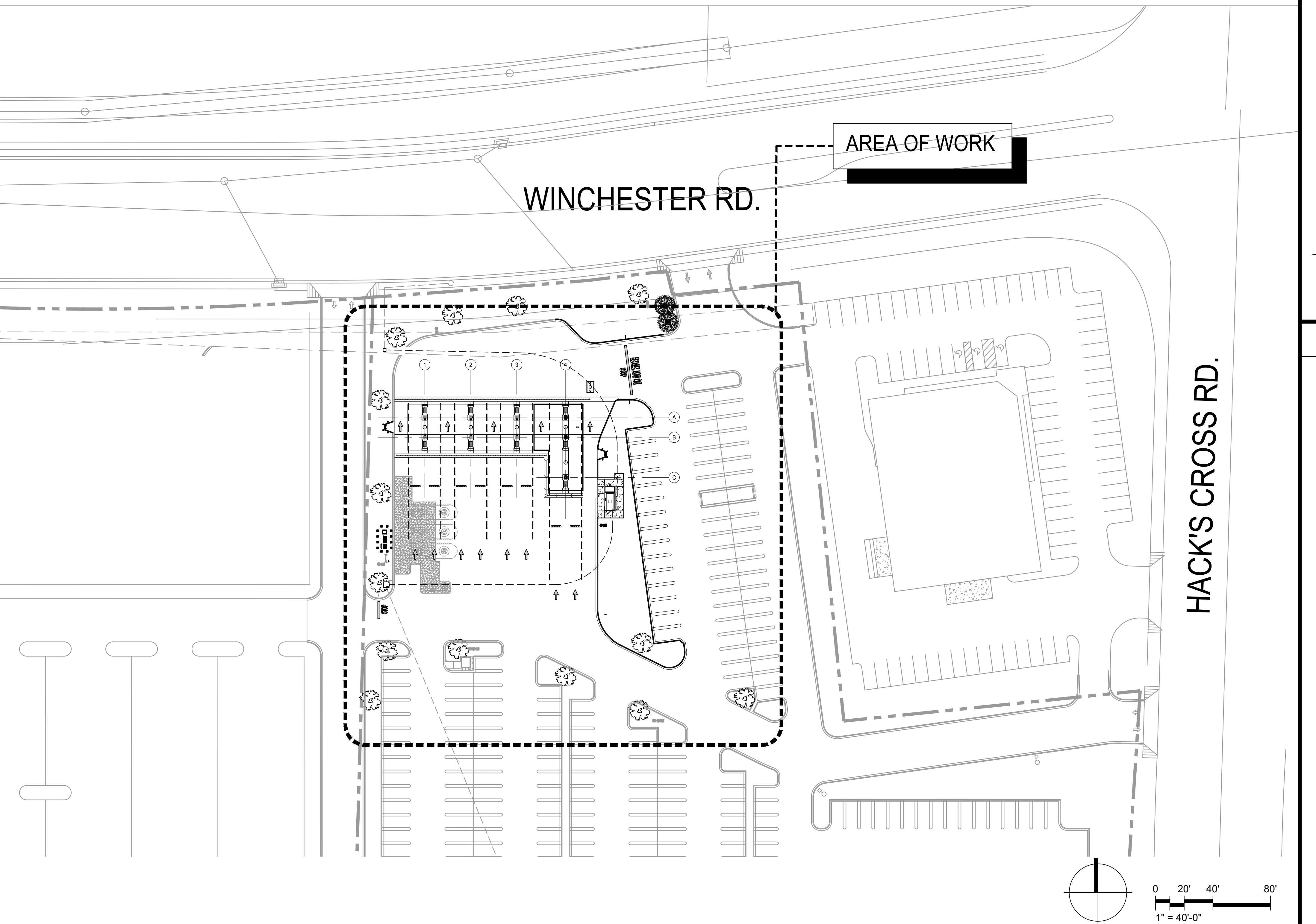
