

Dilapidation Assessment Report

Prepared for: Cape Cod Australia Pty. Limited
Job address: 52 Varna Street, Waverley NSW 2024
Property Owner: Not known
C/o PRD Nationwide Real Estate
59 Macpherson Street, Waverley NSW 2024
Report reference: **RANDWICK CITY COUNCIL**
Development Application No: DA/649/2015
Date of assessment: 5th May 2016



Shows the front eastern elevation of the adjoining properties:
No. 50 and No. 52 Varna Street, Waverley

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This report is **not a guarantee** or an all-encompassing report dealing with the above property from every aspect. It is based on the condition of the property and the prevailing structural, soil and the weather conditions at the time of assessment. It is a reasonable attempt to identify any significant defects **visible** at the time of assessment.

This report, based on visual assessment, will not disclose defects in inaccessible areas; latent defects or defects which may be apparent in weather conditions that differ from those at the time of assessment.

8 May 2016

The Administrative & Scheduling Officer,
Cape Cod Australia Pty. Limited,
PO Box 2002,
NORTH PARRAMATTA. NSW 1750

Attention: Mr. Chris Koro

Dear Sir,

Re: Dilapidation Report - No. 52 Varna Street, Waverley

We refer to your instructions in which you requested us to inspect and to prepare a dilapidation report on the above property as a requirement of the Development Application for the adjoining property (your client), **No. 50 Varna Street, Waverley.**

We confirm that we assessed the property at 6.30am on the 5th May 2016, in the presence of and with the permission of the Tenant; Ms. Sue Davies.

SITE ASSESSMENT

The sole purpose of the report is to identify existing visible defects in the building to produce a photographic dilapidation report. During the inspection process no furniture or personal belongings were moved / shifted to gain access.

An extensive site assessment was carried out so as to assess the condition of the external and internal structure of the single storey attached residence prior to the construction of an first floor addition to the adjoining attached property (your client), **No. 50 Varna Street, Waverley.**

We confirm that our assessment was carried out without benefit of construction documents for this residence, **No. 52 Varna Street, Waverley.**

Observations and Notes Taken

The weather at the time of our assessment was wet.

General Description of the Property

The property is situated on the high side of the roadway and on a sloping site that fall from rear [north] to front [south] with an southerly facing frontal aspect.

We noted that the full brick / brick cavity, attached single storey residence is approximately circa 1910 - 1920 and is supported on sandstone block footings with internal brick piers supporting a suspended timber floor system.

We observed that there is clay brick *common separating / party* wall with the adjoining property, No. 50 Varna Street. We noted that the wall extends from below floor level and terminates just below the roof covering.

We noted that the *common* roof is a traditional cut and pitched timber structure. We noted that the front section pitched hipped roof structure has terra cotta roofing tiles and the rear *common* skillion roof surfaces are corrugated profiled sheet metal roofing.

ROOF SURFACES

Due to NSW Work Health and Safety [WHS] requirements, we confirm that we did not access the roof surfaces but observed the roof surfaces from ground level.

We noted that the terra cotta roofing tiles to the front section *common* pitched hipped roof structure appear to be generally interlinked and securely bedded. We noted that the pointing to the hip and ridge tiles is generally intact and that the roof appears to be weather resistant.

We noted that the corrugated profile sheet metal roofing to the rear *common* pitched hipped roof and skillion roof surfaces in good condition and appears to be securely fixed, in our opinion forming a weather resistant cover to the property. **[Photograph 1]**

UNDER FLOOR

Due to access not being '*readily or reasonably*' available, we did not access the under floor area.

However, based on our assessment of the underfloor area of the adjoining property No. 50 Varna Street, where we noted the following from our experience it is reasonable to assume that:

- there is a random sandstone rock *common party / separation* wall with the adjoining property, No. 52 Varna Street that extends to floor level.
- the floor system is hardwood timber bearers and joists and strip timber flooring
- the floor timbers are built into or were supported by the random sandstone rock *common party / separation* wall and that there are brick piers intermediately supporting the timber floor bearers.

We are unable to comment on the structural adequacy of the random sandstone rock *common party / separation* wall. **[Photograph 2]**

EXTERNAL

General

We noted that there is cracking and settlement to the concrete public footpath at the front entry to the property. **[Photograph 3]**

We noted that the external walls are constructed of clay masonry brickwork with a surface coated cement rendered finish.

Front Entry Steps

We noted that there is ageing and general deterioration of the surface coating to the *common* concrete entry steps to the verandah. **[Photograph 4]**

We noted that there is cracking [1.0mm - <3.0mm] to the step treads abutting the *common boundary*. **[Photographs 5 and 6]**

We noted that there is cracking [1.0mm - <3.0mm] to the rendered coping to steps. **[Photograph 7]**

Front Southern Elevation

We did not observe any recent cracking to the surface coated cement render masonry brickwork.

