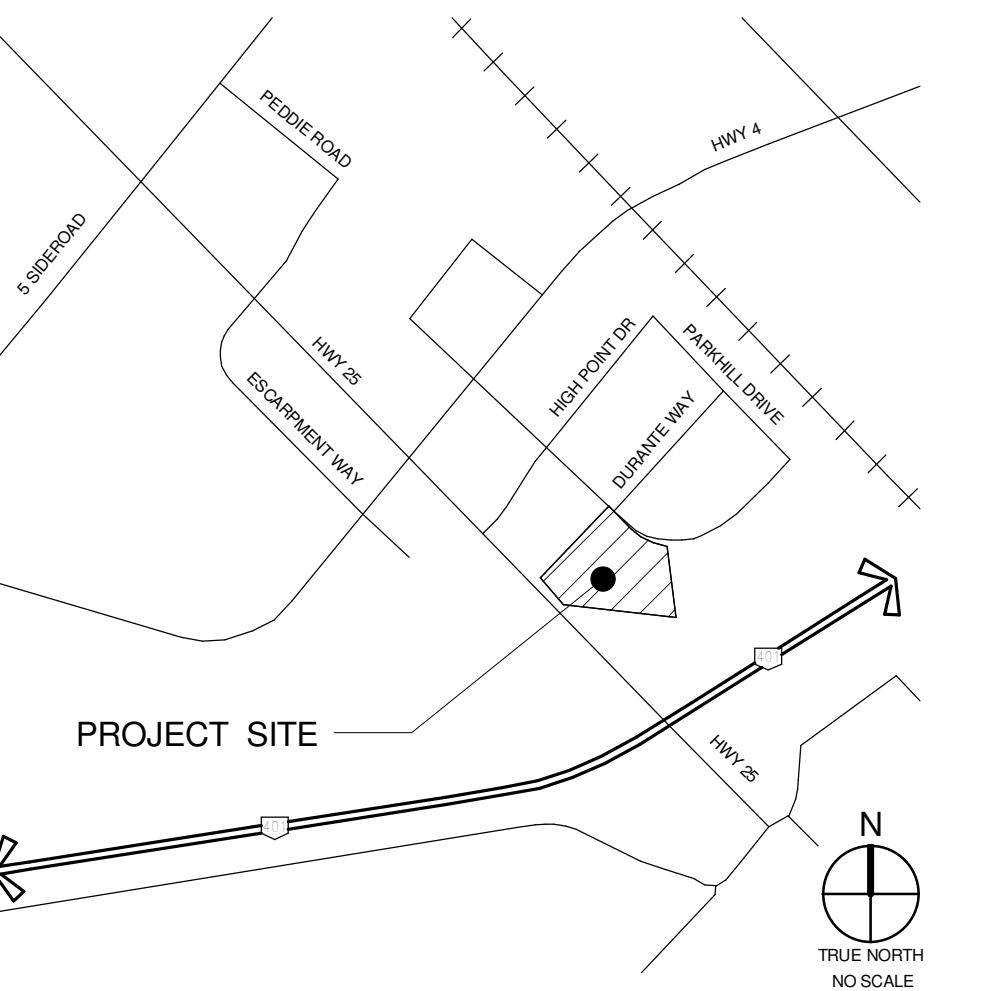


OBC MATRIX BUILDING 2													
NAME OF PRACTICE: WARE MALCOMB (A BUSINESS NAME OF WMA INC.) CERTIFICATE OF PRACTICE NUMBER: 4384 NAME OF PROJECT: BROCCOLINI PARKHILL DRIVE DEVELOPMENT - BUILDING 2 - SHELL LOCATION: MILTON, ONTARIO													
ITEM 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21													
ONTARIO BUILDING CODE DATA MATRIX PARTS 3 OR 9 PROJECT DESCRIPTION: NEW BUILDING SHELL FOR WAREHOUSE AND FUTURE SUPPORTING OFFICE MAJOR OCCUPANCY(S): GROUP F, DIVISION 2, GROUP D, OFFICE (SUBSIDIARY) BUILDING AREA (sq.m.): EXISTING: n/a TOTAL: 7969.32 SM GROSS AREA (sq.m.): EXISTING: n/a TOTAL: 7969.32 SM NUMBER OF STOREYS ABOVE GRADE: ONE BELOW GRADE: 0 NUMBER OF STREETS / ACCESS ROUTES 1 STREET BUILDING CLASSIFICATION(S) 3.2.2.67. GROUP F, DIVISION 2, ANY HEIGHT, ANY AREA, SPRINKLERED SPRINKLER SYSTEM PROPOSED: ENTIRE BUILDING STANDPIPE REQUIRED FIRE ALARM REQUIRED WATER SERVICE / SUPPLY IS ADEQUATE HIGH BUILDING CONSTRUCTION RESTRICTIONS ACTUAL CONSTRUCTION MEZZANINE(S) AREA m2 OCCUPANT LOAD OFFICE OCCUPANCY: D LOAD (PERSONS): TBD WAREHOUSE OCCUPANCY: F2 LOAD (PERSONS): TBD TOTAL OCCUPANCY: D/F2 LOAD (PERSONS): <300 BARRIER-FREE DESIGN HAZARDOUS SUBSTANCES REQUIRED FIRE RESISTANCE RATING (FRR) HORIZONTAL ASSEMBLIES FRR (HOURS) FLOORS: 2 HOURS ROOF: 0 HOURS MEZZANINE: 1 HOURS FRR OF SUPPORTING MEMBERS FLOORS: 2 HOURS ROOF: 0 HOURS MEZZANINE: 1 HOURS SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS WALL AREA OF EBF (sq. m.) LD (m) L/H OR H/L PERMITTED MAX % OF OPENINGS PROPOSED % OF OPENINGS FRR (HOURS) LISTED DESIGN No. OR DESCRIP. COMB. CONSTR. COMB. CONSTR. NON. CLADDING NON-COMB. CONSTRUCTION NORTHEAST 1017.48 11.2 - 100% - - - - - - SOUTHEAST 1746.61 16.67 - 100% - - - - - - WEST 1496.49 30.48 - 100% - - - - - - PLUMBING FIXTURE REQUIREMENTS MALE/FEMALE COUNT AT 50% MALE / 50% MALE / FLOOR: 1st OCCUPANCY: D LOAD: TBD OBC TABLE No.: 3.7.4.7 FIXTURES RE'D: TBD FIXTURES PROVIDED: TBD PART 3 PART 9 FLOOR: 1st OCCUPANCY: F LOAD: TBD OBC TABLE No.: 3.7.4.9 FIXTURES RE'D: TBD FIXTURES PROVIDED: TBD PART 3 PART 9 OTHER (DESCRIBE) 3.1.5.10 COMBUSTIBLE INTERIOR FINISHES LESS THAN 1m ARE PERMITTED, WHERE < 1m AND < 25MM THICK FLAME SPREAD < 150 (INCLUDING UP TO 10% CEILING AREA) 3.1.13.2 (2): DOORS SHALL HAVE FLAME SPREAD < 200													

## VICINITY MAP



# BROCCOLINI

## PARKHILL DEVELOPMENT

### BUILDING 2 - SHELL INDUSTRIAL

### 8300 PARKHILL DRIVE, MILTON ON

ISSUED FOR CONSTRUCTION

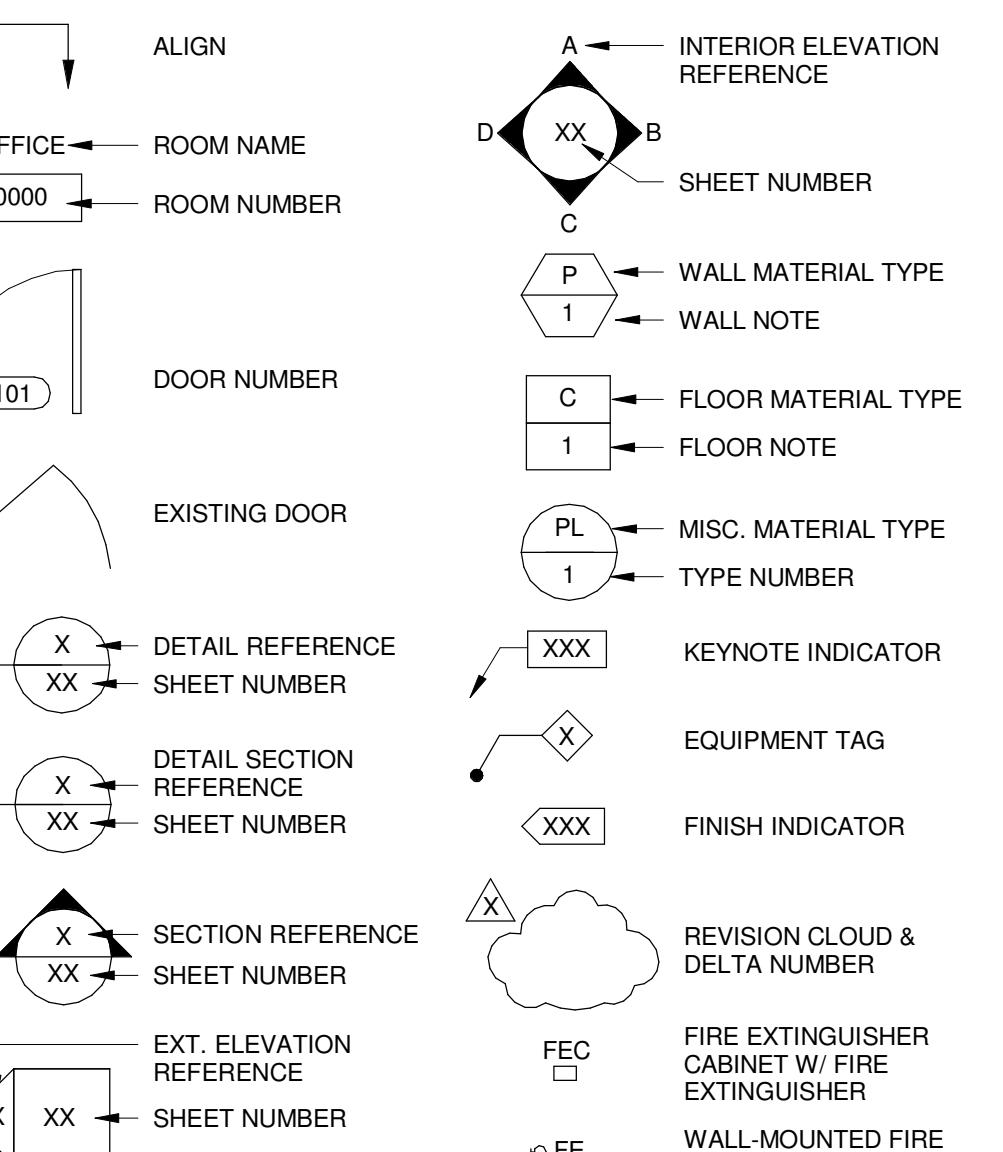


Entry Perspective (Artist Rendering)

1

N.T.S.

## SYMBOLS



## OWNER



2680 MATHESON BLVD EAST, SUITE 104

MISSISSAUGA, ONTARIO L4W 0A5

## SHEET INDEX

## ARCHITECTURAL

(20) SHEETS

- A0.1 BUILDING 2 - TITLE SHEET
- A0.2 GENERAL NOTES
- A1.0 OVERALL SITE PLAN
- A1.0B BUILDING 2 - SITE PLAN
- A1.1 ENLARGED SITE PLAN - A
- A1.2 ENLARGED SITE PLAN - B
- A1.4 BUILDING 2 - OCCUPANCY AND EGRESS PLAN
- A2.2 BUILDING 2 - FLOOR PLAN
- A2.2A BUILDING 2 - ENLARGED FLOOR PLANS
- A2.2B BUILDING 2 - ENLARGED FLOOR PLANS
- A3.2 BUILDING 2 - ROOF PLAN
- A4.2 BUILDING 2 - EXTERIOR ELEVATIONS
- A5.1 ENLARGED ELEVATION AND WALL SECTIONS
- A5.2 ENLARGED ELEVATION AND WALL SECTIONS
- A6.2 BUILDING 2 - ELECTRIC AND SPRINKLER ROOM
- A7.2 BUILDING 2 - DOOR SCHEDULE

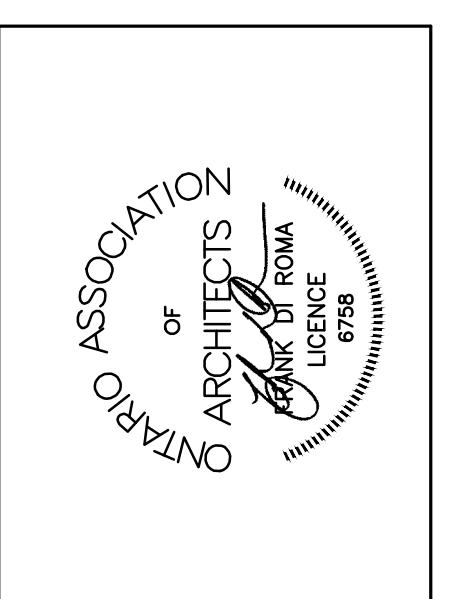
- A9.1 DETAILS
- A9.2 DETAILS
- A9.3 DETAILS
- A9.4 DETAILS

## ARCHITECT

WARE MALCOLM

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Planning Interior graphics civil engineering
<b>BROCCOLINI</b>



<b>PARKHILL DEVELOPMENT</b>
<b>BUILDING 2</b>
<b>8300 PARKHILL DRIVE</b>
<b>MILTON, ONTARIO</b>
<b>SITE PLAN FILE # SP-12/16</b>

## ABBREVIATIONS

#	POUND or NUMBER	BLKG.	BLOCKING	DBL.	DOUBLE	F.B.	FLAT BAR	GND.	GROUND	L.V.	LOW VOLTAGE	N.I.C.	NOT IN CONTRACT	PT.	POINT	S.F.	SQUARE FOOT	T&G	TONGUE AND GROOVE	V.C.T.	VINYL
& AND	BM.	BEAM	DEPT.	DEPARTMENT	F.D.	FLOOR DRAIN	GR.	GRADE	L.W.C.	LIGHT WEIGHT CONCRETE	N.R.C.	NOISE REDUCTION COEFFICIENT	O.T.	QUARRY TILE	S.N.D.	SQUARE INCH	T&G	TONGUE AND GROOVE	COMPOSITE TILE		
(E) EXISTING	BOT.	BOTTOM	DET.	DETAIL	F.E.	FIRE EXTINGUISHER	G.Y.P.	GYPSUM	LAB.	LABORATORY	N.A.	SANITARY NAPKIN DISPENSER	T.	TREAD	V.I.F.	VERIFY IN FIELD					
@ AT	C.B.	CATCH BASIN	DIA.	DIAMETER	F.E.C.	FIRE EXTINGUISHER	H.B.	HOSE BIBB	LAM.	LAMINATE(D)	N.T.S.	NOT TO SCALE	QUAL.	QUALITY	S.N.R.	SANITARY NAPKIN	T.B.	TOWEL BAR	V.P.	VISION PANEL	
~ DIAMETER or ROUND	C.G.	CORNER GUARD	DISP.	DISPENSER	F.E.C.	EXTINGUISHER	H.C.	HOLLOW CORE CABINET	LAV.	LAVATORY	N.O.	NUMBER	QUAN.	QUANTITY	S.N.R.	SANITARY NAPKIN	T.C.	TOP OF CURB	V.R.	VAPOR	
Ø DIAMETER	C.I.	CAST IRON	DN.	DOWN	F.H.C.	FIRE HOSE CABINET	H.M.	HOLLOW METAL	LIN.	LINEAR	N.O.	NUMBER	R.	RISER	R.B.	RUBBER / RESILIENT BASE	S.S.	STAINLESS STEEL	T.D.	RETARDER	
□ CENTERLINE ANGLE	C.O.	CASED OPENING	DR.	DOOR	F.H.C.	FIRE HOSE CABINET	H.P.	HIGH POINT	LIQ.	LIQUID	N.O.	NUMBER	R.B.	REFLECTED CEILING PLAN	S.S.K.	SERVICE SINK	T.O.C.	TOP OF CONCRETE	VAC.	VACUUM	
A.D. AREA DRAIN	C.O.M.	CENTER OF MULLION	DWG.	DRAWER	F.O.C.	FACE OF CONCRETE	HDWD.	HARDWOOD	LT.	LIGHT	O.A.	OVERALL	R.C.P.	REFLECTED CEILING PLAN	S.S.K.	SERVICE SINK	T.O.M.	TOP OF MULLION	VERT.	VERTICAL	
ACOUS. ACOUSTICAL	C.O.R.	CENTER OF REVEAL	E.	EAST	F.O.M.	FACE OF FINISH	F.O.M.	FACE OF MULLION	HGT.	HEIGHT	O.C.	ON CENTER	R.D.	ROOF DRAIN	S.T.C.	SOUND	T.O.P.	TOP OF PANEL	VEST.	VESTIBULE	
ADJ. ADJUST,	CAB.	CABINET	E.J.	EXPANSION JOINT	F.O.P.	FACE OF METAL PANEL	F.O.S.H.	FACE OF SHEATHING	HR.	HOUR	O.D.	OUTSIDE DIAMETER	R.O.	ROUGH OPENING	S.T.O.	TRANSMISSION COEFFICIENT	T.O.R.	TOP OF REVEAL	VIT.	VITREOUS	
ADJUSTABLE or ADJACENT	CEM.	CEMENT(ТИТОИУС)	E.P.	ELECTRIC	F.O.S.H.	FACE OF SHEATHING	I.D.	INSIDE DIMENSION	M.C.	MEDICINE CABINET	O.F.	OUTSIDE FACE	R.O.W.	RIGHT OF WAY	S.CWD.	SCHEDULE	T.O.S.	TOP OF DEEP RECESS	W.	WEST	
AGGR. AGGREGATE	CL.G.	CAULKING	E.W.C.	ELECTRIC	F.O.S.H.	FACE OF SHEATHING	I.H.P.	INTERMEDIATE HIGH POINT	M.O.	MASONRY	O.H.	OVERHEAD OR OPPOSITE HAND	R.T.U.	ROOF TOP UNIT	S.ECT.	SCREW	T.O.S.	TOP OF STEEL	W.C.	WATER CLOSET	
AL. ALUMINUM	CLO.	CLOSET	EA.	EACH	F.O.S.H.	FLUORESCENT	I.H.P.	INTERMEDIATE HIGH POINT	M.AINT.	Maintenance	O.S.	OBSCURE	R.W.L.	RAIN WATER	S.ECT.	SECTION	T.P.	TOP OF WALL	W.P.	WORKING POINT	
APPROX. APPROXIMATE(L.Y)	CLR.	CLEAR	EL.	ELEVATION	F.O.S.H.	FLUORESCENT	I.H.P.	INTERMEDIATE HIGH POINT	M.AINT.	Maintenance	OFF.	OFFICE	RAD.	RADIUS	S.H.	SHELF	T.P.D.	TOILET PAPER DISPENSER	W.W.F.	WROUGHT IRON	
ARCH. ARCHITECTURAL	CNT.R.	COUNTER	ELEC.	ELECTRICAL	F.DN.	FOUNDATION	INSUL.	INSULATION or INSULATED	M.A.	MASONRY	MAN.	MANUAL	REF.	REFERENCE	S.H.	SHOWER	T.P.D.	TOILET PAPER DISPENSER	W.F.	WORKING POINT	
ASB. ASBESTOS	COL.	COLUMN	ELEV.	ELEVATOR	FIN.	FINISHED(ED)	FL.	FLOOR	INT.	INTERIOR	MAX.	MAXIMUM	REFR.	REFRIGERATOR	SIM.	SIMILAR	T.V.	TELEVISION	W/I.	STRIPPING	
ASPH. ASPHALT	CONN.	CONCRETE	EMER.	EMERGENCY	FLASH.	FLASHING	F.O.S.H.	FLUORESCENT	J.B.	JUNCTION BOX	P.C.	PRECAST REINFORCED(P)	REQ.	REQUIRED	SPEC.	SPECIFIED or SPECIFICATION	TER.	TERRAZZO	WD.	WOOD	
B.O.C. BOTTOM OF CONCRETE	CONSTR.	CONSTRUCTION	ENC.	ENCLOSED or ENCLOSURE	FLU.	FLUORESCENT	F.O.S.H.	FLUORESCENT	JAN.	JANITOR	M.E.	MECHANICAL MEMBRANE	PL.	PLASTIC RESILIENT	SQ.	SQUARE	THK.	THICK	WPM.	WATERPROOFING	
B.O.M. BOTTOM OF MULLION	CONT.	CONTINUOUS	EQ.	EQUAL	FT.	FOOT or FEET	F.T.	FOOTING	JST.	JOIST	MEZZ.	MEZZANINE	R.GTR.	REGISTER	STA.	STATION	TOL.	TOLERANCE	W.R.B.	WEATHER STOP	
B.O.P. BOTTOM OF PANEL	CORR.	CORRIDOR	EQPT.	EQUIPMENT	FURR.	FURRING	J.T.	JOINT	M.F.R.	MANUFACTURER	M.F.R.	MANUFACTURER	P.T.D.	PAPER TOWEL DISPENSER	STL.	STEEL	TYP.	TOPICAL	W.P.	WEATHER STOP	
B.O.R. BOTTOM OF REVEAL	CTSK.	COUNTER-SUNK	EXPO.	EXPOSED	FUT.	FUTURE	K.O.	KNOCK-OUT	M.I.R.	MIRROR	M.I.T.	MINIMUM	P.T.R.	PAPER TOWER RECEPACLE	S.	SOUTH	STR.	STRUCTURE or LABORATORIES	W.S.C.T.	WAINSCT	
BD. BOARD	D.F.	DRINKING FOUNTAIN	EXT.	EXISTING	G.B.	GRAB BAR	K.P.	KICK PLATE	M.I.C.	MISCELLANEOUS	P.L.	MINIMUM	S.A.F.	SELF-ADHERED FLASHING	SUPP.	STRUCTURAL or LABORATORIES	WT.	WEIGHT			
BITUM. BITUMINOUS	D.O.	DOOR OPENING	F.A.	FIRE ALARM	G.A.	GAUGE	K.W.H.	KILOWATT HOUR	M.T.D.	MOUNTED	P.L.	MINIMUM	S.C.D.	SOLID CORE SEAT COVER	SUPP.	SUPPLEMENT or Y	U.O.N.	UNLESS OTHERWISE NOTED	</td		