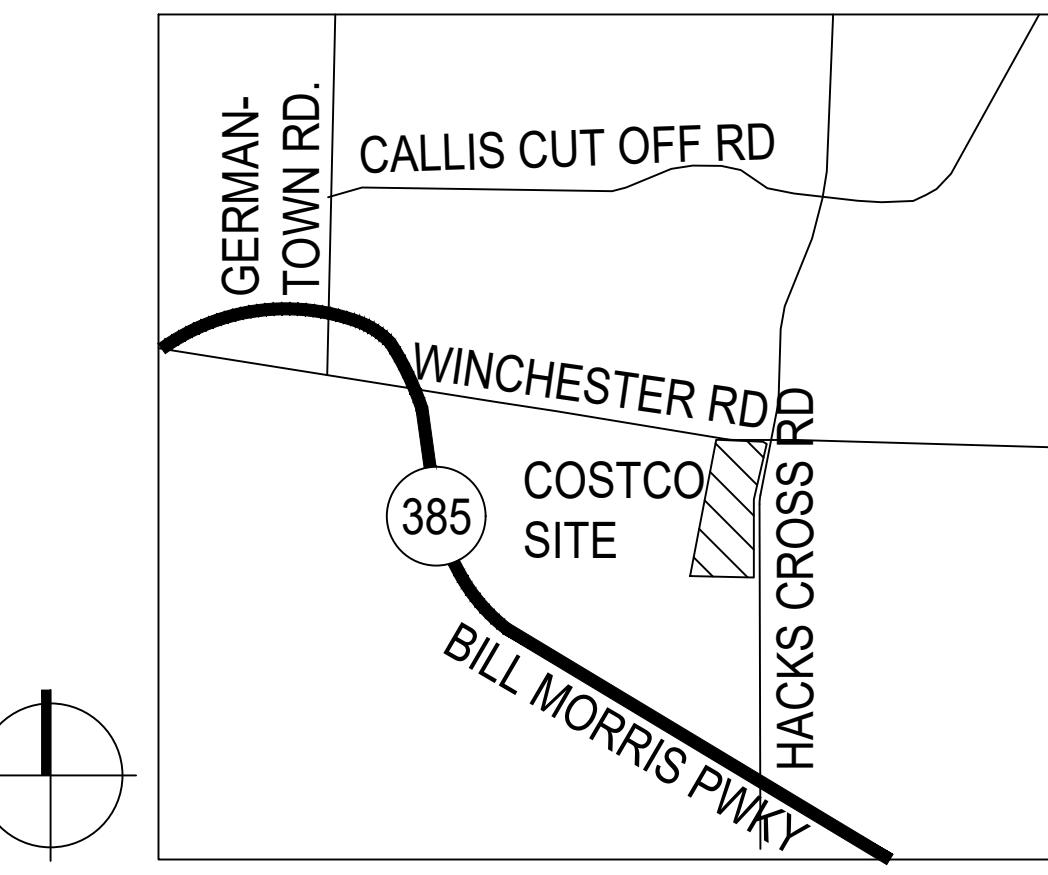


