

Dilapidation Assessment Report

Prepared for: Cape Cod Australia Pty. Limited

Job address: No. 102 Murrivierie Rd, North Bondi.

Property Owner/s: Kristal and Brad Turner

Report reference: **WAVERLEY COUNCIL**
 Development Application No: not available

Date of assessment: 20th January 2017



Shows the front southern elevation of the adjoining properties:
 No.102 and No.102A Murrivierie Road, North Bondi.

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This report is **not a guarantee** or an all-encompassing report dealing with the above property from every aspect. It is based on the condition of the property and the prevailing structural, soil and the weather conditions at the time of assessment. It is a reasonable attempt to identify any significant defects **visible** at the time of assessment.

This report, based on visual assessment, will not disclose defects in inaccessible areas; latent defects or defects which may be apparent in weather conditions that differ from those at the time of assessment.



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23rd January 2017

The Administrative & Scheduling Officer,
Cape Cod Australia Pty. Limited,
PO Box 2002,
NORTH PARRAMATTA. NSW 1750

Attention: Mr. Chris Koro.

Dear Sir,

Re: Dilapidation Report – No. 102 Murriverie Road, North Bondi.

We refer to your instructions in which you requested us to inspect and to prepare a dilapidation report on the above property as a requirement of the Development Application for the adjoining property (your client), **102A Murriverie Road, North Bondi**.

We confirm that we assessed the property at 8:00 am on the 20th January 2017, in the presence of the owner Miss Kristal Turner.

SITE ASSESSMENT

The sole purpose of the report is to identify existing visible defects in the building to produce a photographic dilapidation report. During the inspection process no furniture or personal belongings were moved / shifted to gain access.

An extensive site assessment was carried out so as to assess the condition of the external and internal structure of the three-storey attached residence prior to the construction of an upper floor addition to the rear of the adjoining attached property (your client), 102A Murriverie Road, North Bondi.

We confirm that our assessment was carried out without benefit of construction documents for this residence, 102A Murriverie Road, North Bondi.

Observations and Notes Taken

The weather at the time of our assessment was overcast.

General Description of the Property

It is situated on a slightly sloping site that falls from rear to front and across the site from east to west with a southerly facing frontal aspect.

We noted that the full brick / brick cavity, attached three-storey storey residence is approximately circa 1950 - 1960 and is supported on clay masonry brick footings. The rear third storey addition is brick veneer construction with deep timber floor joists.

We observed that there is clay brick *common party / separation* wall with the adjoining property, 102A Murrivere Road, North Bondi. We further noted that the wall extends from below floor level to the underside of the rafters. We noted that the common party wall is supported below floor level on a combination clay brick footings.

We noted that the *common hipped and valley* roof is a traditional cut and pitched timber structure with concrete roofing tiles.

ROOF SURFACES

Due to NSW Work Health and Safety [WHS] requirements, we confirm that we did not access the roof surfaces but observed the roof surfaces from ground level.

We observed that the concrete roof tiles to the roof surfaces are generally interlinked and securely bedded, in our opinion forming a weather resistant cover to the residence. **[Photograph 1]**

We noted deterioration to the surface coating on the front third storey timber fascia. **[Photograph 1]**

We noted deterioration to the surface coating on the rear third storey timber fascia. **[Photograph 2]**

We noted deterioration and rusting to the rear third storey downpipe and collector in the north-eastern corner. **[Photograph 3]**

We also noted that the side flashing between the brick wall of upper floor addition and the tiled roof of the adjoining property, 102 Murrivere Road, North Bondi is generally intact and forming a weather resistant seal between the wall and the roof surface. **[Photograph 4]**

UNDER FLOOR

We noted that the original floor system is hardwood timber bearers and joists and strip timber flooring and that there is a brick common party wall with the adjoining property, 102A Murrivere Road, North Bondi that extends to floor level. We did not observe cracking in the clay brickwork below floor level in the sub floor area.

EXTERNAL

General

We noted that the external walls are constructed of clay masonry brickwork.

Front southern elevation

We noted cracking to the stencilled concrete front side pathway and vegetation growth through the pathway. **[Photograph 5]**

We did not observe any recent cracking to the surface coated clay masonry brickwork.

Side western elevation

We noted damage to the brick boundary wall adjacent to the front pathway. **[Photograph 6]**

We noted deterioration to the surface coating to the stencilled concrete front side pathway and to the front entry steps. **[Photograph 6]**

We noted deterioration to the surface coating on the front entry threshold step. **[Photograph 7]**

We noted that the rear side pathway was a combination of stencilled concrete and pavers. **[Photograph 8]**

We did not observe any recent cracking to the surface coated clay masonry brickwork.

Rear northern elevation

We did not observe any recent cracking to the surface coated clay masonry brickwork. **[Photograph 9]**

We noted that the timber cantilevered balcony structure. We further noted deterioration to the surface coating of the timber work. **[Photographs 10, 11 & 12]**

We noted a timber deck structure to the rear elevation. **[Photograph 13]**

We noted that the rear common boundary fence is of timber post and rail construction. **[Photograph 14]**

Sewerage / Drainage

We did not assess the condition of or the adequacy of the sewerage / waste water drainage system.

