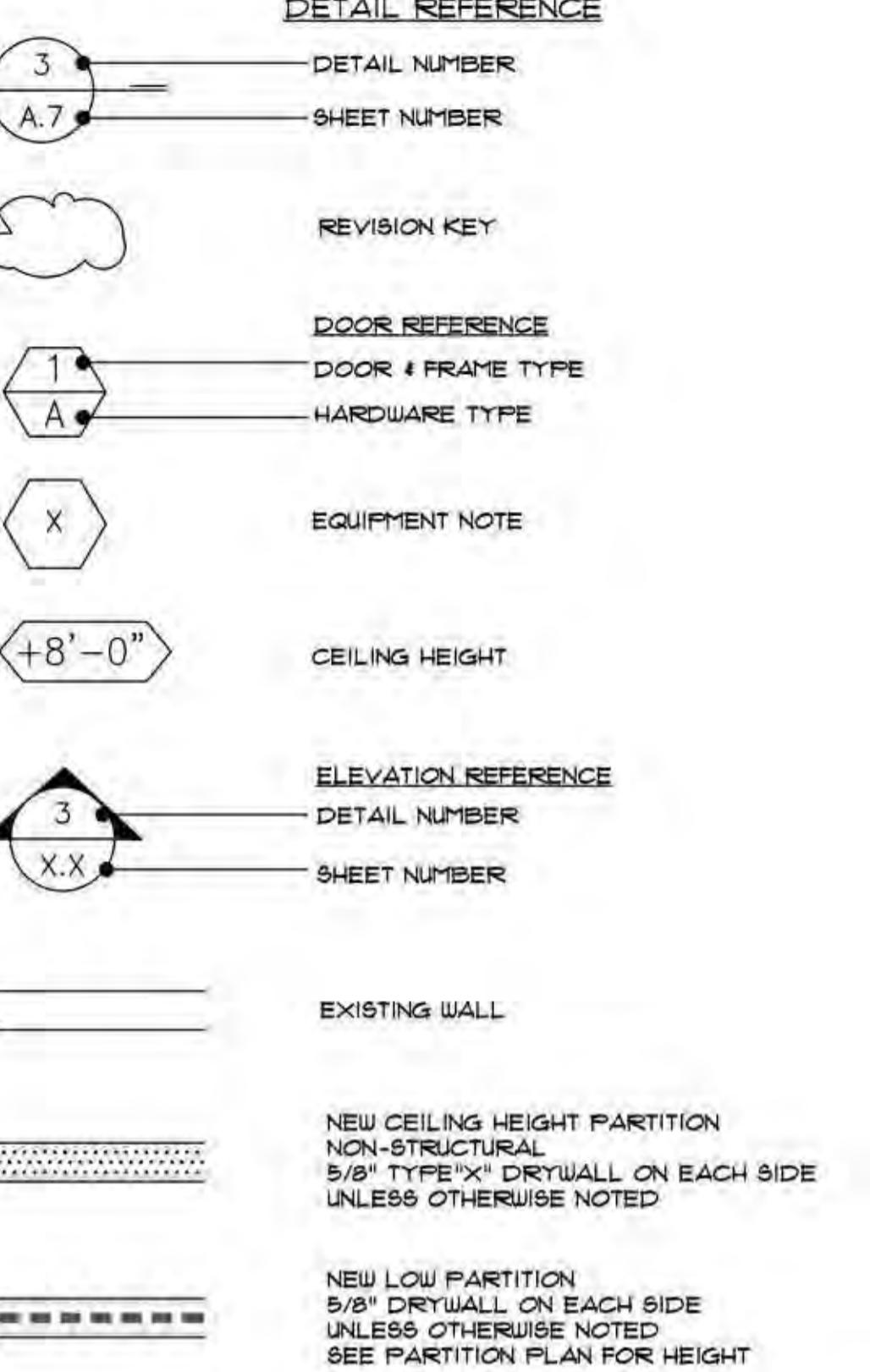


## SYMBOLS



## GENERAL NOTES

**BIDDING**  
1) ALL ITEMS AND INSTALLATIONS BY EQUIPMENT CONTRACTOR, DECOR CONTRACTORS AND SIGN FABRICATOR ARE UNDER A SEPARATE CONTRACT AND NOT PART OF GENERAL CONSTRUCTION BID. GENERAL CONTRACTOR AND SUBS ARE RESPONSIBLE FOR RELATED WORK AS OUTLINED IN THE DRAWINGS, E.G. PROVIDE POWER TO SPECIFIED LOCATION FOR SIGN, BUT SIGN CONTRACTOR SHALL FABRICATE ITEM AND INSTALL.

2) EXTERIOR ILLUMINATED OR NON-ILLUMINATED SIGN, AWNING, IF APPLICABLE, ETC. SHALL BE UNDER SEPARATE CONTRACTS AND PERMITS. APPLICATION FOR PERMITS SHALL BE FILED WITH LOCAL AUTHORITY PRIOR TO FABRICATION AND INSTALLATION.

**CHANGE IN THE WORK**  
1. THE CONTRACTOR SHALL NOT MAKE AN ADDITION, DELETION, OR REVISION TO THE CONTRACT DOCUMENTS WHICH WOULD AFFECT THE CONTRACT SUM OR CONTRACT TIME WITHOUT A WRITTEN CHANGE ORDER AUTHORIZED AND SIGNED BY BOTH THE OWNER AND ARCHITECT.

**APPLICATION CODES AND REGULATIONS:**  
2016 CALIFORNIA BUILDING CODE  
2016 CALIFORNIA FIRE CODE  
2016 CALIFORNIA MECHANICAL CODE  
2016 CALIFORNIA PLUMBING CODE  
2016 CALIFORNIA ELECTRIC CODE  
2016 CALIFORNIA ENERGY CODE

**APPROVAL OF SUBSTITUTIONS**  
1) WHEN A SPECIFIC REFERENCE TO AN ARTICLE, MANUFACTURER, PROPERTY, NAME, DEVICE, PRODUCT, MATERIAL OR FIXTURE IS MADE IN GENERAL DOCUMENTS, IT IS TO ESTABLISH A STANDARD OF QUALITY AND SHALL NOT BE CONSTRUED AS LIMITING COMPETITION. IF THE CONTRACTOR, SUB-CONTRACTOR, SUPPLIER, MANUFACTURER'S REPRESENTATIVE, ETC. INVOLVED IN THE PROJECT DESIRES TO BID MATERIALS OTHER THAN THE SPECIFIED ITEMS, A REQUEST FOR APPROVAL ON LIKE ITEMS SHALL BE MADE DURING THE AS-BUILT/OWNER NOT LATER THAN 5 CALENDAR DAYS FROM THE SPECIFIED TIME FOR GENERAL CONSTRUCTION. MATERIALS ACCEPTABLE FOR SUBSTITUTIONS WILL BE APPROVED BY A DULY AUTHORIZED ADDENDUM ISSUED BY ARCHITECT TO ALL CONTRACT DOCUMENT HOLDERS OF RECORD. MATERIALS NOT LISTED IN THE CONTRACT DOCUMENTS OR ADDENDUM WILL NOT BE ACCEPTABLE FOR THIS PROJECT.

2) SUBMITTAL FOR APPROVAL OF MATERIALS OR PRODUCTS SHALL CONTAIN SUFFICIENT INFORMATION, DESCRIPTION BROCHURES, DRAWINGS, SAMPLES OR OTHER DATA AS NECESSARY OR REQUIRED TO DETERMINE WHETHER THE PROPOSED SUBSTITUTION IS EQUAL TO SPECIFIED. EACH SUBMITTAL SHALL BE WELL MARKED AND IDENTIFIED AS TO TYPE AND KIND OF ITEMS BEING MADE. EACH SUBMITTAL FOR APPROVAL OF LIKE ITEMS, MATERIALS, PRODUCTS, WILL BE COMPLETE WITH SUBSTANTIATING DATA, REFERENCE TO CATALOGS THAT DESIGN CONSTRUCTION COORDINATOR MAY OR MAY NOT HAVE, WILL NOT BE ACCEPTABLE.

## FIRE DEPARTMENT SUBMITTAL

**A) FIRE DETECTION / FIRE ALARM SYSTEM**  
1) MONITORING OF AIR-HANDLER'S SMOKE DETECTOR, IN ACCORDANCE WITH CMC 608.1  
2) MONITORING OF FIRE/SMOKE DAMPERS SMOKE DETECTORS  
3) MONITORING OF KITCHEN HOOD SUPPRESSION SYSTEM  
4) MONITORING OF CORE SYSTEM/POLLUTION CONTROL DETECTION SYSTEM AS SHOWN ON SHEETS M1-14 AND M14-1  
5) AUDIBLE & VISUAL NOTIFICATION APPLIANCES  
6) AIR-HANDLER'S SHUTDOWN CONTROL  
7) FIRE / SMOKE DAMPERS CLOSURE CONTROL  
**B) FIRE SPRINKLER SYSTEM/POLLUTION CONTROL DETECTION SYSTEM**  
1) FIRE SPRINKLERS ARE TO BE PROVIDED IN ALL COMBUSTIBLE CONCEALED SPACES, IN ACCORDANCE WITH NFPA 13, 8.1.1  
2) FIRE SPRINKLER SYSTEM SUBMITTAL SHALL CONTAIN THE FIRE SPRINKLER SYSTEM'S HYDRAULIC CALCULATION  
3) PROOF OF 5 YEAR CERTIFICATION STICKER ON THE FIRE SPRINKLER RISER AT FINAL SPRINKLER INSPECTION  
4) FIRE SPRINKLER CP VALUE FOR SEISMIC BRACING CALCULATIONS TO USE 88 FACTOR OF 1.84 AS SPECIFIED ON STRUCTURAL SHEET SN-1, IN ACCORDANCE WITH NFPA 13, TABLE 9.3.5.3  
5) FIRE SPRINKLERS FOR FREEZER & COOLERS SHALL BE INTERMEDIATE TEMPERATURE, OR HIGHER, IN ACCORDANCE WITH NFPA 13, 8.3.2.5(10).  
6) FIRE SPRINKLER SUPPRESSION SYSTEM, IN ACCORDANCE WITH CMC 512.3 AND SHEET M4-3  
7) POLLUTION CONTROL SUPPRESSION SYSTEM CP VALUE FOR SEISMIC BRACING CALCULATIONS TO USE 88 FACTOR OF 1.84 AS SPECIFIED ON STRUCTURAL SHEET SN-1, IN ACCORDANCE WITH NFPA 13, TABLE 9.3.5.3.  
8) THE SUPPRESSION SYSTEM SPECIFIED SHALL BE LISTED FOR USE WITH THE POLLUTION CONTROL UNIT SHOWN ON THE PLANS, AND CORRESPONDING TESTING AND LISTING DOCUMENTATION IS TO BE PROVIDED

**NOTE:**  
1) ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND SCCPD's SPECIFICATION SI-1 - CONSTRUCTION SITE FIRE SAFETY

2) FIRE DEPARTMENT ACCESS TO SITE, BUILDING, AND ALL FIRE PROTECTION SYSTEMS SHALL BE MAINTAINED AT ALL TIMES, IN ACCORDANCE WITH CFC CHAPTER 6. NO OBSTRUCTION SUCH AS VEHICLES, STORAGE, AND OTHER MATERIALS OR OBJECTS SHALL BE PLACED OR KEPT NEAR FIRE HYDRANTS, FIRE DEPARTMENT INLET CONNECTIONS, OR FIRE PROTECTION SYSTEM CONTROL VALVES IN A MANNER THAT WOULD PREVENT SUCH EQUIPMENT OR FIRE HYDRANTS FROM BEING IMMEDIATELY DISCERNIBLE, IN ACCORDANCE WITH CFC 505.4

3) INTEGRITY OF FIRE RATED CONSTRUCTION SHALL BE MAINTAINED PER CFC & CBC CHAPTER 1.

4) TENANT KEY TO THE SUITE SHALL BE PLACED IN THE BUILDING'S EMERGENCY ACCESS KEY BOX (KNOX-BOX) PER CFC 506

5) ANY TIME FIRE SPRINKLER SYSTEM AND / OR FIRE DETECTION & ALARM SYSTEM IS IMPAIRED, A FIRE WATCH IS TO BE PROVIDED, THE SYSTEM IS TO BE TAGGED, AND A CORRESPONDING IMPAIRMENT PROGRAM IS TO BE PROVIDED, IN ACCORDANCE WITH CFC CHAPTER 9.

## DEMOLITION NOTES

1) COMPLETE ALL DEMOLITION WORK INDICATED OR NECESSARY FOR COMPLETION OF THE NEW WORK, INCLUDING LABOR, SUPERVISION, TOOLS, MATERIALS, PERMITS, ETC. REQUIRED FOR REMOVAL OF FLOORS, WALLS, CEILINGS, FIXTURES, DUCTWORK, STOREFRONTS, ETC.

2) ALL WORK MUST COMPLY WITH APPLICABLE LOCAL, STATE, AND FEDERAL CODES, STANDARDS, ETC.

3) WORKMANSHIP SHALL BE FIRST CLASS, FINISHED, SAFE, NEAT THROUGHOUT AND PERFORMED BY COMPETENT AND EXPERIENCED WORKMAN. CONSTANT SUPERVISION OF WORK BY CONTRACTOR SHALL BE MAINTAINED.

4) UPON TERMINATION OF WORK, PROMPTLY REMOVE ALL TOOLS, SCAFFOLDS, SURPLUS MATERIALS, DEBRIS, RUBBISH AND OTHER ITEMS RESULTING FROM DEMOLITION OF WORK.

5) THE OWNER, ARCHITECT, DESIGNER ASSUME NO RESPONSIBILITY FOR ACTUAL CONDITION OF STRUCTURES, EQUIPMENT, ETC. TO BE DEMOLISHED.

6) OWNER RESERVES THE RIGHT TO REMOVE AND SALVAGE ITEMS PRIOR TO THE START OF THE WORK SUCH AS DOORS, WINDOWS, HARDWARE, LIGHT FIXTURES, PLUMBING FIXTURES, LUMBER, ETC. UNLESS OTHERWISE NOTED OR SPECIFIED.

7) REMOVE ITEMS WITH CARE AND STACK NEATLY. NO SPECIAL CLEANING AND STRIPPING OF SALVAGE ITEMS IS REQUIRED UNLESS THEY ARE TO BE REINSTALLED.

8) REMOVE ITEMS FROM PREMISES AS WORK PROGRESSES. STORAGE OR SALE OF ITEMS ON SITE IS NOT PERMITTED WITHOUT PERMISSION BY OWNER.

9) USE OF EXPLOSIVES WILL NOT BE PERMITTED.

10) CONDUCT DEMOLITION AND REMOVAL OF DEBRIS TO INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES.

11) PROVIDE PROTECTIVE DEVICES TO INSURE THE SAFE PASSAGE OF PERSONS AROUND THE DEMOLITION AREA. CONDUIT CERAMICS TO PREVENT DAMAGE BY FALLING DEBRIS. ADJACENT CONSTRUCTION, STREETS, ETC. PROVIDED INTERNAL AND EXTERIOR SHORING, BRACING, ETC. TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED AND FACILITIES TO REMAIN. IF REQUIRED ERECT A 2 X 4 FRAME WITH MINIMUM 3/8" EXT. FLYWOOD SHEATHING CONSTRUCTION BARRIER ON THE SIDEWALK AROUND PERIMETER OF BUILDING. THE BARRIER SHALL BE 8'-0" HIGH AND HAVE A LOCKED DOOR FOR ACCESS. THE TOP PLATE SHALL BE PLACED BACK TO BUILDING STRUCTURE, MINIMIZE AMOUNT OF POWER HOLLOW CORE DOOR. MAKE ANY REQUIRED REPAIRS TO SIDEWALK WHEN BARRIER IS REMOVED. LOCATE BARRIER NO MORE THAN 4'-0" FROM BUILDING LINE (LESS IF REQUIRED BY BUILDING DEPARTMENT).

12) PROVIDE ADEQUATE FIRE PROTECTION DURING DEMOLITION WORK. PLACE FIRE EXTINGUISHERS AT JOB SITE (TYPE AND LOCATION AS DIRECTED BY FIRE INSPECTOR). ALSO, ANY EXISTING SPRINKLER SYSTEM SHALL BE INTANED AND NOT SHUT DOWN (WHERE NECESSARY, PROVIDE TEMPORARY SUPPORT UNTIL NEW PIPING LAYOUT IS COMPLETED).

13) PROPERLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION OPERATIONS AS DIRECTED AND AT NO COST TO THE OWNER.

14) SHUT OFF AND/OR DISCONNECT UTILITIES SERVICING THE PROJECT AS REQUIRED BY WORK. IF POSSIBLE REMOVE UTILITY LINES BACK TO MAIN BUTCHERS, SHUT-OFF VALVES OR METERS. PROVIDE TEMPORARY POWER OUTLETS, LIGHTS (AS REQUIRED), AND HOSE BIBBS WITH WATER TO ALLOW FOR DEMOLITION WORK.

15) USE SUITABLE METHODS AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST LEVEL OF AIR POLLUTION PRACTICAL FOR THE CONDITION OF WORK COMPLY WITH GOVERNING REGULATIONS.

## HEALTH DEPARTMENT NOTES

1) EQUIPMENT AND INSTALLATION SHALL MEET ALL REQUIREMENTS AS LISTED IN SENATE BILL #715 CHAPTER 256 AS STATED IN CHAPTER 4 OF CALIF. UNIFORM RETAIL FOOD FACILITIES LAW WHICH IS IN EFFECT SINCE JANUARY 1, 2012 FOR CALIFORNIA PROJECTS IN ADDITION TO LOCAL AND COUNTY CODES.

2) ALL FOOD SERVICE AND RELATED EQUIPMENT SHALL BE NATIONAL SANITATION FOUNDATION (NSF) APPROVED AND IN CONFORMITY WITH LOCAL HEALTH REGULATIONS. INSTALLATION OF EQUIPMENT SHALL MEET SAME REQUIREMENTS, ALTHOUGH HEALTH REQUIREMENTS WILL BE REVIEWED DURING BUILDING DEPT. APPLICATION, THE OWNER WILL HAVE TO TAKE OUT SEPARATE HEALTH PERMIT.

3) ALL ADJOINING EQUIPMENT AND COUNTERS SHALL BE SEALED TOGETHER TO PREVENT THE ENTRANCE OF MOISTURE. ALL EQUIPMENT, INCLUDING SHELVING, SHALL BE SMOOTHLY SEALED TO THE WALL TO PREVENT THE ENTRANCE OF SPLASH AND DEBRIS. ALL PORTABLE OR FREE STANDING UNITS SHALL BE REMOVABLE AND EASILY ACCESSIBLE FOR CLEANING.

4) ALL WORKING SURFACES SHALL BE SMOOTH AND IMPERVIOUS.

5) ADEQUATE SNEEZE GUARD PROTECTION MUST BE PROVIDED WHERE UNWRAPPED FOOD IS DISPLAYED OR CUSTOMER'S SELF-SERVICE OF FOODS IS PROPOSED. SNEEZE GUARD MUST BE POSITIONED SO THAT THE OPENING BELOW SNEEZE GUARD IS 12 INCHES. A PORTABLE SNEEZE GUARD MAY BE USED IF SIZE AND POSITIONING IS APPROVED BY HEALTH DEPARTMENT DURING CONSTRUCTION INSPECTION.

6) ALL CUTTING BOARDS SHALL BE OF NON-WOOD CONSTRUCTION AND NSF APPROVAL.

7) ALL REFRIGERATION EQUIPMENT AND EQUIPMENT FOR HOT STORAGE SHALL HAVE THERMOMETERS WHICH ARE EASILY READABLE IN PROPER WORKING CONDITIONS AND ACCURATE WITHIN RANGE OF PLUS OR MINUS TWO DEGREES.

8) STORAGE SHELVING MUST BE SPECIFIED AS HAVING A SMOOTH, NONABSORBENT FINISH. THE LOWEST SHELF SHOULD BE 6'-0" ABOVE FLOOR.

9) EXHAUST HOODS MUST MEET ALL MECHANICAL CODE REQUIREMENTS. CANOPY HOODS SHALL EXTEND 6 INCHES BEYOND ALL SIDES OF COOKING EQUIPMENT AS MEASURED FROM THE INSIDE EDGE OF THE GREASE TROUGH. ADEQUATE MECHANICAL MAKE-UP AIR MUST BE PROVIDED TO PRODUCE A BALANCED SYSTEM (MAKE-UP AIR SHALL EQUAL EXHAUSTED AIR).

10) TOILET AND DRESSING ROOMS SHALL BE MECHANICALLY VENTILATED BY EXHAUST FAN(S) TO THE OUTSIDE PREMISES. THE EXHAUST FAN IN EACH TOILET ROOM SHALL BE ACTIVATED BY THE SWITCH TO THE LIGHT FIXTURE LOCATED THEREIN, AND CAPABLE OF 12 AIR CHANGES PER HOUR.

11) ALL AREAS MUST HAVE SUFFICIENT VENTILATION TO FACILITATE PROPER FOOD STORAGE AND TO PROVIDE A REASONABLE CONDITION OF COMFORT FOR ANY EMPLOYEE, CONSISTENT WITH THE JOB PERFORMED BY THE EMPLOYEE.

12) IF HOT WATER (180°F) SANITIZING RINSE DISHWASHING MACHINE IS INSTALLED IT WILL REQUIRE A TYPE II VAPOR HOOD WITH MECHANICAL EXHAUST VENTILATION.

13) ATMOSPHERE VACUUM BREAKERS OR OTHER APPROVED BACKFLOW PREVENTION DEVICES REQUIRED AT WATER SUPPLY LINES TO FIXTURES WHICH ARE CONNECTED TO DISHWASHER, GARBAGE DISPOSAL, FLUSH LINES, STEAM EQUIPMENT, URINALS, TOILETS, BEVERAGE DISPENSERS, ICE MACHINE, LANDSCAPE IRRIGATION SYSTEM, AND OTHER FIXTURES WHERE REQUIRED.

14) AT LEAST ONE SINK OR ONE SINK COMPARTMENT SHALL BE AVAILABLE FOR FOOD PREPARATION. FOOD PREPARATION SINKS SHALL HAVE AN INDIRECT SEWER CONNECTION, I.E. FIXED IN-LINE AIR GAP OR DRAIN TO A FLOOR SINK THROUGH AN APPROVED AIR GAP.

15) A SEPARATE WALL-MOUNTED HAND WASH BASIN IS REQUIRED WITHIN OR ADJACENT TO THE FOOD PREPARATION AND PACKAGING AREA. PROVIDE PERMANENTLY MOUNTED SINGLE-SERVICE SOAP AND PAPER TOWEL DISPENSERS.

16) ALL SINKS TO BE PROVIDED WITH ADEQUATE HOT AND COLD WATER FROM MIXING FAUCETS.

## PROJECT DATA

PROJECT SCOPE: RESTAURANT TENANT IMPROVEMENT

PROJECT NAME:

PROJECT ADDRESS:

TENANT:

ARCHITECT:

RESTAURANT DESIGN CONCEPTS  
1017 22ND AVE. SUITE 110-B  
OAKLAND, CA 94606  
(510) 436 - 7000

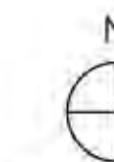
MEP ENG:

BELDEN ENGINEERS  
5860 W. LAS POSITAS BLVD STE 15  
PLEASANTON, CA 94588  
(925) 621 - 5301

STRUCTURAL ENG.:

GOUVIS STRUCTURAL ENGINEERS  
15 STUDEBAKER  
IRVINE, CA 92618  
(949) 752 - 1612

## SITE LOCATION

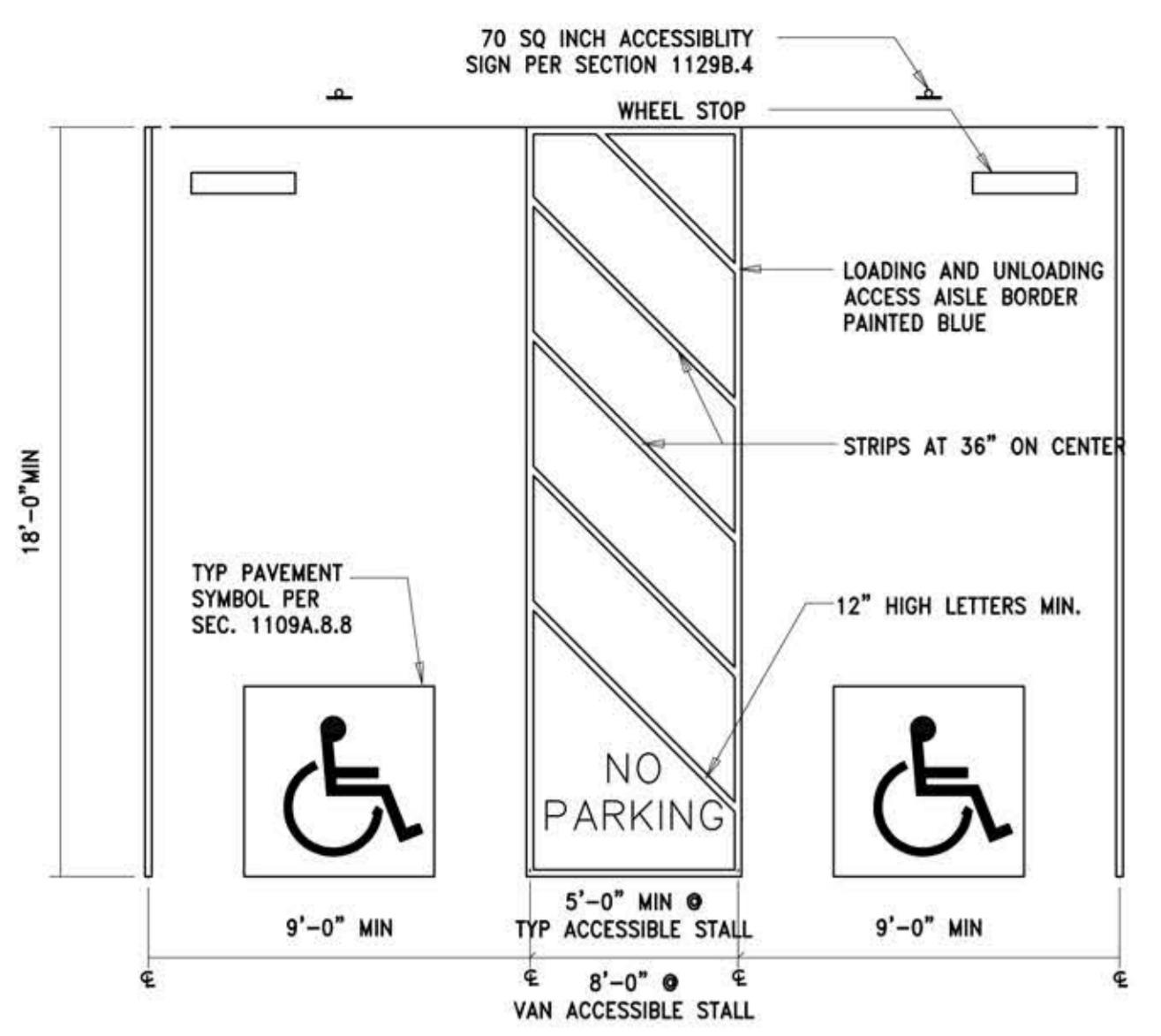


NON-DINING AREA	SQUARE FOOTAGE	OCCUPANT LOAD FACTOR	OCCUPANT LOAD
KITCHEN:	1090 SQ. FT.	200	6
STORAGE AREA:	263 SQ. FT.	300	1
DINING AREA:	562 SQ. FT.	15	38
WAITING AREA:	35 SQ. FT.	5	7
RESTROOM + CIRCULATION:	1483 SQ. FT.	100	15
PATIO DINING AREA:	145 SQ. FT.	15	10
PATIO CIRCULATION:	267 SQ. FT.	100	3
<b>TOTAL AREA / O.L.</b>	<b>3851 SQ. FT.</b>		<b>80</b>

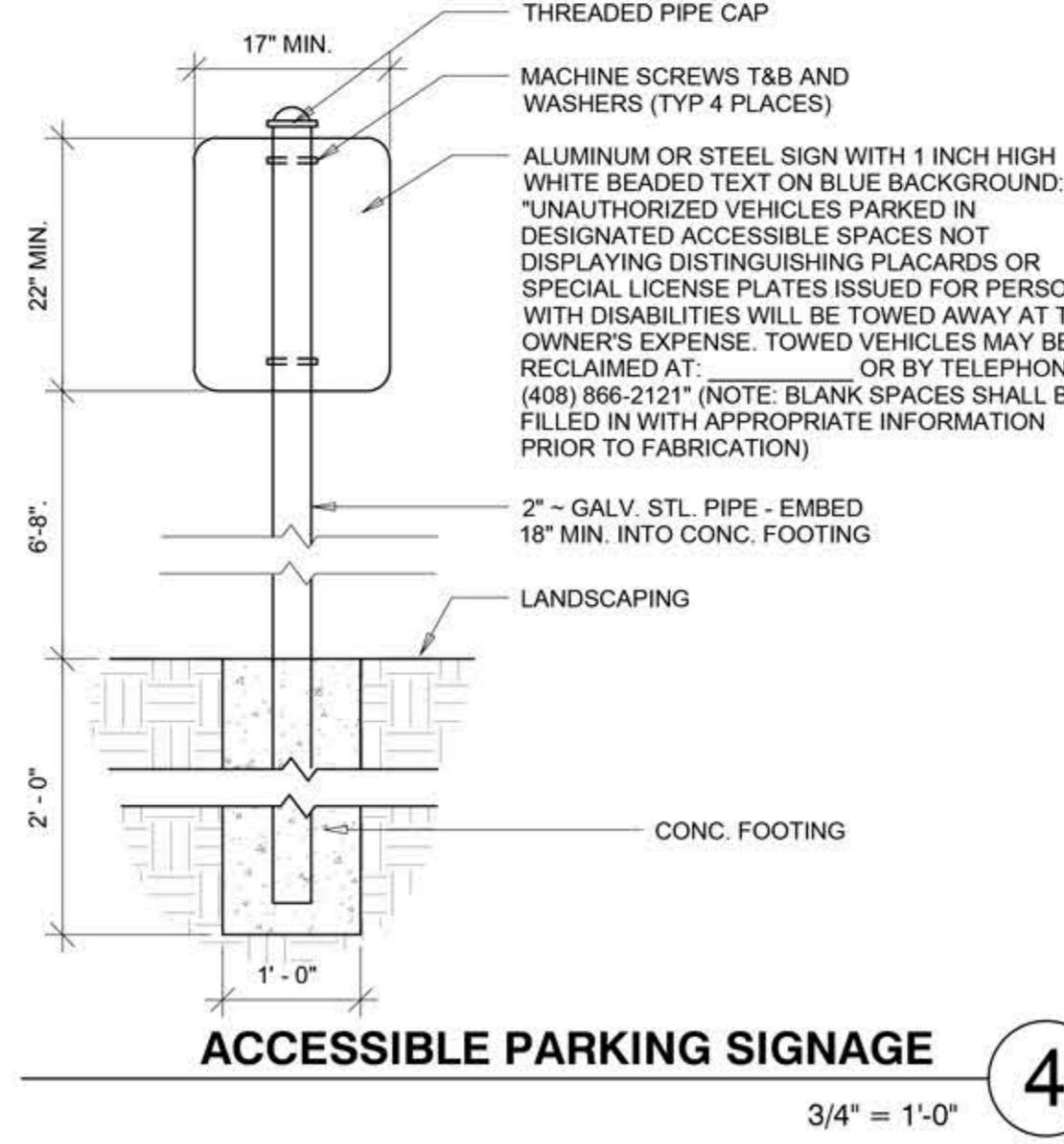
STORIES (BUILDING):	4 + GARAGE LEVEL
STORIES (PROJECT):	1
NO. OF SEATS:	65
NO. OF EMPLOYEES:	7
CONSTRUCTION TYPE:	I-A
FIRE SPRINKLER:	YES
INTERIOR PARTITIONS:	NON RATED, NON LOADBEARING
OCCUPANCY	A-2
RESTROOM CALCULATION: 29 EACH SEX	MEN: 1 TOILET, 1 URINAL, 1 SINK WOMEN: 2 TOILETS, 1 SINK

## INDEX OF DRAWINGS

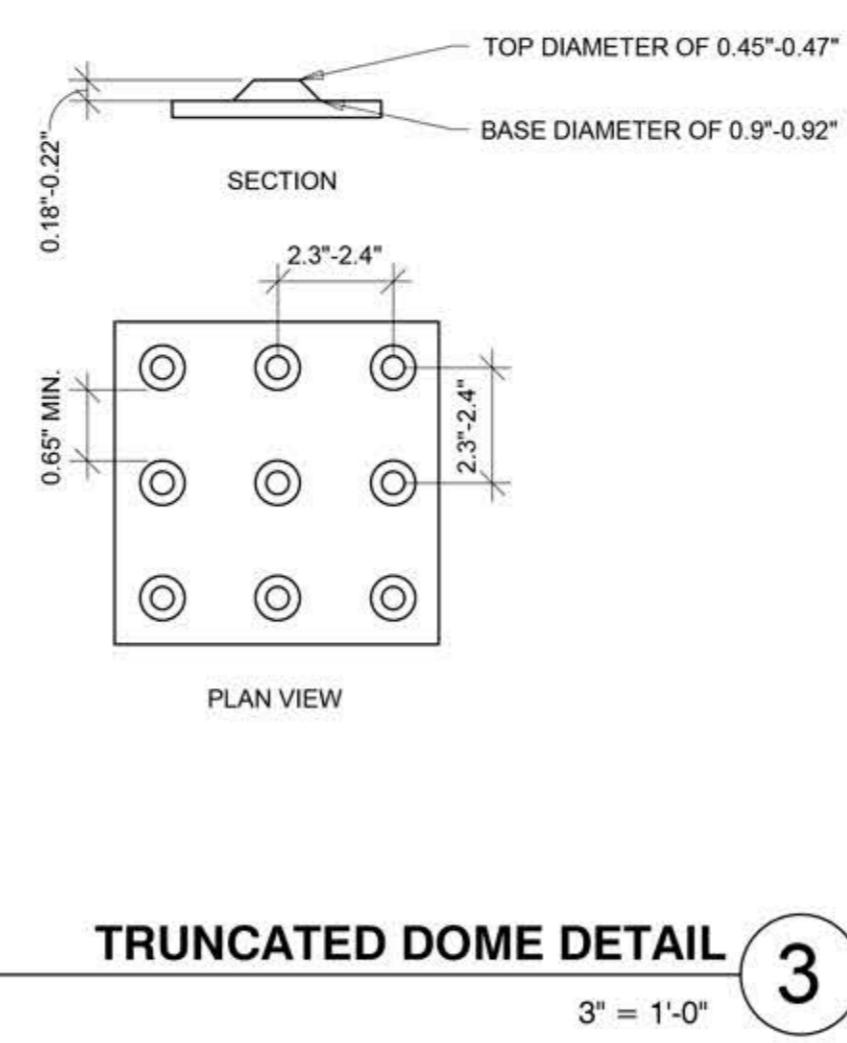
SHEET #	DESCRIPTION
K00	COVER SHEET
K01	REFERENCE ONLY: SITE PLAN
K02	CONDITIONS OF APPROVAL
K03	SIGHT LINE STUDY
K20	PARTITION PLAN
K21	PARTITION DETAILS
K22	PARTITION DETAILS
K30	EQUIPMENT PLAN / FF/E SCHEDULE
K31	EQUIPMENT SCHEDULE
K32	EQUIPMENT, ELECTRICAL, AND PLUMBING SCHEDULE
K33	FURNITURE & FIXTURE SCHEDULE
K40	ELECTRICAL POINT OF CONNECTIONS
K50	PLUMBING POINT OF CONNECTIONS
K51	PLUMBING DRAWINGS
K60	WALL FINISH PLAN
K61	FLOOR FINISH PLAN
K62	FINISH SCHEDULE
K10	REFLECTED CEILING SOFFIT PLAN
K11	REFLECTED CEILING LIGHTING PLAN & LIGHTING SCHEDULE
K12	CEILING & LIGHTING DETAILS
K20	ELEVATIONS
K21	ELEVATIONS
K22	ELEVATIONS
K23	ELEVATIONS
K24	ELEVATIONS
K25	ELEVATIONS
K26	ELEVATIONS
K27	ELEVATIONS
K28	ELEVATIONS
K29	ELEVATIONS
K30	MILLWORK DETAILS
K31	MILLWORK DETAILS
K100	EGRESS PLAN
HOOD DRAWINGS	HOOD DRAWINGS
MH1	HOOD DRAWINGS
MH2	HOOD DRAWINGS
MH3	HOOD DRAWINGS
MH4	HOOD DRAWINGS
MECHANICAL	NOTES, SYMBOLS, ABBREVIATIONS
M00	FIRST FLOOR MECHANICAL PLAN
M01	BUILDING B
M02A	ROOF MECHANICAL PLAN
M02B	BUILDING B
M10	MECHANICAL SCHEDULES AND DETAILS
M30	MECHANICAL DETAILS
PLUMBING	NOTES, SYMBOLS, ABBREVIATIONS
P00	GARAGE LEVEL SANITARY PLAN
P01A	BUILDING B
P01B	GARAGE LEVEL PLUMBING PLAN
P02A	BUILDING B
P02B	FIRST FLOOR PLUMBING PLAN
P03A	BUILDING B
P10	ROOF PLUMBING PLAN
P11	BUILDING B
P12	PLUMBING SCHEDULES
P20	PLUMBING DETAILS
ELECTRICAL	NOTES, SYMBOLS, ABBREVIATIONS
E10	GARAGE LEVEL SANITARY PLAN
E20	BUILDING B
E21	GARAGE LEVEL PLUMBING PLAN
E30	BUILDING B
E40	ROOF PLUMBING PLAN
E50	BUILDING B
E60	ONE LINE DIAGRAM AND SCHEDULES
E70	ELECTRICAL SCHEDULES AND DETAILS
E80	ELECTRICAL EQUIPMENT SCHEDULE
E90	TITLE 24
E100	TITLE 24
STRUCTURAL	GENERAL NOTES & REQUIREMENTS
SN-1	STRUCTURAL DETAILS & NOTES
SN-2	FRAMING PLANS
S12	STRUCTURAL DETAILS
S2-1	STRUCTURAL DETAILS



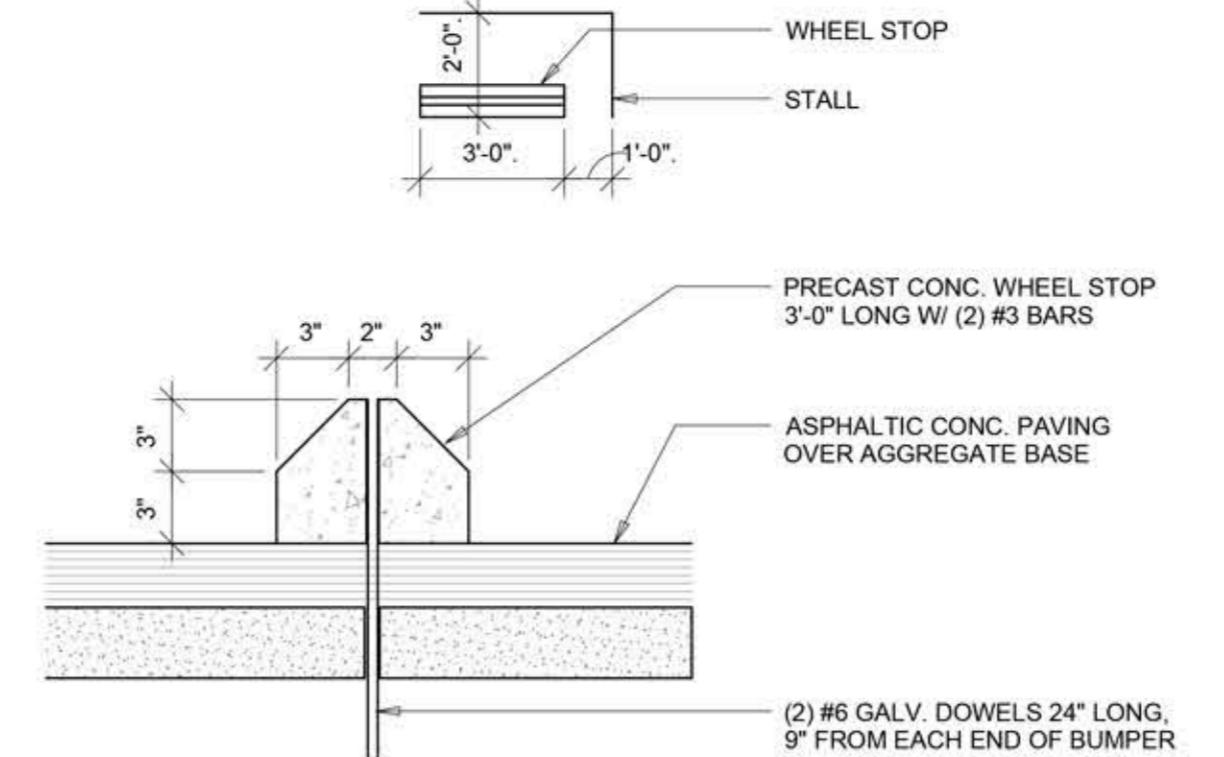
## EXISTING ACCESSIBLE PARKING



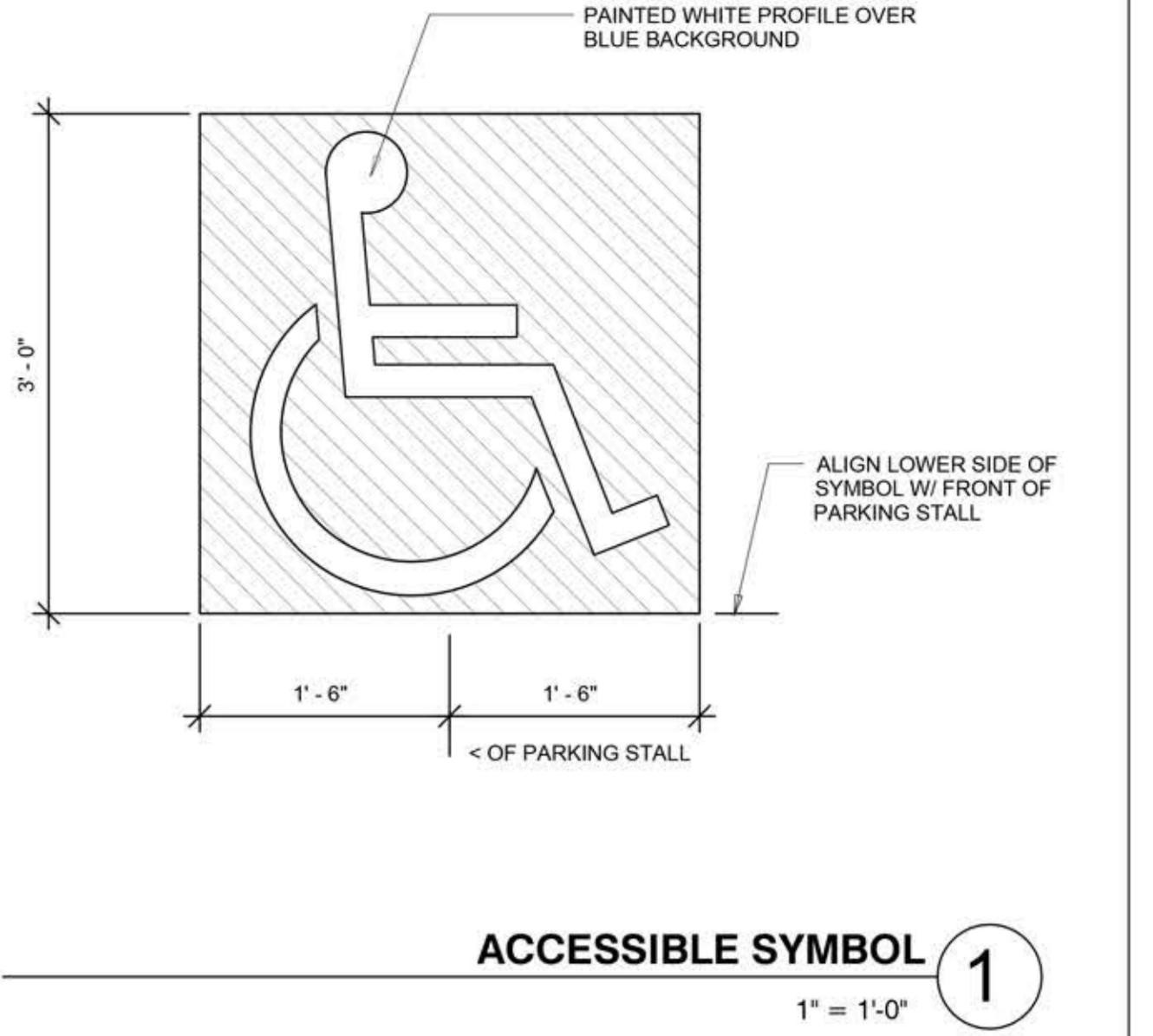
## ACCESSIBLE PARKING SIGNAGE



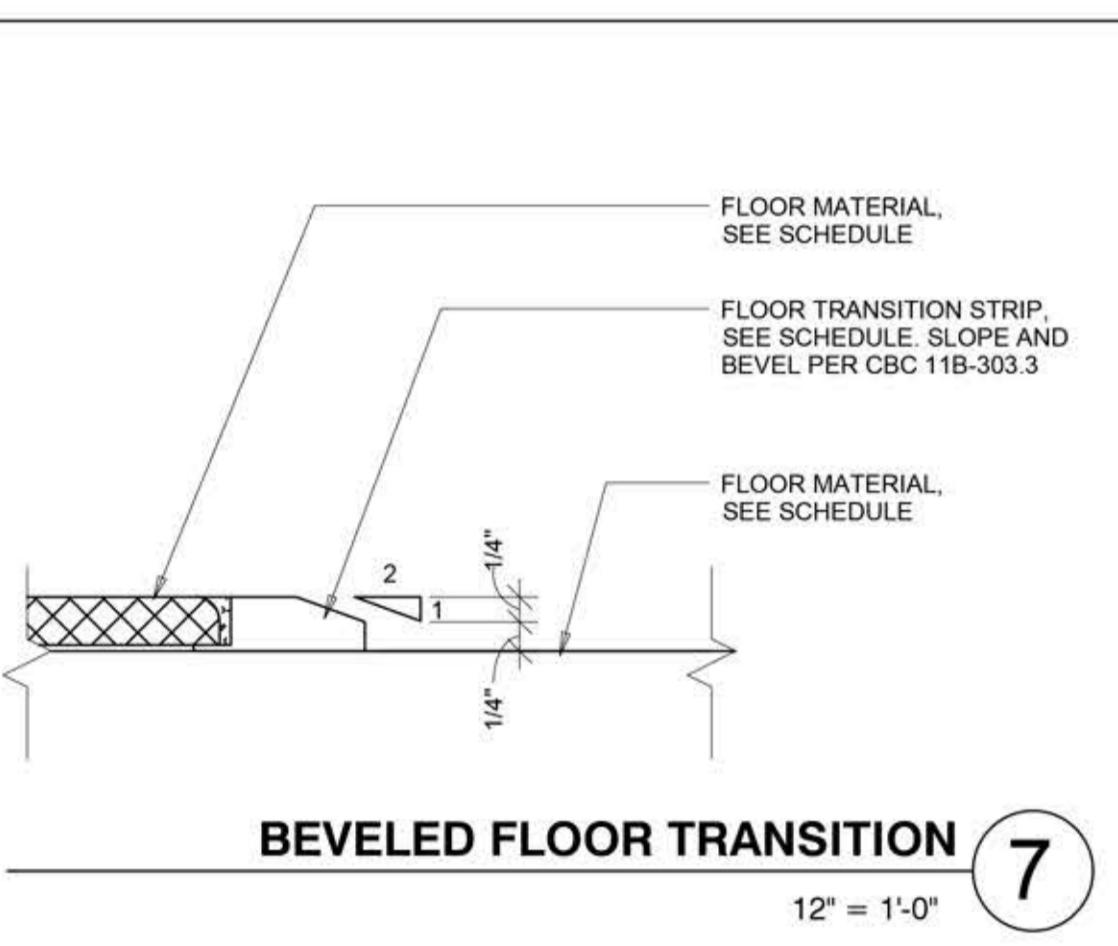
## TRUNCATED DOME DETAIL



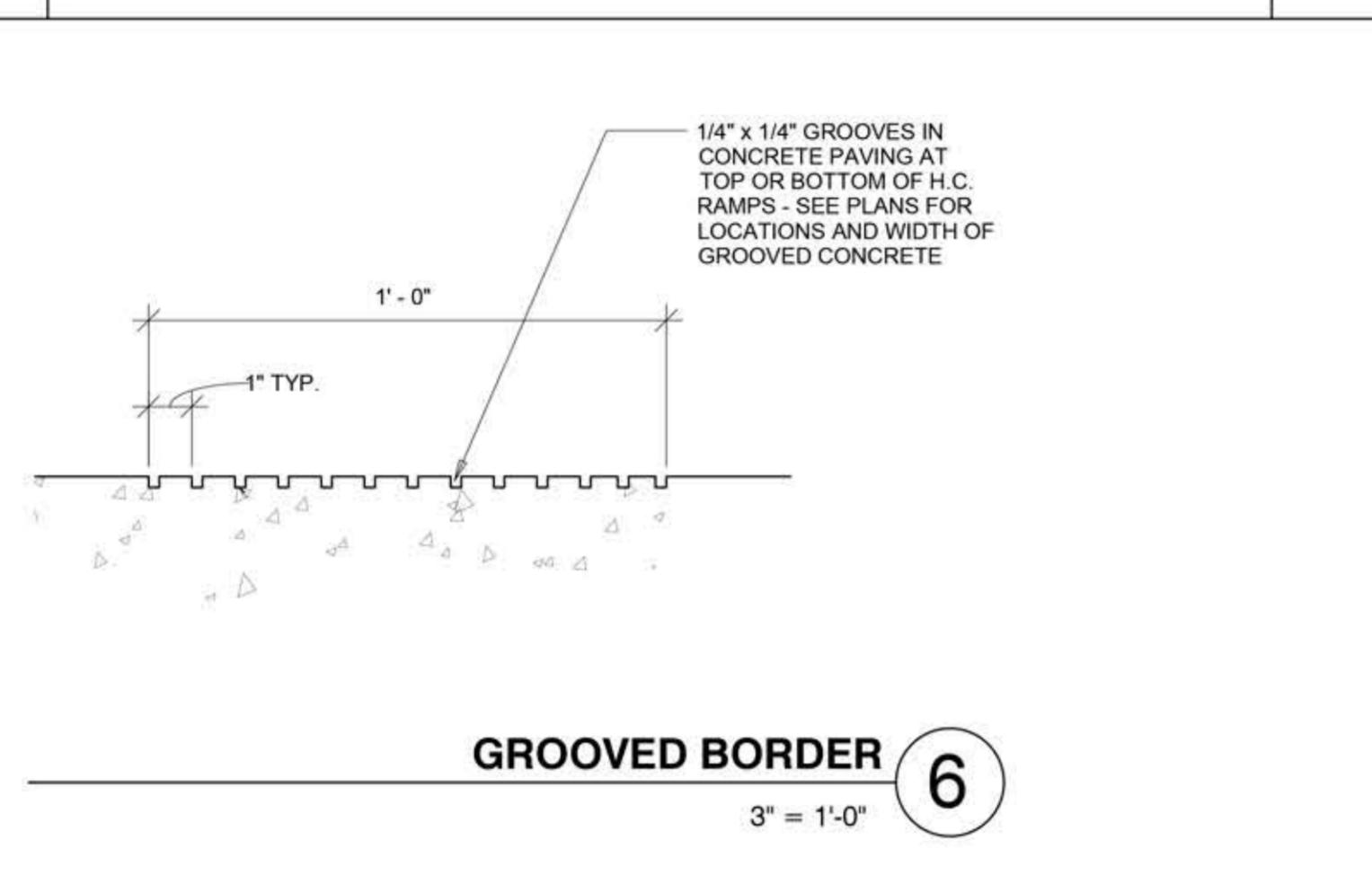
## WHEEL STOP DETAIL



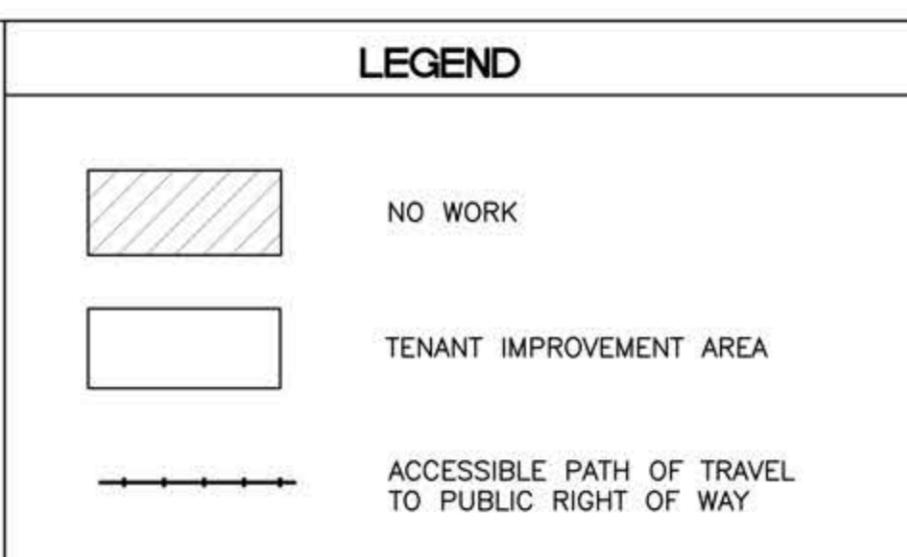
## ACCESSIBLE SYMBOL 1



## **BEVELED FLOOR TRANSITION**



## GROOVED BORDER



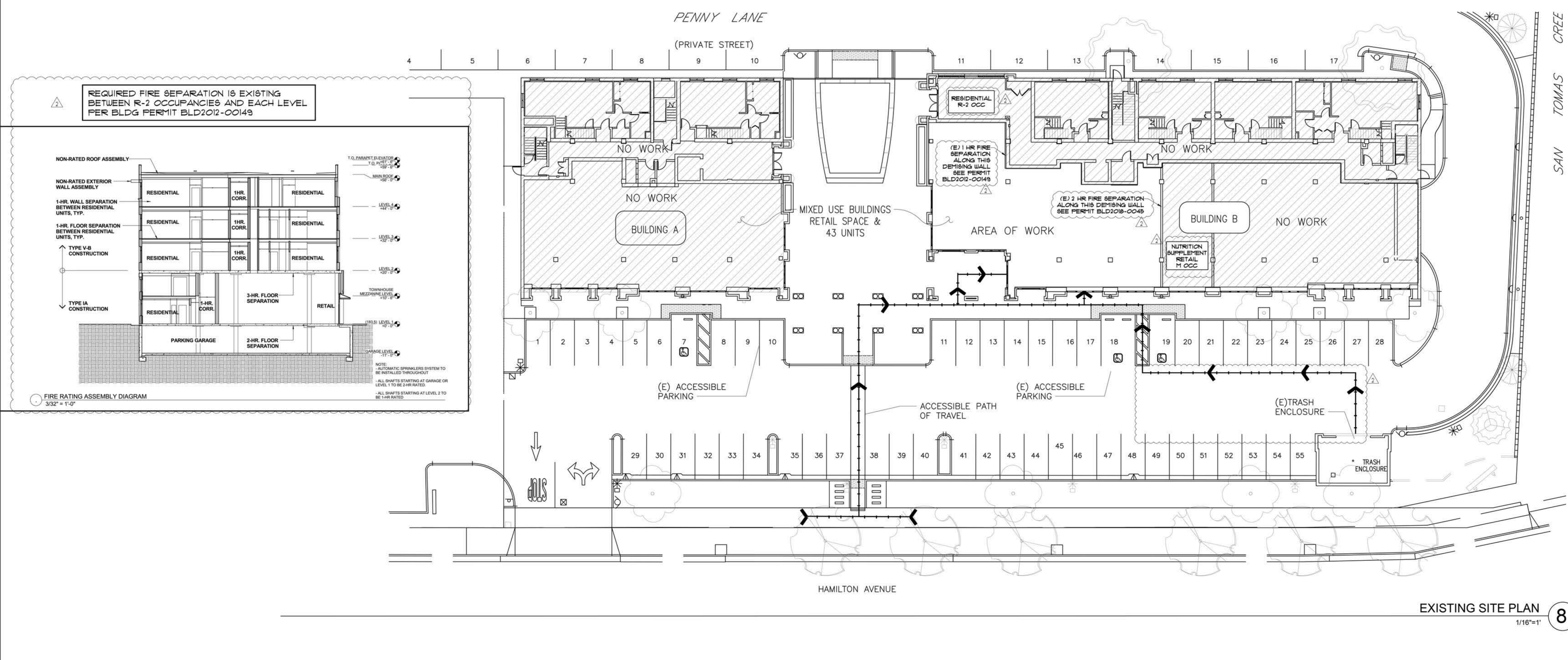
#### **LEGEND**

NO W

#### TENANT IMPROVEMENT AR

- ACCESSIBLE PATH OF TRAVEL  
TO PUBLIC RIGHT OF WAY

LANDLORD PROVIDING 28 PARKING SPOTS



v. In the event that the agreement between 651-715 W. Hamilton Avenue and 771 W. Hamilton Avenue is terminated, a copy of the recorded Notice of Termination shall be provided to the Community Development Department. In addition, all outdoor seating shall be removed and the parking demand generated by the restaurant use shall not exceed 28 parking spaces.

vii. References to the Modification to a Planned Development Permit PLN2016-315 for 771 W. Hamilton Avenue and to the Conditional Use Permit and Administrative Planned Development Permit for 651 W. Hamilton Avenue.

Compliance with these requirement(s) shall be subject to the satisfaction of the Director of Community Development. Changes found not in compliance shall require an application for a Modification to a Conditional Use Permit.

5. **Outdoor seating:** Outdoor seating shall be subject to the above Parking Covenant condition and the following standards in compliance with CMC Sec. 21.36.150 (Outdoor Seating):

- i. Outdoor seating shall be limited to the covered patio area located east of the main entrance.
- ii. Total outdoor patron occupancy is limited to eighteen (18) seats.
- iii. The design, make, and location of all furniture (chairs, tables, and umbrellas, barriers, etc.) shall require approval by the Community Development Director.
- iv. During non-business hours, chairs and tables shall be stacked, stored inside, or otherwise secured to prevent unauthorized use.
- v. All outdoor furniture shall be kept clean and in good repair and replaced and/or fixed as necessary.
- 6. **Delivery Hours/Noise:** Delivery hours shall be restricted to 8 AM to 8 PM. Signage shall be installed at service doors notifying the restriction of delivery hours.
- 7. **Exhaust Venting:** All required kitchen venting shall utilize existing vent shafts installed with the building's original construction.
- 8. **Storefront Clearance:** At no time shall an obscure wall or barrier (i.e., drapery, window tinting, blinds, signage, advertisement posters or placards, furniture, inventory, shelving units, storage of any kind, or similar) be installed along behind or attached to storefront windows or doorways that blocks visual access to the tenant space or blocks natural light.
- 9. **Property Maintenance:** The owner/operator of the subject property shall maintain all exterior areas of the business free from graffiti, trash, rubbish, posters, and stickers placed on the property. Exterior areas of the business shall include not only the parking lot and private landscape areas, but also includes the public right-of-way adjacent to the business.

10. **Signage:** No signage is approved as part of the development application approved herein; new signage shall not be installed prior to approval of a sign permit. All signage shall be installed and maintained consistent with the Master Sign Plan approved for the subject site.

11. **Location of Mechanical Equipment:** No roof-mounted mechanical equipment (i.e. air conditioning units, ventilation ducts, or vents) shall be added to the existing building without the prior written approval of the Community Development Director and surrounding properties. The screening material and method shall be environmentally compatible with the building and requires review and approval by the Community Development Director and Building Division prior to installation of such screening.

12. **Building Elevations, Details, and Colors:** Any proposed changes to the building elevations, details, and colors shall be approved by the Community Development Director prior to issuance of building permits.

13. **Outdoor Storage:** No outdoor storage is permitted on the subject property. No equipment, materials, or business vehicles shall be parked and/or stored outside the building or within the parking lot.

14. **Parking and Driveways:** All parking and driveway areas shall be maintained in compliance with the standards in Chapter 21.28 (Parking & Loading) of the Campbell Municipal Code.

15. **Revocation of Permit:** Operation of the restaurant with alcohol service pursuant to the Approval granted herein is subject to Sections 21.68.020, 21.68.030 and 21.68.040 of the Campbell Municipal Code authorizing the appropriate decision making body to modify or revoke a permit. If a permittee's continued operation of alcohol has become a nuisance to the City's public health, safety or welfare or for violation of the Conditional Use Permit or any standards, codes, or ordinances of the City of Campbell. At the discretion of the Community Development Director, if the establishment generates three (3) verifiable complaints related to violations of conditions of approval and/or related to the service of alcohol within six (6) months prior to a public hearing before the Planning Commission for modification or revocation of the permit or approval or revoking the Conditional Use Permit. The Community Development Director may commence proceedings for the revocation or modification of use permits upon the occurrence of less than three (3) complaints if the Community Development Director determines that the alleged violation warrants such an action. In exercising this authority, the decision making body may consider the following factors, among others:

- a. The number and types of Police Department calls for service at or near the establishment that are reasonably determined to be a direct result of patrons actions;
- b. The number of complaints received from residents, business owners and other citizens concerning the operation of an establishment;
- c. The number of arrests for alcohol, drug, disturbing the peace, fighting and public nuisance violations associated with an establishment;

- d. The number and kinds of complaints received from the State Alcoholic Beverage Control office and the County Health Department; and
- e. Violation of conditions of approval.