**COSTCO WHOLESALE FUEL FACILITY**  
3771 HACKS CROSS ROAD  
**M E M P H I S , T N 38125**

**LOCATION MAP - SITE PLAN**



**VICINITY MAP**



**INDEX OF DRAWINGS**

TSG-1	TITLE SHEET
C1.0	COVER
C2.0	SURVEY
C3.0	SITE DEMOLITION PLAN
C4.0	OVERALL LAYOUT PLAN
C4.1	SITE LAYOUT PLAN
C5.0	DETAILED LAYOUT PLAN
C6.0	DETAILED GRADING PLAN
C6.1	DETAILED GRADING PLAN
C6.2	PROFILES
C6.3	INITIAL EROSION CONTROL PLAN
C7.1	INTERMEDIATE AND FINAL EROSION CONTROL PLAN
D1.0	CONSTRUCTION DETAILS
D1.1	CONSTRUCTION DETAILS
D1.2	CONSTRUCTION DETAILS
L1.0	TREE REPLACEMENT PLAN I
L1.1	TREE REPLACEMENT PLAN II
SE-1	SITE ELECTRICAL
DAG-1	DEMOLITION SITE PLAN
AG-1	ENLARGED SITE PLAN
AG-2	CANOPY ELEVATIONS AND SECTIONS
AG-4	CANOPY REFLECTED CEILING PLAN
AG-5	CONTROLLER ENCLOSURE PLANS, ELEVATIONS AND DETAILS
AG-6	SITE DETAILS
S-1.0	CANOPY SPECIAL INSPECTIONS AND GENERAL NOTES
S-1.1	CANOPY FOUNDATION PLAN
S-1.2	CANOPY ROOF FRAMING PLANS
S-2.0	CANOPY ROOF FRAMING DETAILS
T1-1	CONCRETE TANK & PIPING PLAN FOR SITE EXPANSION
T2-1	TANK AND PIPING MATERIALS LIST
T3-1	TANK TURBINE SUMPS AND PIPING INSTALLATION DETAILS
T3-2	TANK TURBINE SUMPS AND PIPING INSTALLATION DETAILS
T4-1	EXISTING TANK FILL SUMPS AND PIPING INSTALLATION DETAILS
T5-1	ARMED GREEN MACHINE INSTALLATION DETAILS AND NOTES
T5-2	VST GREEN MACHINE INSTALLATION DETAILS AND NOTES
T6-1	DISPENSER AND SUMP INSTALLATION DETAILS
T6-2	DISPENSER AND SUMP INSTALLATION DETAILS
E1-0	ELECTRICAL SITE PLAN AND NOTES
E1-1	HAZARDOUS AREA SITE PLAN AND NOTES
E2-0	CONTROLLER ENCLOSURE FLOOR PLAN
E2-1	CONTROLLER ENCLOSURE INTERIOR ELEVATIONS
E2-2	TURBINE DRAINAGE AND MONITORING SYSTEM ELECTRICAL DIAGRAM
E2-3	HVAC UNIT FLOOR PLAN LAYOUT
E3	PANEL SCHEDULES AND SINGLE LINE DIAGRAM
E4-0	CANOPY LIGHTING AND CAMERA PLAN
E4-1	GREEN LIGHTING AND CAMERA LOCATION PLAN
E5	VARIABLE SPOT CONSOLE AND SPOT LIGHTS
E6	SSD UNITS IN CABINET ELEVATIONS
E7-0	SSDI CABINET DISPENSER WIRING SCHEMATICS
E7-1	SSDI CABINET LIGHTING CONTROL WIRING DIAGRAM
E8	SSDI CABINET AND OPLD DETAILS
E9	UPS WIRING DETAILS
E10	ADDITIONAL WIRING DETAILS

**PROJECT DIRECTORY**

OWNER	COSTCO WHOLESALE CORPORATION 730 LAKE DRIVE ISSAQAH, WA 98027 t: 425.313.8100
ARCHITECT	MG2 CORPORATION 8444 WESTPARK DRIVE, SUITE 120 MCLEAN, VA 22102 t: 703.564.8406 f: 703.564.8400 PROJECT MANAGER: AGNES VINCENT
CIVIL ENGINEER AND SURVEYOR	AEC 50 WARM SPRINGS CIRCLE SUITE 110 ROSENDALE, GA 30075 t: 678.990.2408
GEOTECHNICAL ENGINEER	TERRACON CONSULTANTS, INC. 4840 ROYAL DRIVE, SUITE 100 KENNESAW, GA 30014 t: 770.023.0755
LANDSCAPE ARCHITECT	AEC 50 WARM SPRINGS CIRCLE SUITE 110 ROSENDALE, GA 30075 t: 678.990.2408
STRUCTURAL ENGINEER	GSD 7337 N. FIRST ST., SUITE 110 FRESNO, CA 93720 t: 559.435.1411 f: 559.435.1169
TANK/ELECTRICAL/ENGINEER	BARSCHUEN CONSULTING ENGINEERS, INC. 1821 72nd AVENUE SOUTH KENT, WA 98032 t: 425.251.6222 f: 425.251.8782

**CODE ANALYSIS**

GOVERNING BUILDING CODE:	2021 INTERNATIONAL BUILDING CODE W/ LOCAL AMENDMENTS 2021 INTERNATIONAL MECHANICAL CODE W/ LOCAL AMENDMENTS 2021 FUEL GAS CODE W/ LOCAL AMENDMENTS 2020 NATIONAL ELECTRIC CODE W/ LOCAL AMENDMENTS 2021 INTERNATIONAL PLUMBING CODE W/ LOCAL AMENDMENTS 2021 INTERNATIONAL ENERGY CONSERVATION CODE W/ LOCAL AMENDMENTS
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OCCUPANCY GROUP:  
CONSTRUCTION TYPE:  
FUEL CANOPY AREA:  
FUEL CANOPY HEIGHT:

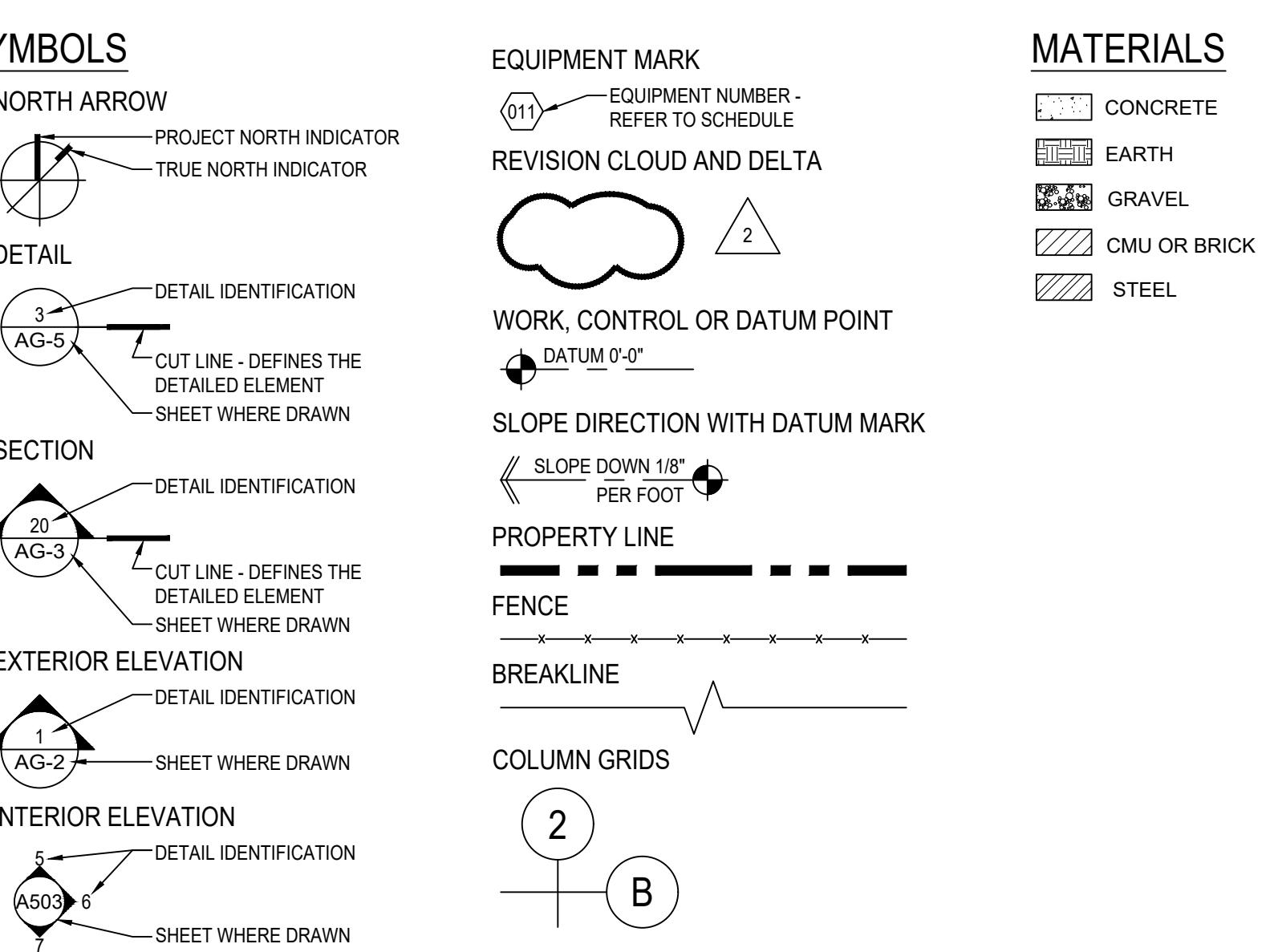
M  
II B (NOT RATED)  
4.576 SQ FT  
17'-6" TO TOP OF CANOPY