We noted that there was no evidence of surcharge or blockage to the sewerage/drainage service at the time of assessment.

Storm Water Drainage

We did not assess the condition of or the adequacy of the storm water drainage system.

INTERNAL

We confirm that no personal belongings, such as bedding, wardrobes, furniture, paintings and the like were moved to assess the condition of the walls behind.

Ground floor

Garage

We did not observe any cracking to the *common party / separation wall* with the adjoining property, 102A Murrivie Road, North Bondi. **[Photograph 15]**

We noted that the ceiling was constructed of the exposed hardwood timber floor joists of the first floor.

Front spare room

We noted displaced cement render from the external western wall under the window. **[Photograph 16]**

We noted areas of flaking / lifting paint to the external southern and western walls. This, in our experience, is consistent with rising damp. **[Photograph 17]**

Laundry

We did not observe any cracking to the ceiling lining or to the ceramic wall tiles.

We noted that the grout to the wall and floor tiles is complete and that the wall and floor tiles when randomly "tap" tested appeared to be sound. **[Photograph 18]**

Hallway

We did not observe any cracking to the painted cement rendered walls or to the plaster ceiling.

We noted that the grout to the floor tiles is complete and that the floor tiles when randomly "tap" tested appeared to be sound. **[Photograph 19]**

Store room

We did not observe any cracking to the cement rendered wall surfaces or to the plaster ceiling.

Stairwell

We noted radial cracking [<1mm] along the western cement rendered wall. **[Photograph 20]**

We noted areas of flaking / lifting paint and mould growth to the external western wall. This, in our experience, is consistent with rising damp. **[Photograph 21]**

First floor

Entry

We noted radial cracking [<1mm] underneath the cornice on the southern cement rendered wall did not observe any cracking to the decorative plaster ceiling or to the mitre joints in the wide ornate plaster cornice.

We did not observe any cracking to the fibrous plaster ceiling or to the mitred joints in the decorative plaster cornice.

Kids Bedroom (front)

We did not observe any cracking to the painted brickwork, fibrous plaster ceiling or to the mitred joints in the decorative plaster cornice.

Bedroom 1

We noted previous repairs and flaking paint to the fibrous plaster ceiling in the north-eastern corner. **[Photograph 22]**

We noted previous repairs to the fibrous plaster ceiling in the north-western corner. We further noted staining to the ceiling and decorative cornice adjacent to the wardrobe. **[Photograph 23]**

We did not observe any cracking to the painted cement rendered brick walls, and in particular, to the common party / separation wall brickwork with the adjoining property, 102A Murriville Road, North Bondi.

Bedroom 2

We noted step cracking [<1mm] to the cement rendered walls in the south-western corner. **[Photograph 24]**

We noted staining to the fibrous plaster ceiling lining in the south-western and north western corner. **[Photographs 24 & 25]**

We did not observe any cracking to the fibrous plaster ceiling or to the mitred joints in the decorative plaster cornice.

Bathroom

We did not observe any cracking to the plaster ceiling or to the mitre joints in the cove profiled plaster cornice.

We noted mould growth to the painted cement rendered wall and the plaster ceiling in the south west corner. **[Photograph 26]**

We did not observe any recent cracking to the ceramic wall tiles or to the painted cement rendered walls above the wall tiles.

We noted that the grout to the wall and floor tiles is complete and that the wall and floor tiles when randomly "tap" tested appeared to be sound. We did not observe any recent cracking to the tile grout at the wall / wall, wall / floor junctions. **[Photograph 27]**

Lounge

We did not observe any cracking to the painted cement rendered walls, plasterboard ceiling or to the mitred joints in the decorative plaster cornice.

Bedroom 3

We noted flaking paint to the fibrous plaster ceiling in the north-western corner. **[Photograph 28]**

We noted step cracking [<1mm] extending underneath the wall vent in the north-western corner. **[Photograph 29]**

We noted separation cracking [<1mm] extending underneath the decorative cornice along the northern wall. **[Photograph 30]**

Playroom

We noted horizontal cracking [1mm-3mm] extending underneath the cove profiled cornice in the south-eastern corner. **Note:** the eastern wall is the *common party / separation wall* with the adjoining property, 102A Murrivierie Road, North Bondi. **[Photograph 31]**

We did not observe any cracking to the plasterboard ceiling or to the mitred joints in the cove profiled plaster cornice.

Dining

We noted evidence of previous repairs and holes to the *common party / separation wall* with the adjoining property, 102A Murrivierie Road, North Bondi. **[Photograph 32]**

We did not observe any cracking to the plasterboard ceiling or to the mitred joints in the cove profiled plaster cornice.

