

Dilapidation Assessment Report

Prepared for: Cape Cod Australia Pty. Limited

Job address: No. 258 Willoughby Road, Naremburn.

Property Owner/s: Unknown. Access via Tenant.

Report reference: **WILLOUGHBY CITY COUNCIL**
 Development Application No: not available

Date of assessment: 17th February 2017



Shows the front eastern elevation of the adjoining properties:
 No. 258 and No. 260 Willoughby Road, Naremburn.

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This report is **not a guarantee** or an all-encompassing report dealing with the above property from every aspect. It is based on the condition of the property and the prevailing structural, soil and weather conditions at the time of assessment. It is a reasonable attempt to identify any significant defects **visible** at the time of assessment.

This report, based on visual assessment, will not disclose defects in inaccessible areas; latent defects or defects which may be apparent in weather conditions that differ from those at the time of assessment.

19th February 2017

The Administrative & Scheduling Officer,
Cape Cod Australia Pty. Limited,
PO Box 2002,
NORTH PARRAMATTA. NSW 1750

Attention: Mr. Chris Koro.

Dear Sir,

Re: Dilapidation Report – No. 258 Willoughby Road, Naremburn.

We refer to your instructions in which you requested us to inspect and to prepare a dilapidation report on the above property as a requirement of the Development Application for the adjoining property (your client), No. 260 Willoughby Road, Naremburn.

We confirm that we assessed the property at 2:30 pm on the 17th February 2017, with the permission of the owner and the property Tenants.

SITE ASSESSMENT

The sole purpose of the report is to identify existing visible defects in the building to produce a photographic dilapidation report. During the inspection process no furniture or personal belongings were moved / shifted to gain access.

An extensive site assessment was carried out so as to assess the condition of the external and internal structure of the single storey attached residence prior to the construction of an upper floor addition to the rear of the adjoining attached property (your client), No. 260 Willoughby Road, Naremburn.

We confirm that our assessment was carried out without benefit of construction documents for this residence, No. 258 Willoughby Road, Naremburn.

Observations and Notes Taken

The weather at the time of our assessment was fine.

General Description of the Property

It is situated on a slightly sloping site that falls from front to rear and across the site from south to north with an easterly facing frontal aspect.

We noted that the original full brick / brick cavity, attached single storey residence is approximately circa 1905 – 1910 and is supported on a clay masonry brick footings.

We observed that there is clay brick *common party / separation* wall with the adjoining property, No. 260 Willoughby Road.

We noted that the *common* hipped and valley roof is a traditional cut and pitched timber structure with terracotta roofing tiles. We noted that the rear addition has a flat roof with sheet metal roofing.

ROOF SURFACES

Due to NSW Work Health and Safety [WHS] requirements, we confirm that we did not access the roof surfaces but observed the roof surfaces from ground level.

We observed that the terracotta roof tiles to the original roof surfaces are generally interlinked and securely bedded, in our opinion forming a weather resistant cover to the residence.

We noted re-pointing to the hip tiles over the front south-east corner of the residence.

[Photograph 1]

We noted that the sheet metal roofing to the rear addition roof surfaces is in good condition and is securely fixed, in our opinion forming a weather resistant cover to the rear addition.

We noted deterioration and flaking paint of the timber barge board and gutter system over the front verandah. **[Photographs 1 & 2]**

We noted a broken finial post and deterioration of the decorative barge board to the front common gable. **[Photograph 3]**

We noted deterioration and flaking paint to the timber barge board along the southern elevation wall. **[Photograph 4]**

UNDER FLOOR

We noted that the original floor system is hardwood timber bearers and joists and strip timber flooring and that there is a brick common party wall with the adjoining property, No. 260 Willoughby Road that extends to floor level. We did not observe cracking in the clay brickwork below floor level in the sub floor area.

We noted areas of significant dampness to the soil in the under-floor space.

We are unable to provide comment on the type or the structural adequacy of the footings supporting the *common party / separation* wall between the adjoining properties.

EXTERNAL

General

We noted that the external walls are constructed of clay masonry brickwork. We also noted that the front southern elevation external brick work is surface coated.