(CDBC). It is the responsibility of the business owner to provide adequate enforcement controls to ensure that patron occupancy is not exceeded.

c. **Maximum Occupancy Sign:** The business owner shall install a new maximum occupancy sign of a size to be determined by the Community Development Director, conspicuously posted within the premises, which shall include the maximum occupancy noted herein and include a visual depiction of the floor plan included in the construction drawings submitted for a building permit.

d. **Bar Area Seating:** The bar area shall be composed of fifteen (15) bar seats as shown on the approved project plans, including accessible (ADA) space and/or companion seating.

e. **Floor Plan:** All chairs and tables shall consist of standard height furniture (i.e., not high-top tables). Chair seating shall be used in such a manner to allow sufficient area for dining and shall not be stacked or removed from the dining area or placed outside. At no time shall the seating be reconfigured to create large open spaces for patrons to congregate, dance, drink, or socialize.

f. **Hours of Operation:** Hours of operation shall be as follows: By the end of 'Business Hours' all patrons shall have exited the restaurant. By the end of the 'Operational Hours' all employees shall be off the premises.

- Business Hours 8:00 AM - 9:00 PM, Sunday - Thursday
- Operational Hours 8:00 AM - 10:00 PM, Friday - Saturday
- 7:00 AM - 10:00 PM, Sunday - Thursday
- 7:00 AM - 11:00 PM, Friday - Saturday

g. **Food Service:** Full menu food service shall be provided at all times during the Business Hours in the dining, outdoor seating, and bar areas (i.e., the kitchen shall not be closed).

h. **Bar Area Meal Service:** Meal service shall be available in the bar area at all times.

i. **Alcohol Beverage Service:** Alcohol beverage service in the dining area shall only be allowed in conjunction with food service. The dining area shall not be converted to a bar area or dance area.

j. **Live Entertainment:** No live entertainment is permitted as part of this Approval, including live music, disc jockey, karaoke, and dancing. Future requests for live entertainment shall require approval by the Planning Commission.

k. **Parking Management:** In the event that three (3) verifiable complaints are received by the City regarding parking, the Community Development Director may reduce the permitted occupancy, limit the hours of operation, require additional parking management strategies and/or forward the project to the Planning Commission and City Council for review.

l. **Loitering:** There shall be no loitering allowed outside the business. The business owner is responsible for monitoring the premises to prevent loitering.

m. **Noise:** Unreasonable levels of noise, sounds and/or voices, including but not limited to amplified sounds, loud speakers, sounds from audio sound systems, music, and/or public address system, generated by the establishment shall not be audible to a person of normal hearing capacity from any residential property. In the event that complaints are made by the City regarding such unreasonable noise, the Community Development Director may immediately modify the business hours/areas of operation, subject to the project being brought back to the Planning Commission for review.

n. **Smoking:** "Smoking" signs shall be posted on the premises in compliance with CMC 6.11.060.

o. **Trash & Clean Up:** All trash, normal clean up, carpet cleaning, etc. shall occur during the approved 'Operational Hours'. Refuse and recycling receptacles shall be kept within the enclosure except during collection in compliance with Chapter 6.04 of the Campbell Municipal Code.

p. **Life Classes:** The applicant shall obtain and maintain in good standing a Type 41 (On-Sale Beer and Wine for Bonus Fida Public Eating Place) license from the State Department of Alcoholic Beverage Control for the sale of alcoholic beverages in conjunction with a restaurant. The license shall include the Business Hour restrictions consistent with the Conditional Use Permit approved herein. A copy of the issued license shall be provided to the Community Development Department prior to issuance of a Business License.

q. **Alcohol Sales:** The monthly gross sales of alcoholic beverages shall not exceed the gross sales of food during the same period, consistent with ABC licensing regulations. The business owner shall provide sales records on demand to the City to verify compliance with this standard.

r. **Employee Training:** The establishment shall use an employee training manual that addresses alcoholic beverage service consistent with the standards of the California Restaurant Association and the Department of Alcoholic Beverage Control.

s. **Designated Driver Program:** The establishment shall maintain and actively promote a designated driver program (e.g., complimentary non-alcoholic beverages for designated drivers), including posting in a conspicuous place contact information for local designated driver services.

t. **Taxicab Service:** The establishment shall post in a conspicuous place the telephone numbers of local taxicab services.

u. **Outdoor Activity:** Other than outdoor seating as permitted by this approval no outdoor activity (e.g., cooking) is permitted in association with the establishment.

4. **Parking Covenant:** Prior to use of the outdoor dining area for a maximum of eighteen (18) outdoor seats, recordation of a covenant is required in compliance with CMC Section 21.28.080(A) allowing the shared use of the parking lots at 651-715 W. Hamilton Avenue (Alvin's Corner) and 771 W. Hamilton Avenue (Starbucks) which stipulates the following:

- i. The acquired parking will be maintained for the life of the use or activity sewer, which is eighteen (18) outdoor seats associated with a restaurant at 651 W. Hamilton Avenue Suite 1070;
- ii. Both parking lots will serve the proposed parking demand for Starbucks (15 spaces where 21 are provided) and the following uses at Alvin's Corner:

On-Site Parking Analysis						
Building	Address	Classification	Street	Area (ft²)	Parking Required (per hour)	Parking Required (per day)
771	771 W. Hamilton Ave.	Renovated	Planned	2,400	0.2 seats + 3,200/ft² (per hour)	280
	Alvin's Corner	Renovated	Approved & Opened	1,200	0.1 seats (per hour)	120
				2,700 ft²	0.2 seats (per hour)	320
					3.5	3.5
					4.0	4.0
					Total Parking Required	771(3.5)
					Total Parking Provided/Allocated	320
					Total Parking Deficiency/Gap	-5

- iii. Shared parking areas between Alvin's Corner and Starbucks shall include the 21 parking spaces at 771 W. Hamilton Avenue and the 55 commercial parking spaces and 17 commercial/residential guest parking spaces at 651-715 W. Hamilton Avenue. Signage shall be provided on both properties identifying the shared parking areas.
- iv. The current vehicular and pedestrian interior access between the properties shall be maintained.
- v. A copy of the recorded covenant shall be provided to the Community Development Department prior to use of the outdoor sealing area.

Strategy LUT-5.3g: Day and Evening Activities: Encourage restaurant and specialty retail uses in the downtown commercial area that will foster a balance of day and evening activity.

Strategy LUT-11.2: Services Within Walking Distance: Encourage neighborhood serving commercial and quasi-public uses such as churches, schools, and meeting halls to locate within walking distance of residential uses.

18. No substantial evidence has been presented which shows that the project, as currently presented and subject to the required conditions of approval, will have a significant adverse impact on the environment.

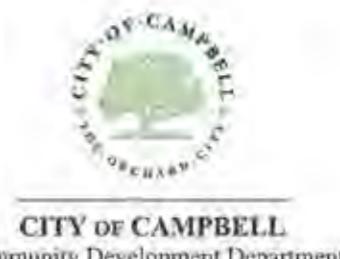
Based upon the foregoing findings of fact, the Planning Commission further finds and concludes that:

Conditional Use Permit Findings (CMC Sec. 21.46.040):

- 1. As conditioned, the proposed use is allowed within the applicable zoning district with Conditional Use Permit approval, and complies with all other applicable provisions of this Zoning Code and the Campbell Municipal Code;
- 2. As conditioned, the proposed use is consistent with the General Plan;
- 3. As conditioned, the proposed site is adequate in terms of size and shape to accommodate the fences and walls, landscaping, parking and loading facilities, yards, and other development features required in order to integrate the use with uses in the surrounding area;
- 4. As conditioned, the proposed site is adequately served by streets of sufficient capacity to carry the kind and quantity of traffic the use would be expected to generate;
- 5. As conditioned, the design, location, size, and operating characteristics of the proposed use are compatible with the existing and future land uses on-site and in the vicinity of the subject property;
- 6. As conditioned, the establishment, maintenance, or operation of the proposed use at the location proposed will not be detrimental to the comfort, health, morals, peace, safety, or general welfare of persons residing or working in the neighborhood of the proposed use, be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the city;

Liquor Establishment Findings (CMC Sec. 21.46.070):

- 7. As conditioned, the establishment will not result in an over-concentration of these uses in the surrounding area;
- 8. As conditioned, the establishment will not create a nuisance due to litter, noise, traffic, vandalism, or other factors;
- 9. As conditioned, the establishment will not significantly disturb the peace and enjoyment of the nearby residential neighborhood;



CITY OF CAMPBELL  
Community Development Department

December 14, 2018

David Mons  
575 W. El Camino Real  
Mountain View, CA 94040  
Re: PLN2018-183 – 651 W. Hamilton Avenue #1070 – CUP and Admin PD Permit – Beer and wine service and outdoor seating at a new restaurant

Dear Applicant,

Please be advised that at its meeting of December 11, 2018, the Planning Commission adopted Resolution No. 4474 approving a Conditional Use Permit and Administrative Planned Development Permit (PLN2018-183) to allow beer and wine service and outdoor seating in conjunction with a new restaurant on the above-referenced property.

This action is effective in ten calendar days, unless appealed in writing to the City Clerk by close of business on Friday, December 21, 2018. The time within which judicial review of this action must be sought is governed by Section 1094.6 of the California Code of Civil Procedure, unless another statute (such as California Government Code Section 65090 or some other applicable provision) sets forth a more specific time period.

If you have any questions, do not hesitate to contact me at (408) 866-2140.

We invite you to take a moment to complete our on-line customer satisfaction survey that can be found at <https://www.surveymonkey.com/r/VHPBBF8>. Your impressions of your experience working with us will help us to improve our permit process. The feedback provided is completely confidential.

Sincerely,  
  
Naz Pouya  
Assistant Planner

79 North Fins Street • Campbell, CA 95008-1423 • Tel. (408) 866-2140 • Fax (408) 866-5140 • E-mail: [planning@cityofcampbell.com](mailto:planning@cityofcampbell.com)

**RESOLUTION NO. 4474**

BECOMING A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CAMPBELL APPROVING A CONDITIONAL USE PERMIT AND ADMINISTRATIVE PLANNED DEVELOPMENT PERMIT (PLN2018-183) TO ALLOW BEER AND WINE SERVICE AND OUTDOOR SEATING IN CONJUNCTION WITH A NEW RESTAURANT ON PROPERTY LOCATED AT 651 W. HAMILTON AVENUE SUITE 1070 IN THE C-PD (CONDUMINUM PLANNED DEVELOPMENT) ZONING DISTRICT. FILE NO.: PLN2018-183

After notification and public hearing, as specified by law and after presentation by the Community Development Director, proponents and opponents, the hearing was closed. The Planning Commission finds as follows with regard to file number PLN2018-183:

Evidentiary Findings:

- The project site is zoned C-PD (Condominium Planned Development) and designated Commercial/Professional Office/Residential by the General Plan Land Use Element.
- The project site is a mixed-use development located along W. Hamilton Avenue at the northwest corner of the San Tomas Expressway intersection consisting of two-mixed use buildings.
- The subject land area is approximately 3,574 square feet, located on the ground floor of the easterly building and currently vacant with no previously established use.
- The Conditional Use Permit and Administrative Planned Development Permit (PLN2018-183) would allow beer and wine service ("liquor establishment") and outdoor seating at a new restaurant.
- Pursuant to Condition of Approval No. 5 of the Planned Development Permit PLN2017-173 approved by City Council Ordinance No. 2119, permitted uses in the C-2 (General Commercial) zoning district shall be considered permitted uses for the approved commercial-retail space. Conditional uses in the C-2 (General Commercial) zoning district shall require an Administrative Planned Development Permit in compliance with Chapter 21.12.030 of the Campbell Municipal Code (CMC).
- Pursuant to the C-2 (General Commercial) zoning ordinance, outdoor seating with over twelve seats is a conditional use which requires approval of an Administrative Planned Development Permit pursuant to the approved Planned Development Permit.
- Pursuant to CMC Section 21.12.030, liquor establishments require approval of a Conditional Use Permit.
- As conditioned, the beer and wine service will remain incidental to the restaurant's operation.

9. The proposed public closing time of 9:00 PM does not present an impact to nearby residences or businesses.

10. The proposed project includes 65 indoor seats, 18 outdoor seats, and 1,104 square feet of non-dining area.

11. The 2012 approved Parking Management Plan provides the commercial uses with 72 parking spaces (55 commercial spaces plus 17 shared with residential guest spaces).

12. The property owner/manager has allocated 28 parking spaces to the subject tenant space.

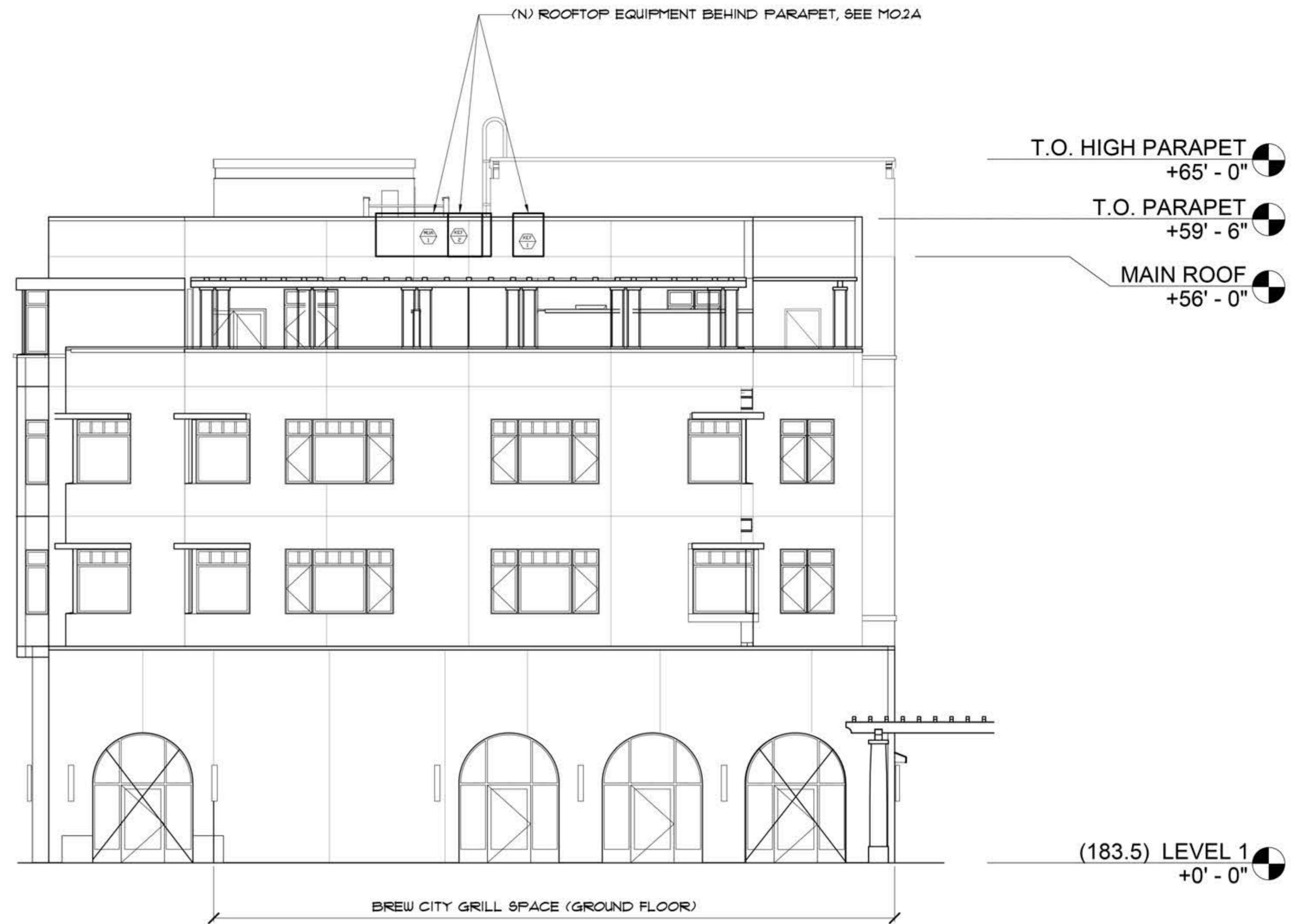
13. Pursuant to CMC Section 21.28.040, Table 3-1, the proposed project would result in a parking demand of 28 parking spaces for the indoor seating and non-dining area and an additional six parking spaces for the outdoor seating. The total parking demand for the proposed project is 33 parking spaces which constitutes a parking deficiency of five parking spaces.

14. The property directly west of the subject property at 771 W. Hamilton Avenue is currently occupied by a drive-through cafe/restaurant (Starbucks) pursuant to a Modification to a previously approved Planned Development Permit (PLN2016-315). The parking demand generated by this use is 15 parking spaces where 21 are provided, which results in a surplus of six spaces.

15. Pursuant to CMC Section 21.28.080(A), the Planning Commission may approve parking for non-residential uses on a temporarily abiding basis subject to the recording of a covenant running with the land recorded by the owner of the parking area guaranteeing that the required parking will be maintained for the life of the use or activity served.

16. Off-site parking spaces at adjacent 771 W. Hamilton Avenue, in compliance with CMC Section 21.28.080(A), accommodates the parking requirement of the proposed outdoor seating.

17. As conditioned, the proposed



EAST ELEVATION SIGHT LINE STUDY

SCALE 1/4" = 1'-0"



NORTH ELEVATION SIGHT LINE STUDY

SCALE 1/4" = 1'-0"

# PARTITION LEGEND

## **GENERAL PARTITION NOTES**

GENERAL CONTRACTOR TO PROVIDE  
AND INSTALL ALL DOOR HARDWARE TO  
MEET CBC 2016 SECTION 1010. G.C. TO  
PROVIDE DOOR CLOSER FORCE 5 LBS  
FOR EXTERIOR DOOR, 5 LBS FOR INTERIOR  
DOORS AND 15 LBS FOR FIRE DOORS.

5) ALL EXTERIOR DOORS SHALL BE  
INSTALLED WITH A FIRE RATED DOOR  
AS PER THE LOCAL BUILDING CODE.  
UNLESS OTHERWISE SPECIFIED,  
DOORS SHALL BE SWINGING IN  
THE DIRECTION OF EXISTING  
OPENING. DOORS SHALL NOT  
SWING OUTWARD.  
6) ALL EXTERIOR DOORS SHALL  
BE SWINGING IN THE DIRECTION  
OF EXISTING OPENING. DOORS  
SHALL NOT SWING OUTWARD.

③ GENERAL CONTRACTOR TO PROVIDE  
INTERNATIONAL SYMBOL OF  
ACCESSIBILITY AT ALL ENTRANCES.

3) THE CONSTRUCTION SHALL COMPLY WITH THE 2001 UNIFORM BUILDING CODE, THE 2001 UNIFORM MECHANICAL CODE, THE 2001 NATIONAL ELECTRICAL CODE AND 2001 CALIFORNIA T-24 ENERGY CODE.

4) GENERAL CONTRACTOR TO PROVIDE  
AND INSTALL HANDICAPPED SYMBOL ON  
ADJACENT WALL TO MAIN ENTRANCE  
DOOR AT THE REQUIRED HEIGHT AND  
POST SIGN TO READ; "THIS DOOR MUST  
REMAIN UNLOCKED WHEN BUILDING IS  
OCCUPIED."

4) GENERAL CONTRACTOR TO PROVIDE AND INSTALL HANDICAPPED SYMBOL ON ADJACENT WALL TO MAIN ENTRANCE DOOR AT THE REQUIRED HEIGHT AND POST SIGN TO READ; "THIS DOOR MUST REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED."

9) G.C. TO ALL MILL

10) ALL EXISTING BEING THE GEN. AND EX.

5) ALL EXISTING TEMPERED SAFETY GLASS  
STORE FRONT AND DOORS TO REMAIN.  
UNLESS OTHERWISE NOTED. ALL NEW  
DOORS SUPPLIED AND INSTALLED BY G.C.

6) ALL DIMENSIONS ARE TO FACE OF STUD

U.O.N.  
1) G.C. TO VERIFY THAT ALL ASSUMED  
CODE COMPLIANT (E) CONDITIONS ARE  
PER CURRENT CODES AND REGULATIONS  
AND NOTIFY THE ARCHITECT IMMEDIATELY

IF DISCOVERED OTHERWISE.

8) G.C. TO PROVIDE ALL BRACKETS FOR  
SUBTOPS BY OTHERS.

9) G.C. TO PROVIDE ALL BLOCKING FOR  
ALL MILL WORK BY OTHERS.

9) G.C. TO PROVIDE ALL BLOCKING FOR ALL MILLWORK BY OTHERS.

10) ALL INFORMATION RELATING TO EXISTING CONSTRUCTION IS GIVEN TO BEING THE BEST AVAILABLE INFORMATION

THE GENERAL CONTRACTOR SHALL VERIFY  
AND EXAMINE EXISTING CONDITIONS AT

E BUILDING SITE. INCONSISTENCIES WHICH  
CCUR IN DRAWINGS AND/OR GENERAL  
ITES SHALL BE BROUGHT TO THE  
ENTION OF RDC BEFORE PROCEEDING  
H THE WORK.

THE GENERAL CONTRACTOR SHALL  
VERIFY ALL DIMENSIONS OF THE DRAWINGS  
AND SHALL NOTIFY RDC OF ANY  
DISCREPANCIES PRIOR TO STARTING

卷之三

CLOSING SPEED FOR DOOR CLOSERS  
AND GATE CLOSERS SHALL BE ADJUSTED  
5 SECONDS MIN FROM AN OPEN  
POSITION OF 90 DEGREES TO A POSITION  
12 DEGREES FROM THE LATCH. CLOSING  
SPEED FOR DOOR AND GATE SPRING  
CLOSERES SHALL BE ADJUSTED TO 1.5  
SECONDS MIN FROM THE OPEN POSITION  
TO 10 DEGREES TO THE CLOSED  
POSITION.

G.C. TO VERIFY WITH OWNER IF EXISTING  
LL CONDITIONS ARE ACCEPTABLE TO  
MAIN.

## DOOR SCHEDULE

QTY.	DESCRIPTION
4 EA	EXISTING MAIN EGRESS DOOR TO REMAIN. WOOD DOOR WITH WOOD FRAME. 36"W X 86. 5"H X 1 $\frac{3}{4}$ " THICK.
1 EA	NEW 36"W X 80"H X 1 $\frac{3}{4}$ " THK. SOLID WOOD DOOR WITH WOOD FRAME.
1 EA	NEW RESTROOM DOOR 36"W X 80"H X 1 $\frac{3}{4}$ " THICK. HOLLOW METAL DOOR WITH METAL FRAME; PAINT PER ELEVATIONS, SEE ADA SIGNAGE REQUIREMENTS 142/K2.0
2 EA	NEW 36"W X 84"H. MTL. DOOR, DOUBLE SWING, W/ MTL. FRAME. 18" MTL. BASE PLATE. 9"x14" WINDOW. ELIASON *SCP-8. METAL FINISH LAM AND COMPLETE WITH ALL NECESSARY HARDWARE.
1 EA	EXISTING MAIN EGRESS DOOR TO REMAIN, WOOD DOOR WITH WOOD FRAME. 36"W X 86. 5"H X 1 $\frac{3}{4}$ " THICK.
1 EA	NEW CLOSET ALUMINUM DOOR PAINTED WITH P2 (SEE K6.2) WITH 1" ALUMINUM FRAME. 24"W X 86. 5"H X 1 $\frac{3}{4}$ " THICK.
2 EA	WOOD SLIDING DOOR, 7'-6"H
2 EA	NEW RESTROOM DOOR 36"W X 80"H X 1 $\frac{3}{4}$ " THICK. 6" WOOD FRAME DOOR WITH FROSTED GLASS INSERT. WITH 4" WOOD FRAME TO MATCH; PAINT PER ELEVATIONS, SEE ADA SIGNAGE REQUIREMENTS 142/K2.0
1 EA	NEW ATTIC ALLUMINUM LADDER - INDUSTRIAL LADDER & SUPPLY CO. WERNER AH-SERIES ALUMINUM ATTIC LADDERS OR EQUAL AH2510 ALU ATTIC LADDER 25"W X 54"L X 8'-10' - 375LBS RATED
<b>HARDWARE SCHEDULE</b>	
	KEY ENTRY LOCK THAT INDICATES WHEN IN LOCKED POSITION, AND SELF CLOSER PUSH/PULL HARDWARE. DOOR HANDLE ON PULL SIDE. G.C. TO PROVIDE SIGNAGE PER NOTE *4. 5 LBS. MAX TO OPEN DOOR
	10" KICKPLATE, SELF CLOSER, KEYED ADA APPROVED LEVER LATCH W/ STANDARD HINGES LEVERS BOTH SIDES THUMB TURN LOCK ON INTERIOR SIDE THAT INDICATES "OCCUPIED" WHEN LOCKED. 5 LBS MAX TO OPEN DOOR
	10" KICKPLATE, KEYED ADA APPROVED LEVER LATCH W/ STANDARD HINGES LEVERS BOTH SIDES, 5 LBS MAX TO OPEN DOOR
	KEYED ADA APPROVED LEVER LATCH W/ STANDARD HINGES LEVERS BOTH SIDES, 5 LBS MAX TO OPEN DOOR
	RAILS FOR SLIDING DOOR, LOCKING MAGNET, FULL HARDWARE, 5LBS MAX TO OPEN
	10" SMOOTH SURFACE, SELF CLOSER, KEYED ADA APPROVED LEVER LATCH W/ STANDARD HINGES LEVERS BOTH SIDES THUMB TURN LOCK ON INTERIOR SIDE THAT INDICATES "OCCUPIED" WHEN LOCKED. 5 LBS MAX TO OPEN DOOR

## HARDWARE SCHEDULE

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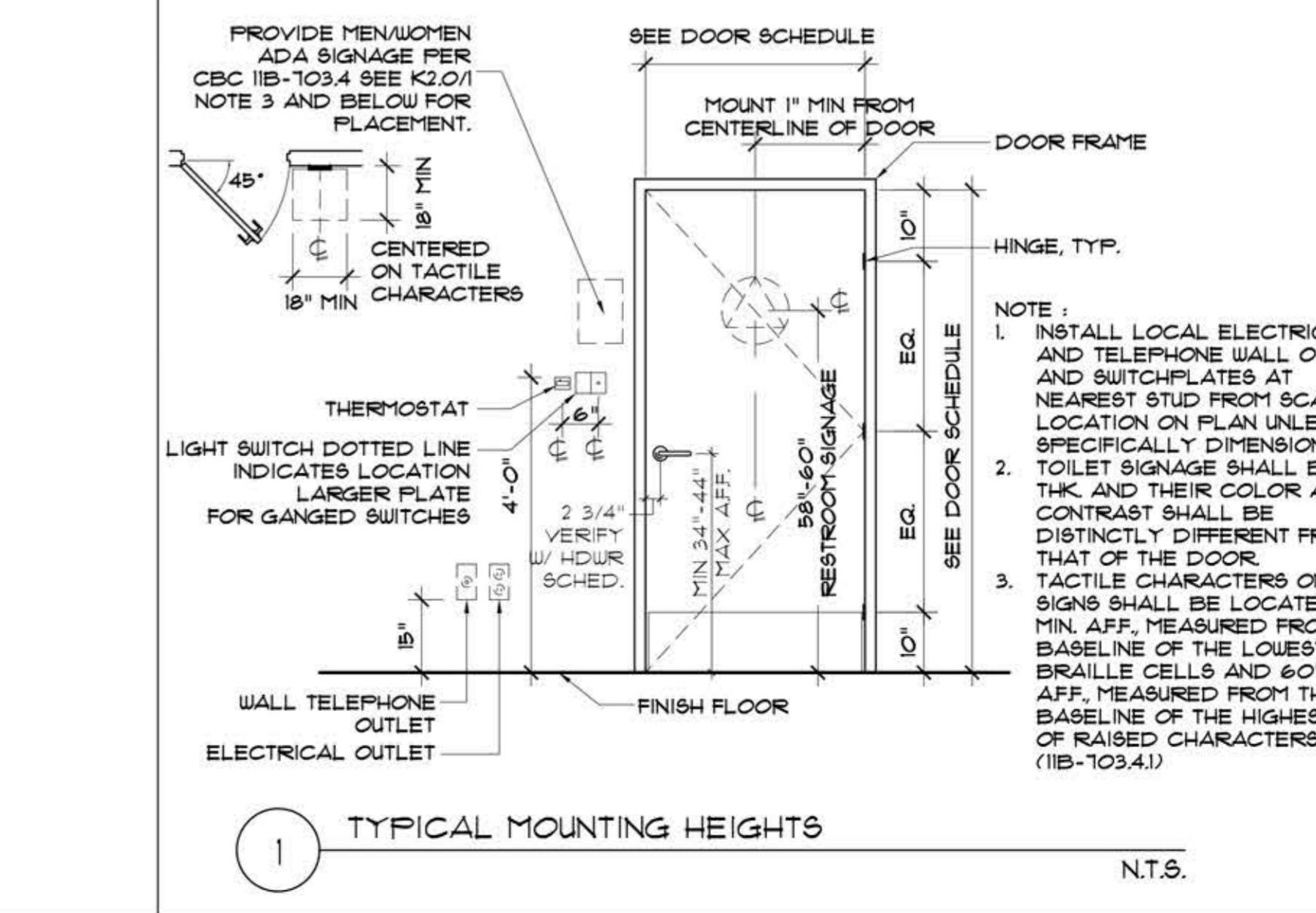
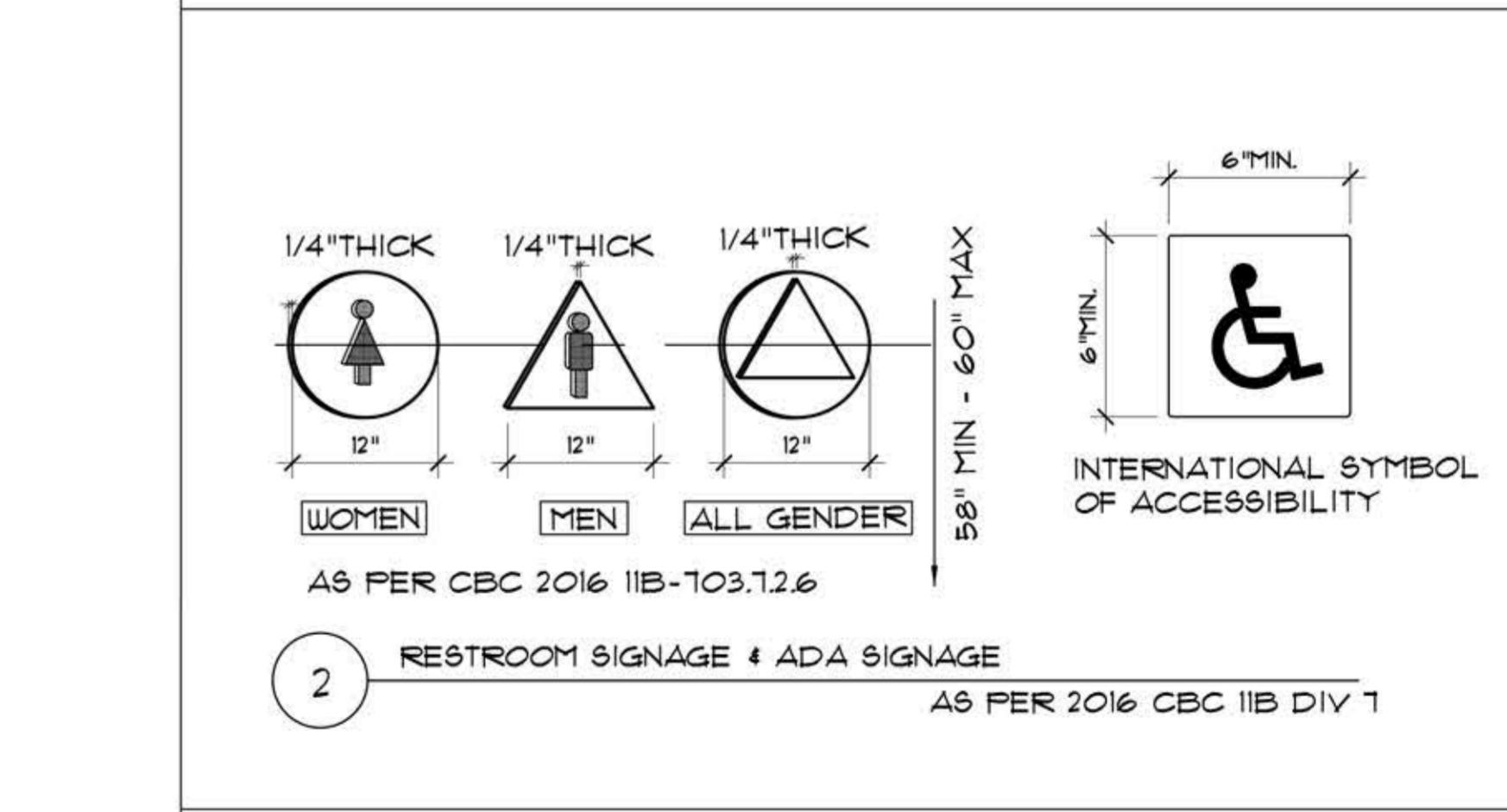
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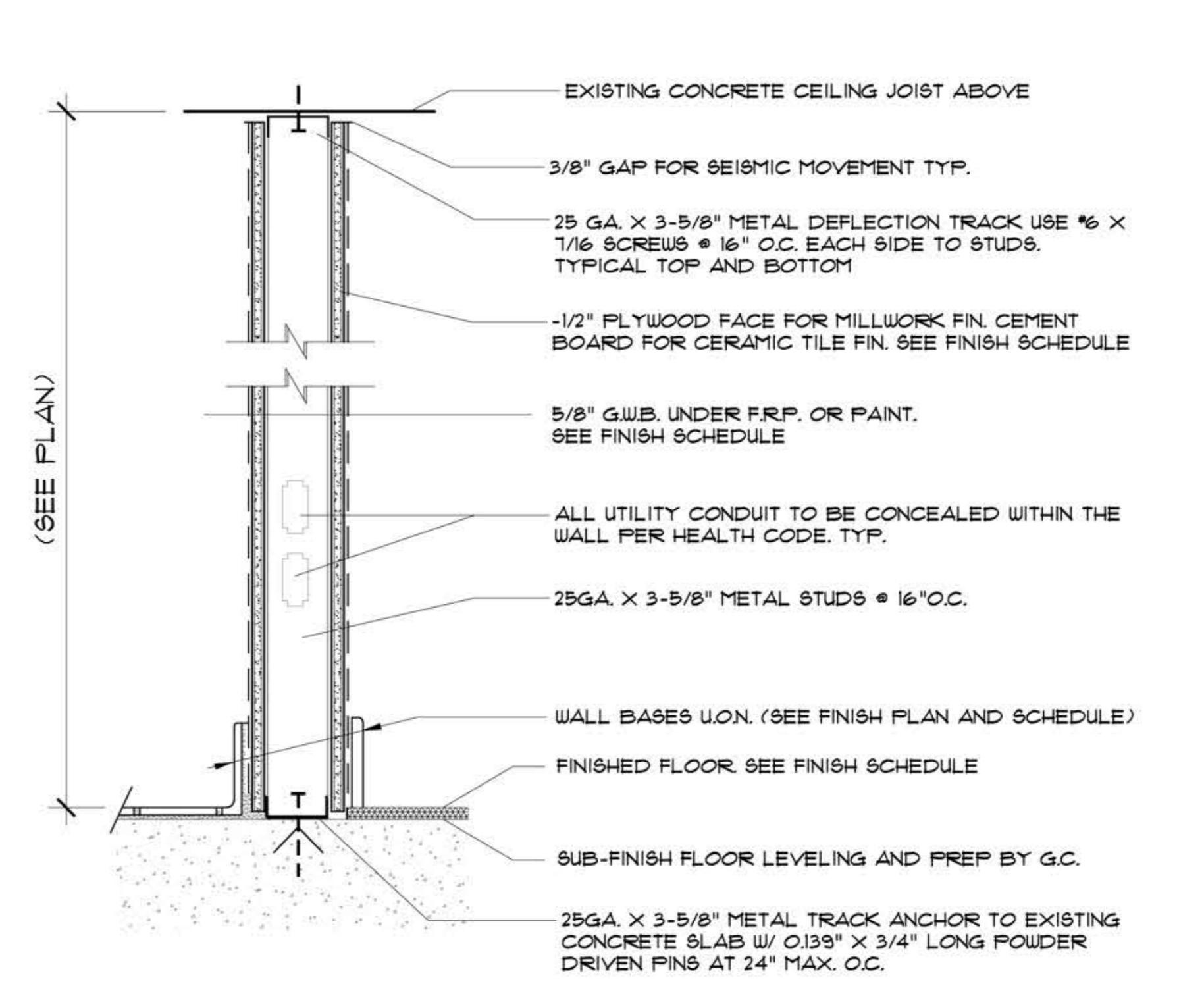
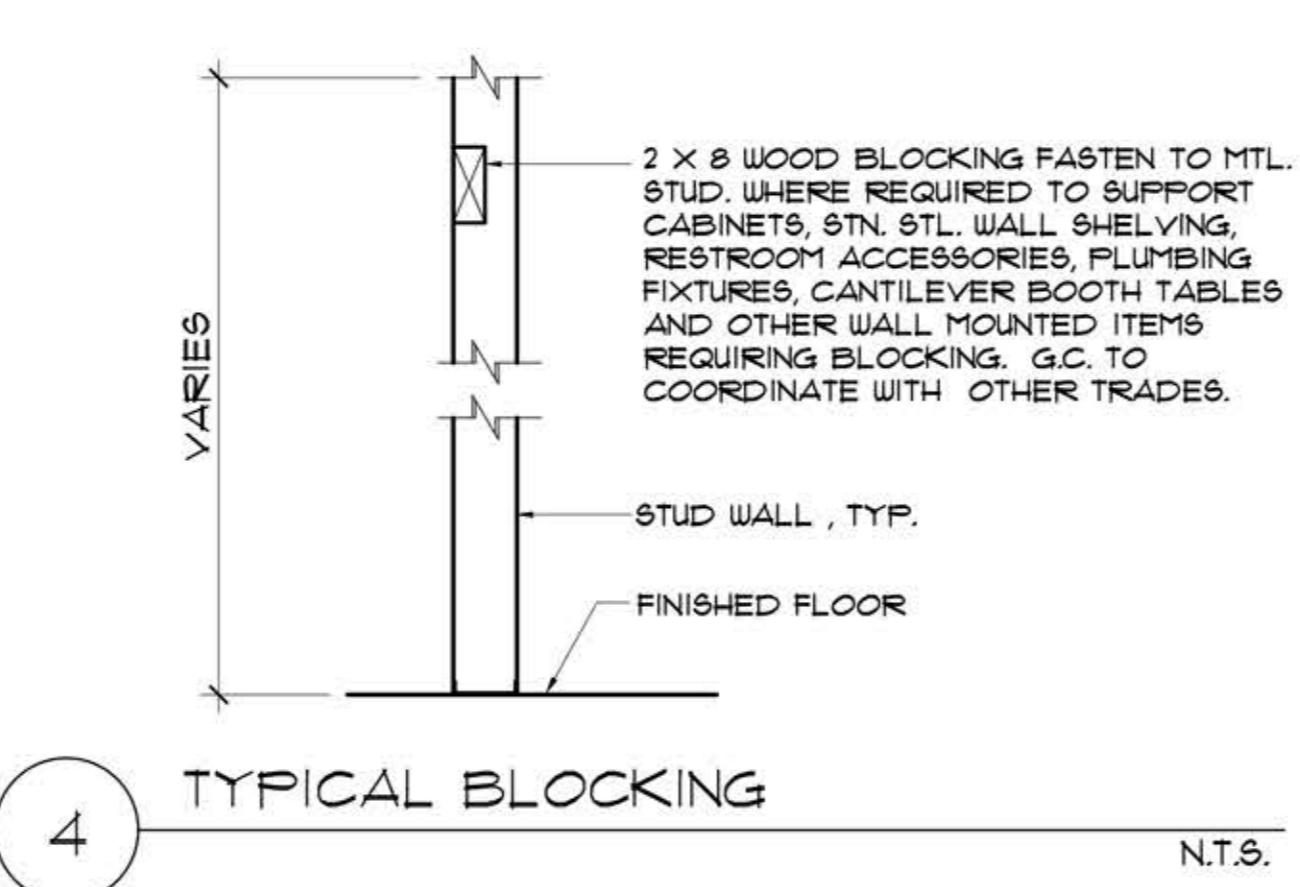
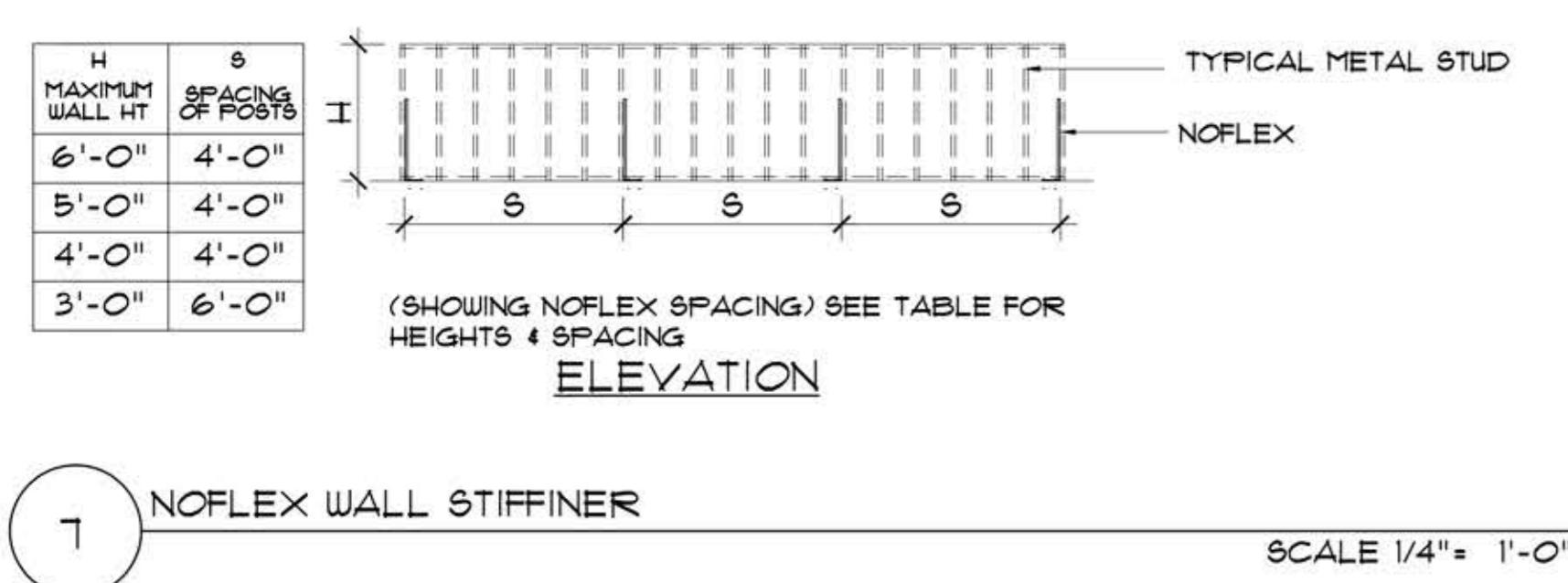
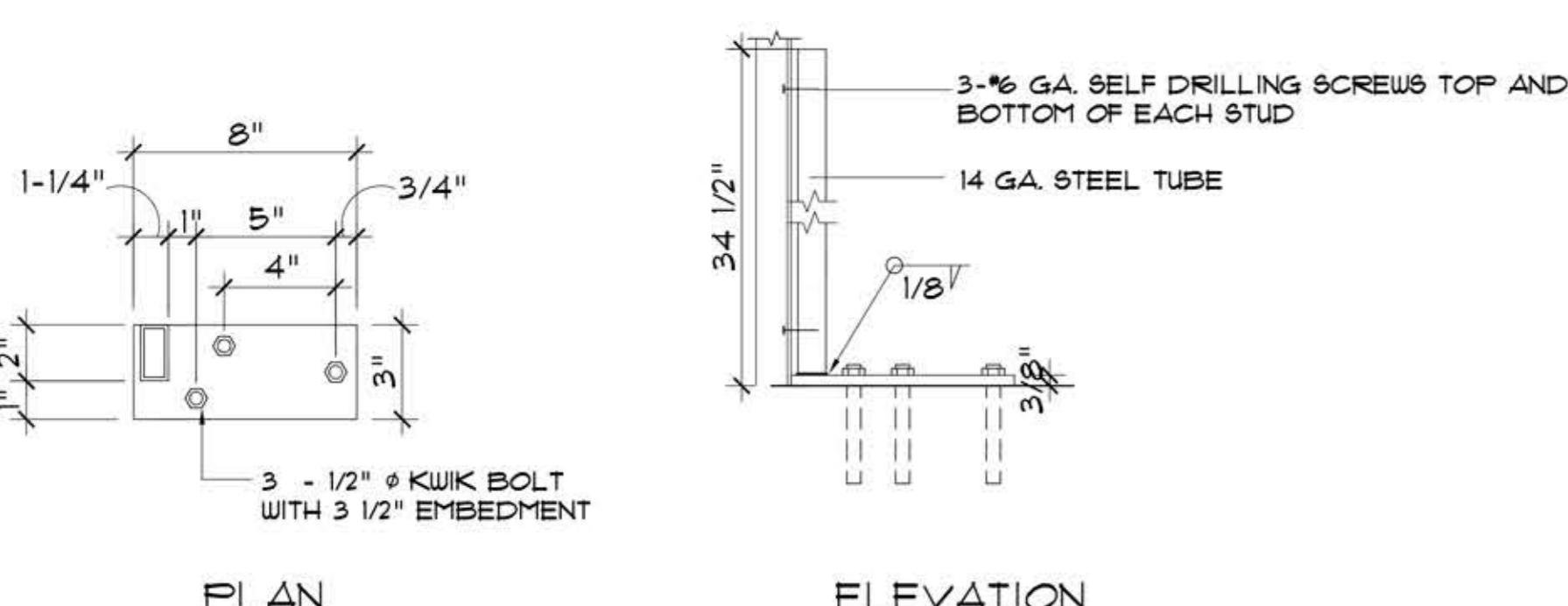
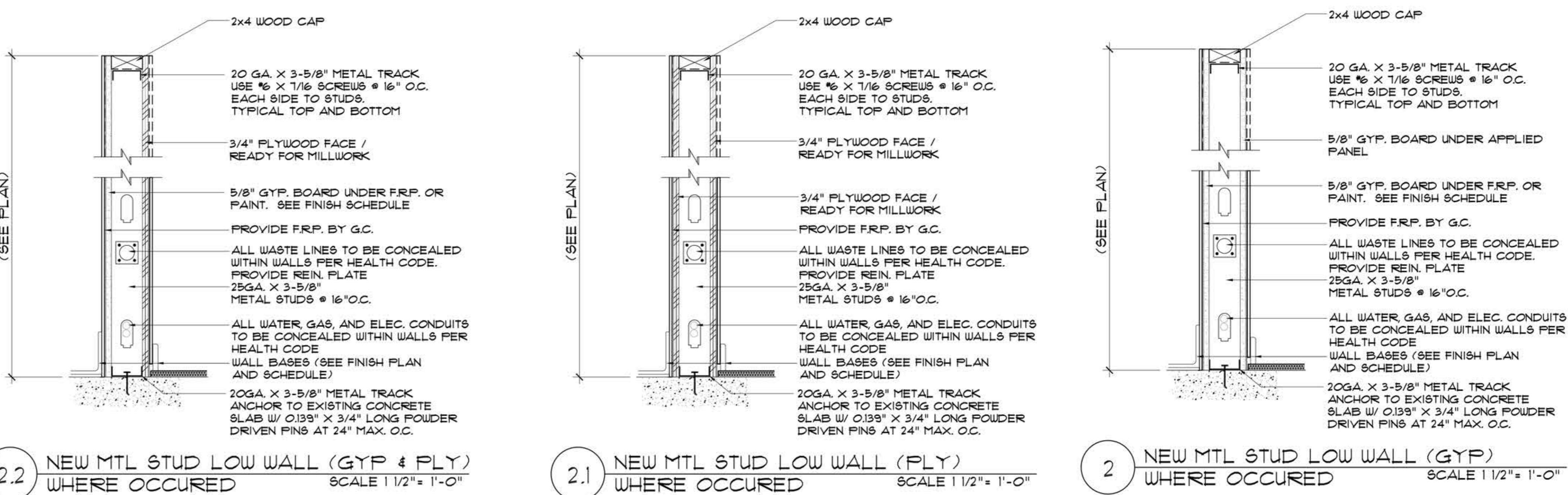
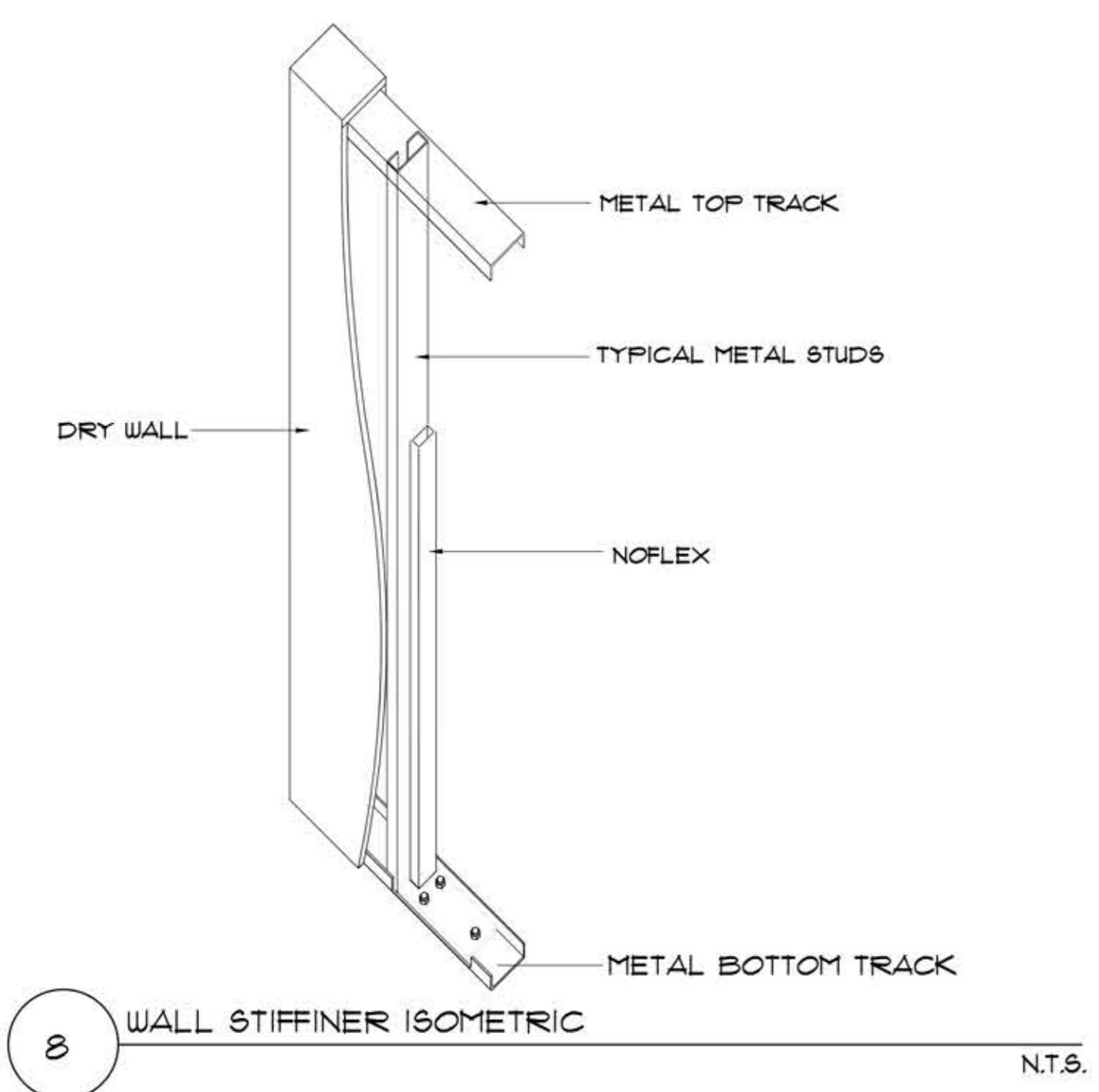
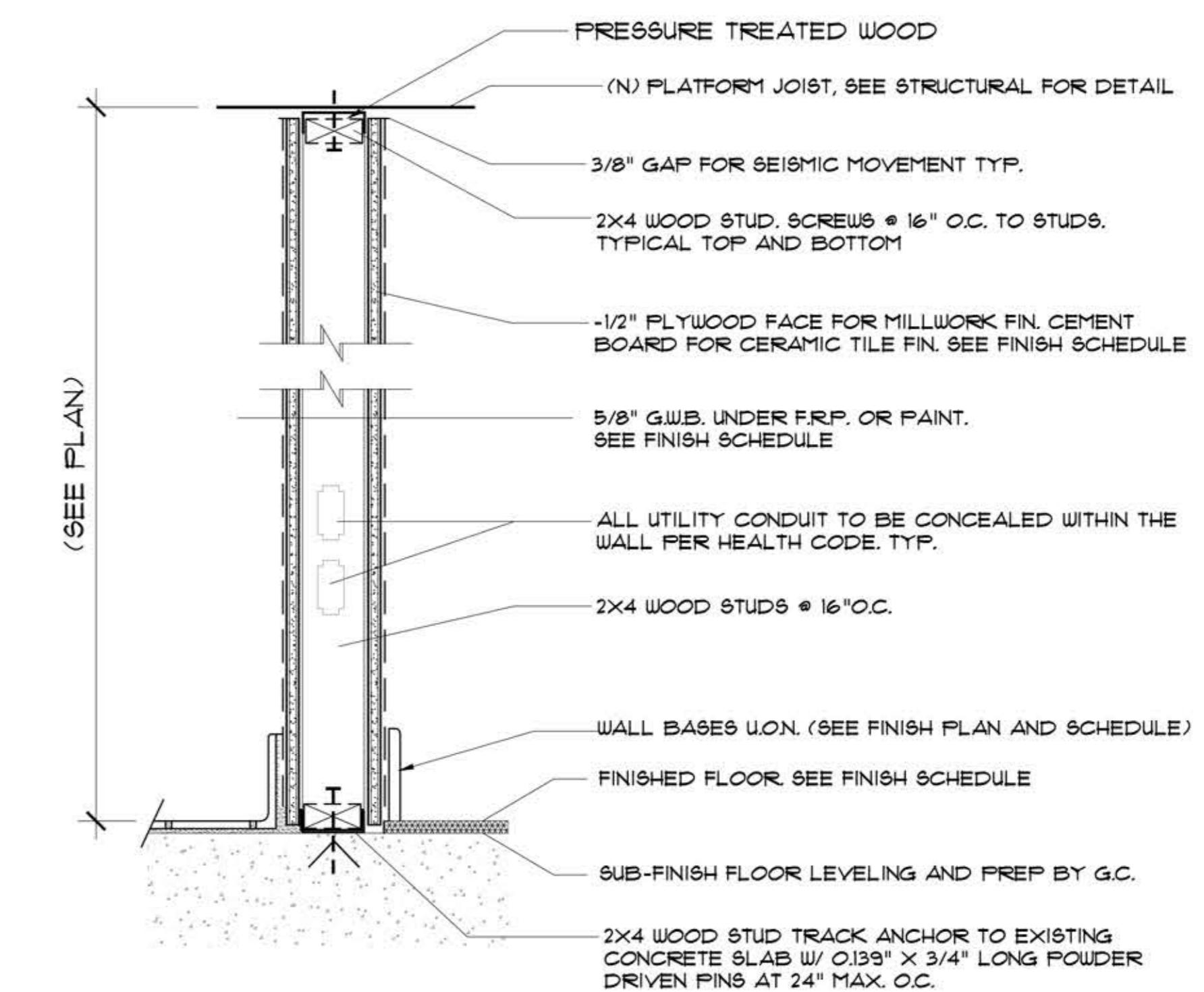
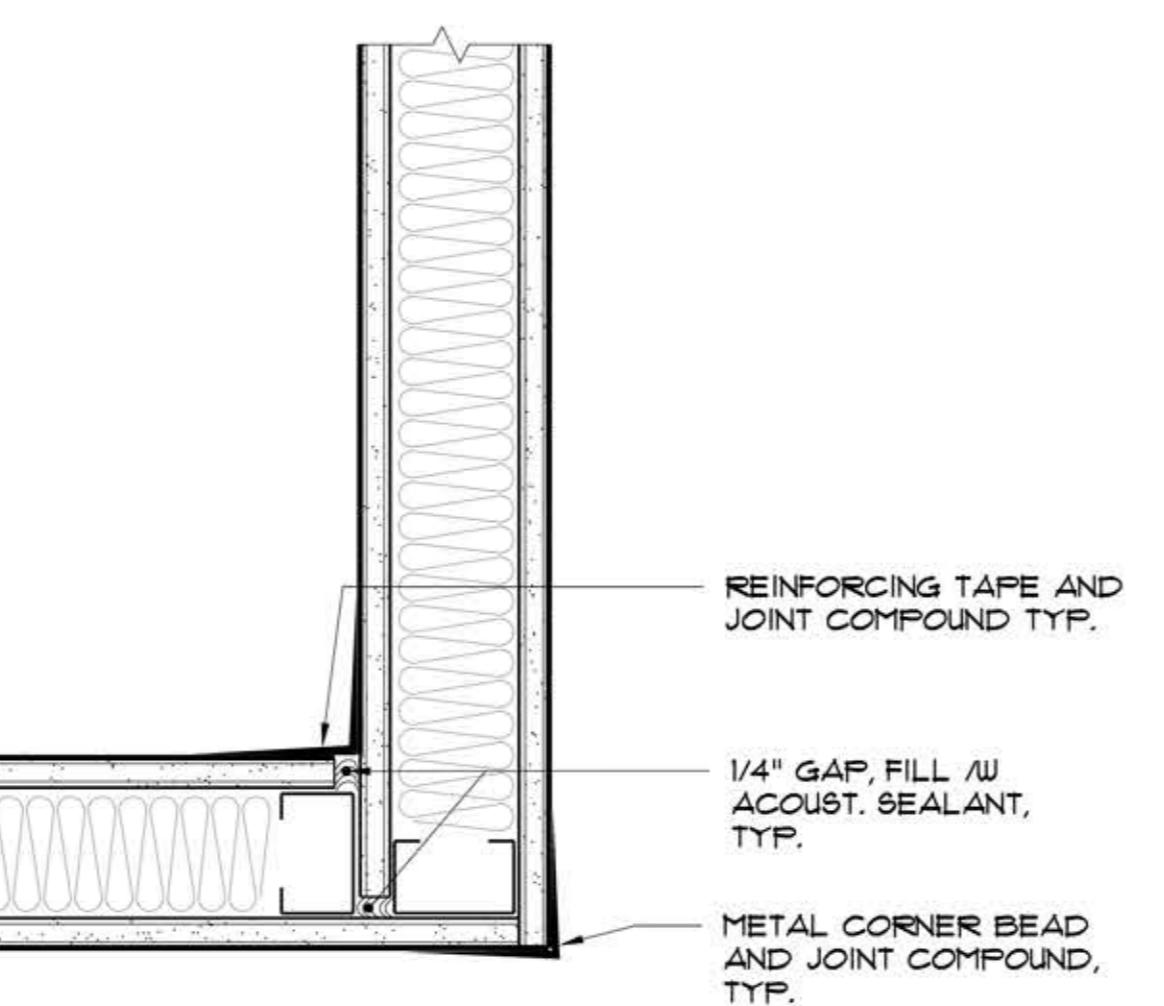
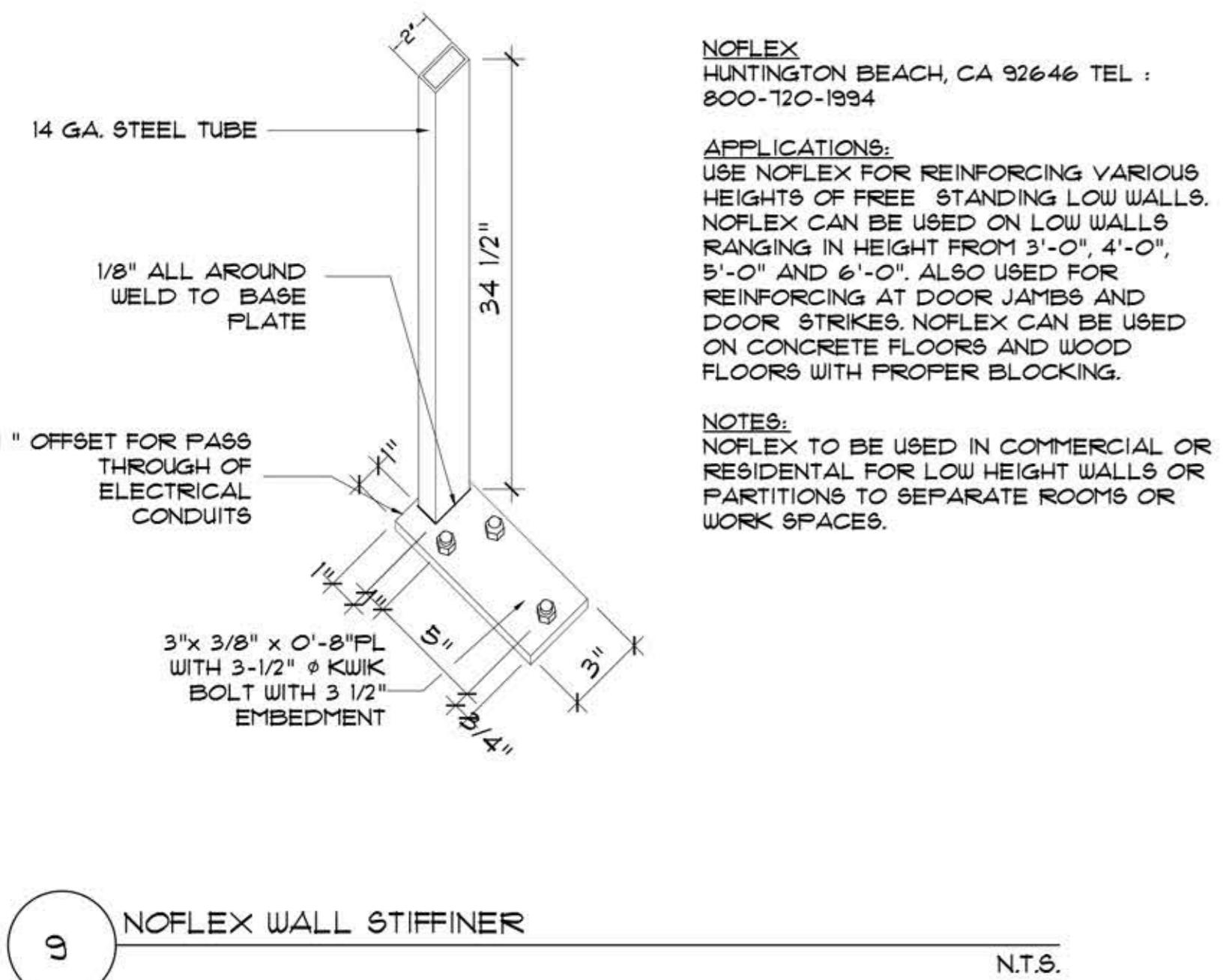
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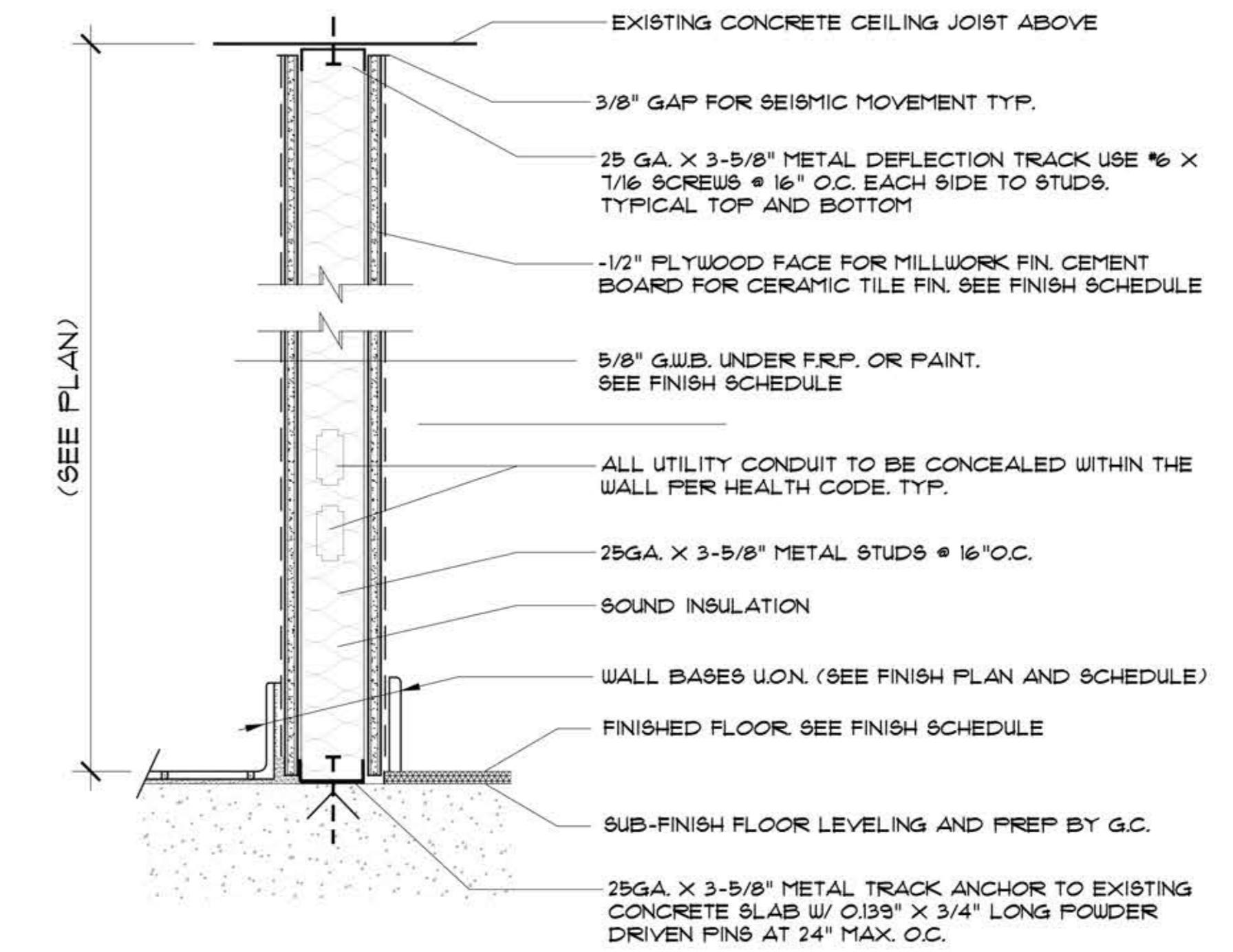
RR WALL

3 TACTILE SIGN - DETAILS  
SEE 142/ K2.0 FOR SIGNAGE LOCATIONS AND CBC 16  
11B-103.3 FOR BRAILLE REQ.

N.T.S.