FINISH NOTES		FLOOR PLAN NOTES		GENERAL PROJECT NOTES							
<p>1. NO FINISH SUBSTITUTIONS MAY BE MADE UNLESS APPROVED BY ARCHITECT.</p> <p>2. APPLICATION OF CONTROLLED INTERIOR FINISHES SHALL BE IN CONFORMANCE WITH O.B.C. &amp; LOCAL CODES.</p> <p>3. DECORATIVE MATERIALS SHALL BE MAINTAINED IN A FLAME-RETARDANT CONDITION.</p> <p>4. SUBMIT THE FOLLOWING SAMPLES FOR ARCHITECT'S APPROVAL:</p> <ul style="list-style-type: none"> <li>A. THREE (3) 12" X 12" SAMPLES FOR ALL PAINT, VINYL AND FABRIC FINISHES AND COLORS APPLIED TO A SUBSTRATE WHICH IS REPRESENTATIVE OF THE SURFACE TO BE FINISHED. SUBMIT PAINT SAMPLES FROM THE PAINT LOT OR LOTS INTENDED FOR APPLICATION.</li> <li>B. ONE (1) 24" X 24" MOCK-UP WITH SAMPLE SEAM (CENTERED) OF ALL FABRIC AND VINYL FINISHES AND COLOR.</li> <li>C. THREE (3) 12" X 12" SAMPLES OF ALL FLOOR COVERING.</li> <li>D. SUBMIT ACTUAL CUTTINGS OF EACH PRODUCT FOR COLOR/QUALITY CONTROL.</li> </ul> <p>5. WHERE MATERIALS ARE NOT RETURNABLE, SUBMIT SAMPLES TO ARCHITECT BEFORE PLACING FULL ORDERS.</p> <p>6. SUBMIT SEAMING PLAN FOR CARPET TO ARCHITECT FOR APPROVAL PRIOR TO CARPET ORDER.</p> <p>7. NOTIFY ARCHITECT IMMEDIATELY OF ITEMS WITH LONG LEAD TIMES.</p> <p>8. ALL PAINT FINISH OF METAL PARTS OF DOORS, HANDRAILS, PERIMETER ENCLOSURES, ETC., SHALL BE SEMI-GLOSS, UNLESS OTHERWISE NOTED.</p> <p>9. WHERE PAINT COLORS CHANGE, CORNERS ARE TO BE CUT-IN FREE OF OVERLAPPING</p> <p>10. PRIOR TO THE INSTALLATION OF WALL COVERINGS, SURFACES SHALL BE PROPERLY PREPARED WITH SEALER PER MANUFACTURER'S RECOMMENDATIONS.</p> <p>11. CONTRACTOR TO VERIFY CONDITION AND LEVEL OF FLOOR SO AS TO RECEIVE NEW FINISHES WITHOUT BOWING AT FLOOR OR WALL BASE. CONTRACTOR IS RESPONSIBLE FOR ALL FLOOR PREPARATION.</p> <p>12. ALL CARPETING SHALL BE INSTALLED WITH GLUE DOWN METHOD, UNLESS NOTED OTHERWISE.</p> <p>13. WHERE FLOOR-MOUNTED OUTLETS ARE REQUIRED ON CARPETED AREA, CUT CARPET IN AN "X" OVER FLOOR HOLE AND INSTALL CARPET OVER TOP. DO NOT TRIM CARPET.</p> <p>14. ALL V.C.T. TO BE INSTALLED WITH FULL TILE FROM VINYL THRESHOLD STRIP AND FULL TILE FROM WALL ADJACENT TO DOOR SWING, U.N.O.</p> <p>15. PROVIDE AND INSTALL SPECIFIED BASE FOR ALL AREAS TO RECEIVE FLOORING.</p> <p>16. CONTRACTOR SHALL PROVIDE PRE-FORMED RUBBER BASE CORNERS. DO NOT CUT OR BEND STRAIGHT BASE TO MAKE CORNERS.</p> <p>17. MILLWORK LOWER CABINETS ARE NOT TO RECEIVE WALL BASE UNLESS INDICATED ON FINISH PLANS.</p> <p>18. FLOOR FINISHES TO CONTINUE UNDERNEATH "OPEN FLOOR" AREAS OF MILLWORK, INCLUDING SINK AREA AND AT ALL UNDER-COUNTER EQUIPMENT AREAS WHICH ARE OPEN TO THE FLOOR.</p> <p>FLOOR FINISHES TO CONTINUE UNDERNEATH "OPEN FLOOR" AREAS OF MILLWORK, INCLUDING SINK AREA AND AT ALL UNDER-COUNTER EQUIPMENT AREAS WHICH ARE OPEN TO THE FLOOR.</p>		<p>1. CONTRACTOR AND ARCHITECT TO REVIEW &amp; APPROVE CHALK LINES OF PARTITION LAYOUT PRIOR TO COMMENCEMENT OF PARTITION CONSTRUCTION.</p> <p>2. EXTEND ALL STUDS AND WALL MATERIALS TO CONSTRUCTION ABOVE, UNLESS OTHERWISE INDICATED.</p> <p>3. ALL CONDUIT PIPING IN ELECTRICAL ROOM TO BE CONCEALED WITHIN THE WALL CONSTRUCTION.</p> <p>4. DOOR OPENINGS IN PARTITIONS NOT DIMENSIONED ARE TO BE LOCATED WITHIN 4" OF ADJACENT PERPENDICULAR PARTITION.</p> <p>5. CONTRACTOR SHALL USE 3/8" / 9mm METAL STUDS MINIMUM AT ALL PLUMBING WALLS. DESIGN BUILDER TO VERIFY ACTUAL DEPTH REQUIRED, ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT.</p> <p>6. USE WATER RESISTANT GYPSUM BOARD AT ALL AREAS SUBJECT TO MOISTURE OR WHERE TILE IS USED.</p> <p>7. ALL PLUMBING WORK SHALL BE IN ACCORDANCE WITH PROVINCIAL AND MUNICIPAL CODES.</p> <p>8. ALL HOT WATER LINES SHALL BE PROPERLY INSULATED. SEE PLUMBING DRAWINGS.</p> <p>9. ALL PLUMBING CLEAN-OUTS SHALL BE INSTALLED WHERE READILY ACCESSIBLE. DESIGN BUILDER SHALL COORDINATE ALL CLEAN-OUT LOCATIONS WITH EQUIPMENT, AND CABINETS. SUBMIT A PLAN OF ALL PROPOSED LOCATIONS TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.</p> <p>11. ALL MILLWORK SHALL CONFORM TO AWMA/WOODWORKING STANDARDS.</p> <p>12. PROVIDE AND INSTALL ALL NECESSARY WALL BACKING, STIFFENERS, BRACING, BACK-UP PLATES AND/OR SUPPORTING BRACKETS AS REQUIRED FOR THE INSTALLATION OF WALL-MOUNTED OR SUSPENDED EQUIPMENT OR BUILT-IN ITEMS. VERIFY REQUIREMENTS WITH MANUFACTURERS PRIOR TO INSTALLATION. SUPPLY CATALOG CUT SHEETS FOR ARCHITECT'S APPROVAL.</p> <p>13. PROVIDE AND INSTALL ALL NECESSARY ELECTRICAL CONNECTIONS AND PLUMBING SUPPLY, FITTINGS AND CONNECTORS TO COMPLETE INSTALLATION OF APPLIANCES &amp; EQUIPMENT INDICATED ON PLAN. VERIFY REQUIREMENTS WITH MANUFACTURERS PRIOR TO INSTALLATION. SUPPLY CATALOG CUT SHEETS FOR ARCHITECT'S APPROVAL.</p> <p>14. EXACT LOCATION OF FIRE EXTINGUISHER CABINETS TO BE CONFIRMED WITH ARCHITECT BEFORE INSTALLATION.</p> <p>15. CONTRACTOR TO VERIFY LOCATION OF ALL THERMOSTATS WITH ARCHITECT AND OR MECHANICAL ENGINEER PRIOR TO INSTALLATION.</p> <p>16. ALL EXITS SHALL HAVE EXIT SIGNS AND ALL BLIND CORRIDOR TURNS SHALL HAVE DIRECTIONAL EXIT SIGNS.</p> <p>17. PREPARE ALL FLOOR SURFACES AS REQUIRED TO RECEIVE FINISHES AS NOTED ON FINISH PLAN, ENLARGED FINISH PLANS AND FINISH LEGEND.</p> <p>18. UNLESS OTHERWISE NOTED, ALL VISIBLE GYPSUM BOARD SURFACES, WALLS, AND CEILINGS SHALL BE TAPE, SANDED SMOOTH TO A 1/16" 4" FINISH, SO AS TO RECEIVE PAINT OR WALL COVERING MATERIAL TO MIN 10mm ABOVE FINISHED CEILING.</p> <p>19. PROVIDE SOUND INSULATION AT PERIMETER WALLS OF RESTROOMS, LOBBY, STAIRS, UNLESS NOTED OTHERWISE.</p> <p>20. REFER TO PLUMBING, CIVIL AND SITE PLANS FOR SIZE AND ROUTING OF ROOF DRAINAGE CONNECTION TO UNDERGROUND STORM DRAIN OR RUN TO DAYLIGHT AS SHOWN.</p> <p>21. FIELD MEASURE AS REQUIRED FOR ALL MILLWORK CONDITIONS PRIOR TO FABRICATION.</p>		<h3>GENERAL NOTES</h3> <ol style="list-style-type: none"> <li>1. THIS PROJECT AND ALL WORK ASSOCIATED WITH PROJECT SHALL CONFORM TO STATE AND LOCAL JURISDICTION CODE REQUIREMENTS.</li> <li>2. THE TERM "ARCHITECT" OR "DESIGNER" AS USED IN THESE DOCUMENTS REFERS TO WARE MALCOM.</li> <li>3. THE ARCHITECT SHALL NOT HAVE CONTROL, OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE OF PROCEDURE, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, ALL OF WHICH SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.</li> <li>4. THE DESIGN ADEQUACY AND SAFETY OF ERECTION BRACING, SHOPPING, TEMPORARY SUPPORTS, ETC. DURING DEMOLITION AND/OR CONSTRUCTION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR, AND HAS NOT BEEN CONSIDERED BY THE STRUCTURAL ENGINEER OR ARCHITECT.</li> <li>5. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS OF PLANS FOR BID PURPOSES PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT.</li> <li>6. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR EXAMINING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND CONFIRMING THAT WORK IS BUILDBLABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION ITEMS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH WORK IN QUESTION OR RELATED WORK.</li> <li>7. CONTRACTOR SHALL MAINTAIN RECORD DOCUMENTS OF CONSTRUCTION CHANGES ("AS-BUILT DRAWINGS") AND SHALL PROVIDE SAID DOCUMENTATION TO THE ARCHITECT UPON COMPLETION OF CONSTRUCTION - NO EXCEPTION ALLOWED.</li> <li>8. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE TO COORDINATE WITH ALL SUBCONTRACTORS PER REQUIREMENTS ESTABLISHED BY OWNER, TENANT OR BOTH, WHICH ARE UNDER SEPARATE CONTRACT WITH THE OWNER, OR TENANT, OR BOTH.</li> <li>9. THE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, OTHER DRAWINGS AND JOB SPECIFICATIONS ARE SUPPLEMENTARY TO ARCHITECTURAL CONSTRUCTION DRAWINGS. ANY DISCREPANCY BETWEEN THESE DOCUMENTS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.</li> <li>10. THE INTENT OF DRAWINGS AND SPECIFICATIONS IS TO INCLUDE ALL LABOR, MATERIALS AND SERVICES NECESSARY FOR THE COMPLETION OF ALL WORK SHOWN, DESCRIBED OR REASONABLY IMPLIED, BUT NOT LIMITED TO THAT EXPLICITLY INDICATED IN THE CONTRACT DOCUMENTS.</li> <li>11. INSTALL ALL MANUFACTURED ITEMS, MATERIALS AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS, UNLESS NOTED OTHERWISE.</li> <li>12. ANY WORK INSTALLED IN CONFLICT WITH THE CONSTRUCTION DRAWINGS, WITHOUT THE PRIOR APPROVAL OF THE OWNER AND THE ARCHITECT SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.</li> <li>13. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY SPECIFIED MATERIALS OR EQUIPMENT WHICH ARE EITHER UNAVAILABLE OR THAT WILL CAUSE A DELAY IN THE CONSTRUCTION COMPLETION SCHEDULE. THE CONTRACTOR SHALL SUBMIT CONFIRMATIONS OF DELIVERY DATES FOR ORDERS OF MATERIALS AND EQUIPMENT HAVING LONG LEAD TIMES.</li> <li>14. ALL REQUESTS FOR SUBSTITUTIONS OF ITEMS SPECIFIED SHALL BE SUBMITTED IN WRITING AND WILL BE CONSIDERED ONLY IF BETTER SERVICE FACILITIES, A MORE ADVANTAGEOUS DELIVERY DATE, OR A LOWER PRICE WITH CREDIT TO THE OWNER / TENANT WILL BE PROVIDED WITHOUT SACRIFICING QUALITY, APPEARANCE AND FUNCTION. UNDER NO CIRCUMSTANCES WILL THE ARCHITECT BE REQUIRED TO PROVE THAT A PRODUCT PROPOSED FOR SUBSTITUTION IS OR IS NOT OF EQUAL QUALITY TO THE PRODUCT SPECIFIED.</li> <li>15. PROJECT SPECIFICATIONS ARE AN INTEGRAL PART OF THESE PLANS - SUBSTITUTIONS FOR SPECIFIED MATERIALS REQUIRE THE WRITTEN APPROVAL FROM THE ARCHITECT.</li> <li>16. UNLESS OTHERWISE NOTED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL SUBMIT ONE (1) SET OF SHOP DRAWINGS. SHOP DRAWINGS SHOULD INCLUDE DETAILED, FABRICATION AND ERECTION DRAWINGS, SETTING DRAWINGS, DIAGRAMMATIC DRAWINGS, AND MATERIAL SCHEDULES. LOCATION AND ORIENTATION OF ALL ITEMS SHOULD BE CLEARLY INDICATED. BEGIN FABRICATION OF SHOP ITEMS AFTER RECEIVING ARCHITECT'S OR DESIGNER'S APPROVAL OF SHOP DRAWINGS.</li> <li>17. THE ARCHITECT'S REVIEW OF SHOP DRAWINGS SHALL NOT RELIEVE THE GENERAL CONTRACTOR OR SUBCONTRACTOR FROM RESPONSIBILITY FOR DEVIATIONS FROM THE DRAWINGS OR SPECIFICATIONS UNLESS HE HAS, IN WRITING, AND BROUGHT TO THE ATTENTION OF THE ARCHITECT SUCH DEVIATIONS AT THE TIME OF THE SUBMISSION, NOR SHALL IT RELIEVE HIM (GENERAL CONTRACTOR) FROM RESPONSIBILITY FOR ERRORS OF ANY SORT IN THE SHOP DRAWINGS.</li> <li>18. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING PERMITS PRIOR TO STARTING CONSTRUCTION.</li> <li>19. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE APPLICANT SHALL HAVE EVIDENCE OF CURRENT WORKMAN'S COMPENSATION INSURANCE COVERAGE ON FILE WITH THE STATE LABOR DEPARTMENT IN COMPLIANCE WITH CURRENT LABOR CODES.</li> <li>20. PROVIDE CONTINUOUS INSPECTIONS AS SET FORTH IN STATE AND LOCAL CODES AND PER CONTRACT DOCUMENTS AS REQUIRED.</li> <li>21. PRIOR TO THE ISSUANCE OF A FINAL CERTIFICATE OF OCCUPANCY FOR THIS PROJECT, THE GENERAL CONTRACTOR SHALL SUBMIT A SIGNED CERTIFICATE TO THE DEPARTMENT OF BUILDING AND SAFETY STATING THAT ALL WORK HAS BEEN PERFORMED AND MATERIALS INSTALLED ACCORDING TO THE PLANS AND SPECIFICATIONS AFFECTING NON RESIDENTIAL ENERGY.</li> <li>22. ALL WORK NOTED "N.I.C." OR "NOT IN CONTRACT" IS TO BE ACCOMPLISHED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR AND IS NOT TO BE PART OF THE CONSTRUCTION AGREEMENT. THE GENERAL CONTRACTOR SHALL COORDINATE WITH "OTHER" CONTRACTORS PER REQUIREMENTS ESTABLISHED BY OWNER AND TENANT.</li> </ol>							
		<h3>FIRE AUTHORITY NOTES</h3> <ol style="list-style-type: none"> <li>1. FINAL INSPECTION BY FIRE DEPARTMENT IS REQUIRE - SCHEDULE 72 HOURS IN ADVANCE.</li> <li>2. THE PROJECT ADDRESS SHALL BE PROVIDED FOR ALL NEW AND EXISTING BUILDINGS IN A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY PER LOCAL FIRE DEPARTMENT STANDARDS.</li> <li>3. AN UNOBSTRUCTED ALL-WEATHER FIRE APPARATUS ACCESS ROAD SHALL BE IN PLACE PRIOR TO DELIVERY OF COMBUSTIBLE BUILDING MATERIALS TO THE SITE.</li> <li>4. FIRE PREVENTION WATER SERVICE SHALL BE IN SERVICE PRIOR TO THE DELIVERY OF COMBUSTIBLE BUILDING MATERIALS TO THE SITE.</li> <li>5. ACCESS GATES SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE IN COMPLIANCE WITH LOCAL FIRE AUTHORITY.</li> <li>6. FIRE SPRINKLER SYSTEM(S) SHALL MEET OBC &amp; LOCAL FIRE CODES AND BE PROVIDED TO PROTECT ENTIRE BUILDING.</li> <li>7. FIRE SPRINKLER SYSTEM(S) AND ALL CONTROL VALVES, INCLUDING EXTERIOR SHALL BE SUPERVISED BY A ULC LISTED CENTRAL ALARM STATION OR PER OBC &amp; LOCAL FIRE CODES.</li> <li>8. ALL VALVES CONTROLLING THE WATER SUPPLY FOR AUTOMATIC SPRINKLER SYSTEMS AND WATER-FLOW SWITCHES ON ALL SPRINKLER SYSTEMS SHALL BE ELECTRICALLY MONITORED WHERE THE NUMBER OF SPRINKLERS IS 100 OR MORE.</li> <li>9. ELECTRICAL SUBCONTRACTORS TO INSTALL WIRING FOR FIRE SPRINKLER, ALARM BELL AND TELEPHONE WARNING AS REQUIRED BY FIRE DEPARTMENT.</li> <li>10. INSTALLATION OF FIRE ALARM SYSTEMS SHALL BE IN ACCORDANCE WITH OBC &amp; LOCAL FIRE CODES.</li> <li>11. COMPLETE PLANS AND SPECIFICATIONS FOR ALL FIXED FIRE PROTECTION EQUIPMENT INCLUDING AUTOMATIC SPRINKLERS AND OTHER FIRE-PROTECTION SYSTEMS, SHALL BE SUBMITTED BY INSTALLING CONTRACTOR. SUCH PLANS SHALL BE APPROVED BY LOCAL FIRE AUTHORITY PRIOR TO INSTALLATION.</li> <li>12. LOCATIONS AND CLASSIFICATIONS OF FIRE EXTINGUISHERS SHALL BE IN ACCORDANCE WITH OBC &amp; LOCAL FIRE CODES AND PLACEMENT IS SUBJECT TO THE APPROVAL OF THE FIRE INSPECTOR. VERIFY QUANTITY &amp; EXACT LOCATION FROM FIRE DEPARTMENT PRIOR TO ORDERING.</li> <li>13. AT LEAST ONE (1) FIRE EXTINGUISHER WITH A MINIMUM RATING OF 2A-10B:C SHALL BE PROVIDED WITHIN 75 FEET MAXIMUM TRAVEL DISTANCE FOR EACH 3,000 SQUARE FEET OR PORTION THEREOF ON EACH FLOOR.</li> <li>14. STORAGE, DISPENSING OR USE OF ANY FLAMMABLE AND COMBUSTIBLE LIQUIDS, FLAMMABLE AND COMBUSTIBLE GASES, AND OTHER HAZARDOUS MATERIALS SHALL COMPLY WITH STATE &amp; LOCAL FIRE CODES. THE STORAGE AND USE OF HAZARDOUS MATERIALS SHALL BE APPROVED BY THE FIRE AUTHORITY PRIOR TO ANY MATERIALS BEING STORED OR USED ON SITE. A SEPARATE PLAN SUBMITTAL IS REQUIRED PRIOR TO THE STORAGE AND USE OF HAZARDOUS MATERIALS.</li> <li>15. BUILDING(S) NOT APPROVED FOR HIGH-PILE STOCK (MATERIALS IN CLOSELY PACKED PILES OR ON PALLETS, OR IN RACKS WHERE THE TOP OF STORAGE EXCEEDS 12 FEET IN HEIGHT, AND 6 FEET FOR GROUP "A" PLASTICS AND CERTAIN OTHER HIGH-HAZARD COMMODITIES). HIGH-PILE STOCK SHALL BE APPROVED BY THE FIRE AUTHORITY PRIOR TO MATERIALS BEING STORED ON SITE. A SEPARATE PLAN SUBMITTAL IS REQUIRED FOR HIGH-PILE STORAGE IN ACCORDANCE WITH STATE &amp; LOCAL FIRE CODES.</li> <li>16. A LETTER OF INTENDED USE MAY BE REQUIRED BY THE FIRE INSPECTOR.</li> </ol>		<h3>GENERAL NOTES</h3> <ol style="list-style-type: none"> <li>1. UNLESS OTHERWISE NOTED OR INDICATED, ALL DIMENSIONS ON THESE DOCUMENTS SHALL BE FACE OF CURB, FACE OF CONCRETE OR MASONRY, FACE OF FINISH OR CENTERLINE OF GRIDS.</li> <li>2. ALL VERTICAL DIMENSIONS SHOWN ARE FROM FLOOR SLAB, UNLESS OTHERWISE NOTED.</li> <li>3. DIMENSIONS SHOWN IN FIGURES TAKE PREDENCE OVER DIMENSIONS SCALLED FROM DRAWINGS. LARGE SCALE DRAWINGS AND DETAILS TAKE PREDENCE OVER SMALLER SCALE DRAWINGS.</li> <li>4. THE TERM "ALIGN", AS USED IN THESE DOCUMENTS, SHALL MEAN TO ACCURATELY LOCATE FINISHES IN THE SAME PLANE.</li> <li>5. "TYPICAL" AS USED IN THESE DOCUMENTS SHALL MEAN THAT THE CONDITION IS THE SAME OR REPRESENTATIVE FOR ALL SIMILAR CONDITIONS THROUGHOUT, UNLESS NOTED OTHERWISE.</li> <li>6. DETAILS ARE USUALLY KEYED AND NOTED "TYPICAL" ONLY ONCE, WHEN THEY FIRST OCCUR AND ARE REPRESENTATIVE OF ALL SIMILAR CONDITIONS THROUGHOUT, UNLESS NOTED OTHERWISE.</li> <li>7. COLUMN CENTERLINES (GRID LINES) ARE SHOWN FOR DIMENSIONING PURPOSES.</li> </ol>							
		<h3>INTERIOR/EXTERIOR NOTES</h3> <ol style="list-style-type: none"> <li>1. WHERE ELECTRICAL, MECHANICAL AND/OR PLUMBING ITEMS SUCH AS LIGHTS, DUCTS, PIPING, DOWNSPOUTS, ETC. ARE TO PENETRATE ANY BUILDING FOOTINGS, SLABS, FLOORS, STRUCTURAL FRAMING, WALL PARTITIONS, CEILINGS, ETC. IT IS REQUIRED THAT AN APPROPRIATELY SIZED OPENING OR CLEARANCE BE FURNISHED. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL ITEMS WITH THE CONSTRUCTION DOCUMENTS PRIOR TO INSTALLATION OF THE STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL WORK. ANY CONFLICT OR DISCREPANCY WITHIN CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR CLARIFICATION.</li> <li>2. CONTRACTOR, ALONG WITH MECHANICAL CONTRACTOR, SHALL PROVIDE AND LOCATE ACCESS DOOR/PANELS IN WALL AND CEILING CONSTRUCTION AS REQUIRED TO PROVIDE ACCESS TO MECHANICAL, FIRE SPRINKLER, PLUMBING AND ELECTRICAL WORK. CONTRACTOR SHALL SUBMIT A PLAN OF ALL PROPOSED ACCESS PANEL LOCATIONS TO ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION.</li> <li>3. ALL PENETRATIONS AT RATED CONSTRUCTION SHALL BE PROTECTED TO MAINTAIN RATING.</li> <li>4. WHERE OCCURS, CONTRACTOR SHALL PATCH ANY EXISTING WALLS AND/OR CEILINGS AS NEEDED TO REFURBISH THE SPACE AND REPAIR ALL DAMAGES CAUSED BY CONTRACTOR.</li> <li>5. INTERIOR WALLS AND CEILINGS SHALL BE INSTALLED IN ACCORDANCE TO STATE &amp; LOCAL CODES, INCLUDING REQUIREMENTS FOR FLAME SPREAD AND SMOKE DENSITY RATINGS FOR FINISH MATERIALS.</li> <li>6. WHEN USED, ALL NOISE BARRIER BATT(S) (SOUND INSULATION) AND INSULATION BATT(S) SHALL BE NON-COMBUSTIBLE AND SHALL NOT CONTAIN OR UTILIZE OZONE DEPLETING COMPOUNDS.</li> <li>7. ALL NEW CONSTRUCTION MATERIALS SHALL BE 100% ASBESTOS FREE.</li> </ol>									
		<h3>CONSTRUCTION ASSEMBLIES</h3>									
		<h4>WALLS</h4> <table border="0"> <tr> <td style="text-align: center;">W1</td> <td>INSULATED ARCHITECTURAL PRECAST PANELS, FLEXWALL (R-VALUE = R15.2 MIN)</td> </tr> <tr> <td style="text-align: center;">W2</td> <td>4" THICK INSULATED METAL PANELS, 26 GAUGE, ON STRUCTURAL GIRDERS ON STRUCTURAL COLUMNS SEE STRUCTURAL DRAWINGS (R-VALUE = R26 MIN)</td> </tr> <tr> <td style="text-align: center;">P1</td> <td>MIN. 190mm CMU WALL TO 400mm A.F.F. 2HR FIRE RATED SEPARATION AS PER OBC SB.2 TABLE 2.1.1.</td> </tr> <tr> <td style="text-align: center;">P2</td> <td>2HR FIRE RATED SEPARATION AS PER ULC DESIGN W414</td> </tr> </table>		W1	INSULATED ARCHITECTURAL PRECAST PANELS, FLEXWALL (R-VALUE = R15.2 MIN)	W2	4" THICK INSULATED METAL PANELS, 26 GAUGE, ON STRUCTURAL GIRDERS ON STRUCTURAL COLUMNS SEE STRUCTURAL DRAWINGS (R-VALUE = R26 MIN)	P1	MIN. 190mm CMU WALL TO 400mm A.F.F. 2HR FIRE RATED SEPARATION AS PER OBC SB.2 TABLE 2.1.1.	P2	2HR FIRE RATED SEPARATION AS PER ULC DESIGN W414
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		<h4>SITE NOTES</h4> <ol style="list-style-type: none"> <li>1. REFER TO LANDSCAPE DRAWINGS FOR CONCRETE WALKS, PAVING, BERMS, LANDSCAPING AND IRRIGATION.</li> <li>2. REFER TO CIVIL DRAWINGS FOR SITE GRADING, DRAINAGE, CATCH BASINS, PAVING DETAILS, SITE UTILITIES, CURB AND GUTTER SWALES, FIRE HYDRANT LOCATIONS AND HORIZONTAL CONTROL DIMENSIONS.</li> <li>3. REFER TO CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.</li> <li>4. ALL DIMENSION ON SITE PLAN ARE TO BE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB, PROPERTY LINE OR CENTERLINE OF PARKING STALL, UNLESS OTHERWISE NOTED.</li> <li>5. FIRE HYDRANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL FIRE DEPARTMENT STANDARDS.</li> <li>6. ALL PARKING STALL STRIPING SHALL BE PER LOCAL JURISDICTION STANDARDS.</li> <li>7. CONCRETE WALK SHALL RECEIVE EXPANSION JOINTS AT 6.0 M (20' 0") O.C. MAX AND CONTROL JOINTS AT 2.0 M (6' 6") O.C. MAX, BETWEEN EXPANSION JOINTS, UNLESS NOTED OTHERWISE.</li> </ol>									
		<h4>DOOR NOTES</h4> <ol style="list-style-type: none"> <li>1. VERIFY THAT ALL DOORS AND DOOR HARDWARE MEET THE REQUIREMENTS OF ALL GOVERNING CODES &amp; STANDARDS. NOTIFY THE ARCHITECT IMMEDIATELY IN CASE OF DISCREPANCY.</li> <li>2. FIELD MEASURE, AS REQUIRED, ALL DOORS PRIOR TO FABRICATION.</li> <li>3. PROVIDE A SIGN ON OR NEAR THE MAIN EXIT DOOR READING, "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS".</li> <li>4. LATCHING AND LOCKING DOORS THAT ARE HAND OPERATED SHALL BE OPERABLE WITH A SINGLE EFFORT WITHOUT REQUIRING THE ABILITY TO GRASP THE HARDWARE (LEVER OR PUSH TYPE). VERIFY CONDITION AT EXISTING DOORS.</li> <li>5. ALL HARDWARE TO BE LEVER-TYPE GOVERNING CODES &amp; ACCESSIBILITY STANDARDS.</li> <li>6. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED THE FOLLOWING PER THE REQUIREMENTS OF THE ONTARIO BUILDING CODE.</li> <li>7. SPECIAL LOCKING DEVICES SHALL BE OF AN APPROVED TYPE.</li> <li>8. PROVIDE WEATHER SEALS ON ALL EXTERIOR DOORS PER ANSI STANDARDS.</li> <li>9. CONTRACTOR IS RESPONSIBLE TO COORDINATE &amp; VERIFY ALL DOOR FRAME THROUGH THICKNESS' FOR EACH LOCATION.</li> <li>10. ALL DOOR FRAMES TO BE FACTORY FINISHED.</li> <li>11. ALL DOOR STOPS TO HAVE 2x6 BACKING IN THE WALL BEHIND.</li> <li>12. MAXIMUM UNDERCUT OF ALL DOORS NOT IN A RATED CORRIDOR SHALL NOT EXCEED 1/2" ABOVE FINISH FLOOR SURFACE.</li> <li>13. CONTRACTOR SHALL REFINISH ANY BLEMISHED DOOR OR REPLACE SAID DOOR IF NOT ABLE TO REFINISH TO "AS NEW" CONDITION.</li> <li>14. RATED DOORS SHALL COMPLY WITH THE REQUIREMENTS OF ALL GOVERNING CODES &amp; STANDARDS.</li> <li>15. OPENING HARDWARE IS TO BE CENTERED BETWEEN 30" AND 44" ABOVE FINISH FLOOR UNLESS OTHERWISE SPECIFIED IN THE ONTARIO BUILDING CODE.</li> </ol>									
		<h4>ROOFS</h4> <table border="0"> <tr> <td style="text-align: center;">R1</td> <td>4 PLY BUILT UP ROOFING ON R30 RIGID INSULATION OVER VAPOUR RETARDER ON METAL DECK SEE STRUCTURAL DRAWINGS</td> </tr> <tr> <td style="text-align: center;">R2</td> <td>SINGLE PLY MEMBRANE FLASHING ON STEEL METAL DECK AT CANOPY ROOF SEE STRUCTURAL DRAWINGS</td> </tr> </table>		R1	4 PLY BUILT UP ROOFING ON R30 RIGID INSULATION OVER VAPOUR RETARDER ON METAL DECK SEE STRUCTURAL DRAWINGS	R2	SINGLE PLY MEMBRANE FLASHING ON STEEL METAL DECK AT CANOPY ROOF SEE STRUCTURAL DRAWINGS				
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		<h4>GLAZING NOTES</h4> <ol style="list-style-type: none"> <li>1. EACH LIGHT SHALL BEAR THE MANUFACTURER'S LABEL DESIGNATING THE TYPE AND THICKNESS OF THE GLASS.</li> <li>2. GLASS SHALL BE FIRMLY SUPPORTED ON ALL FOUR EDGES.</li> <li>3. FIELD MEASURE ALL OPENINGS PRIOR TO FABRICATION.</li> <li>4. ALL GLAZING WITHIN A 24" ARC OF EITHER EDGE OF A DOOR AND WITHIN 60" OF THE FLOOR SHALL BE TEMPERED.</li> <li>5. ALL GLASS SHALL COMPLY WITH THE REQUIREMENTS OF THE O.B.C. AND LOCAL CODES.</li> </ol>									
		<p style="text-align: right;">A0.2</p>									
		<p style="text-align: right;">GENERAL NOTES</p> <table border="1"> <tr> <td>P/A/P/M:</td> <td>R.C.B.</td> </tr> <tr> <td>DRAWN BY:</td> <td>J.R.</td> </tr> <tr> <td>JOB NO.:</td> <td>TOR15-0051-01</td> </tr> </table>		P/A/P/M:	R.C.B.	DRAWN BY:	J.R.	JOB NO.:	TOR15-0051-01		
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		<p style="text-align: right;">WARE MALCOLM Leading design for Commercial Real Estate</p>									
		<p style="text-align: right;">BROCCOLINI</p>									
		<p style="text-align: right;">8300 &amp; 8400 PARKHILL DRIVE MILTON, ONTARIO SITE PLAN FILE # SP-12/16</p>									
		<p style="text-align: right;">GENERAL</p>									



TOR15-0051-01 Parkhill Development - BUILDING 2			TOR15-0051-01 Parkhill Development -Building 2 - Parking Requirements		
Site Statistics	Building 2		Building 2- PARKING REQUIREMENTS FOR ZONING BY-LAW OFFICE GFA (1.0 parking space/30 sm) INDUSTRIAL GFA 0 TO 5000 sm (1.0 space/100 sm) INDUSTRIAL GFA IN EXCESS OF 5000 sm (1.0 space/200 sm) Note: GFA for parking calculation is calculated at 90 % of total GFA		
Item	Proposed	Required			
Zoning Category	EMP-2 Employment		Future Industrial Unit	Proposed Area (GFA)	Required No. of Parking Spaces
Lot Area (hectares)	2.182	N/A			
Total number of Units (breakdown by type requested)	3	N/A	UNIT E		
Ground Floor Area (GFA)	7,969.32m <sup>2</sup>	N/A	OFFICE	204.39m <sup>2</sup>	
Total Gross Floor Area - OFFICE	613.16m <sup>2</sup>	N/A	INDUSTRIAL	2,577.54m <sup>2</sup>	2
Total Gross Floor Area - WAREHOUSE	7,356.16m <sup>2</sup>	N/A	TOTAL	2,781.93m <sup>2</sup>	3
Lot Coverge	44.740%	N/A	UNIT F		
Number of Standard Parking Spaces Note: GFA for parking calculations is calculate at 90% of total GFA	108	89	OFFICE	204.39m <sup>2</sup>	
Number of Standard Parking Spaces Note: GFA for parking calculations is calculate at 90% of total GFA	4	4	INDUSTRIAL	1,933.83m <sup>2</sup>	1
Number of Loading Spaces	4	4	TOTAL	2,138.22m <sup>2</sup>	2
Number of Loading Spaces	3	3	UNIT G		
Parking Stall Dimensions	STANDARD 2.75m X 5.8m TYPE A 5.8m L x 3.4m W TYPE 5.8 L x 2.75m W ACCESSIBLE AISLE 1.5m L x 0.6m W		OFFICE	204.39m <sup>2</sup>	
Loading Space Dimensions	12.0m X 3.5m	N/A	INDUSTRIAL	2,844.78m <sup>2</sup>	2
Percentage of Landscaped Areas	20%	5% OF LOT	TOTAL	3,049.17m <sup>2</sup>	3
Percentage of Lot in: Work Yard, Open Air Operations, Oustside loading Area or Display Area	N/A	N/A	TOTAL	7,969.32m <sup>2</sup>	8
Maximum Building Height: Principal Buildings	12.497m	15.0m			

## NOTES

SEE SHEET A7.1 FOR DOOR SCHEDULE

SEE SHEET A0.2 FOR WALL TYPES

- |     |  |     |   |
|-----|--|-----|---|
| 101 | PROPERTY LINE.   | 130 | 1500mm X 1500mm CONCRETE PAD 125mm BELOW FINISHED FLOOR LEVEL.  |
| 102 | 2750x5800 PARKING STALL, PAINTED PARKING STRIPING PER TOWN STANDARDS.  | 131 | ACCESSIBLE PARKING SIGN.SEE CIVIL DWG CV-3 FOR DETAIL.  |
| 103 | PRINCIPLE ENTRY - TENANT FIT-UP SUBJECT TO INTERIOR ALTERATION PERMIT - POWER OPERATED AUTOMATIC DOOR OPENER WILL BE SUBJECT TO INTERIOR ALTERATION PERMIT.  | 132 | LIGHT DUTY ASPHALT SEE CIVIL DWGS.  |
| 104 | TYPICAL SHARED ACCESIBLE PARKING STALLS, PAINTED STRIPING PER TOWN STANDARDS. EACH PAIR OF SHARED STALLS TO HAVE (1) TYPE A (3400x5800) AND (1) TYPE B (2750x 5800) STALL C/W A 1.5M WIDE PAINTED ACCESSIBLE AISLE - REFER TO TOWN OF MILTON ACCESSIBLE PARKING STANDARDS. | 133 | DEPRESSED CURB AT ACCESSIBLE CURB RAMP.   |
| 105 |  | 136 | LOADING SPACE - L.S. 12000x3500.  |
| 106 | 150mm HIGH CURB TYPICAL. SEE CIVIL DRAWINGS.   | 137 | BICYCLE PARKING (3) SPACES AT 1.8m X 0.6m.  |
| 107 | CONCRETE SIDEWALK - 2200mm WIDE TYPICAL U.N.O.   | 138 | SNOW STORAGE AREA.  |
| 108 | DRIVE-IN RAMP.   | 139 | 1.8m HIGH CHAIN LINK FENCE AS PER TOWN OF MILTON STANDARDS. SEE DETAIL 4-A1.2                           |
| 112 | CONCRETE APRON SEE CIVIL DRAWINGS.   | 140 | STOP SIGN AND STOP BAR AS PER ONTARIO TRAFFIC MANUAL, LATEST EDITION.REFER TO TRAFFIC ENGINEERING DWGS. |
| 113 | LANDSCAPE STRIP ADJACENT TO MAIN BUILDING FAÇADE - SEE LANDSCAPE DWGS.   | 142 | DRIVEWAY VISIBILITY TRIANGLE 5 m.   |
| 114 | LANDSCAPE AREA - SEE LANDSCAPE DWGS.   | 144 | ACCESS GATE   |
| 115 | EXTERIOR STEEL STAIRS W/ TUBE STEEL GUARDRAIL, TYP.  | 145 | PROPOSED TRANSFORMER PAD.   |
| 116 | TRUCK LOADING DOCK (TYPICAL).  | 146 | LOADING SIGNAGE AS PER ONTARIO TRAFFIC MANUAL, LATEST EDITION. REFER TO TRAFFIC ENGINEERING DWGS.       |
| 126 | HATCHED AREA DENOTES HEAVY DUTY ASPHALT. TYPICAL FOR ALL AREAS REQUIRING TRACTOR TRUCK ACCESS. REFER TO CIVIL DRAWINGS CV-1 FOR PAVEMENT STRUCTURE.  | 201 | STRUCTURAL COLUMN.SEE STRUCTURAL DWGS.  |
|     |  | 202 | CONCRETE SLAB, PROVIDE SEALER FOR CONCRETE FLOOR AREA.  |
|     |  | 305 | ROOF TOP UNITS REFER TO MECHANICAL DWGS.  |
|     |  | 406 | GRADE LEVEL DOOR 12'w X 14'h.   |
|     |  | 407 | DOCK DOOR 9'w X 10'h.   |

# LEGEND

- NEW HEAVY DUTY PAVEMENT (HATCHED)  
REFER TO CIVIL DWG CV-1 FOR PAVEMENT STRUCTURE

NEW LANDSCAPED AREA (HATCHED) SEE LANDSCAPE DRAWINGS.