Kitchen

We noted a repair to the plaster ceiling in the south-western corner. **[Photograph 33]**

We noted separation cracking [1mm-3mm] extending along the square set junction of the painted cement rendered brick pier and the ceiling lining in the south-eastern corner. **[Photograph 34]**

We noted vertical cracking [1mm-3mm] extending along the square set junction of the painted cement rendered brick pier and the ceiling bulkhead in the south-western corner. **[Photograph 35]**

Second floor

Stairwell

We noted horizontal cracking [<1mm] along the northern wall. **[Photograph 36]**

Lounge and Landing

We did not observe any cracking to the plasterboard lined wall (*common party / separation wall* with the adjoining property, 102A Murrivierie Road, North Bondi), plasterboard ceiling or to the mitred joints in the cove profiled plaster cornice. **[Photograph 37]**

Store

We did not observe any cracking to the clay masonry brick wall (*common party / separation wall* with the adjoining property, 102A Murrivierie Road, North Bondi). **[Photograph 38]**

We did not observe any cracking to the plasterboard ceiling lining or the western plasterboard wall. We further noted that the ceiling lining and the wall were not painted. **[Photograph 38]**

Bedroom 4

We did not observe any cracking to the plasterboard walls, plasterboard ceiling or to the mitred joints in the cove profiled plaster cornice.

Bathroom

We found displaced grout and mould growth to the tiles on the bath plinth. **[Photograph 39]**

We found general staining / mould growth to the grout of the ceramic wall tiles. **[Photograph 40]**

We noted settlement cracking to the floor tiles in the bathroom entry. **[Photograph 41]**

Bedroom 5

We did not observe any cracking to the plasterboard walls, plasterboard ceiling or to the mitred joints in the cove profiled plaster cornice.

Kitchenette

We noted that the splashback tiles to the sink are displaced. **[Photograph 42]**

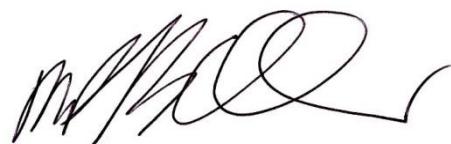
Opinion

In our opinion it is reasonable to suggest that the observed cracking in the property is not significant to cause impeded structural performance of the property. No large cracks [>5.0mm] were detected in the property.

From our experience and considering the geo technical characteristics of the site and the age of the property, it is also reasonable to suggest that after any repairs, there is a probability that further cracking may occur to the property.

Trusting these observations and information is of assistance in the matter.

Yours faithfully,



Mark Spindler,

for and behalf of
JONSPIN Building Services Pty. Ltd.

Attached: Photographic Survey – Photographs 1 - 42 inclusive

PHOTOGRAPHIC SURVEY



Photograph 1 shows the general condition of the front roof tiles, and deterioration of the surface coating on the front fascia board.



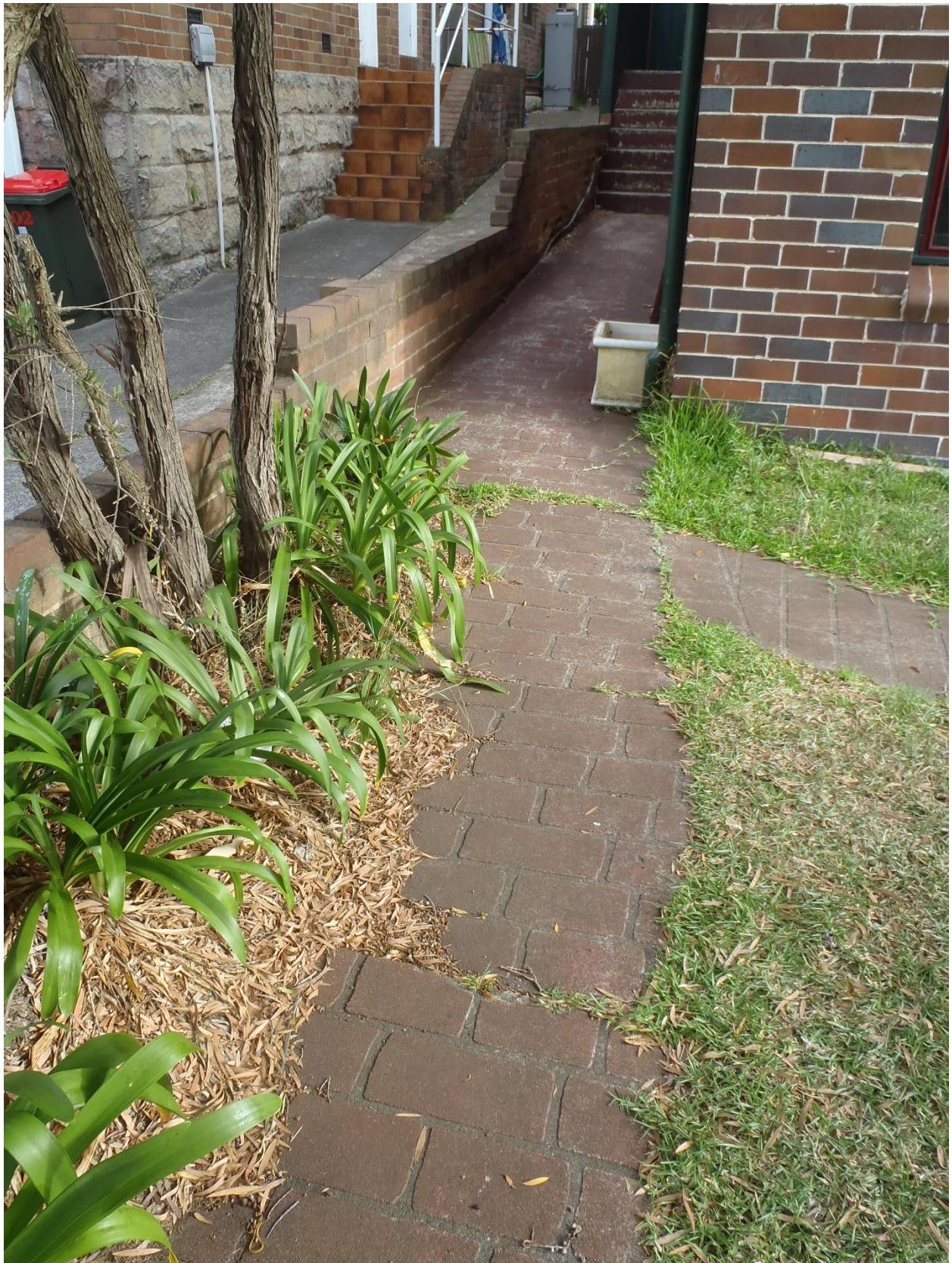
Photograph 2 shows deterioration to the surface coating on the rear timber fascia.