DOUGLAS E. BROOKBANK, ARCHITECT

**ARCHITECTURAL ABBREVIATIONS**

ADJ	ADJUSTABLE, ADJACENT	E	EXISTING	MTL	METAL	REQ'D	REQUIRED
ALUM	ALUMINUM	ENCL	ENCLOSURE	MFG	MANUFACTURING	SCHED	SCHEDULE
APPROX	APPROXIMATE	EQ	EQUAL	MFR	MANUFACTURER	SHT	SHEET
BD	BOARD	ETC	ET CETERA	MH	MANHOLE	SIM	SIMILAR
BLDG	BUILDING	EXH	EXHAUST	MIS	MISCELLANEOUS	SUPPLY	SUPPLIED & INSTALLED BY OWNER
BLK/G	BLOCKING	EXP	EXPANSION	MR	MOISTURE RESISTANT	SU	SUPPLIED & INSTALLED BY VENDOR
B/TWN	BETWEEN	EXT	EXTERIOR	MTD	MOUNTED	SPEC'D	SPECIFIED
CB	CATCH BASIN	FD	FLOOR DRAIN	MTG	MOUNTING	STD	STANDARD
CI	CAST IRON	FL	FLOOR	NOM	NOMINAL	STL	STEEL
CIP	CAST IN PLACE	FIN	FINISH	NTS	NOT TO SCALE	STRUCT	STRUCTURE, STRUCTURAL
CJ	CONSTRUCTION JOINT	FT	FEET	OA	OVERALL	T&E	TANK & ELECTRICAL
CLR	CLEARANCE	FTG	FOOTING	OC	ON CENTER	TOS	TOP OF STEEL
CMU	CONCRETE MASONRY UNIT	GC	GENERAL CONTRACTOR	OPR	OPERATION	TOP	TOP OF
COL	COLUMN	HC	HANDICAPPED	OPG	OPENING	TS	TOP OF STEEL
CONC	CONCRETE	HORIZ	HORIZONTAL	OPP	OPPOSITE	UL	UNITED LABORATORIES
CONT	CONTINUOUS	HT	HEIGHT	PVC	POLYVINYL CHLORIDE	UTIL	UTILITY
CONSTR	CONSTRUCTION	HTR	HISTER	PROJ	PROJECT	UNO	UNLESS NOTED OTHERWISE
CORP	CORPORATION	IBC	INTERNATIONAL BLDG CODE	PRV	PRESSURE REDUCING VALVE	UNSCD	UNSCHEDED
DBL	DOUBLE	INSUL	INSULATION	PT	POINT	VERT	VERTICAL
DIA	DIAMETER	INT	INTERIOR	QTR	QUARTER	VERIFY	VERIFY IN FIELD
DIM	DIMENSION	JTRS	JOINTS	R	RADIUS	WHSE	WAREHOUSE
DTL	DETAIL	LCD	LIQUID CRYSTAL DISPLAY	RCP	REFLECTED CEILING PLAN	W	WIDTH
DS	DOWNSPOUT	LF	LINEAR FOOT, LINEAL FOOT	RD	REFUSED DRAIN	W/H	WITH
DWG	DRAWING	LIQ	LIQUID	RF	ROLLED FORMED	W/O	WITHOUT
EA	EACH	MAS	MASONRY	RL	ROLL LEADER	WP	WINDOW
ELEC	ELECTRICAL	MAX	MAXIMUM	REC'D	RECEIVED	WATERPROOF	WATERPROOF
ELEV	ELEVATION	MBS	MATERIALS	REINF	REINFORCING	WR	WATER RESISTANT

**ARCHITECTURAL SYMBOLS**



**LEGAL DESCRIPTION**

THE FOLLOWING DESCRIBED REAL PROPERTY IS SITUATED IN THE CITY OF S.E. MEMPHIS, SHELBY COUNTY, STATE OF TENNESSEE.
1. ZONING:
2. SETBACKS:
FRONT: 24 FT REAR: NONE SIDE: 20 FT
3. SITE AREA: 1.24 ACRES (620,460 S.F.)
4. LOT COVERAGE ALLOWED: 100%
5. LANDSCAPING REQUIRED: YES, SEE CIVIL
6. EXISTING BUILDING AREA: BUILDING FOOTPRINT AREA: 149,448 SQ FT
7. PARKING PROVIDED: 498 PARKING SPACES REQ'D
8. PARKING PROVIDED: EXISTING PARKING: 709 STALLS DELETED PARKING: 36 STALLS TOTAL: 683 STALLS PARKING RATIO: 1/300 SQ FT 683 STALLS (15 ACCESSIBLE STALLS)

FUELING FACILITY EXPANSION:

THE SCOPE OF WORK INCLUDES ADDING THREE (3) NEW ISLANDS WITH ONE DOUBLE SIDED FUEL DISPENSER EACH, ALLOWING FOR SIX (6) ADDITIONAL AUTOMOBILE FUELING POSITIONS, REMOVING AND REPLACING THE EXISTING (6) DISPENSERS, ENLARGING THE EXISTING CANOPY BY 1,696 SQUARE FEET, AND CURBS, CONCRETE, ASPHALT AND LANDSCAPE REVISIONS. THE EXISTING CONTROLLER ENCLOSURE WILL BE DEMOLISHED AND A NEW ONE WILL BE PROVIDED.