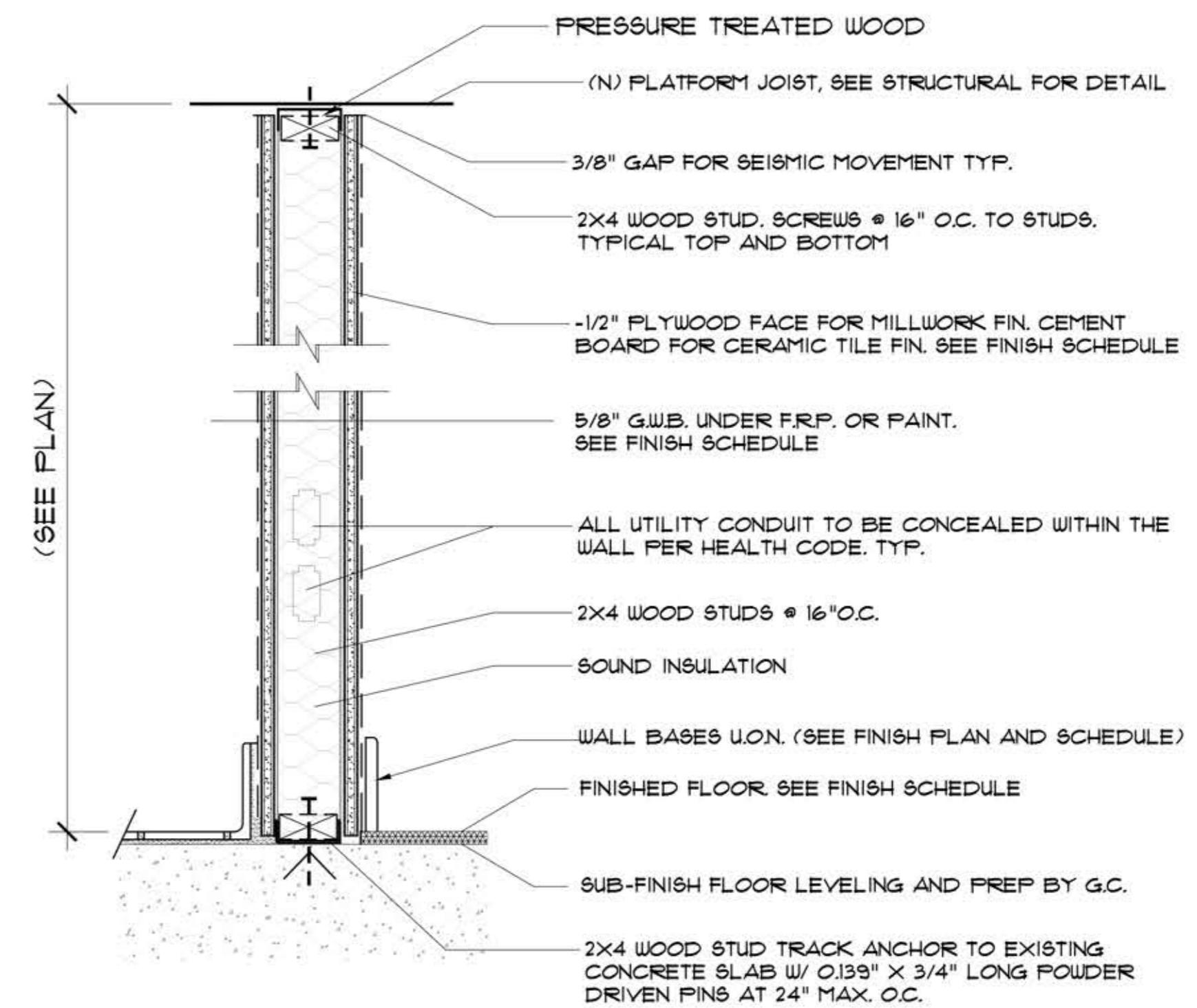




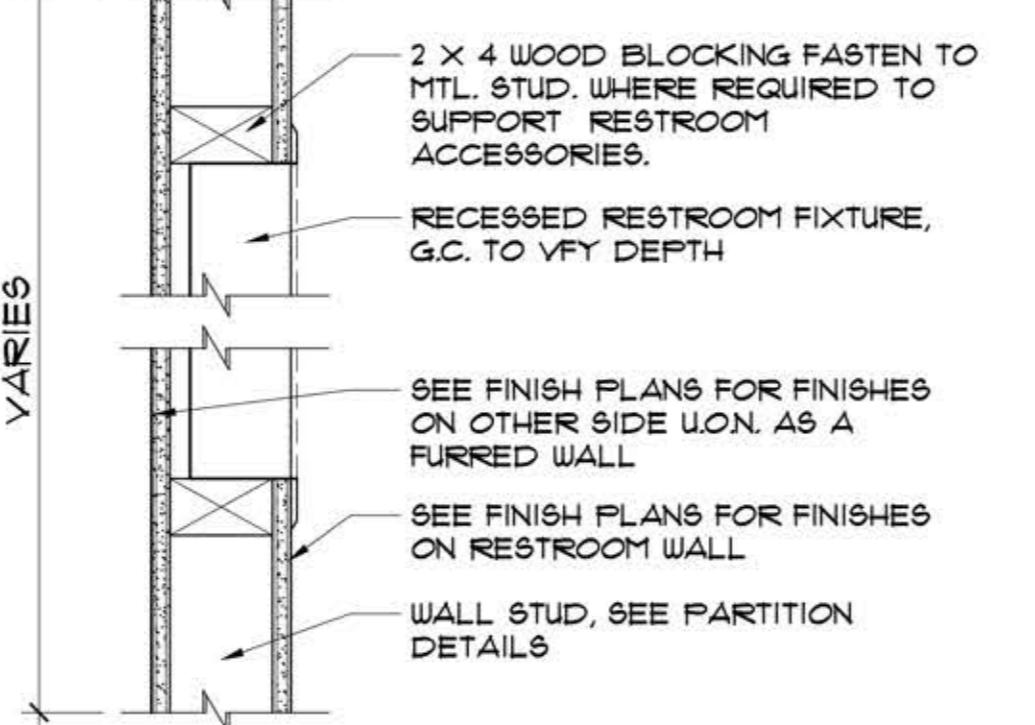


3 FULL HEIGHT NON-BEARING WALLS  
U.O.N.

SCALE 1 1/2" = 1'-0"

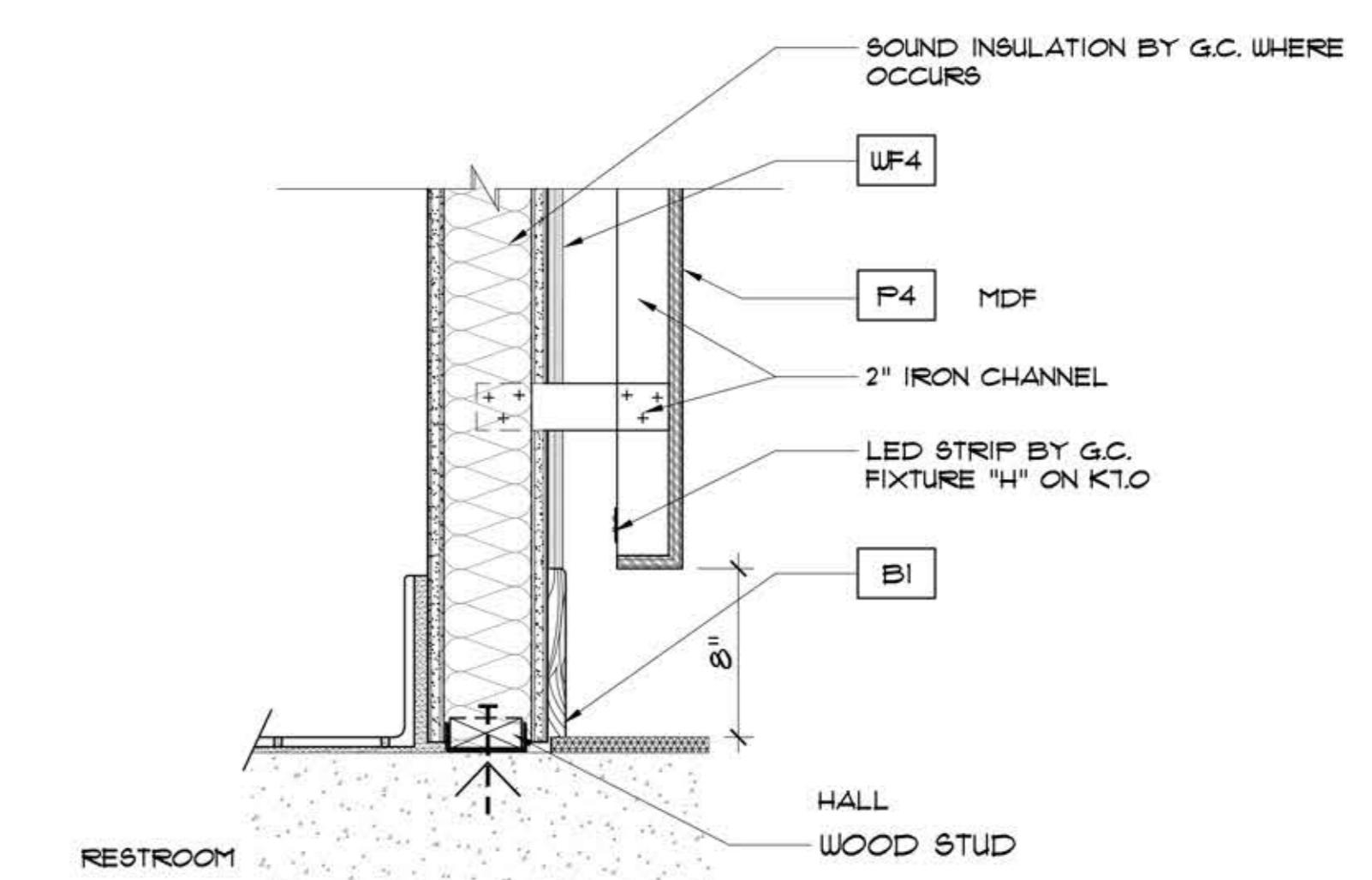


2 FULL HEIGHT WOOD JOIST WALLS  
TO BOTTOM OF PLATFORM



4 RECESSED MOUNTING DETAIL  
U.O.N.

SCALE 1 1/2" = 1'-0"



1 WALL DETAIL IN RESTROOM HALLWAY

NTS

## DRY STORAGE CALCULATIONS

ITEM #	SHELF SIZE	SHELF DESCRIPTION	* OF SHELVES	* OF SETS	TOTAL SQ FT
(46)	5'-0"	EAGLE BRAND ZINC SHELVES 60'L X 18'W X 14'H. 5 TIERS	5 SHELVES	3 SET	75 LN FT
(51)	4'-0"	EAGLE BRAND ZINC SHELVES 48'L X 18'W X 14'H. 5 TIERS	5 SHELVES	3 SETS	60 LN FT
				TOTAL	135 LN FT

## GENERAL CONSTRUCTION REQUIREMENTS

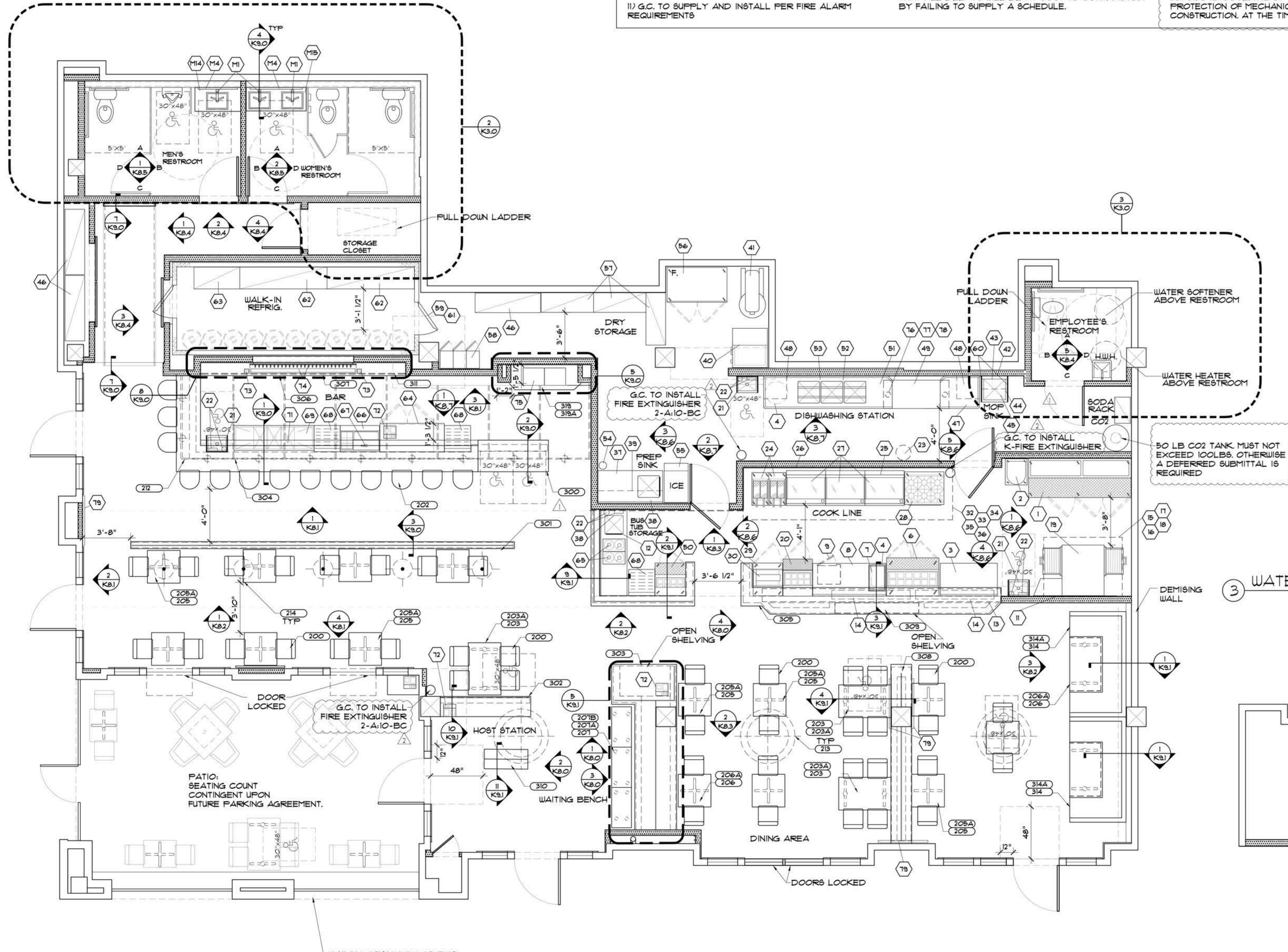
- 1) G.C. TO ANTICIPATE TO INSTALL ALL ITEMS UNLESS OTHERWISE NOTED ELSEWHERE ON PLANS. IT IS THE G.C.'S RESPONSIBILITY TO NOTIFY CLIENT AND DESIGN TEAM IF THERE APPEARS TO BE CONFLICTING INFORMATION.
- 2) G.C. TO COORDINATE UTILITY SERVICE APPLICATION AND UPDATES AS NEEDED.
- 3) FIRE WRAP AND SHAFT ON HOOD SYSTEMS ARE DONE BY G.C.
- 4) STAINLESS STEEL SUPPLIER TO INSTALL HOOD, DUCT SYSTEMS, BLOWERS, ENCLOSURES, AND FLASHING FOR HOODS.
- 5) G.C. TO COORDINATE AND SUPPLY UNUSUAL INSTALLATION TOOLS SUCH AS CRANES, SCISSOR LIFTS, FORKLIFTS, ETC.
- 6) G.C. TO COORDINATE ROOF PENETRATION AND PATCH WITH LANDLORD'S ROOFING CONTRACTOR
- 7) G.C. TO COORDINATE EXTERIOR SIGNAGE POWER REQUIREMENTS.
- 8) G.C. TO COORDINATE AND SUPPLY LIFE SAFETY REQUIREMENTS
- 9) G.C. TO SUPPLY AND INSTALL FIRE EXTINGUISHERS.
- 10) IF PURCHASED FROM RDC, RDC WILL COORDINATE NEW HOOD FIRE SUPPRESSION SYSTEM INSTALL
- 11) G.C. TO SUPPLY AND INSTALL PER FIRE ALARM REQUIREMENTS
- 12) G.C. TO SUPPLY AND INSTALL KNOX BOX IF REQUIRED
- 13) G.C. TO COORDINATE SPECIAL INSPECTIONS
- 14) G.C. TO COORDINATE CALGREEN REQUIREMENTS
- 15) G.C. TO COORDINATE HOOD BALANCE REPORT REQUIREMENTS REGARDLESS IF RDC OR G.C. IS SUPPLYING SERVICE.
- 16) REFRIGERATION COMPANY TO PROVIDE CUT-OUTS IN WALK-IN COOLERS FOR FIRE SPRINKLER INSTALLATION. FIRE SPRINKLER INSTALL IS BY FIRE SPRINKLER SUPPLIER.
- 17) REFRIGERATION COMPANY TO SUPPLY FLASHING FOR WALK-INS AS NEEDED.
- 18) WALK-IN SUPPLIER TO RECOMMEND AND LOCATE REMOTE COMPRESSOR LOCATION. SUPPLIER MUST COORDINATE WITH G.C. FOR PAD AND SUPPORT REQUIREMENT.
- 19) IT IS G.C.'S RESPONSIBILITY TO VERIFY WITH CLIENT IF SUPPLIER LIST CHANGED BEFORE START OF CONSTRUCTION
- 20) G.C. TO PROVIDE BLOCKING FOR ALL WALL MOUNTED EQUIPMENT, PLUMBING FIXTURES AND MILLWORK.
- 21) G.C. SHALL BE RESPONSIBLE FOR INSTALLATION OF ALL STAINLESS STEEL WALL SHELVING, PLUMBING FIXTURES AND MILLWORK U.O.N.
- 22) G.C. TO SET IN PLACE AND LEVEL ALL STN. STEEL EQUIPMENT.
- 23) G.C. TO CAULK AND SEAL AT ALL STN. STEEL EQUIPMENT AFTER SET IN PLACE AND LEVEL TO COMPLY WITH HEALTH DEPARTMENT REQUIREMENTS.
- 24) G.C. TO PROVIDE STN. STL. STORAGE SHELF ABOVE MOP SINK.
- 25) 5.504.1 TEMPORARY VENTILATION. THE PERMANENT HVAC SYSTEM SHALL ONLY BE USED DURING CONSTRUCTION IF NECESSARY TO CONDITION THE BUILDING OR AREAS OF ADDITION OR ALTERATION WITHIN THE REQUIRED TEMPERATURE RANGE FOR MATERIAL AND EQUIPMENT INSTALLATION. IF THE HVAC SYSTEM IS USED DURING CONSTRUCTION, THE RETURN AIR FLOW MUST BE A MINIMUM EFFICIENCY REFRACTING VALUE (MERV) OF 3, BASED ON ASHRAE 52.2-1982, OR AN AVERAGE EFFICIENCY OF 30 PERCENT BASED ON ASHRAE 52.1-1982. REPLACE ALL FILTERS IMMEDIATELY PRIOR TO OCCUPANCY, OR, IF THE BUILDING IS OCCUPIED DURING ALTERATION, AT THE CONCLUSION OF CONSTRUCTION.
- 26) 5.504.3 COVERING OF DUCT OPENINGS AND PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. AT THE TIME OF ROUGH INSTALLATION

OR DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING AND COOLING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF DUST OR DEBRIS WHICH MAY COLLECT IN THE SYSTEM.

27) ALL HOOD PENETRATIONS SHALL BE SEALED, OTHERWISE MADE GREASETIGHT OR SHALL BE PERMITTED TO BE SEALED BY DEVICES THAT ARE LISTED FOR USE DURING THAT REQUIRED PENETRATION OF THE HOOD, SUCH AS PIPE AND CONDUIT PENETRATION FITTING AND FASTENERS SHALL BE LISTED IN ACCORDANCE WITH UL 1978 STANDARD FOR GREASE DUCTS, CMV 501.2, 502.3, AND 510.3, AND NFPA 96, B.1.3, B.1.II, B.1.III, AND B.1.IV.

28) MOBILE COOKING EQUIPMENT SHALL BE PROVIDED WITH A MEANS TO ENSURE THAT IT IS CORRECTLY POSITIONED IN RELATION TO THE APPLIANCE DISCHARGE NOZZLE DURING COOKING OPERATIONS, IN ACCORDANCE WITH NFPA 17A, SECTION 5.6.4.

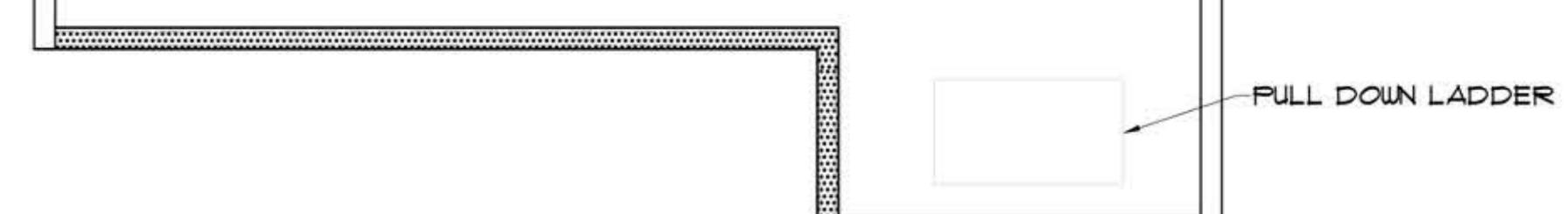
29) G.C. TO INSTALL DORMONT SAFETY-SET POSITIONING SYSTEM WITH SCREW HARDWARE. TWO WHEEL STOPS AT EACH EQUIPMENT ON CASTERS UNDER HOODS.



1 FLOOR PLAN

## MECHANICAL PLATFORM PLAN

SCALE 1/4" = 1'-0"



SCALE 1/4" = 1'-0"

## WATER HEATER PLATFORM PLAN

SCALE 1/4" = 1'-0"

WATER SOFTENER  
ACCESS PANEL  
WATER HEATER  
H.W.H.

EQUIPMENT SCHEDULE						ELECTRICAL SCHEDULE						PLUMBING SCHEDULE									
ITEM NO.	SUPPLIED BY	QTY.	DESCRIPTION	INSTALLED BY	VOLT.	PH	LOAD			ELEC. REMARKS	INSTALLED BY	WATER			WASTE		GAS			PLUMBING REMARK	
							WATT	AMPS.	HP			CW	HW	HT	DIR	INDIR	HT	BTU 1000	CONN SIZE	HT	
1	RDC	1EA.	THREE DOOR PIZZA PREP TABLE, 94" L. X 31" D. SS. CABINET CONSTRUCTION SS. INTERIOR SHELVING, INSULATED PAN COVER 115V.	TURBO-AIR TPF-93SD-N	EC	115	1	11	2/3	+15"	PROVIDE OUTLET IN WALL HORIZONTALLY. UNIT PROVIDED WITH CORD AND PLUG.										
2	OWNER	1EA.	DOUGH PRESS WITH TRAY STAND AND CASTERS	CUPPONE PZP30	EC	208 / 220	3	15	2/3	+15"	ELECTRICIAN TO VERIFY FOR POWER CONNECTION REQUIREMENT										
3	RDC	1EA.	STN. STL. WORK TABLE, 4'X4" L X 30" D, 4" BACK SPLASH, STN. STL. LEGS AND UNDER SHELF. ALL WELDED CONSTRUCTION. 16 GA. TOP	J AND K																	
4	OWNER	1LOT	GARBAGE CAN																		
5			SPARE NUMBER																		
6	RDC	1EA.	48 1/4" W. X 34" D. TWO DOOR MEGA TOP REFRIGERATED PREP TABLE, 12 CONVENTION FANS WITH INSULATED TOP COVER SS. INTERIOR AND EXTERIOR CONSTRUCTION. 115V.	TURBO-AIR TST-42-N	EC	115	1	65	1/3	+15"	PROVIDE OUTLET IN WALL HORIZONTALLY. UNIT PROVIDED WITH CORD AND PLUG.										
7	RDC	1EA.	COUNTER TOP FOOD WARMER	NEMCO 6055A	EC	115	1	12.5		+44"	PROVIDE OUTLET IN WALL HORIZONTALLY. UNIT PROVIDED WITH CORD AND PLUG.										
8	RDC	1EA.	STN. STL. WORK TABLE, 5'-0" L X 30" D, 4" BACK SPLASH, STN. STL. LEGS AND UNDER SHELF. ALL WELDED CONSTRUCTION. 16 GA. TOP	J AND K																	
9	RDC	1EA.	1000 WATT. MICROWAVE OVEN WITH PRE-SET BUTTONS, 115V, SINGLE PHASE	TURBO-AIR TMW-100ONE	EC	115	1	1000		+44"	PROVIDE OUTLET IN WALL HORIZONTALLY. UNIT PROVIDED WITH CORD AND PLUG.										
10			SPARE NUMBER																		
11	RDC	1 LOT	STN. STL. WALL LINING, 5'-6" L X 6'-8" H.	J AND K																	
12	RDC	1EA.	HAND SINK SPLASH GUARD ON LEFT SIDE OF SINK	J AND K																	
13	RDC	1EA.	STN. STL. TABLE SHELF, 18'-2" L X 12" D. DOUBLE TIER	J AND K																	
14	RDC	2 EA.	UNDER SHELF HEAT LAMP, 6'-0" L X 6'-W WITH UNDER SHELF BRACKET AND OPTIONAL REMOTE INFINITY CONTROL, 115V.	HATCO UGA-72	EC	115	1	2000		+24"	MOUNT JBOX IN WALL. RUN SEAL TIGHT FLEXT CONDUIT TO UNIT CONNECTION.										
15	RDC	1EA.	STN. STL. TYPE 1 EXHAUST HOOD, 6'-0" L X 4'-6" D. WITH LIGHTS AND FILTERS. SEE MECH. ENG. PLAN FOR REQUIREMENT	HOODMART	EC	115	1	5.0	Above Ceiling	MOUNT JBOX ABOVE CEILING. RUN SEAL TIGHT FLEXT CONDUIT TO UNIT CONNECTION.											
16	RDC	1EA.	EXHAUST DUCT FROM TOP OF HOOD TO PROVIDED SHAFT CONNECTION. APPROX. 20' OF DUCT RUN. SEE MECH. ENG. PLAN FOR REQUIREMENT	J AND K																	
17	RDC	1EA.	EXHAUST BLOWER FOR ITEM #15 SEE MECH. ENG. PLAN FOR REQUIREMENT	HOODMART	EC	VFT.	VFT.	VFT.	VFT.	ON ROOF	PROVIDE JBOX ON ROOF WITH DISCONNECT SWITCH, RUN SEAL TIGHT CONDUIT TO UNIT CONNECTION. INTERWIRE WITH E-.										
18	RDC	1EA.	MAKE-UP AIR SYSTEM FOR ITEM #15 SEE MECH. ENG. PLAN FOR REQUIREMENT	J AND K	EC	VFT.	VFT.	VFT.	VFT.	ON ROOF	PROVIDE JBOX ON ROOF WITH DISCONNECT SWITCH, RUN SEAL TIGHT CONDUIT TO UNIT CONNECTION. INTERWIRE WITH E-.									SEE MECHANICAL ENGINEERING PLANS FOR REQUIREMENT.	
19	OWNER	1EA.	TUNNEL STONE CONVEYOR OVEN WITH SUPPORT BASE AND CASTERS.	ITALFORNI TSB GAS	EC	115	1	5.0		+15"	PROVIDE OUTLET IN WALL HORIZONTALLY. UNIT PROVIDED WITH CORD AND PLUG.									INSTALL PRESSURE REGULATOR. PROVIDE S.O.V. RUN PIPING TO UNIT CONNECTION WITH QUICK DISCONNECT KITS.	
20	RDC	1EA.	21 1/2" W X 34" D. SINGLE DOOR MEGA TOP REFRIGERATED PREP TABLE, 12 CONVENTION FANS WITH INSULATED TOP COVER SS. INTERIOR AND EXTERIOR CONSTRUCTION. HINGE RIGHT, 115V.	TURBO-AIR MST-28-12-N	EC	115	1	3.0	1/6	+15"	PROVIDE OUTLET IN WALL HORIZONTALLY. UNIT PROVIDED WITH CORD AND PLUG.									PROVIDE S.O.V. RUN PIPING TO UNIT CONNECTION. INSTALL "P" TRAP AS REQUIRED.	
21	RDC	3 EA.	WALL MOUNT HAND SINK WITH WRIST HANDLE FAUCET AND SPLASH GUARD, 15" L X 15" W GSU HS-16556																		
22	G.C.	1 LOT	SOAP AND PAPER TOWEL DISPENSER																		
23	RDC	1EA.	FIRE SUPPRESSION SYSTEM FOR HOOD 15 AND 32. MAY NOT CONTAIN HALONS	OK FIRE	EC						INSTALL MICRO SWITCH AS REQUIRED									INSTALL MAIN GAS SHUT OFF VALVE AS REQUIRED	
24	RDC	2 EA.	35-40 LB. FRYER, ALL STN. STL. FRONT AND SIDE. TWO BASKETS, ON CASTERS AND QUICK DISCONNECT GAS LINE.	PITCO 35C4S																INSTALL PRESSURE REGULATOR. PROVIDE S.O.V. RUN PIPING TO UNIT CONNECTION WITH QUICK DISCONNECT KITS.	
25	RDC	3 EA.	STN. STL. EQUIPMENT STAND, 3'-0" L X 30" D X 27" H. WITH GALV. LEGS AND UNDER SHELF, ON LOCKABLE CASTERS.	GSW ES-E3036																	
26	RDC	1EA.	STN. STL. EXTENDED SUPPORT ATTACHED TO LEFT SIDE OF ITEM# 25 CHEF'S BASE	J AND K																	
27	RDC	1 LOT	STN. STL. WALL LINING, 16'-0" L X 6'-6" H.	J AND K																	
28	RDC	3 EA.	COUNTER TOP HIGH POLISHED THERMOSTATIC CONTROL GRIDDLE, 36" W. WITH DISCONNECT KIT.	GARLAND GTG36-GT36M																PROVIDE S.O.V. RUN PIPING TO UNIT CONNECTION.	
29	RDC	1EA.	36" W. & OPEN BURNERS WITH ONE FULL SIZE OVEN. SS. INTERIOR AND EXTERIOR, STD. HIGH SHELF. WITH QUICK DISCONNECT GAS LINE KIT AND CASTERS. NAT. GAS.	TURBO-AIR TAR-6																PROVIDE S.O.V. INSTALL PRESSURE REGULATOR. INSTALL QUICK DISCONNECT KIT. RUN PIPING TO UNIT CONNECTION.	
30	RDC	1EA.	SINGLE DOOR UNDER COUNTER FREEZER, 1 CU. FT. HINGE LEFT 21 1/2" W. X 30" D. ON CASTERS. SELF CONTAIN.	TURBO-AIR MF-28	EC	115	1	5.3	1/3	+15"	PROVIDE OUTLET IN WALL HORIZONTALLY. UNIT PROVIDED WITH CORD AND PLUG.										
31	RDC	1EA.	COUNTER TOP DUMP STATION WITH HEAT LAMP	AVANTCO FFD8-1	EC	115	1	1000	VFT	VFT	+15"	PROVIDE OUTLET IN WALL HORIZONTALLY. UNIT PROVIDED WITH CORD AND PLUG.									
32	RDC	1EA.	STN. STL. WORK TABLE, 6'-6" L X 26" D, 4" BACK SPLASH. WITH 18" X 18" X 12" D SINK ON RIGHT SIDE. SS. LEGS AND UNDER SHELF.	HOODMART	EC	115	1	5.0	Above Ceiling	MOUNT JBOX ABOVE CEILING. RUN SEAL TIGHT FLEXT CONDUIT TO UNIT CONNECTION.									RUN IND. DRAIN TO FLOOR SINK		
33	RDC	1EA.	STN. STL. TYPE 1 EXHAUST HOOD, 16'-0" L X 4'-0" D. WITH LIGHTS AND FILTERS. SEE MECH. ENG. PLAN FOR REQUIREMENT	HOODMART	EC	VFT.	VFT.	VFT.	VFT.	ON ROOF	PROVIDE JBOX ON ROOF WITH DISCONNECT SWITCH, RUN SEAL TIGHT CONDUIT TO UNIT CONNECTION. INTERWIRE WITH E-.										
34	RDC	1EA.	EXHAUST BLOWER FOR ITEM #32 SEE MECH. ENG. PLAN FOR REQUIREMENT	HOODMART	EC	VFT.	VFT.	VFT.	VFT.	ON ROOF	PROVIDE JBOX ON ROOF WITH DISCONNECT SWITCH, RUN SEAL TIGHT CONDUIT TO UNIT CONNECTION. INTERWIRE WITH E-.										
35	RDC	1EA.	MAKE-UP AIR SYSTEM FOR ITEM #32 SEE MECH. ENG. PLAN FOR REQUIREMENT	J AND K	EC	VFT.	VFT.	VFT.	VFT.	ON ROOF	PROVIDE JBOX ON ROOF WITH DISCONNECT SWITCH, RUN SEAL TIGHT CONDUIT TO UNIT CONNECTION. INTERWIRE WITH E-.								SEE MECHANICAL ENGINEERING PLANS FOR REQUIREMENT.		
36	RDC	1EA.	STN. STL. ENCLOSURE PANEL FROM TOP OF HOOD TO CEILING	J AND K																	
37	RDC	1EA.	STN. STL. WORK TABLE, 5'-0" L X 20" D, 4" BACK SPLASH. WITH 18" X 18" X 12" D SINK ON LEFT SIDE. SS. LEGS AND UNDER SHELF. PROVIDED SPLASH GUARD BY LEFT SIDE OF SINK	J AND K GSW															RUN IND. DRAIN TO FLOOR SINK		
38	RDC	2 EA.	DECK MOUNT FAUCET WITH 10" SWING NOZZLE.	T45 B-C220-EE-06IX																PROVIDE S.O.V. RUN PIPING TO UNIT CONNECTION.	
39	RDC	1 EA.	60" L X 12" W. STN. STL. WALL SHELVING WITH BRACET. INSTALL BY G.C.	J AND K																	
40	OWNER	1 EA.	DOUGH DIVIDER / ROUNDER ON CASTERS	FRIUL CO. M48/100	EC	115	1	VFT	VFT	+15"	PROVIDE OUTLET IN WALL HORIZONTALLY. UNIT PROVIDED WITH CORD AND PLUG.										
41	RDC	1EA.	60 QT. PIZZA DOUGH MIXER, GEAR TRANSMISSION, 3 HP, TWO FIXED SPEED, PROVIDED WITH SPIRAL DOUGH HOOK, BOWL TRUCK, 208V, THREE PHASE.	GLOBE SP62P	EC	208	3	12	3	30"	MOUNT JBOX IN WALL. RUN SEAL TIGHT FLEXT CONDUIT TO UNIT CONNECTION.										
42	G.C.	1 SET	MOP HOLDER, WALL MOUNTED																		
43	RDC	1 EA.	MOP SINK FAUCET WITH VACUUM BREAKER.	GSW AA-840																RUN PIPING TO UNIT CONNECTION.	
44	RDC	1 EA.	24" L X																		

EQUIPMENT SCHEDULE						ELECTRICAL SCHEDULE						PLUMBING SCHEDULE									
ITEM NO.	SUPPLIED BY	QTY.	DESCRIPTION	INSTALLED BY	VOLT.	PH	LOAD			HT.	ELEC. REMARKS	INSTALLED BY	WATER			WASTE			PLUMBING REMARK		
							WATT	AMPS.	HP				CW	HW	HT	DIR	INDIR	HT			
50	RDC	1EA.	SINGLE DOOR REFRIGERATED SANDWICH PREP TABLE. 8 CONDIMENT PANS. HINGED LEFT. 86" INTERIOR AND EXTERIOR CONSTRUCTION. 15V.	TURBO-AIR MST-2B-N	EC	115	1	3.8	1/6	+15"	PROVIDE OUTLET IN WALL HORIZONTALLY. UNIT PROVIDED WITH CORD AND PLUG.										
51	RDC	1EA.	STN. STL. SOILED DISH TABLE. 5'-10" L X 30" D WITH STN. STL. LEGS AND UNDER SHELF. (3) 20" X 20" X 12"D. PRE-RINSE SINK. WITH REMOVABLE RACK SLIDE AND WASTE BASKET. SPLASH MOUNT FAUCET WITH 12" SWING NOZZLE.	J AND K GSU								PC				2"		24"		PROVIDE S.O.V. RUN PIPING TO UNIT CONNECTION. VERIFY WITH MECH. ENG. PLAN FOR GREASE TRAP DRAINAGE REQ.	
52	RDC	1 EA	SPLASH MOUNT FAUCET WITH 12" SWING NOZZLE. PRE-RINSE FAUCET WITH WALL BRACKET.	T4S B-C033-ADP2-B								PC	1/2"	1/2"	+16"					PROVIDE S.O.V. RUN PIPING TO UNIT CONNECTION.	
53	RDC	1EA.	SPLASH MOUNT FAUCET WITH 12" SWING NOZZLE WITH WRIST HANDLES.	T4S B-C031-CR								PC	1/2"	1/2"	+16"					PROVIDE S.O.V. RUN PIPING TO UNIT CONNECTION.	
54	RDC	1EA.	WATER FILTER FOR ICE MAKER. SINGLE FILTER.	ICE-O-MATIC IQ1								PC	1/2"		SEE PLAN					PROVIDE S.O.V. RUN PIPING TO UNIT CONNECTION.	
55	RDC	1EA.	BOOBL. ICE MAKER WITH 400LB. BIN. 30" W X 31" D. AIR COOL. HALF DICE. SELF CONTAIN. 208V. SINGLE PHASE.	ICE-O-MATIC CEO206A / BB5RS BIN.	EC	208	1		13.2	+12"	MOUNT J BOX IN WALL. RUN SEAL TIGHT FLEXIBLE CONDUIT TO UNIT CONNECTION.	PC	1/2"							CONNECT CIW SUPPLY LINE FROM WATER FILTER. RUN IND. DRAIN TO FLOOR SINK	
56	RDC	1 EA	TWO DOOR FREEZER. SELF CONTAIN. 41 CU. FT. 115V.	TURBO AIR M3F41-2	EC	115	1		10.5	3/4	+15"	PROVIDE OUTLET IN WALL HORIZONTALLY. UNIT PROVIDED WITH CORD AND PLUG.									
57	RDC	3 SETS	ZINC WIRE SHELVING. 18" X 48" X 72"H. 4 TIERS.	EAGLE 94-74-1848Z																	
58	RDC	3 EA	EMPLOYEE'S LOCKERS. 5 TIERS. G.C. TO REMOVE LEGS AND MOUNT UNIT 6" AFF.	GSU ELBDR																	
59	RDC	1 EA	WALK-IN REFRIGERATOR. 7'0" L X 18'0" D X 8'0" H. WITH INSULATED FLOOR. PROVIDED WITH DIAL THERMOMETER. KICK PLATE SELF CLOSER. GALVALUM INT. AND EXT. CEILING ENCLOSURE PANEL. BLOWER COIL. PRE-WIRE FOR BLOWER COIL. TIMER LIGHTS AND HEATER COIL. (2) SETS OF 30 INCHES WIDE DOOR.	COOL SOLUTIONS	EC	VFT.	VFT.	VFT.	VFT.	Above CLG.	PROVIDE JBOX ABOVE CEILING. RUN SEAL TIGHT CONDUIT TO UNIT CONNECTION.	P.C.				1"				RUN IND. DRAIN TO FLOOR SINK	
60	RDC	2 EA	STN. STL. VERTICAL PANEL ATTACHED TO LEFT AND RIGHT SIDE OF MOP SINK 5' H.	J AND K																	
61	RDC	1 EA	REMOTE COMPRESSOR FOR ITEM # 59. APPROXIMATELY 50'-0" LINE RUN. COMPRESSOR LOCATED IN BASEMENT. G.C. TO PROVIDE SUPPORT BRACKET	COOL SOLUTIONS	EC	VFT.	VFT.	VFT.	VFT.	Above ROOF	PROVIDE JBOX ON ROOF WITH DISCONNECT SWITCH. RUN SEAL TIGHT FLEX CONDUIT TO UNIT CONNECTION.										
62	RDC	2 EA	BEER KEG STORAGE SHELVING. TWO TIERS. 80" L X 20" W X 76" H.	ADVANCE TABCO KR-80																	
63	RDC	1 EA	BEER KEG STORAGE SHELVING. TWO TIERS. 42" L X 20" W X 76" H.	ADVANCE TABCO KR-42																	
64	RDC	1 EA	TWO DOOR GLASS BACK BAR COOLER. 59" L X 21 1/2" D X 37 1/8" H. STN. STL. TOP WITH STANDARD BLACK VINYL. BODY FINISH. SELF CONTAIN.	TURBO-AIR TBB-19G	EC	115	1		7	1/3	+15"	PROVIDE OUTLET IN WALL HORIZONTALLY. UNIT PROVIDED WITH CORD AND PLUG.									
65	VENDOR	1EA.	COFFEE MAKING SYSTEM	CWTF-TWIN-TC	EC	115V/ 240V.	1		27		+15"	PROVIDE OUTLET IN WALL. UNIT PROVIDED WITH CORD AND PLUG.	P.C.	1/2"		+44"					PROVIDE S.O.V. RUN 1/4" COPPER TUBING TO UNIT CONNECTION
66	RDC	1 EA	36" W JOCKY STATION WITH 8 CIRCUIT COLD PLATE AND SPEED RAIL.	KROUNIE KR18-36DP-8 8-56								PC				2"				RUN IND. DRAIN TO FLOOR SINK	
67	VENDOR	1EA.	SODA GUN		EC	115	1		12		+15"	PROVIDE OUTLET IN WALL HORIZONTALLY. UNIT PROVIDED WITH CORD AND PLUG.	PC	1/2"		+16"					PROVIDE S.O.V. RUN PIPING TO UNIT CONNECTION.
68	RDC	3 EA	STN. STL. DRAIN BOARD WITH GLASS RACK. 24" X 24".	KROUNIE 18-GSB								PC				1"				RUN IND. DRAIN TO FLOOR SINK	
69	RDC	1 EA	THREE COMPARTMENT BAR SINK WITH TWO 18" W. DRAIN BOARDS.	KROUNIE 21-63C								PC	1/2"	1/2"	+16"	1 1/2"		24"		PROVIDE S.O.V. RUN PIPING TO UNIT CONNECTION.	
70			SPARE NUMBER																		
71	RDC	1 EA	STN. STL. DRIP RAIL. 21'-0" L X 5" W. WITH PERFORATED REMOVABLE COVERS	J AND K																	
72	OWNER	1 LOT	POINT OF SALE SYSTEM		EC	115	1		VFT.		SEE PLAN	PROVIDE OUTLET IN WALL HORIZONTALLY. UNIT PROVIDED WITH CORD AND PLUG.									
73	RDC	2 EA	GLASS RINSER	MICROMATIC GR-UCM								PC	1/2"		+16"					PROVIDE S.O.V. RUN PIPING TO UNIT CONNECTION. RUN IND. DRAIN TO FLOOR SINK	
74	OWNER	1 LOT	BEER TAPS, TOWER AND DRAIN TROUGH																		
75	OWNER	2 EA	WINE DISPENSER	NAPA TECHNOLOGY WINESTATION 3.0	EC	115	1		3.5		+44"	PROVIDE OUTLET IN WALL HORIZONTALLY. UNIT PROVIDED WITH CORD AND PLUG.									
76	RDC	1 EA	EXHAUST DUCT FOR ITEM # 49. SEE MECH. ENGINEER'S PLAN FOR REQUIREMENT	J AND K																	
77	RDC	1 EA	EXHAUST BLOWER FOR ITEM # 49	J AND K	EC	VFT.	VFT.	VFT.	VFT.	ON ROOF	PROVIDE JBOX ON ROOF W/ DISCONNECT SWITCH. RUN SEAL TIGHT FLEX CONDUIT TO UNIT CONNECTION. INTERWIRE WITH ITEM#										
78	RDC	1 EA	MAKE-UP AIR SYSTEM FOR ITEM # 49	J AND K	EC	VFT.	VFT.	VFT.	VFT.	ON ROOF	PROVIDE JBOX ON ROOF W/ DISCONNECT SWITCH. RUN SEAL TIGHT FLEX CONDUIT TO UNIT CONNECTION. INTERWIRE WITH ITEM#	PC								VERIFY WITH MECH. ENGINEERING PLANS FOR REQUIREMENT.	
79	OWNER	1 LOT	TV	OWNER	EC	VFT.	VFT.	VFT.	VFT.	SEE PLAN	PROVIDE OUTLET IN WALL HORIZONTALLY. UNIT PROVIDED WITH CORD AND PLUG.										
E1	E.C.	SEE PLAN	CONVENIENCE OUTLET		E.C.	115	1			SEE PLAN	MOUNT OUTLET IN WALL HORIZONTALLY										
P1	P.C.	SEE PLAN	FLOOR SINK	J.R. SMITH 2010A OR EQ.							PC				1 1/2"				INSTALL FLUSH W/ FINISH FLOOR W/ GRATE W/ DOME STRAINER. INSTALL SO FRONT ALIGNS W/ FACE OF CABINET OR EQUIPMENT.		
P2	P.C.	SEE PLAN	FLOOR DRAIN	COMMERCIAL 306							PC				1 1/2"				INSTALL FLUSH W/ FINISH FLOOR. PROVIDE TRAP PRIMER SLOPE FLOOR TO DRAIN.		
P3	P.C.	SEE PLAN	HOSE BIBB W/ BUILT IN VACUUM BREAKER								PC	1/2"		+23"							
M1	G.C.	3 EA	ACCESSIBLE FAUCET W/HAND DRYERS, TO BE ORDERED WITH M14 & M15	DYSON AIRBLADE TAP TALL	E.C.	115	1	1000			+15"	PROVIDE JBOX FOR UNIT	PC	1/2"	1/2"	+23"					PROVIDE S.O.V. RUN PIPING TO UNIT CONNECTION.
M2	G.C.	SEE PLAN	WATER CLOSET									PC	1/2"		+9"	3"				PROVIDE S.O.V. RUN PIPING TO UNIT CONNECTION. FLOOR MOUNT UNIT. WASTE DRAIN IN FLOOR	
M3	G.C.	1 EA	URINAL									PC	1/2"		+16"	3"				FLOOR MOUNT UNIT. WASTE DRAIN IN FLOOR	
M4	G.C.	3 EA	LIGHTED MIRROR	ELECTRIC MIRROR NOV4-36 X 36 MENS NOV4 - 48 X 36 WOMENS	E.C.	115	1				+60"	PROVIDE JBOX FOR UNIT									
M5	G.C.	1 EA	MIRROR																		
M6	G.C.	1 EA	ACCESSIBLE HAND SINK W/ FAUCET									PC	1/2"	1/2"	+23"	1 1/2"		24"		PROVIDE S.O.V. RUN PIPING TO UNIT CONNECTION.	
M7	G.C.	1 EA	TOILET PAPER DISPENSER	BOBRICK B-663																	
M8	G.C.	1 EA	TOILET SEAT COVER DISPENSER 16" W X 29 1/4" H X 4" D	BOBRICK B-421																	
M9	G.C.	1 EA	36" GRAB BAR	BOBRICK B-6806																	
M10	G.C.	1 EA	42" GRAB BAR	BOBRICK B-6806																	
M11	G.C.	1 EA	HAND SOAP DISPENSER 7" W X 6 1/8" H X 3 5/16" D	BOBRICK B-4112																	