Photograph 3 shows deterioration and rusting to the rear downpipe and collector in the north eastern corner.



Photograph 4 shows the side flashing between the brick wall of upper floor addition and the tiled roof of the adjoining property, 102 Murriville Road, North Bondi.



Photograph 5 shows cracking to the stencilled concrete front side pathway and vegetation growth through the pathway.



Photograph 6 shows damage to the brick boundary wall adjacent to the front pathway.



Photograph 7 shows deterioration to the surface coating on the front entry threshold step.



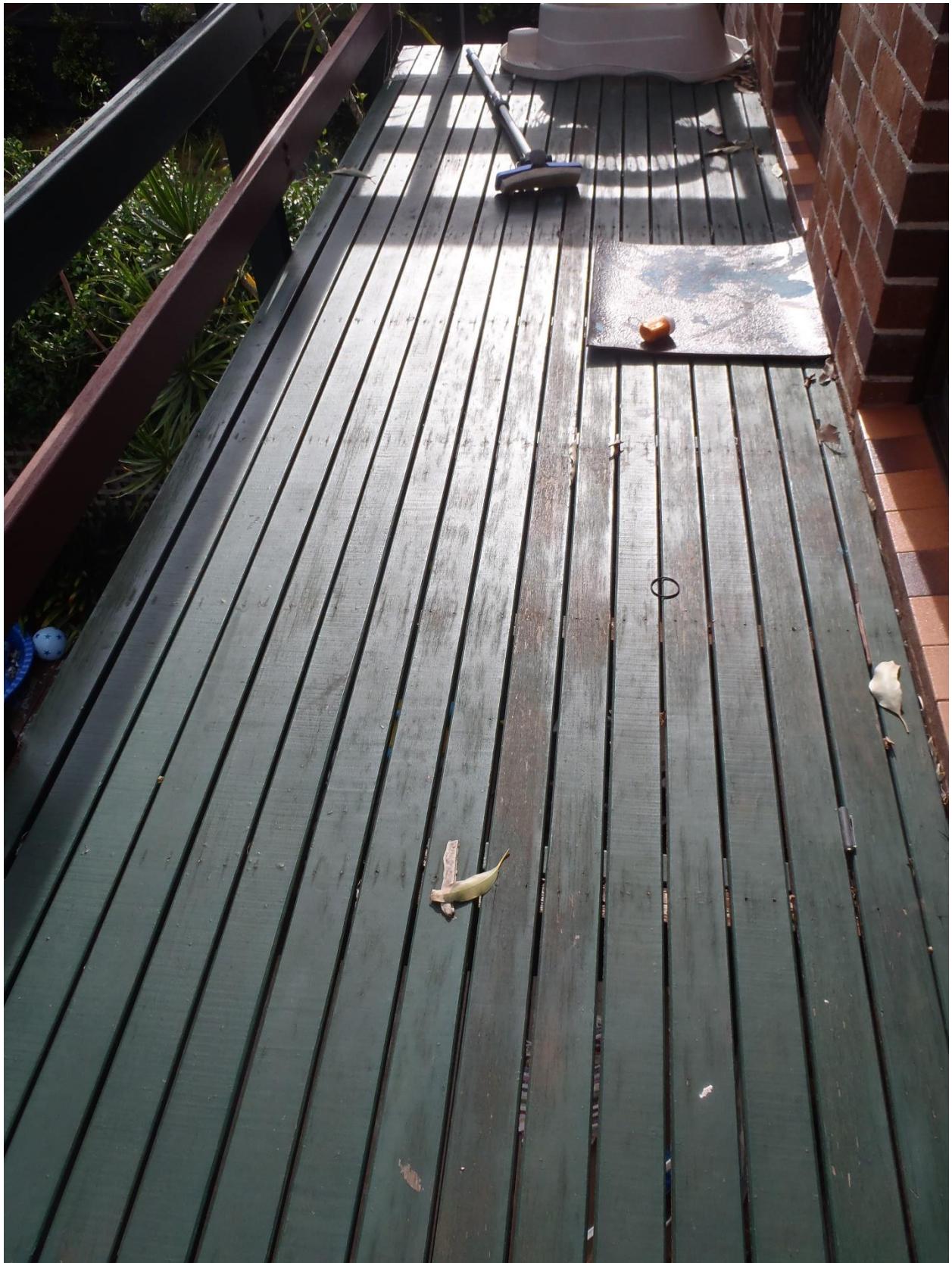
Photograph 8 shows the general condition of the rear side pathway.