Front Eastern Elevation

We noted displacement to the paved surface of the driveway on the southern side. **[Photograph 5]**

We noted vegetation growth through the paved driveway surface. **[Photograph 6]**

We noted displacement to the paved surface of the driveway on the northern side and some cracking to the pavers. **[Photographs 7 & 8]**

We noted cracking [1.0mm – 3.0mm] and damage to the stone edging step on the front verandah. We further noted evidence of previous repairs. **[Photographs 9 & 10]**

We noted step cracking and displaced mortar (fretting) to the verandah privacy wall on the southern elevation. We further noted vegetation growth through the wall. **[Photograph 11]**

We noted cracking [1.0mm – 3.0mm] to the sandstone block verandah support base and displaced brickwork to the footings in the south-eastern corner of the front verandah. **[Photographs 12 & 13]**

We noted step cracking [1.0mm – 3.0mm] and evidence of previous repairs to the verandah wall outside Bedroom 1. **[Photograph 14]**

We noted rusting to the metal lintel above the Bedroom 1 window arch. We further noted cracking to the clay masonry brick arch above. **[Photograph 15]**

We noted gaps between the window reveal and the timber window frame outside Bedroom 1. **[Photographs 16 & 17]**

We noted evidence of previous repairs to the *common* privacy wall with the adjoining property, No. 260 Willoughby Road of the front verandah. **[Photographs 18 & 19]**

We noted that the patterned vitrified clay tiles to the front verandah were generally sound with the grout complete.

Southern Elevation

We noted deterioration of the surface coating on the brickwork. **[Photographs 20 & 21]**

We noted step cracking [<1.0mm] extending from the western side of the Bedroom 2 window arch toward the ground. **[Photograph 21]**

We noted step cracking [1.0mm – 3.0mm] around the wall vent extending towards the window head outside the Lounge Room. **[Photograph 22]**

We noted evidence of a previous repair to the surface coated brickwork adjoining the barge flashing outside Bedroom 3. **[Photograph 23]**

We noted damage to the clay masonry brick surface outside the Kitchen / Dining Room. **[Photograph 24]**

We noted displaced pavers to the side elevation pathway. We further noted dampness and lichen growth to the surface of the pavement. **[Photograph 25]**

Rear Western Elevation

We noted that the rear elevation has a timber pergola structure with corrugated profile acrylic roofing. **[Photograph 26]**

We did not observe any recent cracking to the clay masonry brickwork of the *common* privacy wall with the adjoining property, No. 260 Willoughby Road on the rear deck. **[Photograph 27]**

We noted that the rear common boundary fence is a timber post and rail construction. **[Photograph 28]**

Sewerage / Drainage

We did not assess the condition of or the adequacy of the sewerage / waste water drainage system.

We noted that there was no evidence of surcharge or blockage to the sewerage/drainage service at the time of assessment.

Storm Water Drainage

We did not assess the condition of or the adequacy of the storm water drainage system.

ROOF STRUCTURE / SPACE

We observed that the common roof to the properties is of traditional cut and pitched timber construction.

We noted that there is no sarking to the underside of the terracotta roofing tiles. We further noted deterioration of the underside of the roof tiles (efflorescence). **[Photograph 29]**

We observed that the roof and ceiling timbers that are accessible are generally in good condition. **[Photograph 29]**

We also noted that the *common party / separation* wall extends to the underside of the rafters and is timber framed and lined.

INTERNAL

We confirm that no personal belongings, such as bedding, wardrobes, furniture, paintings and the like were moved to assess the condition of the walls behind.

Entry / Hallway

We noted a gap to the skirting board adjacent to the front entry door. We further noted a crack [<1.0mm] to the threshold step adjacent to the front door jamb. **[Photograph 30]**

We noted separation cracking [<1.0 mm] of the cornice from the wall surface above the front entry door. We further noted horizontal cracking [<1.0 mm] of the plaster cornice. **[Photographs 31 & 32]**

We noted horizontal cracking [<1.0 mm] of the plaster cornice along the *common party / separation* wall with the adjoining property, No. 260 Willoughby Road. **[Photograph 33]**

We noted radial cracking [<1.0 mm] of the cement rendered *common party / separation* wall with the adjoining property, No. 260 Willoughby Road extending down from the hallway arch. We further noted evidence of previous repairs. **[Photograph 34]**

We noted hairline vertical cracking [<1.0 mm] of the cement rendered wall above the Bedroom 2 door. **[Photograph 35]**

We noted hairline cracking [<1.0 mm] of the plaster ceiling outside Bedroom 2. **[Photograph 36]**

We noted radial cracking [<1.0 mm] of the cement rendered wall adjoining the door jamb at the western end. We further noted evidence of previous repairs. **[Photograph 37]**

Front Bedroom 1

We did not observe any cracking to the cement rendered wall surfaces, the plaster ceiling or to the mitred joints in the decorative plaster cornice.