We noted that there is ageing and general deterioration of the surface coating to the Verandah deck. **[Photograph 8]**

We noted ageing and general deterioration [rotting and decay] to the timber lining boards to the verandah soffit. **[Photograph 9]**

Rear Northern Elevation

We noted a horizontal crack to the surface coated cement render masonry brickwork extending from the rear entry door threshold towards the east. **[Photograph 10]**

We did not observe any other noticeable cracking to the wall including to the junction between the properties. **[Photograph 1]**

Rear Courtyard Area

We noted that there is a brick retaining wall forming the courtyard area and that the area is finished with clay pavers. We noted that the pavers are generally uniform in plane and that the pavers when randomly "tap" tested appeared to be sound. **[Photograph 11]**

We noted that there a number of cracked pavers in the immediate vicinity of the rear entry door. **[Photograph 12]**

We noted that there is stepped cracking [1.0mm] to the brick garden bed retaining walls. **[Photograph 13]**

Eastern Elevation

We noted a vertical crack [1.0mm- 3.0mm] extending the full height of the to the Kitchen wall. **[Photographs 14 and 15]**

We noted green staining [dampness] to the wall surface below the Bathroom window. **[Photograph 16]**

We noted a hairline crack [<1.0mm] extending from the right hand side of the Bathroom window head towards the wall vent. We also noted that there is a brown stain to the window reveal **[Photograph 17]**

We noted a vertical hairline crack [<1.0mm] extending from the right hand side of the Lounge room window head. **[Photograph 18]**

We noted differing uneven paving between the base of the eastern wall and the eastern boundary. We also noted green staining and dampness to the brick retaining wall and to the pavement **[Photographs 19 and 20]**

Sewerage / Drainage

We did not assess the condition of or the adequacy of the sewerage / waste water drainage system.

We noted that there was no evidence of surcharge or blockage to the sewerage/drainage service at the time of assessment.

Storm Water Drainage

We did not assess the condition of or the adequacy of the storm water drainage system.

ROOF STRUCTURE / SPACE

We confirm that we accessed the *common* pitched hipped roof space from the Bedroom 2.

We noted that there is concrete block *common separating / party* wall within the roof space and that the wall terminates just below the roof covering. **[Photograph 21]**

We noted that *common* pitched hipped roof to the properties is a traditional cut and pitched timber structure. We also noted that there is foil sarking to the underside of the terra cotta tiles.

We noted that the timber ceiling joists and *common* ridge to the roof structure are built into the *common party / separation wall*.

Based on our internal assessment of this property, in our opinion it is reasonable to suggest that the roof and ceiling frame timbers have performed adequately over the life of the property as there was no indication that the roof or ceiling has significant deflection.

We also confirm that due to the method of construction we were unable to access the rear skillion roof space.

INTERNAL

We confirm that no personal belongings, such as bedding, wardrobes, furniture, paintings and the like were moved to assess the condition of the walls behind.

Entry / Hallway

We noted that the western wall of the Entry / Hallway is the *common party / separation* wall with the adjoining property, No. 50 Varna Street. We noted that there is a rough textured finish to the painted cement rendered walls.

We noted that the floor is polished strip timber flooring. We noted that there are areas of movement / squeaking in the flooring when walked upon the full length of the hallway.

We noted a radial crack [1.0mm] to the base of the *common internal* wall with Bedroom 1 and abutting the front entry door. We further noted that there is a gap [5.0mm] between the skirting and the architrave to the front entry door. **[Photograph 22]**

We also noted a hairline radial crack [<1.0mm] extending from the right hand side of the door head to Bedroom 1 towards the cornice line. **[Photograph 23]**

We further noted that there are previously repaired patches to the *common party / separation* wall. **[Photograph 24 - typical]**

We noted that there is a hairline crack [<1.0mm] to the set joint in the fibrous plaster ceiling and to the decorative profiled plaster cornice above the door way into Bedroom 2 and abutting the *common party / separation* wall. **[Photograph 25]**

We noted that there is a hairline crack [<1.0mm] to the set joint in the fibrous plaster ceiling and to the decorative profiled plaster cornice northern end of the Hallway and abutting the *common party / separation* wall. **[Photograph 26]**

Front Bedroom 1

We noted that the floor is polished strip timber flooring. We noted that there are areas of movement / squeaking in the flooring when walked upon.

We noted a hairline radial crack [$<1.0\text{mm}$] extending from the left hand side of the door opening towards the ceiling and southwest corner of the room. **[Photograph 27]**

We noted a radial crack [$<1.0\text{mm}$] to the fibrous plaster ceiling to the southwest corner of the room. **[Photograph 28]**

We noted that there is damage to the decorative profile plaster cornice and a hairline crack [$<1.0\text{mm}$] to the ceiling extending from the external left hand side of the fireplace. **[Photograph 29]**

We also noted areas of flaking [lifting] paint from the fibrous plaster ceiling. **[Photograph 30]**

Bedroom 2

We noted that the floor is polished strip timber flooring. We noted that there are areas of movement / squeaking in the flooring when walked upon.

We noted that the western wall of the room is concealed with a built in robe.

We did not observe any cracking to the surface coated cement rendered wall surfaces. Notwithstanding this we noted a hairline radial crack [$<1.0\text{mm}$] extending from the left hand side of the window head towards the wall vent. **[Photograph 31]**

We did not observe any cracking to plasterboard ceiling or to the mitred joints in the cove profile plaster cornice.

Lounge room

We noted that the floor is polished strip timber flooring. We noted that there are areas of movement / squeaking in the flooring when walked upon.

We noted that the western wall of the room is the *common party / separation* wall with the adjoining property, No. 50 Varna Street. We also noted that the *common* internal wall with Bedroom 2 is partially concealed by a wall mounted painting.