Photograph 9 shows the general condition of the rear elevation.



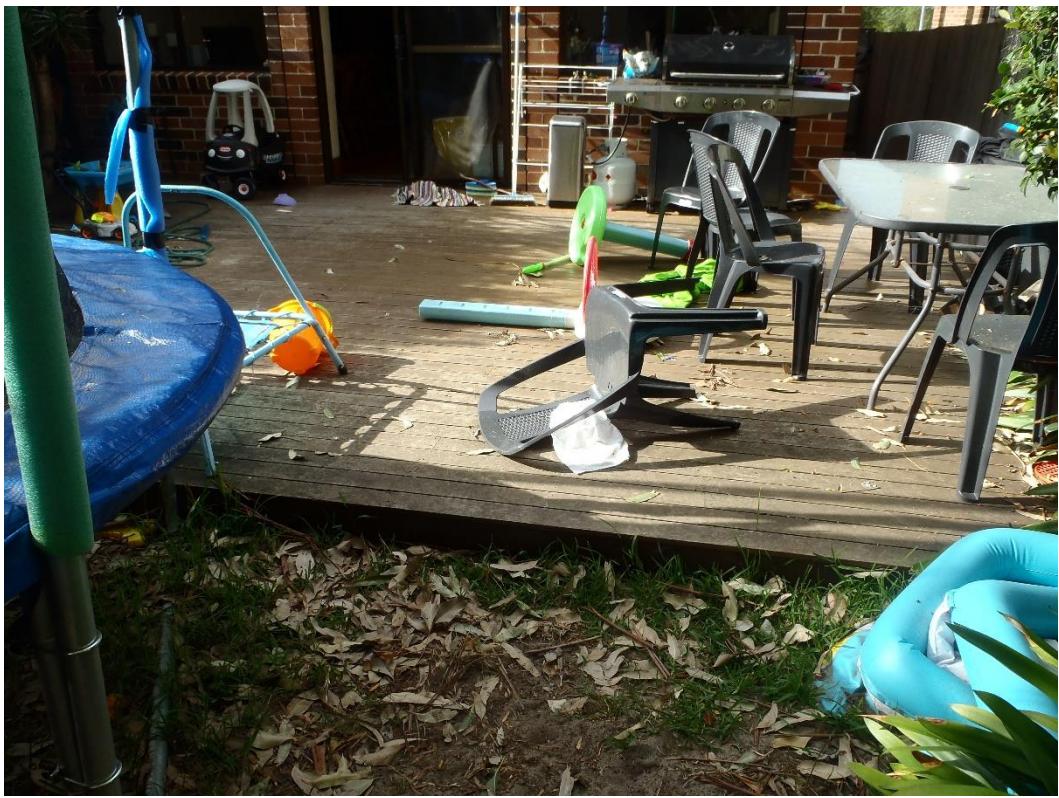
Photograph 10 shows deterioration to the surface coating of the balcony handrail.



Photograph 11 shows the general condition of the balcony decking.



Photograph 12 shows deterioration to the surface coating of the balcony timberwork.



Photograph 13 shows the general condition of the rear timber deck.



Photograph 14 shows the general condition of the rear common boundary fence.



Photograph 15 shows the general condition of the garage.



Photograph 16 shows displaced cement render from the external western wall under the window in the front spare room.



Photograph 17 shows flaking / lifting paint to the external southern and western walls of the front spare room.



Photograph 18 shows the general condition of the Laundry.



Photograph 19 shows the general condition of the hallway tiles.



Photograph 20 shows radial cracking along the western cement rendered wall in the stairwell.