We noted cracking to the hearth tiles on the fireplace. **[Photograph 38]**

Bedroom 2

We noted hairline cracking [<1.0 mm] of the plaster ceiling lining around the decorative ceiling rose. **[Photograph 39]**

We did not observe any cracking to the cement rendered wall surfaces.

Lounge Room

We noted radial cracking [<1.0 mm] of the cement rendered *common party / separation* wall with the adjoining property, No. 260 Willoughby Road extending from the cornice along the wall.

[Photograph 40]

We did not observe any cracking of the plaster ceiling lining or to the fireplace hearth tiles.

Bathroom

We did not observe any cracking to the plaster ceiling. We noted hairline shrinkage cracking [<0.1 mm] to the mitre joints in the cornice.

We did not observe any recent cracking to the ceramic wall tiles or to the plasterboard walls above the wall tiles.

We noted that the grout to the wall and floor tiles is complete and that the wall and floor tiles when randomly “tap” tested appeared to be sound. We did not observe any recent cracking to the tile grout at the wall / wall, wall / floor junctions. **[Photograph 41]**

We noted a skylight is installed in the ceiling.

Laundry

We did not observe any cracking to the plaster ceiling or to the mitred joints in the cornice.

We noted horizontal cracking to the plasterboard wall above the wall tiles on the western wall. **[Photograph 42]**

We did not observe any recent cracking to the ceramic wall tiles. **[Photograph 43]**

We noted that the grout to the wall and floor tiles is complete and that the wall and floor tiles when randomly “tap” tested appeared to be sound.

We noted a skylight is installed in the ceiling.

Bedroom 3

We did not observe any cracking to the plasterboard wall surfaces, the plaster ceiling or to the mitred joints in the cove profiled plaster cornice.

Kitchen

We noted that the room is open plan design. **[Photograph 44]**

We noted separation cracking [1.0mm – 3.0mm] between the kitchen bench and the splashback tiles. **[Photograph 45]**

We observed that the splashback is finished with ceramic tiles. We noted that the grout to the tiles is complete and that the tiles when randomly “tap” tested appeared to be sound.

We noted that the ceiling is raked following the underside of the roof purlins. We did not observe any cracking to the plasterboard ceiling.

Dining Room / Living

We did not observe any cracking to the wall surfaces and in particular to the *common party / separation* wall with the adjoining property, No. 260 Willoughby Road.

We did not observe any cracking to the plaster ceiling or to the mitred joints in the plaster cornice.

We noted that the ceiling is raked following the underside of the roof purlins. We did not observe any cracking to the plasterboard ceiling.

Attic

We noted separation cracking [<1.0 mm] at the square set wall and ceiling junctions adjacent to the western skylight. **[Photograph 46]**

We noted hairline cracking [<1.0 mm] to the plasterboard ceiling lining extending across the room and down the southern plasterboard wall. **[Photographs 47 & 48]**

We noted hairline cracking [<1.0 mm] to the plasterboard ceiling lining adjacent to the south-eastern skylight. **[Photograph 49]**

We noted that the ceiling is raked and that there are skylights installed in the ceiling.

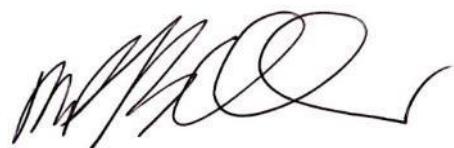
Opinion

In our opinion it is reasonable to suggest that the observed cracking in the property is not significant to cause impeded structural performance of the property. No large cracks [>5.0 mm] were detected in the property.

From our experience and considering the geo technical characteristics of the site and the age of the property, it is also reasonable to suggest that after any repairs, there is a probability that further cracking may occur to the property.

Tusting these observations and information is of assistance in the matter.

Yours faithfully,



Mark Spindler,

for and behalf of
JONSPIN Building Services Pty. Ltd.

Attached: Photographic Survey – Photographs 1 - 49

PHOTOGRAPHIC SURVEY



Photograph 1 shows re-pointing to the hip tiles and deterioration of the timber barge board and gutter system over the front verandah.



Photograph 2 shows deterioration and flaking paint of the timber barge board over the front verandah.