We did not observe any recent noticeable cracking to the surface coated cement rendered wall surfaces particularly along the *common party / separation* wall. Notwithstanding this, we noted a hairline vertical crack [$<1.0\text{mm}$] above the window head towards the cornice. **[Photograph 32]**

We did not observe any cracking to the plasterboard ceiling or to the mitred joints in the cove profile plaster cornice. Notwithstanding this, we noted separation cracking between the cornice and the wall surface over the fireplace. **[Photograph 33]**

We also noted that there is a skylight shaft built into the ceiling.

Bathroom

We noted that the wall tiles extend from floor level to ceiling level. We did not observe any recent cracking to the tiles.

We noted that the grout to the wall and floor tiles is complete and that the wall and floor tiles when randomly “tap” tested appeared to be sound. We did not observe any recent cracking to the tile grout at the wall / wall, wall / floor junctions.

We did not observe any cracking to the plasterboard ceiling or to the cove profiled plaster cornices. Notwithstanding this, we noted separation cracking between the cornice and the ceiling lining to the south eastern and north western corner of the Bathroom. **[Photographs 34, 35 and 36]**

Dining room / Kitchen

We noted that the western wall of the room is the *common party / separation* wall with the adjoining property, No. 50 Varna Street.

We noted that the floor is finished with ceramic tiles. We noted that the grout to the tiles is complete and that the tiles when randomly "tap" tested appeared to be sound. **[Photograph 37]**

We observed that the walls are a combination of to the surface coated cement render and plasterboard to the *common framed* walls with the Bathroom and Laundry.

We noted that the splash back wall to the Kitchen are tiled to a height of 1.2m. We did not observe any recent cracking to the tiles.

We noted that the grout to the tiles is complete and that the tiles when randomly "tap" tested appeared to be sound. We did not observe any recent cracking to the tile grout at the wall / wall, wall / bench top junctions.

We noted that the plasterboard lined ceiling is raked to the slope of the roof line.

We did not observe any cracking to the plasterboard ceiling or to the cove profiled plaster cornices.

Internal Laundry

We noted that the western wall of the room is the *common party / separation* wall with the adjoining property, No. 50 Varna Street.

We noted that the walls are a combination of surface coated cement rendered brickwork and plasterboard lined timber frame.

We noted that the floor is finished with ceramic tiles and with skirting tiles. We noted that the grout to the tiles is complete and that the tiles when randomly "tap" tested appeared to be sound.

Opinion

In our opinion it is reasonable to suggest that the observed cracking in the property is not significant to cause impeded structural performance of the property. We did not detect any large cracks [$>5.0\text{mm}$] in the property.

From our experience and considering the geo technical characteristics of the site and the age of the property, it is also reasonable to suggest that after any repairs, there is a probability that further cracking may occur to the property.

Trusting these observations and information is of assistance in the matter.

Yours faithfully,



John Spindler,

for and behalf of
JONSPIN Building Services Pty. Ltd.

Attached: Photographic Survey - Photographs 1 - 37 inclusive

PHOTOGRAPHIC SURVEY



Photograph 1 shows the rear northern elevation of this property



Photograph 2 shows the random sandstone rock *common party / separation* wall within the underfloor space of the adjoining property No. 50



Photograph 3 shows the cracking to the concrete footpath



Photograph 4 shows the condition of the front entry pathway and steps



Photograph 5 shows cracking to the front entry steps – Note: ageing and general deterioration of the surface coating



Photograph 6 shows cracking between the top tread and the verandah to the front entry steps



Photograph 7 shows cracks to the right hand side of the front entry step coping



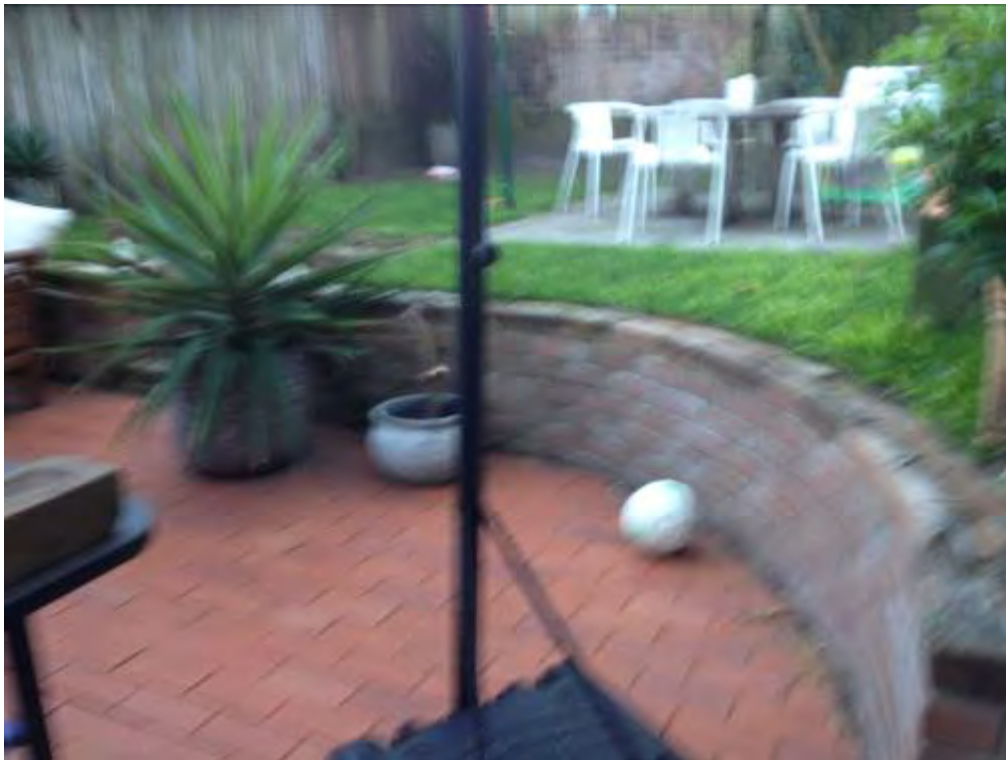
Photograph 8 shows the condition of the surface coating to the front verandah