FURNITURE & FIXTURE SCHEDULE				FURNITURE & FIXTURE SCHEDULE				FURNITURE & FIXTURE SCHEDULE							
ITEM NO.	SUPPLIED BY	QUANTITY	DESCRIPTION	ITEM NO.	SUPPLIED BY	QUANTITY	DESCRIPTION	ITEM NO.	SUPPLIED BY	QUANTITY	DESCRIPTION				
ALL FINISHES TO COMPLY WITH CBC CHAPTER 8 AND UPHOLSTERED FURNITURE TO MEET THE REQUIREMENTS OF CA TECHNICAL BULLETIN #11, AND CA TECHNICAL BULLETIN #33				(300)	RDC	1 EA.	DESCRIPTION: QUARTZ COUNTER DIM: 23'-0" W X 24'D X 5'-4"D X 24"W X 5'-6" H X 2'-6" D CONSTRUCTION MATERIAL: QUARTZ ON PLYWOOD SUBTOP BY MILLWORK CONSTRUCTION DESCRIPTION: 2" EASED EDGE TYP., DRINK RAIL ON SERVICE SIDE WHERE APPLICABLE SEE PLAN. FINISH: GREAT QUARTZ COORDINATING SPEC: 318A	(200)	RDC	40 EA.	DESCRIPTION: CROSS BACK METAL CHAIR WITH UPHOLSTERED SEAT. DIM: CONSTRUCTION MATERIAL: CONSTRUCTION DESCRIPTION: FINISH: COORDINATING SPEC: BLACK VINYL				
	RDC	- EA.	DELETED	(301)	RDC	1 EA.	DESCRIPTION: PLASTIC LAMINATE CAPPING WITH WOOD PANELING DIM: 29'-4" W X 6 1/2"D X 2" EASED EDGE, TOTAL HEIGHT 39" AFF CONSTRUCTION MATERIAL: PLASTIC LAMINATE WITH WOOD PANELING CONSTRUCTION DESCRIPTION: 2" EDGE PLAIN PLY TYP. CAPPING, WOOD SLAT WITH 1" REVEAL IN PAINTED FINISH. FINISH: WOOD, PAINT AND PLASTIC LAMINATE COORDINATING SPEC:	(201)	RDC	11 EA.	DESCRIPTION: BAR STOOL WITH BACK DIM: 16 1/4" W X 19 1/8"D X 31 3/4" H CONSTRUCTION MATERIAL: STEEL FRAME SOLID WOOD SEAT AND BACKREST CONSTRUCTION DESCRIPTION: OPEN ENDED SCREWS AND RIVETED PLATES FINISH: 25 BLACK CORAL, 81 TOASTY COORDINATING SPEC:				
	RDC	- EA.	DELETED	(318)	RDC	1 EA.	DESCRIPTION: WINE STATION COUNTERTOP DIM: 5'-0" W X 1'-10" D X 2'-3" H CONSTRUCTION MATERIAL: QUARTZ CONSTRUCTION DESCRIPTION: EASED EDGE, PLYWOOD SUBTOP BY MILLWORK, FINISH: GREAT QUARTZ COORDINATING SPEC: 318A	(302)	RDC	1 EA.	DESCRIPTION: PLASTIC LAMINATE COUNTER WITH CABINET BELOW DIM: 11'-4" W X 1'-6" D X 3'-3" H WITH EASED EDGE, TOTAL HEIGHT 39" AFF CONSTRUCTION MATERIAL: PLASTIC LAMINATE WITH WOOD PANELING CONSTRUCTION DESCRIPTION: 2" EDGE PLAIN PLY TYP. SQUARE EDGE CAPPING, WOOD SLAT IN ONE SOLID WOOD DIVIDER, EDGE TRIM SOLID WOOD 1" X 2" FINISH: WOOD, PAINT AND PLASTIC LAMINATE COORDINATING SPEC: 318A BASE BY GC	(202)	RDC	3 EA.	DESCRIPTION: RECTANGULAR TABLE TOP DIM: 30" X 48" RECTANGULAR TABLE TOP CONSTRUCTION MATERIAL: E-WOOD BEACH 1 3/4" EDGE CONSTRUCTION DESCRIPTION: NA FINISH: STAINED TO MATCH ID-SAMPLE COORDINATING SPEC: ADA BASE
	RDC	1 EA.	DESCRIPTION: CUSTOM WINE STATION MILLWORK DIM: 5'-0" W X 1'-10" D X 2'-10" H, END PANELS @ WALL: 1'-2" W X 1'-6" D X 11'-4" H CONSTRUCTION MATERIAL: 3/4" PLASTIC LAMINATE PLY, CONSTRUCTION DESCRIPTION: VENEER PLY FINISH: PLASTIC LAMINATE COORDINATING SPEC: WILSONART LOFT OAK, 7368-B1, 312A	(303)	RDC	1 EA.	DESCRIPTION: PLASTIC LAMINATE CAPPING/COUNTER WITH WOOD PANELING DIM: 9'-7" W X 3'-2" D X 2'-7" H X 5'-0" D X 2" EASED EDGE, TOTAL HEIGHT 39" AFF CONSTRUCTION MATERIAL: PLASTIC LAMINATE WITH WOOD PANELING CONSTRUCTION DESCRIPTION: 2" EDGE PLAIN PLY TYP. CAPPING/COUNTER, WOOD SLAT WITH 1" REVEAL IN PAINTED FINISH, PLAIN PLY CABINET WITH 2 ADJ. SHELVES FINISH: WOOD, PAINT AND PLASTIC LAMINATE COORDINATING SPEC: BUILD AROUND EXISTING COLUMN	(203)	RDC	6 EA.	DESCRIPTION: BLACK STAMPED STEEL END TABLE BASE DIM: 15" X 22" WITH 3" ADA STANDARD HEIGHT TUBE CONSTRUCTION MATERIAL: BLACK STAMPED STEEL CONSTRUCTION DESCRIPTION: N/A FINISH: BLACK STAMPED STEEL COORDINATING SPEC: FLAT TECH EQUALIZERS				
				(304)	RDC	1 EA.	DESCRIPTION: WOOD SLAT BAR PYE WITH LED LIGHTING DIM: 21'-10" W X 1'-4" D X 1'-0" H X 3'-6" H X 5'-1 1/2" W X 1'-7" H X 6" W X 2'-8" W CONSTRUCTION MATERIAL: WOOD PANELING WITH LED LIGHTING (PRIMALINE 3, LED TAPE LIGHT) CONSTRUCTION DESCRIPTION: 5" WOOD SLAT WITH 1" LIGHT CHANNEL BY ALLOY LED FINISH: WOOD, LED CHANNEL COORDINATING SPEC:	(204)	RDC	14 EA.	DESCRIPTION: SQUARE TABLE DIM: 30" X 30" SQUARE TABLE TOP CONSTRUCTION MATERIAL: E-WOOD BEACH 1 3/4" EDGE CONSTRUCTION DESCRIPTION: N/A FINISH: STAINED TO MATCH ID-SAMPLE COORDINATING SPEC: CROSS BASE				
				(305)	RDC	1 EA.	DESCRIPTION: QUARTZ COUNTERTOP DIM: 32'-2" W X 1'-6" D X 2'-5" H X 8'-0" W X 11"-D X 2" EDGE WRAP TO CEILING 11" W X 8'-6" H X 12" THICK CONSTRUCTION MATERIAL: QUARTZ ON PLYWOOD SUBTOP BY MILLWORK CONSTRUCTION DESCRIPTION: 2" EASED EDGE FINISH: METROPOLIS GRAY COORDINATING SPEC: SNEEZE GUARD BY GC	(205)	RDC	14 EA.	DESCRIPTION: BLACK STAMPED STEEL TABLE BASE DIM: 15" X 22" WITH 3" COUNTER HEIGHT TUBE CONSTRUCTION MATERIAL: STEEL CONSTRUCTION DESCRIPTION: N/A FINISH: BLACK STAMPED STEEL COORDINATING SPEC: FLAT TECH EQUALIZERS				
				(306)	RDC	1 EA.	DESCRIPTION: QUARTZ COUNTERTOP DIM: 15'-8" W X 1'-0" D X 2" X 6" H BACKSPASH CONSTRUCTION MATERIAL: QUARTZ ON PLYWOOD SUBTOP BY MILLWORK CONSTRUCTION DESCRIPTION: 4 CUT OUTS FOR #13, #14 FINISH: GREAT QUARTZ COORDINATING SPEC: 316	(206)	RDC	14 EA.	DESCRIPTION: RECTANGULAR TABLE DIM: 30" X 48" RECTANGULAR TABLE TOP CONSTRUCTION MATERIAL: E-WOOD BEACH 1 3/4" EDGE CONSTRUCTION DESCRIPTION: N/A FINISH: STAINED TO MATCH ID-SAMPLE COORDINATING SPEC: CROSS BASE				
				(307)	RDC	1 EA.	DESCRIPTION: UNDERCOUNTER SHELVING DIM: 15'-8" W X 11"-D X 3'-4" H CONSTRUCTION MATERIAL: PLASTIC LAMINATE ON PLYWOOD CONSTRUCTION DESCRIPTION: 4 DIVIDERS, 2 END PANELS, 2 SHELVES EACH SECTION TOTAL 10 ADJ. SHELVES FINISH: PLASTIC LAMINATE COORDINATING SPEC: BUILD AROUND EXISTING COLUMN	(207)	RDC	1 EA.	DESCRIPTION: CUSTOM WAITING BENCH DIM: 13'-0" W X 1'-6" D X 1'-6" H CONSTRUCTION MATERIAL: WOOD FRAME, UPHOLSTERED WITH STEEL LEGS, FINISH: UPHOLSTERY, STEEL LEGS COORDINATING SPEC: 201A, 201B				
				(308)	RDC	1 EA.	DESCRIPTION: PLASTIC LAMINATE CAPPING WITH WOOD PANELING DIM: 2'-9" W X 1'-0" W X 1'-TD X 9'-0" H X 1'-TD X 39 1/4" H CONSTRUCTION MATERIAL: PLASTIC LAMINATE WITH WOOD PANELING CONSTRUCTION DESCRIPTION: 2" EDGE PLAIN PLY TYP. CAPPING/COUNTER, WOOD SLAT WITH 1" REVEAL IN PAINTED FINISH FINISH: WOOD, PAINT AND PLASTIC LAMINATE COORDINATING SPEC: BUILD AROUND EXISTING COLUMN	(208)	RDC	- EA.	DESCRIPTION: UPHOLSTERY DIM: 58" W REPEAT: 11 1/2" V, 14 3/4" H CONSTRUCTION MATERIAL: 48% COTTON, 26% POLYESTER, 14% RECYCLED POLYESTER FINISH: FOA-FREE STAIN RESISTANT COORDINATING SPEC: 201A, 201B				
				(309)	RDC	1 EA.	DESCRIPTION: UNDERCOUNTER SHELVING DIM: 5'-0" W X 10"-D X 3'-4" H CONSTRUCTION MATERIAL: PLASTIC LAMINATE ON PLYWOOD CONSTRUCTION DESCRIPTION: 2 END PANELS, 2 SHELVES EACH SECTION TOTAL 10 ADJ. SHELVES FINISH: PLASTIC LAMINATE COORDINATING SPEC: FINISHED BASE	(209)	RDC	- EA.	DESCRIPTION: STEEL LEGS DIM: 22" X 22" X 30" H CONSTRUCTION MATERIAL: METAL BRUSHED NICKEL CONSTRUCTION DESCRIPTION: N/A FINISH: BRUSHED NICKEL COORDINATING SPEC: 201				
				(310)	RDC	1 EA.	DESCRIPTION: HOSTESS STATION DIM: 5'-0" W X 1'-10" D X 3'-4" H CONSTRUCTION MATERIAL: PLASTIC LAMINATE ON PLYWOOD CONSTRUCTION DESCRIPTION: 2 END PANELS, DOUBLE LEVEL TOP, 2 ADJ. SHELVES FINISH: PLASTIC LAMINATE COORDINATING SPEC: TILE DYE BY GC	(210)	RDC	- EA.	DESCRIPTION: BACK BAR SHELVING DIM: 15'-8" W X 10" D X 1'-3" H CONSTRUCTION MATERIAL: ASH WOOD STAINED TO MATCH ID-SAMPLE CONSTRUCTION DESCRIPTION: 9 DIVIDERS WITH 6 ANGLED SHELVES; BACKING VENEER PLY FINISH: ASH, STAINED WITH AN OIL FINISH COORDINATING SPEC: N/A				
				(311)	RDC	- EA.	DESCRIPTION: CUSTOM FITTING LIGHT FIXTURE WITH SUSPENDED PENDANTS DIM: 31'-3" W X 6'-5" D X 3'-6" H X 1'-6" H CONSTRUCTION MATERIAL: PIPE FITTINGS - POWDER COATED, CLEAR CONSTRUCTION DESCRIPTION: 11" SUSPENDED PENDANTS INCLUDING 3 STYLES OF CAGES, COORDINATING SPEC: LED FILAMENT BULBS	(211)	RDC	- EA.	DESCRIPTION: U SHAPED SETTEE DIM: 8'-0" W X 24"D X 1'-2" SECTIONS @ 4'-4" W X 24'D X 36" H CONSTRUCTION MATERIAL: PLAIN BACK, PLASTIC LAMINATE PLY END CAPS CONSTRUCTION DESCRIPTION: 11" UPHOLSTERED SEAT, 5 EQUAL FRENCH SEAMS, HIGH BACK, CORNER, END PANEL, ONE END VENEER PLY, END PANEL AND BASE BY MILLWORK FINISH: UPHOLSTERY, PLASTIC LAMINATE ON PLY: WILSONART LOFT OAK, 7368-B1, 314A				
				(312)	RDC	2 EA.	DESCRIPTION: UPOLSTERY DIM: 54"	(212)	RDC	1 EA.	DESCRIPTION: CUSTOM 2-TIER LIGHT FIXTURE ROD SUSPENSION DIM: 50" DIA X 56" H CONSTRUCTION MATERIAL: METAL RINGS EDGED BY UPLAID BULBS - POWDER COATED, STOCK COLOR CONSTRUCTION DESCRIPTION: SUSPENDED ROD COORDINATING SPEC: LED FILAMENT BULBS				
				(313)	RDC	4 EA.	DESCRIPTION: U SHAPED SETTEE DIM: 8'-0" W X 24"D X 1'-2" SECTIONS @ 4'-4" W X 24'D X 36" H CONSTRUCTION MATERIAL: PLAIN BACK, PLASTIC LAMINATE PLY END CAPS CONSTRUCTION DESCRIPTION: EXCEEDS 100,000 DR FINISH: STAIN RESISTANT FINISH APPLIED COORDINATING SPEC: 314	(213)	RDC	3 EA.	DESCRIPTION: CUSTOM FITTING LIGHT FIXTURE WITH SUSPENDED PENDANTS DIM: 15'-8" W X 6'-5" D X 3'-6" H X 1'-6" H CONSTRUCTION MATERIAL: PIPE FITTINGS - POWDER COATED, CLEAR CONSTRUCTION DESCRIPTION: 11" SUSPENDED PENDANTS INCLUDING 3 STYLES OF CAGES, COORDINATING SPEC: LED FILAMENT BULBS				
				(314)	RDC	- EA.	DESCRIPTION: U SHAPED SETTEE DIM: 8'-0" W X 24"D X 1'-2" SECTIONS @ 4'-4" W X 24'D X 36" H CONSTRUCTION MATERIAL: PLAIN BACK, PLASTIC LAMINATE PLY END CAPS CONSTRUCTION DESCRIPTION: EXCEEDS 100,000 DR FINISH: STAIN RESISTANT FINISH APPLIED COORDINATING SPEC: 314A	(214)	RDC	5 EA.	DESCRIPTION: 4 LIGHT PENDANT DIM: 155" DIA X 18" H CONSTRUCTION MATERIAL: METAL COATED GOLD/BLACK CONSTRUCTION DESCRIPTION: SUSPENDED CHAIN COORDINATING SPEC: E1 BASE LED FILAMENT BULBS				
				(315)	RDC	- EA.	DESCRIPTION: DELETED								
				(316)	RDC	- EA.	DESCRIPTION: DELETED								
				(317)	RDC	- EA.	DESCRIPTION: DELETED								
				(318)	RDC	- EA.	DESCRIPTION: DELETED								
				(319)	RDC	- EA.	DESCRIPTION: DELETED								
				(320)	RDC	- EA.	DESCRIPTION: DELETED								
				(321)	RDC	- EA.	DESCRIPTION: DELETED								
				(322)	RDC	- EA.	DESCRIPTION: DELETED								
				(323)	RDC	- EA.	DESCRIPTION: DELETED								
				(324)	RDC	- EA.	DESCRIPTION: DELETED								
				(325)	RDC	- EA.	DESCRIPTION: DELETED								
				(326)	RDC	- EA.	DESCRIPTION: DELETED								
				(327)	RDC	- EA.	DESCRIPTION: DELETED								
				(328)	RDC	- EA.	DESCRIPTION: DELETED								
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				(331)	RDC	- EA.	DESCRIPTION: DELETED								
				(332)	RDC	- EA.	DESCRIPTION: DELETED								
				(333)	RDC	- EA.	DESCRIPTION: DELETED								
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				(357)	RDC	- EA.	DESCRIPTION: DELETED								
				(358)	RDC	- EA.	DESCRIPTION: DELETED								
				(359)	RDC</td										

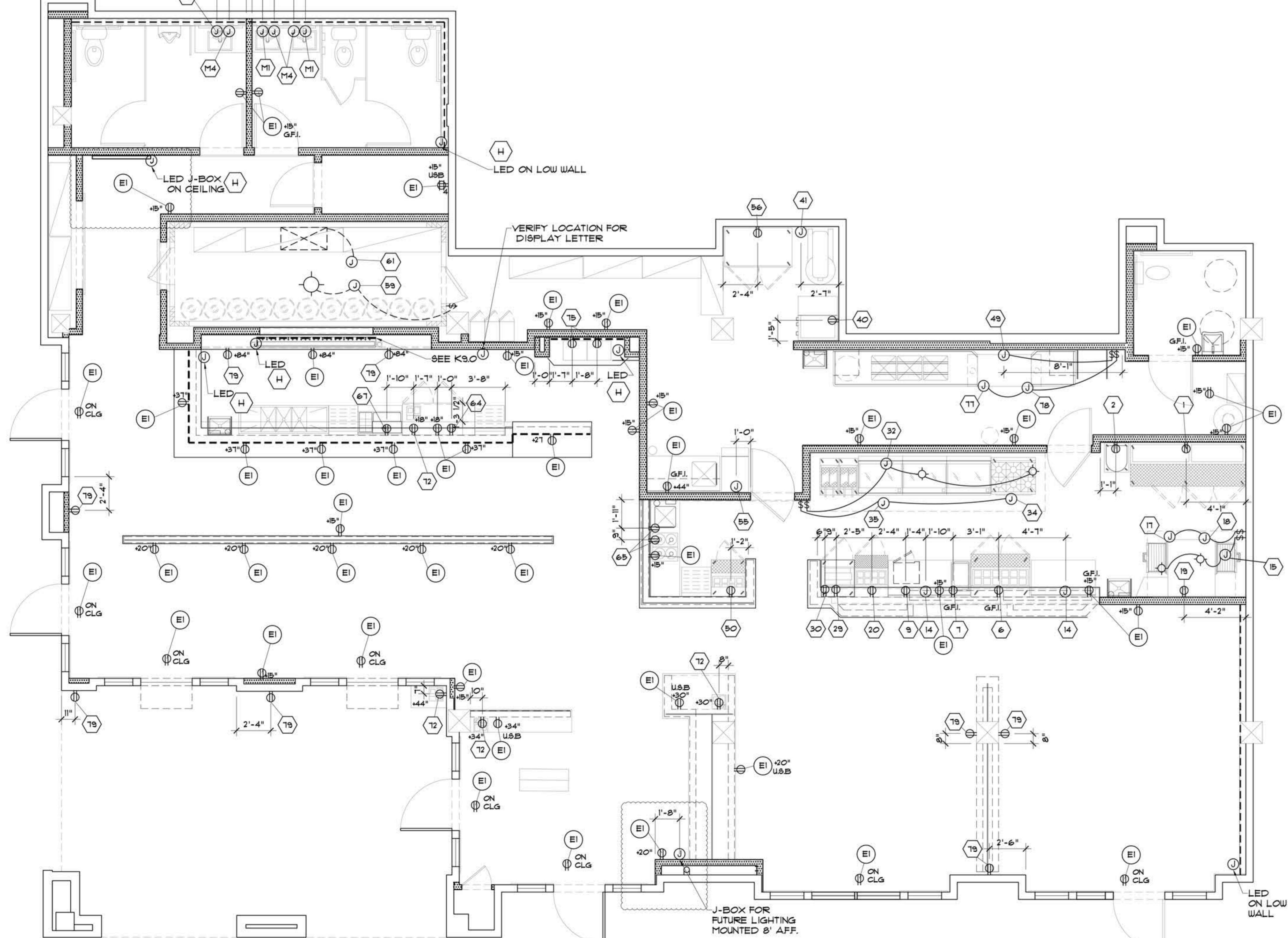
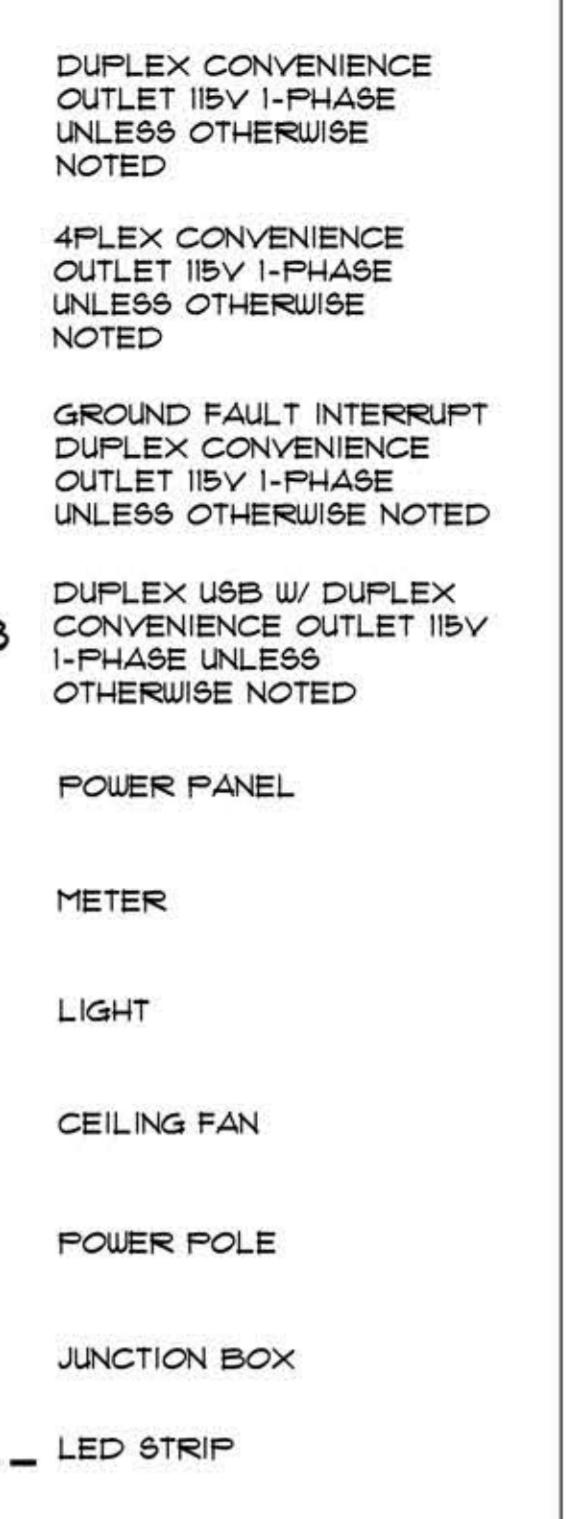
## ELECTRICAL NOTES

- 1) FURNISH AND INSTALL, INCLUDING LABOR, SUPERVISION, MATERIALS, TOOLS, SERVICES, TRANSPORTATION, OVERHEAD COSTS, FEES, PLAN CHECK FEES, INSPECTION CHARGES, ROBATIES, ETC. A COMPLETE ELECTRICAL INSTALLATION AS SPECIFIED HEREIN AND INDICATED ON ALL ELECTRICAL AND OTHER DRAWINGS, E.G. CONTROL WIRING FOR MECHANICAL SYSTEMS, IN AN APPROVED MANNER, FIRST CLASS FINISHED, SAFETY STANDARDS LIKE MANNER THAT COMPLY WITH ALL APPLICABLE LOCAL, STATE, FEDERAL AND SERVING ELECTRICAL AND TELEPHONE UTILITIES, ETC. CODES, ORDINANCES, RULES, REGULATIONS, STANDARDS, ETC. INCLUDING CURRENT ADDENDA AND ERRATA. THE ENTIRE ELECTRICAL INSTALLATION SHALL COMPLY OR SURPASS THE MOST RECENT EDITION OF THE NATIONAL ELECTRICAL CODE PER OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).
- 2) REFER TO ALL SHEETS AND SPECIFICATIONS PRIOR TO ANY BIDDING. ANY DISCREPANCIES IN DRAWINGS OR JOB SITE CONDITIONS SHALL BE NOTED AND INDICATED ON THE BID SUBMITTAL.
- 3) ALTHOUGH THE DRAWINGS HAVE ENDEAVORED TO SHOW ALL UTILITIES AT THE PROJECT SITE, ALL UTILITY LOCATIONS ARE NOT NECESSARILY KNOWN OR SHOWN. ELECTRICIAN SHALL DETERMINE ELECTRICAL SERVICE TO EXISTING RETAIL SPACE. ALSO, WITHOUT LIMITATION, THE ELECTRICIAN SHALL BE RESPONSIBLE AT HIS OWN COST FOR ALL WORK EXPENSES OR PRECAUTIONS CAUSED BY THE EXISTENCE OR PROXIMITY OF UTILITIES ENCOUNTERED AT THE SITE (MAY INCLUDE COMMUNICATIONS CABLES OR HIGH VOLTAGE CABLES). WHEN CORE DRILLING, CUTTING, ETC. IN THE VICINITY OF THE CABLES, SPECIAL PRECAUTIONS SHALL BE OBSERVED BY THE ELECTRICIAN TO GUARD AGAINST ANY DAMAGE OR INJURY.
- 4) ELECTRICIAN SHALL MAINTAIN ELECTRICAL SERVICE (EVEN TEMPORARY WIRING AND POWER) TO BUILDING SPACE, IF NECESSARY TO CUT OFF POWER, PROPER AND TIMELY NOTICE SHALL BE GIVEN TO OWNER AND SUB-CONTRACTORS. DURATION OF POWER CUT OFF SHALL BE KEPT TO A MINIMUM.
- 5) ELECTRICIAN SHALL COMPLETE ANY DEMOLITION WORK AS REQUIRED FOR NEW WORK, SUCH AS REMOVING EXISTING DRYWALL, PLASTER, STUDS AND RELOCATING EXISTING UTILITIES AS REQUIRED.
- 6) ELECTRICIAN SHALL DETERMINE THE NEW ELECTRICAL SERVICE LOAN REQUIRED FOR RESTAURANT EQUIPMENT, LIGHTING, ETC. IF NECESSARY, INCREASE SIZE OF SERVICE AS REQUIRED. REVIEW POWER SUPPLY WITH LOCAL ELECTRICAL POWER AGENT AS SOON AS POSSIBLE IN ORDER TO MEET HIS WORK SCHEDULE. ELECTRICIAN TO SIZE AND INSTALL POWER PANELS AND CIRCUIT BREAKERS AS REQUIRED. ELECTRICIAN SHALL FURNISH ALL APPROPRIATE LOCAL, STATE, FEDERAL AND SERVING ELECTRICAL AND TELEPHONE UTILITIES, ETC. CODES, ORDINANCES, RULES, REGULATIONS, STANDARDS, ETC. INCLUDING CURRENT ADDENDA AND ERRATA. THE ENTIRE ELECTRICAL INSTALLATION SHALL COMPLY OR SURPASS THE MOST RECENT EDITION OF THE NATIONAL ELECTRICAL CODE PER OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).
- 7) ELECTRICIAN TO LABEL ALL PANELS AND CIRCUIT BREAKERS IN PANELS FOR EASE OF IDENTIFICATION.
- 8) ALL WIRING MUST BE IN RIGID CONDUIT OR EMT/ELECTRIC METAL CONDUIT OR FLEX METAL CONDUIT (PIGTAWS TO UNITS ON DIRECT CONNECTIONS), OR SEAL-TIGHT FLEX CONDUIT. ALL CONDUITS SHALL BE INSTALLED INSIDE WALLS OR CABINETS AND CONCEALED WHEREVER POSSIBLE.
- 9) ELECTRICIAN TO CONNECT AND PROVIDE POWER TO ALL FIXTURES SUPPLIED BY ELECTRICIAN, EQUIPMENT CONTRACTOR, DECOR CONTRACTOR OR OWNER. IF NOT POSSIBLE OVERHEAD OR IN WALL, ELECTRICIAN SHALL DRILL THROUGH FLOOR AND RUN UNDERGROUND FOR FEEDS TO ITEMS OR GENERAL AREA FEEDS.
- 10) ELECTRICIAN TO SIZE ALL ELECTRICAL CIRCUIT BREAKERS, WIRE DIAMETERS, CONDUITS, J-BOXES, ETC. FOR LOAD REQUIREMENTS. ELECTRICIAN TO PROVIDE ALL JUNCTION BOXES AND OUTLETS ON WALLS. INSTALL FINISH WITH FINISH WALL AND CEILINGS. USE ASH UNLESS OTHERWISE NOTED. EXTERNAL WIRING FOR FIXTURES TO BE CONNECTED BY ELECTRICIAN. NO EXPOSED LINES, WHERE NECESSARY, INSTALL EXTENSION RINGS ON OUTLETS THROUGH CABINET OR EQUIPMENT BACK SPLASHES.
- 11) ELECTRICIAN SHALL BE RESPONSIBLE FOR VERIFYING THE ELECTRICAL CHARACTERISTICS AND ADDITIONAL REQUIREMENTS OF ALL THE ELECTRICAL FOOD SERVICE EQUIPMENT, INCLUDING OUTLETS, PLUGS AND ANY EXTERNAL OR INTERNAL WIRING (FLEX CONDUIT DIRECT CONNECTIONS FROM J-BOX TO UNIT). EQUIPMENT CUT SHEETS SHALL BE PROVIDED. VERIFY AND COORDINATE WITH FOOD SERVICE EQUIPMENT SUPPLIER AND COMPLY AS REQUIRED.
- 12) ELECTRICIAN SHALL VERIFY AND COORDINATE WITH MECHANICAL CONTRACTOR ON THE LOCATION OF MECHANICAL EQUIPMENT SUCH AS HOOD SUPPLY AND EXHAUST FANS (E.G. VOLTAGE, PHASE, HP, AMPERAGE, CONTROL WIRING, NUMBER OF CONNECTIONS, ETC. AND COMPLY AS REQUIRED).
- 13) ALL HORIZONTAL DIMENSIONS ARE TAKEN FROM FACE OF STUD (POS) OR FACE OF WALL (POW) TO CENTERLINE OF OUTLET, UNLESS OTHERWISE NOTED.
- 14) ALL OUTLETS TO BE 15' AFF. MIN. TO BOTTOM OF OUTLET BOX, AND 48" AFF. MAX. TO TOP OF OUTLET BOX, EXCEPT WHERE NOTED TO BOTTOM OF OUTLET.
- 15) INSTALL OUTLETS WHERE DIMENSIONED. IF NECESSARY, INSTALL BLOCKING OR FRAMING BRACKETS BETWEEN STUDS.
- 16) ANY OUTDOOR ELECTRICAL OUTLETS, SWITCHES OR CONNECTIONS SHALL BE WEATHERPROOF. PROVIDE A UTILITY OUTLET ON ROOF NEAR MECHANICAL OR REFRIGERATION EQUIPMENT.
- 17) ELECTRICIAN TO CONNECT ALL COMPRESSORS AND FAN MOTORS WITH DISCONNECT, MAGNETIC STARTER OR CONTROL SWITCHES. PROVIDE OVER-CURRENT PROTECTION FOR MOTORS NOT FURNISHED WITH INTEGRAL ITEM. PROVIDE CONNECTORS FOR ELECTRICAL COOKING EQUIPMENT WHICH MUST SHUT DOWN WHEN FIRE SUPPRESSION SYSTEM IS ACTIVATED.
- 18) LIGHTING, POWER, TELEPHONE AND COMMUNICATION OUTLETS SHALL NOT BE PLACED BACK TO BACK IN COMMON WALLS.
- 19) NO MORE THAN (3) UTILITY OUTLETS SHALL BE ON ONE CIRCUIT.
- 20) PROVIDE PLUGS AND CORDS FOR MOBILE EQUIPMENT WHERE THEY ARE NOT STANDARD WITH MANUFACTURER. SHORTEN CORDS IF REQUESTED BY EQUIPMENT SUPPLIER OR OWNER.
- 21) ELECTRICIAN TO INSTALL 1 INCH METAL CHASE CONDUIT FOR CASH REGISTER COMPUTER CABLE BETWEEN EACH UNIT. PROVIDE FULL CORD FOR FUTURE CASH REGISTER CABLE (SHIELDED, 4 WIRE, TWISTED PAIRS WITH SEPARATE GROUND WIRE) OR INSTALL CABLE IF PROVIDED BY OWNER OR CASH REGISTER SUPPLIER.
- 22) AT ISOLATED CLEAN CIRCUITS (ITEM # ), USE RED COLOR OUTLETS AS INDICATION OF SPECIAL USE (SPECIAL OUTLETS FOR CASH REGISTER, COMPUTER, PRINTERS, OR OTHER USE).
- 23) ELECTRICIAN AND GENERAL CONTRACTOR TO COORDINATE FLOOR, WALL AND CEILING PENETRATIONS WITH OTHER TRADES AND WORK TO AVOID CONFLICTING ROUGH-IN INSTALLATIONS. REVIEW WITH PROJECT COORDINATOR.
- 24) ELECTRICIAN TO PROVIDE AND RUN CONDUIT CHASE FOR TELEPHONE AS INDICATED. INSTALL J-BOXES WITH COVER PLATES AND FULL CORD FOR TELEPHONE INSTALLER. RUN BACK TO BUILDING.
- 25) ALL CONDUIT PENETRATIONS THROUGH FIRE RATED FLOORS, WALLS OR CEILINGS SHALL BE SEALED TO MAINTAIN THE FIRE SEPARATION. ELECTRICIAN SHALL VERIFY AND RECEIVE APPROVAL FROM LANDLORD AND/OR BUILDING ARCHITECT/ENGINEER PRIOR TO ANY SLAB CORE DRILLING ON PENETRATING STRUCTURAL MEMBERS (E.G. POST TENSION SLAB WITH CABLES). IF NECESSARY, ELECTRICIAN SHALL BE RESPONSIBLE FOR X-RAYING SLAB TO DETERMINE CONCEALED MEMBERS.
- 26) INSTALL A POLYETHYLENE PULL ROPE IN ALL EMPTY CONDUITS.
- 27) IN ALL KITCHEN FOOD PREPARATION, DISHWASHER AND SERVING AREAS, PROVIDE STAINLESS STEEL OUTLET COVER PLATES. IN OTHER AREAS, PROVIDE STANDARD WHITE, IVORY OR BROWN COVER PLATES AS DIRECTED, OR MATCH ADJACENT FINISH COLOR.
- 28) ALL LIGHTING CIRCUITS TO BE THE RESPONSIBILITY OF THE ELECTRICIAN. IF ANY DISCREPANCIES WITH THE SWITCHING LAYOUT, VERIFY WITH ARCHITECT. SWITCHING SHALL MEET TITLE 24 REQUIREMENTS.
- 29) ALL LIGHT FIXTURES SHALL CONTAIN NEW LAMPS OF POWER, TYPE AND SIZE SHALL BE FURNISHED BY ELECTRICIAN UNLESS OTHERWISE NOTED.
- 30) FURNISH TWO SPARE LAMPS FOR EACH TYPE OF LIGHT FIXTURE USED.
- 31) ELECTRICIAN SHALL VERIFY ALL FIXTURE LOCATIONS PRIOR TO INSTALLING OR CUTTING HOLES IN CEILING.
- 32) ALL LIGHT SWITCHES AT 48" TO MEET HANDICAPPED REQUIREMENTS.
- 33) IF ANY EXPOSED INCANDESCENT LAMPS AND/OR FLUORESCENT TUBES ARE INSTALLED, THEY SHALL BE PROVIDED WITH SAFETY "TUBE-GARD" UNBREAKABLE PLASTIC SLEEVES OR PLASTIC LENS WHEN OVER FOOD DISPLAY OR PREPARATION AREAS.
- 34) FLUORESCENT FIXTURES SHALL BE PROVIDED WITH ENERGY SAVER BALLASTS AND LAMPS. THIS WILL PROVIDE 16 WATTS FOR 2-LAMP FIXTURES AND 162 WATTS FOR 4-LAMP FIXTURES.
- 35) ELECTRICIAN SHALL PROVIDE EMERGENCY POWER SYSTEM, LIGHTS AND EXIT SIGNS AS REQUIRED BY BUILDING DEPARTMENT CODES ON LIGHTING (1/2 HR ENDURANCE BATTERIES WITH UNIT ON SEPARATE CIRCUIT OR WIRED AHEAD OF MAIN DISCONNECT).
- 36) IF REQUIRED BY BUILDING DEPARTMENT, THE ELECTRICIAN, UNDER HIS PERMIT APPLICATION, SHALL PROVIDE DRAWINGS OR DIAGRAMS OF WIRE, BREAKER ARRANGEMENT, ETC.
- 37) ELECTRICIAN SHALL REVIEW OPERATION OF EQUIPMENT CIRCUIT BREAKERS, ETC. WITH OWNER AND/OR HIS REPRESENTATIVE AT COMPLETION OF THE PROJECT.
- 38) AT EXTERIOR REFRIGERATION COMPRESSOR RACK, ELECTRICIAN MAY PROVIDE A SUB-PANEL FOR DISCONNECT SWITCHES FOR COMPRESSOR UNITS (UNITS ARE INDIVIDUALLY MOUNTED ON RACK AND ARE NOT PREWIRED) OR INDIVIDUAL WALL MOUNTED DISCONNECT SWITCHES.
- 39) ALL OUTLETS IN KITCHEN TO BE "GFCI" (GROUND FAUCET CIRCUIT INTERRUPTER) TYPE FOR ELECTRIC SHOCK PROTECTION.
- 40) GENERAL CONTRACTOR TO PERFORM START UP AS REQUIRED.

## NOTES

- 1) G.C. TO COORDINATE TELEPHONE, INTERCOMS, POS. SYSTEM, AUDIO & VIDEO SYSTEM, SECURITY SYSTEMS, COMPUTER WIRING SYSTEM AND CABLE TV. CONNECTION WITH OWNER IN ALL ROOMS, EXCEPT KITCHEN AND WHERE POSSIBLE, ALL EXISTING CONVENIENCE OUTLETS TO REMAIN.
- 2) EE/G.C. TO CALCULATE ALL LOADS TO EXISTING PANELS. EE. TO COORDINATE WITH EC. ALL REQUIRED MODIFICATION TO ELEC. PANEL AND METER. G.C. TO COORDINATE WITH PG&E ANY SPECIAL CONDITIONS TO BE MET PRIOR TO POWER CONNECTION.
- 3) EE/EC. TO PROVIDE ALL T-24 CALCULATIONS THAT WILL BE REQUIRED BY LOCAL BUILDING DEPARTMENT AND STATE COMPLIANCE AUTHORITIES.
- 4) SWITCH AND DIMMER LOCATIONS: EE/G.C. TO COORDINATE ALL FINAL LIGHT SWITCH AND DIMMER SWITCH LOCATIONS WITH OWNER.
- 5) G.C./EC. FINAL BID TO BE BASED ON FINAL APPROVED SET OF CONSTRUCTION DOCUMENTS ONLY.
- 6) ELECTRICIAN TO VERIFY WITH OWNER FOR ALL COFFEE MACHINE'S SPECIFICATIONS BEFORE INSTALLATION OF ANY POWER SOURCES. \*\* NOT FOR CONSTRUCTION UNLESS APPROVED AND PERMITTED. FINAL BID TO BE BASED ON APPROVED PERMIT SET.
- 7) ELECTRICIAN TO VERIFY WITH OWNER FOR EXISTING OUTLETS CONDITION. OWNER TO DETERMINE IF ANY EXISTING OUTLETS REQUIRED TO BE REMOVED.

## SYMBOLS

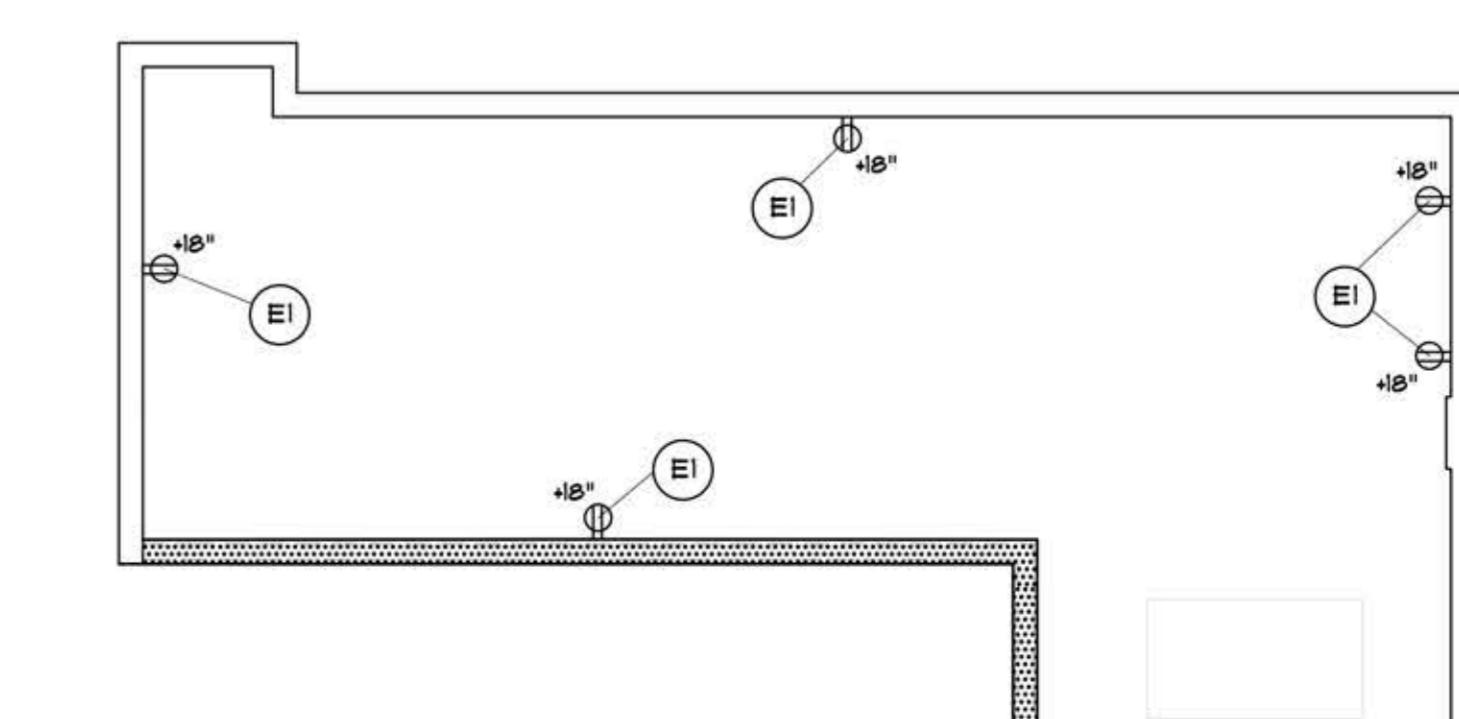


ELECTRICAL PLAN

SCALE 1/4" = 1'-0"

WATER HEATER PLATFORM PLAN

SCALE 1/4" = 1'-0"



MECHANICAL PLATFORM PLAN

SCALE 1/4" = 1'-0"

FOR EQUIPMENT SCHEDULE  
SEE SHEETS K3.1 & K3.2  
  
G.C. TO COORDINATE AND  
PROVIDE POWER & CONTROL  
SWITCH FOR LED LIGHTS  
TYPICAL THROUGHOUT

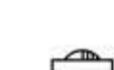
## PLUMBING NOTES

- 1) COMPLY WITH ALL COUNTY, STATE AND FEDERAL CODES, ORDINANCES, RULES, AND REGULATIONS, INCLUDING ALL REQUIREMENTS OF SERVING AGENCIES. PAY ALL COSTS REQUIRED FOR METER INSTALLATION, SEWER TAPS, BUILDING APPLICATION FEES, ETC.
- 2) PLUMBER TO REFER TO ALL SHEETS AND SPECIFICATIONS PRIOR TO ANY BIDDING. ANY DISCREPANCIES IN DRAWING OR JOBSITE CONDITIONS SHALL BE NOTED AND INDICATED ON THE BID SUBMITTAL.
- 3) PLUMBER TO REVIEW EXISTING CONDITIONS AND DETERMINE IF EXISTING SEWER/DRAINAGE SYSTEM WILL ALLOW FOR PROPER DRAIN PIPE SLOPE TO NEW FIXTURES. IF NOT, PLUMBING BID SHALL INCLUDE COST FOR NEW SYSTEM AND CONNECTION TO CITY SYSTEM (INCLUDING EXCAVATION, BACK FILL, SUMP PUMP, ETC. FOR A COMPLETE AND FINISHED INSTALLATION).
- 4) PLUMBER SHALL PROVIDE ALL WATER, SEWER, VENT, GAS LINES, ETC. INSIDE DEMISED PREMISE AND TO CONNECTION POINTS OUTSIDE SPACE. ALL LINES SHALL RUN BELOW FLOORS IN WALLS OR ABOVE CEILING. PLUMBER TO COMPLETE ALL TRENCHING AND BACK FILLING REQUIRED FOR UNDERGROUND INSTALLATIONS.
- 5) PLUMBER/GENERAL CONTRACTOR TO COORDINATE FLOOR, WALL AND CEILING PENETRATIONS WITH OTHER TRADES. WORK TO AVOID CONFLICTING ROUGH-IN INSTALLATIONS. REVIEW WITH PROJECT COORDINATOR.
- 6) PLUMBER TO PROVIDE WATER CONNECTIONS, FLOOR SINKS AND DRAINS FOR ALL FIXTURES AS REQUIRED. PLUMBER TO CONNECT ALL WATER LINES AND DRAINS TO EQUIPMENT AND FIXTURES.
- 7) SOIL, WASTE, DRAIN AND VENTING BELOW AND INSIDE BUILDING TO BE SERVICE WEIGHT, NO HUB, C.T. EXCEPT FOR VENTS AND SMALLER PIPES, USE COPPER OR GALVANIZED.
- 8) PVC AND ABS PIPES NOT APPROVED BY LOCAL CODES.
- 9) INSTALL FLOOR, WALL OR CEILING CLEANOUTS WHERE REQUIRED BY CODE OR WHERE IT WILL ALLOW FOR BEST ACCESS FOR CLEANING OUT BLOCKAGES IN PIPES.
- 10) WATER PIPING ABOVE GROUND SHALL BE TYPE "M" HARD DRAWN COPPER.
- 11) WATER PIPING ABOVE GROUND SHALL BE "L" SOFT DRAWN COPPER. ALL JOINTS SHALL BE MADE ABOVE GRADE AND CONCRETE SLAB (NO CONCEALED JOINTS).
- 12) INDIRECT DRAIN LINES SHALL BE TYPE "L" SOFT DRAWN COPPER WITH SWEAT SOLDER JOINTS.
- 13) ALL HORIZONTAL DIMENSIONS ARE TAKEN FROM FACE OF STUD (FOS) OR FACE OF WALL (FOW) TO CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
- 14) ALL PIPES NOTED UP 12" ETC. TO STUB OUT OF WALL AT HEIGHT GIVEN. PIPE HEIGHT IS FROM FINISHED FLOOR (AFF) TO CENTERLINE OF PIPE AND NOT FROM SUBFLOOR, CONCRETE SLAB OR TOP OF EQUIPMENT BASE.
- 15) PLUMBER TO RUN ALL INDIRECT LINES AND DRAINS TO APPROPRIATE FLOOR DRAIN (NUMBER OF DRAINS TO MATCH FLOOR SINK CAPACITY).
- 16) FLOOR SINK INSTALLATION IS CRITICAL AND MUST BE PLACED EXACTLY ACCORDING TO PLAN DIMENSIONS. ANY DISCREPANCIES SHALL BE REVIEWED WITH PROJECT COORDINATOR OR EQUIPMENT SUPPLIER. FLOOR SINKS SHALL BE INSTALLED 1" ABOVE FINISHED FLOOR (SO SINKS ARE NOT USED AS DRAINS); THEREFORE, REVIEW ALL FLOOR FINISHES AND THICKNESSES WITH GENERAL CONTRACTOR PRIOR TO SETTING. IN FIELD, PLUMBER SHALL CHECK ALL SINK ELEVATIONS PRIOR TO POURING OF CONCRETE SLAB OR TILE MORTAR BED. SIZE OF FLOOR SINK SHALL BE 12"X12"X8" DEEP.
- 17) INSTALL DIELECTRIC FITTINGS BETWEEN FERROUS AND NON-FERROUS MATERIALS.
- 18) PROVIDE SHUT OFF VALVE (SOV) AND BACK PRESSURE CHECK AIR CHAMBER AT EACH WATER STUB OUT OR FIXTURE.
- 19) PLUMBER TO PROVIDE VALVES AND FITTINGS NECESSARY TO CONNECT ALL LINES EVEN IF THEY ARE NOT PROVIDED WITH EQUIPMENT EITHER SUPPLIED BY OTHERS OR BY THE PLUMBER.
- 20) PLUMBER TO PROVIDE ESCUTCHEON COVERS, RINGS, ETC. AT ALL FLOOR, WALL AND CEILING PENETRATIONS FOR PLUMBING LINES AND/OR FIXTURES. ALL GAPS, HOLES, ETC. AROUND LINES AT PENETRATIONS SHALL BE SEALED AND CAULKED SOLID AS PER HEALTH DEPARTMENT REQUIREMENTS.
- 21) PLUMBER TO DRAIN ALL NOTED REFRIGERATION UNITS TO FLOOR SINKS, INCLUDING REFRIGERATOR COILS, UNLESS OTHERWISE NOTED.
- 22) PLUMBER TO PROVIDE INTERIOR HOSE BIBBS AS INDICATED ON DRAWINGS OR AS DIRECTED BY INSPECTOR (FOR USE AS TRAP PRIMERS AT FLOOR DRAINS. PROVIDE VACUUM BREAKER TYPE AT EACH UNIT. IN PUBLIC AREAS (TOILETS), BIBBS SHALL BE KEY-TYPE OPERATION FOR SECURITY REASONS).
- 23) PLUMBER TO FURNISH AND INSTALL PRESSURE REGULATOR RELIEF VALVE AND CHECK VALVE ON MAIN SUPPLY TO SPACE TO INSURE THAT WATER PRESSURE DOES NOT EXCEED 60 PSI AND IS NOT LESS THAN 40 PSI. PROVIDE MAIN SHUT VALVE AND LOCATE FOR EASY ACCESS BY OWNER.
- 24) PLUMBER TO PROVIDE AND INSTALL WATER HEATER PER PLUMBING ENGINEER'S SPECIFICATIONS IF NEW WATER HEATER IS REQUIRED. PLUMBER, MECHANICAL CONTRACTOR AND GENERAL CONTRACTOR TO PROVIDE PROPER VENTING AND COMBUSTION AIR.
- 25) INSTALL INSULATION AROUND ALL HOT WATER PIPING IN WALLS OR ABOVE CEILINGS. INSULATE DRAIN LINES FROM ICE SINKS, ICE BINS, OR ICE PANS TO ELIMINATE CONDENSATION ON THESE ITEMS.
- 26) PLUMBING CONTRACTOR TO SIZE, FURNISH, LOCATE AND INSTALL GREASE TRAP OR INTERCEPTOR AS REQUIRED BY LOCAL CODE. PLUMBER SHALL CONNECT FIXTURE WASTE LINES TO GREASE TRAP AS REQUIRED BY CODE.
- 27) ALL WASTE AND WATER PIPING PENETRATING CONCRETE FLOOR SLAB SHALL BE WRAPPED FOR PROTECTION.
- 28) PLUMBER TO MAINTAIN 10'-0" MINIMUM SEPARATION BETWEEN VENTS THROUGH ROOF AND OUTSIDE AIR INTAKES. VERIFY IF EXISTING VENTS CAN BE REUSED; IF NOT PROVIDE NEW ONE(S) TO ROOF.
- 29) ALL FLOOR SINKS TO BE SUPPLIED WITH ACID RESISTING ENAMELED CAST IRON GRATE WITH 1/4 OPENING AND DOME STRAINER.
- 30) PROVIDE A VACUUM BREAKER OR BACK FLOW PREVENTION DEVICE AT MOP SINK (INTEGRAL PART OF FAUCET).
- 31) PROVIDE WATERPROOF MEMBRANE AT ALL FLOOR DRAINS AND FLOOR SINKS WHEN FLOOR IS OVER OPEN SPACE.
- 32) SECURELY FASTEN ALL PIPING TO THE BUILDING STRUCTURES BY MEANS OF HANGERS, SUPPORTS, GUIDES, ANCHORS AND SWAY BRACES TO MAINTAIN PIPE ALIGNMENTS TO PREVENT SAGGING AND TO PREVENT NOISE OR EXCESSIVE STRAIN ON PIPING DUE TO MOVEMENT UNDER OPERATING CONDITIONS.
- 33) PIPE HANGERS SHALL BE DESIGNED TO SUPPORT WEIGHT OF THE PIPE AND WEIGHT OF THE CONTENTS IN THE PIPE.
- 34) PROVIDE A HANGER NOT MORE THAN 12" FROM THE POINT OF CHANGE OF DIRECTION OF A PIPE RUN IN BOTH HORIZONTAL AND VERTICAL PLAN.
- 35) DO NOT SUPPORT PIPING OR VALVES FROM EQUIPMENT PIECES.
- 36) DO NOT SPRING OR PIERCE PIPING DURING INSTALL.
- 37) DO NOT SLEEVE STRUCTURAL MEMBERS WITHOUT CONSENT OF THE ARCHITECT/ENGINEER. REVIEW ALTERNATIVE LAYOUT OF RUNS PRIOR TO PLACING ANY SLEEVES. IF NECESSARY, PLUMBER SHALL BE RESPONSIBLE FOR X-RAYING SLAB TO DETERMINE CONCEALED MEMBERS (E.G. POST TENSION SLAB WITH CABLES).
- 38) PROVIDE A TIGHT SEAL OF INCOMBUSTIBLE MATERIAL AROUND ALL PIPES WHICH PENETRATE FIRE SEPARATIONS. PROVIDE COLLARS OR TRIM RINGS AROUND PIPING TO RETAIN PACKING.
- 39) SLOPE ALL DRAINAGE PIPING WITHIN THE BUILDING WITH A MINIMUM FLOW FALL OF 1/4" PER FOOT.
- 40) INSTALL ALL PIPING CONCEALED IN WALLS, BELOW FLOORS, ABOVE CEILINGS OR FURRED OUT DRYWALL AREAS.
- 41) HOT AND COLD RUNNING WATER UNDER PRESSURE SHALL BE PROVIDED IN ALL AREAS IN WHICH FOOD IS PREPARED OR UTENSILS ARE WASHED. ALL HANDWASHING FACILITIES SHALL BE EQUIPPED WITH HOT AND COLD RUNNING WATER PER HEALTH DEPARTMENT.
- 42) PER HEALTH DEPARTMENT REQUIREMENT, A TEMPERATURE GAUGE SHALL BE INSTALLED IN LU TO DISHWASHER AS CLOSE AS POSSIBLE TO ENTRY INTO MACHINE. ALSO A GAUGE COCK SHALL BE ATTACHED AS CLOSE AS POSSIBLE TO TEMPERATURE GAUGE FOR THE PURPOSE OF TESTING THE ACCURACY OF THE INSTALLED THERMOMETER.
- 43) IF REQUIRED BY THE BUILDING DEPARTMENT, THE PLUMBER, UNDER HIS PERMIT APPLICATION, SHALL PROVIDE DRAWINGS OR DIAGRAMS OF PIPING LAYOUT, SEWER PIPE SIZES, VENTING CONNECTIONS, ETC.
- 44) PLUMBER SHALL DETERMINE TOTAL PROJECT REQUIREMENTS AND DETERMINE IF INCREASE SIZE OF SERVICE IS REQUIRED FOR GAS OR WATER. IF SO, BID PRICE SHALL INCLUDE WORK FOR NEW METERS, PIPING AND SERVICE CONNECTION COORDINATE AS SOON AS POSSIBLE WITH LOCAL SERVING AGENCY AND WATER DEPARTMENT.
- 45) PLUMBER SHALL REVIEW OPERATION OF EQUIPMENT, LOCATION OF VALVES, ETC. WITH THE OWNER AND/OR HIS REPRESENTATIVE AT THE COMPLETION OF THE PROJECT.
- 46) GENERAL CONTRACTOR TO PERFORM START UP AS REQUIRED.

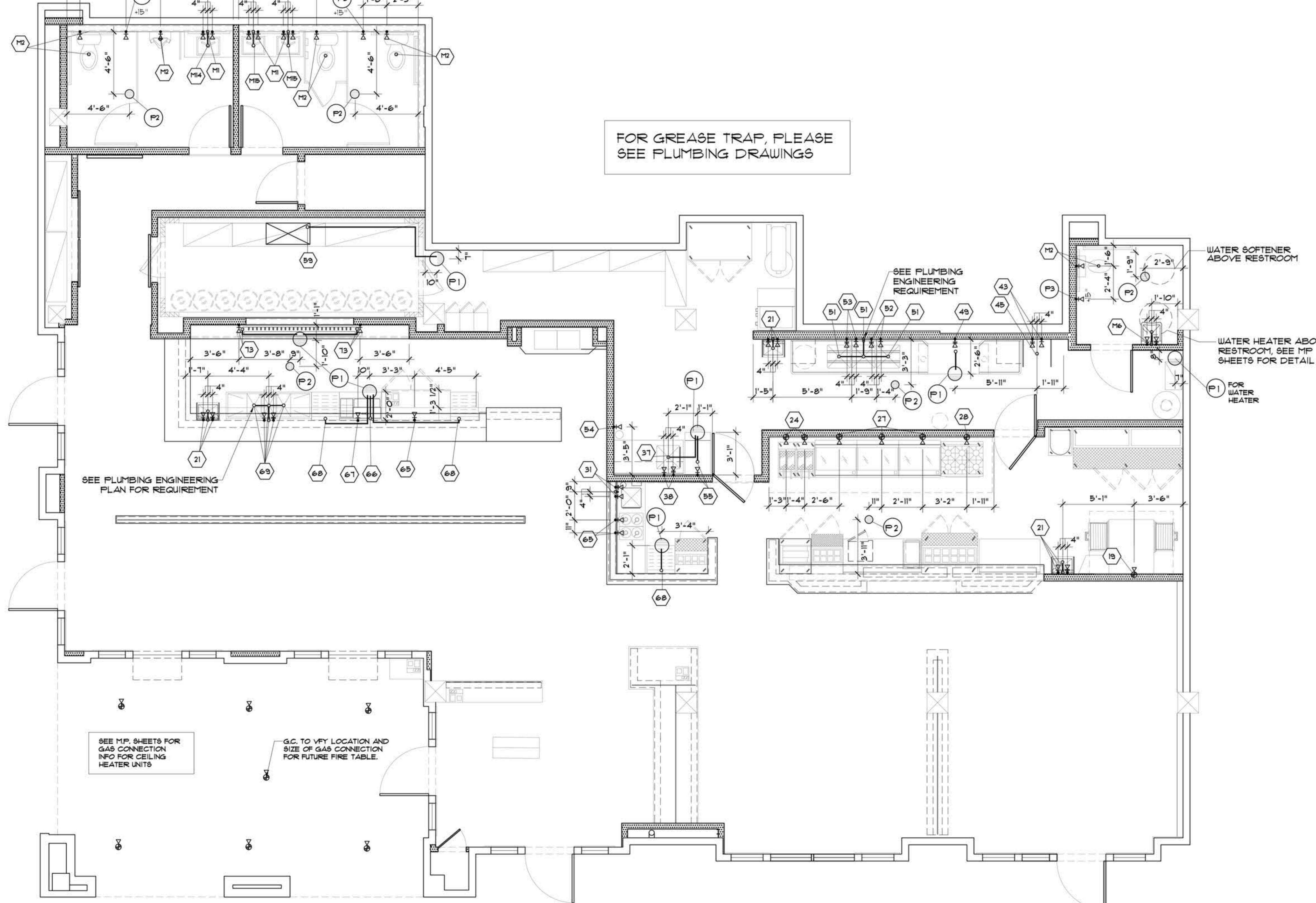
## SPECIAL NOTE

- 1) PLUMBER TO VERIFY WITH CITY AGENCIES FOR GREASE TRAP SIZING, LOCATION OR SPECIAL REQUIREMENTS.
- 2) FIRE SUPPRESSION SUPPLIER TO SUPPLY GAS MAIN SHUT OFF VALVE. INSTALL TO BE "BY PLUMBER".
- 3) IN ABSENCE OF ENGINEERED PIPING DIAGRAM, ALL UNDERGROUND PLUMBING UTILITY LAYOUT TO BE "BY PLUMBER".
- 4) ALL D.C.S. HD. RANGES REQUIRE 3/4" GAS CONNECTION.
- 5) FLOOR SINK INSTALLATION IS CRITICAL AND MUST BE PLACED EXACTLY ACCORDING TO PLAN DIMENSIONS. ANY DISCREPANCIES SHALL BE REVIEWED WITH PROJECT COORDINATOR OR EQUIPMENT SUPPLIER. ALL FLOOR SINKS TO BE SUPPLIED WITH ACID RESISTING ENAMELED CAST IRON GRATE WITH 1/4 OPENING AND DOME STRAINER.
- 6) SEE MECHANICAL ENGINEER'S PLAN FOR UNDER GROUND PIPING, POT SINK PIPING TO GREASE TRAP AND GREASE TRAP REQUIREMENT PER APPENDIX H OF PLUMBING CODE.
- 7) ALL REFRIG. DRAWERS REQUIRE INDIRECT DRAIN W/ 1/2" DRIP.
- 8) G.C. TO VERIFY INVERT ELEVATION PRIOR TO COMMENCEMENT OF WORK. NOTIFY R.D.C. IMMEDIATELY IF INVERT IS TOO HIGH.
- 9) G.C. TO VERIFY COMPRESSOR SIZE PRIOR TO INSTALLING LINES.
- 10) G.C. TO NOTIFY R.D.C. FM OF EXISTING OR NEW GAS MAIN SIZING TWO WEEKS PRIOR TO FINAL COORDINATION WITH FIRE SUPPRESSION CONTRACTOR.
- 11) VERIFY WITH MECHANICAL ENGINEER FOR GREASE TRAP REQUIREMENTS.
- 12) PLUMBER TO PROVIDE ALL NECESSARY PIPING, FITTINGS, "P" TRAPS, DRAIN BASKETS AS REQUIRED.

## PLUMBING SYMBOLS

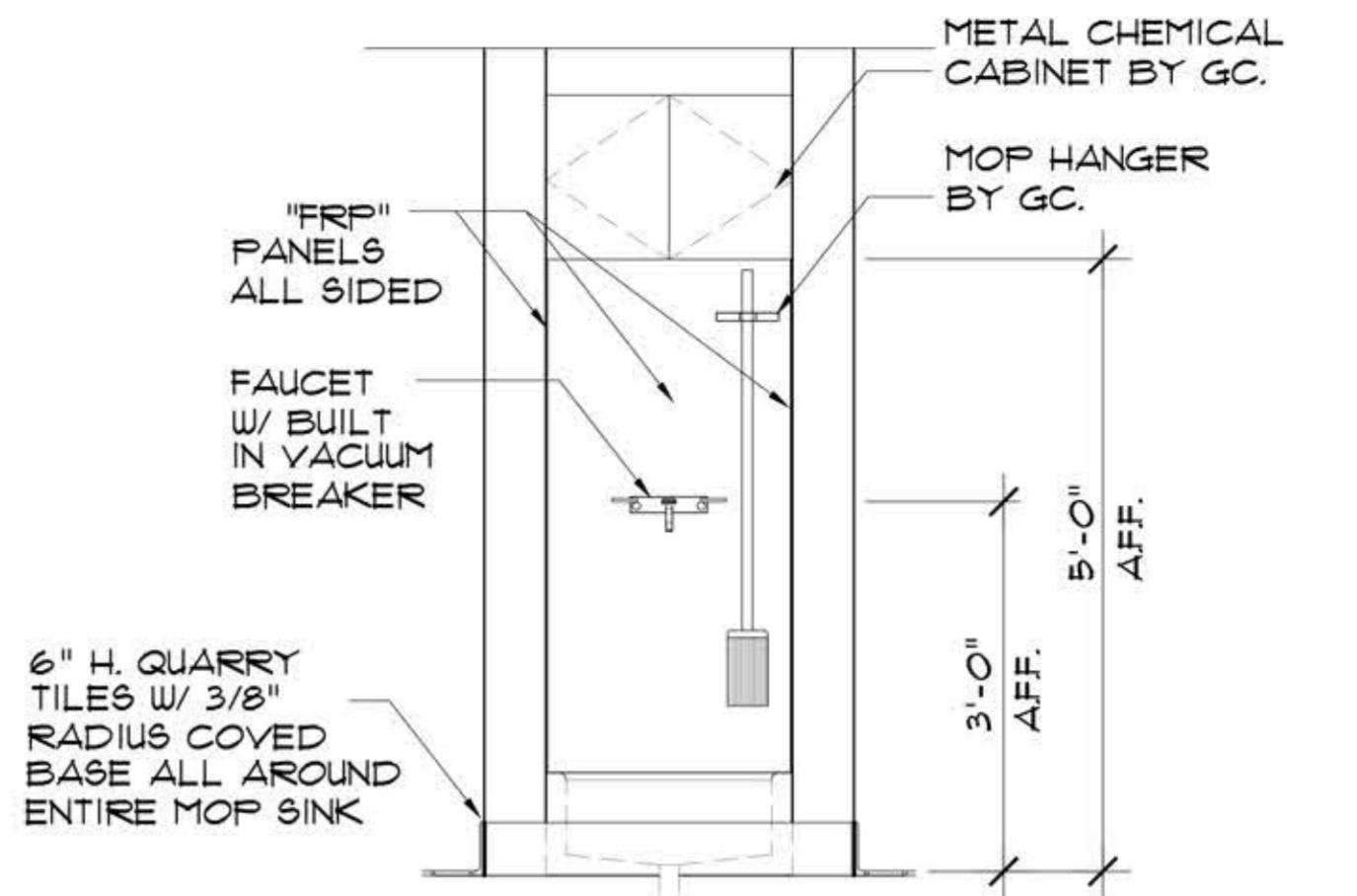
-  DIRECT WASTE CONNECTION
-  INDIRECT WASTE CONNECTION
-  FUNNEL FLOOR DRAIN (FFD)
-  FLOOR DRAIN
-  FLOOR SINK
-  COLD WATER INLET
-  HOT WATER INLET
-  SHUT OFF VALVE (SOV)
-  GAS INLET

FOR EQUIPMENT SCHEDULE  
SEE SHEETS K3.1 & K3.2



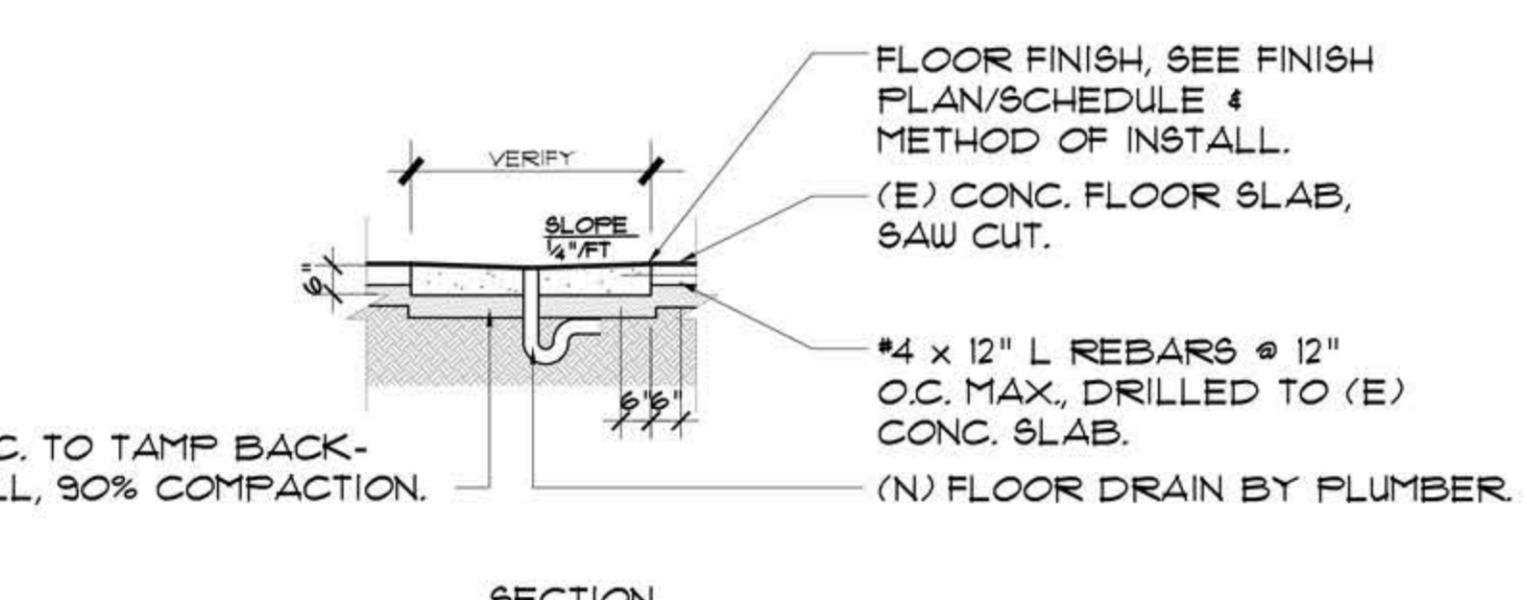
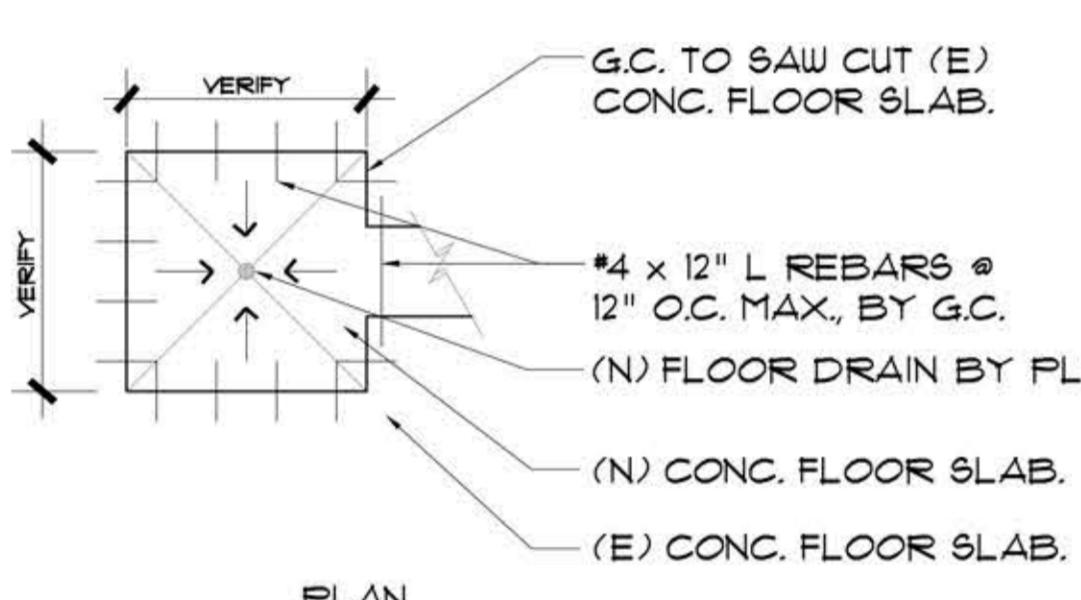
PLUMBING PLAN

SCALE 1/4" = 1'-0"



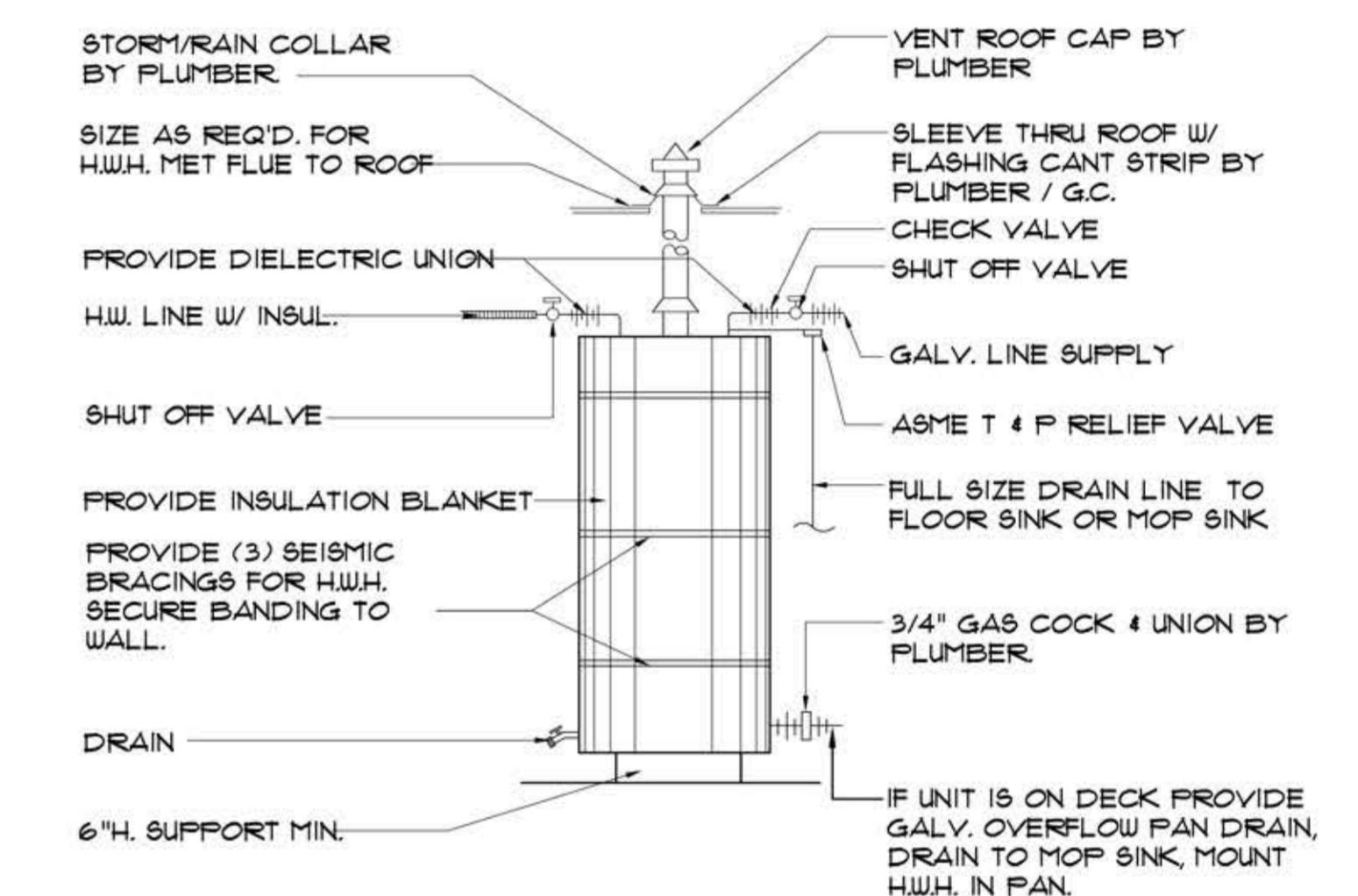
4 MOP SINK

N.T.S.