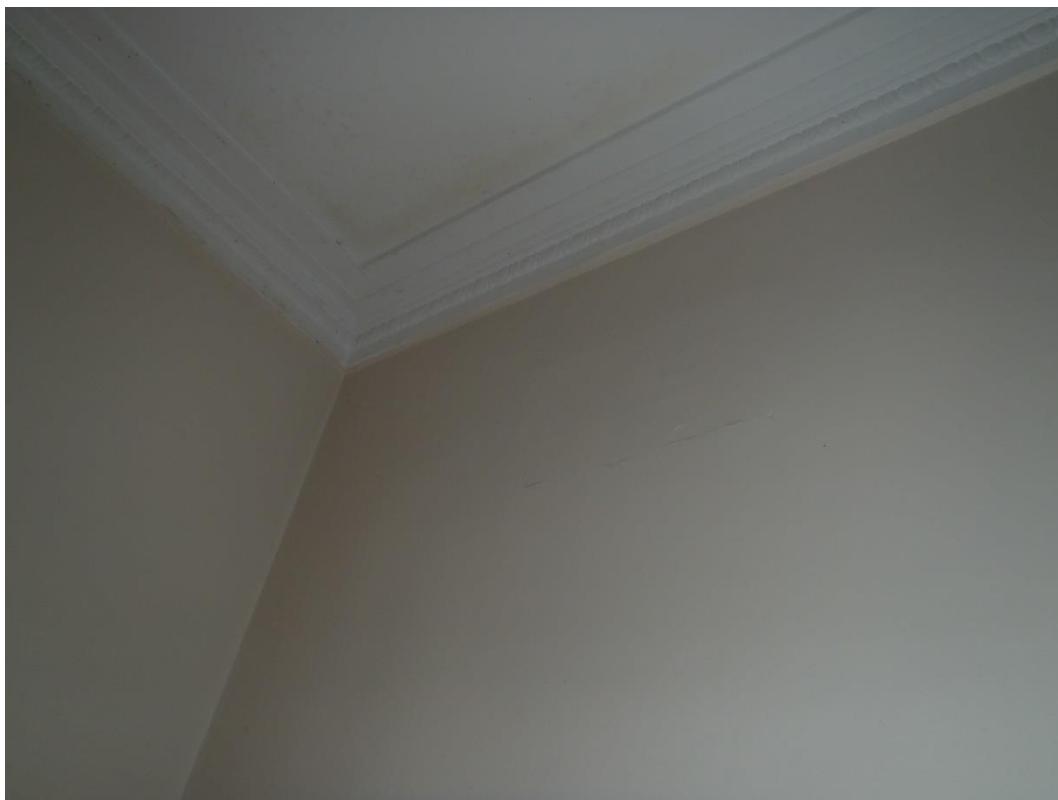
Photograph 21 shows flaking / lifting paint and mould growth to the external western wall in the stairwell.



Photograph 22 shows previous repairs and flaking paint to the fibrous plaster ceiling in the north eastern corner of Bedroom 1



Photograph 23 shows previous repairs and staining to the fibrous plaster ceiling in the north-western corner of Bedroom 1



Photograph 24 shows step cracking to the cement rendered walls and staining to the ceiling in the south-western corner of Bedroom 2.



Photograph 25 shows staining to the fibrous plaster ceiling lining in the north western corner of Bedroom 2.



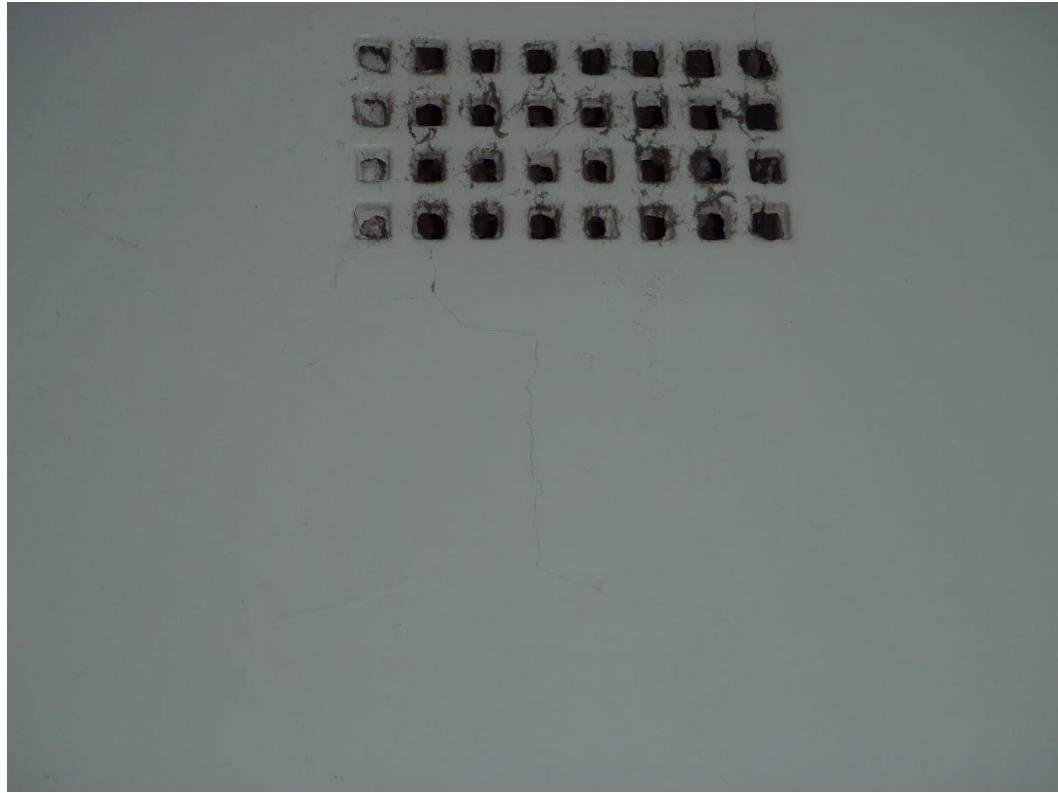
Photograph 26 shows mould growth to the painted cement rendered wall and the plaster ceiling in the south west corner of the Bathroom.