Photograph 9 shows rotting and decay to the timber lining board soffit to the front verandah



Photograph 10 shows horizontal cracking to the base of the Kitchen wall and adjacent to the rear entry threshold



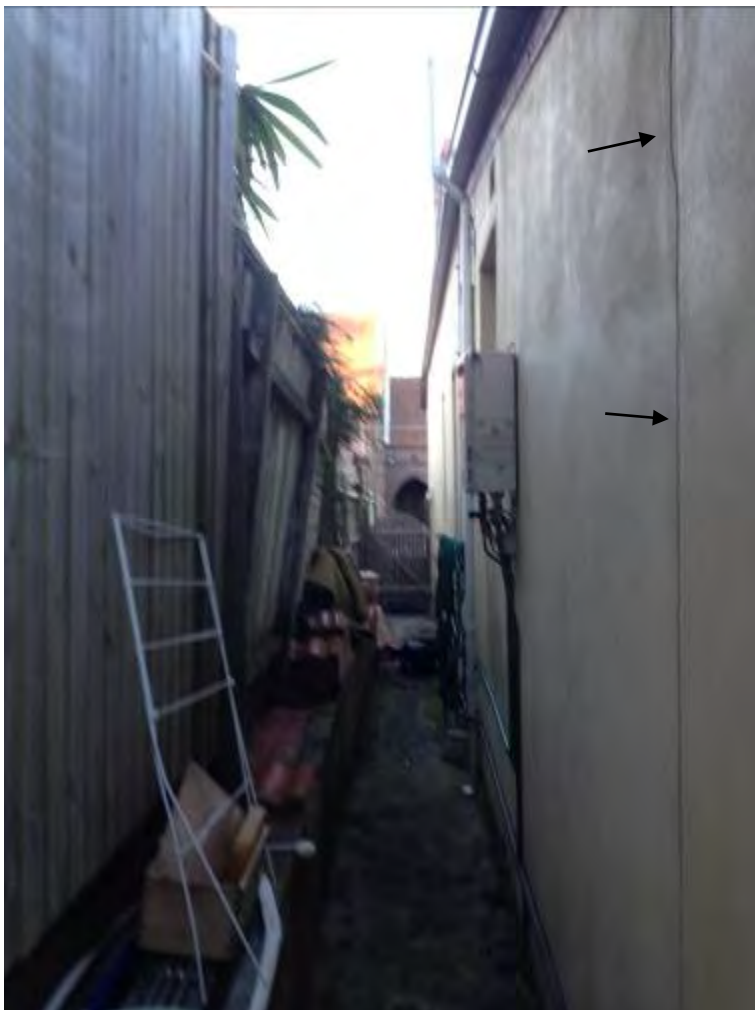
Photograph 11 shows the condition of the clay pavers and retaining wall to the rear courtyard area



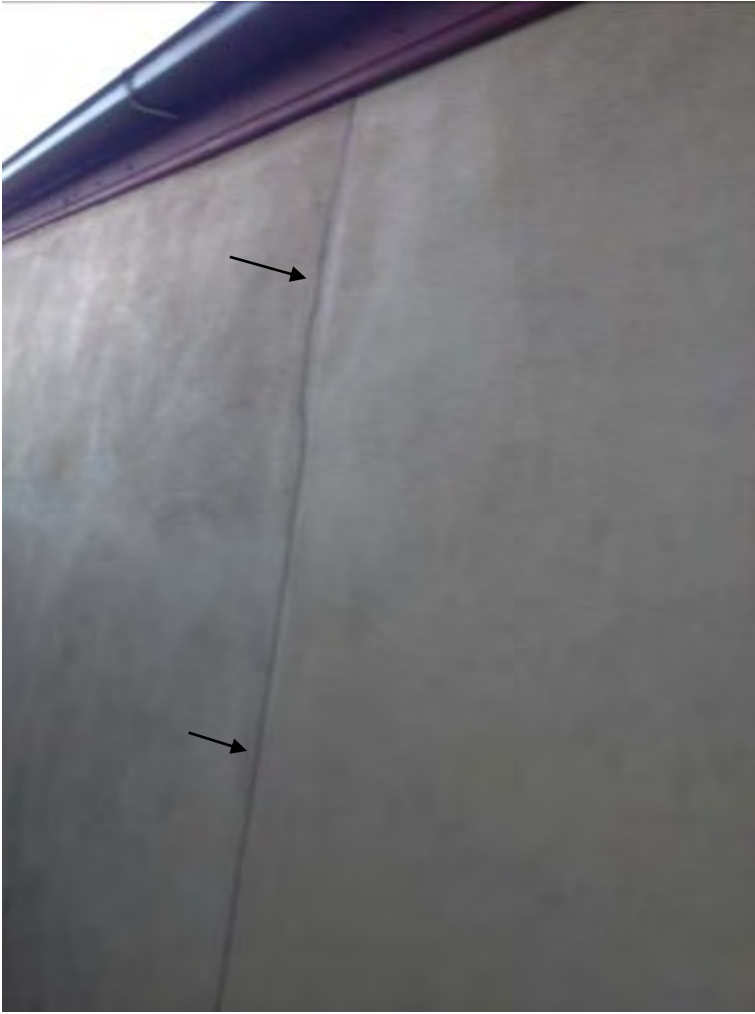
Photograph 12 shows horizontal cracking to the base of the Kitchen wall and adjacent to the rear entry threshold – Note: the cracks to the clay pavers