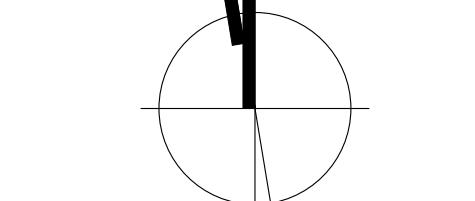
THE NINE (9) NEW DISPENSERS WILL BE INTEGRATED INTO THE COMPUTERIZED CONTROLLER, WHICH RUNS THE PAYMENT, PUMPING AND MONITORING SYSTEMS. FUEL IS STORED IN THREE (3) EXISTING DOUBLE WALLED, FIBERGLASS UNDERGROUND STORAGE TANKS.

THE NEW CONTROL / MONITORING SYSTEM WILL INCLUDE AN ALARM TIED INTO THE OWNER'S CONTRACTED 24 HOUR MONITORING SERVICE COMPANY. THE CONTINUOUS LEAK DETECTION SYSTEM WILL AUTOMATICALLY CHECK FOR FLUID LEAKS AND AUTOMATICALLY WILL STOP THE FLOW OF GASOLINE IN THE EVENT OF AN ALARM CONDITION.

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DATE   DESCRIPTION
02/22/24   PERMIT SET
03/05/24   ISSUE FOR BID
98-150-19   PM: AGNES VINCENT
DRAWN: AV
AUGUST 08, 2023

**TITLE SHEET**

**TSG-1**



0 8' 16' 32'  
1/16" = 1'-0"

DOUGLAS E. BROOKBANK, ARCHITECT

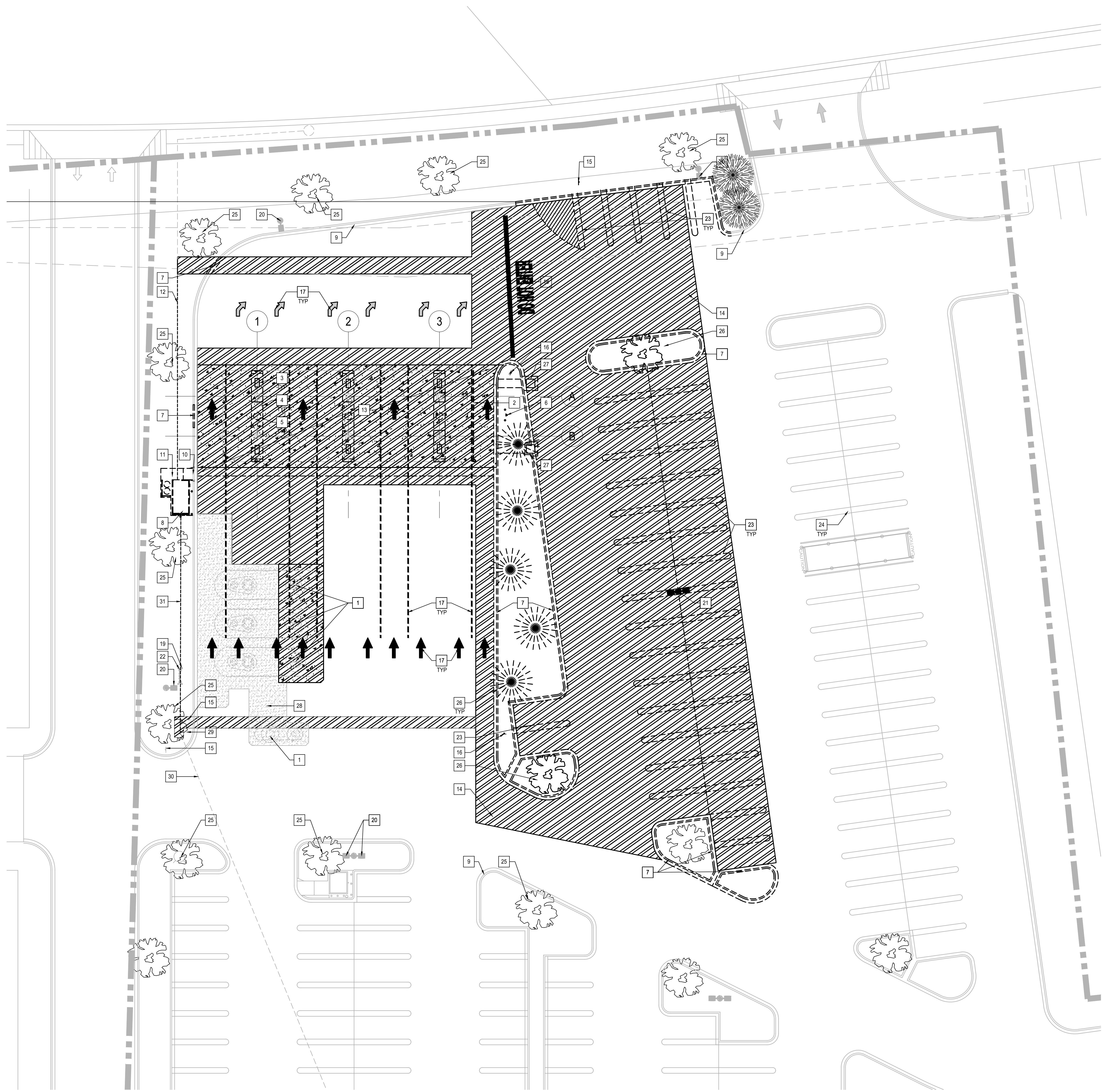
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PM: AGNES VINCENT  
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AUGUST 08, 2023