FIRE ACCESS ROUTE MIN. 12.0M TURNING RADIUS

TRUCK LOADING DOCK DOOR

MAN DOOR ENTRY

FIRE DEPT CONNECTION (VERIFY LOCATION WITH CIVIL DWGS)

PROPOSED FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DWGS)

EXISTING FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DWGS)

1500mm WIDE DEPRESSED CURB FOR ACCESSIBLE PARKING AND PEDESTRIAN ACCESS. SEE DETAIL ON DWG A1.0

PROPOSED CATCHBASIN MANHOLE SEE CIVIL DRAWINGS

PROPOSED CATCHBASIN SEE CIVIL DRAWINGS

PROPOSED MANHOLE SEE CIVIL DRAWINGS

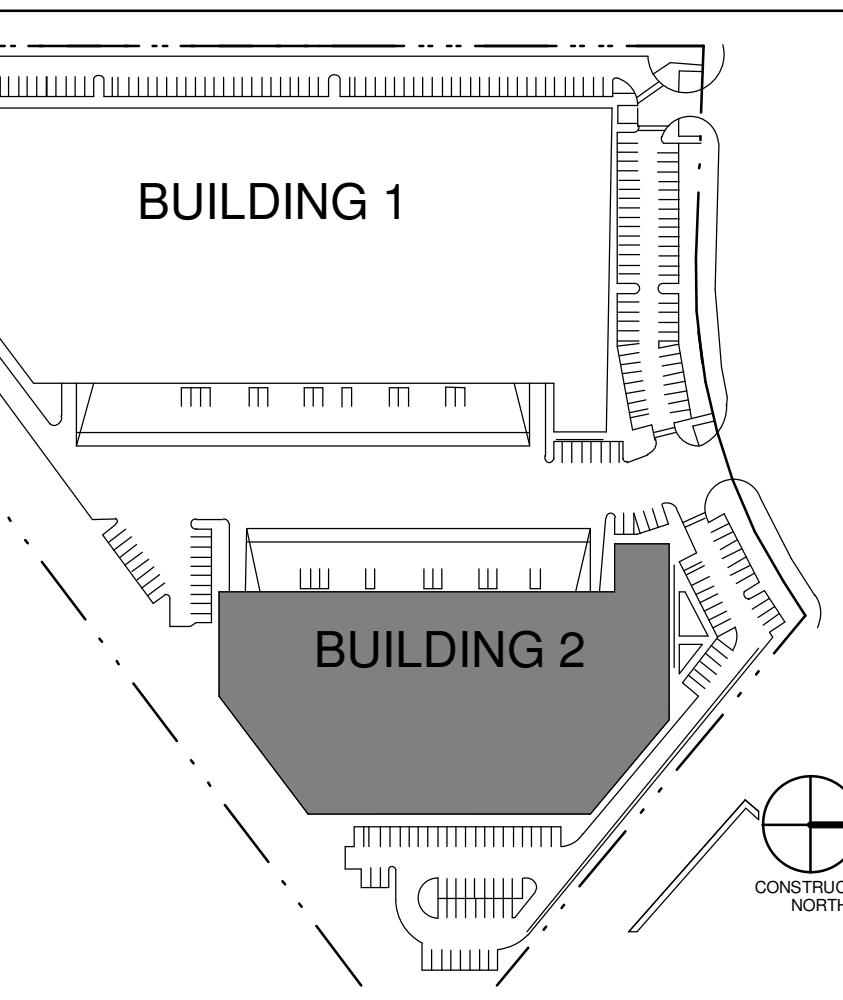
LIGHT STANDARD (VERIFY LOCATION WITH CIVIL DWGS).

PARKING STALL COUNT TOTAL.

DRIVE IN DOOR.

FIRE ROUTE SIGNAGE. AS PER ONTARIO TRAFFIC MANUAL, LATEST EDITION. REFER TO TRAFFIC ENGINEERING DWGS.

# PLAN



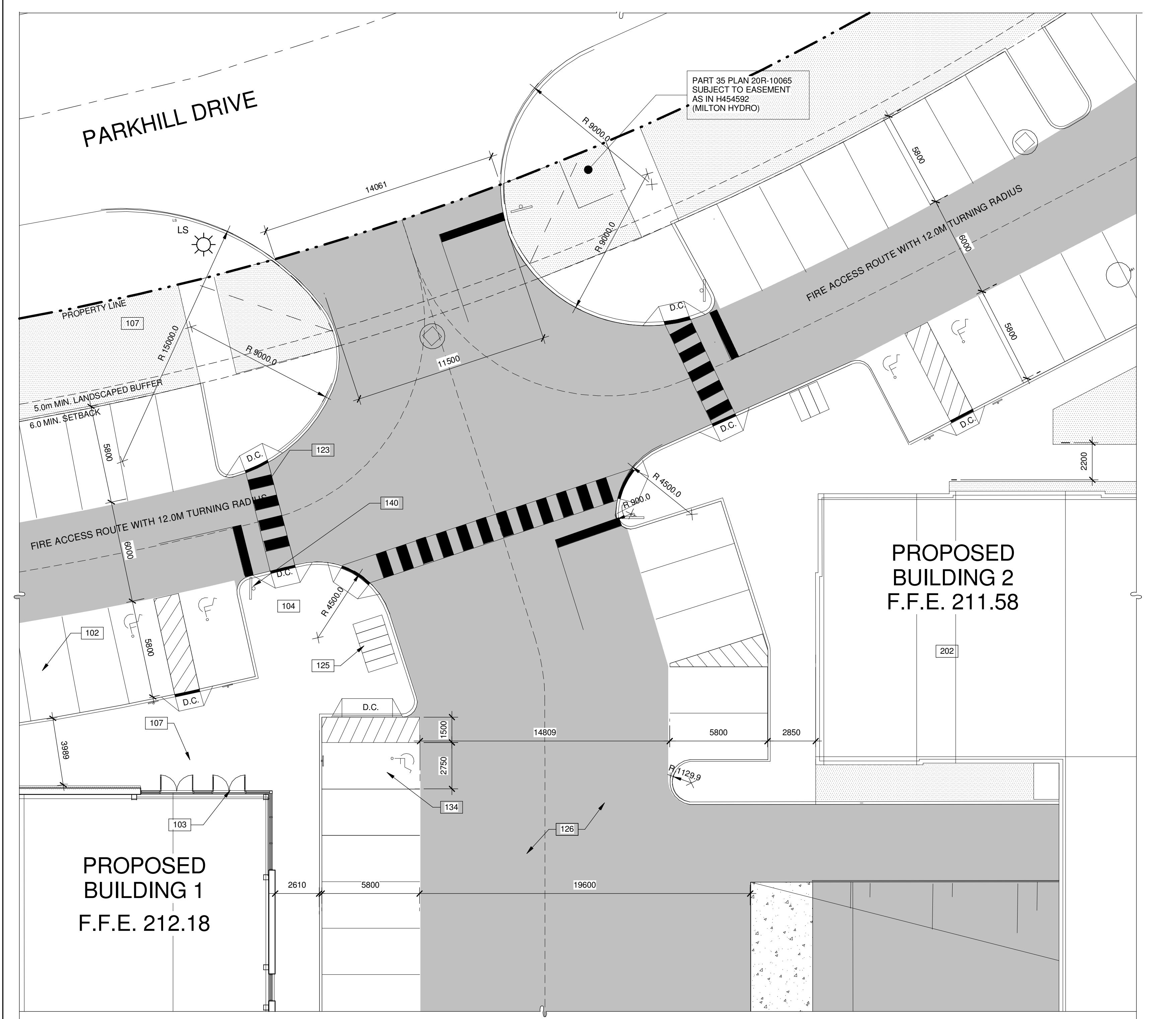
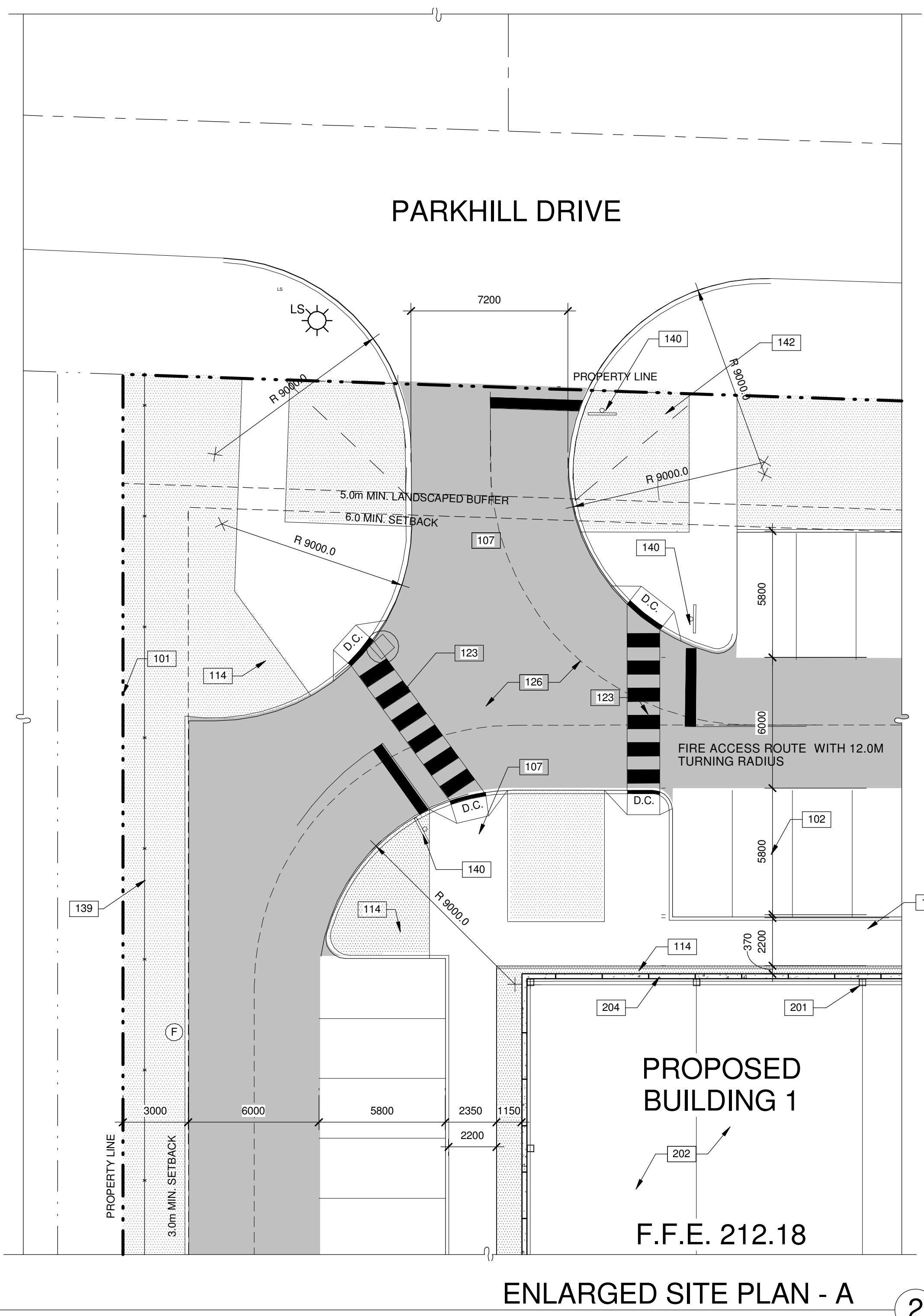
BUILDING 2 - SITE PLAN		
	DATE	REMARKS
1	2017-03-28	ISSUED FOR CLIENT REVIEW
2	2017-04-03	ISSUED FOR PERMIT
3	2017-09-14	ISSUED FOR SI # 3
4	2017-11-01	ISSUED FOR SI # 3 REV 2
5	2017-11-07	ISSUED FOR CONSTRUCTION

PA/PM:	R.C.B.
DRAWN BY.:	J.R.
JOB NO.:	TOR15-0051-01

SHEET <b>A1.0b</b>	
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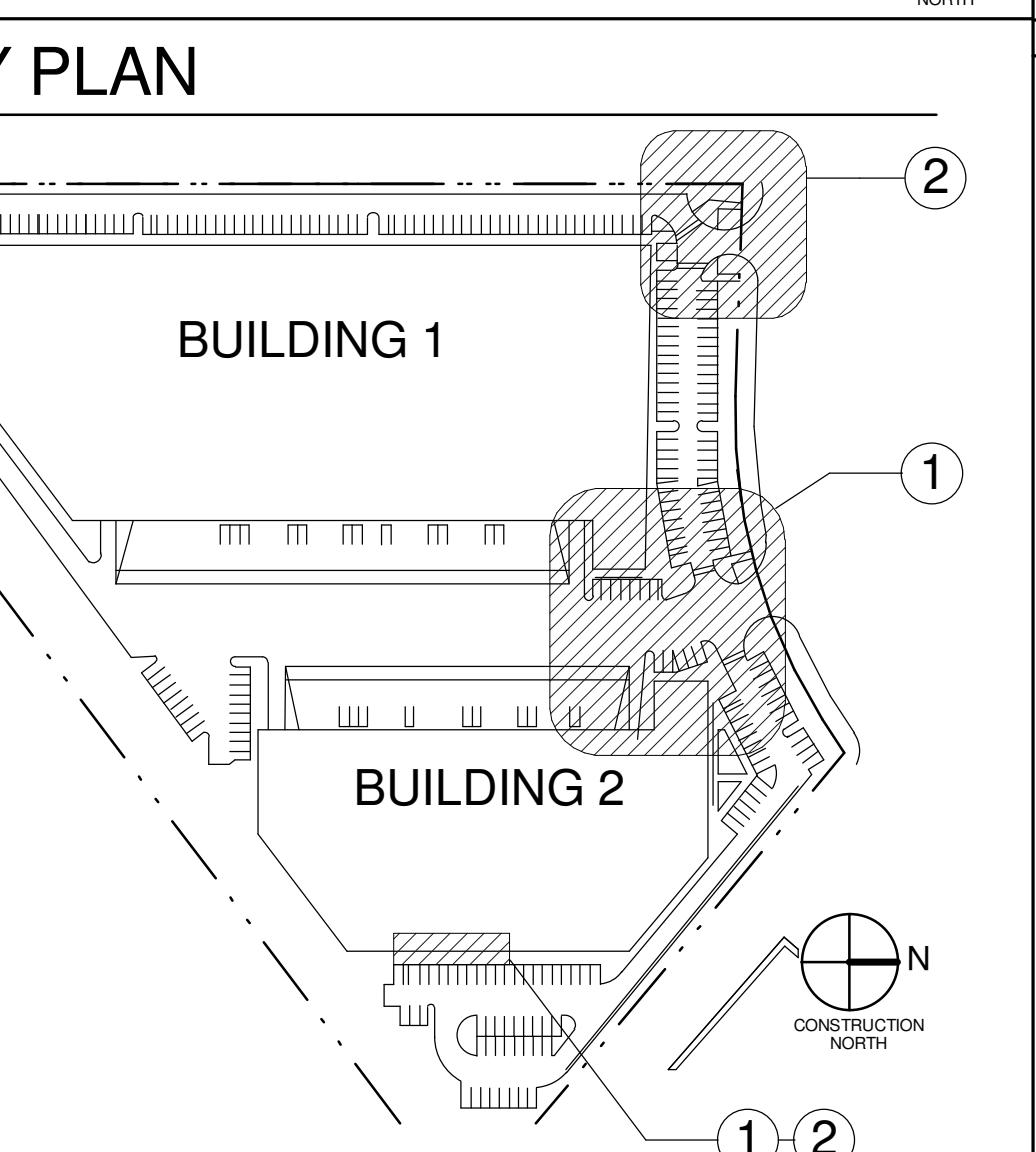
**NOTES**

SEE SHEET A7.1 FOR DOOR SCHEDULE  
SEE SHEET A0.2 FOR WALL TYPES

101 PROPERTY LINE.  
102 2750x5800 PARKING STALL, PAINTED PARKING STRIPING PER TOWN STANDARDS.  
103 PRINCIPLE ENTRY - TENANT FIT-UP SUBJECT TO INTERIOR ALTERATION PERMIT - POWER OPERATED AUTOMATIC DOOR OPENER WILL BE SUBJECT TO INTERIOR ALTERATION PERMIT.  
104 TYPICAL SHARED ACCESSIBLE PARKING STALLS. PAINTED STRIPING PER TOWN STANDARDS. PAIR OF SHARED STALLS TO HAVE (1) TYPE A (3400x5800) AND (1) TYPE B (2750x5800) STALL C/W A 1.5M WIDE PAINTED ACCESSIBLE AISLE - REFER TO TOWN OF MILTON ACCESSIBLE PARKING STANDARDS.  
107 CONCRETE SIDEWALK - 2200mm WIDE TYPICAL U.N.O.  
108 DRIVE-IN RAMP.  
114 LANDSCAPE AREA - SEE LANDSCAPE DWGS.  
123 1.5 M WIDE PAINTED PEDESTRIAN PATH.  
125 BICYCLE PARKING (5) SPACES AT 1.8m x 0.6m.  
126 HATCHED AREA DENOTES HEAVY DUTY ASPHALT. TYPICAL FOR ALL AREAS REQUIRING TRACTOR TRUCK ACCESS. REFER TO CIVIL DRAWINGS CV-1 FOR PAVEMENT STRUCTURE.  
131 ACCESSIBLE PARKING SIGN. SEE CIVIL DWG CV-3 FOR DETAIL.  
134 SINGLE ACCESSIBLE STALL (1) TYPE B (2750x5800) C/W A 1.5m WIDE PAINTED ACCESSIBLE AISLE.  
137 BICYCLE PARKING (3) SPACES AT 1.8m x 0.6m.  
140 STOP SIGN AND STOP BAR AS PER ONTARIO TRAFFIC MANUAL, LATEST EDITION. REFER TO TRAFFIC ENGINEERING DWGS.  
142 DRIVEWAY VISIBILITY TRIANGLE 5 m.  
201 STRUCTURAL COLUMN SEE STRUCTURAL DWGS.  
202 CONCRETE SLAB, PROVIDE SEALER FOR CONCRETE FLOOR AREA.  
204 INSULATED PRECAST CONC. PANEL SYSTEM - RIBBED FLEXWALL.  
205 ALUMINUM CURTAIN WALL SYSTEM WITH 1" INSULATED GLAZING.

**SITE LEGEND**

- NEW HEAVY DUTY PAVEMENT (HATCHED)  
REFER TO CIVIL DWG CV-1 FOR PAVEMENT STRUCTURE.
- ▨ NEW LANDSCAPED AREA (HATCHED) SEE LANDSCAPE DRAWINGS.
- ▲ FIRE ACCESS ROUTE MIN. 12.0M TURNING RADIUS
- ▢ TRUCK LOADING DOCK DOOR
- ◆ MAN DOOR ENTRY
- FIRE DEPT CONNECTION (VERIFY LOCATION WITH CIVIL DWGS)
- PROPOSED FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DWGS)
- △ EXISTING FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DWGS)
- 1500mm WIDE DEPRESSED CURB FOR ACCESSIBLE PARKING AND PEDESTRIAN ACCESS. SEE DETAIL ON DWG A1.0
- ▢ PROPOSED CATCHBASIN MANHOLE SEE CIVIL DRAWINGS.
- ▢ PROPOSED CATCHBASIN SEE CIVIL DRAWINGS.
- PROPOSED MANHOLE SEE CIVIL DRAWINGS.
- LS LIGHT STANDARD (VERIFY LOCATION WITH CIVIL DWGS).
- # PARKING STALL COUNT TOTAL.
- ○ DRIVE IN DOOR.
- ○ FIRE ROUTE SIGNAGE. AS PER ONTARIO TRAFFIC MANUAL, LATEST EDITION. REFER TO TRAFFIC ENGINEERING DWGS.



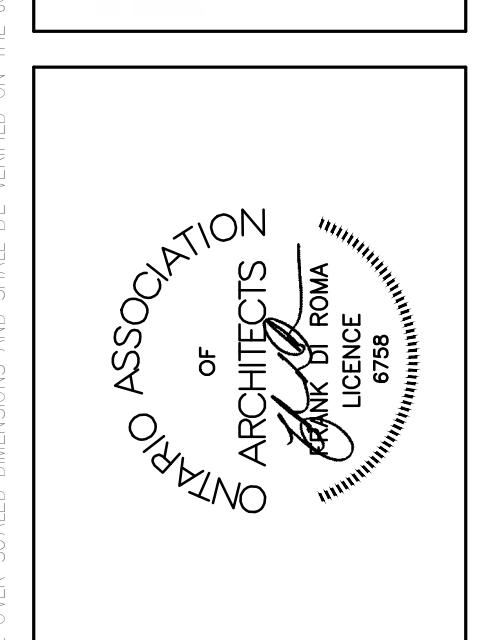
ENLARGED SITE PLAN - A	
DATE	2017-03-28
DRAWN BY	J.R.
JOB NO.	TOR15-0051-01
SHEET	A1.1
REMARKS	
DRAWN BY	
JOB NO.	
SHEET	
11/7/2017 12:10:03 PM	

**WARE MALCOMB**  
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Vaughan Ontario, Canada L4K 5W4  
P 905.761.1221  
F 905.248.3344  
a business name of WMA Inc.

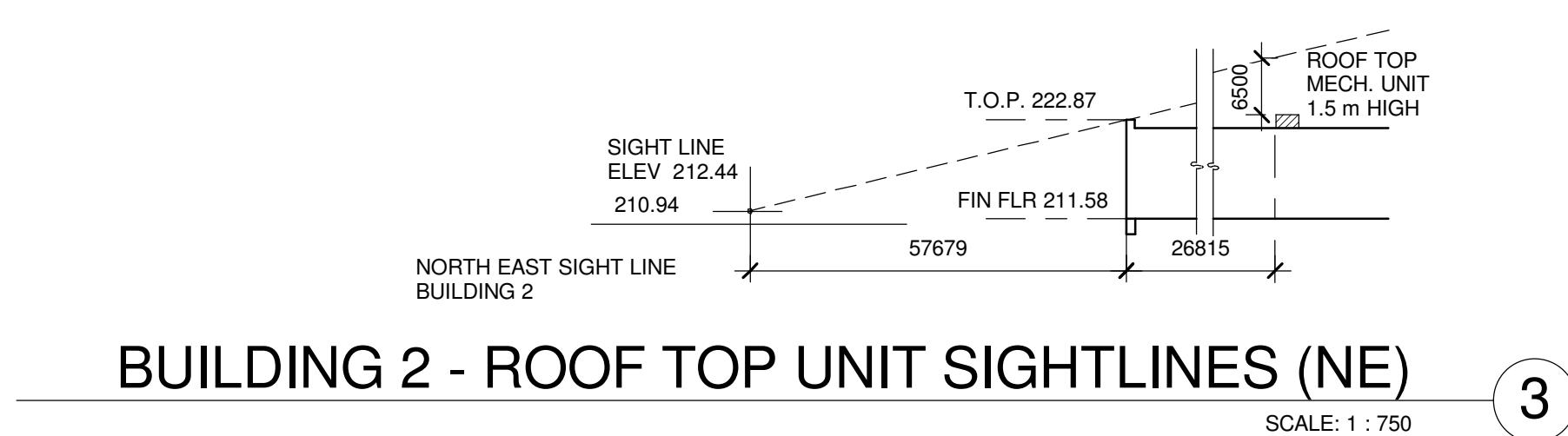
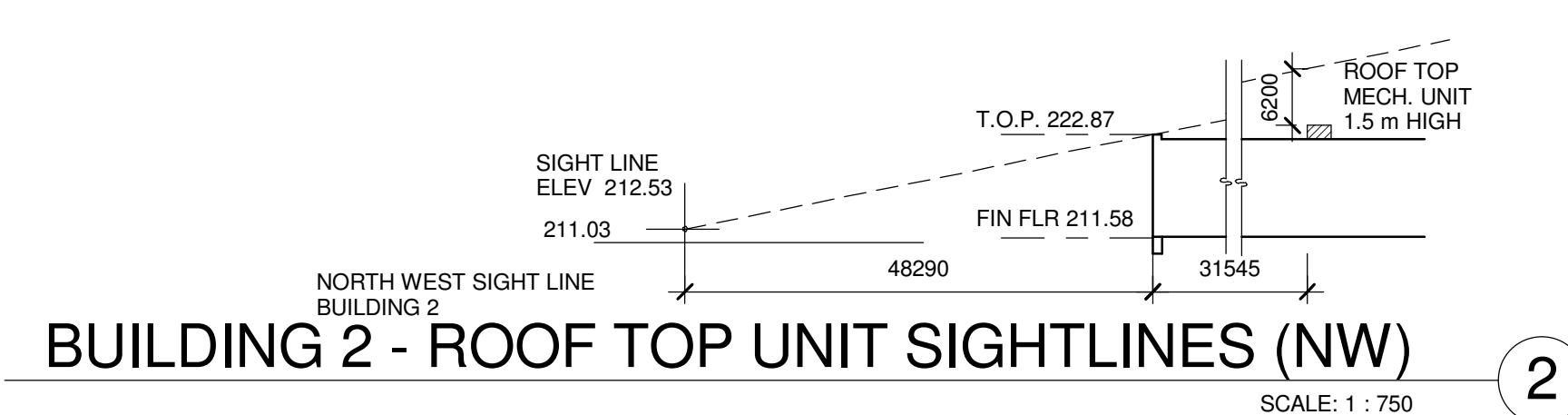
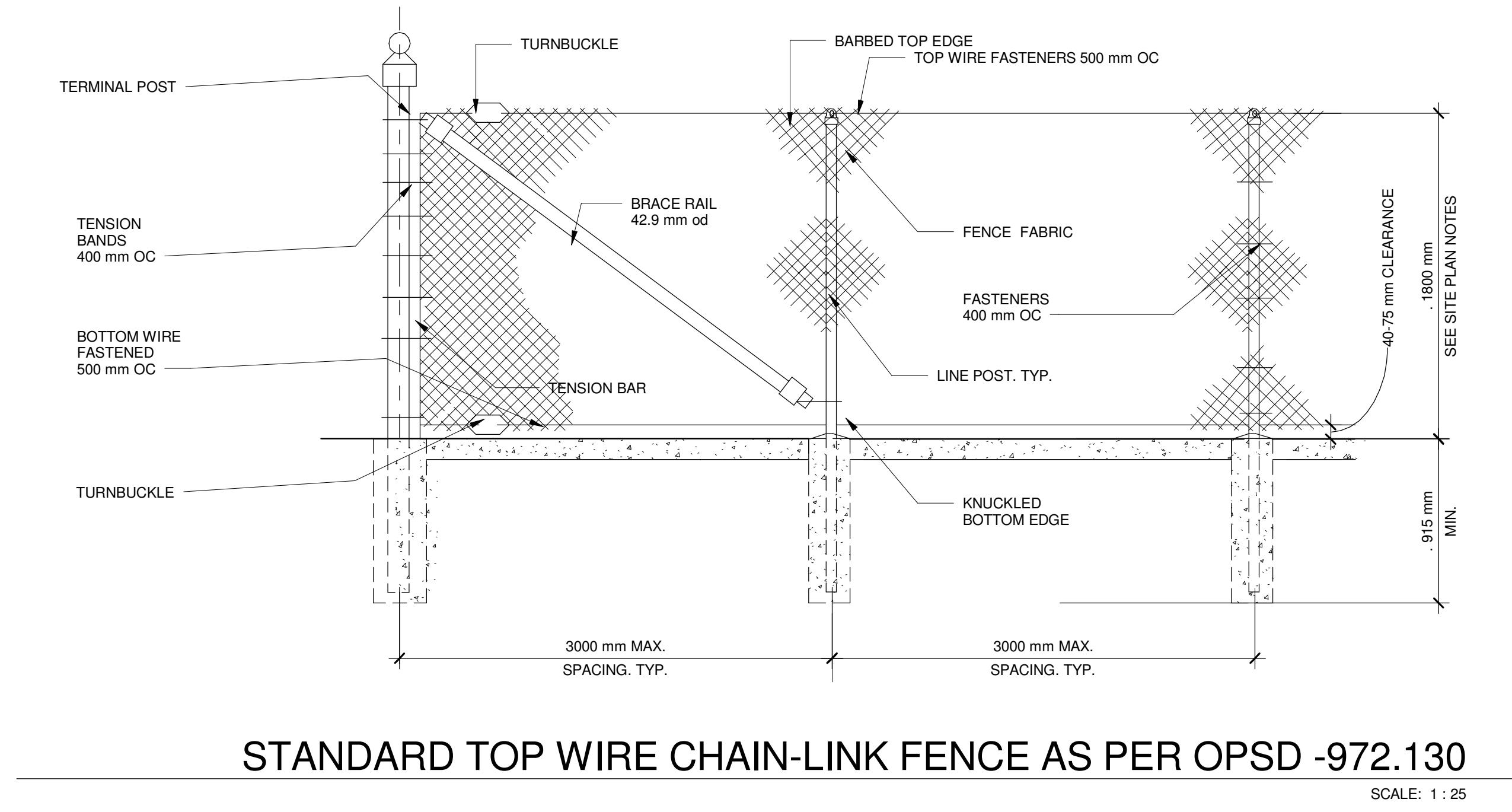
Planning  
Interior  
graphics  
civil engineering