Photograph 13 shows previous repairs and a stepped crack to the brick retaining wall to the rear courtyard



Photograph 14 shows the eastern elevation boundary – Note: the vertical crack to the Kitchen wall



Photograph 15 shows the vertical crack to the cement rendered finish to the Kitchen wall



Photograph 16 shows green staining to the Bathroom wall below the windows



Photograph 17 shows hairline cracking above the right hand side of the Bathroom window extending from the window reveal towards the wall vent – Note: brown stain to the reveal



Photograph 18 shows a vertical crack above the right hand side of the Lounge room window head



Photograph 19 shows the condition of the pavement to the eastern boundary - Note: green staining [dampness] to the retaining wall and the pavement



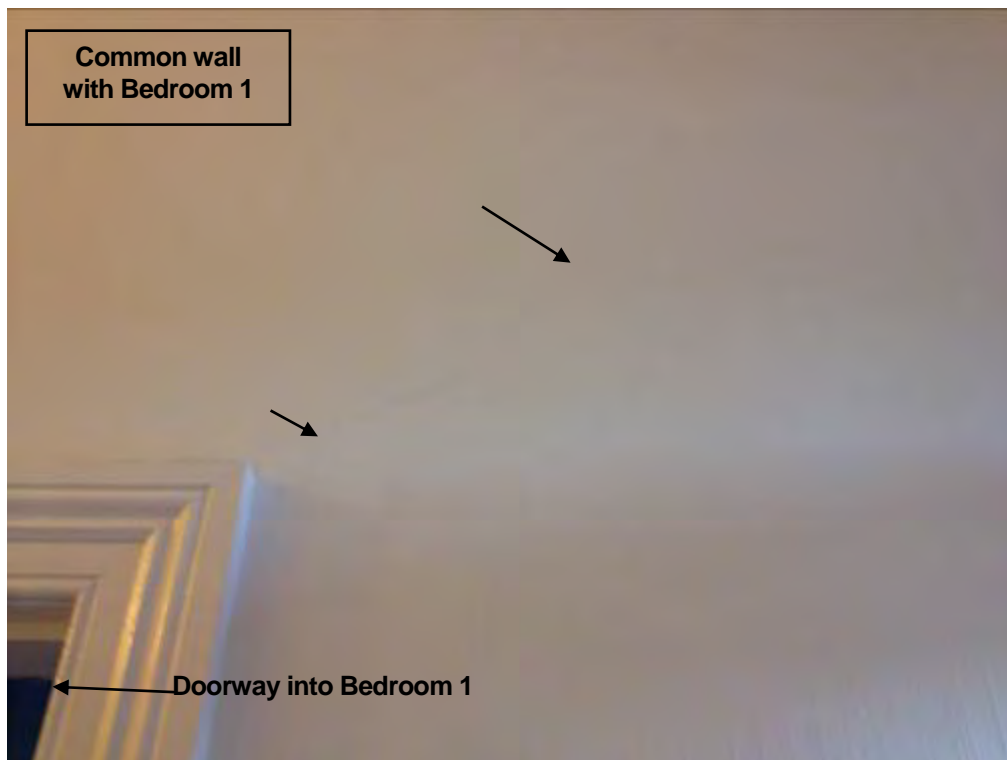
Photograph 20 shows the condition of the pavement to the eastern boundary



Photograph 21 shows the *common party / separation* wall within the roof space – Note: timbers build into the wall



