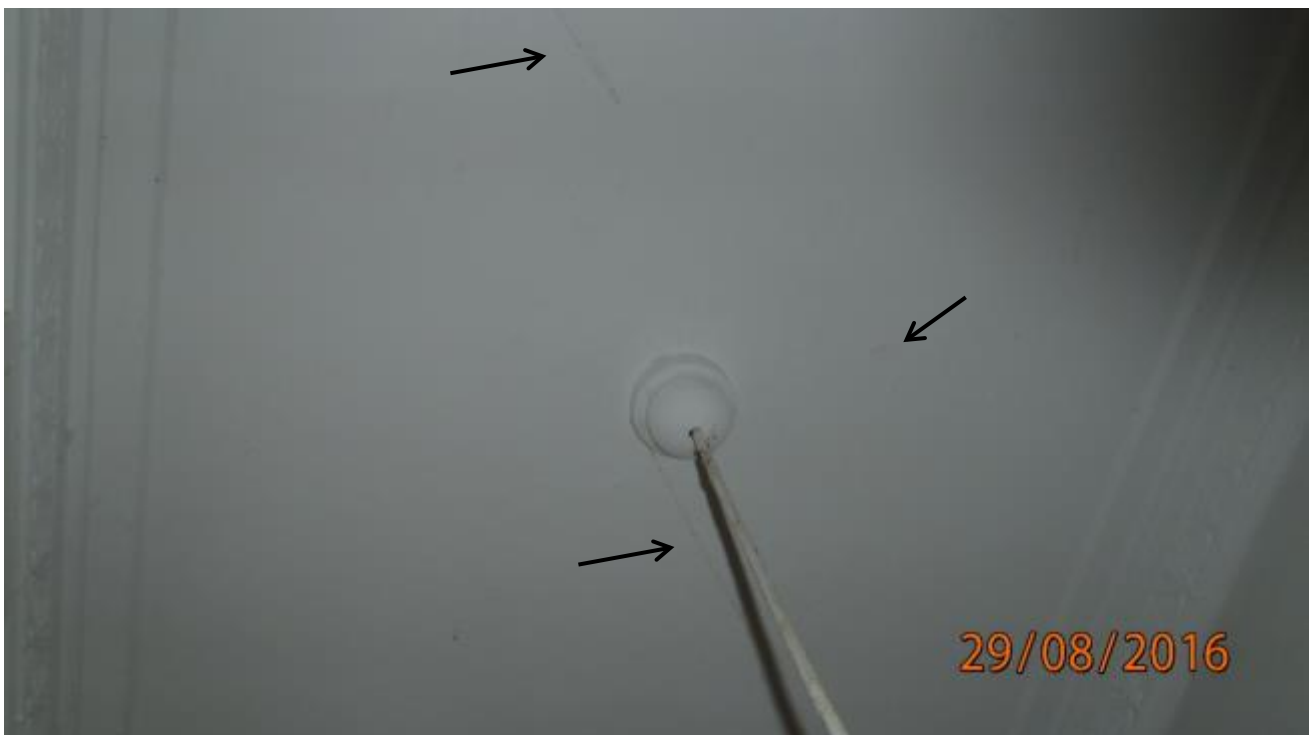
Photograph 38 shows noted hairline separation cracking the tiled wall /cornice junction in the western corner of the shower.



Photograph 39 shows mould/mildew growth to the tile grout and the corners of the bath fixture and staining to the bath surface.



Photograph 40 shows the general condition of the Kitchen.



Photograph 41 shows evidence of a previous repair to the ceiling lining around the light fitting.



Photograph 42 shows evidence of previous repairs to the ceiling lining and around the light fitting.



Photograph 43 shows the general condition of the *common party / separation wall* in the sunroom.



Photograph 44 shows noted evidence of previous repairs to the painted cement rendered wall under the window common with the sunroom.



Photograph 45 shows evidence of previous repairs to the painted cement rendered *common party / separation wall* in Bedroom 3.



Photograph 46 shows evidence of previous repairs to the painted cement rendered wall common with Bedroom 2 in Bedroom 3.



Photograph 47 shows evidence of previous repairs and hairline radial cracking to the plaster ceiling lining in Bedroom 3.



Photograph 48 shows separation cracking the wall / cornice junction along the north eastern wall in the Toilet. It also shows cracking to the cornice mitre joint.



Photograph 49 shows damage to the plaster ceiling lining, flaking paint and noted a hole in the wall surface for pipework



Photograph 50 shows mildew growth to the wall common with the toilet. We also noted holes drilled in the wall surface on the common north western wall in the Laundry.



Photograph 51 shows flaking paint and hairline radial cracking to the northern corner in the Laundry.



Photograph 52 shows flaking paint to the ceiling in the eastern corner of the Laundry.



Photograph 53 shows the general condition of the external Laundry.