Photograph 27 shows the general condition of the Bathroom.



Photograph 28 shows flaking paint to the fibrous plaster ceiling in the north-western corner in Bedroom 3.



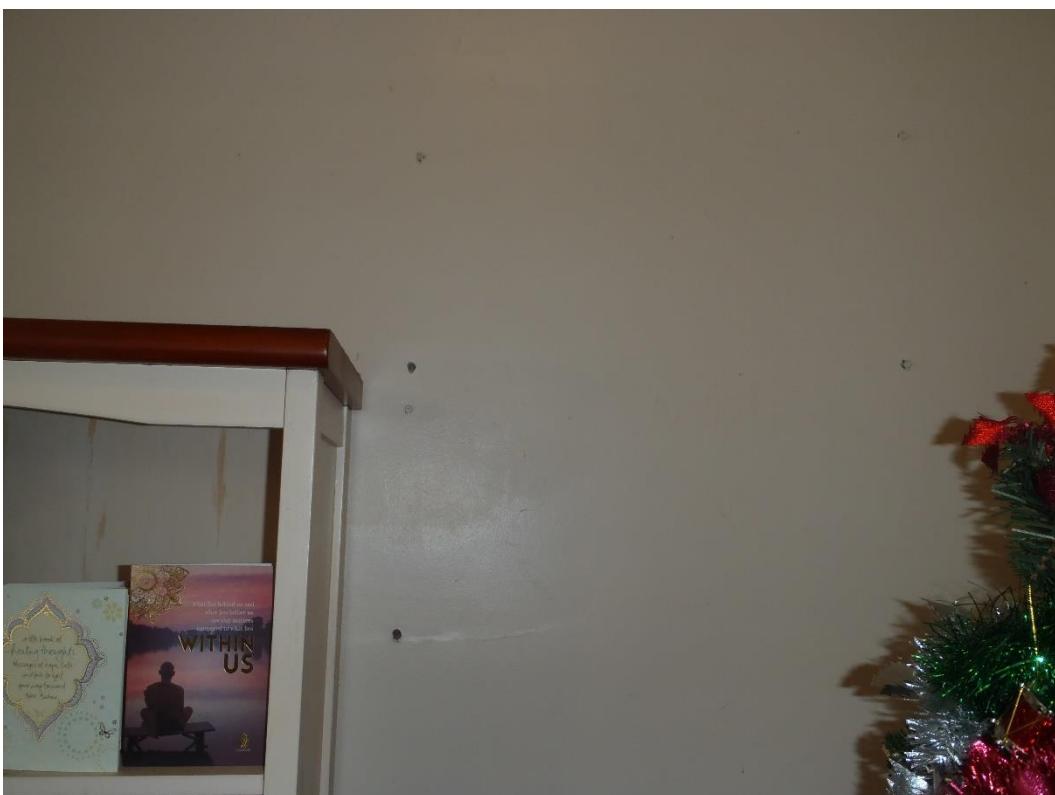
Photograph 29 shows step cracking extending underneath the wall vent in the north-western corner of Bedroom 3.



Photograph 30 shows separation cracking extending underneath the decorative cornice along the northern wall in Bedroom 3.



Photograph 31 shows horizontal cracking extending underneath the cove profiled cornice in the south-eastern corner of the Playroom.



Photograph 32 shows evidence of previous repairs and holes to the *common party / separation wall* in the Dining Room.



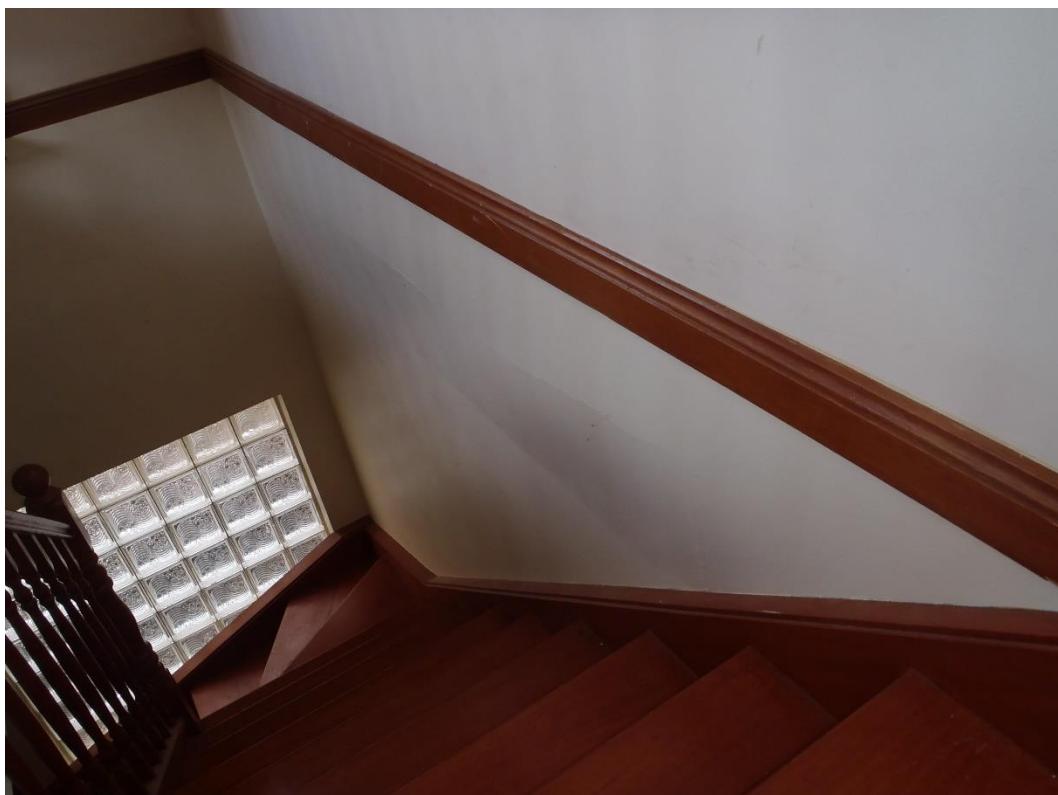
Photograph 33 shows a repair to the plaster ceiling in the south-western corner in the Kitchen.