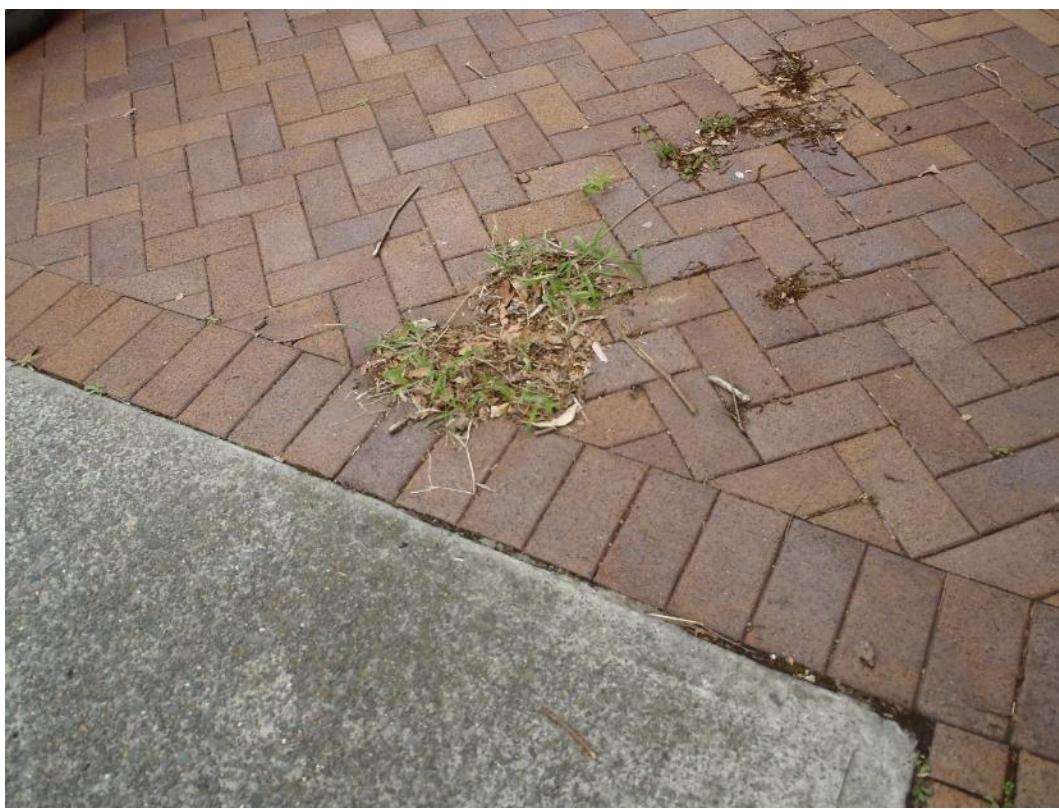
Photograph 3 shows broken finial post and deterioration of the decorative barge board to the front common gable.



Photograph 4 shows deterioration and flaking paint to the timber barge board along the southern elevation wall.



Photograph 5 shows displacement to the paved surface of the driveway on the southern side.



Photograph 6 shows vegetation growth through the paved driveway surface.



Photograph 7 shows displacement to the paved surface of the driveway on the northern side.



Photograph 8 shows some cracking to the driveway pavers.



Photograph 9 shows cracking and damage to the stone edging step on the front verandah.
Note: evidence of previous repairs.



Photograph 10 shows further damage to the stone edging step on the front verandah.



Photograph 11 shows step cracking and displaced mortar (fretting) to the porch privacy wall on the southern elevation.



Photograph 12 shows cracking to the sandstone block verandah support base.



Photograph 13 shows displaced brickwork to the footings in the south-eastern corner of the front verandah.



Photograph 14 shows step cracking and evidence of previous repairs to the verandah wall outside Bedroom 1.



Photograph 15 shows rusting to the metal lintel above the Bedroom 1 window arch and cracking to the clay masonry brick arch above.



Photograph 16 shows gaps between the window reveal and the timber window frame outside Bedroom 1.



Photograph 17 shows gaps between the window reveal and the timber window frame outside Bedroom 1.



Photograph 18 shows the general condition of the *common* privacy wall with the adjoining property, No. 260 Willoughby Road of the front verandah.



Photograph 19 shows evidence of previous repairs to the *common* privacy wall with the adjoining property, No. 260 Willoughby Road of the front verandah.



Photograph 20 shows deterioration of the surface coating on the southern elevation brickwork.