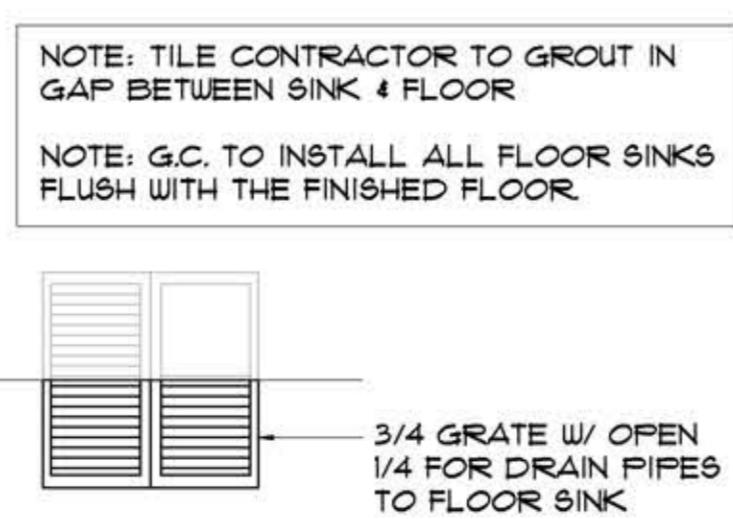
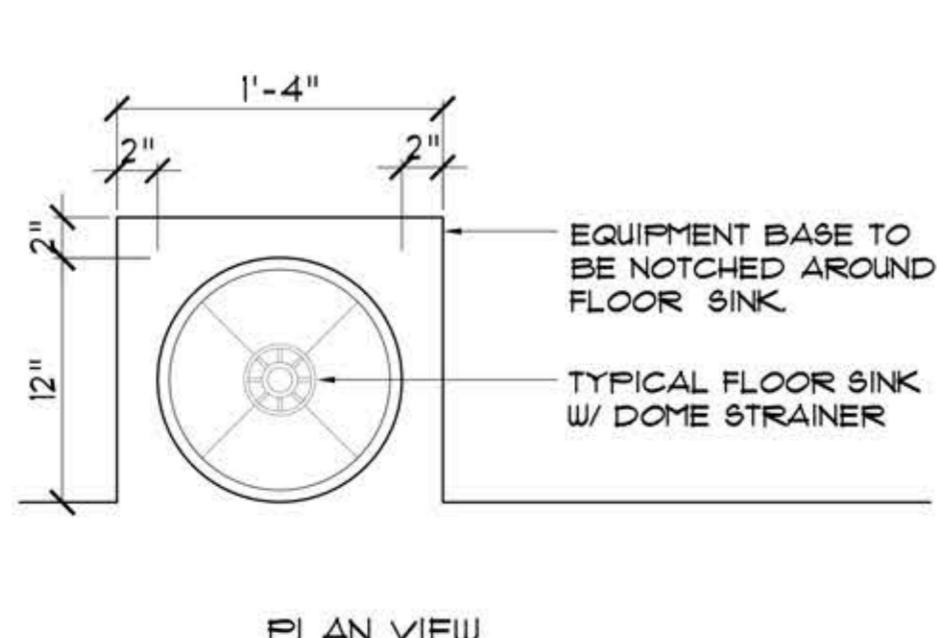
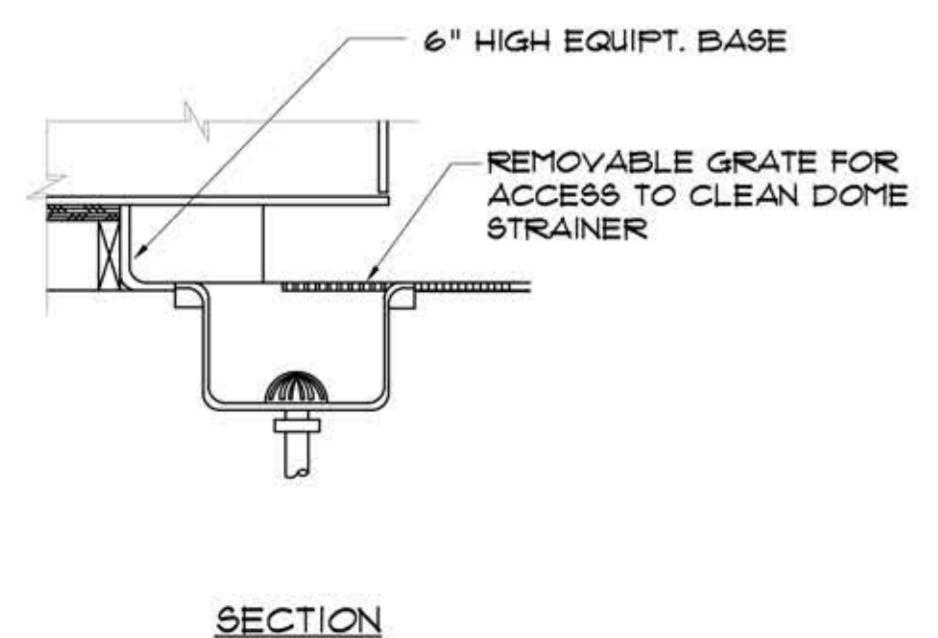
P2 FLOOR DRAIN DETAIL  
FOR REFERENCE ONLY

NOT TO SCALE



P3 WATER HEATER (GAS)  
FOR REFERENCE ONLY

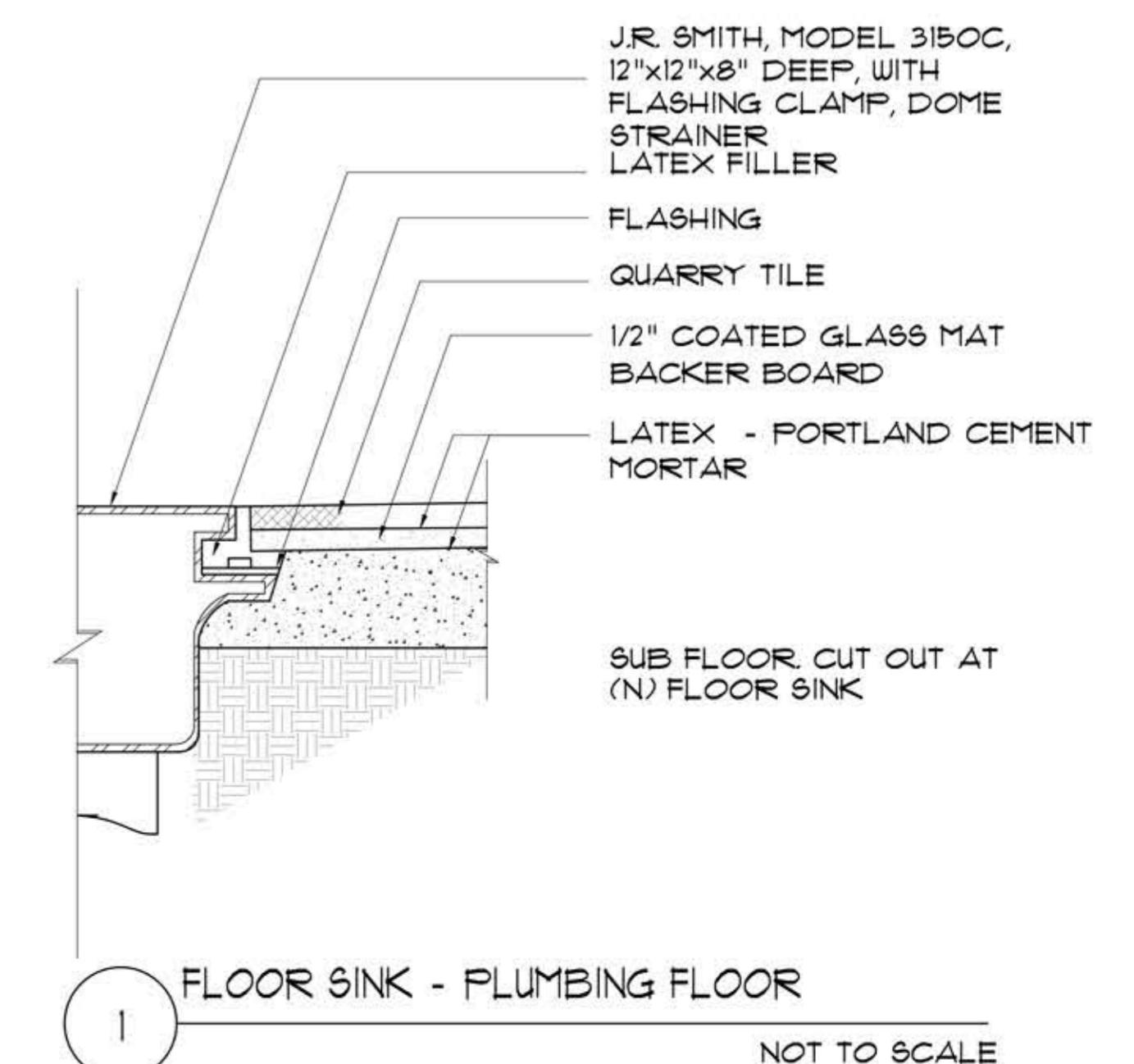
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GRATE VIEW

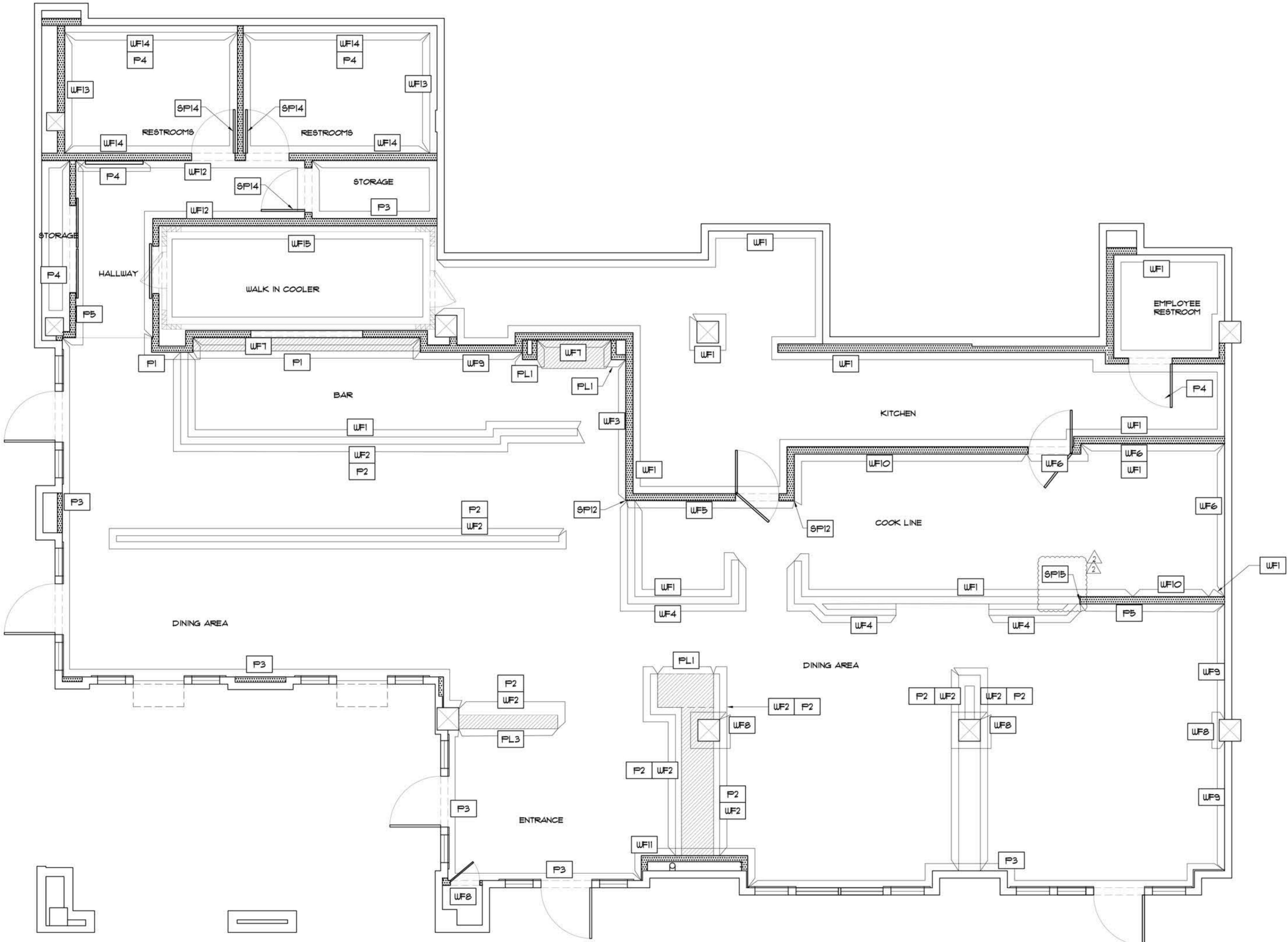
P1 FLUSH FLOOR SINK DETAIL @ CABINET  
FOR REFERENCE ONLY

NOT TO SCALE



1 FLOOR SINK - PLUMBING FLOOR

NOT TO SCALE



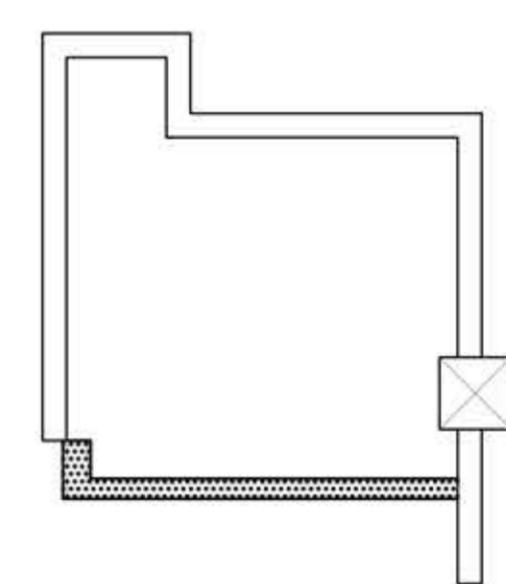
1 WALL FINISH PLAN

SCALE: 1/4" = 1'-0"

ALL FINISHES TO COMPLY WITH  
CBC CHAPTER 8 AND  
UPHOLSTERED FURNITURE TO  
MEET THE REQUIREMENTS OF  
CA TECHNICAL BULLETIN #11,  
AND CA TECHNICAL BULLETIN  
#133

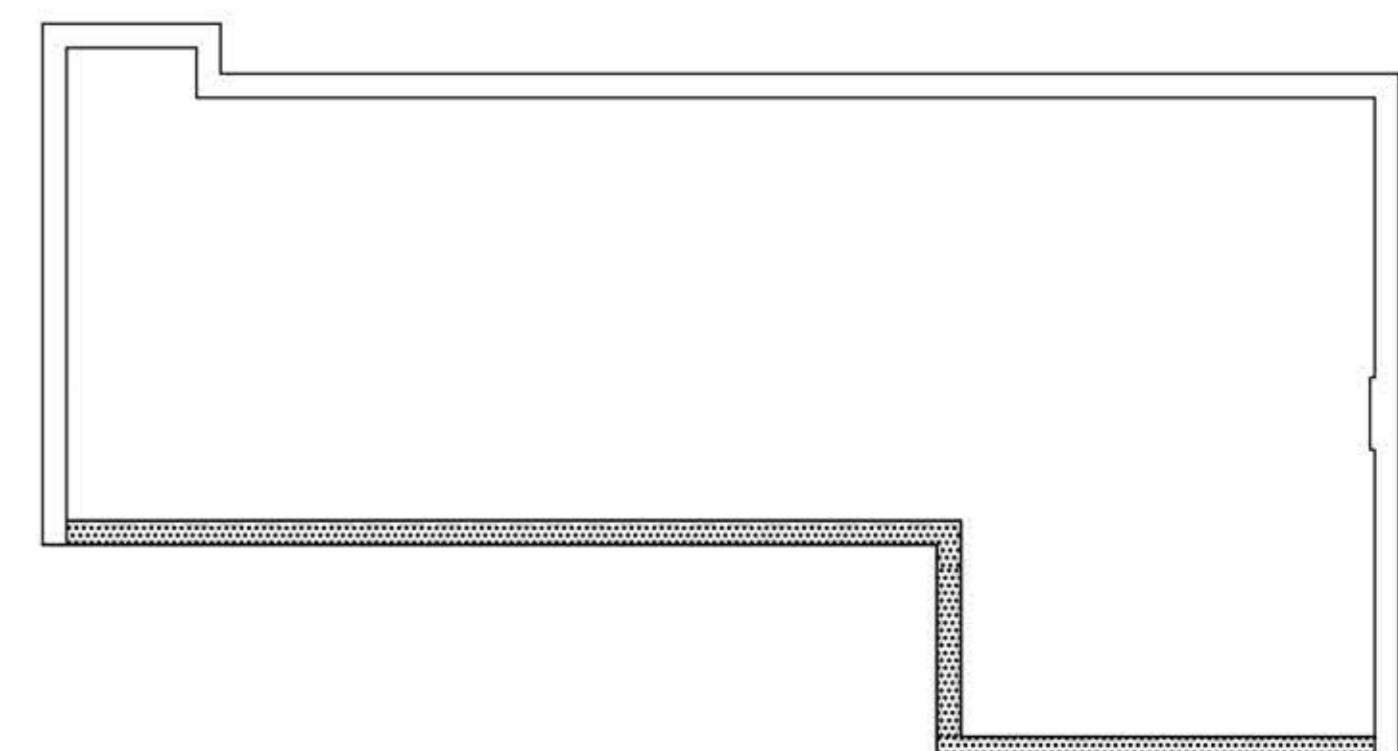
2 MECHANICAL PLATFORM PLAN

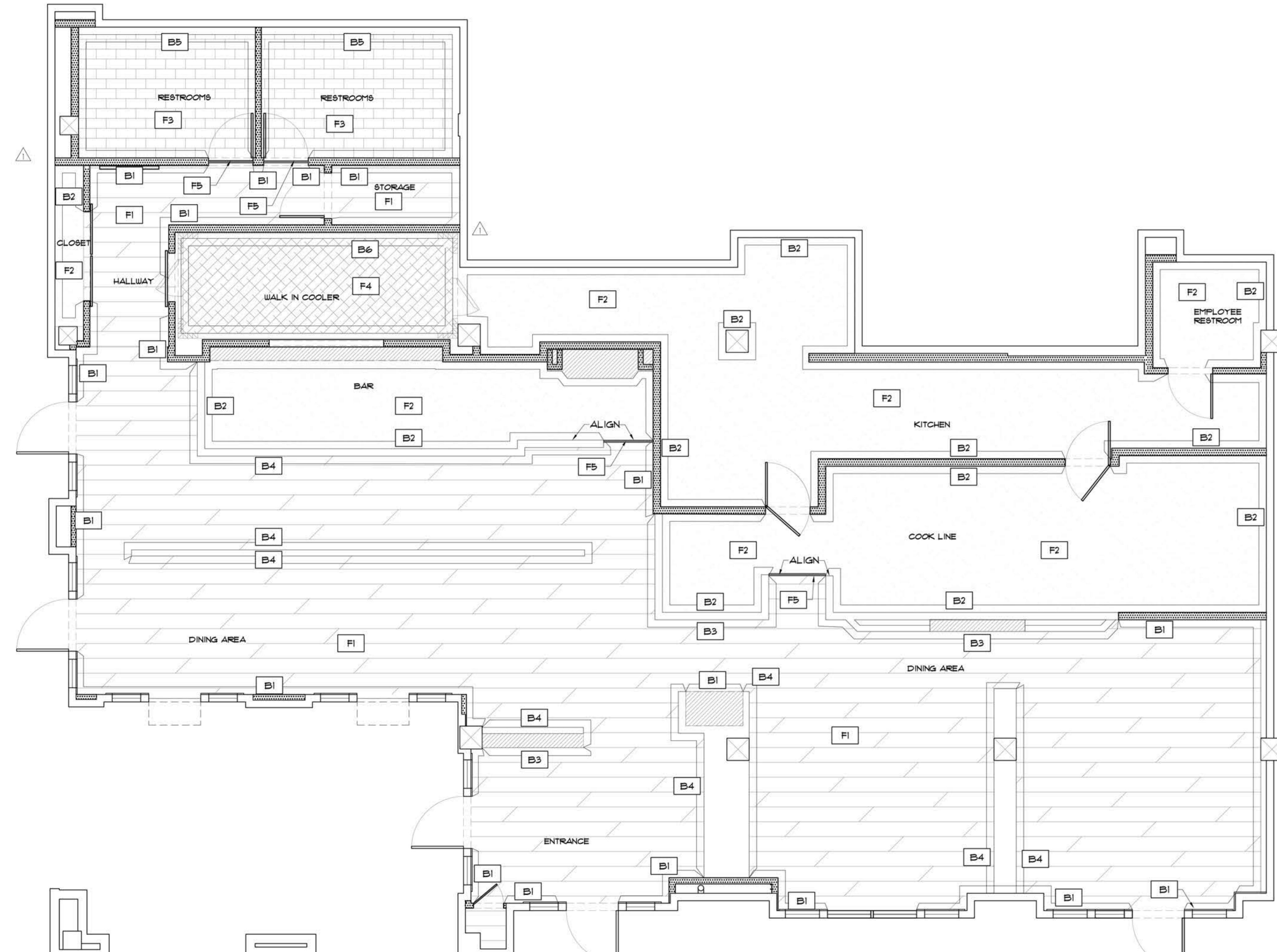
SCALE: 1/4" = 1'-0"



3 WATER HEATER PLATFORM PLAN

SCALE: 1/4" = 1'-0"





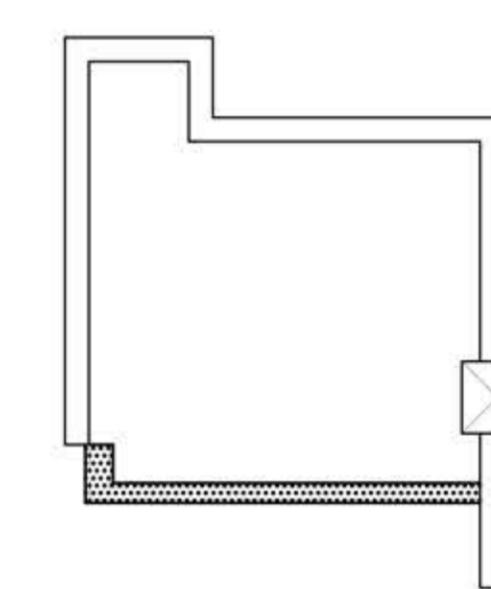
1 FLOOR FINISH PLAN

SCALE 1/4" = 1'-0"

ALL FINISHES TO COMPLY WITH  
CBC CHAPTER 8 AND  
UPHOLSTERED FURNITURE TO  
MEET THE REQUIREMENTS OF  
CA TECHNICAL BULLETIN #11,  
AND CA TECHNICAL BULLETIN  
#123

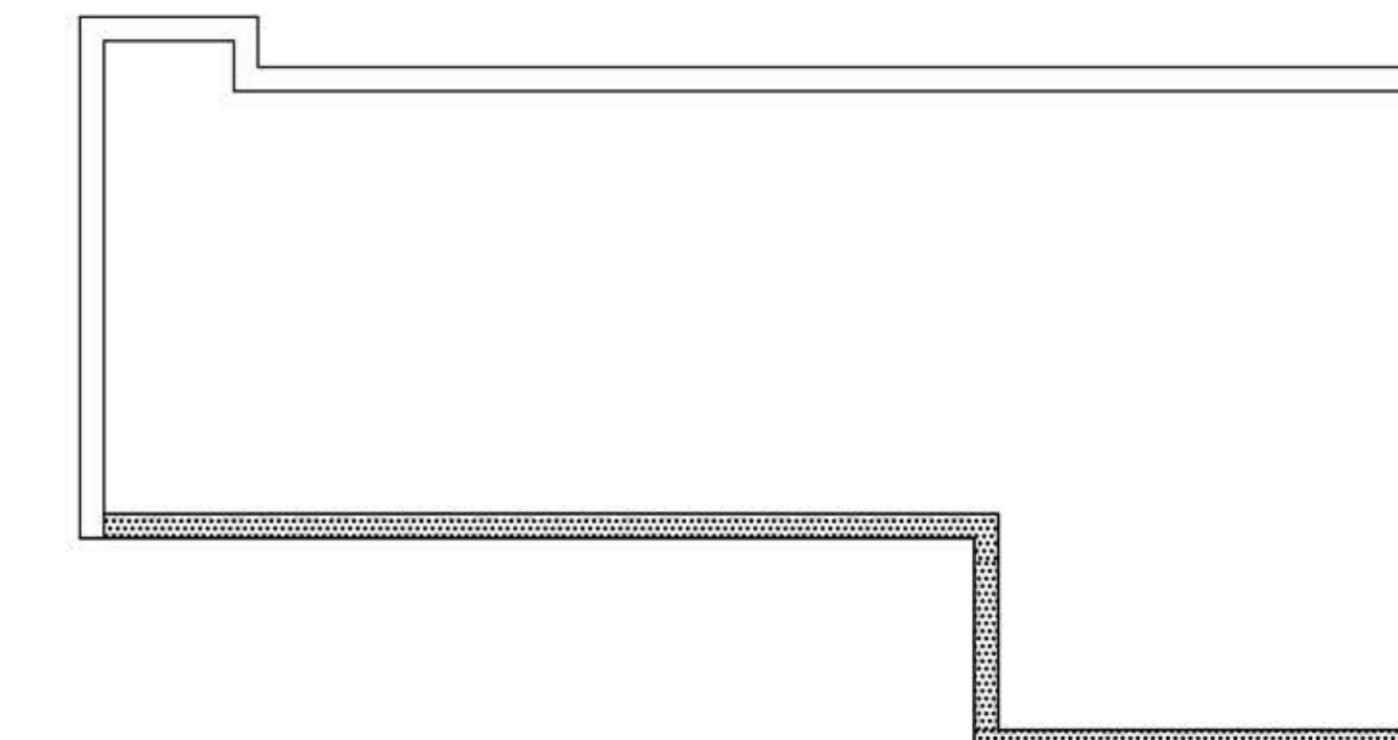
2 MECHANICAL PLATFORM PLAN

SCALE: 1/4" = 1'-0"



3 WATER HEATER PLATFORM PLAN

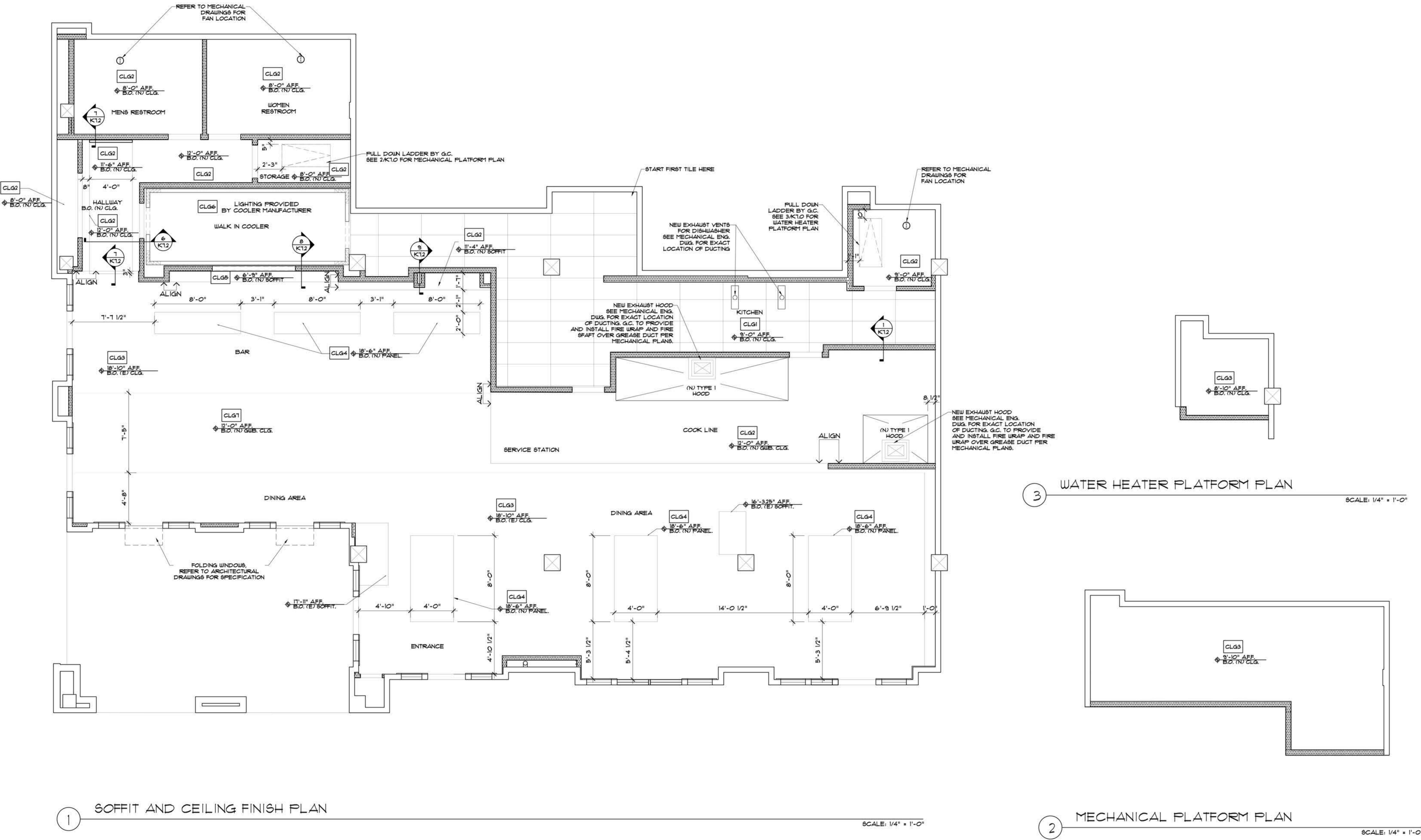
SCALE: 1/4" = 1'-0"



## FINISH TAG LEGEND

PI PAINT	CTI CEILING MATERIAL	SPI SPECIAL MATERIAL	BI BASE
PLI PLASTIC LAMINATE	WFI WALL TREATMENT	FI FLOOR TREATMENT	TOEKICK

GENERAL NOTES		FLOOR FINISH LEGEND		FINISH SCHEDULE						
				DESCRIPTION		NOTES	DESCRIPTION	NOTES		
<p>1) GC TO PROVIDE ALL TRANSITION STRIPS AND THRESHOLDS WHERE THERE IS A HEIGHT CHANGE IN FLOOR MATERIALS. NOTE: HEIGHT DIFFERENTIAL CAN NOT BE MORE THAN 1".</p> <p>3) SEE DOOR SCHEDULE AND ELEVATIONS FOR ALL DOOR AND FRAME FINISHES UNLESS OTHERWISE NOTED.</p> <p>4) ALL WALL AND FLOOR TILE TO BE SEALED.</p> <p>5) SEE SHT. K6.0 FOR FLOOR PATTERN, TRANSITION STRIP, AND LOCATION OF TOEKICKS.</p> <p>6) SEE SHT. K8.0 FOR ALL ELEVATIONS.</p> <p>7) SEE SHT. K1.0 RCP PLAN, FOR SIZE OF SOFFIT &amp; CEILING HEIGHTS.</p> <p>8) G.C. TO REPAIR ALL SUPERFICIAL DAMAGES BOTH PRE-EXISTING AND/OR AS A RESULT OF CONSTRUCTION.</p> <p>9) ALL WALL AND CEILING FINISHES SHOULD COMPLY WITH TABLE 803.9 CBC FOR MAXIMUM FLAME SPREAD AND SMOKE DENSITY.</p> <p>10) ALL FINISHES SHALL COMPLY WITH CBC CHAPTER 6, 7, &amp; 8.</p> <p>11) COMBUSTIBLE MATERIALS ARE NOT ALLOWED IN CONCEALED SPACES, IN ACCORDANCE WITH CBC 603, 718.5, AND 803.</p> <p>12) FINISHES IN CONCEALED SPACES ARE TO BE CLASS A, IN ACCORDANCE WITH CBC 718.5.</p> <p>13) CLASS B FINISHES ARE REQUIRED FOR ALL EGRESS LOCATION OF AN ASSEMBLY OCCUPANCY THAT IS PROTECTED WITH A FIRE SPRINKLER SYSTEM, IN ACCORDANCE WITH CBC TABLE 803.11.</p> <p>14) APPLICATION OF INTERIOR FINISH MATERIALS TO FIRE-RATED BUILDING ELEMENTS SHALL CONFORM TO CBC 803.13.1 FOR DIRECT ATTACHMENT AND FURRED CONSTRUCTION AND CBC 803.13.1 FOR SET-OUT CONSTRUCTION</p> <p>15) IF WOOD IS USED FIRE BLOCKING MATERIAL MUST BE FIRE RETARDANT TREATED WOOD.</p>										
				FLOOR			CEILING			
				<p><b>F1</b> GRIND &amp; POLISH CONCRETE SCOFIELD OR EQUAL</p> <p><b>F2</b> PROTECT ALL</p> <p><b>F3</b> TILESHOP ESM6GM/636 ELIOS BLEND 53 0398299</p> <p><b>F4</b> GALVALUM</p> <p><b>F5</b> SCHLUTER SYSTEM</p>	<p>GRIND AND POLISH CONCRETE FLOOR WITH CLEAR COATING 3 COATS AS REQUIRED, FORMULA ONE LITHIUM DENSIFIER MP FINISH WITH FORMULA ONE GUARD -W FINISH COAT</p> <p>PROTECT ALL RUBBERIZED FLOORING WITH INTEGRAL BASE DARK GRAY</p> <p>GALVALUM INSULATED FLOOR BY WALK IN MANUFACTURER WITH 3/8" COVE BASE</p> <p>RENO-U OR EQUAL BRUSHED STAINLESS STEEL</p>	<p>G.C. TO SUPPLY &amp; INSTALL</p> <p>G.C. TO SUPPLY &amp; INSTALL</p> <p>G.C. TO SUPPLY &amp; INSTALL</p> <p>RDC TO SUPPLY &amp; INSTALL</p> <p>G.C. TO SUPPLY &amp; INSTALL</p>	<p><b>CLG1</b> CERTAINTED CERTAINTED, 2X4, PERFORMA VINYL ROCK OR EQUAL</p> <p><b>CLG2</b> GUB DRYWALL CEILING SMOOTH NON TEXTURED P4</p> <p><b>CLG3</b> EXISTING EXPOSED CEILING PAINTED P6</p> <p><b>CLG4</b> ACOUSTICAL PANEL ACOUSTICAL PANEL REFER TO SPI</p> <p><b>CLG5</b> PORCELAIN TILE PORCELAIN TILE REFER TO WFS</p> <p><b>CLG6</b> GALVALUM GALVALUM CEILING PANEL</p> <p><b>CLG7</b> GUB GUB CEILING WITH LEVEL 5 FINISH PAINTED P4</p>	<p>G.C. TO SUPPLY &amp; INSTALL</p> <p>WALK-IN MFG TO SUPPLY &amp; INSTALL</p> <p>G.C. TO SUPPLY AND INSTALL</p>		
				<b>BASE</b>		<b>WALL FINISH</b>				
				<p><b>BI</b> WOOD BASE</p> <p><b>B2</b> PROTECT ALL</p> <p><b>B3</b> STAINLESS STEEL</p> <p><b>B4</b> WOOD PANELING VIRIDIAN MILLWORKS</p> <p><b>B5</b> SCHLUTER SYSTEM</p> <p><b>B6</b> GALVALUM WALL BASE</p>	<p>8"H WOOD BASE STAINED TO MATCH EXISTING WINDOW TRIM WATCO CLEAR SATIN LACQUER FINISH 2 COATS OR EQUAL SATIN FINISH</p> <p>PROTECT ALL RUBBERIZED FLOORING INTEGRATED BASE 6"H WITH A 3/8" COVE RADIUS.</p> <p>3/8" STAINLESS STEEL BASE SCHLUTER DESIGNBASE OR EQUAL</p> <p>WOOD PANELING VIRIDIAN MILLWORKS INTEGRAL BASE</p> <p>3/8" COVE BASE DILEX-AHKA OR EQUAL BRUSHED NICKEL ANODIZED 10MM</p> <p>6" H 3/8" COVE INTEGRAL GLAVALUM COVE BASE</p>	<p>G.C. TO SUPPLY &amp; INSTALL</p> <p>RDC TO SUPPLY &amp; INSTALL</p>	<p><b>WF1</b> GLASSTEEL GLASLINER GLASLINER FRP / BRIGHT WHITE SMOOTH 1600 SERIES</p> <p><b>WF2</b> WOOD PANELING VIRIDIAN MILLWORKS GOOD NEIGHBOR PAINTED REVEAL OR EQUAL, MILLWORK TO SUBMIT SAMPLES TO ID FOR REVIEW, CLASS A FIRE RATED CLEAR FINISH REVEAL TO BE PAINTED P5</p> <p><b>WF3</b> VINYL IMAGE HISTORICAL IMAGES OF OLD CAMPBELL</p> <p><b>WF4</b> MATERIAL INC WALL PANEL ARIA BENTON ANTHRACITE SMOOTH DIM: 4'-0" X 10'-0" CUT TO FIT DMBT102C</p> <p><b>WF5</b> SPEC CERAMICS GRIS BUSH HAMMERED 20 X 40</p> <p><b>WF6</b> SPEC CERAMICS BRICK TILE GRAY LIBRA LIB 202M</p> <p><b>WF7</b> EMSEER TILE SUNSET CLASSIC 3 X 6 MIRROR SUBWAY TILE INSTALL IN A HERRINGBONE PATTERN MINIMUM GROUT JOINTS</p>	<p>G.C. TO SUPPLY &amp; INSTALL</p> <p>MILLWORK TO SUPPLY &amp; INSTALL</p> <p>RDC TO SUPPLY &amp; INSTALL</p> <p>G.C. TO SUPPLY &amp; INSTALL</p>		
				<b>SPECIAL FINISHES</b>		<b>PAINT</b>				
				<p><b>SPI</b> EUROSTONE</p> <p><b>SP2</b> METAL DIVIDER ONLINEDMETALS</p> <p><b>SP3</b> EUROSTONE</p> <p><b>SP4</b> DELETED</p> <p><b>SP5</b> DELETED</p> <p><b>SP6</b> 4RAILS.COM OR EQUAL</p> <p><b>SP7</b> METAL CEILING SUPPORT</p> <p><b>SP8</b> CR LAURENCE CO</p> <p><b>SP9</b> GLASS</p> <p><b>SP10</b> TEXAA</p> <p><b>SP11</b> EXISTING</p> <p><b>SP12</b> SCHLUTER SYSTEM</p> <p><b>SP13</b> HADRIAN</p> <p><b>SP14</b> WOOD FINISH</p> <p><b>SP15</b> STAINLESS STEEL</p>	<p>GRIEGE GRAIN 3/8" THICK QUARTZ</p> <p>METAL DIVIDERS BY G.C. POWDER COATED WELDED METAL - GUNMETAL - SAMPLE TO BE PROVIDED TO ID FOR APPROVAL.</p> <p>14" H - SEE ELEVATIONS FOR DESIGN AND WIDTH HEAT ROLLED MILD STEEL SQUARE TUBE PART# 10339 OR EQ.</p> <p>GRIGIO MILAO ROCFACE 3/8" THICK QUARTZ</p> <p>DELETED</p> <p>DELETED</p> <p>FOOT RAIL 2" FOOT RAIL OIL RUBBED BRONZE FINISH</p> <p>METAL DIVIDERS BY G.C. POWDER COATED WELDED METAL - GUNMETAL - SAMPLE TO BE PROVIDED TO ID FOR APPROVAL.</p> <p>CRL D 990 18" H PARTITION POST FINISH: SATIN ANODIZED CRL 18" 90 DEGREE CORNER CRL 18" CENTER POST CRL 18" END POSTS C/W 1/4" TEMPERED CLEAR GLASS</p> <p>1/4" TEMPERED CLEAR GLASS</p> <p>ACOUSTICAL PANELS 4' X 8' SEE RCP FOR DIMENSIONS COLOR GRAPHITE MRT180</p> <p>EXISTING MOLDING TO REMAIN AS IS</p> <p>SCHLUTER CORNER EDGE JOLLY - ALUMINUM - BRUSHED NICKEL ANODIZED</p> <p>HADRIAN ELITE PLUS POWDER COATED TOILET PARTITIONS FINISH B14 CAST IRON METALLIC</p> <p>ASH STAINED TO MATCH EXISTING WINDOW TRIM, SEALED AND SAMPLE TO BE PROVIDED TO ID PRIOR TO MANUFACTURING</p> <p>STAINLESS STEEL WALL END CAP 1" RETURN BOTH SIDES THE CORNER GUARD STORE OR EQUAL</p>	<p>G.C. TO SUPPLY &amp; INSTALL</p>	<p><b>P1</b> DUNN EDWARDS DE6362 STORM CLOUD/ LRV 21 / EGGSHELL (OVER SMOOTH/ NON TEXTURED SURFACES, TWO COATS OVER PRIMER)</p> <p><b>P2</b> DUNN EDWARDS DE5825 DEEPEST SEA/ LRV1 / EGGSHELL (OVER SMOOTH/ NON TEXTURED SURFACES, TWO COATS OVER PRIMER)</p> <p><b>P3</b> DUNN EDWARDS DET620 BARNWOOD GRAY/ LRV3/ EGGSHELL (OVER SMOOTH/ NON TEXTURED SURFACES, TWO COATS OVER PRIMER)</p> <p><b>P4</b> DUNN EDWARDS DET614 SO CHIC/ LRV61 / SEMI-GLOSS (OVER SMOOTH/ NON TEXTURED SURFACES, TWO COATS OVER PRIMER) LEVEL 5 FINISH WHERE REQUIRED</p> <p><b>P5</b> DUNN EDWARDS DB525 DEEPEST SEA/ LRV1 / VELVET (OVER WOOD SURFACE, TWO COATS OVER PRIMER)</p> <p><b>P6</b> DUNN EDWARDS DE6362 STORM CLOUD/ LRV 21 / FLAT (OVER SMOOTH/ NON TEXTURED SURFACES, TWO COATS OVER PRIMER)</p> <p><b>P7</b> DUNN EDWARDS DARK GREY/ INDUSTRIAL &amp; HIGH PERFORMANCE / LOW SHEEN (OVER SMOOTH/ NON TEXTURED SURFACES, TWO COATS OVER PRIMER)</p>	<p>G.C. TO SUPPLY &amp; INSTALL</p>		
				<b>PLASTIC LAMINATE</b>		<b>TOEKICK</b>				
				<p><b>PL1</b> WILSONART LOFT OAK LAMINATE WITH AEON 7968K-12</p> <p><b>PL2</b> WILSONART PEARL SOAPSTONE SOLICORE LAMINATE FINE VELVET 4886-38</p> <p><b>PL3</b> WILSONART CHARCOAL VELVET 15504-31</p> <p><b>PL4</b> WILSONART IB70 - 60 WHITE MATTE FINISH</p>	<p>MILLWORKER TO SUPPLY &amp; INSTALL</p>					
<p>ALL FINISHES TO COMPLY WITH CBC CHAPTER 8 AND UPHOLSTERED FURNITURE TO MEET THE REQUIREMENTS OF CA TECHNICAL BULLETIN #11, AND CA TECHNICAL BULLETIN #33</p>										



## LIGHTING SCHEDULE

ITEM NO.	QTY.	CATALOG NO.	AMOUNT AND TYPE OF BULB	WATTS PER FIXTURE	REMARKS	SUPPLIED BY	INSTALLED BY	SYMBOL
A	4	NORA LIGHTING EDGE-LIT LED PANEL LIGHT	46 WATT LED 4000K	46 WATTS 5000 LM	2 X 4 LED EDGE-LIT PANEL DIM: 24" X 48" X 3 5/8" NPD RECESSED FLANGE KIT WHITE PRIMER FINISH SHATTERPROOF LENS	ELEC. CONT.	ELEC. CONT.	
B	33	NORA LIGHTING 2" IOLITE BUF TRIM NICOB-2	14 WATT LED 2100K	14 WATTS 1000 LM	2" NEW CONSTRUCTION IOLITE BUF TRIM DIM: 3 5/8" W X 3 5/8" D X 3" H NICOB-26-G-21X-NN10' FINSH: NATURAL METAL	ELEC. CONT.	ELEC. CONT.	
C	II	NORA LED RAIL HEADS NRE-853	32W LED 3000K	32WATTS 2800LM	LED RAIL HEADS DIM: 1 1/8" DIA X 5 1/2" EXT. NARROW SPOT NRE-853-1-30-X-BZ FINSH: BRONZE	ELEC. CONT.	ELEC. CONT.	
D	3	TWO TIER CHANDELIER CUSTOM WITH LED BULBS	42W 2400K	84 WATTS 180 LM 120V	TWO-TIER CHANDELIER DIM: 6 1/2" DIA X 1' 6" (3' 12" EXT. RD) PRIMER FINISH, LINEA DIMMER COMPATIBLE GC TO PROVIDE LED FILAMENT TYPE (1000BULB, #PLT-10106 OR EQUAL)	RDC	ELEC. CONT.	
E	24	ILENE SERIES MINI LED CYLINDER PENDANT HEIGHT 10'-0" AFF. UCN.	28W 2100K 120V	28W 1800LM	CYLINDER PENDANT DIM: 6 1/2" X 3" DIA X 8'-6" ADJ. NYLON CORD: BB-LE4 FINSH: BLACK	ELEC. CONT.	ELEC. CONT.	
F	4	NORA LIGHTING 4" IOLITETRIM NIC-4	14 WATT LED 2100K	14 WATTS 1000 LM	4" NEW CONSTRUCTION IOLITE BUF TRIM DIM: 4 1/8" W X 4 1/8" D X 3" H NIC-45-G-21-WH10 FINSH: WHITE/WHITE	ELEC. CONT.	ELEC. CONT.	
G	2	MOONRING PENDANT ONEPOINTIVE - MR15 CEILING MOUNTED	58 WATT LED 2100K	58 WATTS 4242 LM	CEILING MOUNTED RING PENDANT DIM: 36" DIA X 1 1/2" H D3-CH1-LED/2100-0/0V/BK FINSH: BLACK POWDERCOAT	ELEC. CONT.	ELEC. CONT.	
H	SEE PLAN	LED ALLOY STRIP LIGHT	14 WATT LED 2100K 12V	SEE PLAN	LED STRIP LIGHT WATT: 18 PER FT. 126LM/FT	ELEC. CONT.	ELEC. CONT.	
J	3	5 LIGHT WINE BARREL PENDANT	25 WATT E 12 120V	125WATTS 180 LM	5 LIGHT PENDANT DIM: 25" DIA X 26.51" H, LEAD WIRE 96" FINSH: DISTRESSED BLACK	RDC	ELEC. CONT.	
K	6	DEL REY COMFORT HEATER 48"X10" ALFRESCO HEATING	N/A	N/A	GAS HEATER 58,000 BTUS. MUST BE MOUNTED 96" MIN AWAY FROM HORIZONTAL SURFACES	RDC	PLUMB. CONT.	
L	10	CAGE PENDANT (VARIUS) SEE K&L	(10) BU 2400K	50 WATTS 380 LUMENS	CAGE PENDANT WITH GALVANIZED PIPE FRAME AND BLACK CORD DIM: 6" DIA. X 1-10" H FINSH: BLACK. LINEA DEDICATED DIMMER COMPATIBLE GC TO PROVIDE LED EDISON BULB - (1000BULB, #PLN-51092 (PART NO.) OR EQUAL)	RDC	ELEC. CONT.	
M	5	5 LIGHT PENDANT WITH GOLD TONE AND BRONZE FINISH	25 WATT E 12 120V	125WATTS 180 LM	5 LIGHT PENDANT 20.41" DIA X 19.13" H, LEAD WIRE 96" FINSH: BLACK	RDC	ELEC. CONT.	
N	4	MAXLITE LED SURFACE MOUNTED TROFFER	1-45 WATT LED	45 WATTS	2X2 LED TROFFER 4100K, 4398 LUMENS, 80CR1 MLRT 24D 45 41	ELEC. CONT.	ELEC. CONT.	