Photograph 34 shows separation cracking [1mm-3mm] extending along the square set junction of the painted cement rendered brick pier and the ceiling lining in the south-eastern corner of the Kitchen.



Photograph 35 shows vertical cracking extending along the square set junction of the painted cement rendered brick pier and the ceiling bulkhead in the south-western corner of the Kitchen.



Photograph 36 shows horizontal cracking along the northern wall of the stairwell.



Photograph 37 shows the general condition of the Lounge and Stairwell landing.



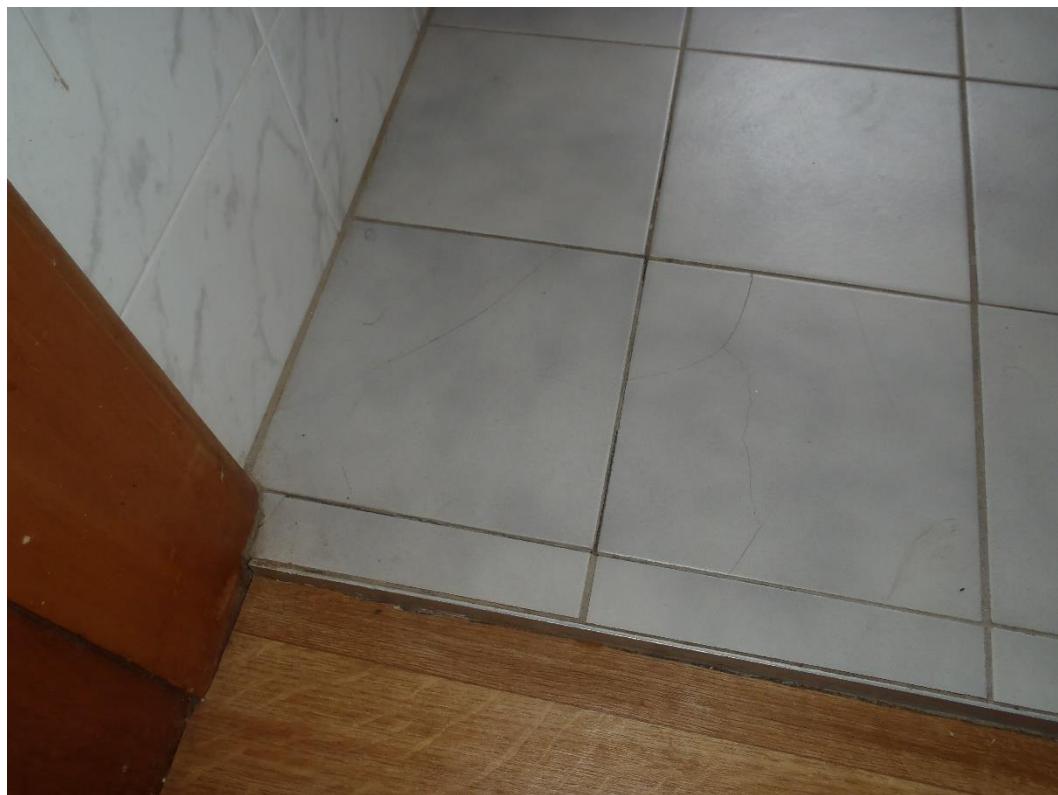
Photograph 38 shows the general condition of the attic store room.



Photograph 39 shows displaced grout and mould growth to the tiles on the bath plinth wall in the Bathroom.



Photograph 40 shows general staining / mould growth to the grout of the ceramic wall tiles in the Bathroom.



Photograph 41 shows settlement cracking to the floor tiles in the bathroom entry.



Photograph 42 shows the splashback tiles to the sink are displaced in the Kitchenette.