DEMOLITION  
SITE PLAN

DAG-1



## KEYNOTES

- 1 EXISTING UNDERGROUND STORAGE TANKS TO REMAIN
- 2 DEMO AND PREP EXISTING FUEL CANOPY ON THE EAST SIDE FOR EXPANSION.
- 3 EXISTING MULTI-PRODUCT DISPENSER TO BE REPLACED.
- 4 EXISTING CONCRETE DISPENSER ISLAND TO BE DEMOLISHED.
- 5 EXISTING WASTE RECEPTOR TO BE REMOVED AND RETAINED FOR RE-INSTALLATION.
- 6 EXISTING EMERGENCY SHUT OFF SWITCH TO BE REMOVED
- 7 EXISTING CURB AND GUTTER TO BE REMOVED.
- 8 EXISTING CONTROLLER ENCLOSURE AND ASSOCIATED EQUIPMENT TO BE DEMOLISHED / REMOVED
- 9 EXISTING CURB TO REMAIN
- 10 EXISTING CURB TO BE REMOVED
- 11 EXISTING CONCRETE WALKWAY TO BE REMOVED
- 12 EXISTING CONDUIT WIRES TO BE TERMINATED AND CAPPED.
- 13 REMOVE AND REPLACE EXISTING CONCRETE SLAB.
- 14 LIMITS OF DISTURBANCE: REMOVE AND REPLACE EXISTING ASPHALT AS NEEDED FOR NEW PIPING
- 15 EXISTING STOP SIGN TO BE REMOVED.
- 16 EXISTING STOP SIGN TO BE RELOCATED.
- 17 REMOVE EXISTING PAINT STRIPING.
- 18 EXISTING PAINTED "DO NOT ENTER" SIGN TO BE REMOVED
- 19 EXISTING BOLLARD TO REMAIN
- 20 EXISTING LIGHT POLE & LIGHTS TO REMAIN
- 21 EXISTING LIGHT POLE & LIGHTS TO BE REMOVED
- 22 EXISTING VENT RISER TO REMAIN
- 23 EXISTING PARKING STALLS TO BE REMOVED
- 24 EXISTING PARKING STALLS TO REMAIN
- 25 EXISTING TREE TO REMAIN
- 26 EXISTING TREE TO BE REMOVED
- 27 EXISTING METAL COVER TO BE REMOVED
- 28 EXISTING CONCRETE TO REMAIN
- 29 NEW COMMUNICATION CONDUIT PULL BOX - GC TO VERIFY IN FIELD OR INSTALL NEW ONE
- 30 EXISTING COMMUNICATION CONDUIT TO WAREHOUSE TO REMAIN - GC TO VERIFY IN FIELD
- 31 EXISTING COMMUNICATION CONDUIT TO BE REMOVED