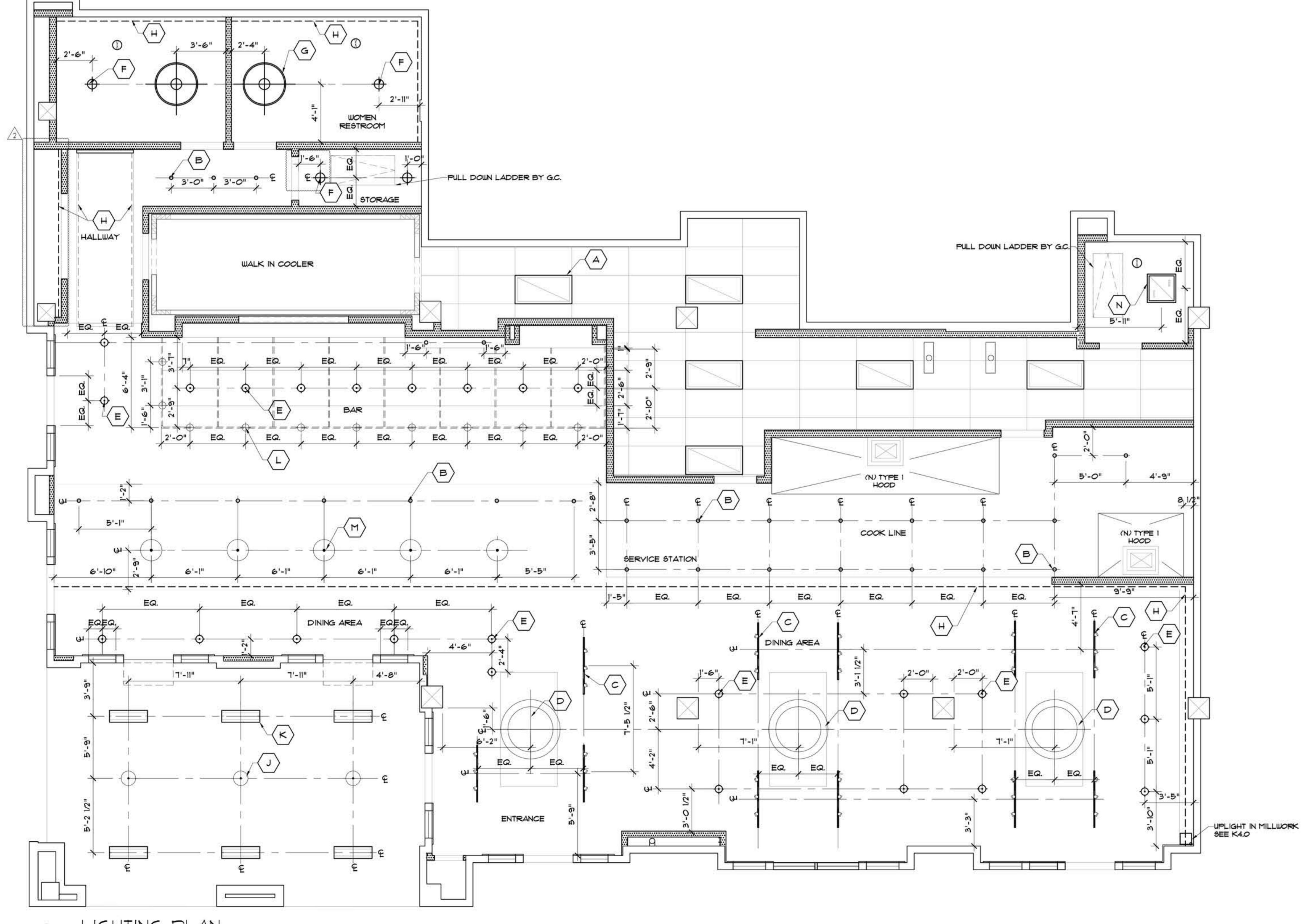
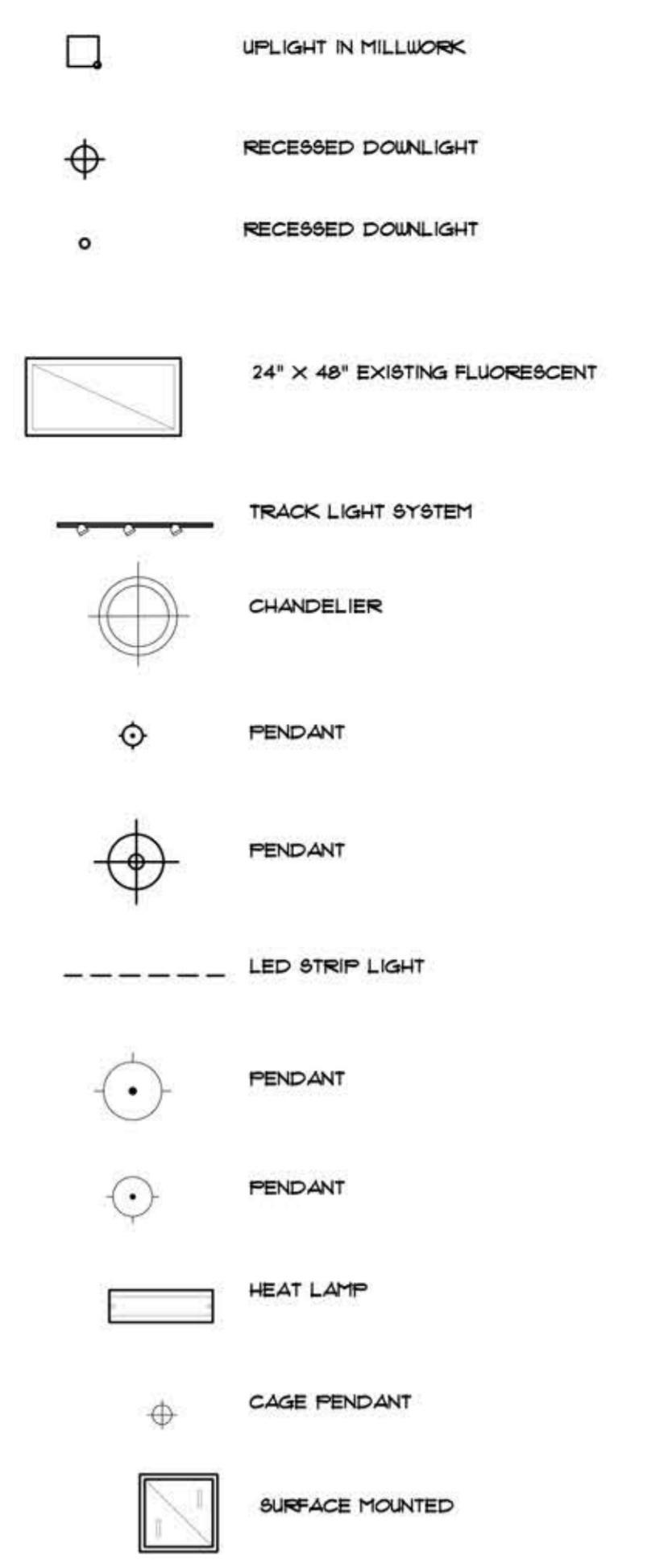
## LIGHTING NOTES

1. SEE ELECTRICAL ENGINEERING PLAN FOR ANY EMERGENCY AND BACK-UP LIGHTS
2. ALL ROOF CUTS AND PATCHING TO BE BY G.C.
3. G.C. TO PROVIDE AND INSTALL FIRE WRAP OR FIRE SHAFT FOR MECH. ENG. PLANS.
4. G.C. TO PROVIDE CORNER FLASHING BETWEEN WALK-IN REFRIGERATOR AND PARTITIONS AS REQUIRED.
5. ALL LIGHTS TO BE ON DIMMERS

## FOOT CANDLES PER ROOM

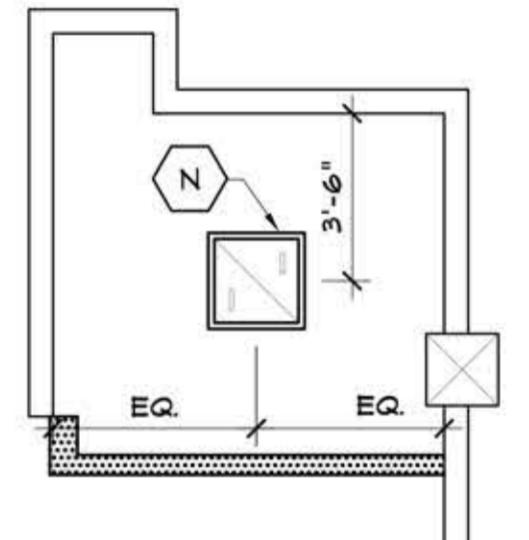
ROOM:	REQ'D DISTANCE:	F.C.:
ALL FOOD PREP AREAS	WORKING SURFACE	80 MIN
WALK-IN BOX + DRY FOOD STORAGE	30' AFF.	10 MIN
BAR AREA	WORKING SURFACE	10 MIN
EQUIPMENT	INSIDE	10 MIN
RESTROOMS, DISHWASHING, HANDWASHING	30' AFF.	20 MIN
ALL OTHER AREAS DURING CLEANING	FLOOR	20 MIN

## LEGEND

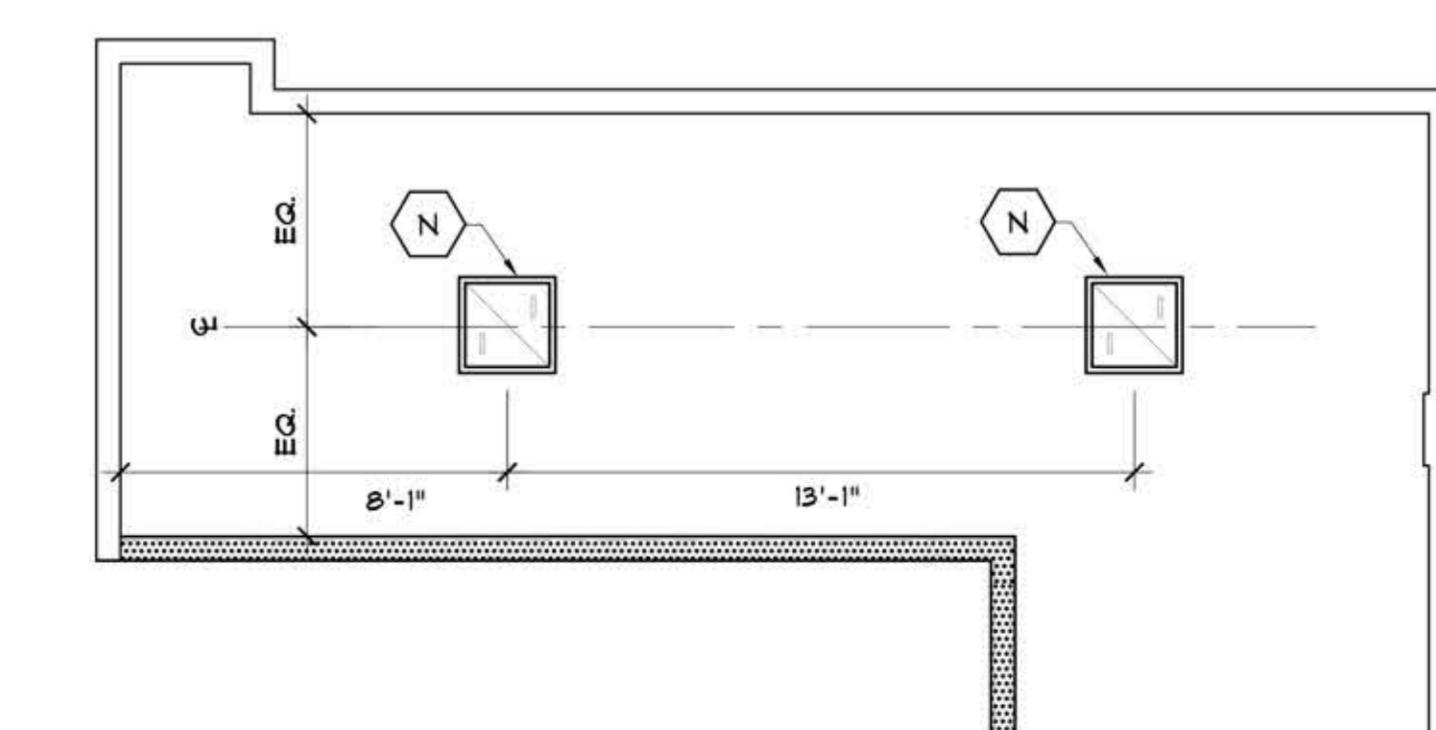


MECHANICAL PLATFORM PLAN

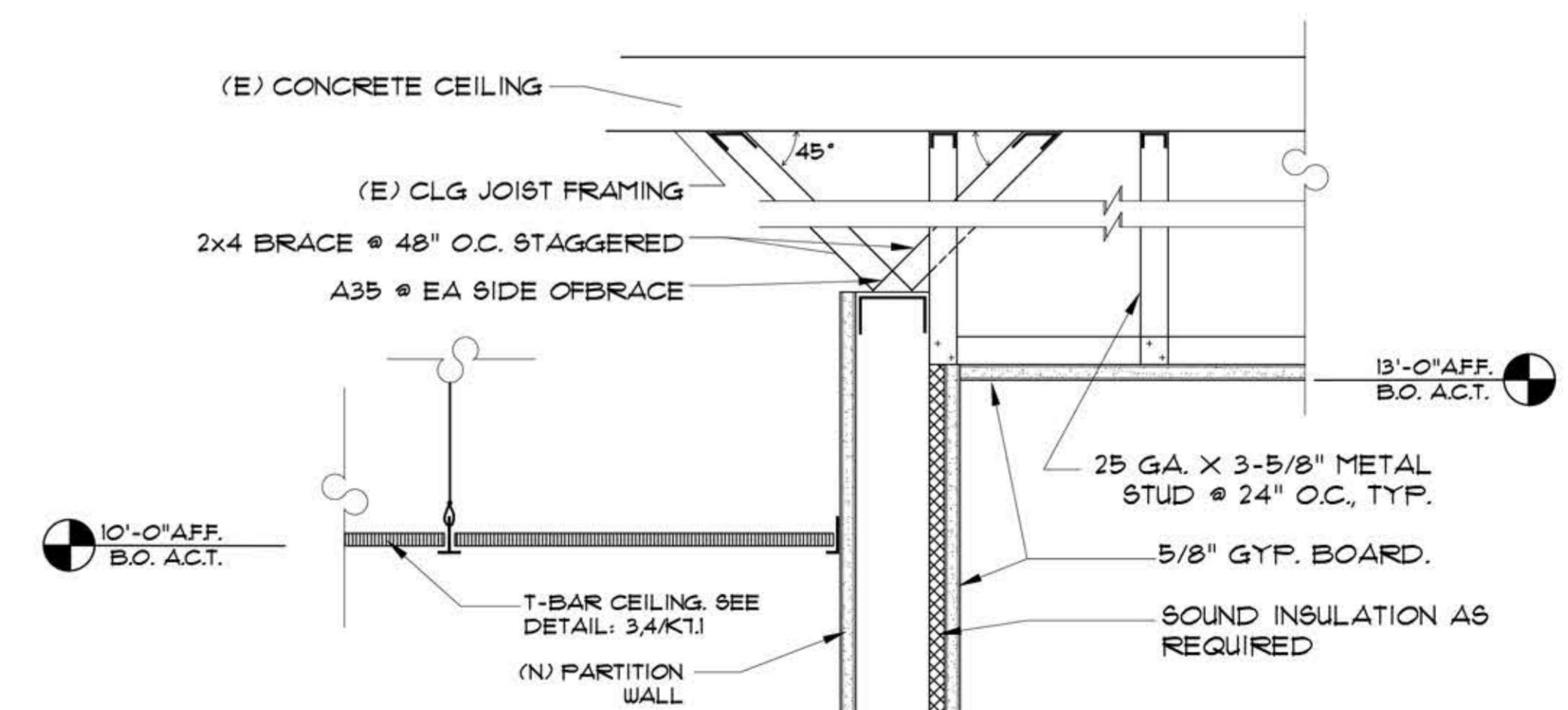
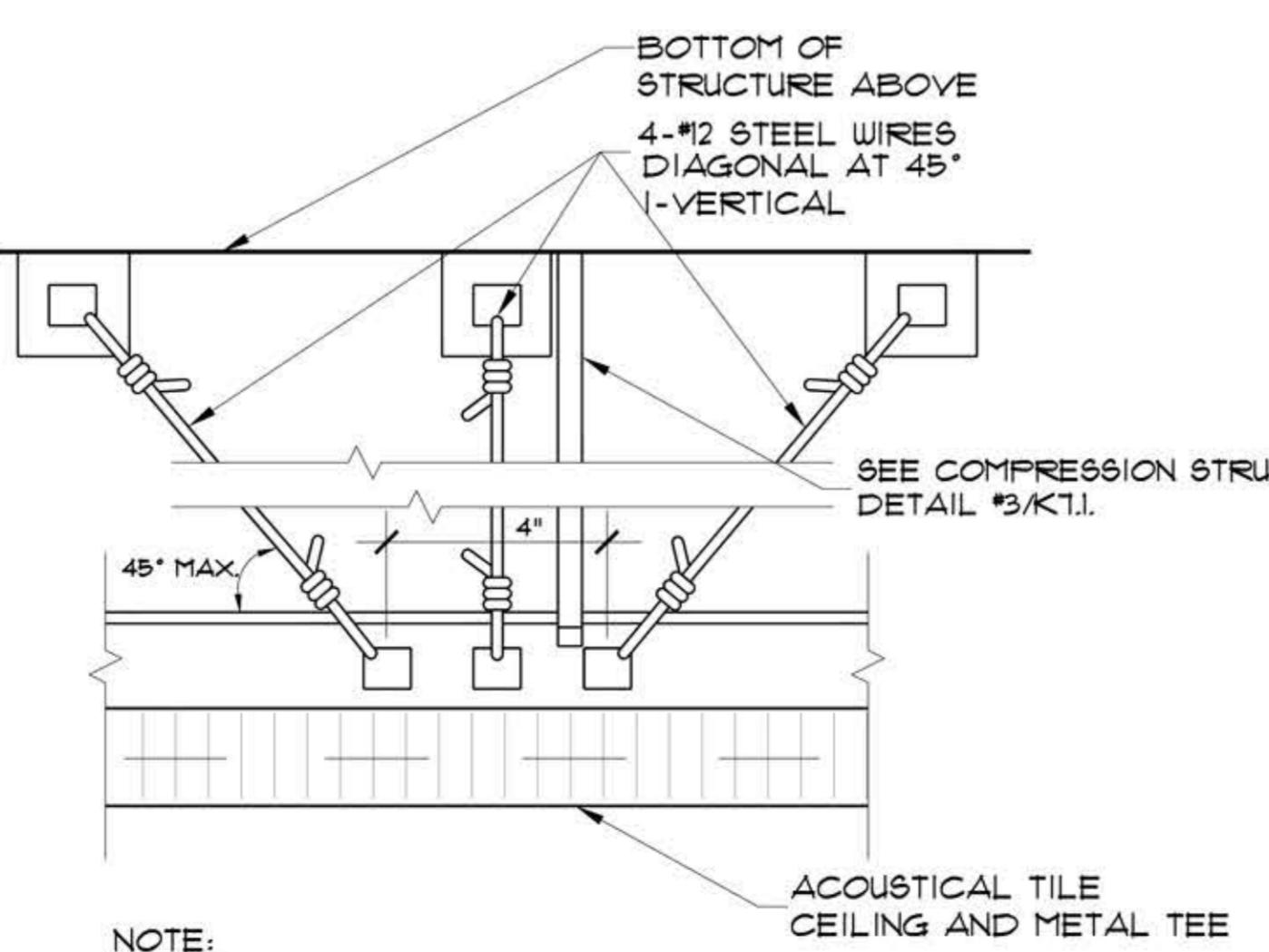
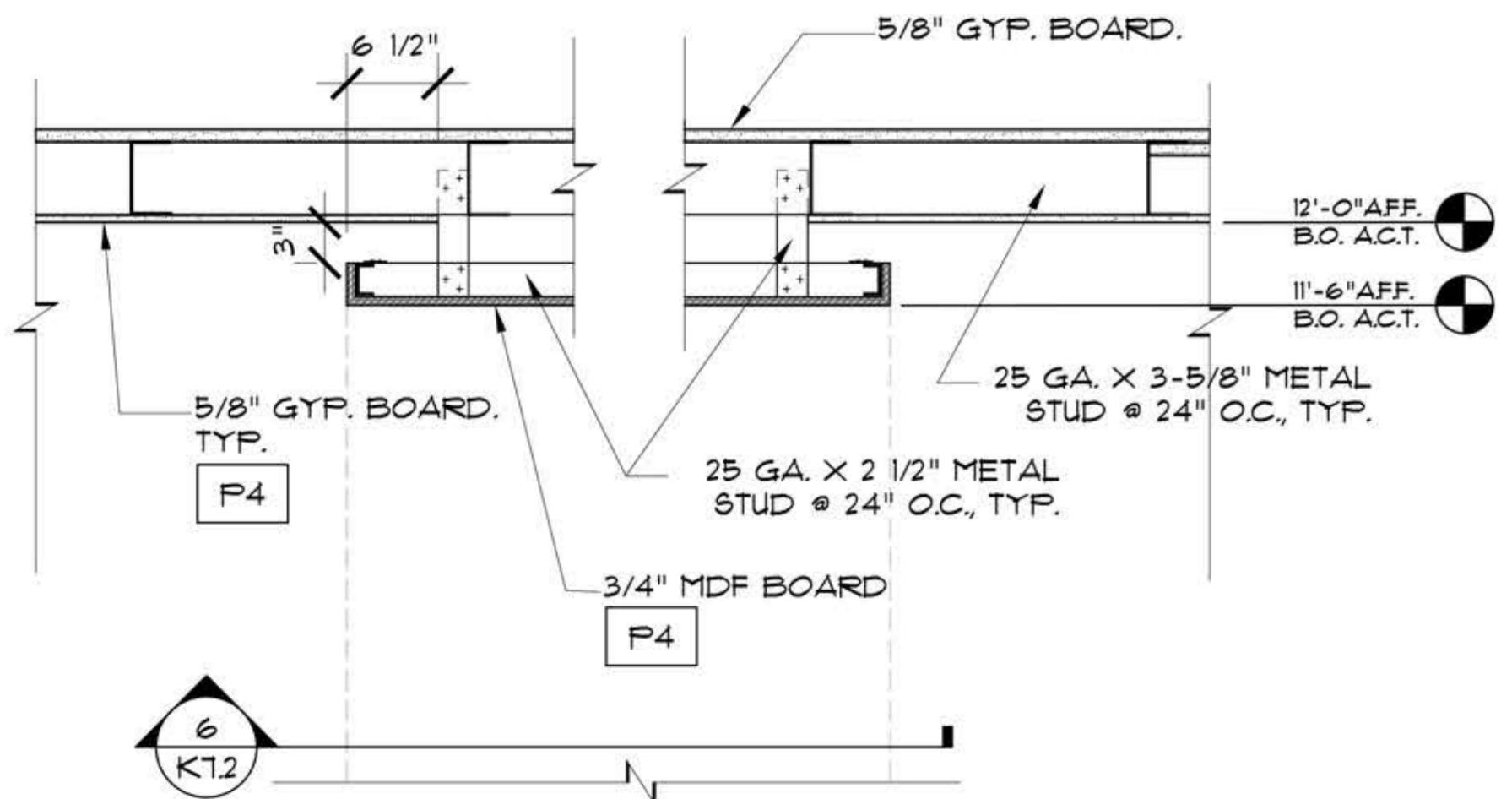
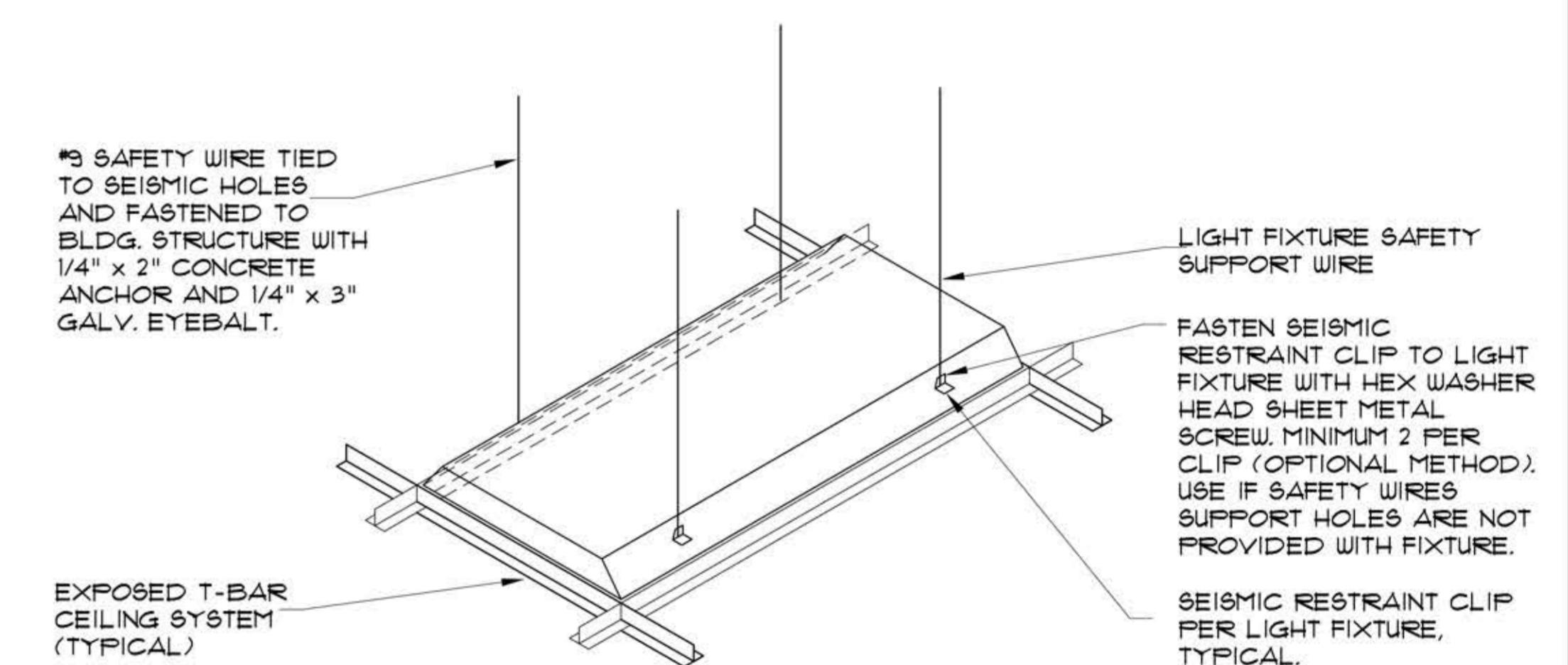
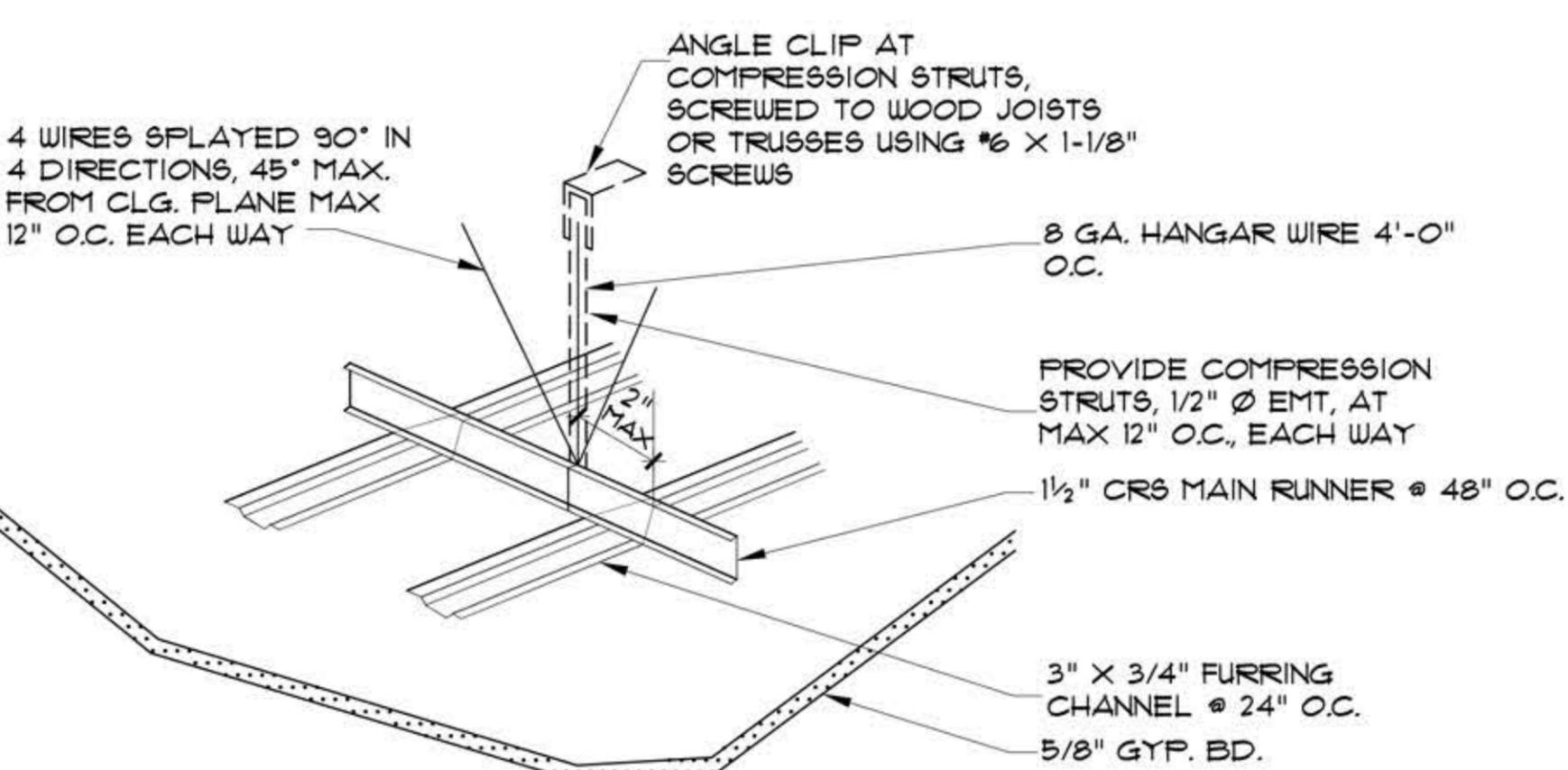
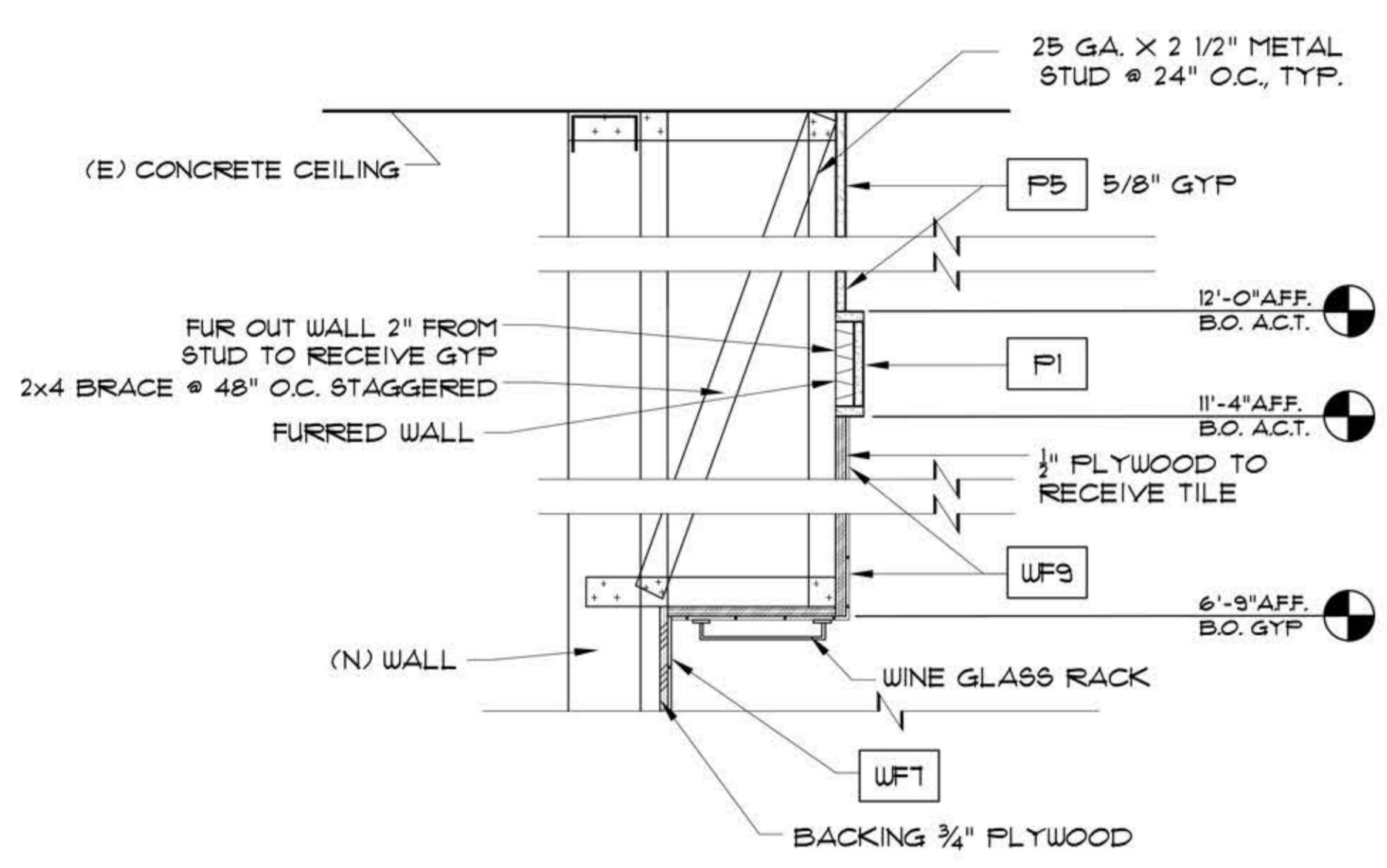
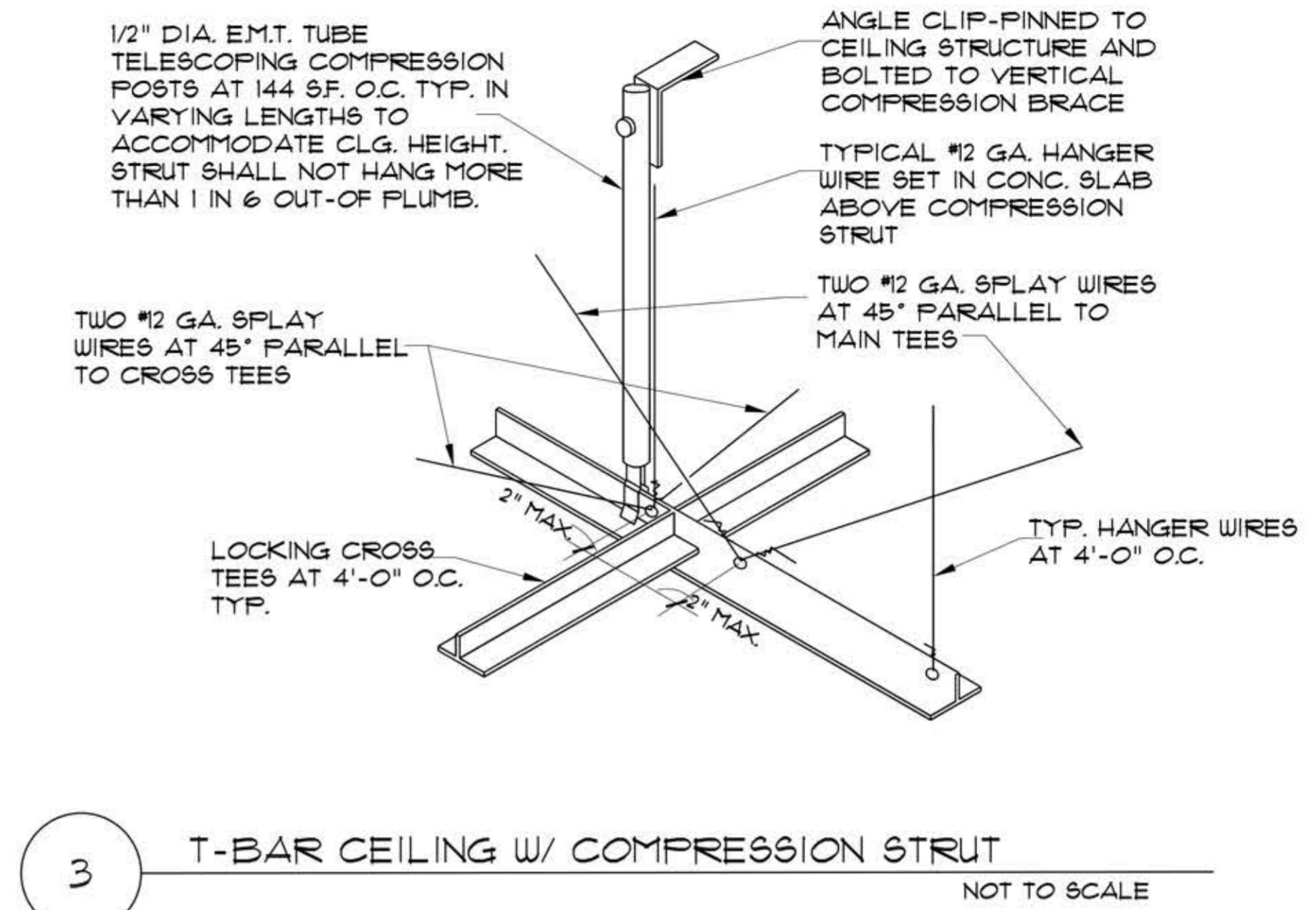
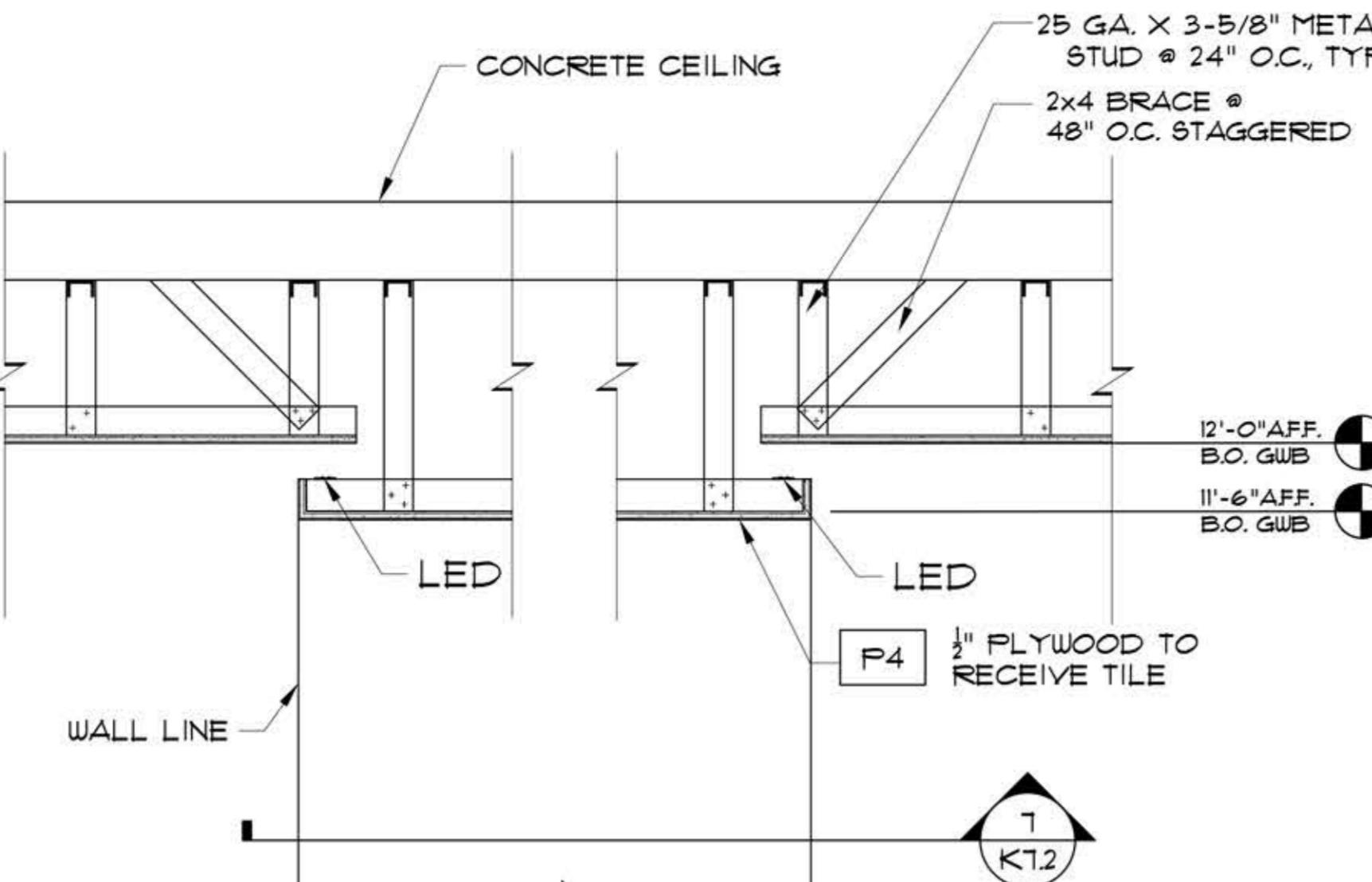
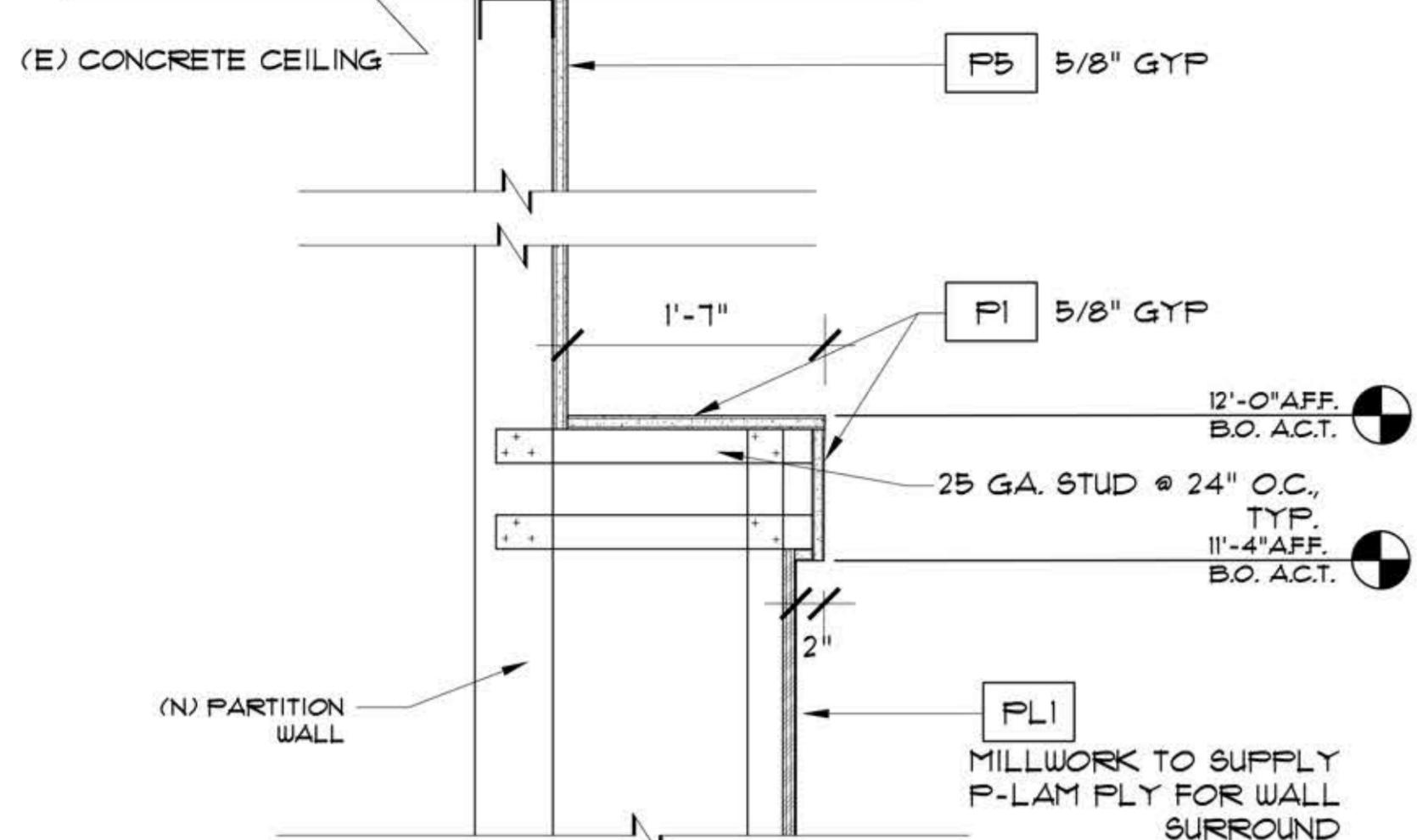
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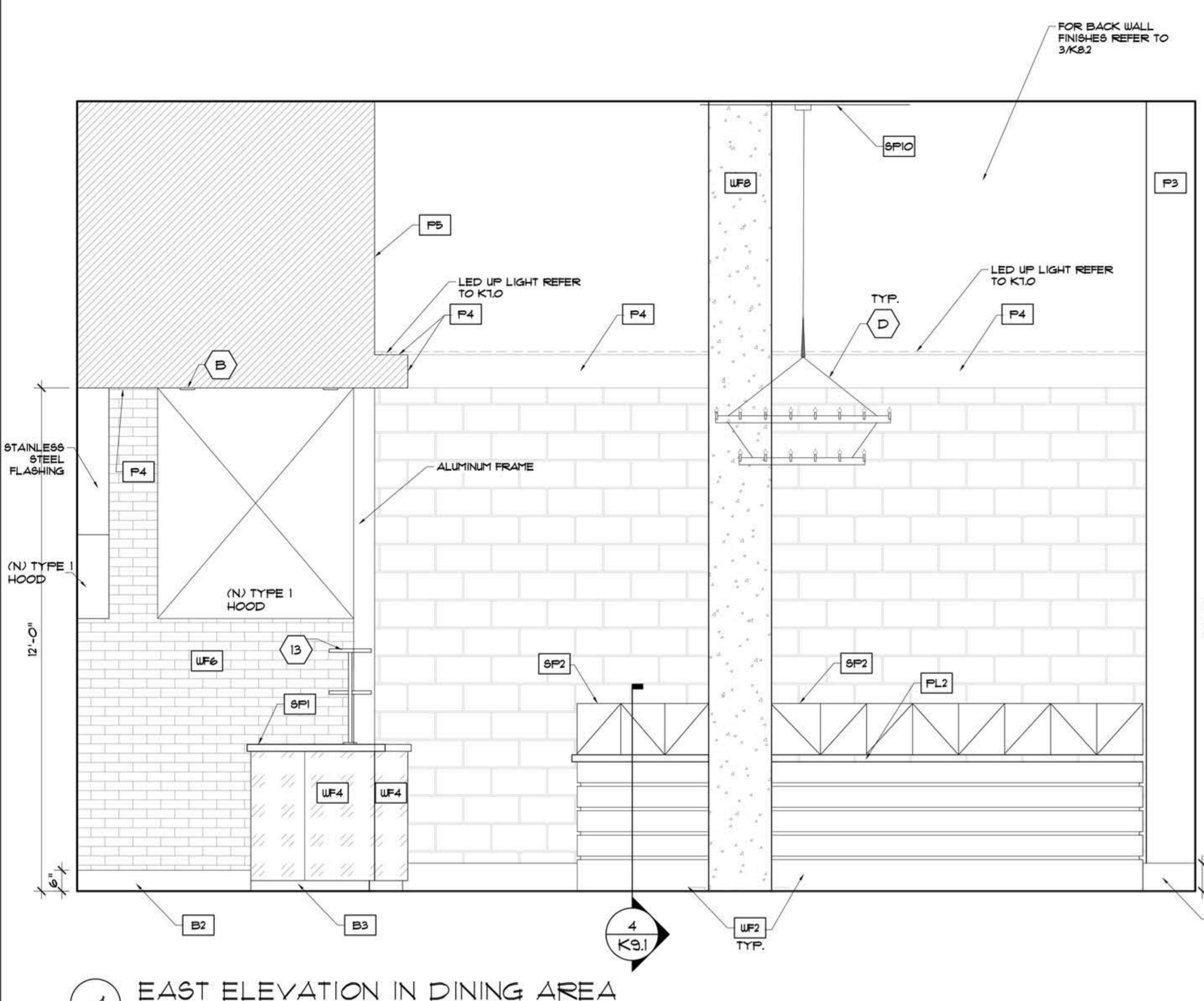


WATER HEATER PLATFORM PLAN



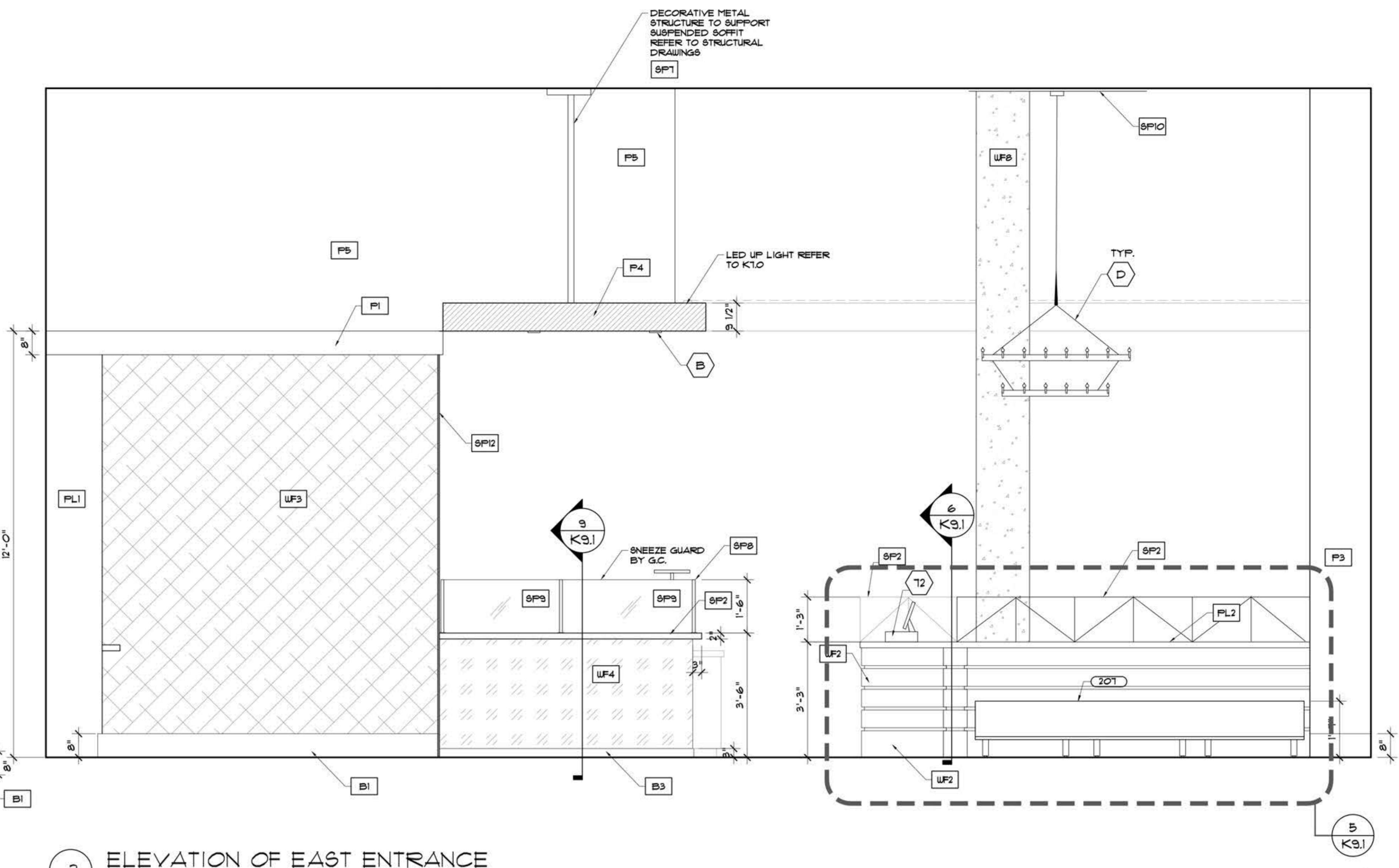
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4 EAST ELEVATION IN DINING AREA

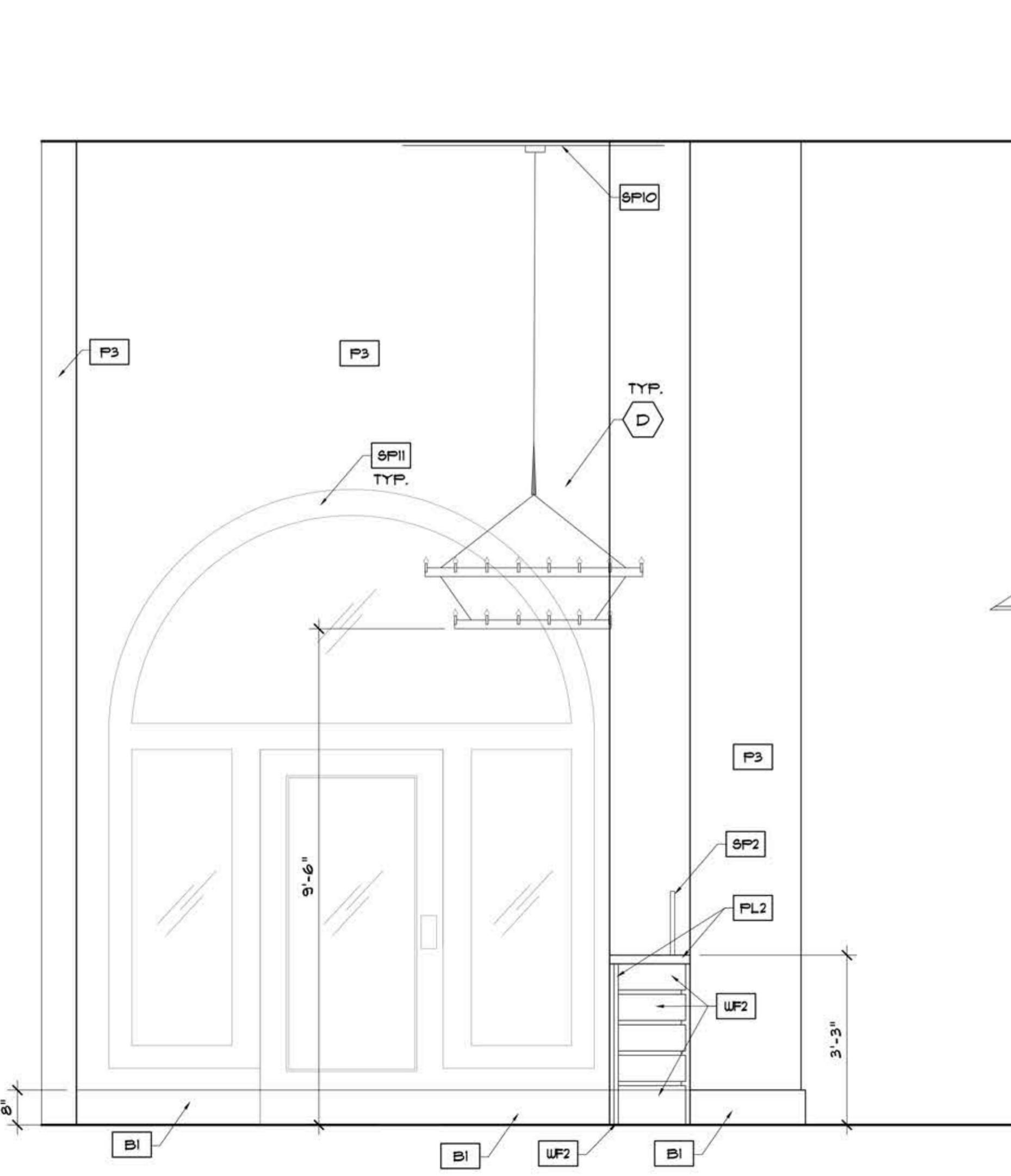
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3 ELEVATION OF EAST ENTRANCE

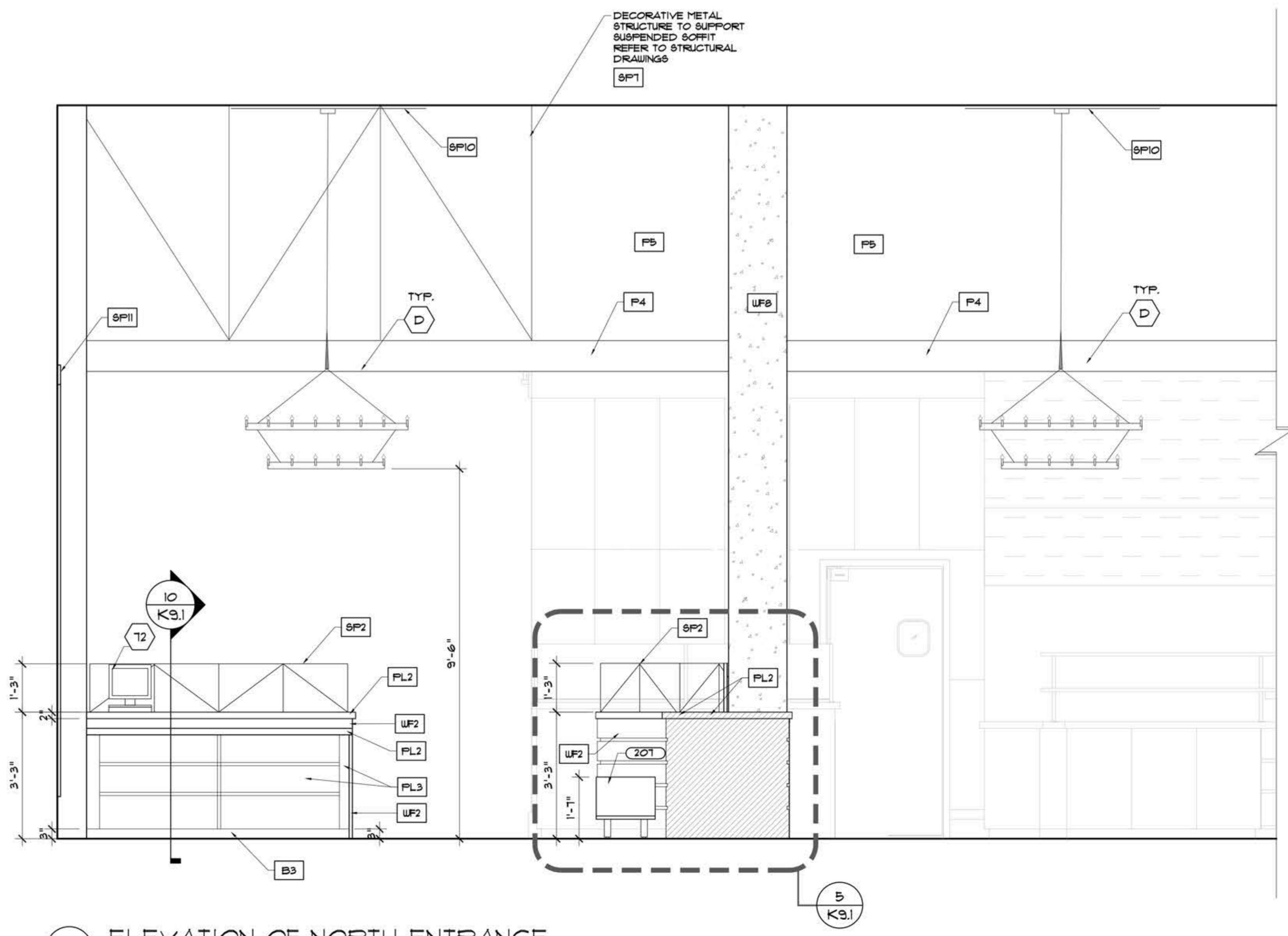
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2 ELEVATION OF WEST ENTRANCE

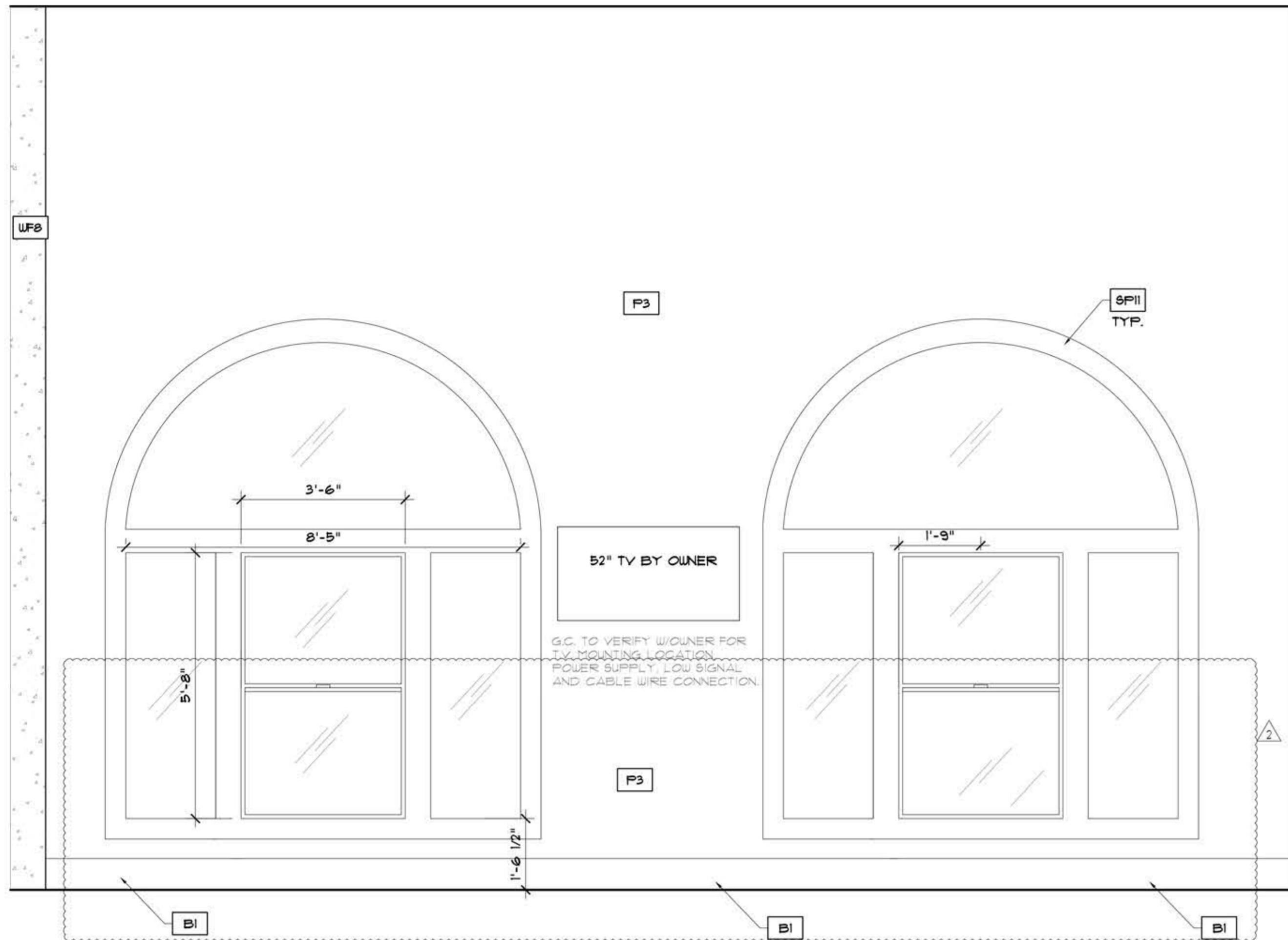
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1 ELEVATION OF NORTH ENTRANCE

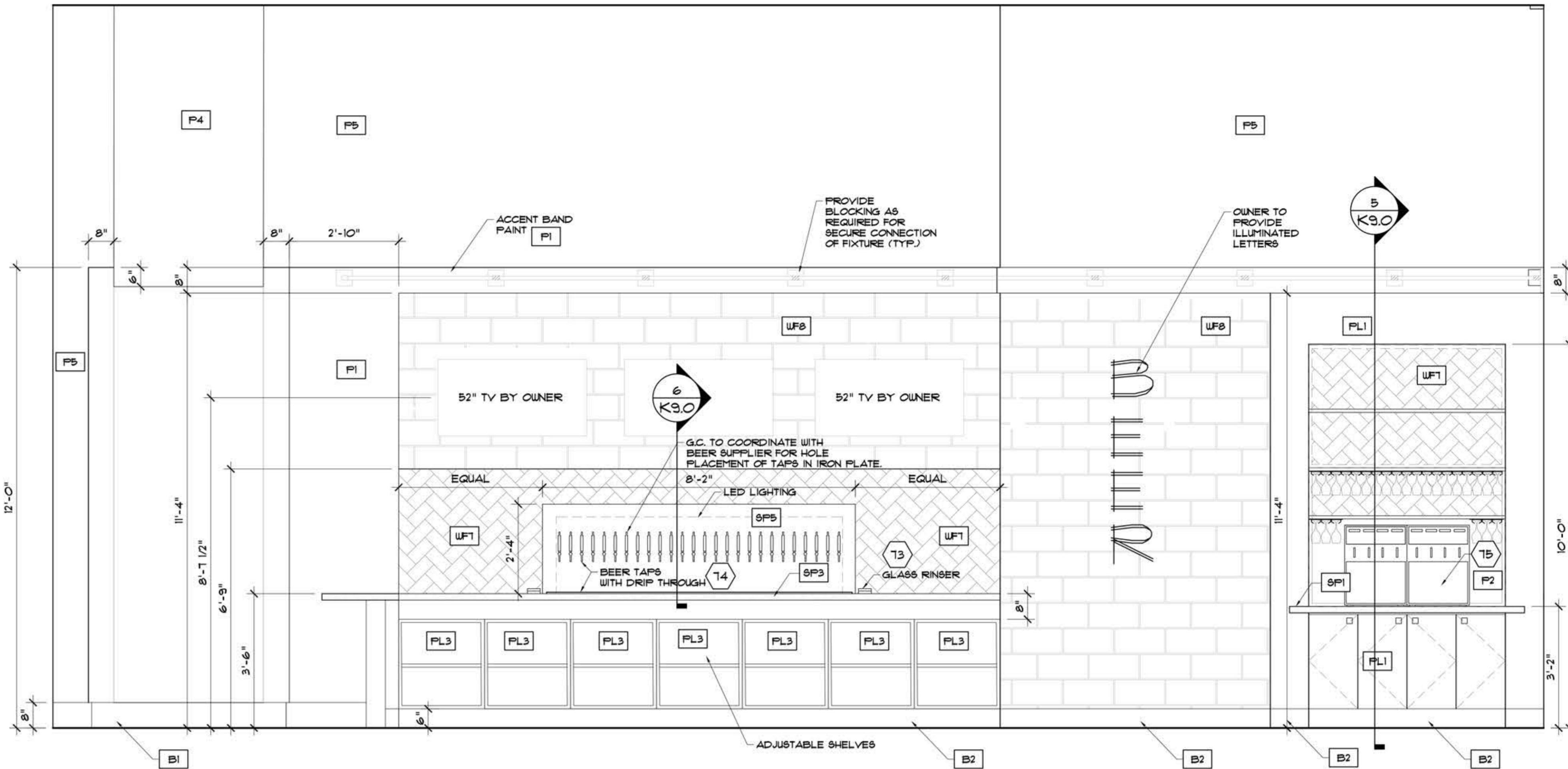
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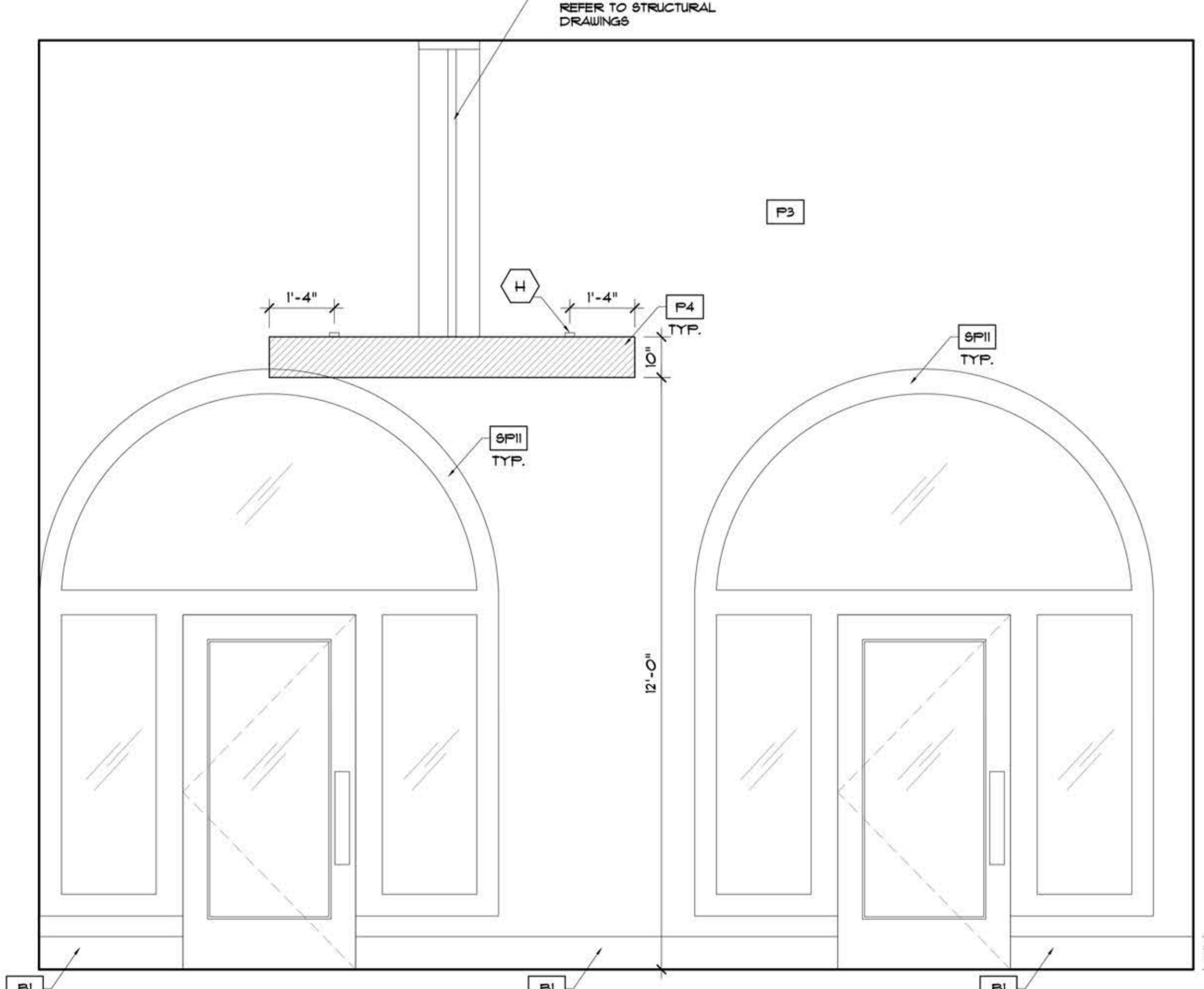
4 SOUTH DINING WALL ELEVATION - BAR AREA