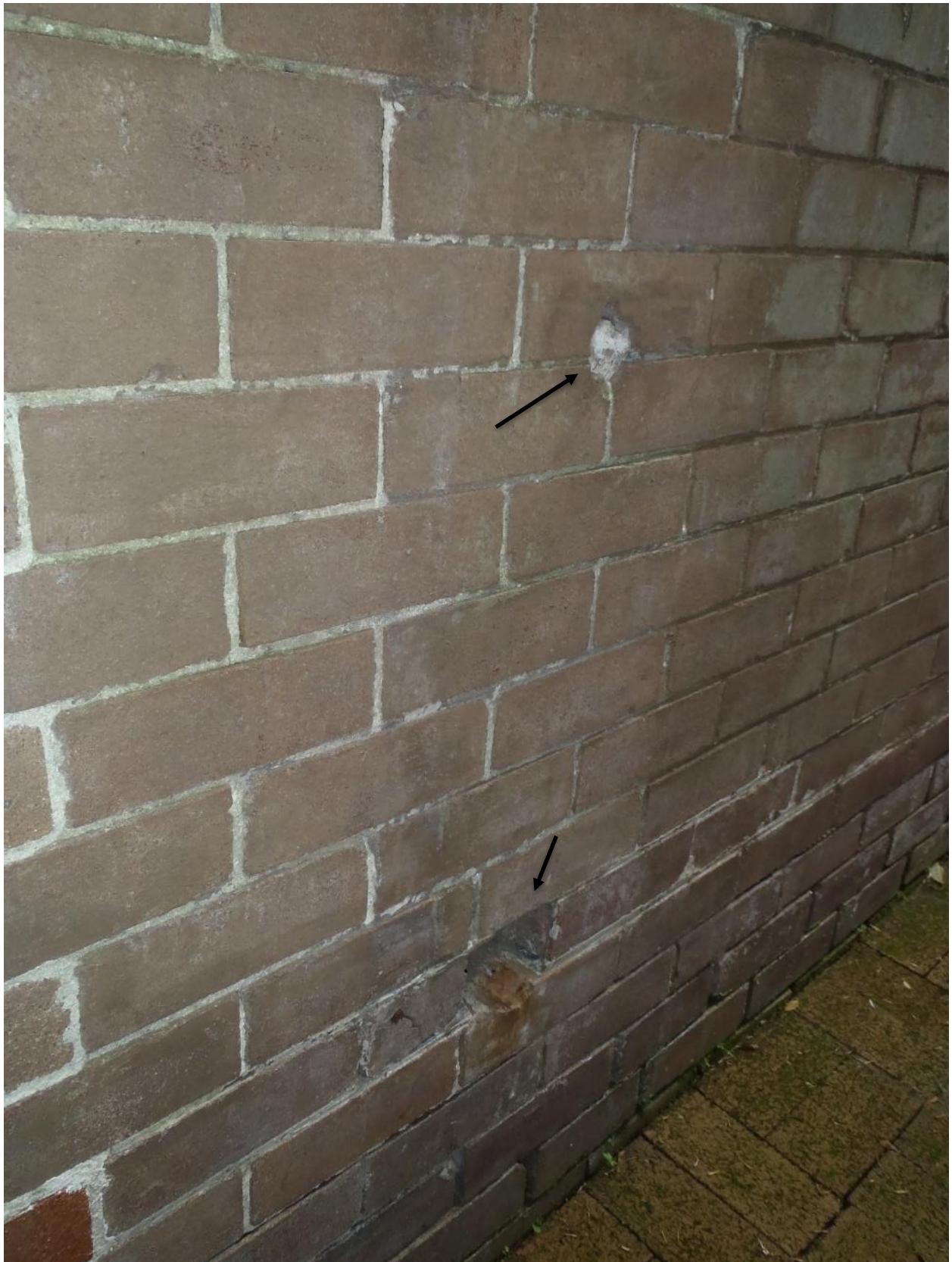
Photograph 21 shows deterioration of the surface coating on the southern elevation brickwork.



Photograph 22 shows step cracking around the wall vent extending towards the window head outside the Lounge Room.