Photograph 22 shows radial cracking to the wall adjacent to the front entry door



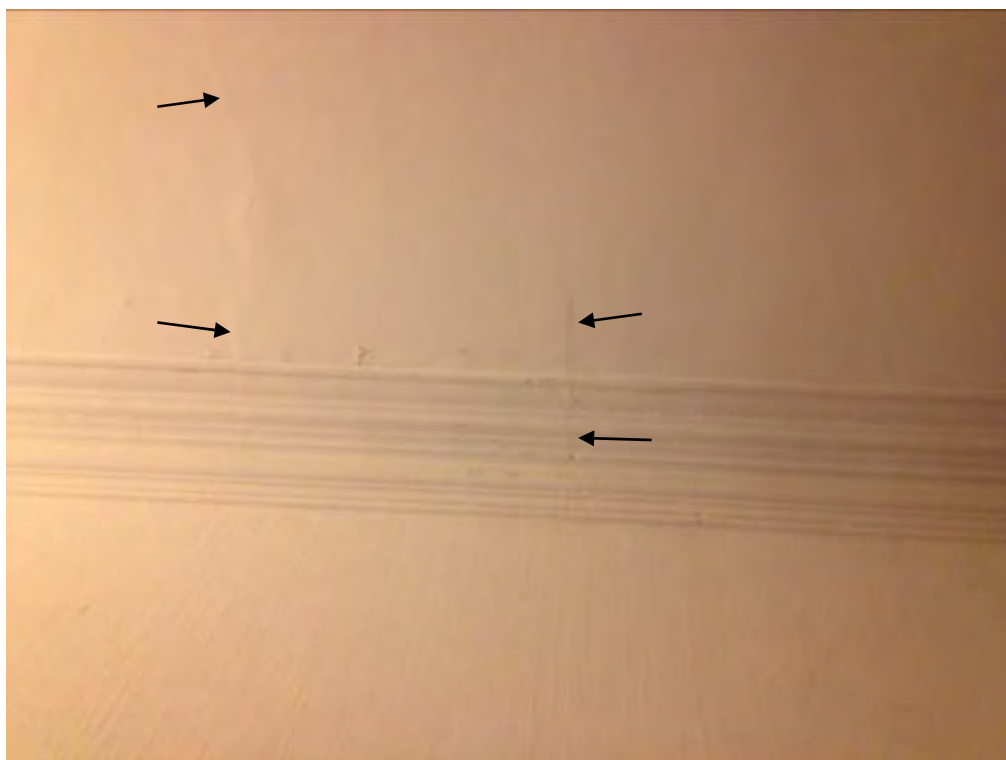
Photograph 23 shows a hairline radial crack extending from the right hand side of Bedroom 1 door head towards the cornice



Photograph 24 shows typical indent repairs to the Hallway *common party / separation* wall



Photograph 25 shows hairline cracking to the set joint in the Hallway ceiling above the doorway into Bedroom 2



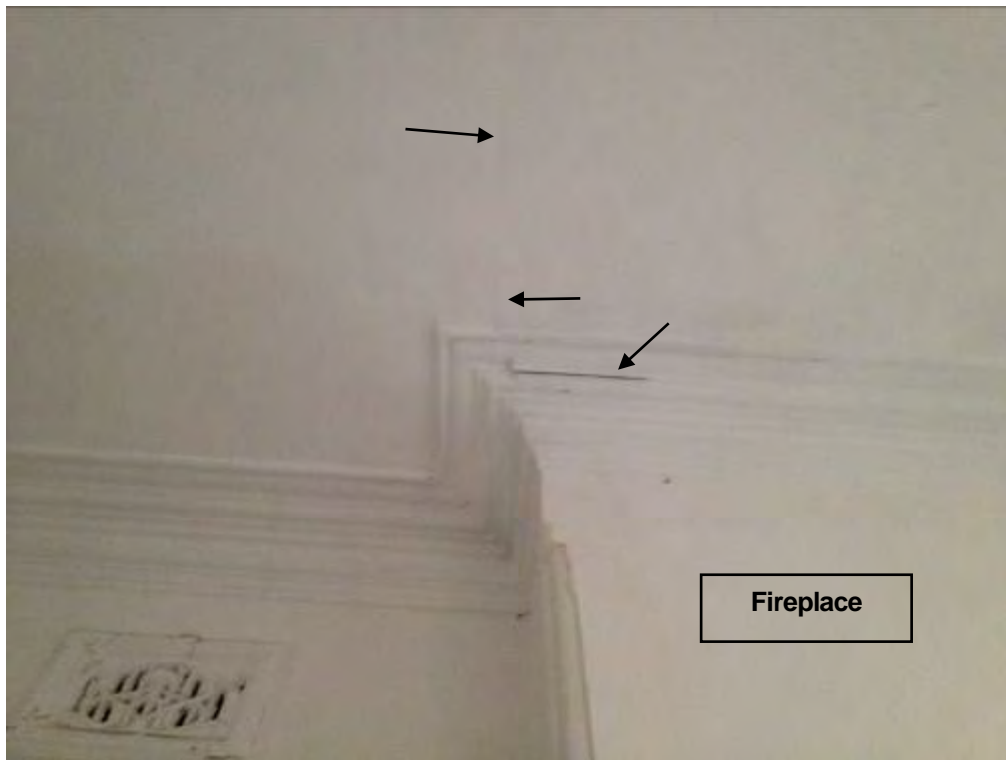
Photograph 26 shows hairline cracking to the set joint in the Hallway ceiling and cornice towards the north end of the Hallway ceiling