SCALE: 1/2" = 1'-0"



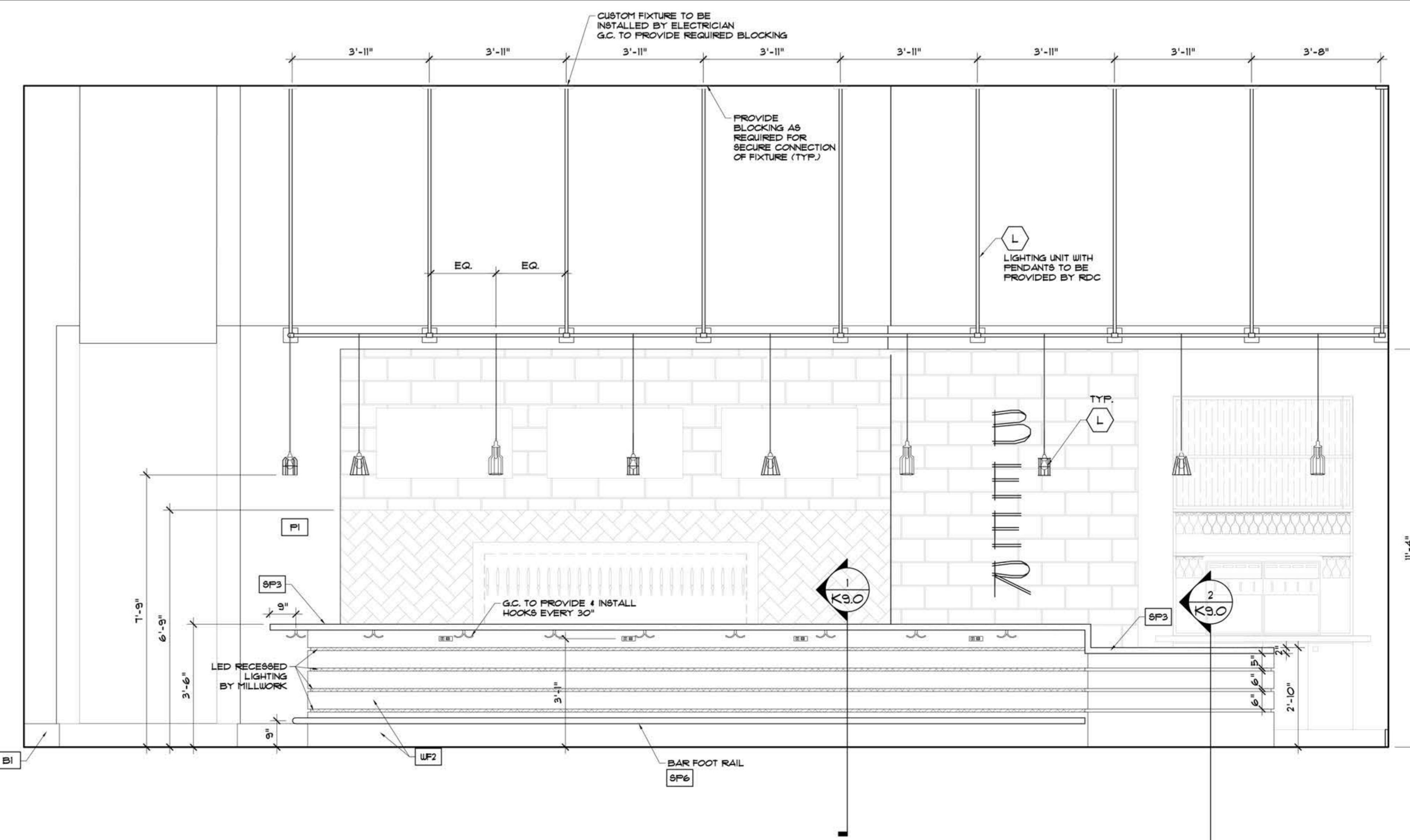
3 BACK BAR ELEVATION

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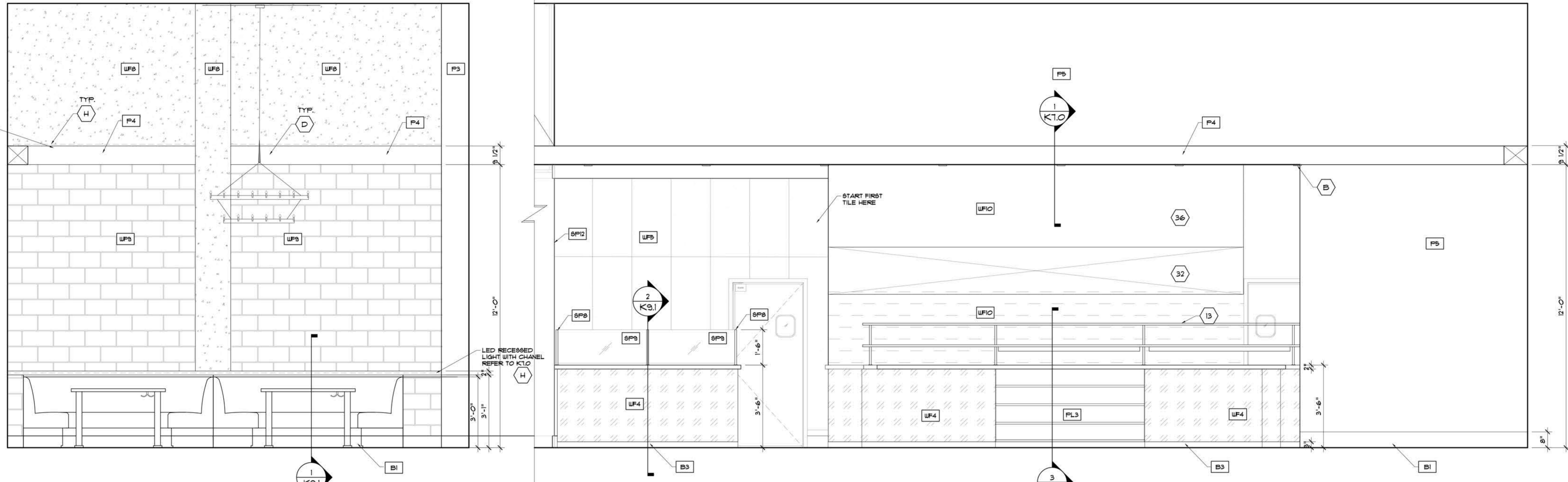
2 WEST DINING WALL ELEVATION - BAR AREA

SCALE: 1/2" = 1'-0"



1 BAR ELEVATION

SCALE: 1/2" = 1'-0"

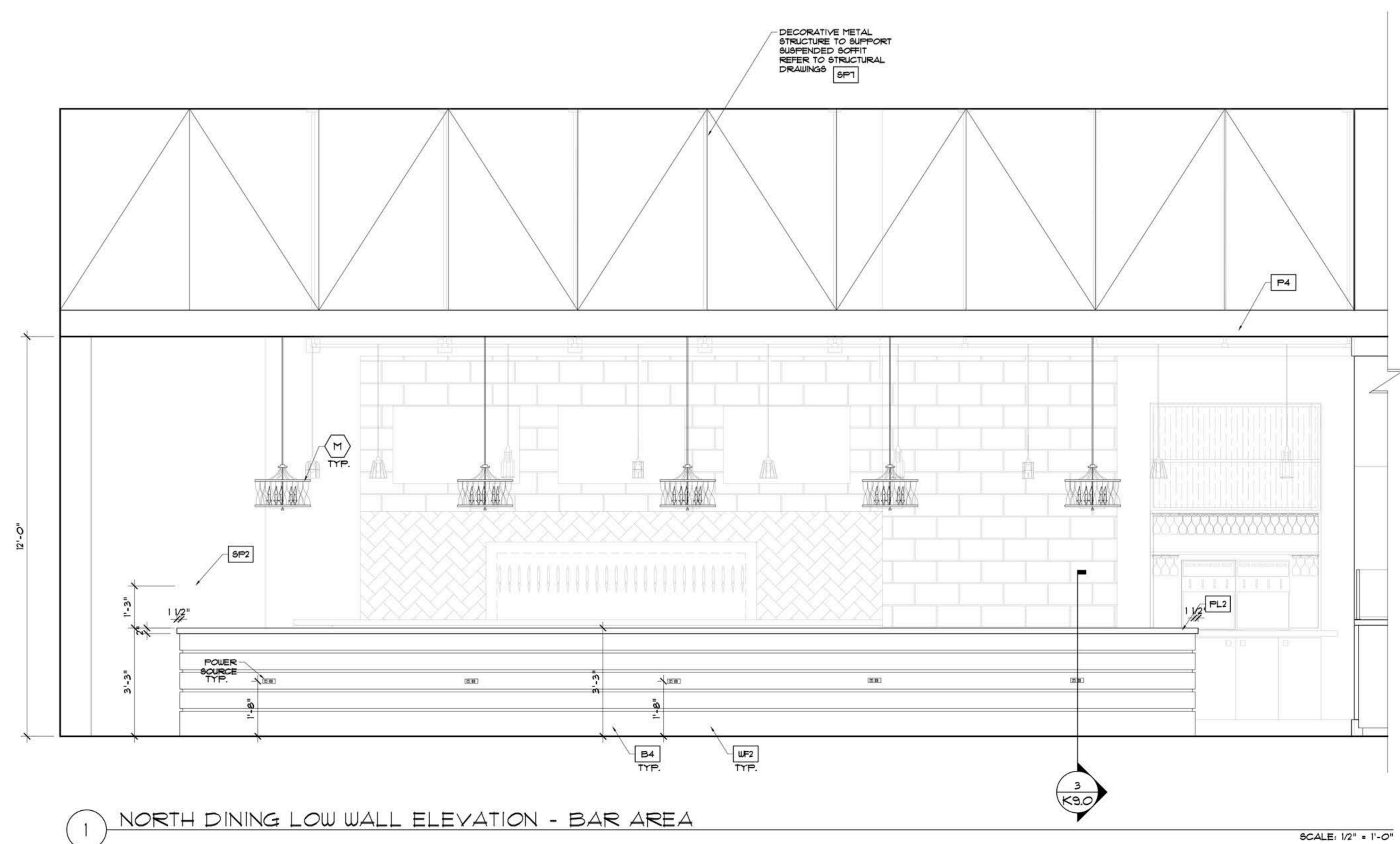


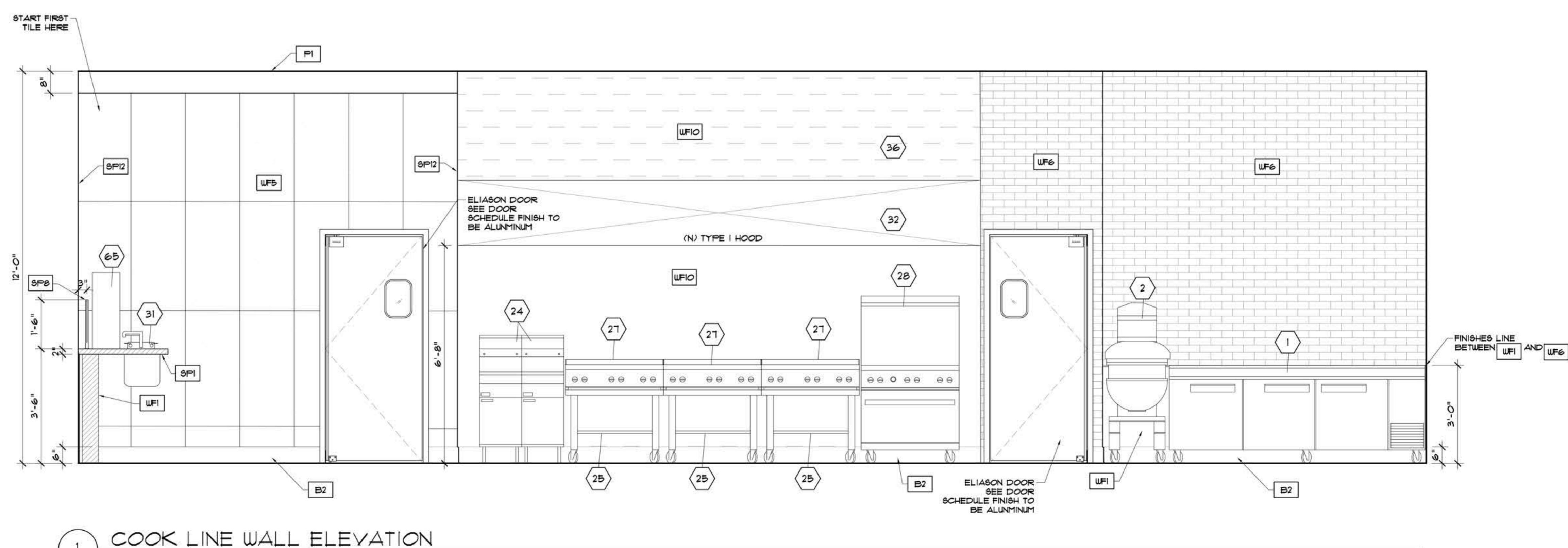
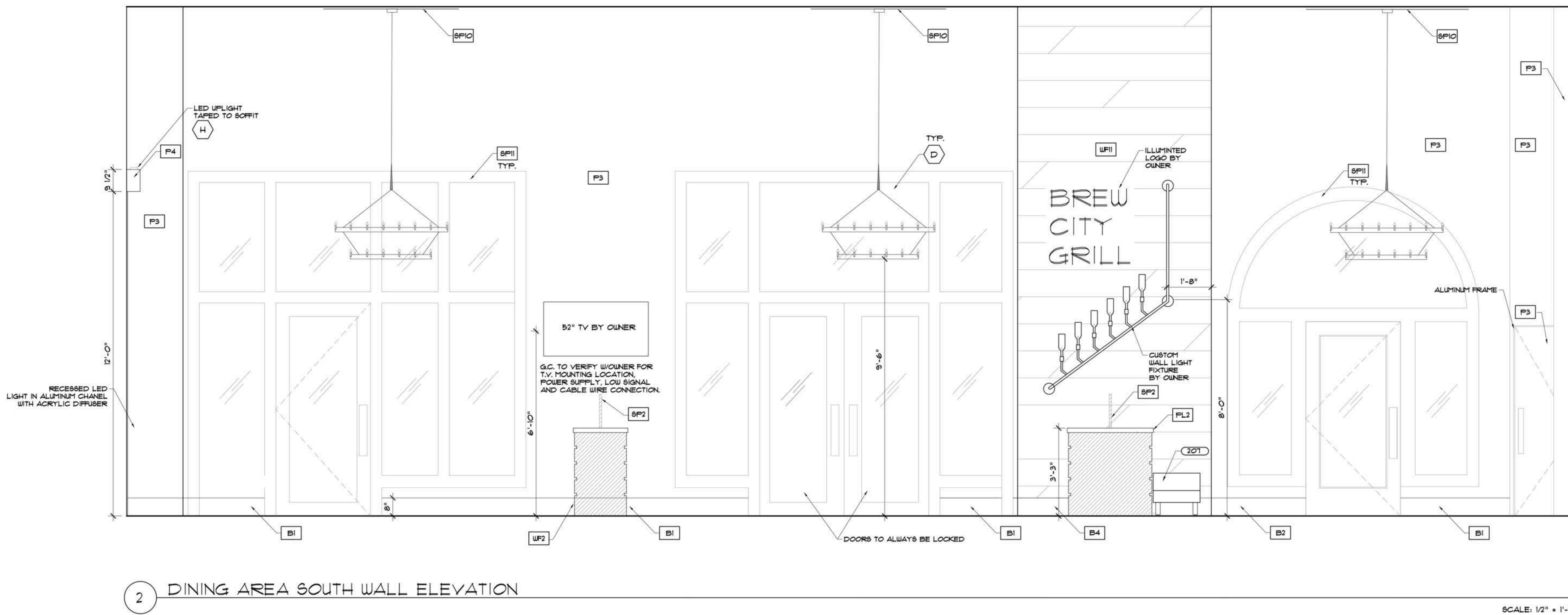
3 EAST DINING AREA - BOOTH WALL

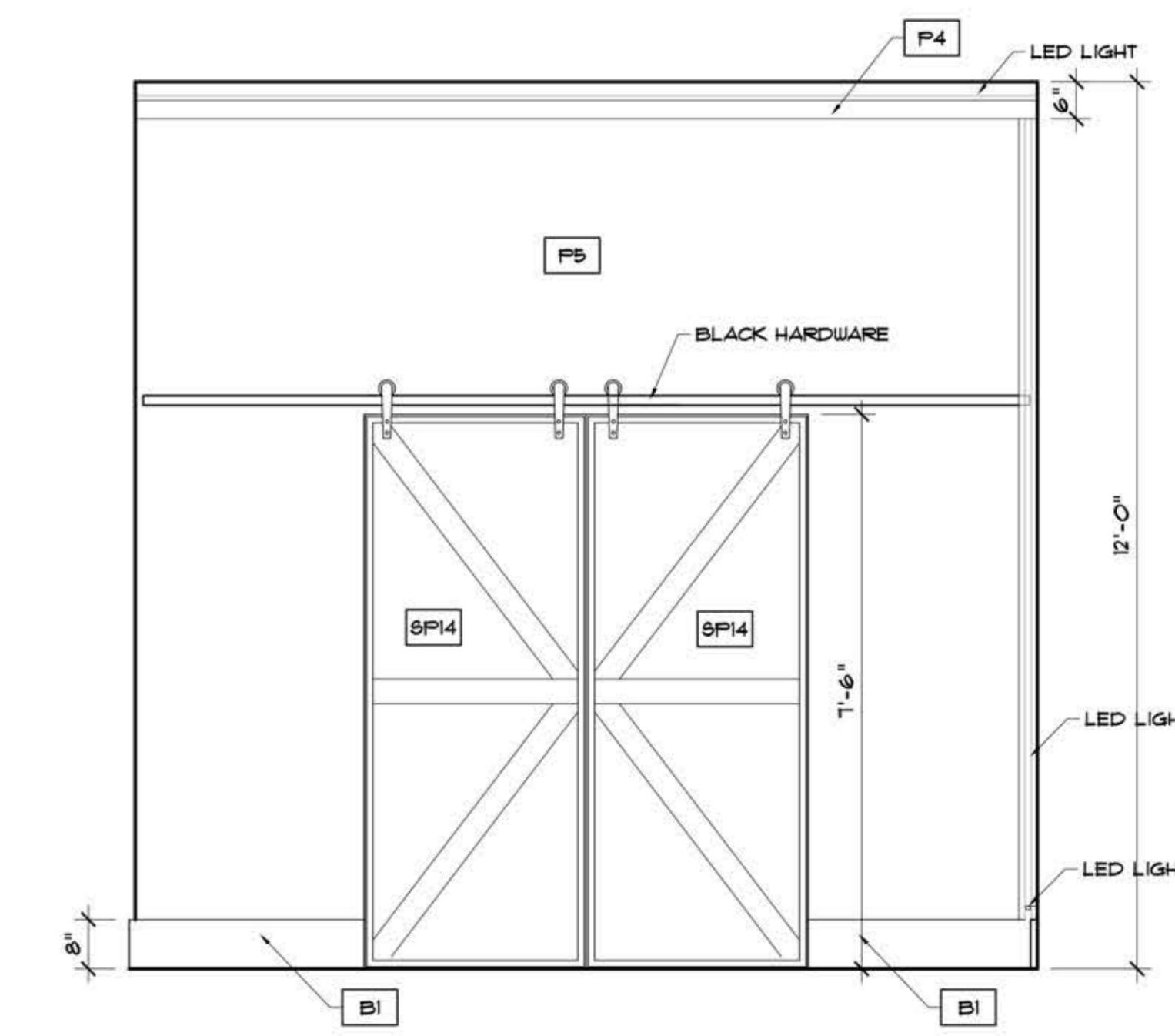
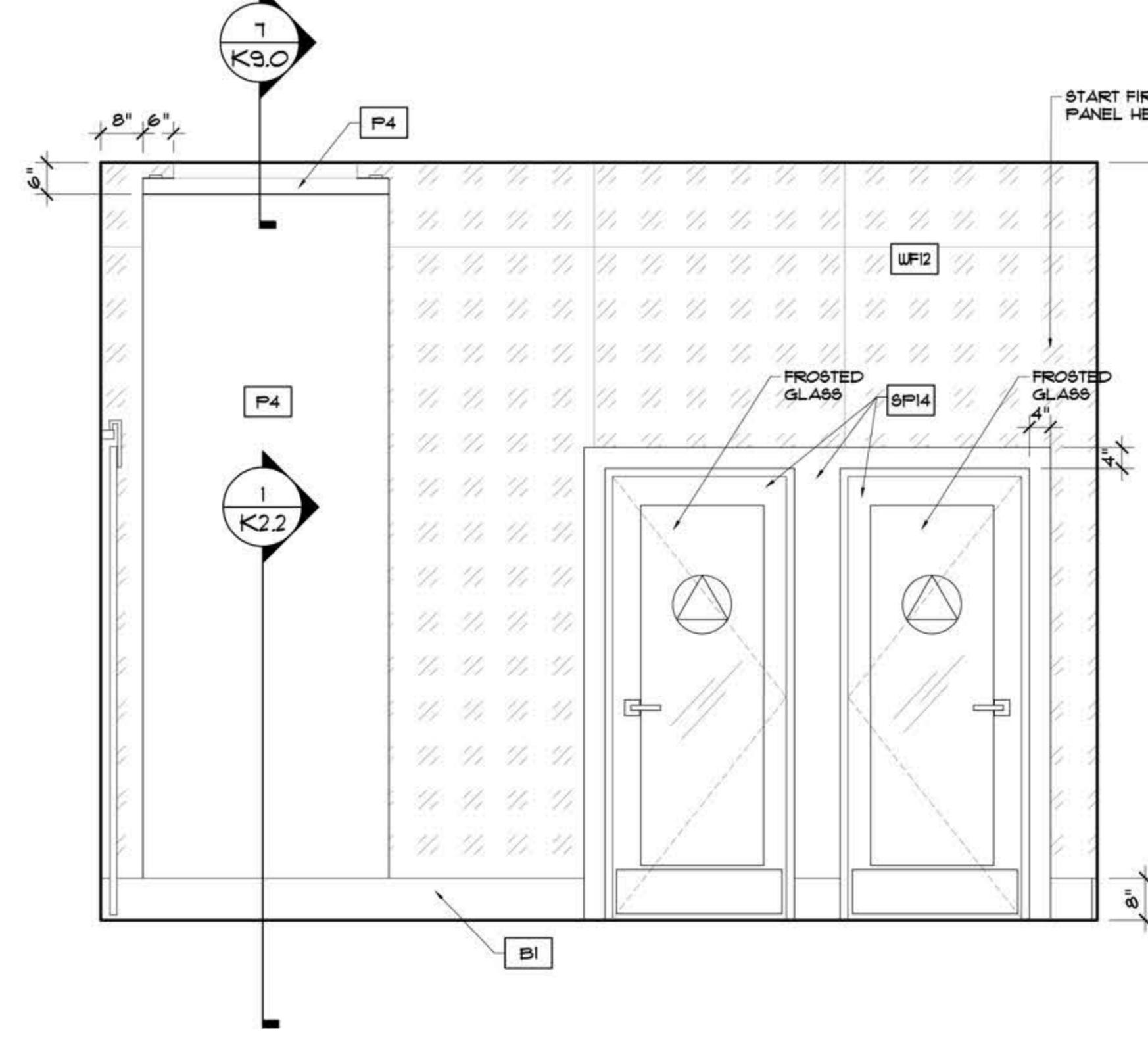
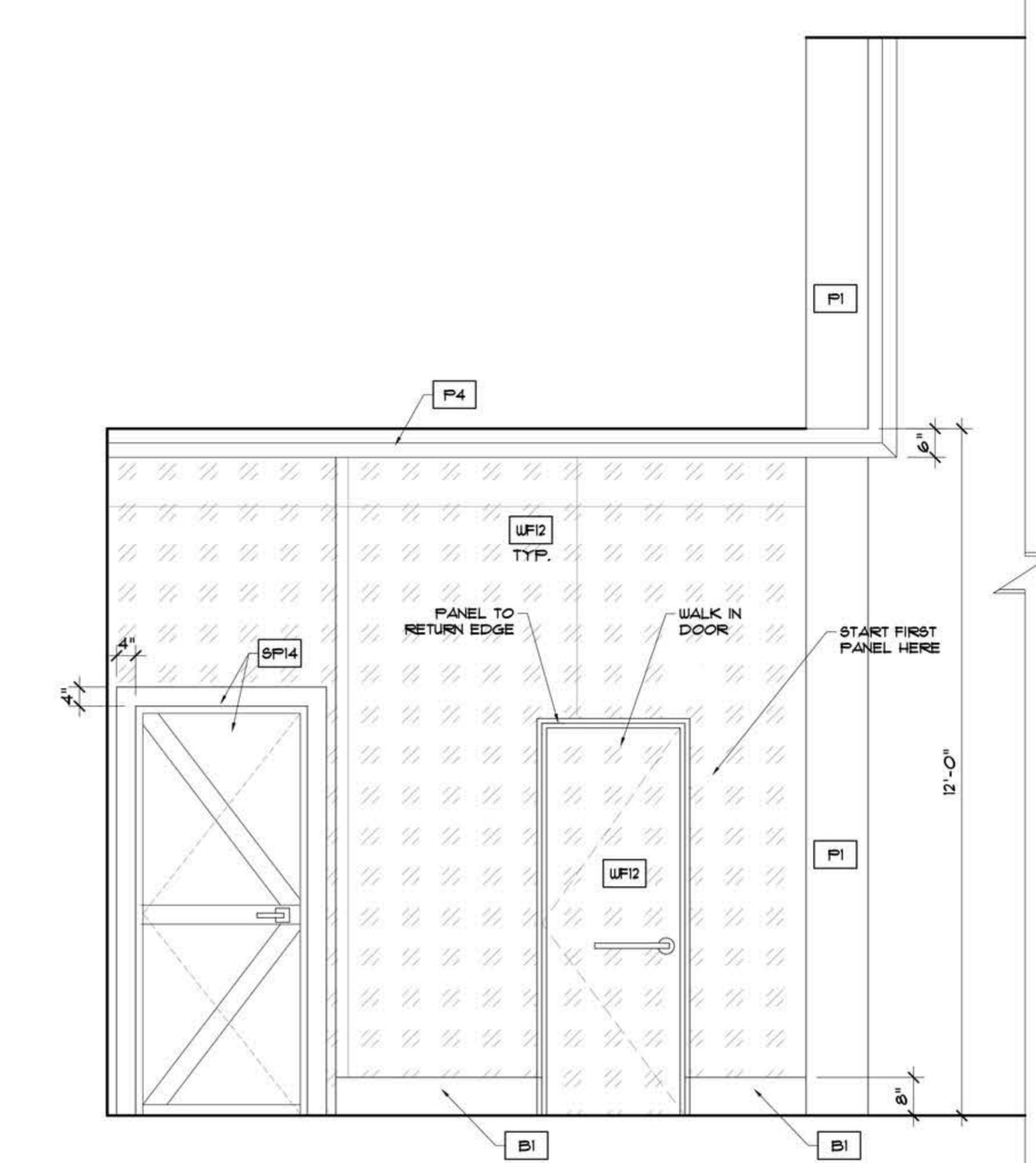
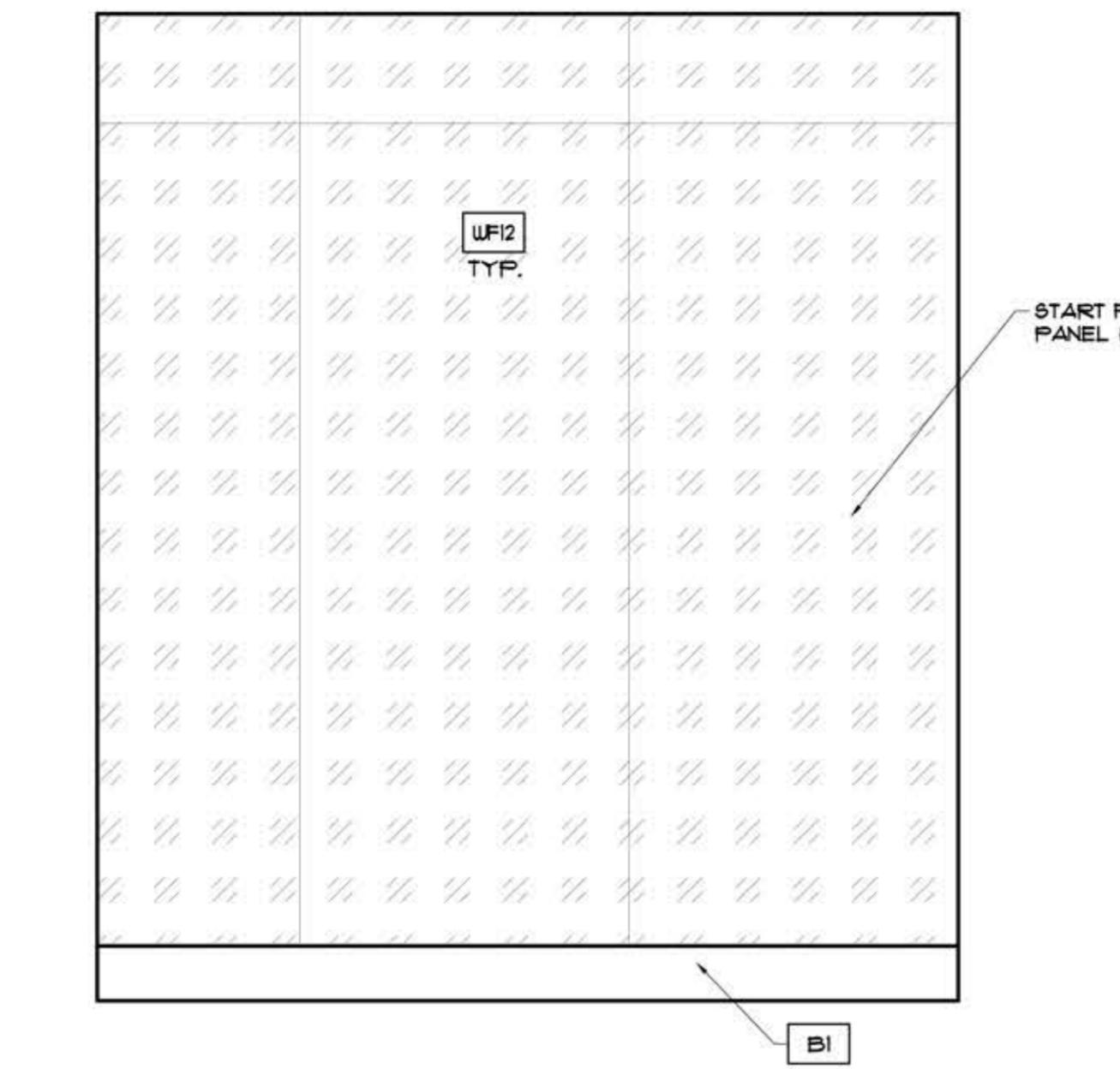
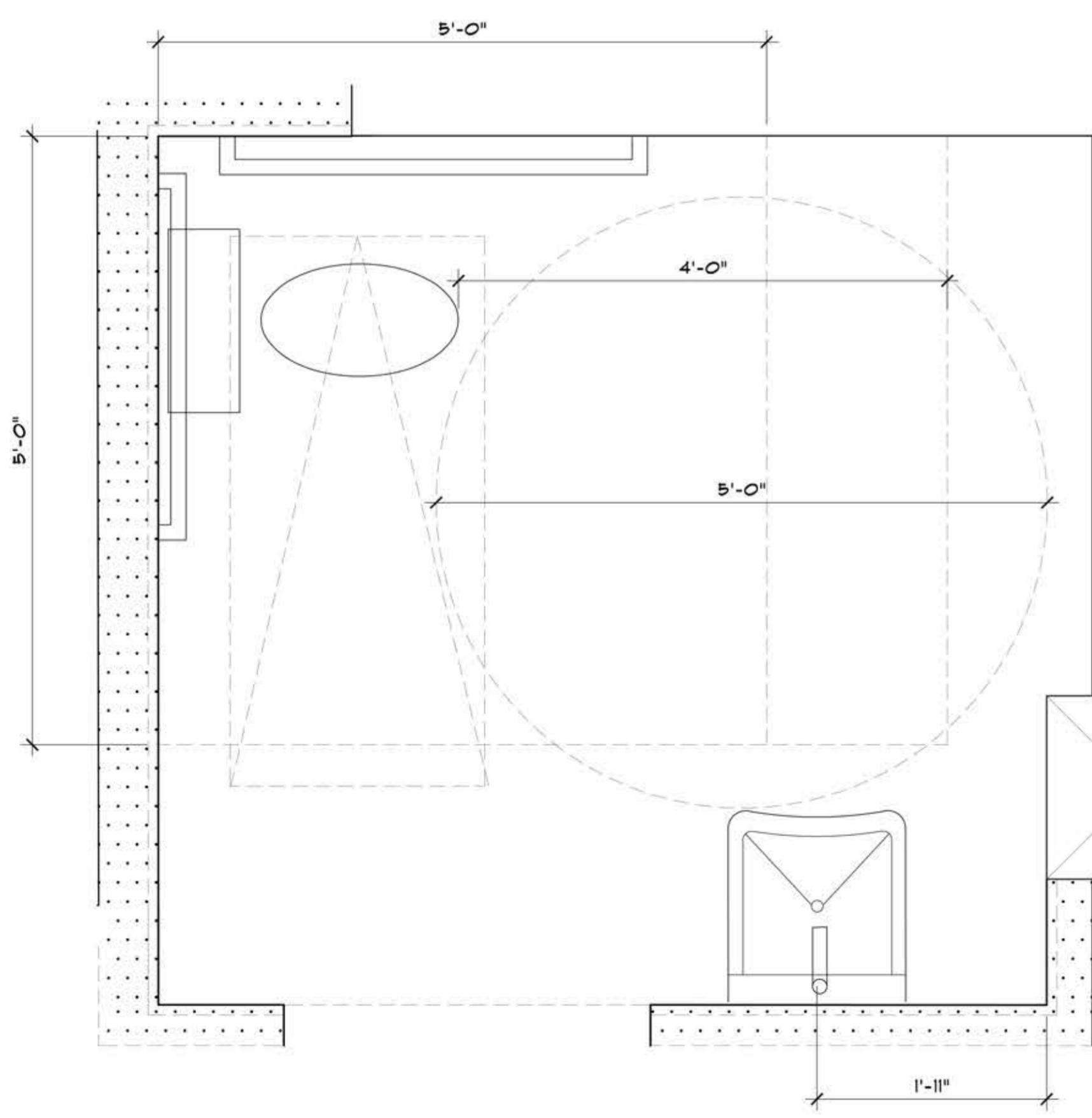
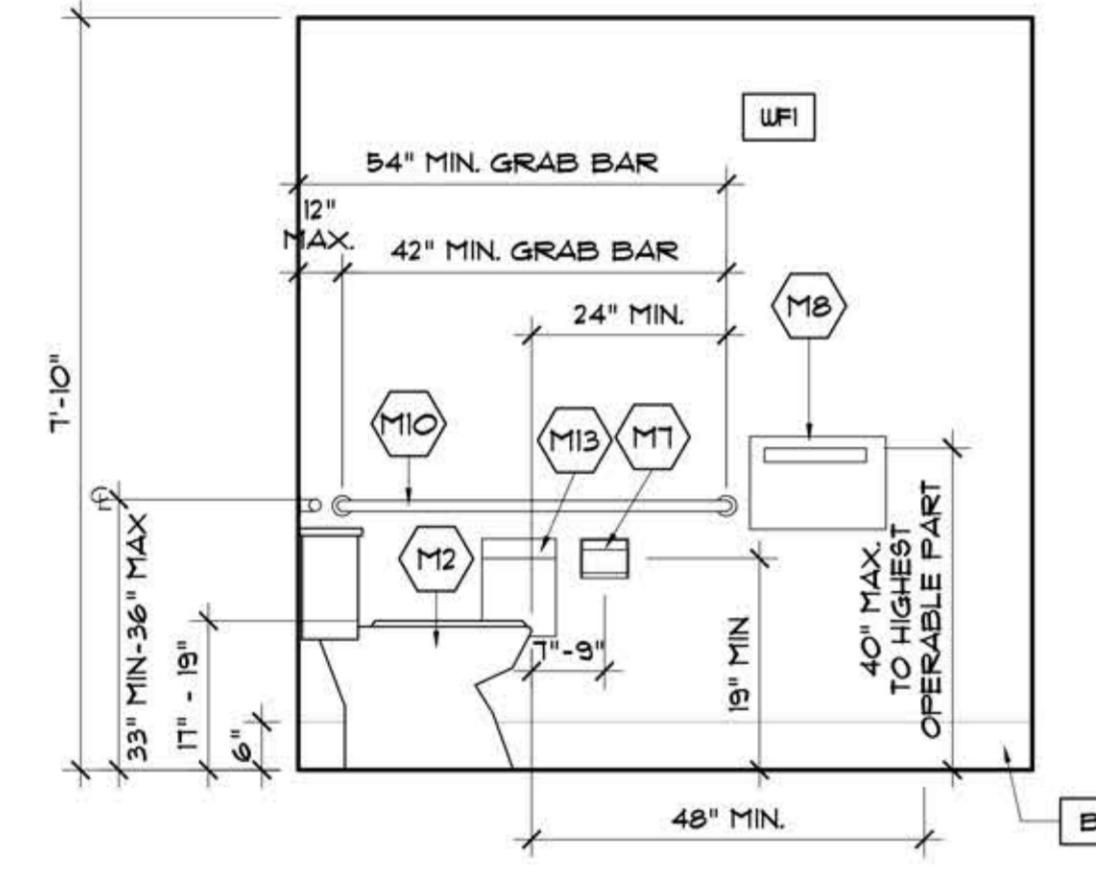
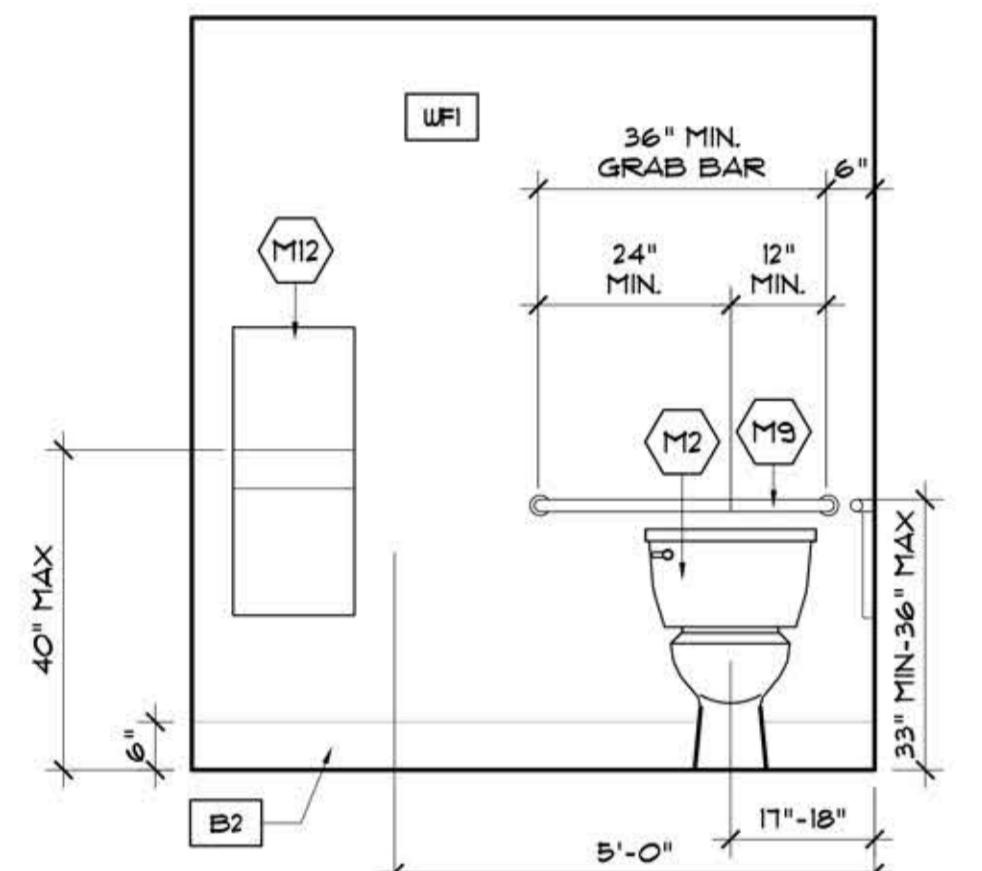
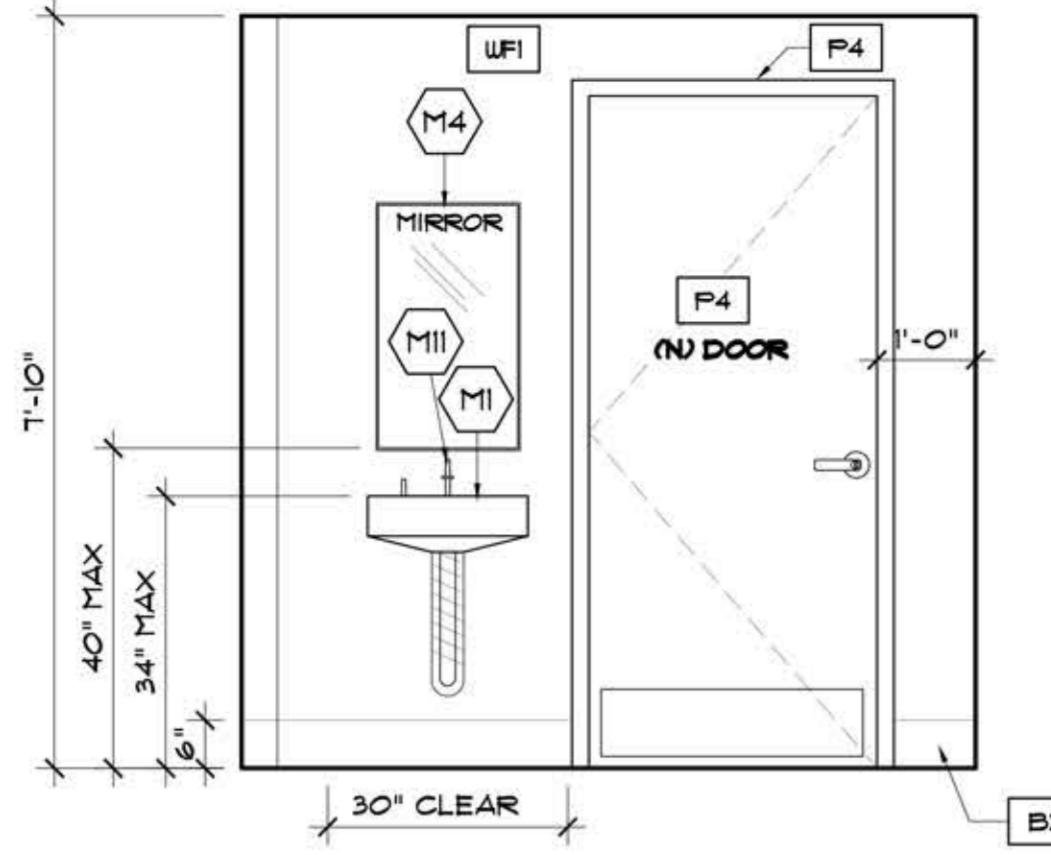
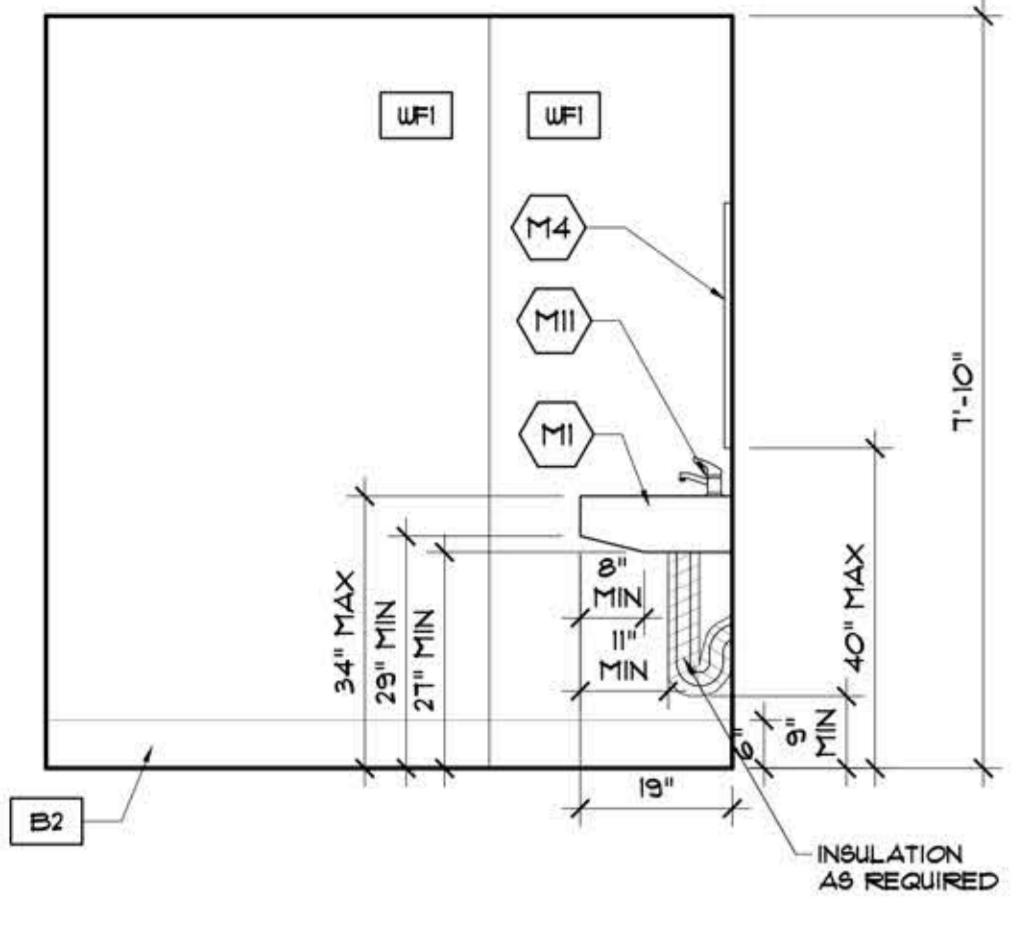
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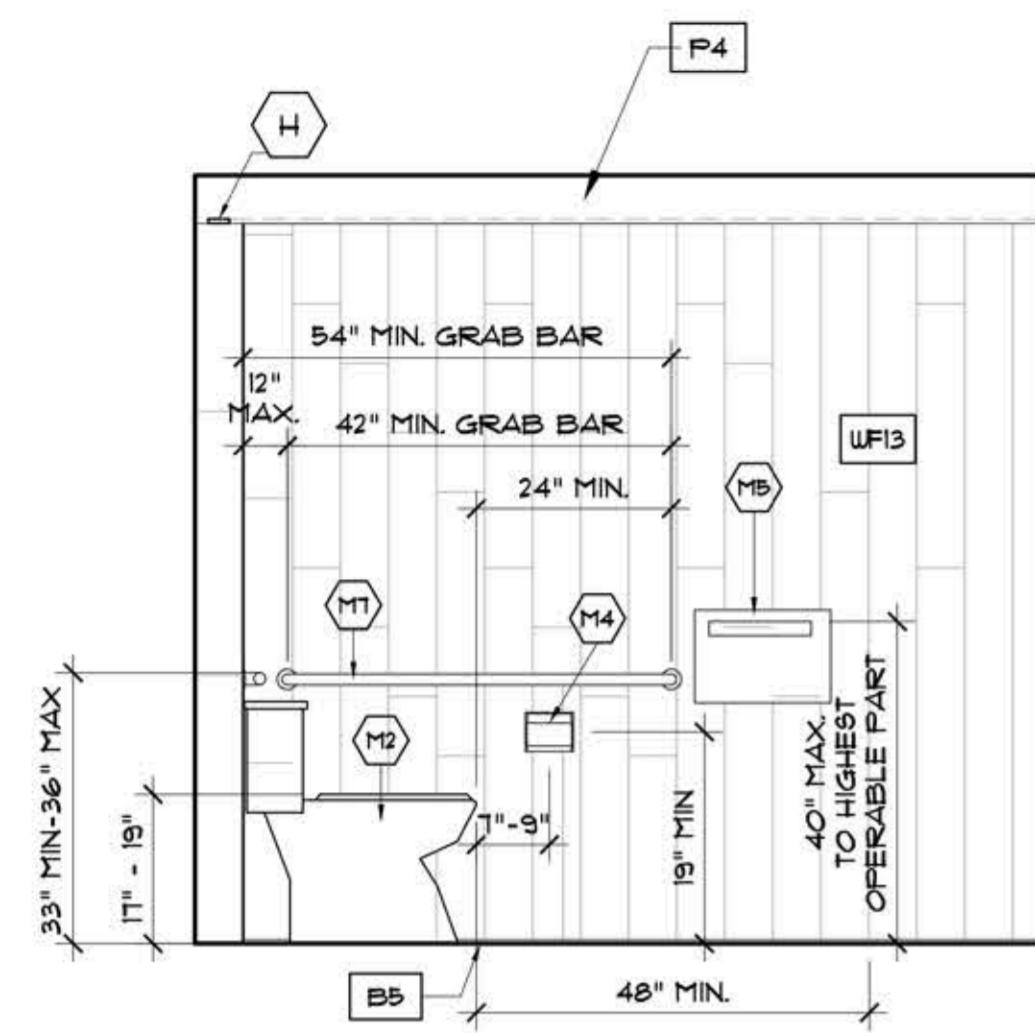
2 SERVICE COUNTER

SCALE: 1/2" = 1'-0"

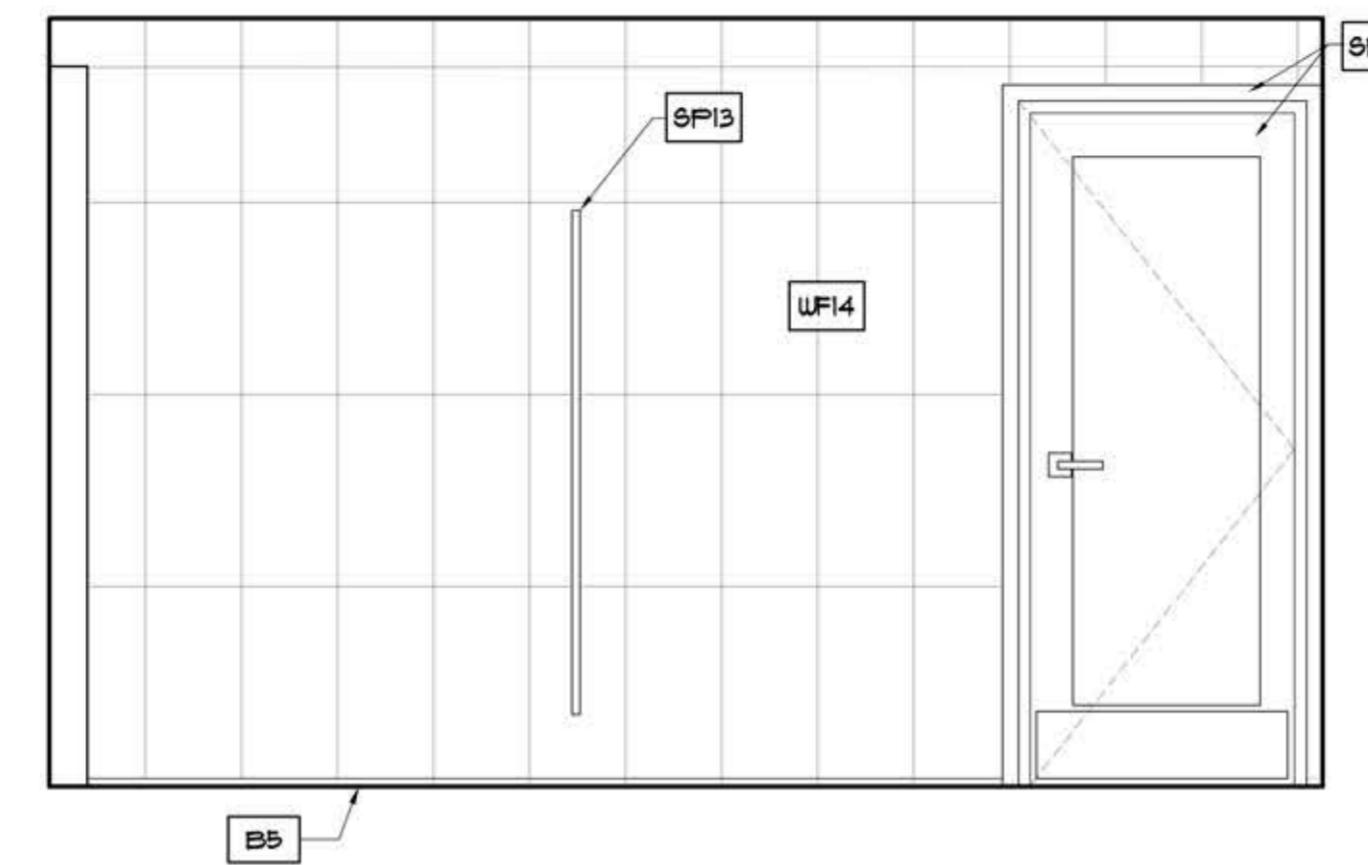




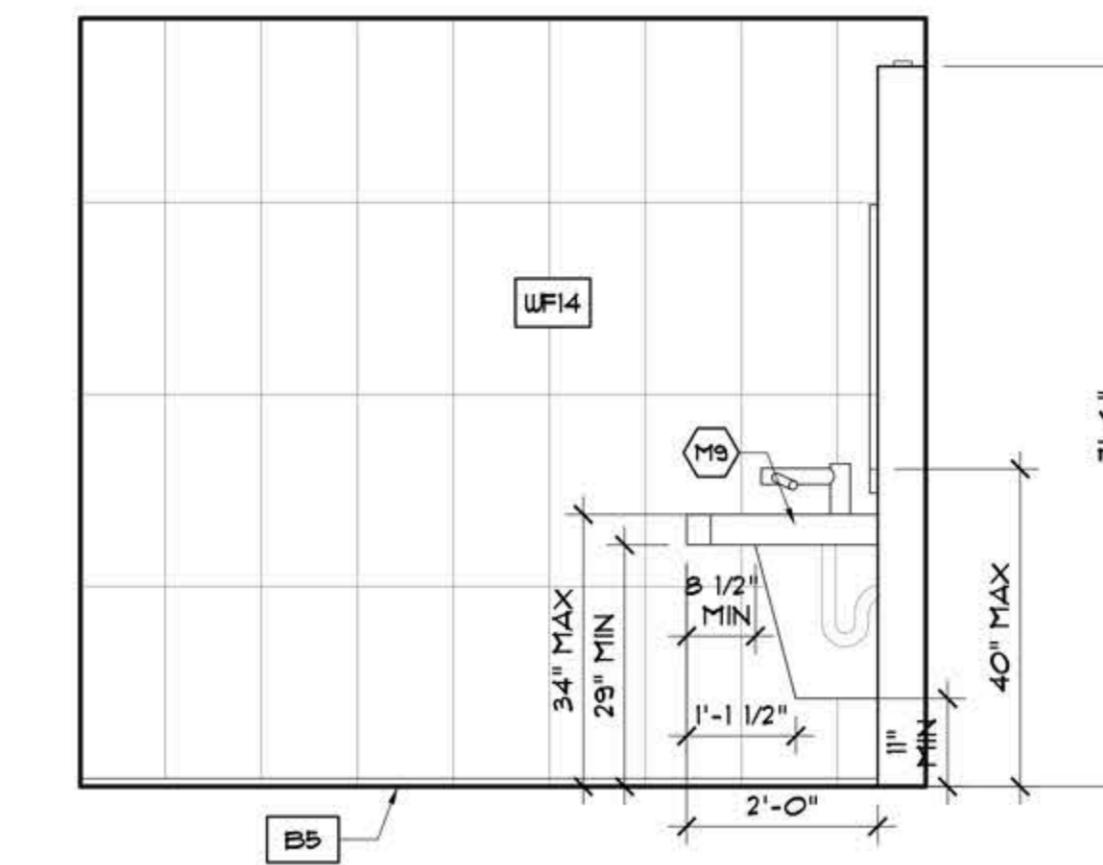




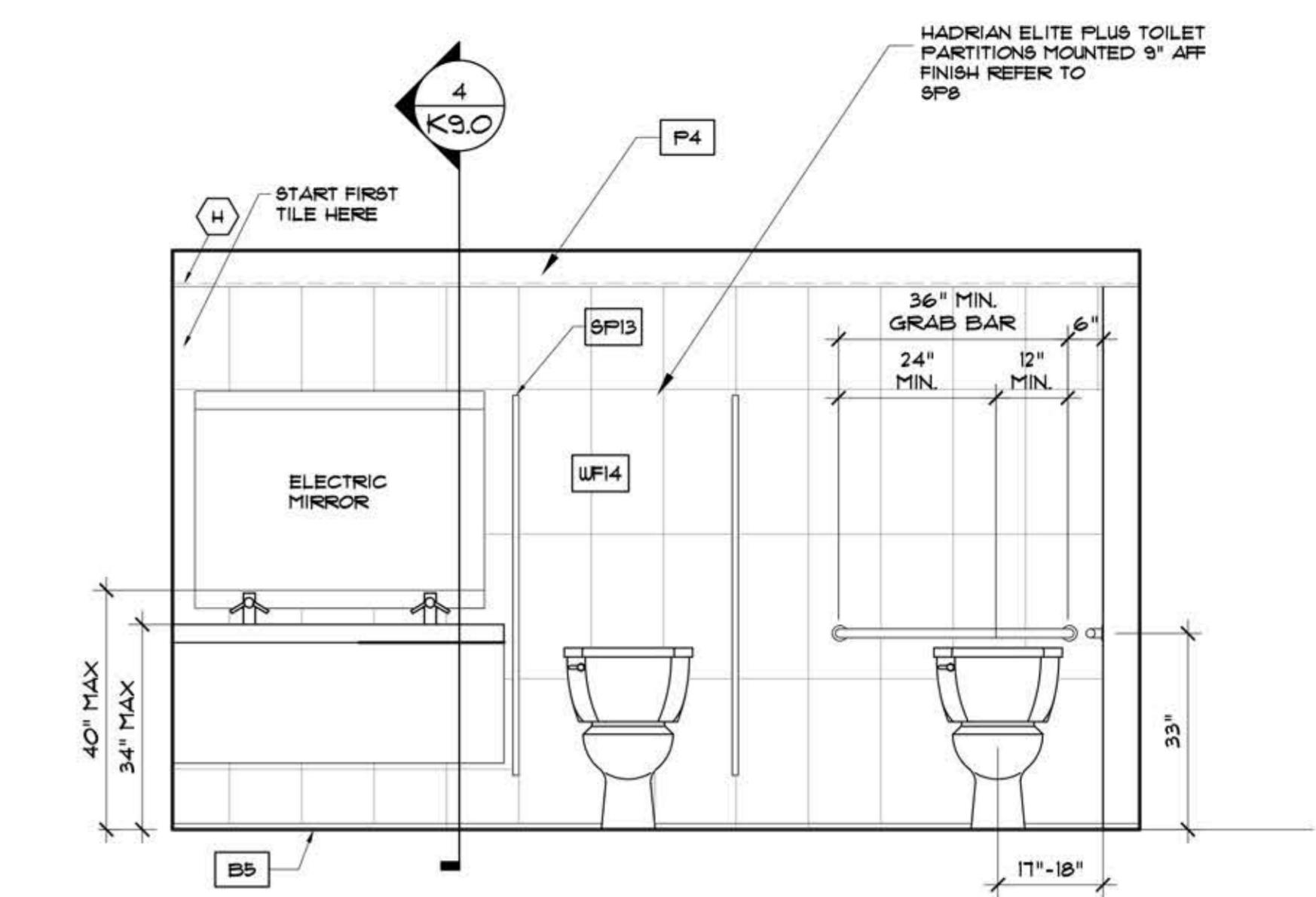
D RESTROOM ELEVATION  
SCALE: 1/2" = 1'-0"