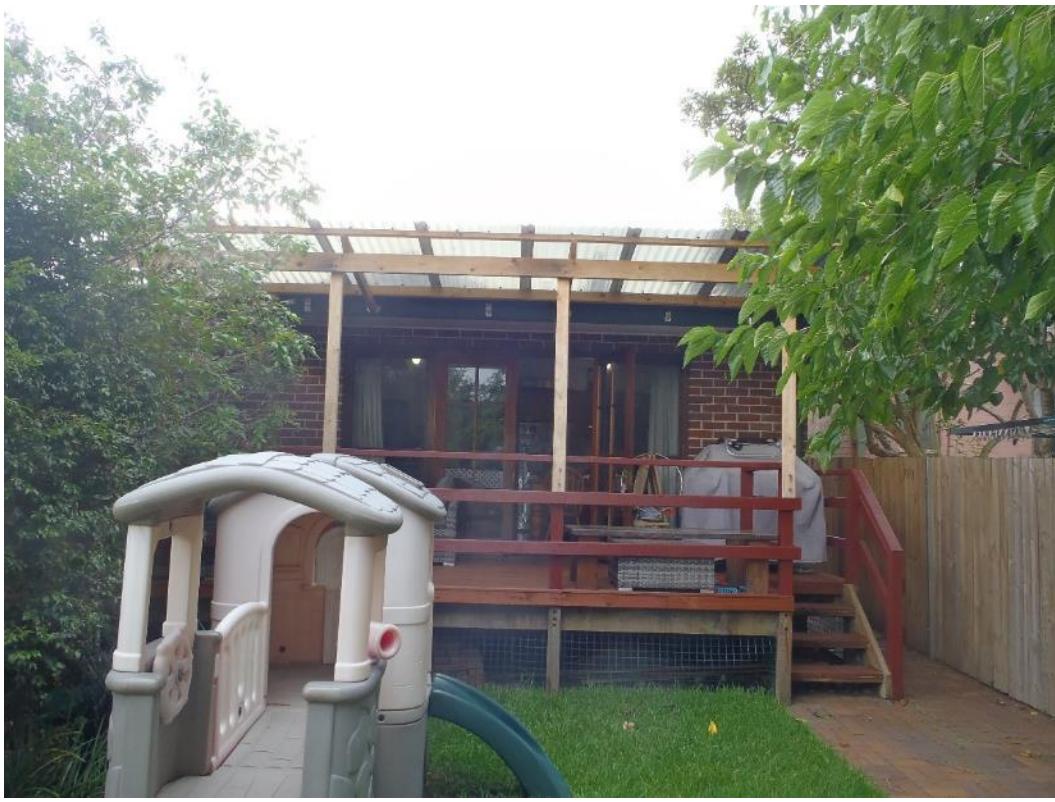
Photograph 23 shows evidence of a previous repair to the surface coated brickwork adjoining the barge flashing outside Bedroom 3



Photograph 24 shows damage to the clay masonry brick surface outside the Kitchen / Dining Room.



Photograph 25 shows displaced pavers to the side elevation pathway and dampness / lichen growth to the surface of the pavement



Photograph 26 shows the rear timber pergola structure.



Photograph 27 shows the general condition of the clay masonry brickwork of the *common* privacy wall with the adjoining property, No. 260 Willoughby Road on the rear deck



Photograph 28 shows the general condition of the rear common boundary fence with the adjoining property, No. 260 Willoughby Road.



Photograph 29 shows the general condition of the roofing timbers and the deterioration of the terracotta tiles.



Photograph 30 shows a gap to the skirting board adjacent to the front entry door and a crack to the threshold step adjacent to the front door jamb.



Photograph 31 shows separation cracking [<1.0 mm] of the cornice from the wall surface above the front entry door and horizontal cracking [<1.0 mm] of the plaster cornice.



Photograph 32 shows separation cracking [<1.0 mm] of the cornice from the wall surface above the front entry door and horizontal cracking of the plaster cornice.



Photograph 33 shows horizontal cracking of the plaster cornice along the *common party / separation wall* with the adjoining property, No. 260 Willoughby Road.



Photograph 34 shows radial cracking of the cement rendered *common party / separation wall* and evidence of previous repairs to the existing crack.



Photograph 35 shows hairline vertical cracking of the cement rendered wall above the Bedroom 2 door.



Photograph 36 shows hairline cracking of the plaster ceiling outside Bedroom 2 in the Hallway.



Photograph 37 shows radial cracking of the cement rendered wall adjoining the door jamb at the western end and evidence of previous repairs to the existing crack.



Photograph 38 shows cracking to the hearth tiles on the fireplace in Bedroom 1.



Photograph 39 shows hairline cracking of the plaster ceiling lining around the decorative ceiling rose in Bedroom 2.