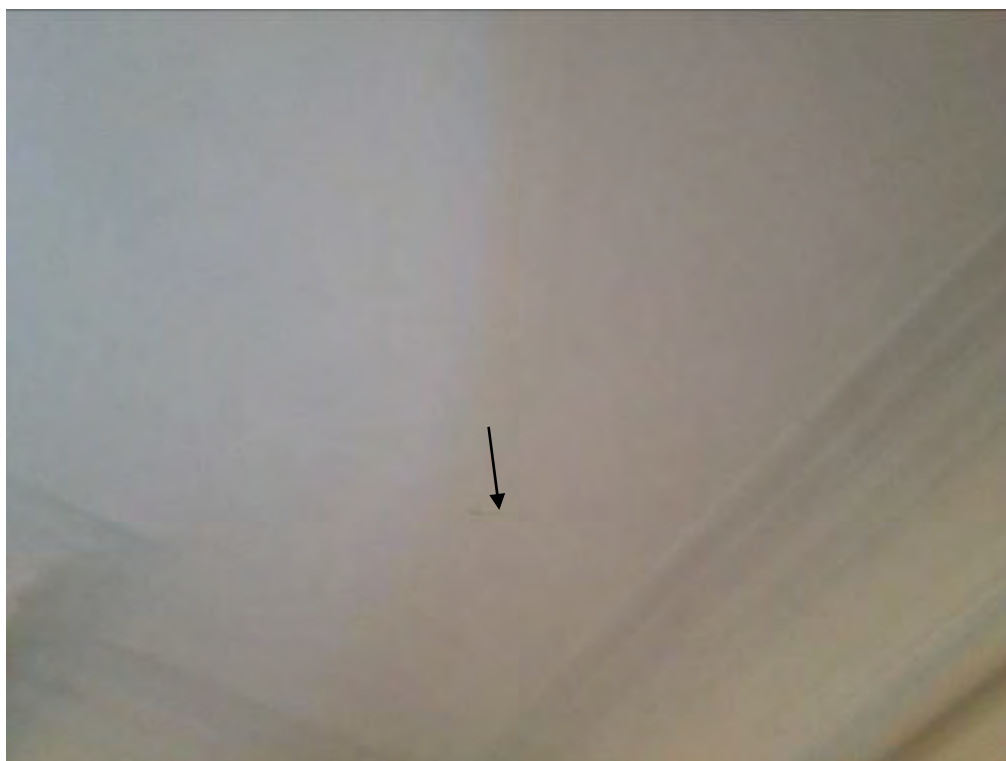
Photograph 27 shows a hairline radial crack extending from the left hand side of Bedroom 1 door head towards the cornice



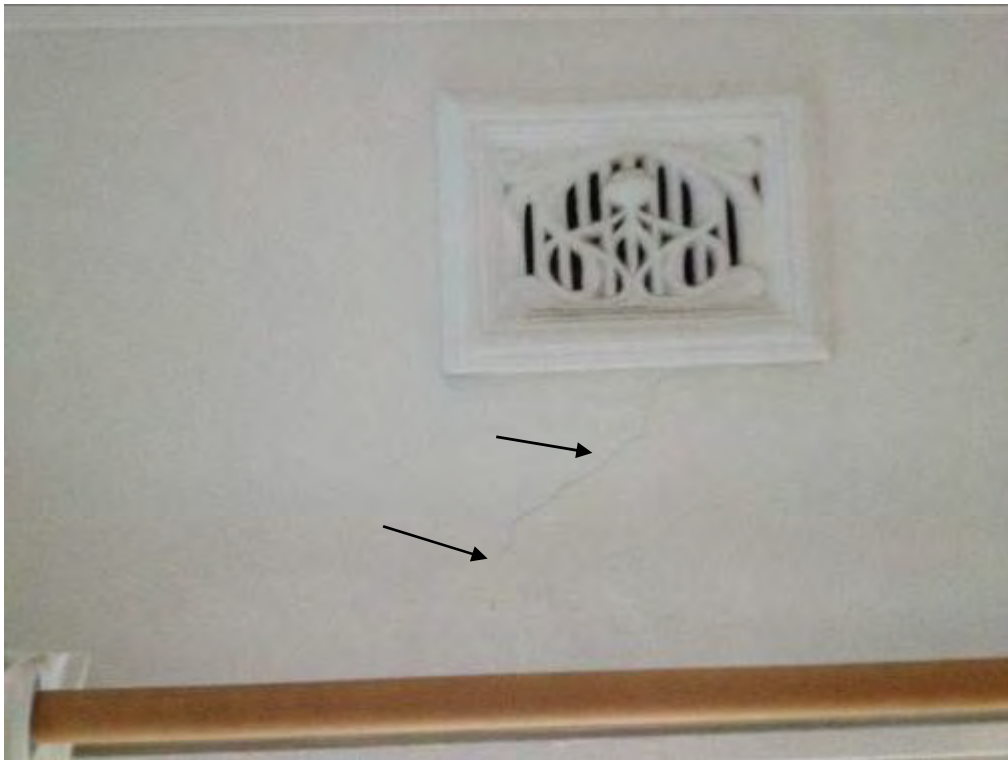
Photograph 28 shows a hairline radial crack to the southwest corner of Bedroom 1 ceiling



Photograph 29 shows a hairline crack to the ceiling and damage to the cornice abutting the fireplace in Bedroom 1