**BRACCOLINI**



**PARKHILL DEVELOPMENT**

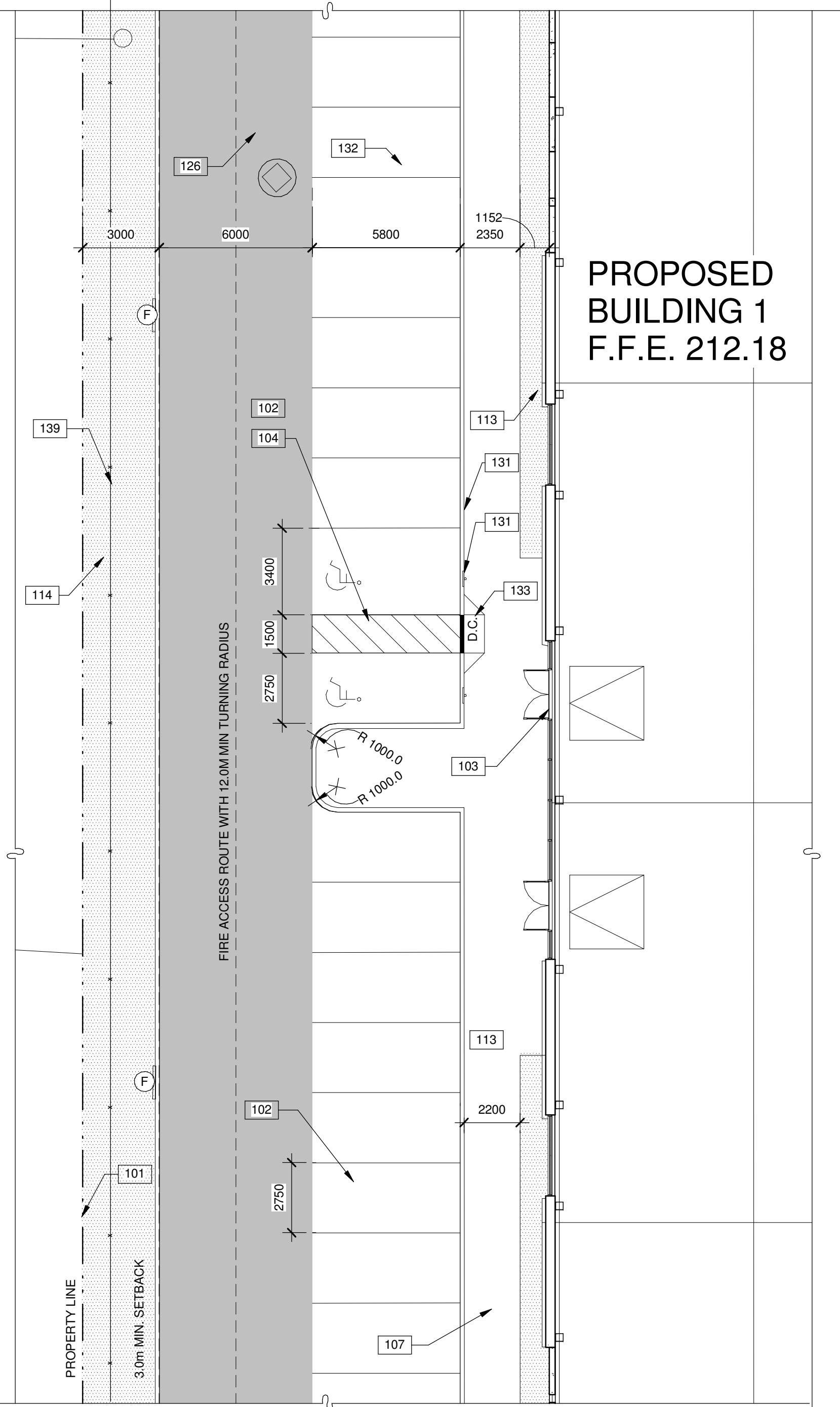
BUILDING 1 & BUILDING 2  
8300 & 8400 PARKHILL DRIVE  
MILTON, ONTARIO  
SITE PLAN FILE # SP-12/16



### NOTES

SEE SHEET A7.1 FOR DOOR SCHEDULE  
SEE SHEET A0.2 FOR WALL TYPES

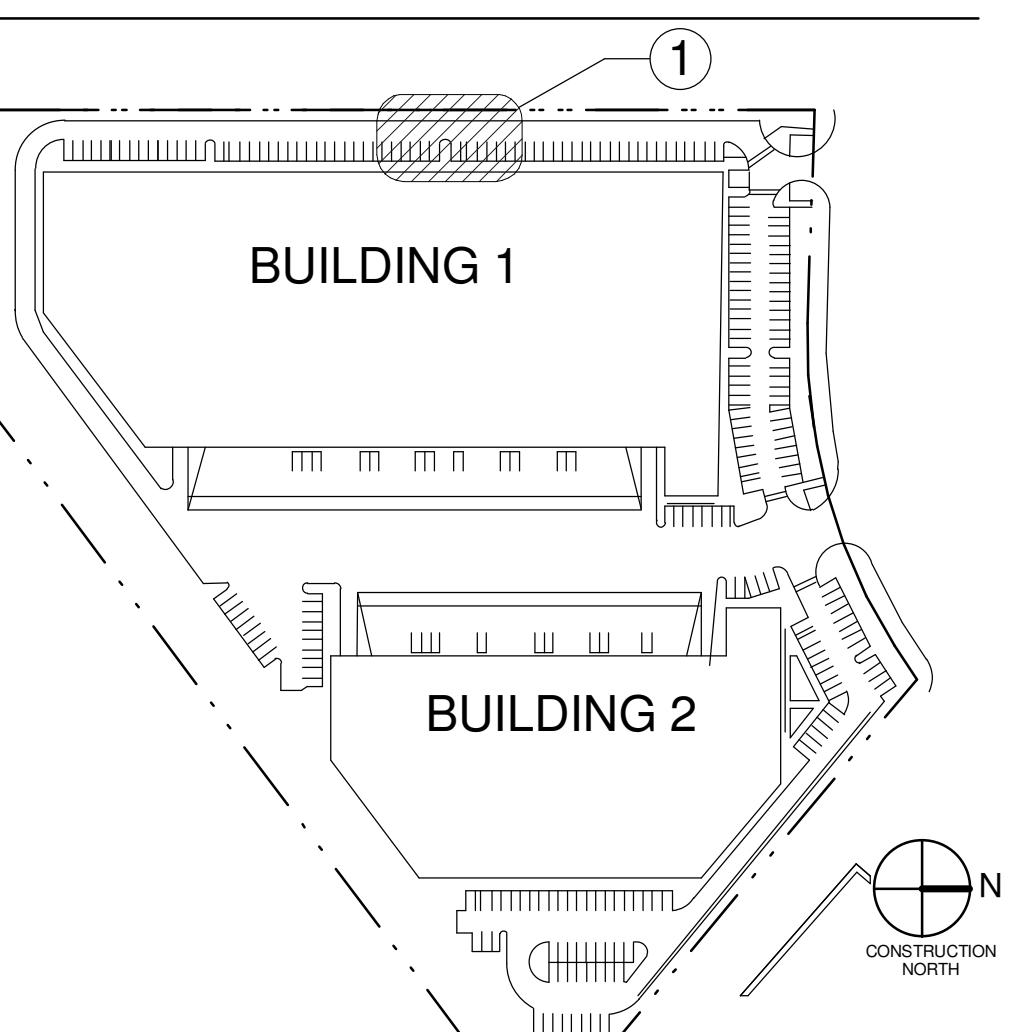
101 PROPERTY LINE.  
102 2750x5800 PARKING STALL, PAINTED PARKING STRIPING PER TOWN STANDARDS.  
103 PRINCIPLE ENTRY - TENANT FIT-UP SUBJECT TO INTERIOR ALTERATION PERMIT - POWER OPERATED AUTOMATIC DOOR OPENER WILL BE SUBJECT TO INTERIOR ALTERATION PERMIT.  
104 TYPICAL SHARED ACCESSIBLE PARKING STALLS, PAINTED STRIPING PER TOWN STANDARDS. EACH PAIR OF SHARED STALLS TO HAVE (1) TYPE A (3400x5800) AND (1) TYPE B (2750x5800) STALL C/W A 1.5M WIDE PAINTED ACCESSIBLE AISLE - REFER TO TOWN OF MILTON ACCESSIBLE PARKING STANDARDS.  
107 CONCRETE SIDEWALK - 2200mm WIDE TYPICAL U.N.O.  
113 LANDSCAPE STRIP ADJACENT TO MAIN BUILDING FAÇADE - SEE LANDSCAPE DWGS.  
114 LANDSCAPE AREA - SEE LANDSCAPE DWGS.  
126 HATCHED AREA DENOTES HEAVY DUTY ASPHALT. TYPICAL FOR ALL AREAS REQUIRING TRACTOR TRUCK ACCESS. REFER TO CIVIL DRAWINGS CV-1 FOR PAVEMENT STRUCTURE.  
131 ACCESSIBLE PARKING SIGN SEE CIVIL DWG CV-3 FOR DETAIL.  
132 LIGHT DUTY ASPHALT SEE CIVIL DWGS.  
133 DEPRESSED CURB AT ACCESSIBLE CURB RAMPS.  
139 1.8m HIGH CHAIN LINK FENCE AS PER TOWN OF MILTON STANDARDS. SEE DETAIL A-1.2



### SITE LEGEND

- [Hatched Box] NEW HEAVY DUTY PAVEMENT (HATCHED)  
REFER TO CIVIL DWG CV-1 FOR PAVEMENT STRUCTURE.
- [Hatched Box] NEW LANDSCAPED AREA (HATCHED) SEE LANDSCAPE DRAWINGS.
- [Dashed Line] FIRE ACCESS ROUTE MIN. 12.0M TURNING RADIUS
- [Triangle] TRUCK LOADING DOCK DOOR
- [Door] MAN DOOR ENTRY
- [Circle with Y] FIRE DEPT CONNECTION (VERIFY LOCATION WITH CIVIL DWGS)
- [Circle with dot] PROPOSED FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DWGS)
- [Circle with dot] EXISTING FIRE HYDRANT (VERIFY LOCATION WITH CIVIL DWGS)
- [Circle with dot] 1500mm WIDE DEPRESSED CURB FOR ACCESSIBLE PARKING AND PEDESTRIAN ACCESS, SEE DETAIL ON DWG A1.0
- [Circle with dot] PROPOSED CATCHBASIN MANHOLE SEE CIVIL DRAWINGS.
- [Circle with dot] PROPOSED CATCHBASIN SEE CIVIL DRAWINGS.
- [Circle with dot] PROPOSED MANHOLE SEE CIVIL DRAWINGS.
- [Light Bulb] LIGHT STANDARD (VERIFY LOCATION WITH CIVIL DWGS).
- [Parking Lot] PARKING STALL COUNT TOTAL.
- [Door] DRIVE IN DOOR.
- [Flag] FIRE ROUTE SIGNAGE. AS PER ONTARIO TRAFFIC MANUAL, LATEST EDITION. REFER TO TRAFFIC ENGINEERING DWGS.

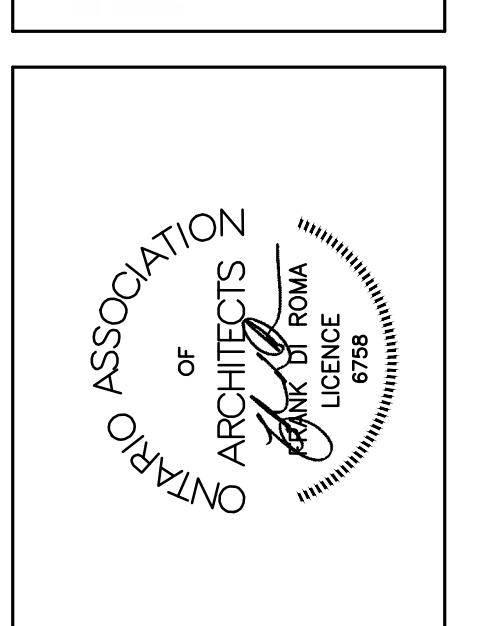
### KEY PLAN



ENLARGED SITE PLAN - B	
DATE	REMARKS
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2017-04-03	ISSUED FOR PERMIT
1	2017-11-07
	ISSUED FOR CONSTRUCTION

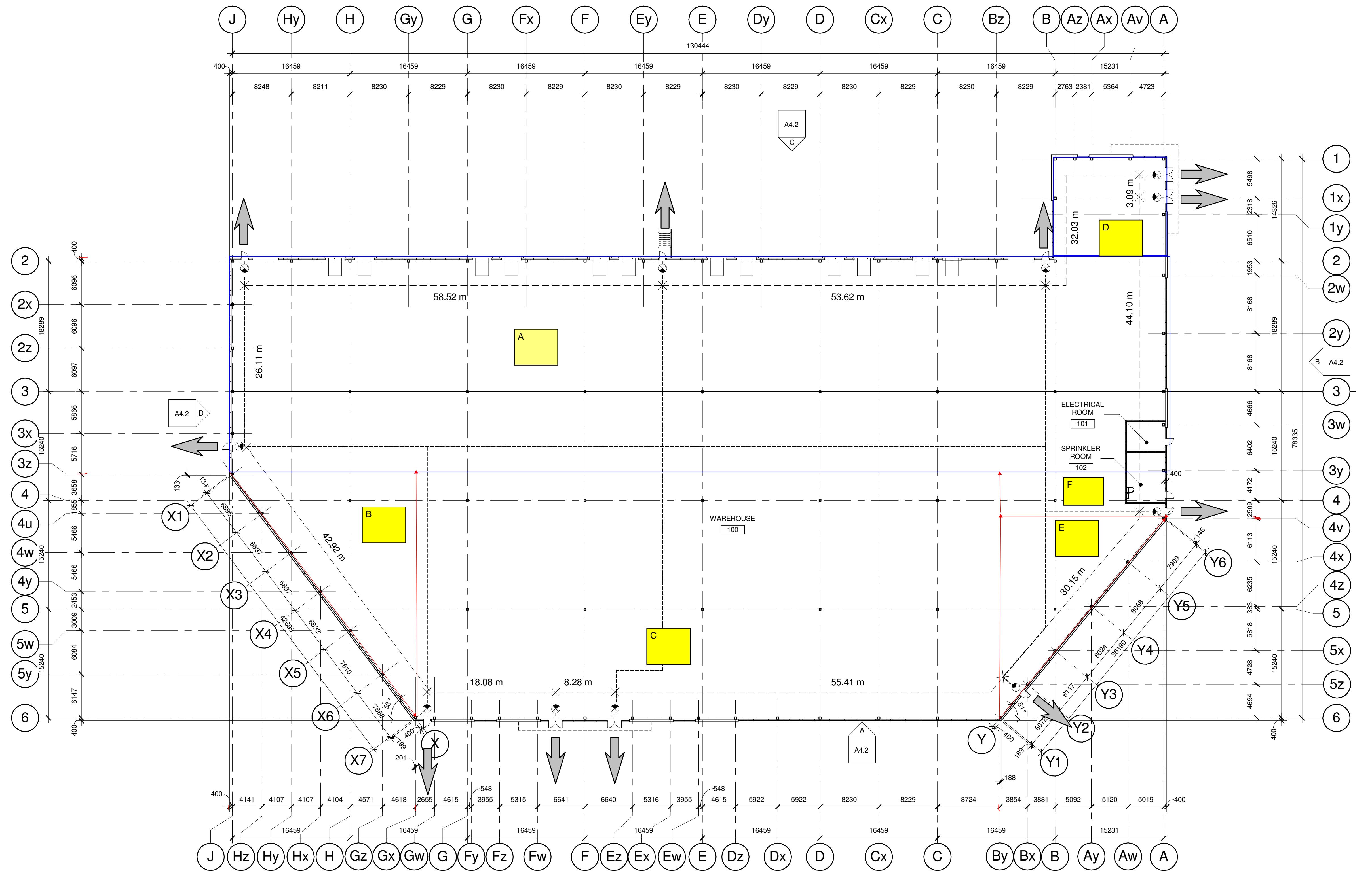
SHEET A1.2	
P/A/P/M:	R.C.B.
DRAWN BY:	J.R.
JOB NO.:	TOR15-0051-01

<b>WARE MALCOMB</b> Leading Design for Commercial Real Estate
180 Bass Pro Mills Dr #103 Vaughan Ontario, Canada L4K 5W4 P 905.761.1221 F 905.248.3344
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PARKHILL DEVELOPMENT	
BUILDING 1 & BUILDING 2 8300 & 8400 PARKHILL DRIVE MILTON, ONTARIO SITE PLAN FILE # SP-12/16	

ENLARGED SITE PLAN - A1.2	
DATE	REMARKS
2017-03-28	ISSUED FOR CLIENT REVIEW
2017-04-03	ISSUED FOR PERMIT
1	2017-11-07
	ISSUED FOR CONSTRUCTION



BUILDING 2 - OCCUPANCY &amp; EGRESS FLOOR PLAN

SCALE: 1 : 300

1

## OCCUPANCY &amp; EGRESS LEGEND

- REQUIRED EXIT
- DISTANCE BETWEEN EXITS AROUND INTERIOR BUILDING PERIMETER
- PATH OF TRAVEL
- WALL-MOUNTED EXIT SIGN WITH BATTERY BACKUP, SHADED QUADRANT INDICATES FACE OF LETTERING, SIGN TO INCLUDE DIRECTIONAL ARROW AS INDICATED.

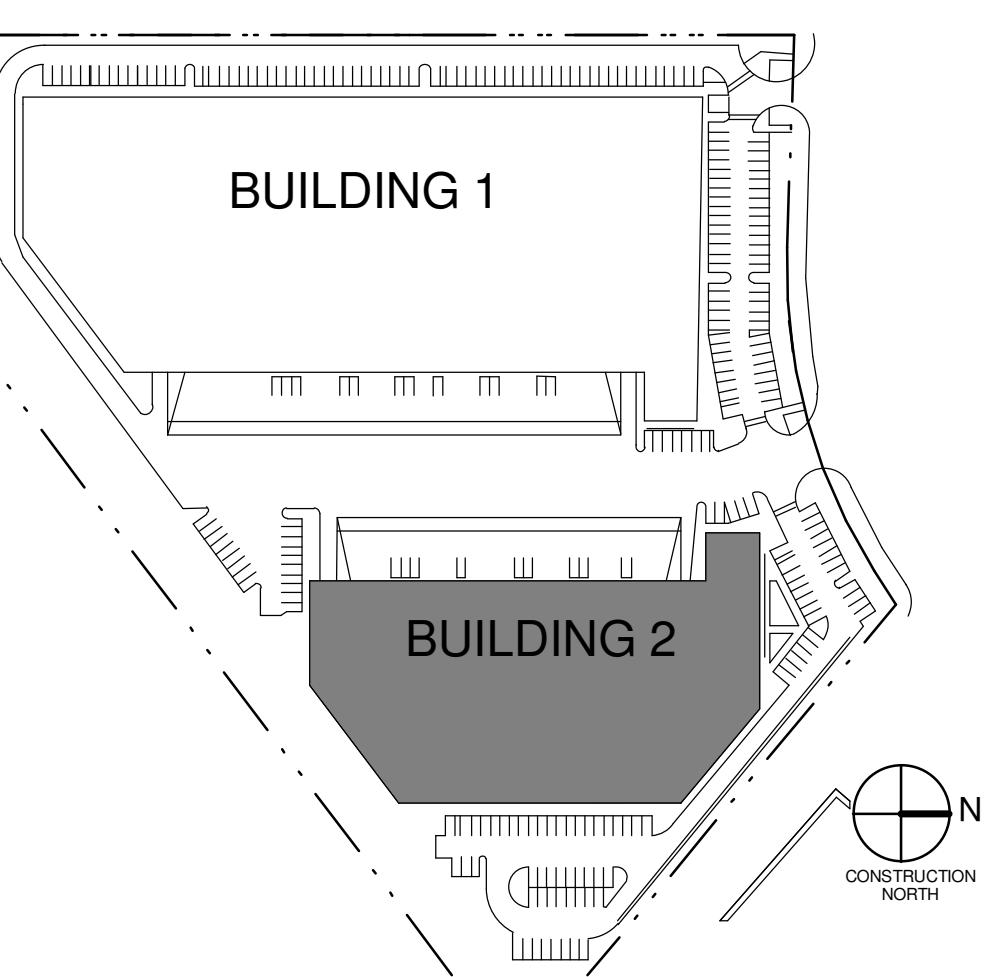
NOTE: ADDITIONAL DIRECTIONAL EXIT SIGNS MAY BE REQUIRED PRIOR TO FINAL INSPECTION AND SUBJECT TO BUILDING INSPECTOR.

## NOTES

SEE SHEET A7.1 FOR DOOR SCHEDULE

SEE SHEET A0.2 FOR WALL TYPES

## KEY PLAN



## BUILDING 2 - OCCUPANCY AND EGRESS PLAN

REMARKS
2017-03-28 ISSUED FOR CLIENT REVIEW
2017-04-03 ISSUED FOR PERMIT
2017-11-07 ISSUED FOR CONSTRUCTION

P/A/P/M:	Approver
DRAWN BY.:	Author
JOB NO.:	TOR15-0051-01

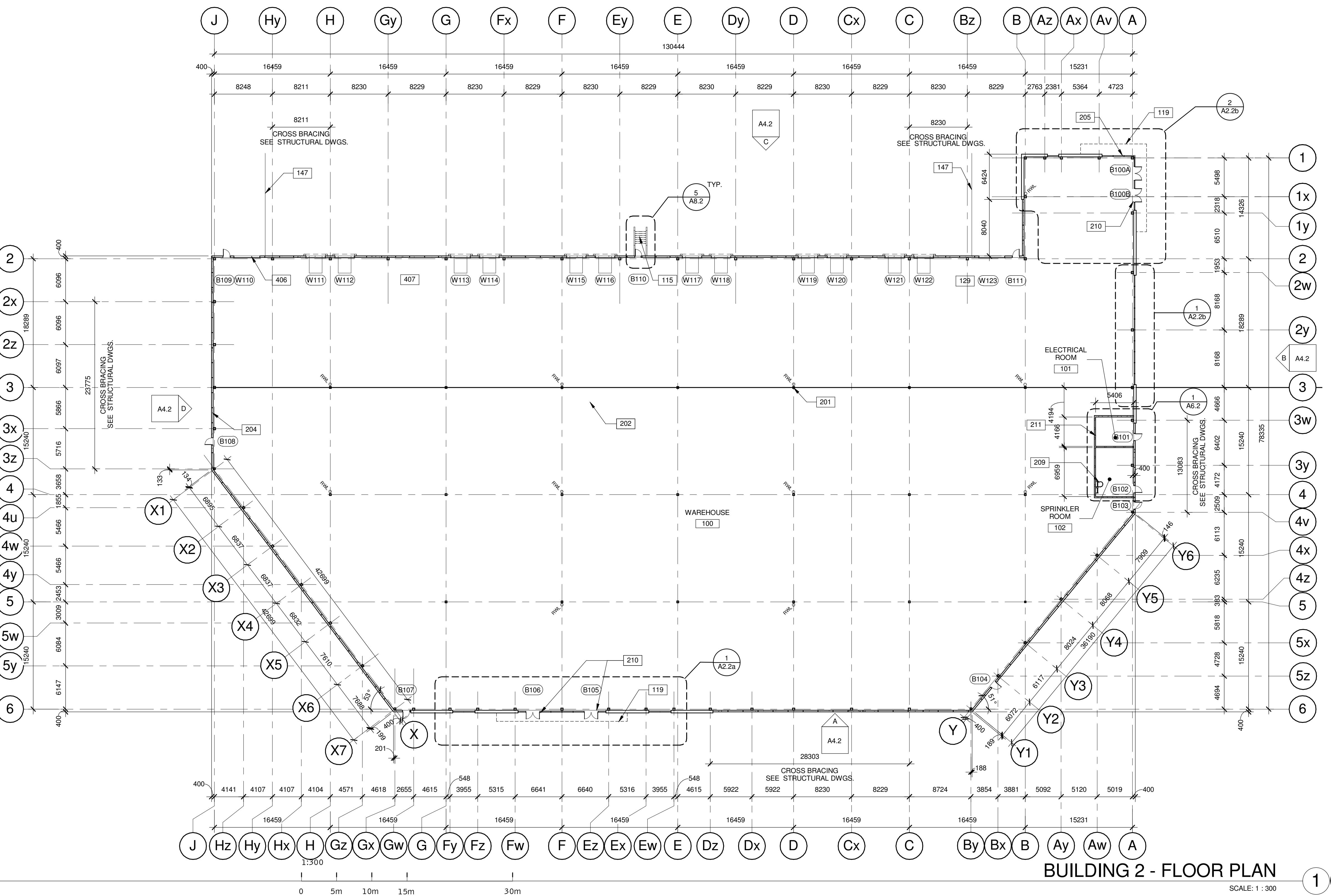
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F 905.248.3344  
a business name of WMA Inc.

**B R O C C O L I N I**

ASSOCIATION  
OF  
ARCHITECTS  
OF ROMA  
LICENCE  
6758

**PARKHILL DEVELOPMENT**  
BUILDING 2  
8300 PARKHILL DRIVE  
MILTON, ONTARIO  
SITE PLAN FILE # SP-12/16

**NOTES**

SEE SHEET A7.1 FOR DOOR SCHEDULE  
SEE SHEET A0.2 FOR WALL TYPES

115 EXTERIOR STEEL STAIRS W/ TUBE STEEL GUARDRAIL, TYP.  
119 LINE OF CANOPY ABOVE.  
147 PROVIDE GUARDRAIL WHERE GRADE CHANGE GREATER THAN 600 mm.  
201 STRUCTURE COLUMN SEE STRUCTURAL DWGS.  
202 CONCRETE SLAB, PROVIDE SEALER FOR CONCRETE FLOOR AREA.  
204 INSULATED PRECAST CONC. PANEL SYSTEM - RIBBED FLEXWALL.  
205 ALUMINUM CURTAIN WALL SYSTEM WITH 13" INSULATED GLAZING.  
209 ROOF HATCH.  
210 POWER DOOR OPERATOR INSTALLATION TO BE DETERMINED BY TENANT - FINISHING/INTERIOR ALTERATION UNDER SEPARATE PERMIT. SEE DWG. A7.1.  
211 2-HOUR FIRE SEPARATION ON WALLS AND CEILING OF ELEC ROOM 101 AND SPRINKLER ROOM 102 SEE DWG A6.2 AND A6.4.  
406 GRADE LEVEL DOOR 12'W X 14'h.