Photograph 40 shows radial cracking of the cement rendered *common party / separation wall* with the adjoining property, No. 260 Willoughby Road extending from the cornice along the wall.



Photograph 41 shows the general condition of the Bathroom.



Photograph 42 shows horizontal cracking to the plasterboard wall above the wall tiles on the western wall in the Laundry.



Photograph 43 shows the general condition of the Laundry.



Photograph 44 shows the general condition of the Kitchen.



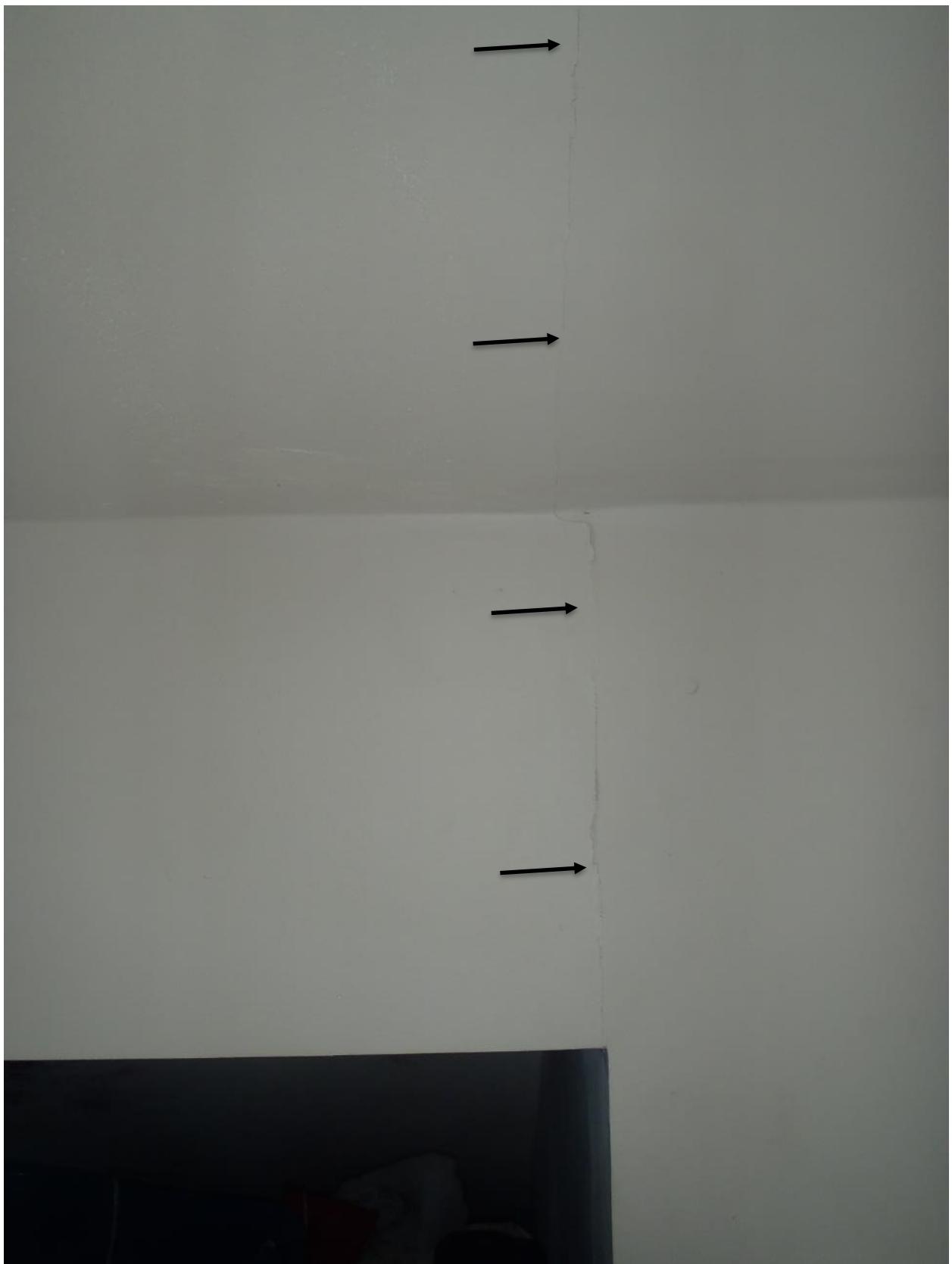
Photograph 45 shows separation cracking between the kitchen bench and the splashback tiles.