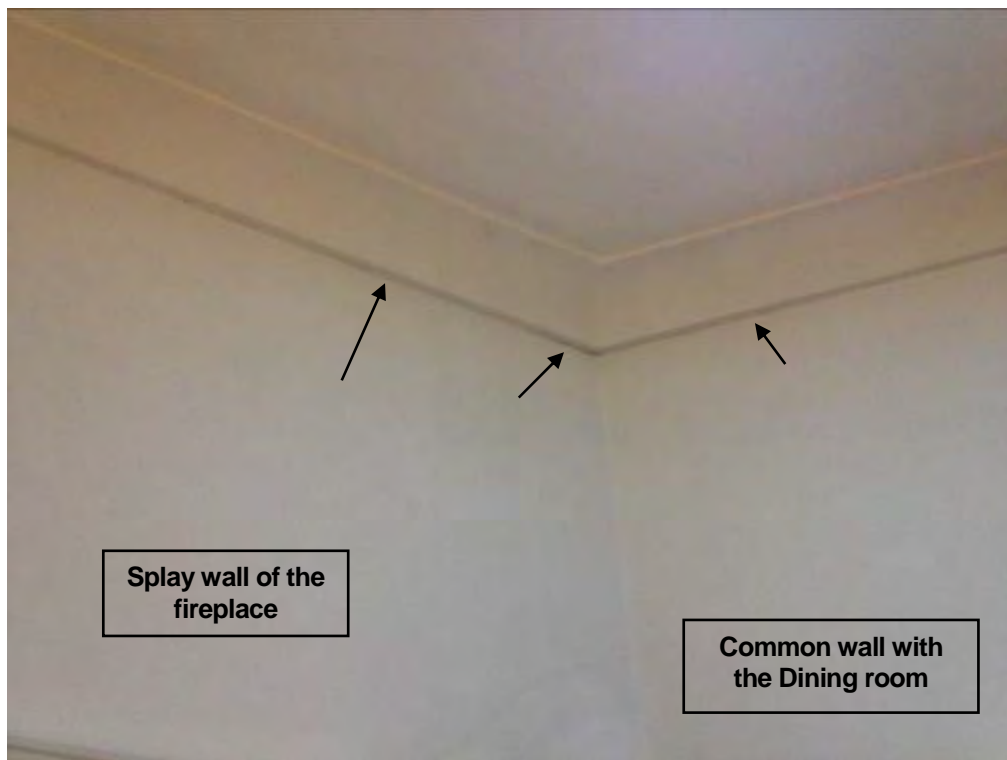
Photograph 30 shows flaking paint from the southeast corner of Bedroom 1 ceiling



Photograph 31 shows a radial crack from the left hand side of the Bedroom 2 window head towards the wall vent



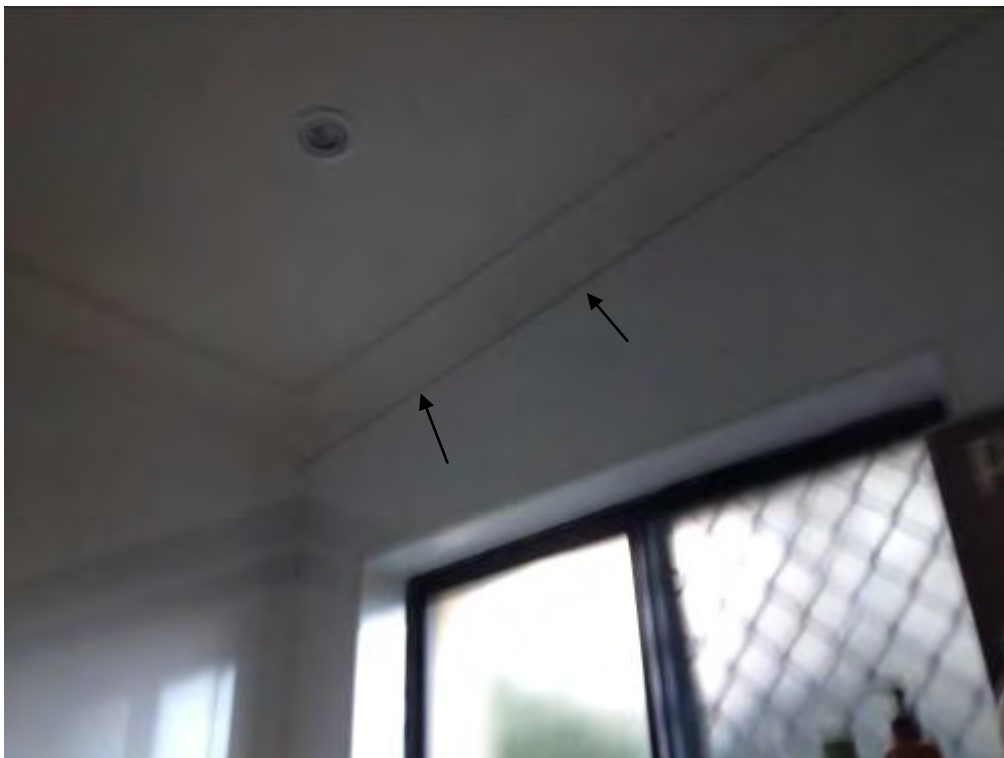
Photograph 32 shows the location of the hairline vertical crack above the Lounge room window head



Photograph 33 shows separation cracking between the cornice and the wall surface above the fireplace in the Lounge room



Photograph 34 shows a separation crack between the cornice and the ceiling to the south east corner of the Bathroom



Photograph 35 shows separation cracking between the cornice and the wall tiles above the Bathroom window



Photograph 36 shows separation cracking between the cornice and the wall tiles to the northeast corner of the Bathroom



Photograph 37 shows the condition of the floor tiles in the Dining room