**PARKHILL DEVELOPMENT**  
**BUILDING 2**  
8300 PARKHILL DRIVE  
MILTON, ONTARIO  
SITE PLAN FILE # SP-12/16

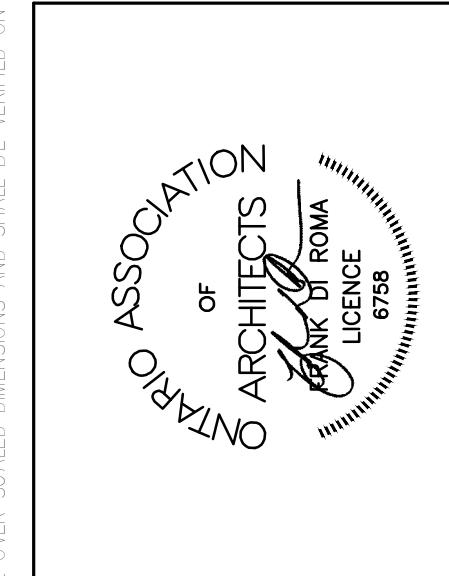
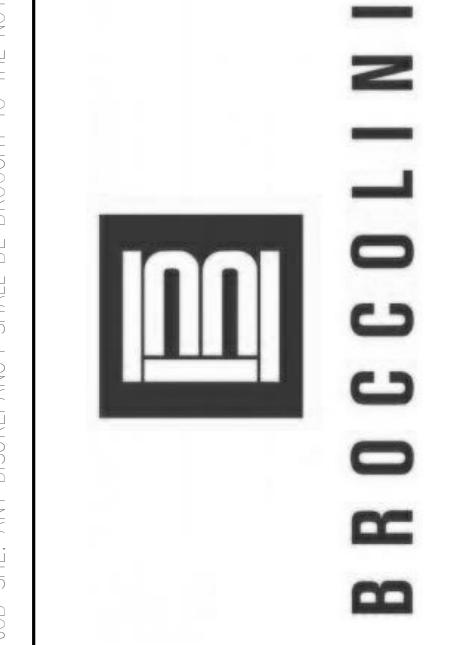
**BUILDING 2 - FLOOR PLAN**

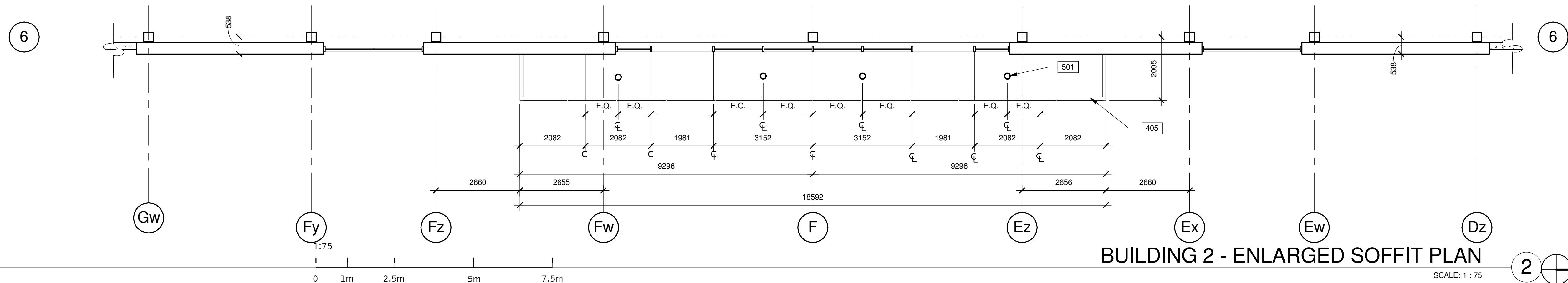
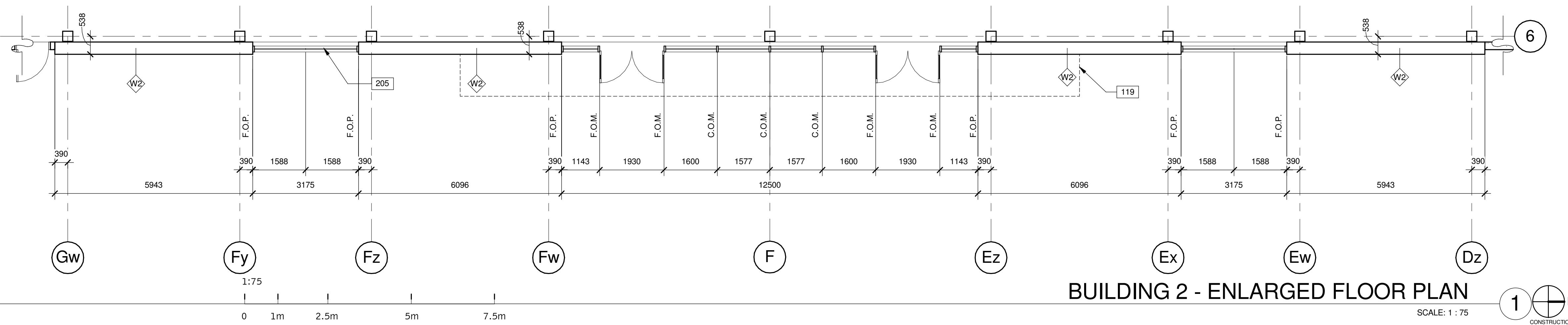
DATE	REMARKS
2017-03-28	ISSUED FOR CLIENT REVIEW
2017-04-03	ISSUED FOR PERMIT
2017-11-07	ISSUED FOR CONSTRUCTION

PA/PM:	R.C.B.
DRAWN BY.:	J.R.
JOB NO.:	TOR15-0051-01

SHEET	A2.2
11/7/2017 3:13:56 PM	

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### ABBREVIATIONS

B.O.C.	BOTTOM OF CONCRETE	F.O.M.	FACE OF MULLION
B.O.C.A.	BOTTOM OF CANOPY	F.O.REC.	FACE OF RECESS
B.O.C.P.	BOTTOM OF CONCRETE CAP	T.O.C.	TOP OF CONCRETE
B.O.F.	BOTTOM OF FRAMING	T.O.CA.	TOP OF CANOPY
B.O.K.O.	BOTTOM OF KNOCK OUT PANEL	T.O.F.	TOP OF FRAMING
B.O.M.	BOTTOM OF MULLION	T.O.K.O.	TOP OF KNOCK OUT
B.O.R.	BOTTOM OF REVEAL	T.O.M.	TOP OF MULLION
B.O.REC.	BOTTOM OF RECESS	T.O.R.	TOP OF REVEAL
C.O.M.	CENTER OF MULLION	T.O.REC.	TOP OF RECESS
C.O.R.	CENTER OF REVEAL	T.O.RI.	TOP OF RIDGE
F.O.C.	FACE OF CONCRETE	T.O.SH.	TOP OF SUNSHADE

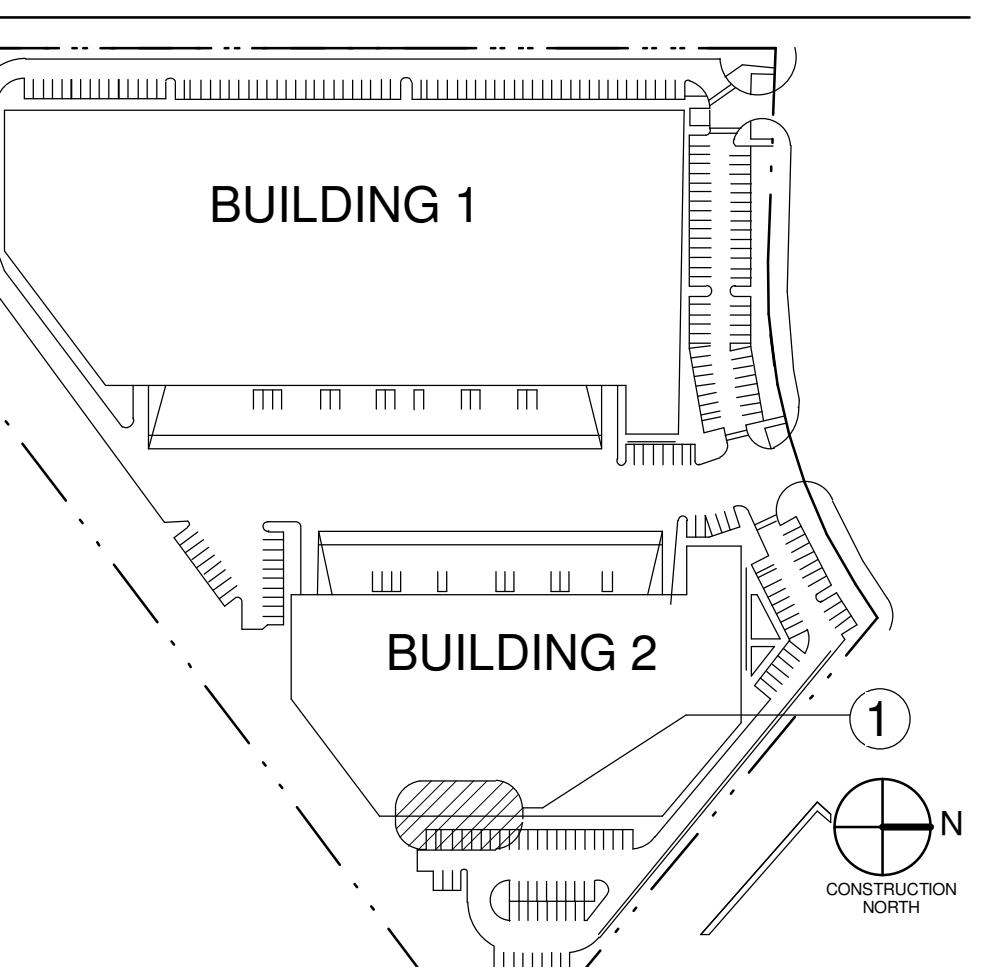
### NOTES

SEE SHEET A7.1 FOR DOOR SCHEDULE

SEE SHEET A0.2 FOR WALL TYPES

- 119 LINE OF CANOPY ABOVE.
- 205 ALUMINUM CURTAIN WALL SYSTEM WITH 1" INSULATED GLAZING.
- 405 PREFINISHED ALUMINUM COMPOSITE PANEL CANOPY.
- 501 RECESSED SOFFIT LIGHT SEE ELEC. DWGS.

### KEY PLAN



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**BRACCOLINI**

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OF  
ARCHITECTS  
OF ROMA  
LICENCE  
6758

**PARKHILL DEVELOPMENT**  
**BUILDING 2**  
8300 PARKHILL DRIVE  
MILTON, ONTARIO  
SITE PLAN FILE # SP-12/16

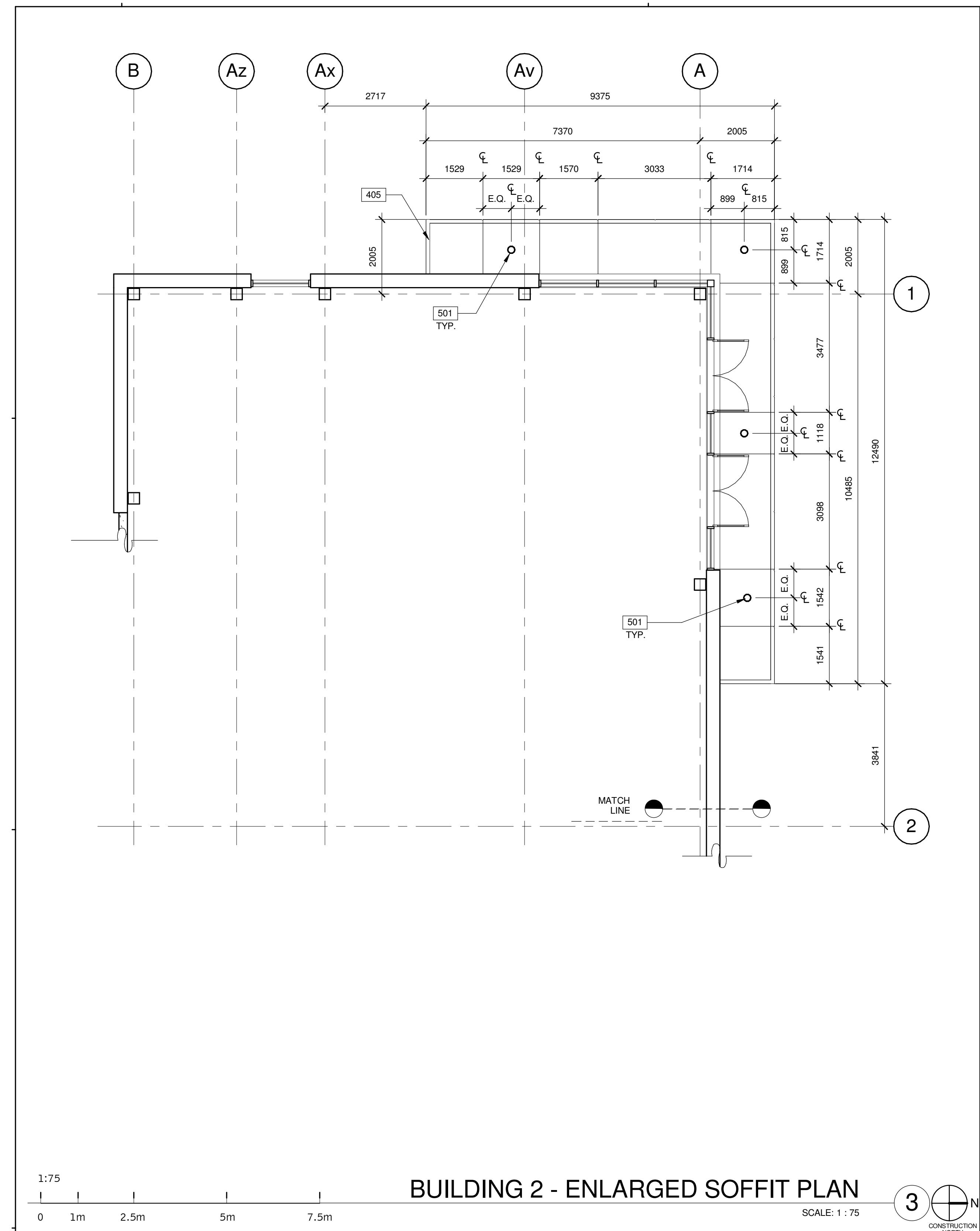
BUILDING 2 - ENLARGED FLOOR PLANS		REMARKS
DATE	2017-03-28	ISSUED FOR CLIENT REVIEW
1	2017-04-03	ISSUED FOR PERMIT
	2017-11-07	ISSUED FOR CONSTRUCTION

P/APM:	R.C.B.
DRAWN BY.:	J.R.
JOB NO.:	TOR15-0051-01

**A2.2a**

SHEET

11/7/2017 12:38:07 PM

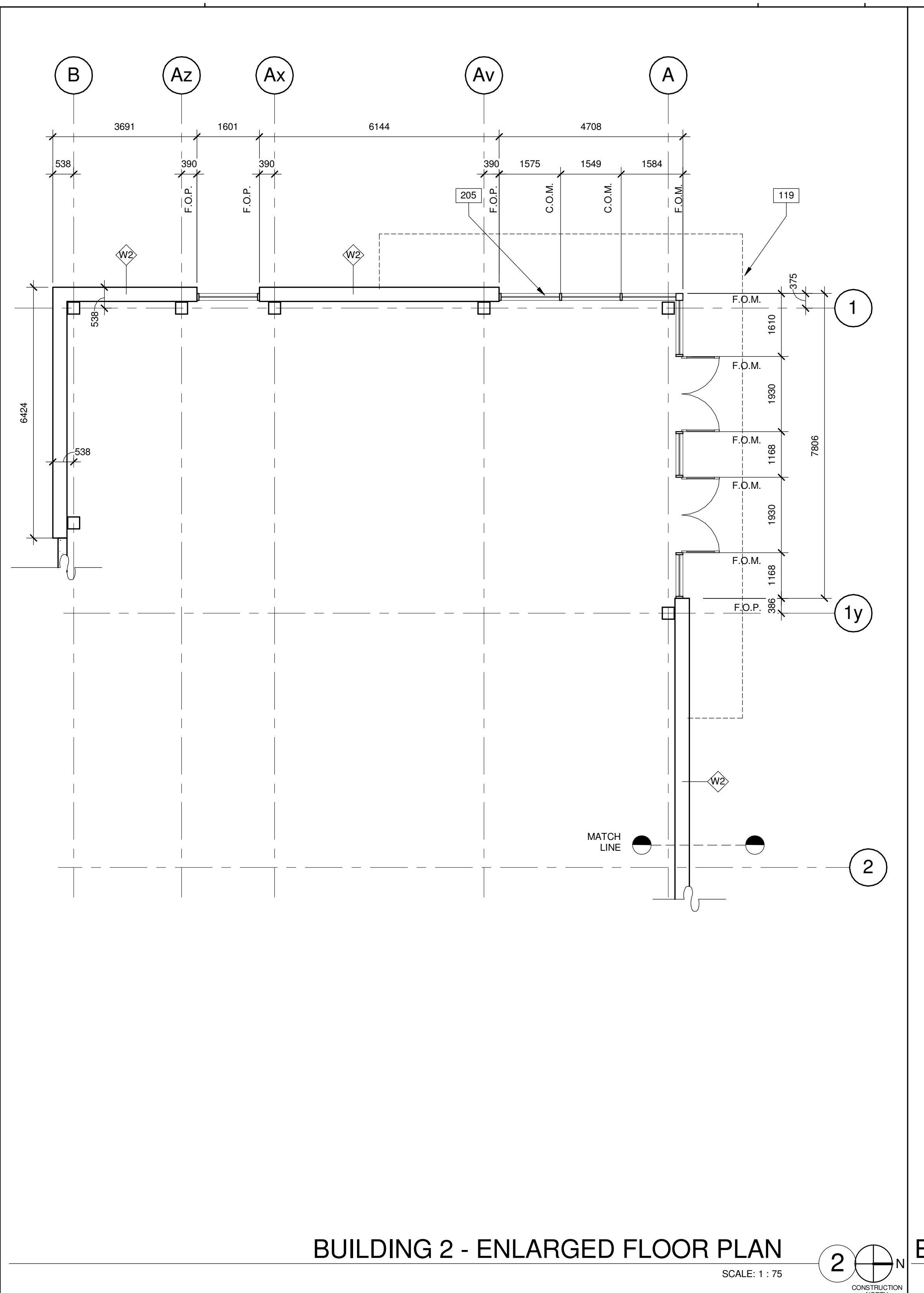


# BUILDING 2 - ENLARGED SOFFIT PLAN

**3**  N  
CONSTRUCTION

## ABREVIATIONS

B.O.C.	BOTTOM OF CONCRETE	F.O.M.	FACE OF MULLION
B.O.CA.	BOTTOM OF CANOPY	F.O.REC.	FACE OF RECESS
B.O.CP.	BOTTOM OF CONCRETE CAP	T.O.C.	TOP OF CONCRETE
B.O.F.	BOTTOM OF FRAMING	T.O.CA.	TOP OF CANOPY
B.O.K.O.	BOTTOM OF KNOCK OUT PANEL	T.O.F.	TOP OF FRAMING
B.O.M.	BOTTOM OF MULLION	T.O.K.O.	TOP OF KNOCK OUT
B.O.R.	BOTTOM OF REVEAL	T.O.M.	TOP OF MULLION
B.O.REC.	BOTTOM OF RECESS	T.O.R.	TOP OF REVEAL
C.O.M.	CENTER OF MULLION	T.O.REC.	TOP OF RECESS
C.O.R.	CENTER OF REVEAL	T.O.RI.	TOP OF RIDGE
F.O.C.	FACE OF CONCRETE	T.O.SH.	TOP OF SUNSHADE

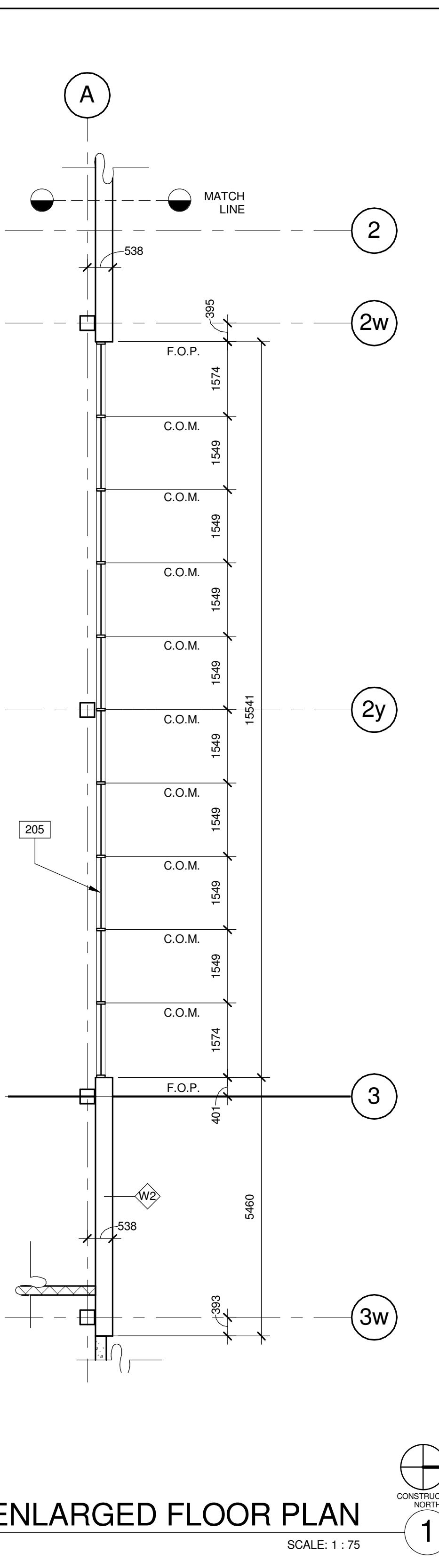


BUILDING 2 - ENLARGED FLOOR PLAN

SHEET A7.1 FOR DOOR SCHEDULE  
SHEET A0.2 FOR WALL TYPES

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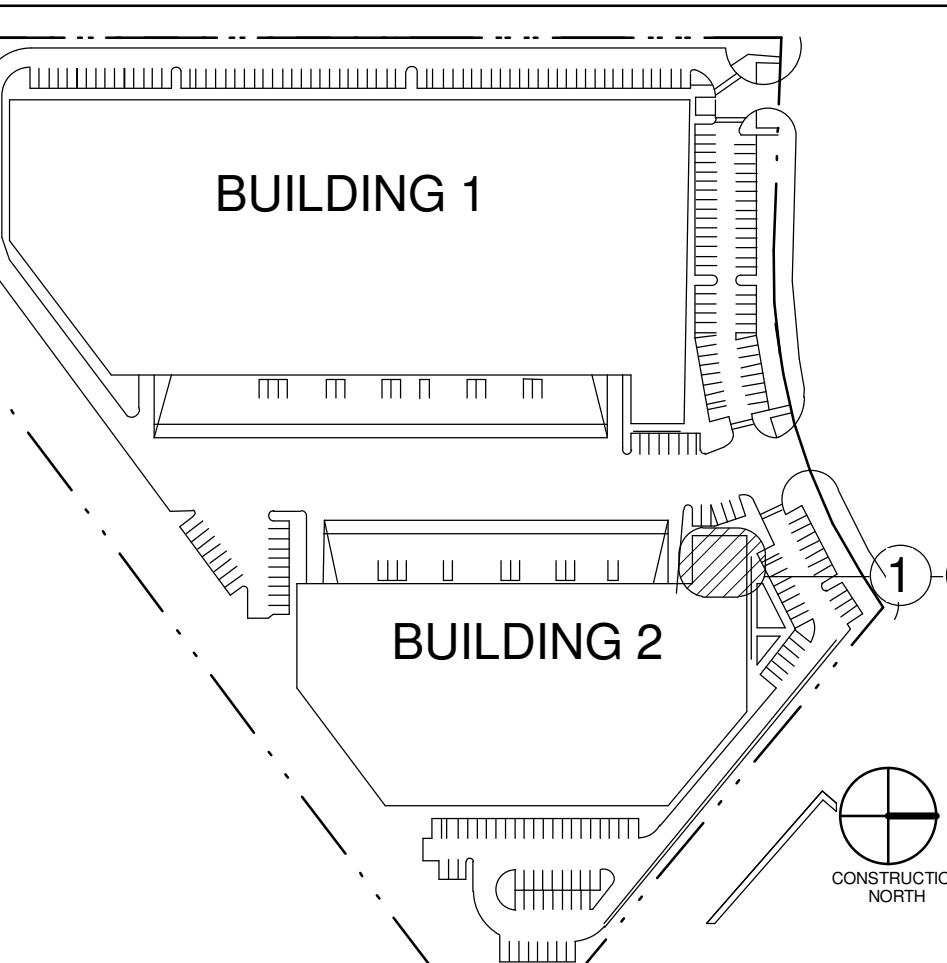
LINE OF CANOPY ABOVE.  
ALUMINUM CURTAIN WALL SYSTEM WITH 1" INSULATED GLAZING.  
PREFINISHED ALUMINUM COMPOSITE PANEL CANOPY.  
~~RECESSED SOFFIT LIGHT SEE ELEC. DWGS.~~



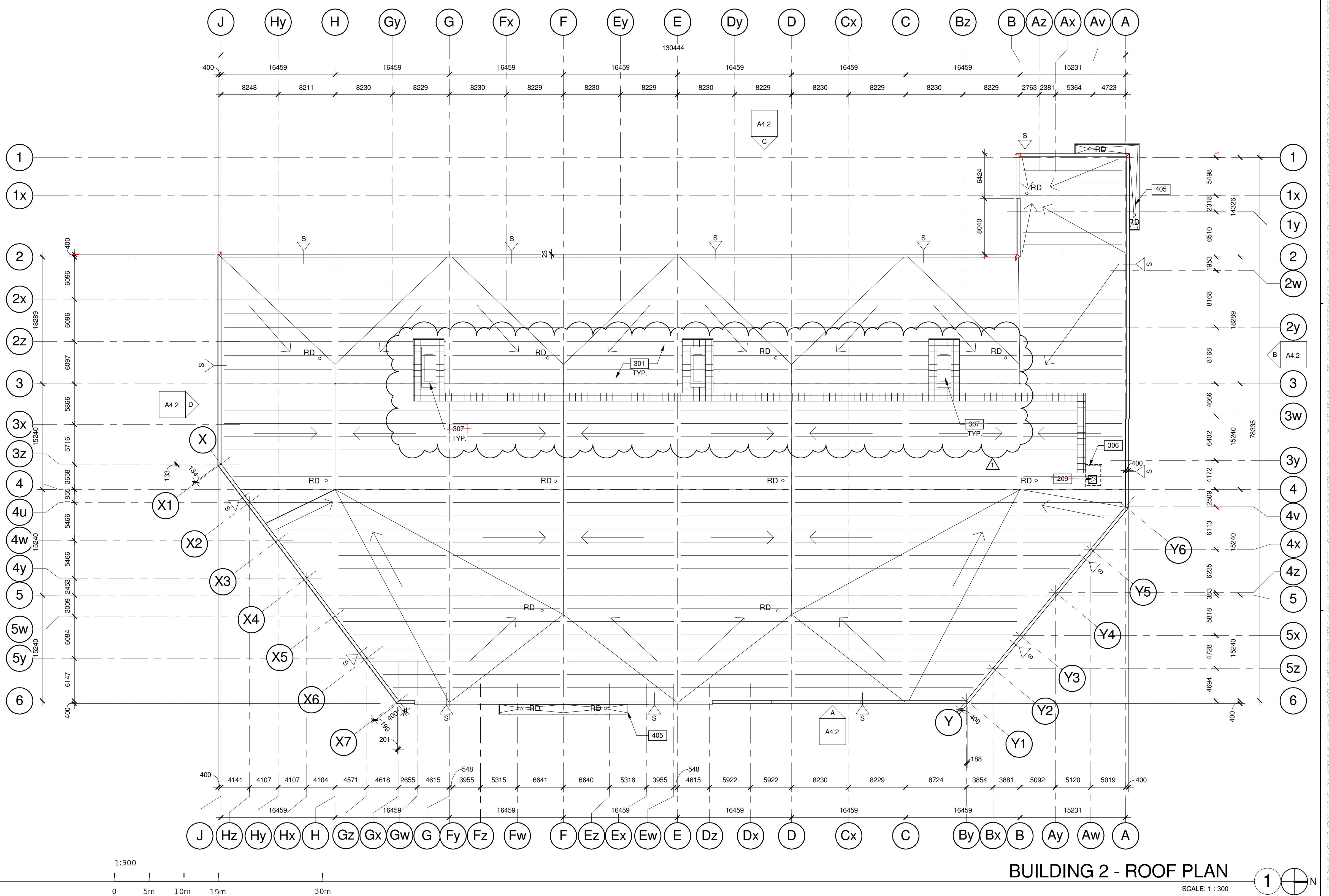
## **ENLARGED FLOOR PLAN**

## REARAGED

# Y PLAN



<p><b>BUILDING 2 - ENLARGED FLOOR PLANS</b></p> <p><b>PARKHILL DEVELOPMENT</b></p> <p><b>BUILDING 2</b></p> <p><b>8300 PARKHILL DRIVE</b></p> <p><b>MILTON, ONTARIO</b></p> <p><b>SITE PLAN FILE # SP-12/16</b></p>		<p>PA/PM: Approver</p> <p>DRAWN BY.: Author</p> <p>JOB NO.: TOR15-0051-01</p>
<p><b>A2.2b</b></p>		
<p><b>WARE MALCOMB</b> Leading Design for Commercial Real Estate</p> <p>planning interiors graphics civil engineering</p> <p><b>BRACCOLINI</b></p> <p>180 Bass Pro Mills Dr #103 Vaughan, Ontario, Canada L4K 5W4 p 905.760.1221 f 905.248.3344</p> <p>a business name of WMA Inc.</p>		
<p><b>ITALIAN ARCHITECTS ASSOCIATION OF ROMA</b> OF ARCHITECTS Z FONDI ROMA LICENCE 6758</p>		



# BUILDING 2 - ROOF PLAN

SCALE: 1 : 300

# OTES

SHEET A7.1 FOR DOOR SCHEDULE  
SHEET A0.2 FOR WALL TYPES

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#### **ROOF HATCH**

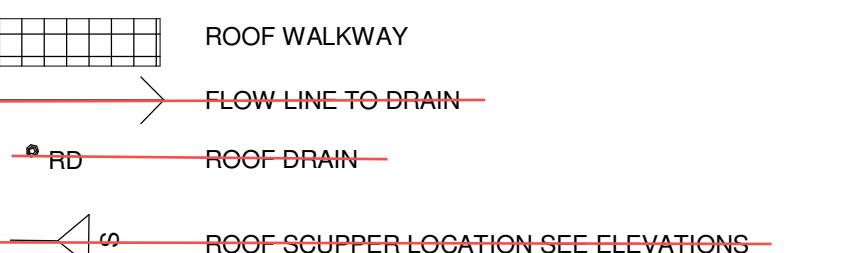
**4-PLY BUILT-UP ROOFING OVER R30 RIGID INSULATION OVER VAPOUR  
RETARDER OVER METAL DECK SEE STRUCTURAL DWGS**

RETARDER OVER METAL DECK. SEE STRUCTURAL DWGS.  
LINE OF WALL BELOW.