C RESTROOM ELEVATION  
SCALE: 1/2" = 1'-0"

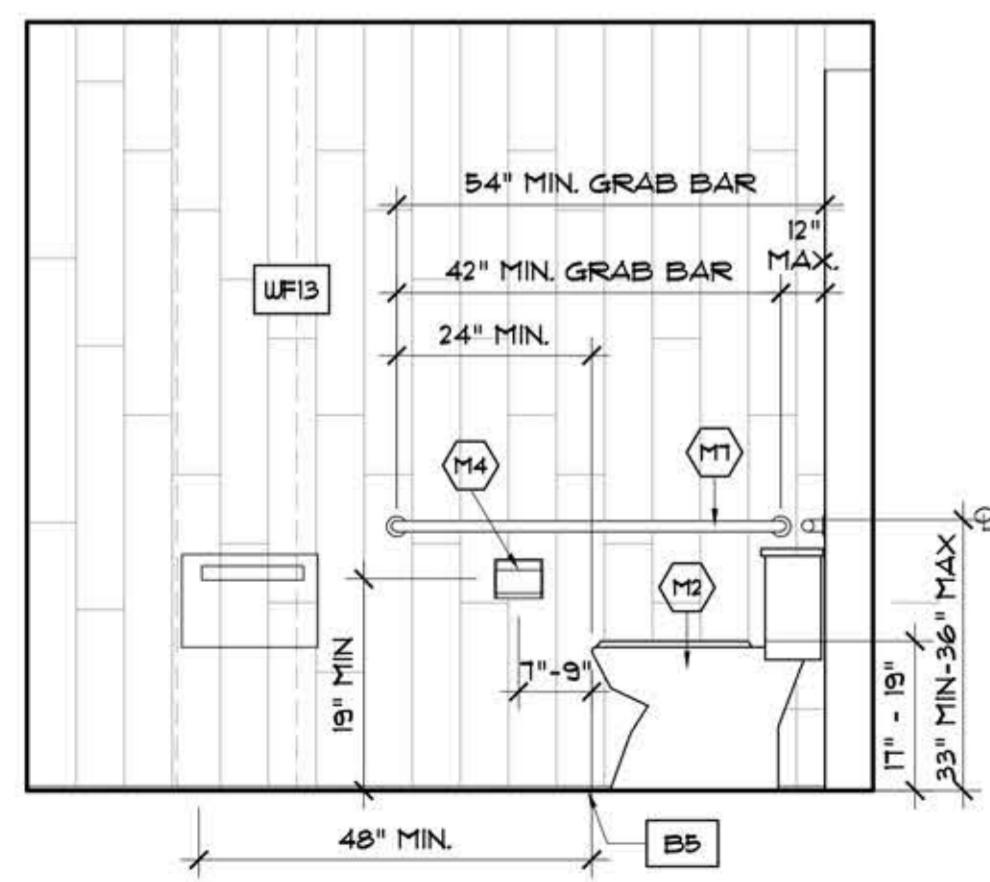


B RESTROOM ELEVATION  
SCALE: 1/2" = 1'-0"

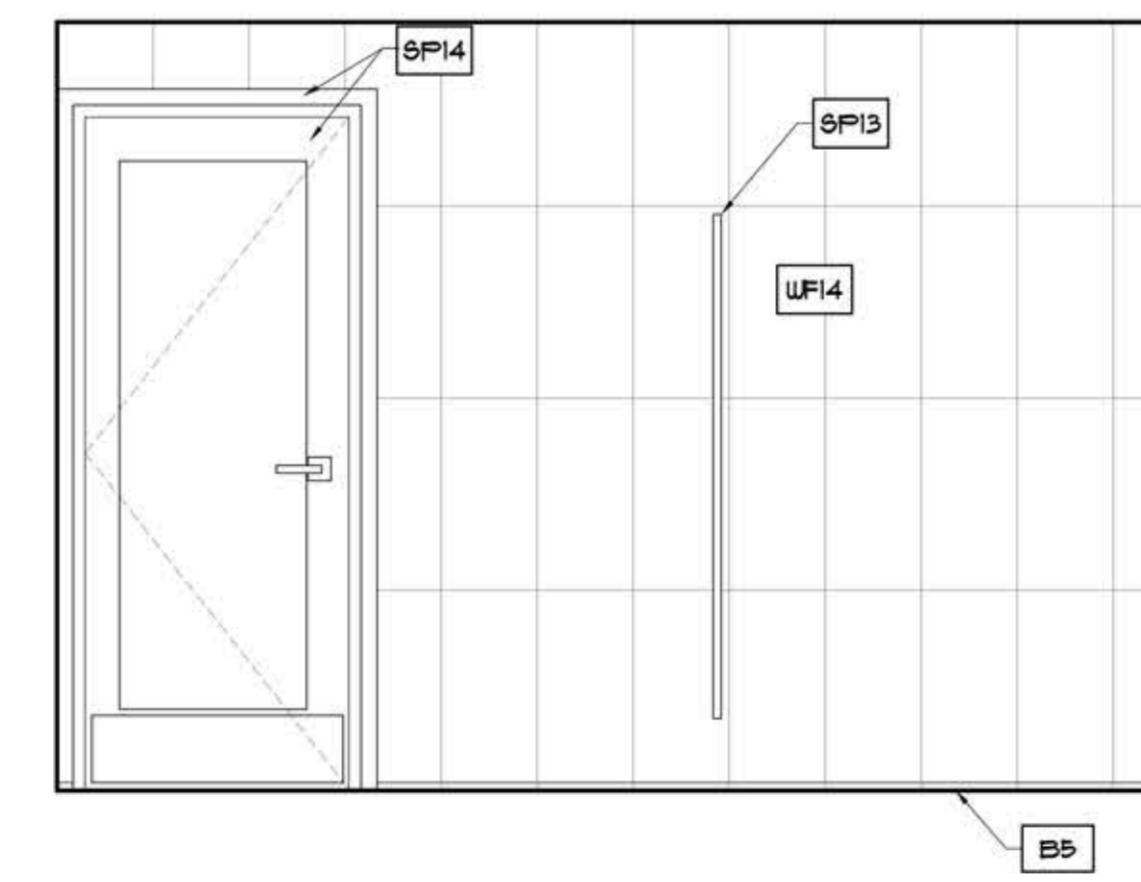


A RESTROOM ELEVATION  
SCALE: 1/2" = 1'-0"

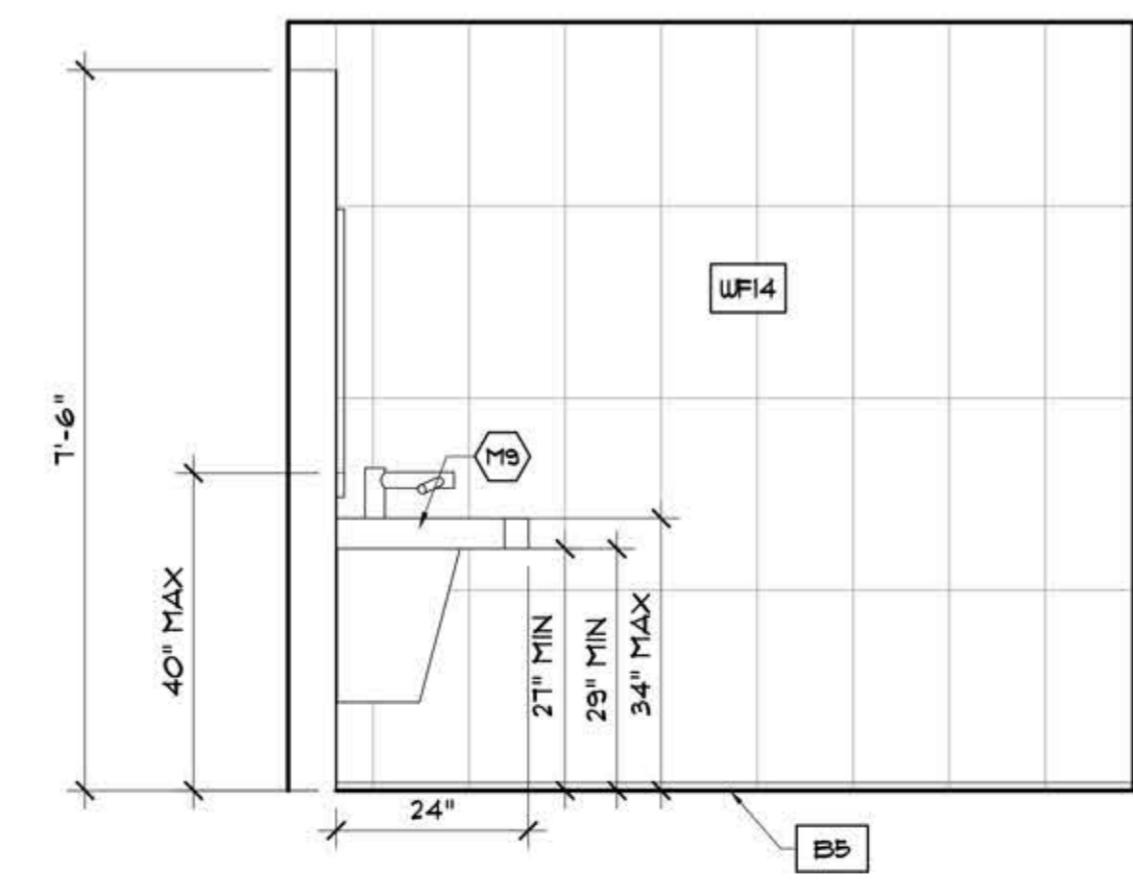
2 WOMENS RESTROOM



D RESTROOM ELEVATION  
SCALE: 1/2" = 1'-0"

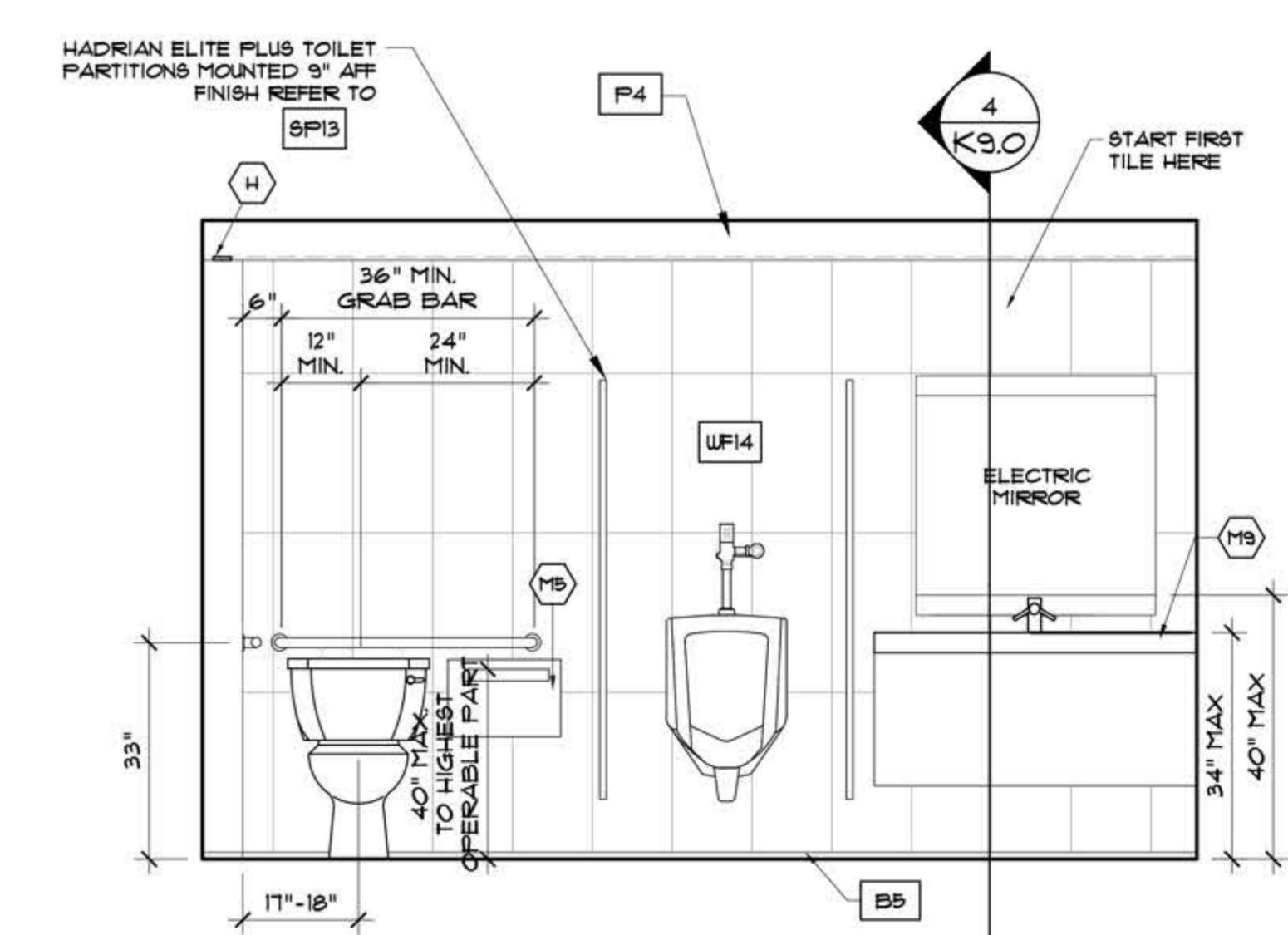


C RESTROOM ELEVATION  
SCALE: 1/2" = 1'-0"



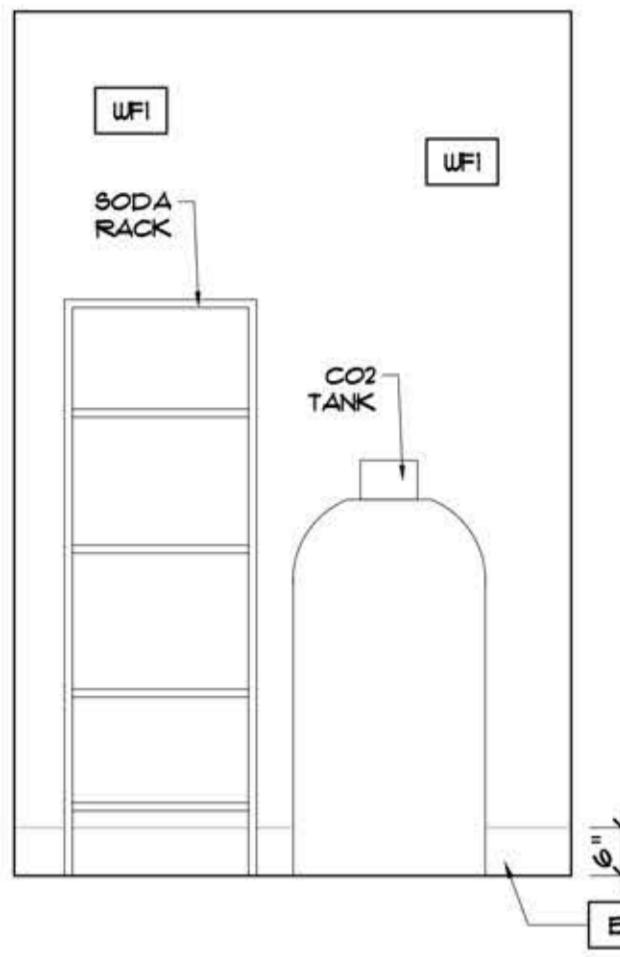
B RESTROOM ELEVATION  
SCALE: 1/2" = 1'-0"

1 MENS RESTROOM

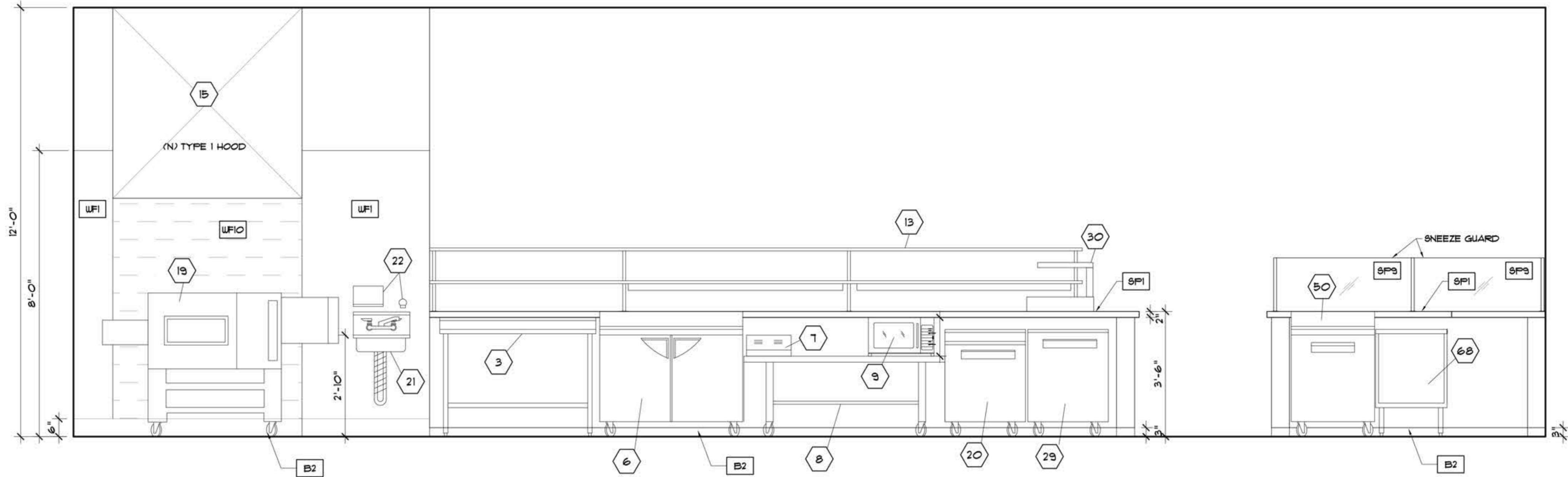


A RESTROOM ELEVATION  
SCALE: 1/2" = 1'-0"

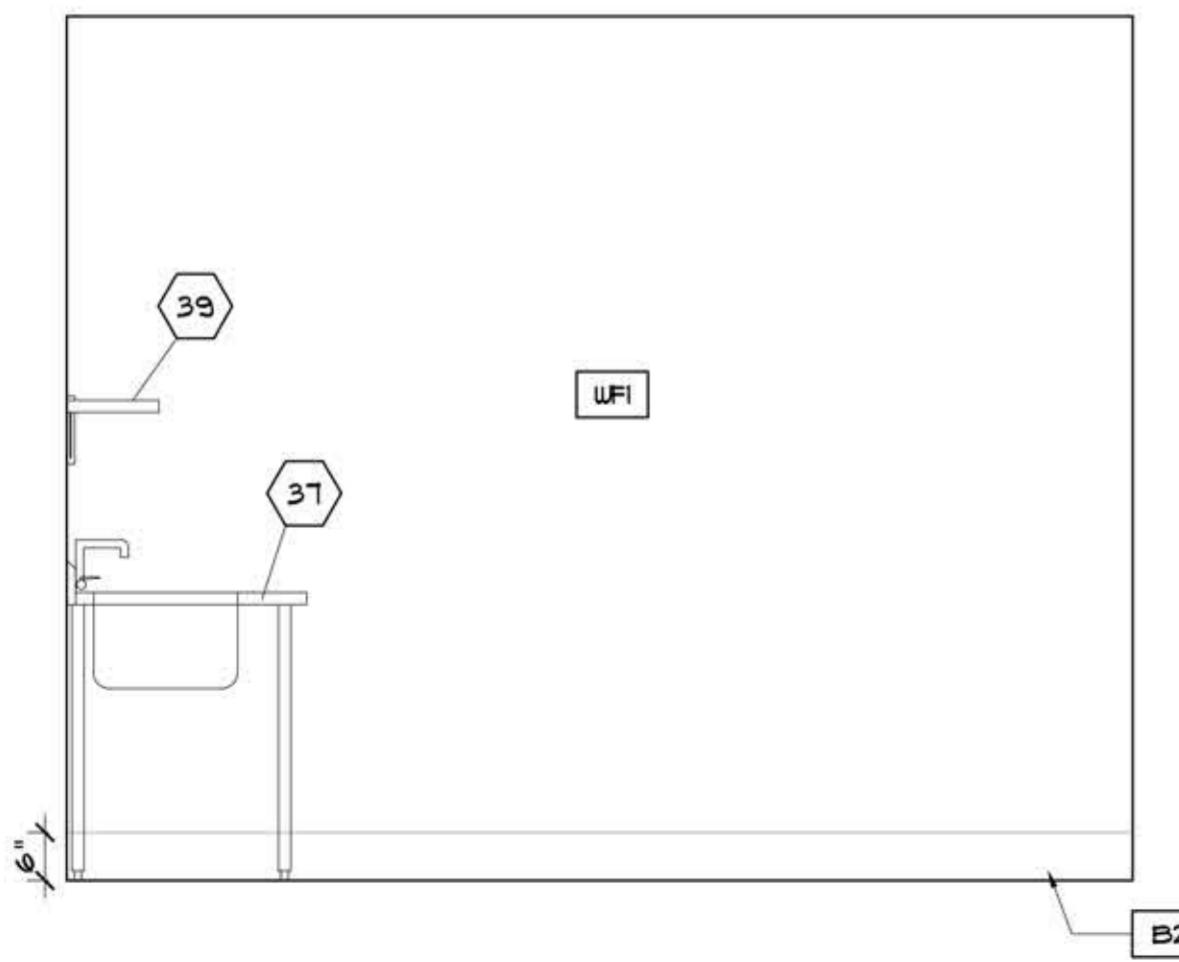
SCALE: 1/2" = 1'-0"



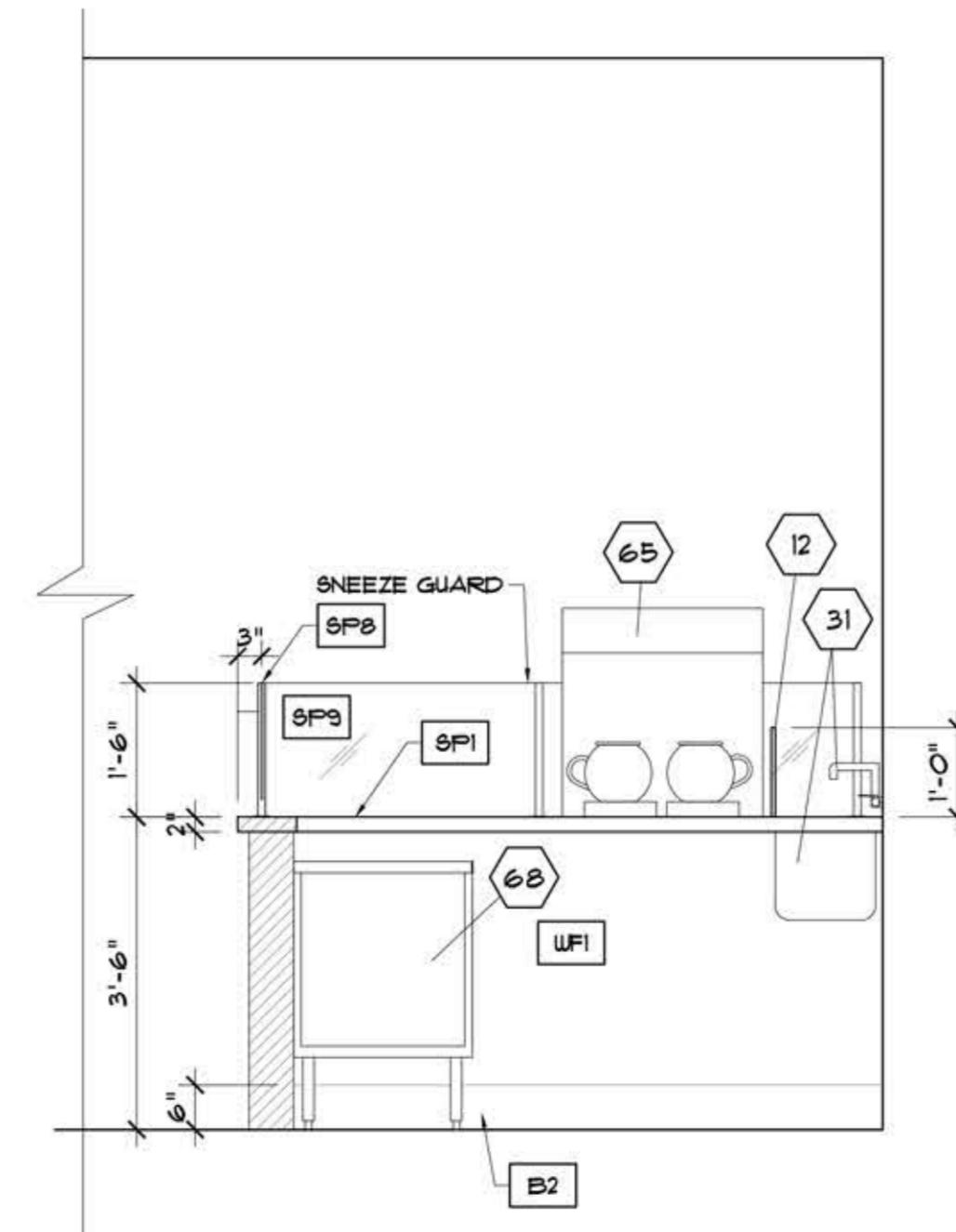
5 WEST WALL OF RESTROOM HALLWAY  
SCALE: 1/2" = 1'-0"



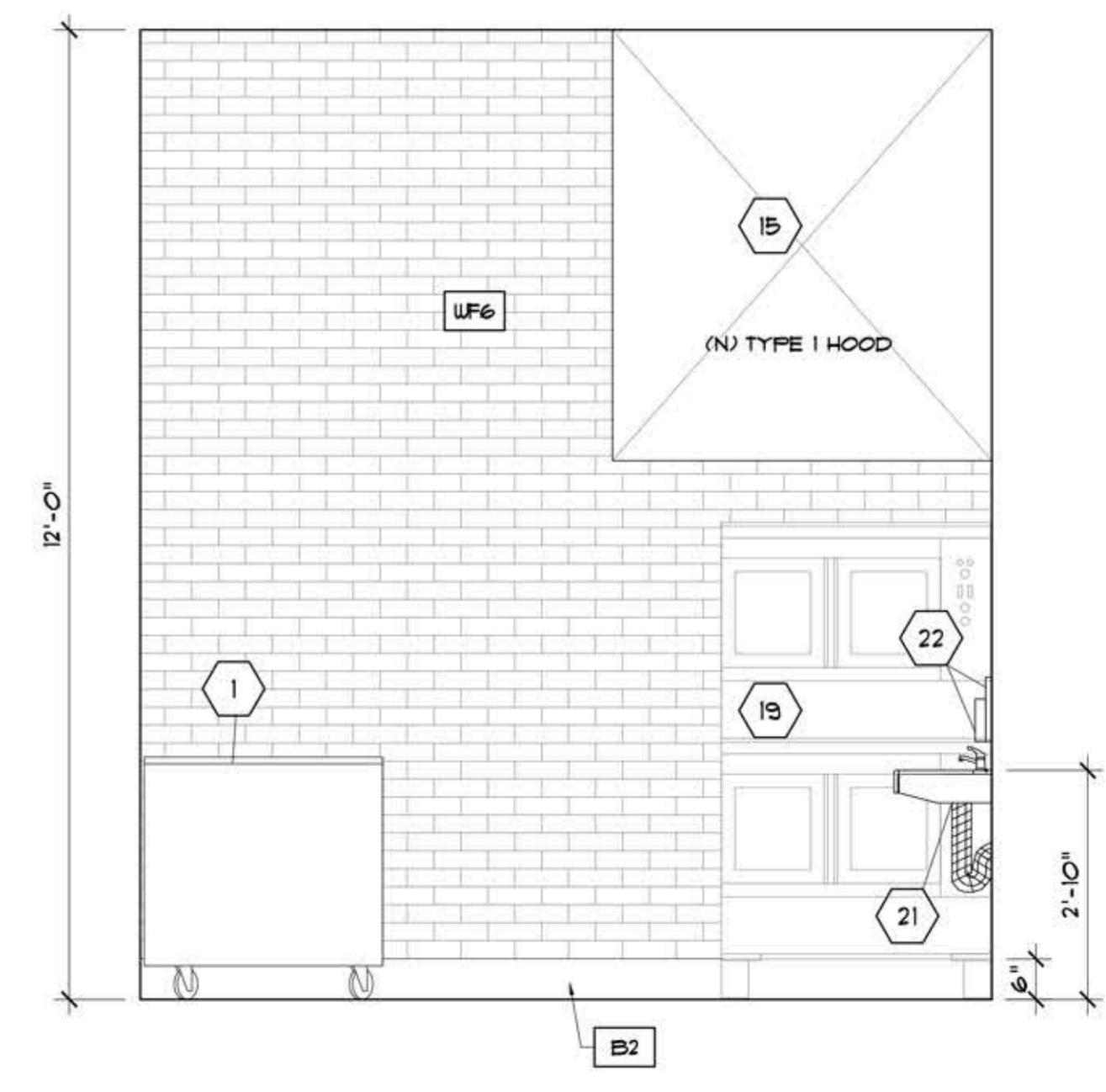
4 SOUTH KITCHEN ELEVATION



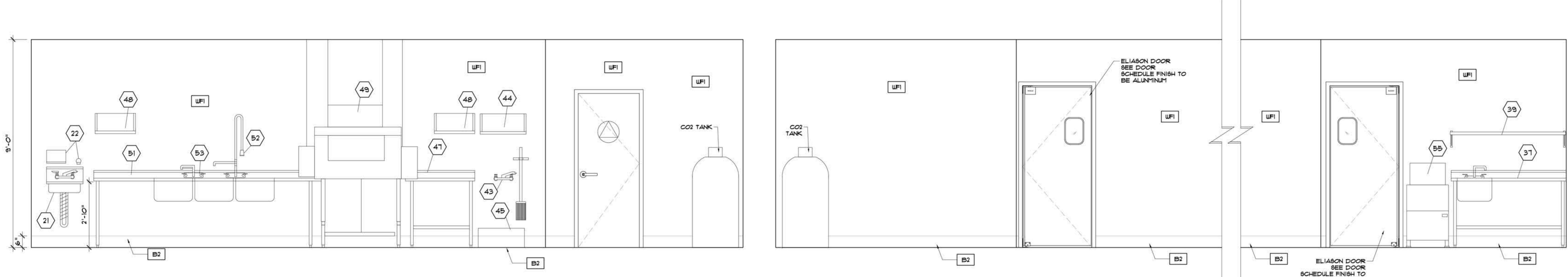
3 WEST WALL OF RESTROOM HALLWAY  
SCALE: 1/2" = 1'-0"



2 EAST KITCHEN ELEVATION  
SCALE: 1/2" = 1'-0"



1 WEST KITCHEN ELEVATION

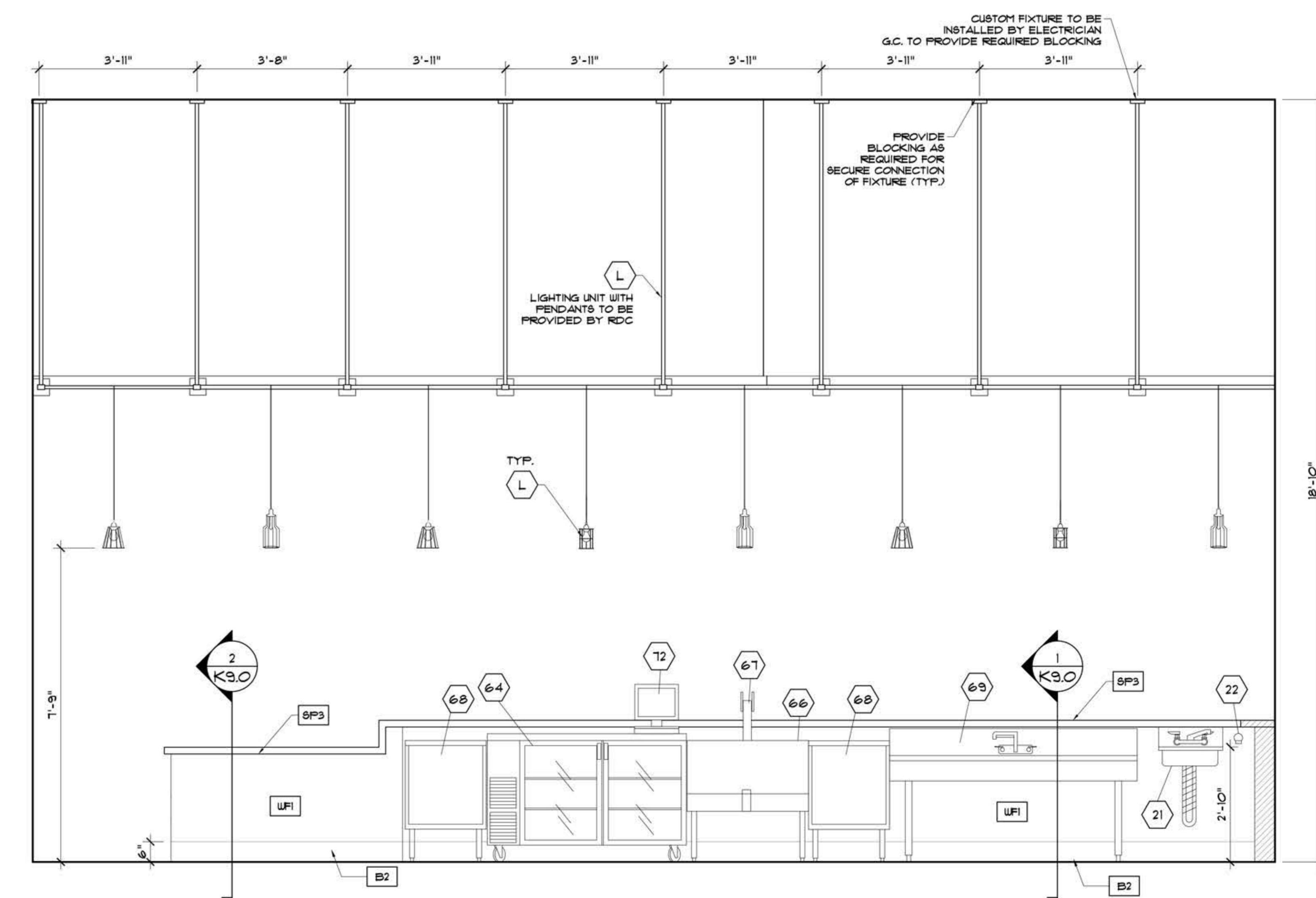


3 COOK LINE WALL ELEVATION

SCALE: 1/2" = 1'-0"

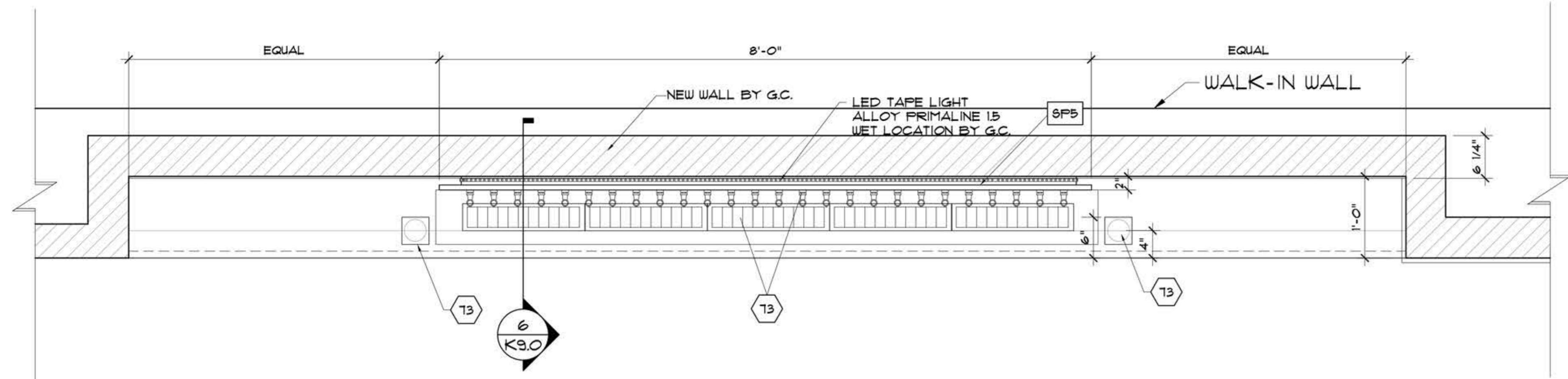
2 COOK LINE WALL ELEVATION

SCALE: 1/2" = 1'-0"



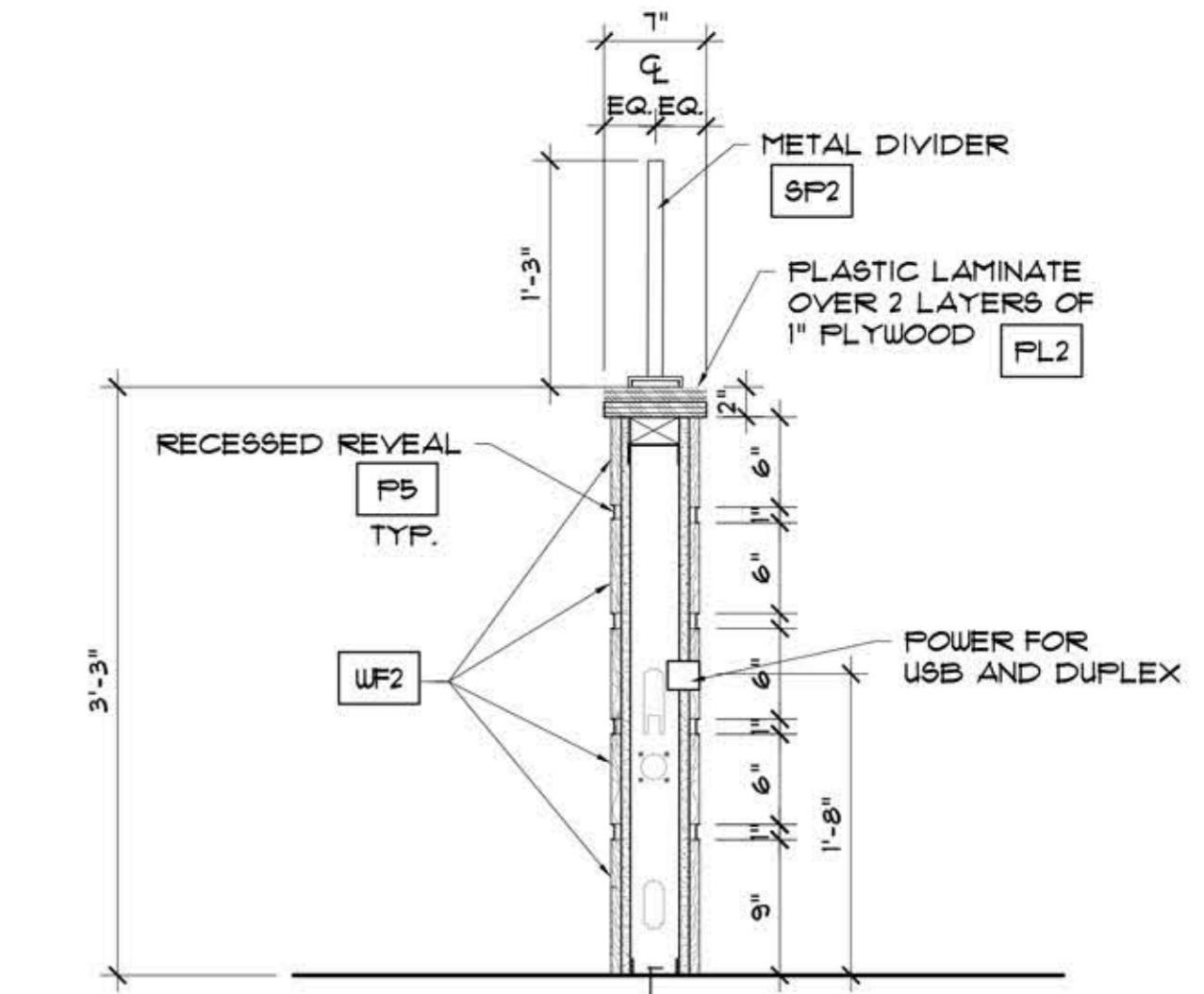
1 COOK LINE WALL ELEVATION

SCALE: 1/2" = 1'-0"



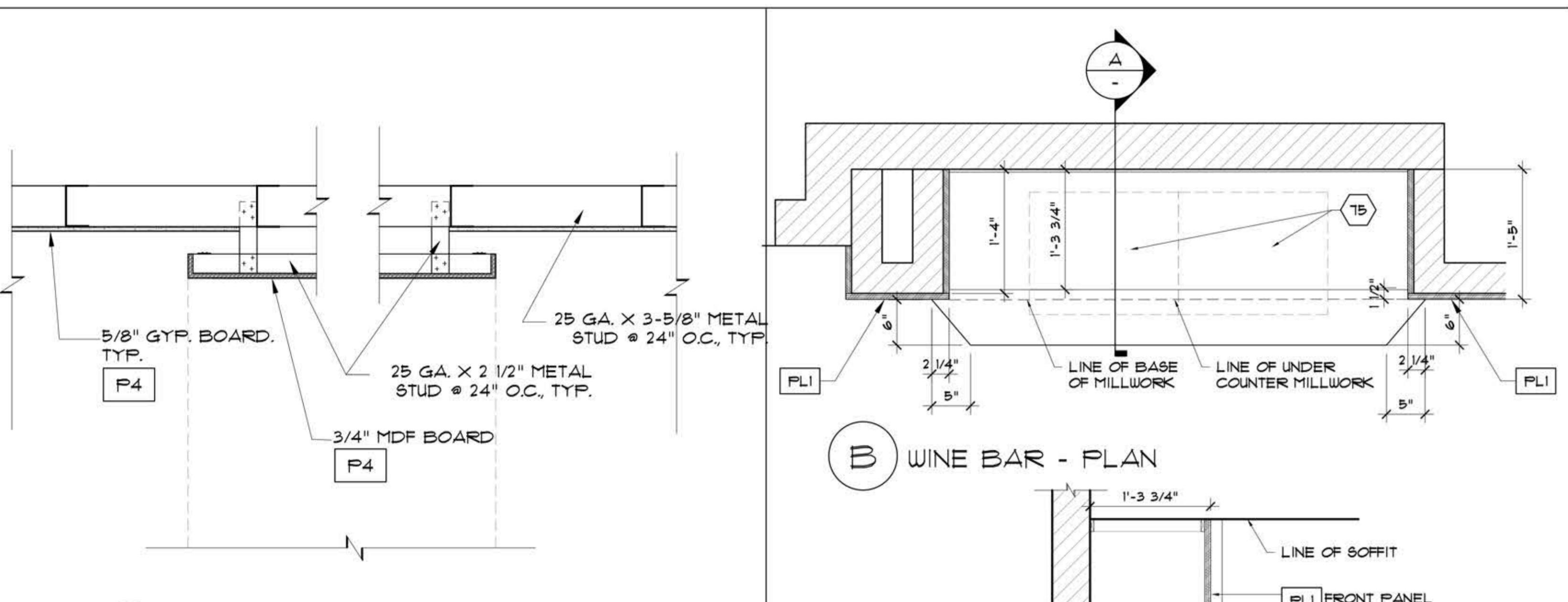
8 BACK BAR DISPLAY - SECTION

SCALE: 1" = 1'-0"



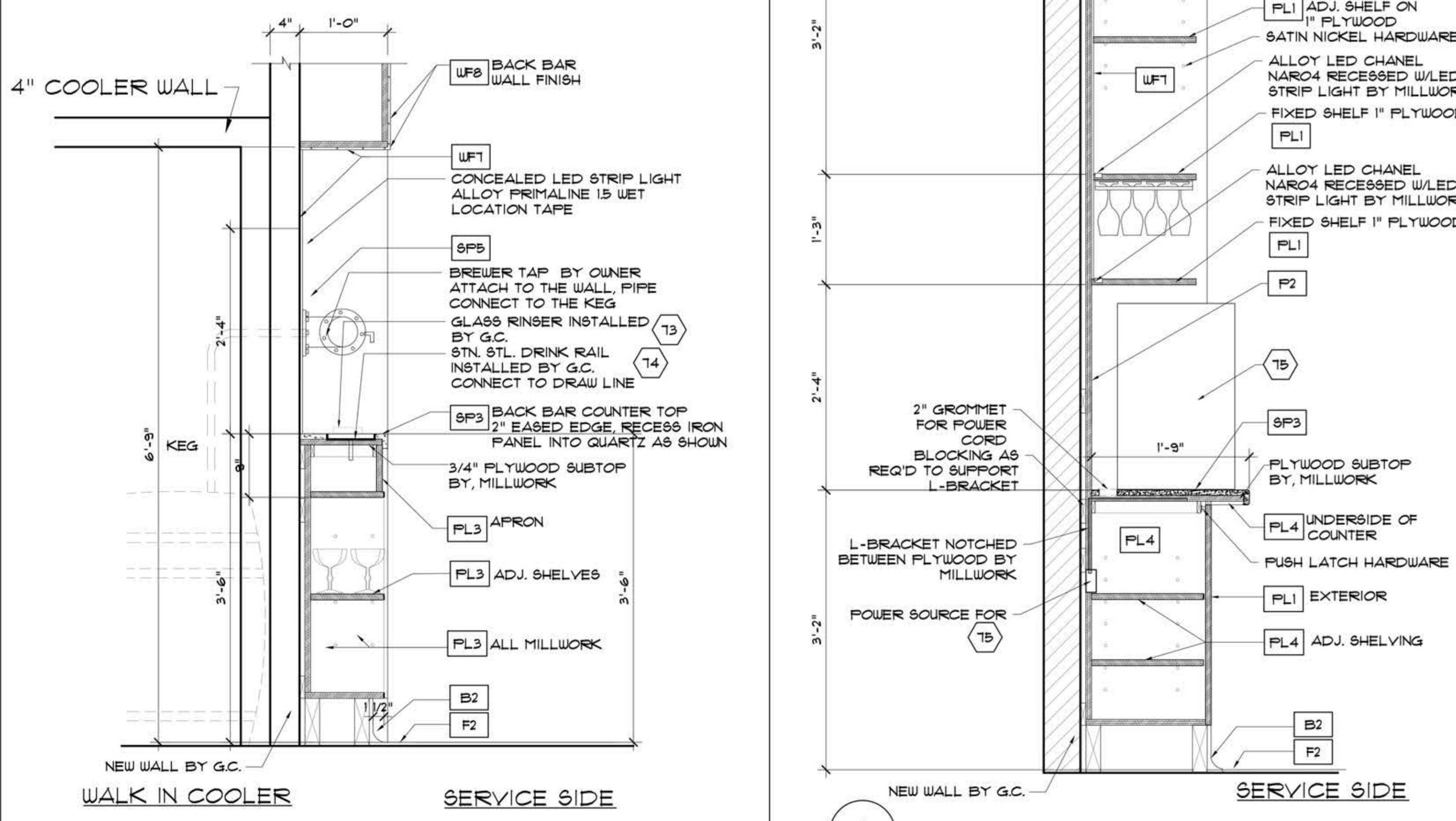
## 3 LOW WALL DIVIDER - SECTION

SCALE: 1" = 1'-0"



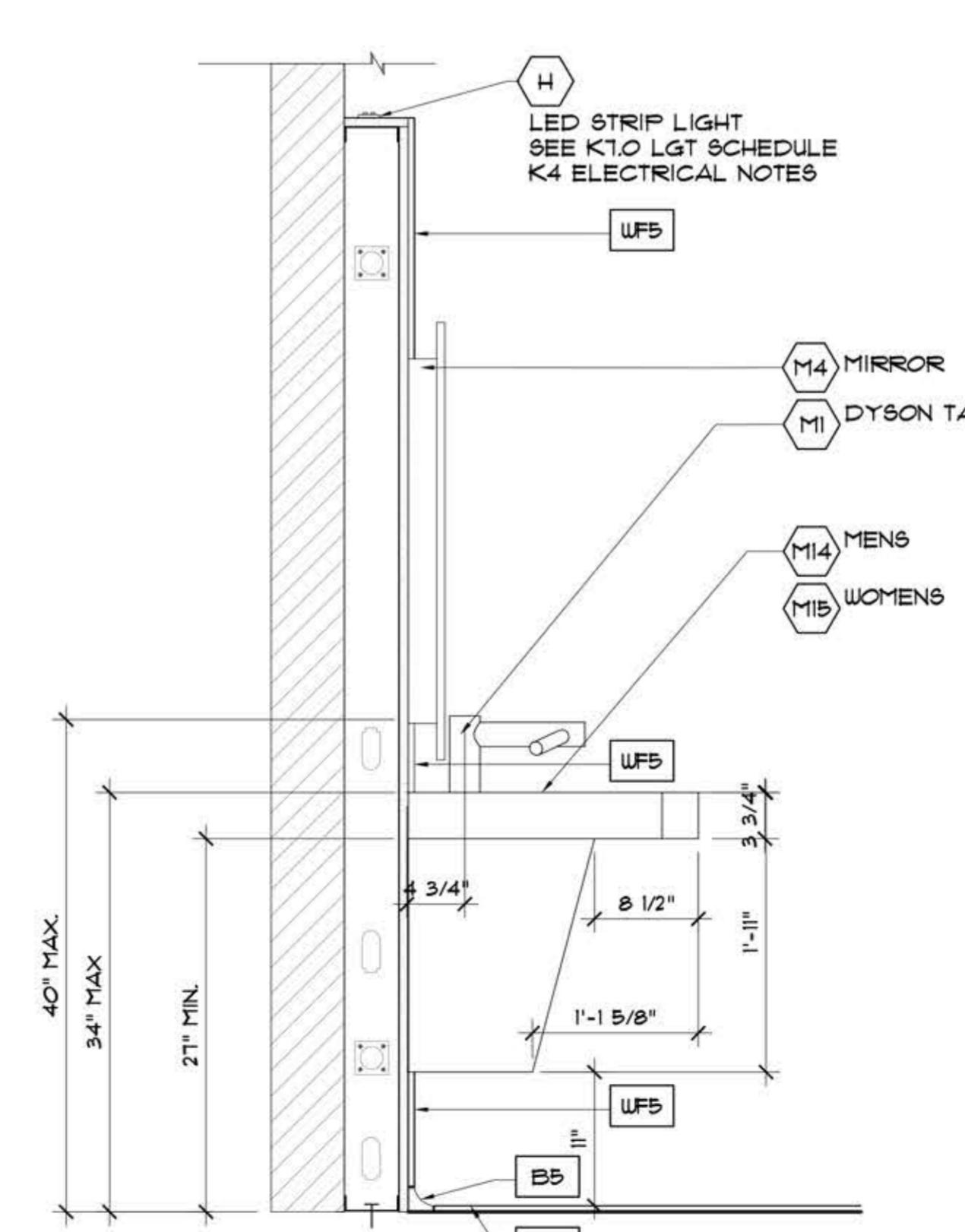
#### WALL WITH LED LIGHT - SECTION

SECTION  
SCALE: 1" = 1'-0"



## BACK BAR DISPLAY - SECTION

SCALE: 1" = 1'-0"

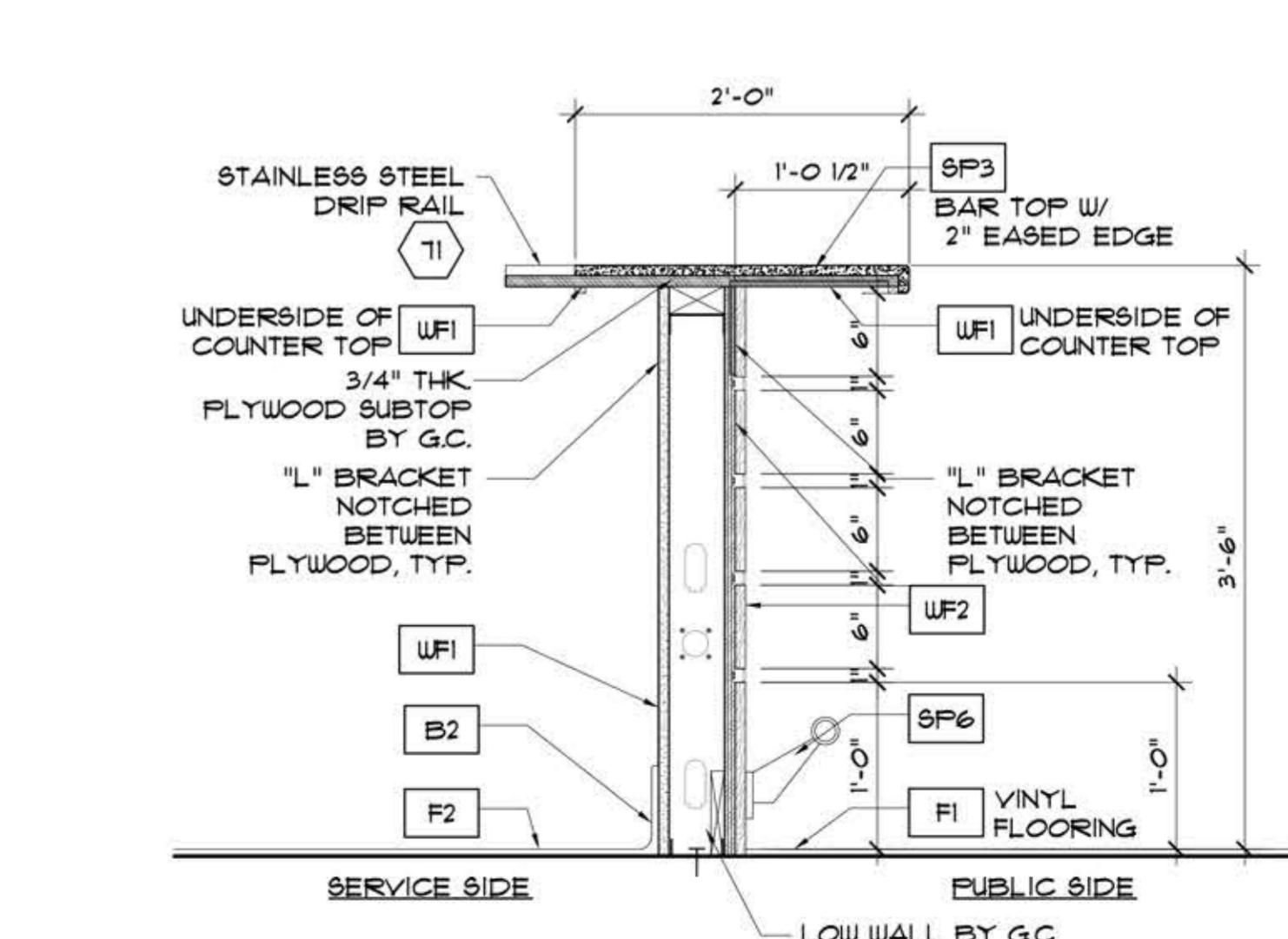


## 4 HAND WASH BASIN - SECTION

This technical drawing illustrates the construction of a bar top assembly. It features a vertical support column on the left and a horizontal bar top extending to the right. The bar top is labeled "SP3" at the top right. A dimension line above the bar indicates a total width of "2'-6 5/8\". Below the bar, a dimension line indicates a height of "1'-7\" from the underside of the counter top. The underside of the counter top is labeled "WF1". To the left of the support column, a label specifies "3/4\" THK PLYWOOD SUBTOP BY G.C.". On the right side, an "L" bracket is shown connecting the bar top to the support column; it is labeled "WF2" and "B2". Another bracket, labeled "F2", is also shown. The drawing is divided into two sections: the "SERVICE SIDE" on the left and the "PUBLIC SIDE" on the right. A vertical dimension line on the right indicates a height of "1'-0\".

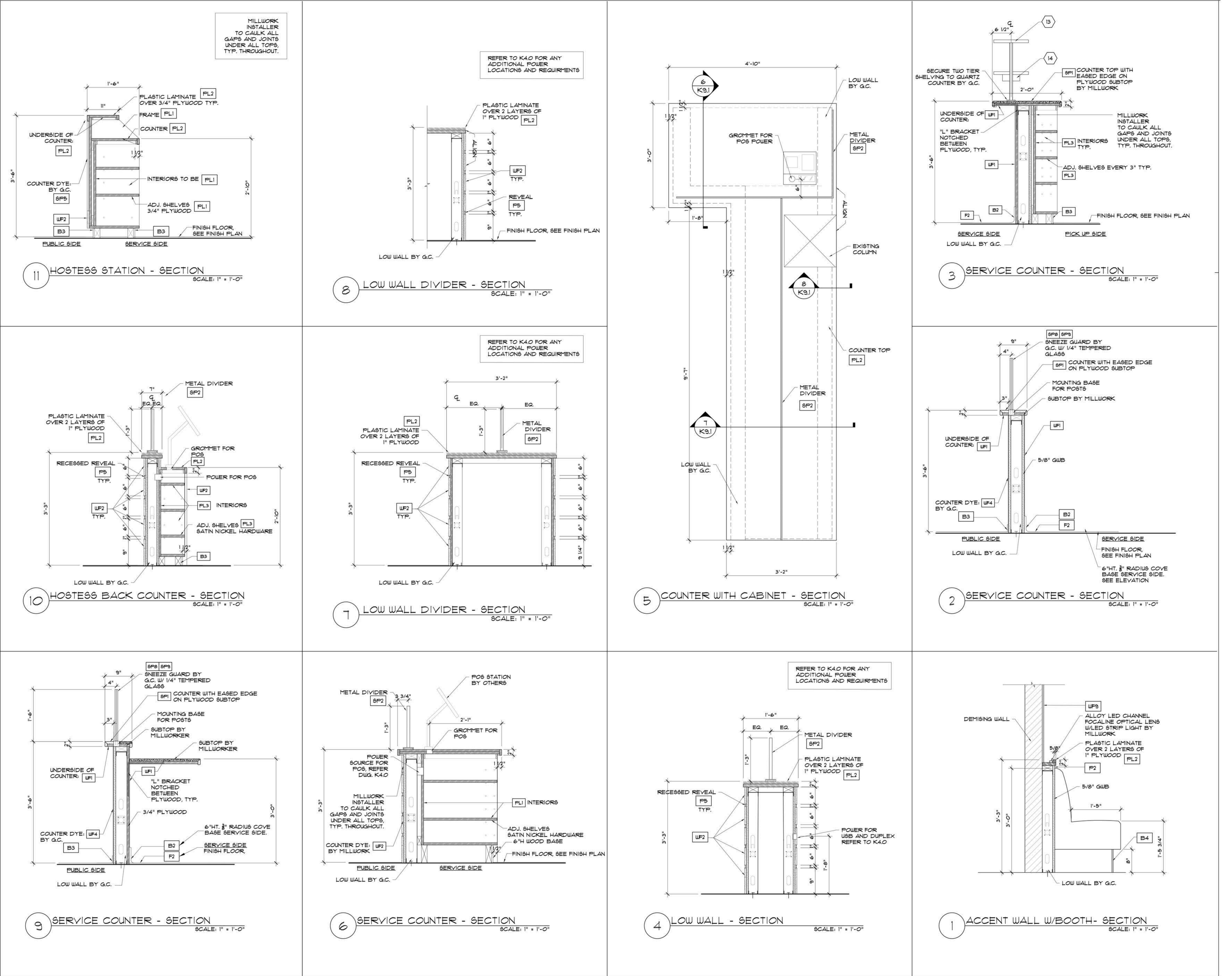
© APA BAR TOP - SECTION

SCALE: 1" = 1'-0"



1 BAR TOP - SECTION

SCALE: 1" = 1'-0"



## OCCUPANCY CALCULATIONS

KITCHEN:	1090 SQ. FT.	200	6
STORAGE AREA:	269 SQ. FT.	300	1
DINING AREA:	542 SQ. FT.	15	38
WAITING AREA:	35 SQ. FT.	5	7
RESTROOM & CIRCULATION:	1483 SQ. FT.	100	15
PATIO DINING AREA:	145 SQ. FT.	15	10
PATIO CIRCULATION:	261 SQ. FT.	100	3
TOTAL AREA / O.L.	3851 SQ. FT.		80

## LEGEND