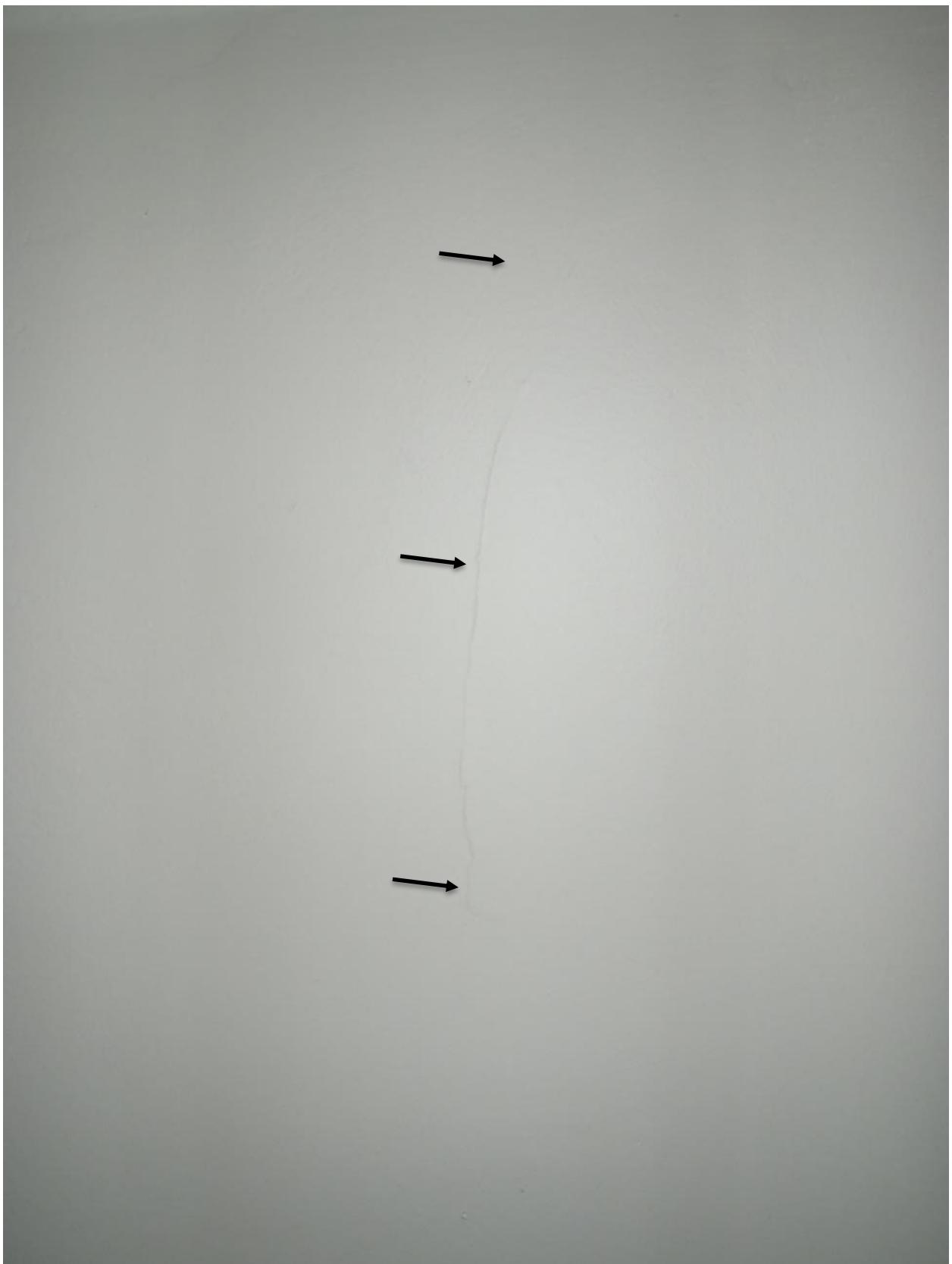
Photograph 46 shows separation cracking at the square set wall and ceiling junctions adjacent to the western skylight in the attic.



Photograph 47 shows hairline cracking to the plasterboard ceiling lining extending across the room in the attic.



Photograph 48 shows hairline cracking to the plasterboard ceiling lining extending across the room and down the southern plasterboard wall in the attic.



Photograph 49 shows hairline cracking to the plasterboard ceiling lining adjacent to the south eastern skylight in the attic.