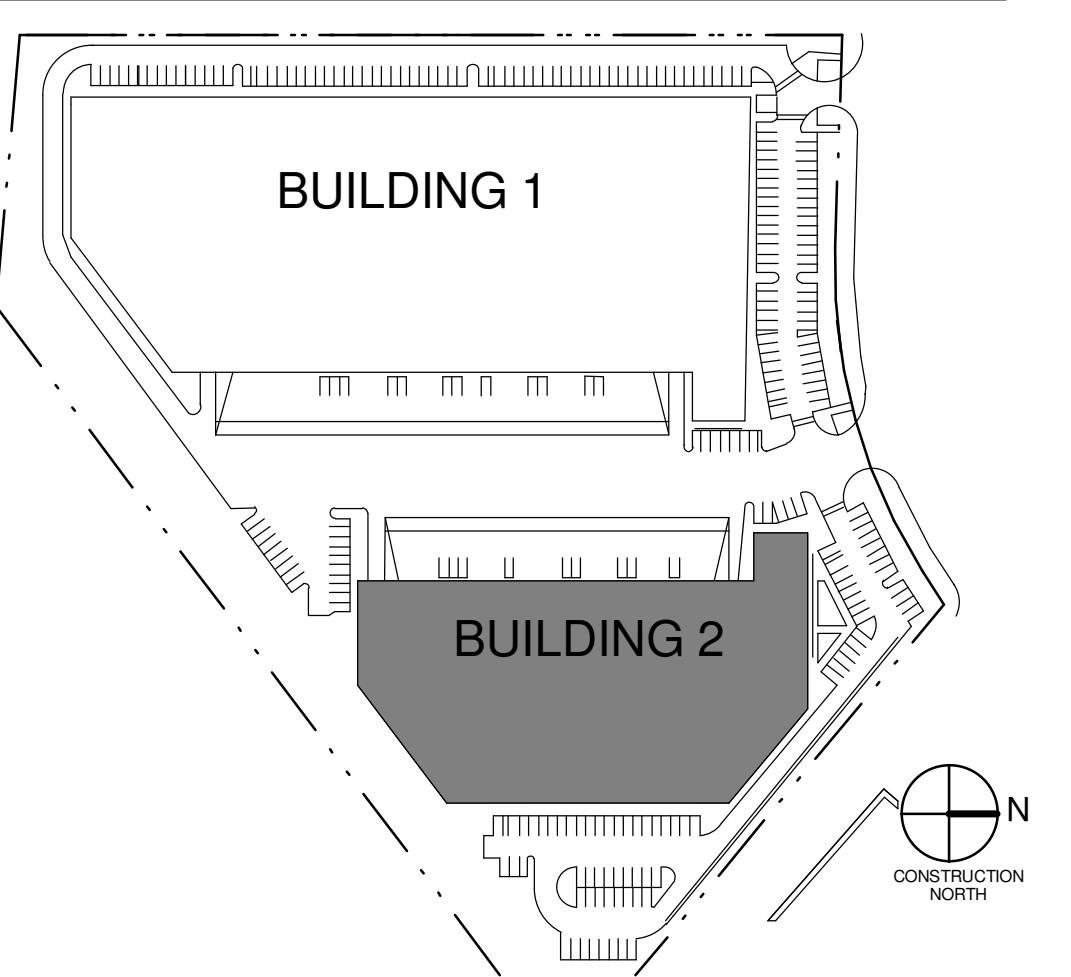
~~ROOF TOP MECHANICAL UNIT. SEE MECHANICAL  
PRE-FINISHED ALUMINUM COMPOSITE PANEL CANOPY~~

## PREFINISHED ALUMINUM COMPOSITE PANEL CANOPY.

## LEGEND



# KEY PLAN



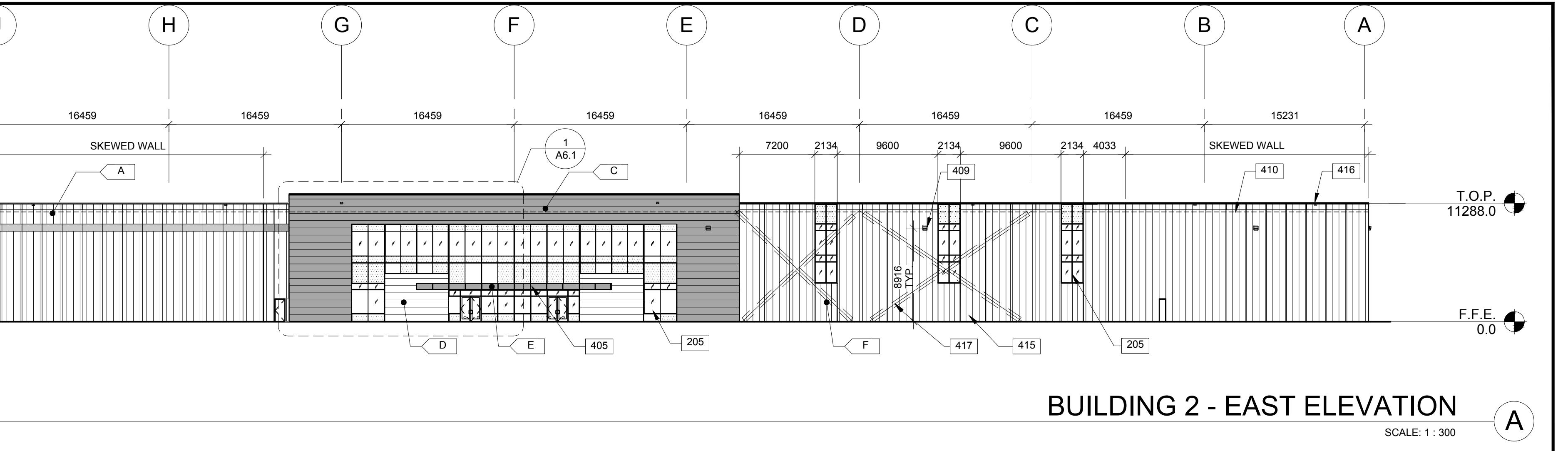
## **BUILDING 2 - ROOF PLAN**

PA/PM:  
DRAWN

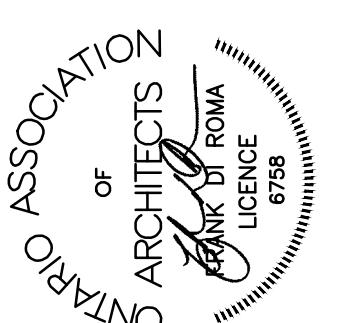
	R.C.B.
I BY.:	J.R.
O.:	TOR15-0051-01

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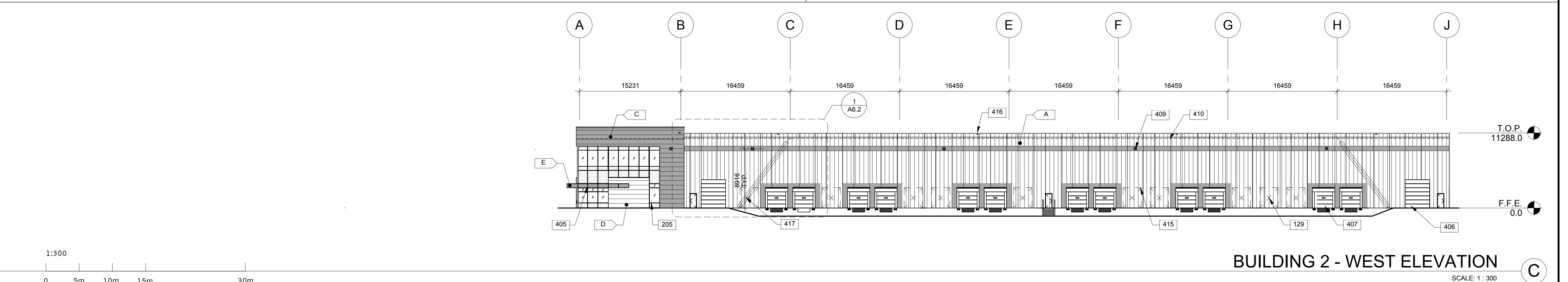
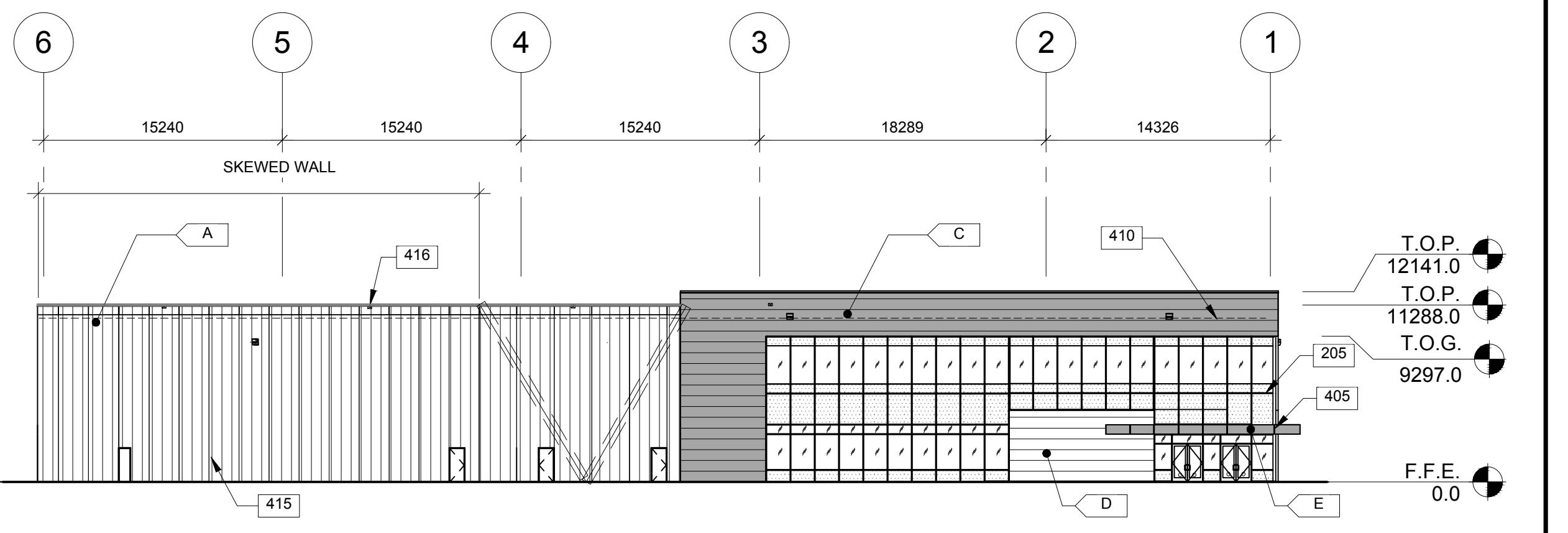
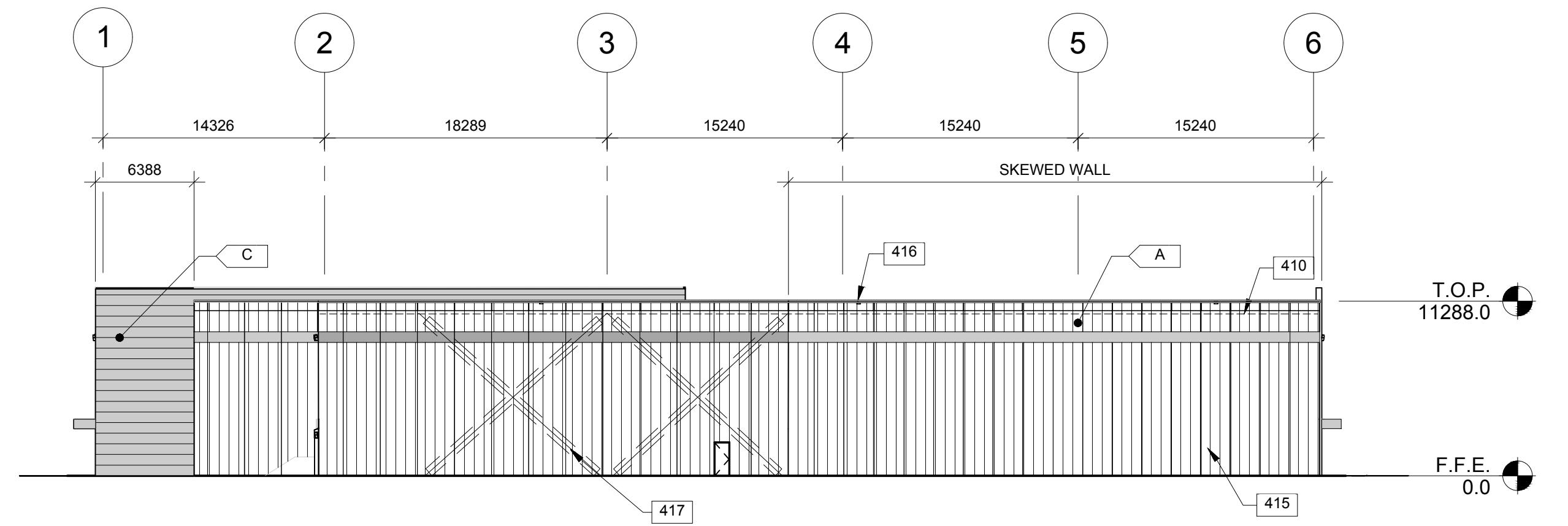
SHEET  
A3.2  
2017.12.28.13 PM



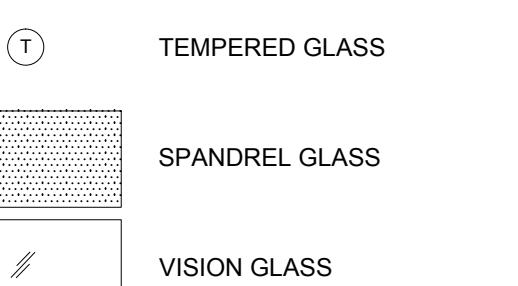
**WARE MALCOLM**  
Leading Design for Commercial Real Estate  
planning  
interiors  
civil engineering  
180 bass pro mills drive, unit 103  
vaughan, ontario, L4K 5W4  
P 905.760.1221  
F 905.246.3344  
a business name of WMIA Inc.



**PARKHILL DEVELOPMENT**  
**BUILDING 2**  
8300 PARKHILL DRIVE  
MILTON, ONTARIO



#### LEGEND



#### COLOUR & MATERIAL LEGEND

PROVIDE 150mm WIDE PAINT COLOR MOCK-UP FULL HEIGHT OF BUILDING FOR OWNER/ARCHITECT REVIEW.

- [A] INSULATED PRECAST CONCRETE PANEL SYSTEM - RIBBED FLEXWALL - GREY
- [B] RESERVED
- [C] INSULATED METAL PANEL SECONDARY COLOUR: KINGSPAN - OPTIMO SMOOTH - KYNAR ZINC GREY #432R1020
- [D] INSULATED METAL PANEL TERTIARY COLOUR (ENTRY): KINGSPAN - OPTIMO SMOOTH- KYNAR REGAL WHITE #432R444
- [E] ALUMINUM COMPOSITE PANEL ALUCOBOND SYSTEM SL2000 (CANOPY): COLOUR RED

#### NOTES

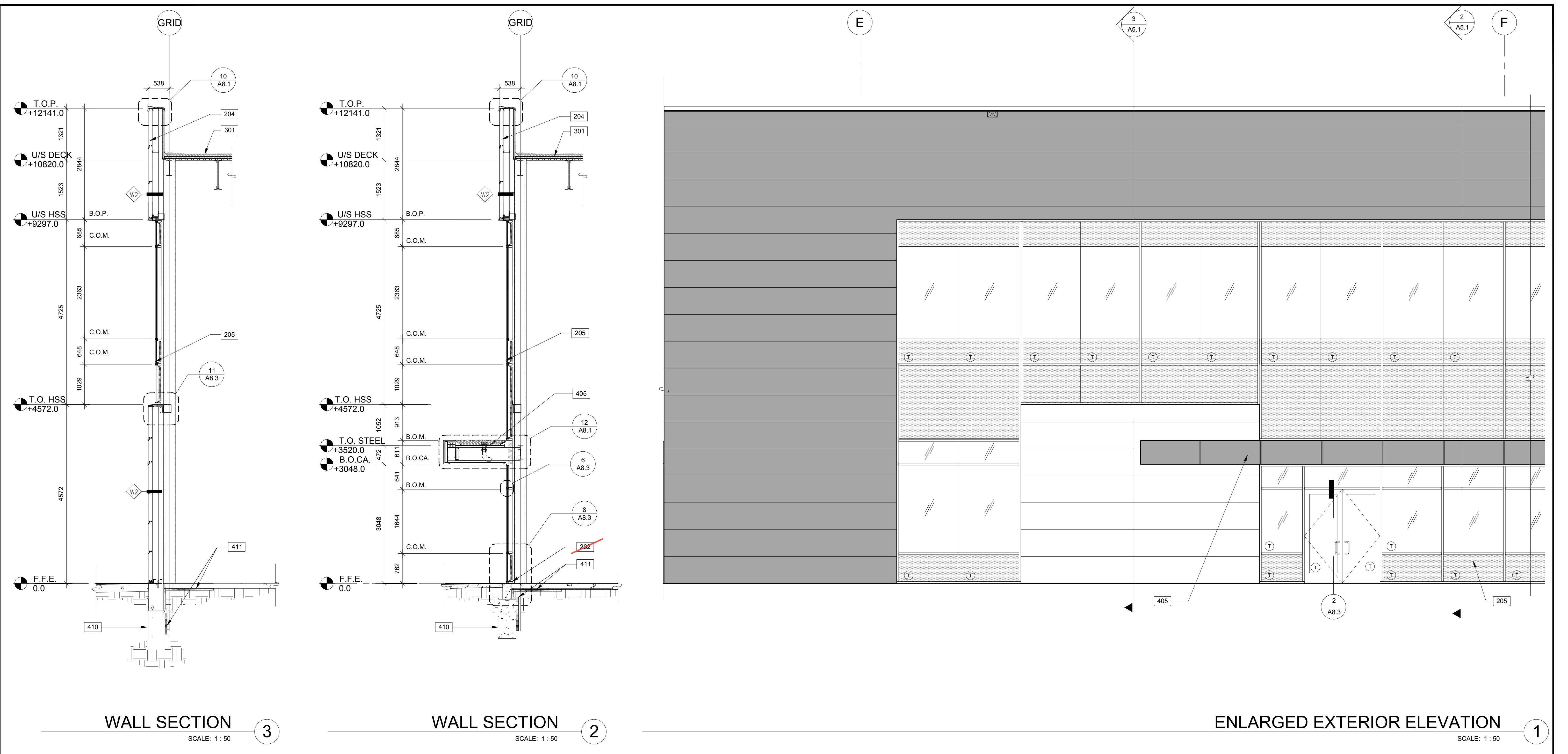
- SEE SHEET A7.1 FOR DOOR SCHEDULE  
SEE SHEET A0.2 FOR WALL TYPES
- 129 KNOCK-OUT PANEL FOR FUTURE DOORS
  - 205 ALUMINUM CURTAIN WALL SYSTEM WITH 1" INSULATED GLAZING.
  - 405 PREFINISHED ALUMINUM COMPOSITE PANEL CANOPY.
  - 406 GRADE LEVEL DOOR 12w X 14h.
  - 407 DOCK DOOR 9w X 10h.
  - 409 WALL PACK MOUNTED, SEE ELECTRICAL.
  - 410 ROOF LINE BEYOND.
  - 415 INSULATED PRECAST CONCRETE PANEL SYSTEM - RIBBED FLEXWALL
  - 416 WALL SCUPPER TYP.
  - 417 CROSS BRACING SEE STRUCTURAL DRAWINGS.

<b>BUILDING 2 EXTERIOR ELEVATIONS</b>	
DATE	REMARKS
2017-03-28	ISSUED FOR CLIENT REVIEW
2017-04-13	ISSUED FOR PERMIT
2017-11-07	ISSUED FOR CONSTRUCTION

PA / PM:	RCB
DRAWN BY:	WM
JOB NO.:	TOR15-0051-01

SHEET

**A4.2**



# WALL SECTION

SCALE: 1 : 50

3

# WALL SECTION

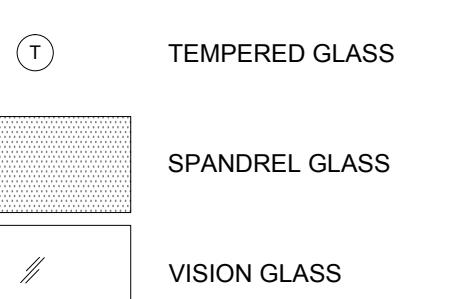
SCALE: 1 : 50

2

# LARGED EXTERIOR ELEVATION

CALE: 1 : 50

## LEGEND



TES -

## EET A7.1 FOR DOOR SCHEDULE

## EET A0.2 FOR WALL TYPES

- ~~CONCRETE SLAB, PROVIDE SEALER FOR CONCRETE FLOOR AREA.~~

ALUMINUM CURTAIN WALL SYSTEM WITH 1" INSULATED GLAZING.

4-PLY BUILT-UP ROOFING OVER R30 RIGID INSULATION OVER VAPOUR RETARDER OVER METAL DECK. SEE STRUCTURAL DRAWINGS

PREFINISHED ALUMINUM COMPOSITE PANEL CANOPY.

WALL PACK MOUNTED, SEE ELECTRICAL.

GRADE BEAM AND FOUNDATION WALL REFER TO STRUCTURAL DRAWINGS

~~RIGID INSULATION MIN. R10 VERTICALLY TO MIN. 610mm BELOW GRADE~~

## ABBREVIATIONS

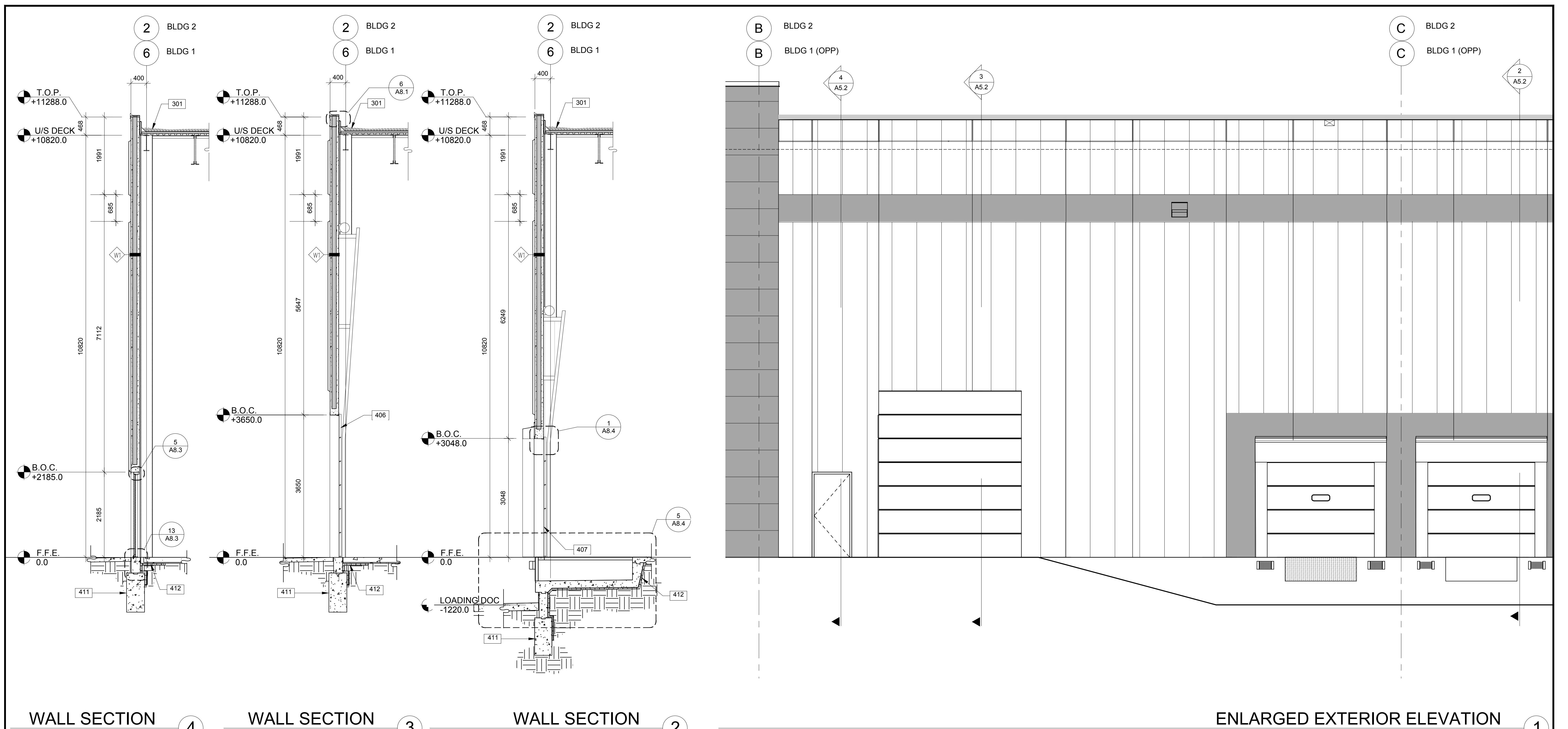
A.	BOTTOM OF CONCRETE	F.O.M.	FACE OF MULLION
P.	BOTTOM OF CANOPY	F.O.REC.	FACE OF RECESS
D.	BOTTOM OF CONCRETE CAP	T.O.C.	TOP OF CONCRETE
	BOTTOM OF FRAMING	T.O.CA.	TOP OF CANOPY
	BOTTOM OF KNOCK OUT PANEL	T.O.F.	TOP OF FRAMING
	BOTTOM OF MULLION	T.O.K.O.	TOP OF KNOCK OUT
	BOTTOM OF PANEL	T.O.M.	TOP OF MULLION
E.C.	BOTTOM OF RECESS	T.O.R.	TOP OF REVEAL
	CENTER OF MULLION	T.O.REC.	TOP OF RECESS
	CENTER OF REVEAL	T.O.RI.	TOP OF RIDGE
	FACE OF CONCRETE	T.O.SH.	TOP OF SUNSHADE

DA / PM:	RCB
DRAWN BY:	WM
TOR NO.:	TOR15-0051-01

A5 1

**WARE MALCOMB**  
Leading Design for Commercial Real Estate  
  
drive. unit 103  
L4K 5W4  
  
a business name of WMA Inc.

**PARKHILL DEVELOPMENT**  
**BUILDING 1 & BUILDING 2**  
**8300 & 8400 PARKHILL DRIVE**  
**MILTON, ONTARIO**

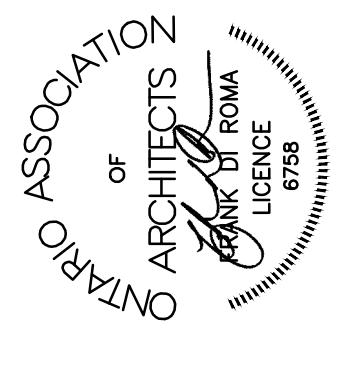
**ABBREVIATIONS**

B.O.C.	BOTTOM OF CONCRETE	F.O.M.	FACE OF MULLION
B.O.C.A.	BOTTOM OF CANOPY	F.O.REC.	FACE OF RECESS
B.O.C.P.	BOTTOM OF CONCRETE CAP	T.O.C.	TOP OF CONCRETE
B.O.F.	BOTTOM OF FRAMING	T.O.C.A.	TOP OF CANOPY
B.O.K.O.	BOTTOM OF KNOCK OUT PANEL	T.O.F.	TOP OF FRAMING
B.O.M.	BOTTOM OF MULLION	T.O.K.O.	TOP OF KNOCK OUT
B.O.R.	BOTTOM OF REVEAL	T.O.M.	TOP OF MULLION
B.O.REC.	BOTTOM OF RECESS	T.O.R.	TOP OF REVEAL
C.O.M.	CENTER OF MULLION	T.O.REC.	TOP OF RECESS
C.O.R.	CENTER OF REVEAL	T.O.R.I.	TOP OF RIDGE
F.O.C.	FACE OF CONCRETE	T.O.S.H.	TOP OF SUNSHADE

**NOTES**

SEE SHEET A7.1 FOR DOOR SCHEDULE
SEE SHEET A0.2 FOR WALL TYPES
201 STRUCTURAL COLUMN.
202 CONCRETE SLAB, PROVIDE SEALER FOR CONCRETE FLOOR AREA.
204 ARCHITECTURAL INSULATED PRECAST CONCRETE PANEL SYSTEM (R15.2 MIN).
207 4" THICK INSULATED METAL PANELS, 26 GAUGE
301 4-PLY BUILT-UP ROOFING OVER R30 RIGID INSULATION OVER VAPOUR RETARDER OVER METAL DECK. SEE STRUCTURAL DWGS.
406 GRADE LEVEL DOOR 12'w X 14'h.
407 DOCK DOOR 9'w X 10'h.
409 WALL PACK MOUNTED, SEE ELECTRICAL.
410 ROOF LINE BEYOND.
411 GRADE BEAM AND FOUNDATION WALL REFER TO STRUCTURAL DRAWINGS
412 RIGID INSULATION MIN. R10 VERTICALLY TO MIN. 610mm BELOW GRADE AND MIN. R18 HORIZONTALLY TO MIN. 610mm TYPICAL

**BRACCOLINI**



**PARKHILL DEVELOPMENT**  
BUILDING 1 & BUILDING 2  
8300 & 8400 PARKHILL DRIVE  
MILTON, ONTARIO

**ENLARGED ELEVATION AND WALL SECTIONS**

DATE: 2017-03-28  
REMARKS: ISSUED FOR CLIENT REVIEW

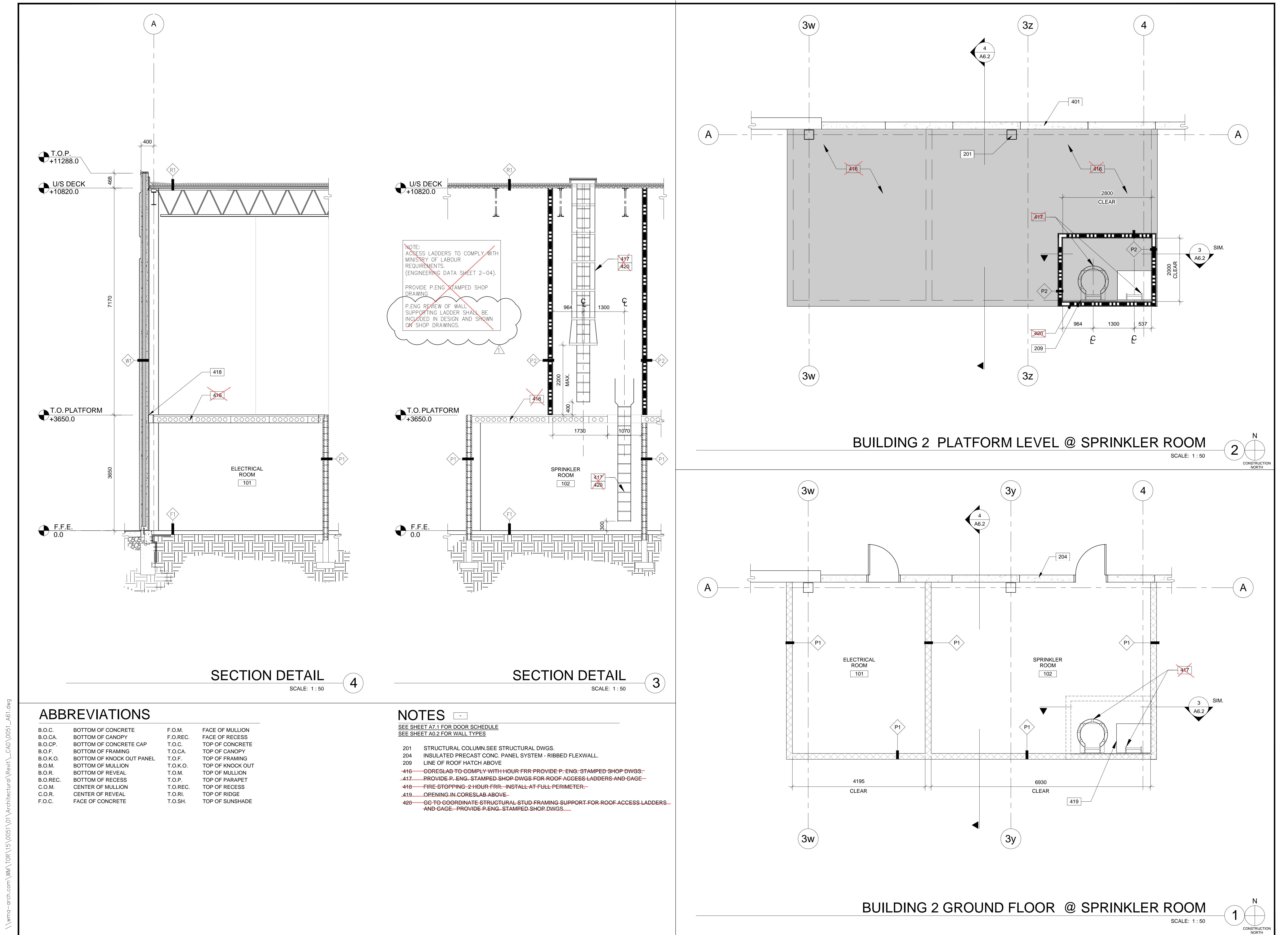
DATE: 2017-04-13  
REMARKS: ISSUED FOR PERMIT

DATE: 2017-11-07  
REMARKS: ISSUED FOR CONSTRUCTION

PA / PM: RCB  
DRAWN BY: WM  
JOB NO.: TOR15-0051-01

SHEET

**A5.2**



WARE MALCOM  
Leading Design for Commercial Real Estate  
planning  
interiors  
graphics  
civil engineering  
180 bass pro mills drive, unit 103  
vaughan, ontario L4K 5W4  
P 905.760.1221  
F 905.248.3344  
a business name of WMA Inc

**BRACCOLINI**

ASSOCIATION OF ARCHITECTS OF ROMA  
LICENCE 6758

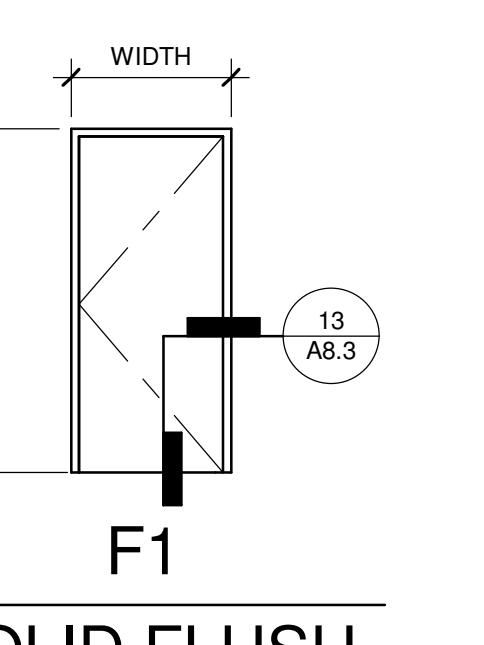
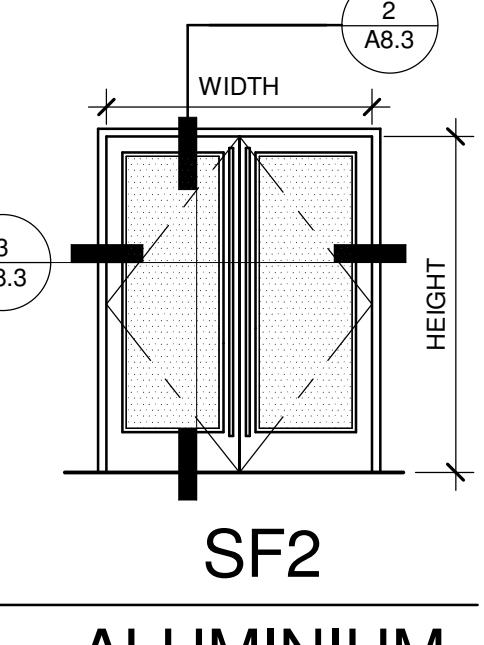
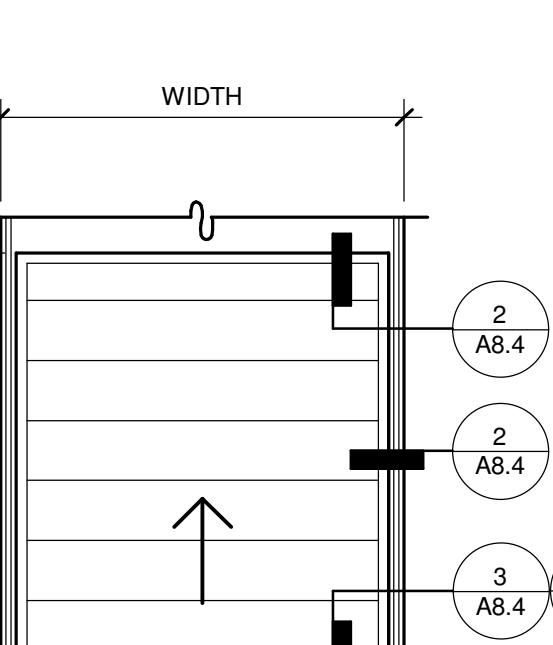
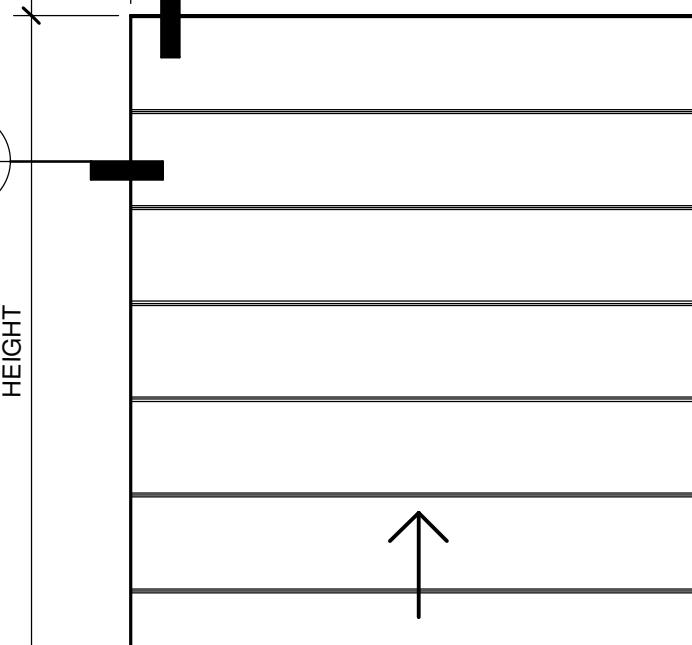
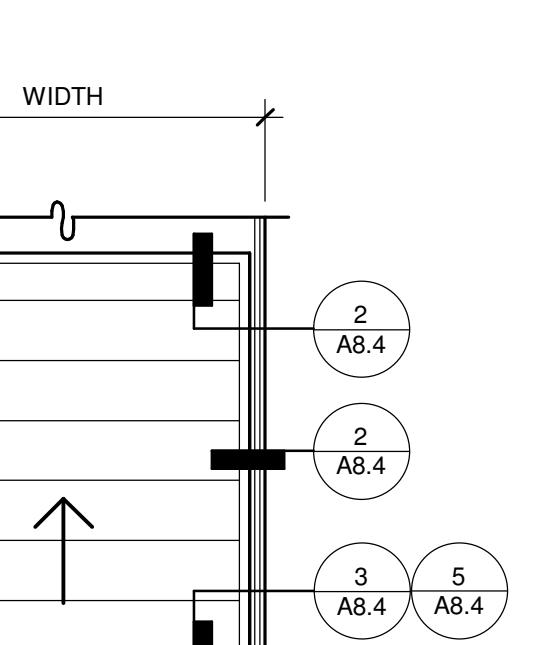
**PARKHILL DEVELOPMENT**  
**BUILDING 2**  
8300 PARKHILL DRIVE  
MILTON, ONTARIO

**BUILDING 2 - ELECTRICAL & SPRINKLER ROOM**

DATE	ISSUED FOR CLIENT REVIEW	REMARKS
2017-05-28	2017-05-30	ISSUED FOR PERMIT
1 2017-11-07		ISSUED FOR CONSTRUCTION

PA / PM: RCB  
DRAWN BY: WM  
JOB NO.: TOR15-0051-01

SHEET  
**A6.2**

DOOR HARDWARE		DOOR SCHEDULE																																																																																																																																																																																																																																																																																																							
HARDWARE SPECIFICATIONS		BUILDING 2																																																																																																																																																																																																																																																																																																							
<b>BUTT HINGES:</b>	<b>MAGNETIC HOLDERS:</b>	<table border="1"> <thead> <tr> <th rowspan="2">DOOR NO.</th> <th rowspan="2">ROOM NAME</th> <th colspan="3">DOOR</th> <th colspan="3">FRAME</th> <th rowspan="2">HDWARE NO.</th> <th rowspan="2">COMMENTS</th> </tr> <tr> <th>TYPE</th> <th>WIDTH</th> <th>HEIGHT</th> <th>THICK</th> <th>MATERIAL</th> <th>FINISH</th> </tr> </thead> <tbody> <tr><td>B100A</td><td>WAREHOUSE</td><td>SF2</td><td>1930</td><td>2415</td><td>44</td><td>ALUMINUM STOREFRONT</td><td>CLEAR ANODIZED</td><td>A2</td><td>INSTALLATION OF POWER DOOR OPERATOR SUBJECT TO INTERIOR ALTERATION PERMIT</td></tr> <tr><td>B100B</td><td>WAREHOUSE</td><td>SF2</td><td>1930</td><td>2415</td><td>44</td><td>ALUMINUM STOREFRONT</td><td>CLEAR ANODIZED</td><td>A2</td><td>INSTALLATION OF POWER DOOR OPERATOR SUBJECT TO INTERIOR ALTERATION PERMIT</td></tr> <tr><td>B101</td><td>ELECTRICAL ROOM</td><td>F1</td><td>965</td><td>2135</td><td>45</td><td>HOLLOW METAL</td><td>PAINTED</td><td>B4</td><td>PROVIDE PANIC HARDWARE TO EXTERIOR EXIT DOORS</td></tr> <tr><td>B102</td><td>SPRINKLER ROOM</td><td>F1</td><td>965</td><td>2135</td><td>45</td><td>HOLLOW METAL</td><td>PAINTED</td><td>B4</td><td>PROVIDE PANIC HARDWARE TO EXTERIOR EXIT DOORS</td></tr> <tr><td>B103</td><td>WAREHOUSE</td><td>F1</td><td>965</td><td>2135</td><td>45</td><td>HOLLOW METAL</td><td>PAINTED</td><td>B4</td><td>PROVIDE PANIC HARDWARE TO EXTERIOR EXIT DOORS</td></tr> <tr><td>B104</td><td>WAREHOUSE</td><td>F1</td><td>965</td><td>2135</td><td>45</td><td>HOLLOW METAL</td><td>PAINTED</td><td>B4</td><td>PROVIDE PANIC HARDWARE TO EXTERIOR EXIT DOORS</td></tr> <tr><td>B105</td><td>WAREHOUSE</td><td>SF2</td><td>1930</td><td>2406</td><td>44</td><td>ALUMINUM STOREFRONT</td><td>CLEAR ANODIZED</td><td>A2</td><td>INSTALLATION OF POWER DOOR OPERATOR SUBJECT TO INTERIOR ALTERATION PERMIT</td></tr> <tr><td>B106</td><td>WAREHOUSE</td><td>SF2</td><td>1930</td><td>2406</td><td>44</td><td>ALUMINUM STOREFRONT</td><td>CLEAR ANODIZED</td><td>A2</td><td>INSTALLATION OF POWER DOOR OPERATOR SUBJECT TO INTERIOR ALTERATION PERMIT</td></tr> <tr><td>B107</td><td>WAREHOUSE</td><td>F1</td><td>965</td><td>2135</td><td>45</td><td>HOLLOW METAL</td><td>PAINTED</td><td>B4</td><td>PROVIDE PANIC HARDWARE TO EXTERIOR EXIT DOORS</td></tr> <tr><td>B108</td><td>WAREHOUSE</td><td>F1</td><td>965</td><td>2135</td><td>45</td><td>HOLLOW METAL</td><td>PAINTED</td><td>B4</td><td>PROVIDE PANIC HARDWARE TO EXTERIOR EXIT DOORS</td></tr> <tr><td>B109</td><td>WAREHOUSE</td><td>F1</td><td>965</td><td>2135</td><td>45</td><td>HOLLOW METAL</td><td>PAINTED</td><td>B4</td><td>PROVIDE PANIC HARDWARE TO EXTERIOR EXIT DOORS</td></tr> <tr><td>B110</td><td>WAREHOUSE</td><td>F1</td><td>965</td><td>2135</td><td>45</td><td>HOLLOW METAL</td><td>PAINTED</td><td>B4</td><td>PROVIDE PANIC HARDWARE TO EXTERIOR EXIT DOORS</td></tr> <tr><td>B111</td><td>WAREHOUSE</td><td>F1</td><td>965</td><td>2135</td><td>45</td><td>HOLLOW METAL</td><td>PAINTED</td><td>B4</td><td>PROVIDE PANIC HARDWARE TO EXTERIOR EXIT DOORS</td></tr> <tr><td>W110</td><td>WAREHOUSE</td><td>SD2</td><td>3660</td><td>4270</td><td>51</td><td>STEEL</td><td>PAINT</td><td></td><td>HARDWARE PER MANUFACTURER; INSULATED DOOR</td></tr> <tr><td>W111</td><td>WAREHOUSE</td><td>SD1</td><td>2745</td><td>3050</td><td>51</td><td>STEEL</td><td>PAINT</td><td></td><td>HARDWARE PER MANUFACTURER; INSULATED DOOR</td></tr> <tr><td>W112</td><td>WAREHOUSE</td><td>SD1</td><td>2745</td><td>3050</td><td>51</td><td>STEEL</td><td>PAINT</td><td></td><td>HARDWARE PER MANUFACTURER; INSULATED DOOR</td></tr> <tr><td>W113</td><td>WAREHOUSE</td><td>SD1</td><td>2745</td><td>3050</td><td>51</td><td>STEEL</td><td>PAINT</td><td></td><td>HARDWARE PER MANUFACTURER; INSULATED DOOR</td></tr> <tr><td>W114</td><td>WAREHOUSE</td><td>SD1</td><td>2745</td><td>3050</td><td>51</td><td>STEEL</td><td>PAINT</td><td></td><td>HARDWARE PER MANUFACTURER; INSULATED DOOR</td></tr> <tr><td>W115</td><td>WAREHOUSE</td><td>SD1</td><td>2745</td><td>3050</td><td>51</td><td>STEEL</td><td>PAINT</td><td></td><td>HARDWARE PER MANUFACTURER; INSULATED DOOR</td></tr> <tr><td>W116</td><td>WAREHOUSE</td><td>SD1</td><td>2745</td><td>3050</td><td>51</td><td>STEEL</td><td>PAINT</td><td></td><td>HARDWARE PER MANUFACTURER; INSULATED DOOR</td></tr> <tr><td>W117</td><td>WAREHOUSE</td><td>SD1</td><td>2745</td><td>3050</td><td>51</td><td>STEEL</td><td>PAINT</td><td></td><td>HARDWARE PER MANUFACTURER; INSULATED DOOR</td></tr> <tr><td>W118</td><td>WAREHOUSE</td><td>SD1</td><td>2745</td><td>3050</td><td>51</td><td>STEEL</td><td>PAINT</td><td></td><td>HARDWARE PER MANUFACTURER; INSULATED DOOR</td></tr> <tr><td>W119</td><td>WAREHOUSE</td><td>SD1</td><td>2745</td><td>3050</td><td>51</td><td>STEEL</td><td>PAINT</td><td></td><td>HARDWARE PER MANUFACTURER; INSULATED DOOR</td></tr> <tr><td>W120</td><td>WAREHOUSE</td><td>SD1</td><td>2745</td><td>3050</td><td>51</td><td>STEEL</td><td>PAINT</td><td></td><td>HARDWARE PER MANUFACTURER; INSULATED DOOR</td></tr> <tr><td>W121</td><td>WAREHOUSE</td><td>SD1</td><td>2745</td><td>3050</td><td>51</td><td>STEEL</td><td>PAINT</td><td></td><td>HARDWARE PER MANUFACTURER; INSULATED DOOR</td></tr> <tr><td>W122</td><td>WAREHOUSE</td><td>SD1</td><td>2745</td><td>3050</td><td>51</td><td>STEEL</td><td>PAINT</td><td></td><td>HARDWARE PER MANUFACTURER; 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COMMENTS	TYPE	WIDTH	HEIGHT	THICK	MATERIAL	FINISH	B100A	WAREHOUSE	SF2	1930	2415	44	ALUMINUM STOREFRONT	CLEAR ANODIZED	A2	INSTALLATION OF POWER DOOR OPERATOR SUBJECT TO INTERIOR ALTERATION PERMIT	B100B	WAREHOUSE	SF2	1930	2415	44	ALUMINUM STOREFRONT	CLEAR ANODIZED	A2	INSTALLATION OF POWER DOOR OPERATOR SUBJECT TO INTERIOR ALTERATION PERMIT	B101	ELECTRICAL ROOM	F1	965	2135	45	HOLLOW METAL	PAINTED	B4	PROVIDE PANIC HARDWARE TO EXTERIOR EXIT DOORS	B102	SPRINKLER ROOM	F1	965	2135	45	HOLLOW METAL	PAINTED	B4	PROVIDE PANIC HARDWARE TO EXTERIOR EXIT DOORS	B103	WAREHOUSE	F1	965	2135	45	HOLLOW METAL	PAINTED	B4	PROVIDE PANIC HARDWARE TO EXTERIOR EXIT DOORS	B104	WAREHOUSE	F1	965	2135	45	HOLLOW METAL	PAINTED	B4	PROVIDE PANIC HARDWARE TO EXTERIOR EXIT DOORS	B105	WAREHOUSE	SF2	1930	2406	44	ALUMINUM STOREFRONT	CLEAR ANODIZED	A2	INSTALLATION OF POWER DOOR OPERATOR SUBJECT TO INTERIOR ALTERATION PERMIT	B106	WAREHOUSE	SF2	1930	2406	44	ALUMINUM STOREFRONT	CLEAR ANODIZED	A2	INSTALLATION OF POWER DOOR OPERATOR SUBJECT TO INTERIOR ALTERATION PERMIT	B107	WAREHOUSE	F1	965	2135	45	HOLLOW METAL	PAINTED	B4	PROVIDE PANIC HARDWARE TO EXTERIOR EXIT DOORS	B108	WAREHOUSE	F1	965	2135	45	HOLLOW METAL	PAINTED	B4	PROVIDE PANIC HARDWARE TO EXTERIOR EXIT DOORS	B109	WAREHOUSE	F1	965	2135	45	HOLLOW METAL	PAINTED	B4	PROVIDE PANIC HARDWARE TO EXTERIOR EXIT DOORS	B110	WAREHOUSE	F1	965	2135	45	HOLLOW METAL	PAINTED	B4	PROVIDE PANIC HARDWARE TO EXTERIOR EXIT DOORS	B111	WAREHOUSE	F1	965	2135	45	HOLLOW METAL	PAINTED	B4	PROVIDE PANIC HARDWARE TO EXTERIOR EXIT DOORS	W110	WAREHOUSE	SD2	3660	4270	51	STEEL	PAINT		HARDWARE PER MANUFACTURER; INSULATED DOOR	W111	WAREHOUSE	SD1	2745	3050	51	STEEL	PAINT		HARDWARE PER MANUFACTURER; INSULATED DOOR	W112	WAREHOUSE	SD1	2745	3050	51	STEEL	PAINT		HARDWARE PER MANUFACTURER; INSULATED DOOR	W113	WAREHOUSE	SD1	2745	3050	51	STEEL	PAINT		HARDWARE PER MANUFACTURER; INSULATED DOOR	W114	WAREHOUSE	SD1	2745	3050	51	STEEL	PAINT		HARDWARE PER MANUFACTURER; INSULATED DOOR	W115	WAREHOUSE	SD1	2745	3050	51	STEEL	PAINT		HARDWARE PER MANUFACTURER; INSULATED DOOR	W116	WAREHOUSE	SD1	2745	3050	51	STEEL	PAINT		HARDWARE PER MANUFACTURER; INSULATED DOOR	W117	WAREHOUSE	SD1	2745	3050	51	STEEL	PAINT		HARDWARE PER MANUFACTURER; INSULATED DOOR	W118	WAREHOUSE	SD1	2745	3050	51	STEEL	PAINT		HARDWARE PER MANUFACTURER; INSULATED DOOR	W119	WAREHOUSE	SD1	2745	3050	51	STEEL	PAINT		HARDWARE PER MANUFACTURER; INSULATED DOOR	W120	WAREHOUSE	SD1	2745	3050	51	STEEL	PAINT		HARDWARE PER MANUFACTURER; INSULATED DOOR	W121	WAREHOUSE	SD1	2745	3050	51	STEEL	PAINT		HARDWARE PER MANUFACTURER; INSULATED DOOR	W122	WAREHOUSE	SD1	2745	3050	51	STEEL	PAINT		HARDWARE PER MANUFACTURER; INSULATED DOOR	W123	WAREHOUSE	SD2	3660	4270	51	STEEL	PAINT		HARDWARE PER MANUFACTURER; INSULATED DOOR
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B100B	WAREHOUSE	SF2	1930	2415	44	ALUMINUM STOREFRONT	CLEAR ANODIZED	A2	INSTALLATION OF POWER DOOR OPERATOR SUBJECT TO INTERIOR ALTERATION PERMIT																																																																																																																																																																																																																																																																																																
B101	ELECTRICAL ROOM	F1	965	2135	45	HOLLOW METAL	PAINTED	B4	PROVIDE PANIC HARDWARE TO EXTERIOR EXIT DOORS																																																																																																																																																																																																																																																																																																
B102	SPRINKLER ROOM	F1	965	2135	45	HOLLOW METAL	PAINTED	B4	PROVIDE PANIC HARDWARE TO EXTERIOR EXIT DOORS																																																																																																																																																																																																																																																																																																
B103	WAREHOUSE	F1	965	2135	45	HOLLOW METAL	PAINTED	B4	PROVIDE PANIC HARDWARE TO EXTERIOR EXIT DOORS																																																																																																																																																																																																																																																																																																
B104	WAREHOUSE	F1	965	2135	45	HOLLOW METAL	PAINTED	B4	PROVIDE PANIC HARDWARE TO EXTERIOR EXIT DOORS																																																																																																																																																																																																																																																																																																
B105	WAREHOUSE	SF2	1930	2406	44	ALUMINUM STOREFRONT	CLEAR ANODIZED	A2	INSTALLATION OF POWER DOOR OPERATOR SUBJECT TO INTERIOR ALTERATION PERMIT																																																																																																																																																																																																																																																																																																
B106	WAREHOUSE	SF2	1930	2406	44	ALUMINUM STOREFRONT	CLEAR ANODIZED	A2	INSTALLATION OF POWER DOOR OPERATOR SUBJECT TO INTERIOR ALTERATION PERMIT																																																																																																																																																																																																																																																																																																
B107	WAREHOUSE	F1	965	2135	45	HOLLOW METAL	PAINTED	B4	PROVIDE PANIC HARDWARE TO EXTERIOR EXIT DOORS																																																																																																																																																																																																																																																																																																
B108	WAREHOUSE	F1	965	2135	45	HOLLOW METAL	PAINTED	B4	PROVIDE PANIC HARDWARE TO EXTERIOR EXIT DOORS																																																																																																																																																																																																																																																																																																
B109	WAREHOUSE	F1	965	2135	45	HOLLOW METAL	PAINTED	B4	PROVIDE PANIC HARDWARE TO EXTERIOR EXIT DOORS																																																																																																																																																																																																																																																																																																
B110	WAREHOUSE	F1	965	2135	45	HOLLOW METAL	PAINTED	B4	PROVIDE PANIC HARDWARE TO EXTERIOR EXIT DOORS																																																																																																																																																																																																																																																																																																
B111	WAREHOUSE	F1	965	2135	45	HOLLOW METAL	PAINTED	B4	PROVIDE PANIC HARDWARE TO EXTERIOR EXIT DOORS																																																																																																																																																																																																																																																																																																
W110	WAREHOUSE	SD2	3660	4270	51	STEEL	PAINT		HARDWARE PER MANUFACTURER; INSULATED DOOR																																																																																																																																																																																																																																																																																																
W111	WAREHOUSE	SD1	2745	3050	51	STEEL	PAINT		HARDWARE PER MANUFACTURER; INSULATED DOOR																																																																																																																																																																																																																																																																																																
W112	WAREHOUSE	SD1	2745	3050	51	STEEL	PAINT		HARDWARE PER MANUFACTURER; INSULATED DOOR																																																																																																																																																																																																																																																																																																
W113	WAREHOUSE	SD1	2745	3050	51	STEEL	PAINT		HARDWARE PER MANUFACTURER; INSULATED DOOR																																																																																																																																																																																																																																																																																																
W114	WAREHOUSE	SD1	2745	3050	51	STEEL	PAINT		HARDWARE PER MANUFACTURER; INSULATED DOOR																																																																																																																																																																																																																																																																																																
W115	WAREHOUSE	SD1	2745	3050	51	STEEL	PAINT		HARDWARE PER MANUFACTURER; INSULATED DOOR																																																																																																																																																																																																																																																																																																
W116	WAREHOUSE	SD1	2745	3050	51	STEEL	PAINT		HARDWARE PER MANUFACTURER; INSULATED DOOR																																																																																																																																																																																																																																																																																																
W117	WAREHOUSE	SD1	2745	3050	51	STEEL	PAINT		HARDWARE PER MANUFACTURER; INSULATED DOOR																																																																																																																																																																																																																																																																																																
W118	WAREHOUSE	SD1	2745	3050	51	STEEL	PAINT		HARDWARE PER MANUFACTURER; INSULATED DOOR																																																																																																																																																																																																																																																																																																
W119	WAREHOUSE	SD1	2745	3050	51	STEEL	PAINT		HARDWARE PER MANUFACTURER; INSULATED DOOR																																																																																																																																																																																																																																																																																																
W120	WAREHOUSE	SD1	2745	3050	51	STEEL	PAINT		HARDWARE PER MANUFACTURER; INSULATED DOOR																																																																																																																																																																																																																																																																																																
W121	WAREHOUSE	SD1	2745	3050	51	STEEL	PAINT		HARDWARE PER MANUFACTURER; INSULATED DOOR																																																																																																																																																																																																																																																																																																
W122	WAREHOUSE	SD1	2745	3050	51	STEEL	PAINT		HARDWARE PER MANUFACTURER; INSULATED DOOR																																																																																																																																																																																																																																																																																																
W123	WAREHOUSE	SD2	3660	4270	51	STEEL	PAINT		HARDWARE PER MANUFACTURER; INSULATED DOOR																																																																																																																																																																																																																																																																																																
<b>PIVOTS:</b>	<b>WEATHER STRIPPING:</b>																																																																																																																																																																																																																																																																																																								
<b>CLOSING DEVICES:</b>	<b>LATCHGUARDS:</b>																																																																																																																																																																																																																																																																																																								
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<b>OPERATING HARDWARE</b>																																																																																																																																																																																																																																																																																																									
<b>SINGLE OR PAIR OF GLASS DOORS</b>	<b>SINGLE WOOD OR HOLLOW METAL DOOR</b>	<b>PAIR WOOD OR HOLLOW METAL DOORS</b>	DOOR TYPES										NOTES																																																																																																																																																																																																																																																																																												
A1	SINGLE STOREFRONT GLASS DOOR: OPERATING HARDWARE MS 1850S CYLINDER GUARD MS 4043 EXIT INDICATOR 4089 THRESHOLD 200D	B1	STANDARD DOOR: BUTT HINGES STOP 450 T88 W1276 CCS	C1	STANDARD DOOR: BUTT HINGES STOP BOLTS 450 T88 W1276 CCS FB8 OR FB7	 <p><b>F1</b> <b>SOLID FLUSH</b></p>										<p>SEE SHEET A0.2 FOR GENERAL DOOR NOTES</p> <p>1. REFER TO THE PARTITION PLAN AND SPECIFICATIONS (IF PROVIDED) FOR ADDITIONAL DOOR INFORMATION.</p> <p>2. DOOR FRAMES TO BE WESTERN INTEGRATED/TIMELY.</p> <p>3. HOLLOW METAL DOORS TO BE PAINTED SAME COLOR AS THE ADJACENT WALL; FINISH TO BE SEMI GLOSS. SEE FINISH SCHEDULE FOR ADDITIONAL INFORMATION.</p> <p>4. PROVIDE RATED WIRE GLASS IN RATED ASSEMBLIES, U.O.N.</p> <p>5. FIELD VERIFY OPENING WIDTH AND HEIGHT FOR ALL NEW DOORS IN EXISTING OPENINGS.</p> <p>6. ALL HOLLOW METAL FRAMES TO BE WELDED TYPE, U.O.N.</p> <p>7. RATED DOORS SHALL HAVE AUTOMATIC CLOSERS AND COMPLY WITH REQUIREMENTS OF ALL GOVERNING CODES &amp; STANDARDS.</p>																																																																																																																																																																																																																																																																																									
A2	PAIR OF STOREFRONT GLASS DOOR: (3 POINT LOCK) OPERATING HARDWARE MS 1850S THRESHOLD BOLT 4015 HEADER BOLT 4085 CYLINDER GUARD MS 4043 EXIT INDICATOR 4089 THRESHOLD 200D	B2	STANDARD DOOR WITH CLOSER: BUTT HINGES STOP CLOSER 450 T88 W1276 CCS 6581 BF	C2	STANDARD DOOR WITH CLOSER: BUTT HINGES STOP CLOSER BOLTS 450 T88 W1276 CCS 8581 BF FB8 OR FB7	 <p><b>SF2</b></p>																																																																																																																																																																																																																																																																																																			
A3	SINGLE P-B STYLE TEMPERED GLASS DOOR BY TEMPGLASS WESTERN, INC. HEADERS DS-4022 CYLINDER GUARD MS 4043 TAPERED RAIL DS-00 CLOSER RTS-85	B3	FIRE RATED DOOR: BUTT HINGES STOP CLOSER SEALS 450 T88 W1276 CCS 8581 BF S88	C3	FIRE RATED DOOR: BUTT HINGES STOP CLOSER SEALS BOLTS ASTRAGAL COORDINATOR 450 T88 W1276 CCS 8581 BF S88 FB8 OR FB7 357D COR2	 <p><b>SD1</b></p>																																																																																																																																																																																																																																																																																																			
A4	SINGLE STOREFRONT GLASS DOOR: OPERATING HARDWARE MS 1850S CYLINDER GUARD MS 4043 EXIT INDICATOR 4089 THRESHOLD 200D	B4	EXTERIOR DOOR: BUTT HINGES STOP CLOSER SEALS LATCH GUARD THRESHOLD DOOR SHOE 450 T88 W1276 CCS 8581 BF S88 FB8 OR FB7 357D 216DV 200D	C4	EXTERIOR DOOR: BUTT HINGES STOP CLOSER SEALS LATCH GUARD THRESHOLD DOOR SHOE 450 T88 W1276 CCS 8581 BF S88 FB8 OR FB7 357D 216DV 200D	 <p><b>SD2</b></p>																																																																																																																																																																																																																																																																																																			
A5	PAIR OF STOREFRONT GLASS DOOR: (3 POINT LOCK) OPERATING HARDWARE MS 1850S THRESHOLD BOLT 4015 HEADER BOLT 4085 CYLINDER GUARD MS 4043 EXIT INDICATOR 4089 THRESHOLD 200D			C5	BI-PASS DOOR: TRACK ASSEMBLY SUPPLIER	 <p><b>DOCK SECTIONAL</b></p>																																																																																																																																																																																																																																																																																																			
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WARE MALCOLM  
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Vaughan Ontario, Canada L4K 5N4  
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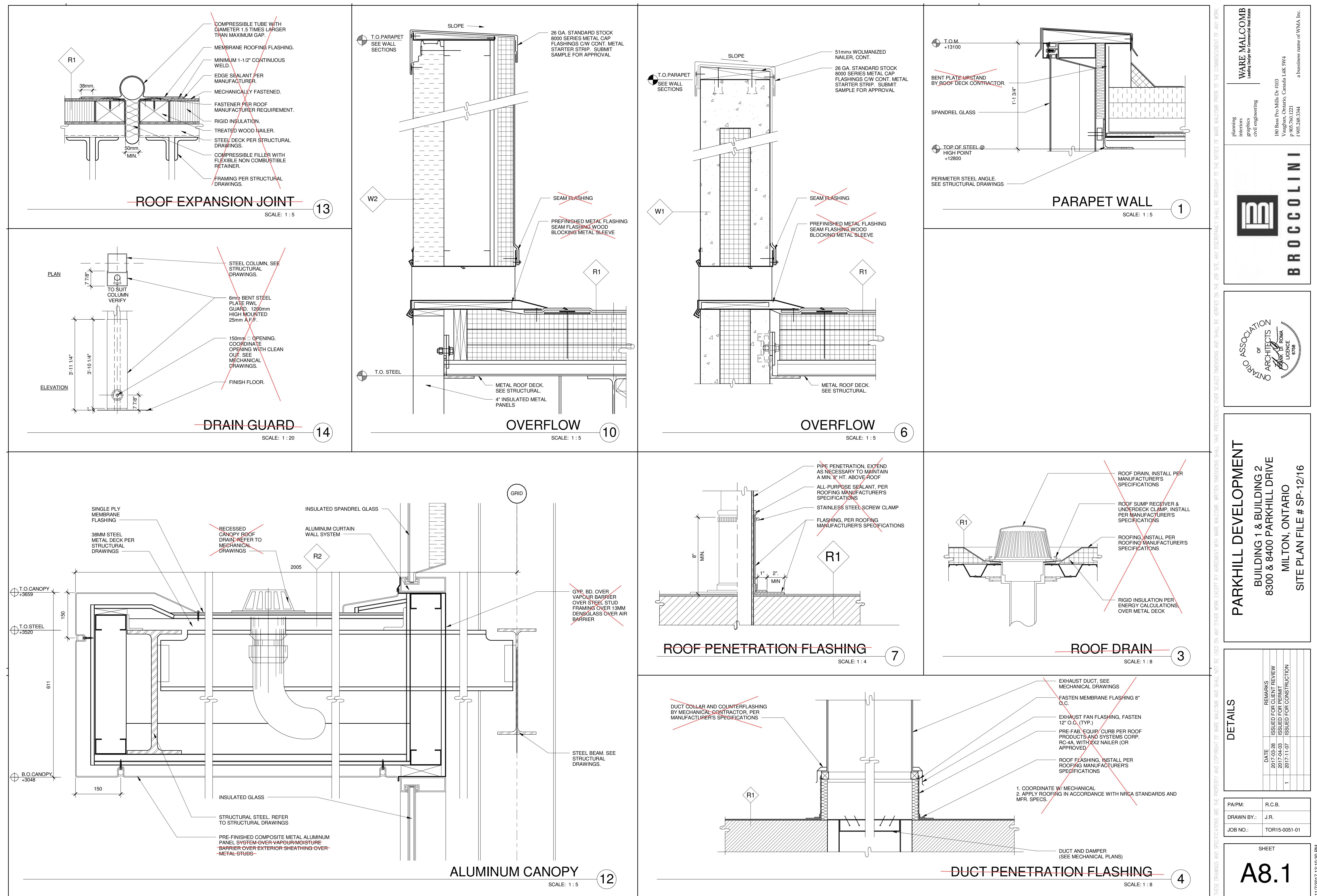
**BRACCOLINI**

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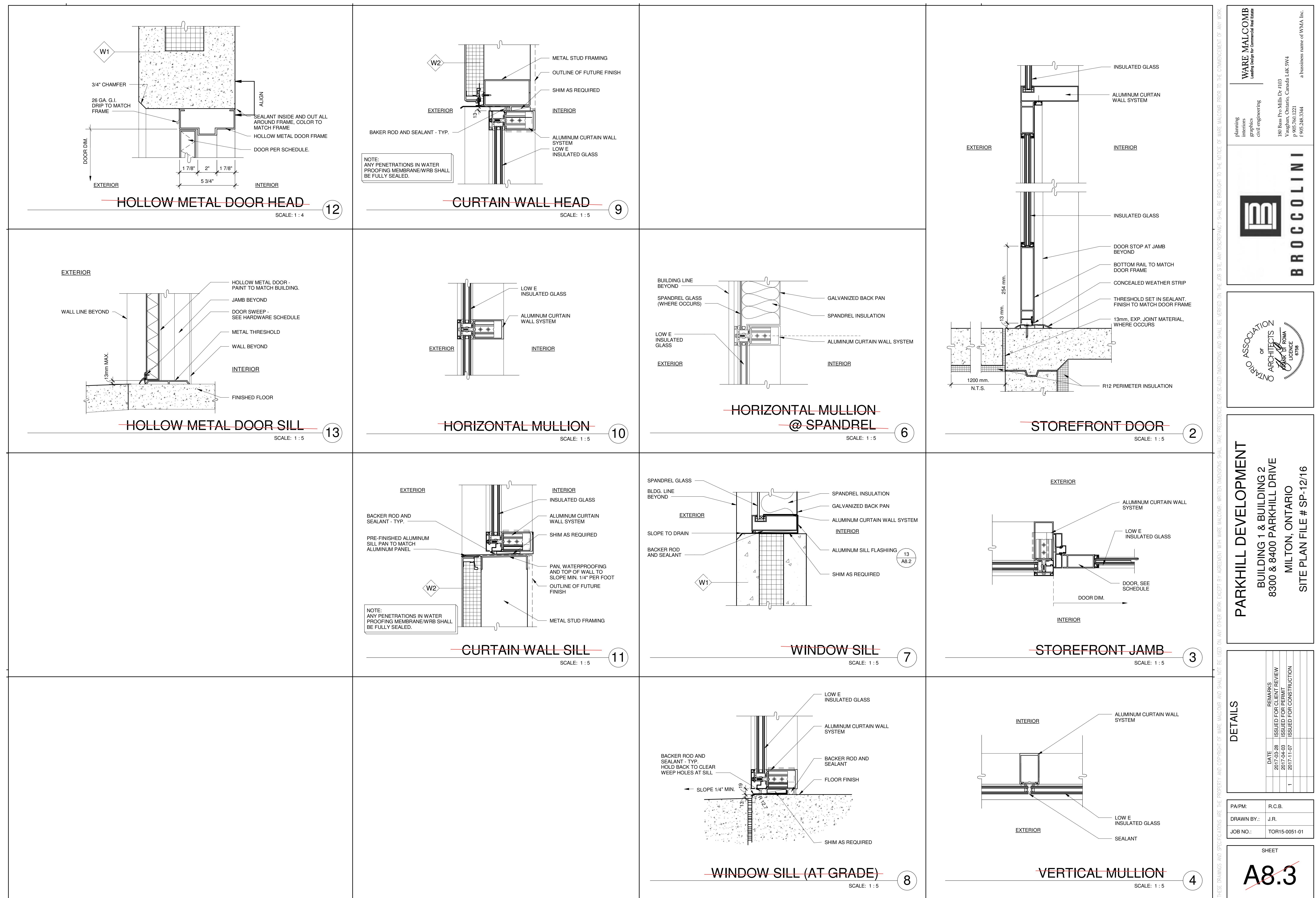
DOOR SCHEDULE

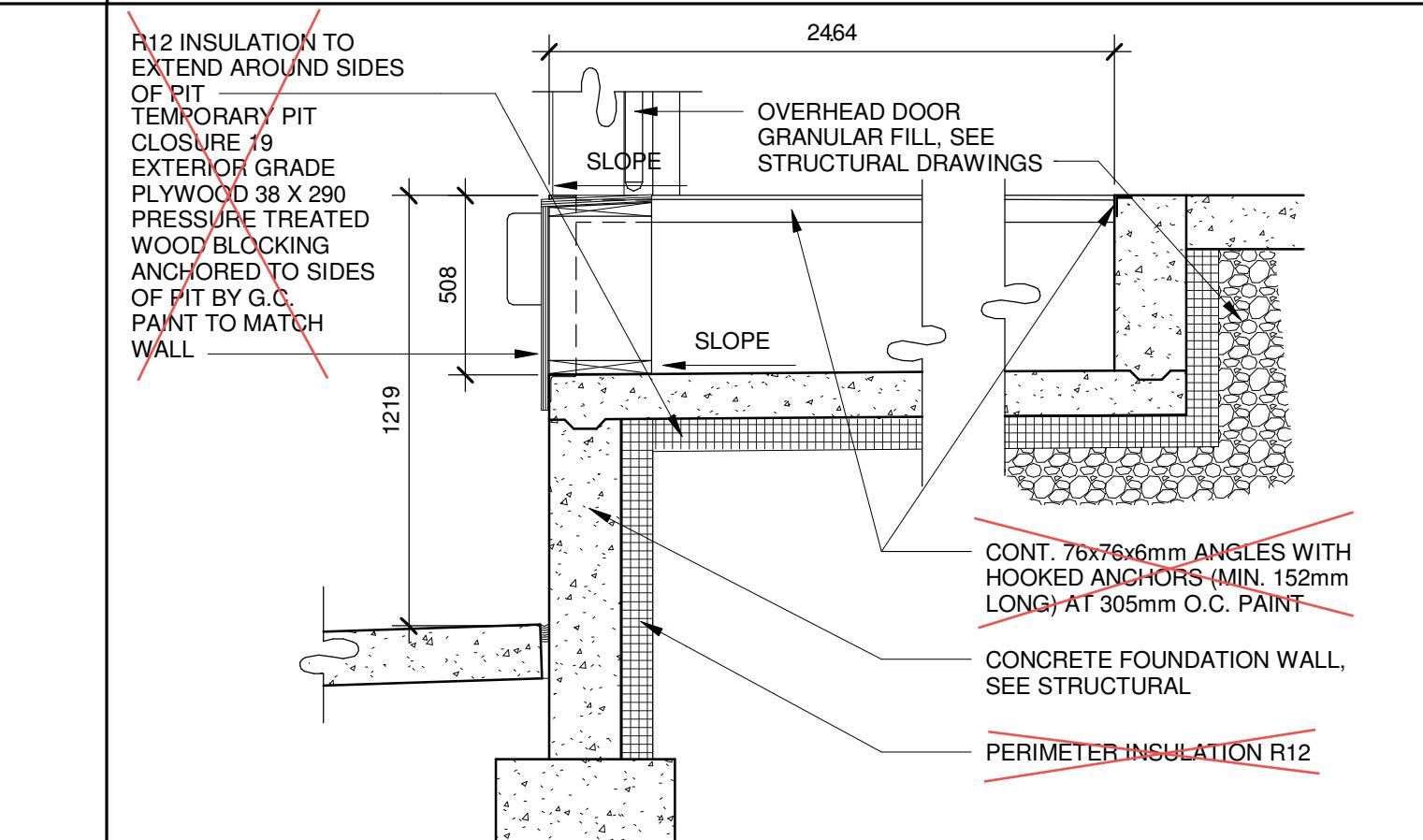
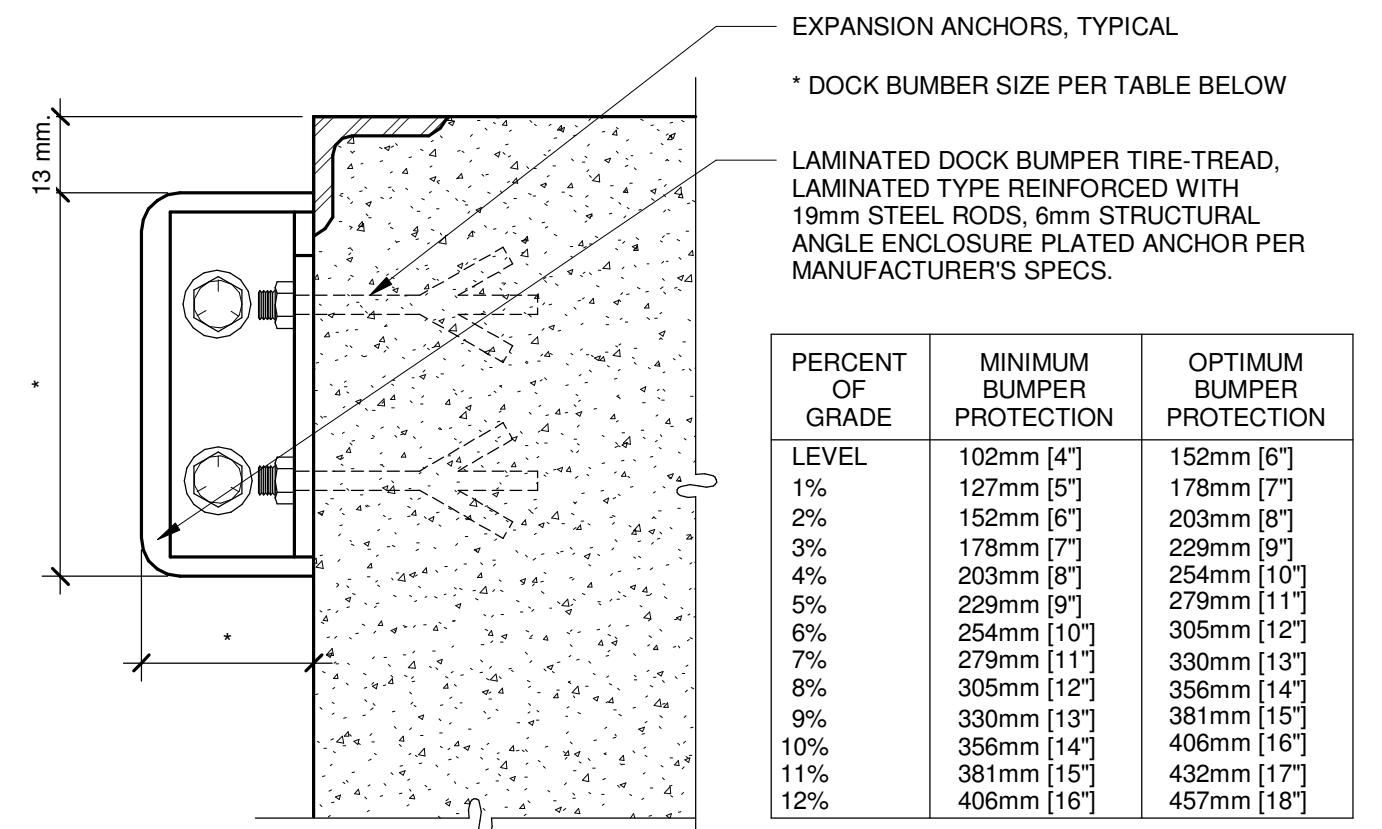
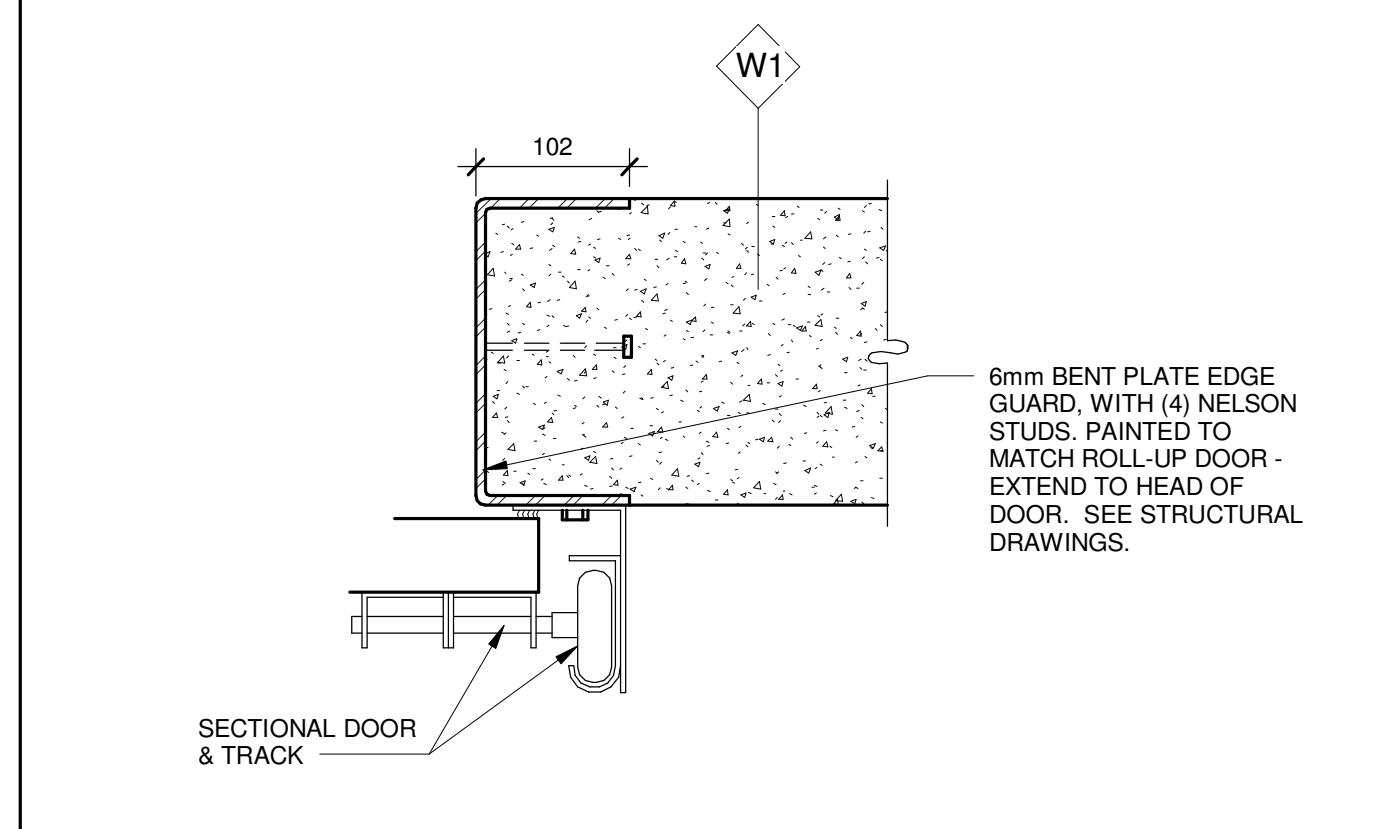
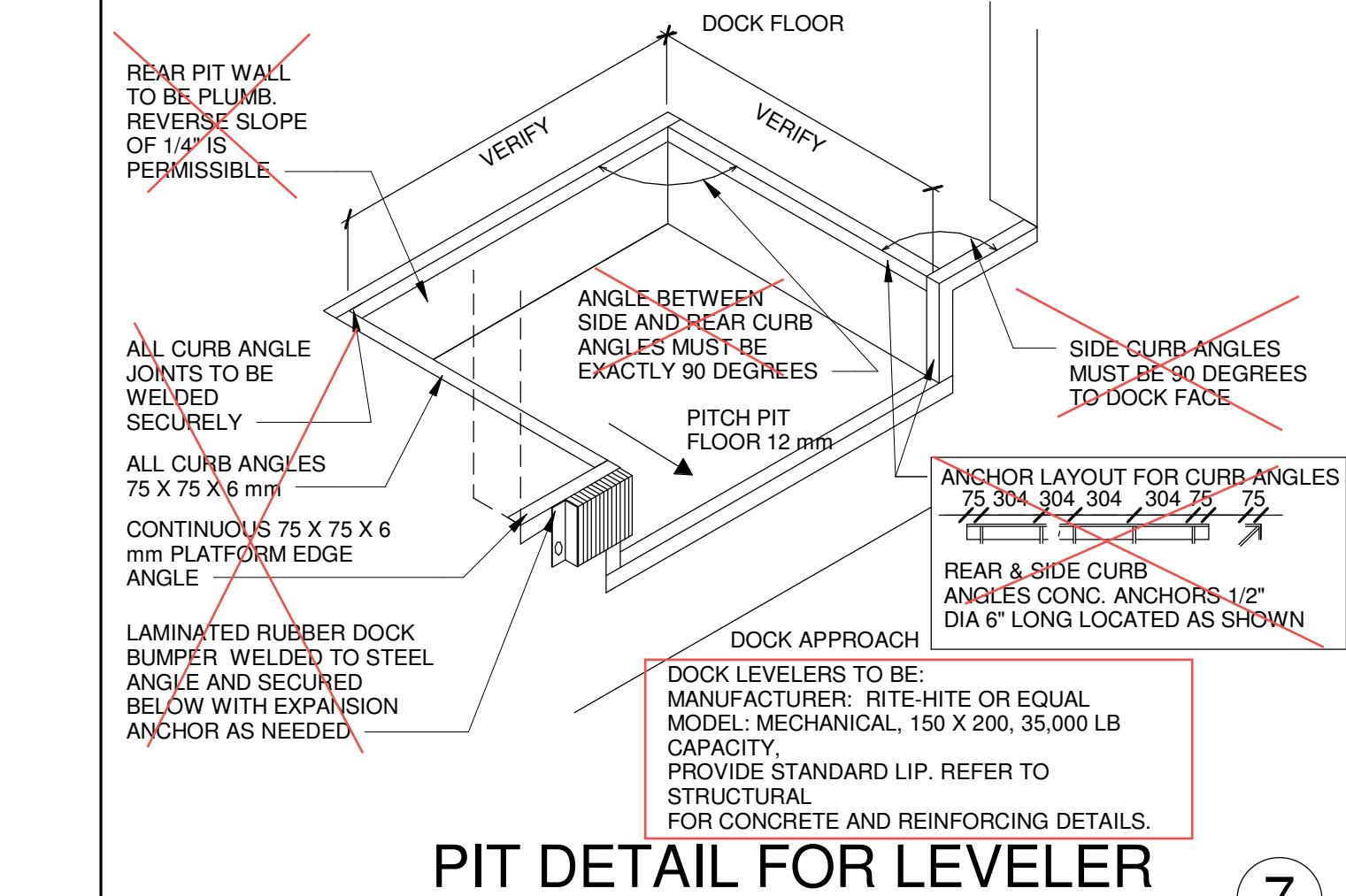
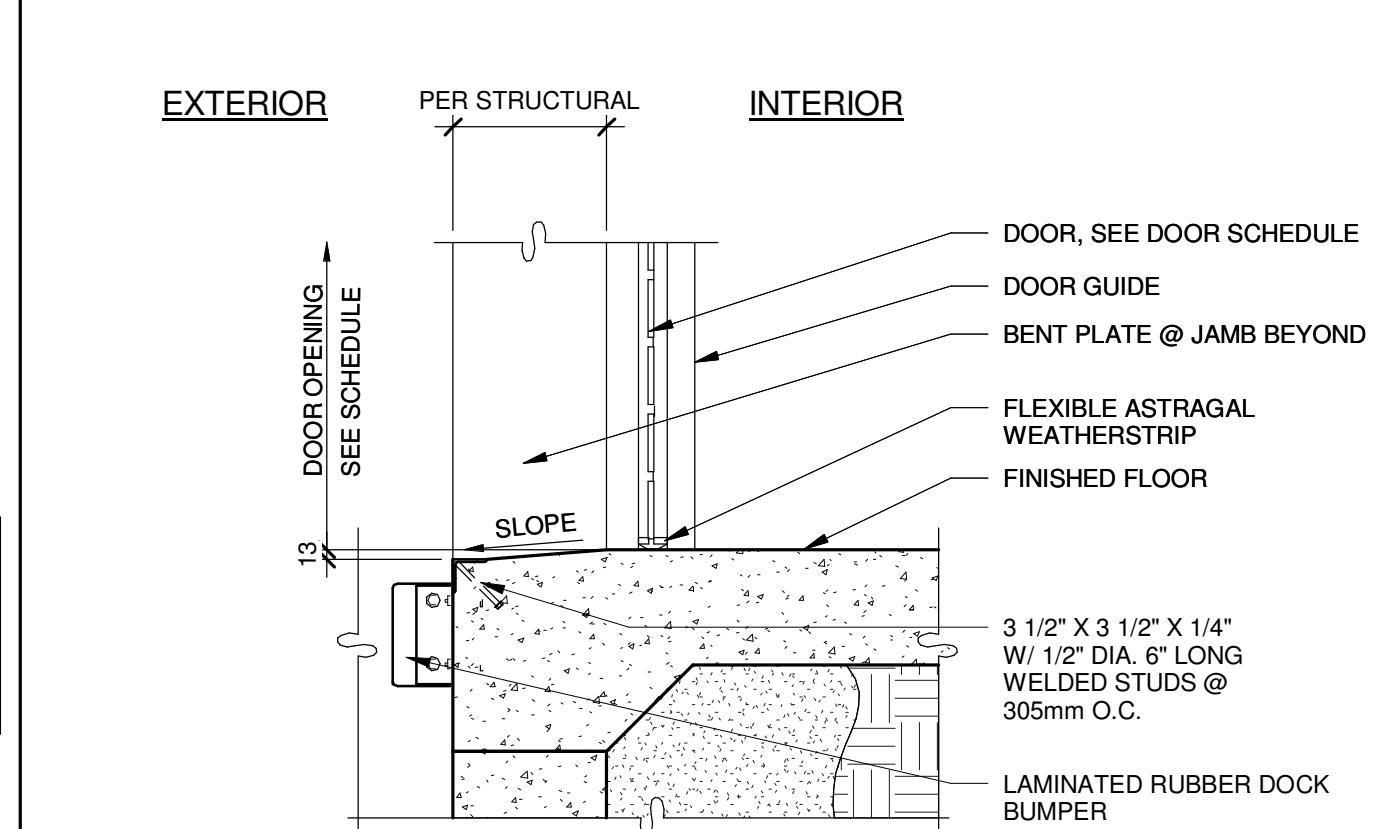
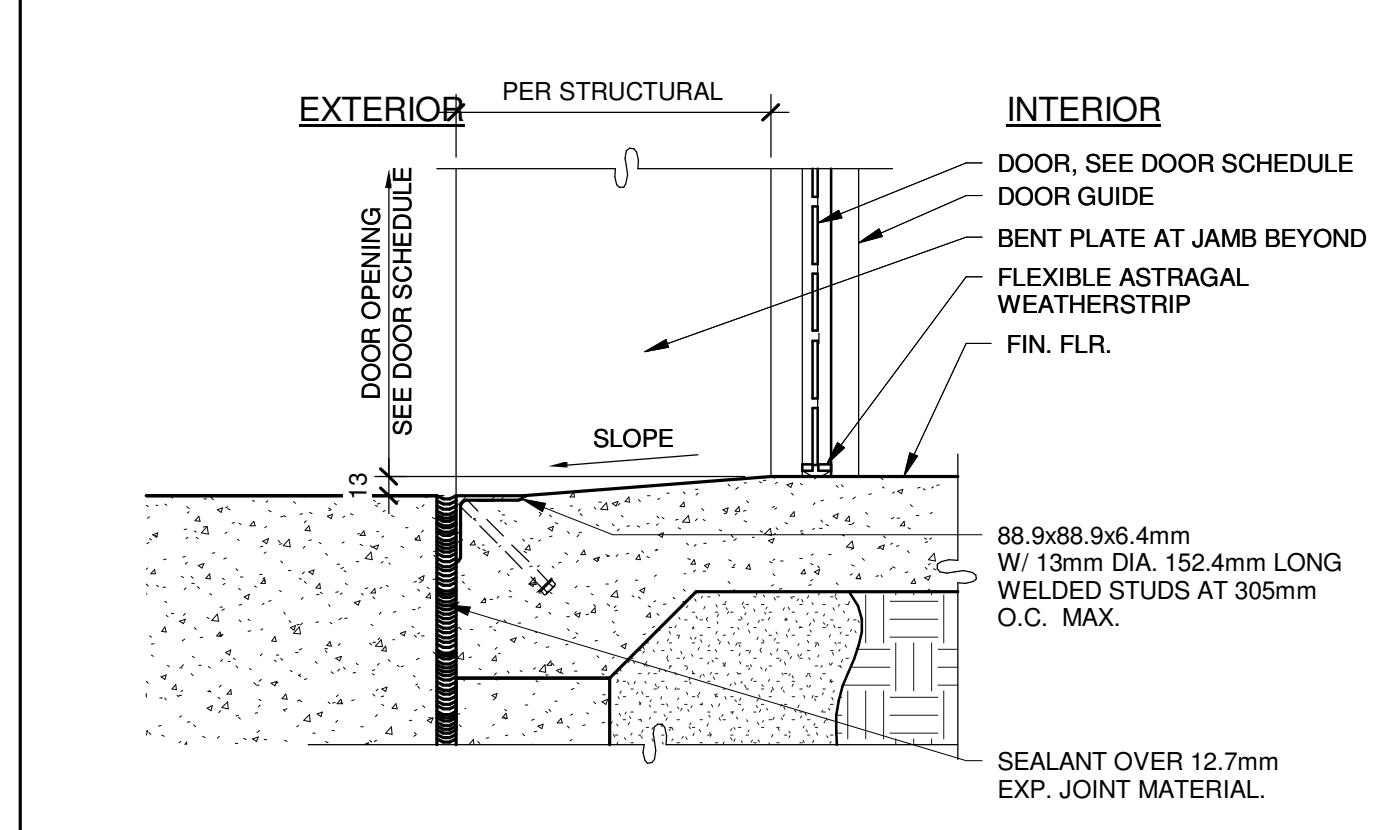
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DRAWN BY: J.R.  
JOB NO.: TOR15-0051-01  
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DOCK LEVELER PIT SECTION  
SCALE: 1 : 20DOCK BUMPER  
SCALE: 1 : 5SECTIONAL DOOR HEAD GUARD  
SCALE: 1 : 5SECTIONAL DOOR JAMB W/ GUARD  
SCALE: 1 : 5PIT DETAIL FOR LEVELER  
SCALE: 1 : 1DOOR SILL AT DOCK HIGH  
SCALE: 1 : 10DOOR SILL AT GRADE  
SCALE: 1 : 5

**BRACCOLINI**  
Planning  
Interior  
graphics  
civil engineering

**ASSOCIATION OF ARCHITECTS OF ROMA**  
LICENCE 6758

**PARKHILL DEVELOPMENT**  
BUILDING 1 & BUILDING 2  
8300 & 8400 PARKHILL DRIVE  
MILTON, ONTARIO  
SITE PLAN FILE # SP-12/16

DETAILS	
DATE	REMARKS
2017-03-28	ISSUED FOR CLIENT REVIEW
2017-04-03	ISSUED FOR PERMIT
1	ISSUED FOR CONSTRUCTION

P/APM:	N. TRAN
DRAWN BY.:	S.D.
JOB NO.:	TOR15-0051-01

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