## LEGEND

- |  |
|--|
| EXTENT OF CONCRETE TO BE REMOVED AS NEEDED FOR NEW PRODUCT PIPING. |
| FULL DEPTH PAVEMENT TO BE REMOVED                                  |
| EXISTING CONCRETE TO REMAIN  |

## DEMOLITION NOTES

- THE BUILDING WILL BE OCCUPIED AND IN FULL USE BY THE OWNER DURING CONSTRUCTION.
- 1. CONSTRUCTION THAT MAY AFFECT THE PUBLIC SHALL BE DONE DURING OFF-HOURS.
- 2. AREAS OF DEMOLITION SHALL INCLUDE, BUT ARE NOT LIMITED TO ANY STRUCTURAL PLUMBING, ELECTRICAL, MECHANICAL, FIRE SPRINKLER, ETC. ITEMS NECESSARY TO COMPLETE THE DEMOLITION WORK. THE CONTRACTOR IS TO REMOVE ALL WALLS, BOLLARDS, MISC. EQUIPMENT, PLUMBING, ELECTRICAL, REINFORCED CONCRETE SLAB, CURBS, REBARS, ETC. ASSOCIATED WITH DEMOLITION OF AREAS SHOWN.
- 3. ALL REMOVED ITEMS NOT DESIGNATED FOR REUSE SHALL BE OFFERED IN GOOD CONDITION TO THE OWNER. DURING THE BIDDING PERIOD, COORDINATE AND VERIFY WITH THE OWNER AS TO WHICH ITEMS ARE TO BE SALVAGED.
- 4. DO NOT INTERRUPT ANY SERVICES (WATER, PLUMBING, FIRE SPRINKLER, ETC.) WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER.
- 5. PROVIDE TEMPORARY DUST PARTITIONS AS REQUIRED TO PREVENT DUST AND DEBRIS FROM SPREADING THROUGHOUT CONSTRUCTION. REVIEW WITH AND OBTAIN OWNER APPROVAL FOR LOCATIONS.
- 6. THE CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES WITHIN PROXIMITY OF THE WORK AREA PRIOR TO EXCAVATION.
- 7. EXISTING UTILITIES SHOWN HAVE BEEN TAKEN FROM AVAILABLE RECORDS AND ARE SHOWN FOR INFORMATION ONLY. VERIFY ALL INVERT ELEVATIONS AT POINTS OF CONNECTIONS OF NEW WORK TO EXISTING PRIOR TO STARTING ANY WORK.
- 8. PROVIDE TEMPORARY DUST PARTITIONS AS REQUIRED TO PREVENT DUST AND DEBRIS FROM SPREADING THROUGHOUT CONSTRUCTION. REVIEW WITH AND OBTAIN OWNER APPROVAL FOR LOCATIONS.
- 9. CAP ALL UTILITIES AND LEAVE THEM BELOW THE FLOOR AS REQUIRED. CONTRACTOR IS RESPONSIBLE FOR FLOOR PATCHING.
- 10. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING OR REPLACING ITEMS DAMAGED DURING DEMOLITION AND CONSTRUCTION.
- 11. WHERE EXISTING SURFACES ARE PATCHED, THE CONTRACTOR SHALL USE METHODS LEAST LIKELY TO DAMAGE ELEMENTS RELATED TO EXISTING SURFACES. CUT HOLES AND SLOTS AS SMALL AS PRACTICAL POSSIBLE, NEATLY TO SIZE REQUIRED AND WITH MINIMUM DISTURBANCES OF ADJACENT MATERIALS.
- 12. WHERE EXISTING CONSTRUCTION IS REMOVED, CUT OR OTHERWISE DISTURBED, PATCH TO MATCH EXISTING SURFACES. SEAMS TO BE AS INVISIBLE AS PRACTICAL. REPAVED SURFACES SHALL BE EXTENDED TO THE NEAREST VISUAL BREAK LINES SUCH AS CORNERS, CEILING LINES, TOP OF BASE, ETC.
- 13. WHERE NEW WORK ABUTS OR ALIGNS WITH EXISTING, PERFORM A SMOOTH AND EVEN TRANSITION. PATCHED WORK TO MATCH EXISTING ADJACENT WORK IN TEXTURE AND APPROPRIATE COLOR.
- 14. REMOVE AND REPLACE AREAS, SURFACES OR ITEMS THAT CANNOT BE SATISFACTORILY PATCHED.
- 15. AS A MINIMUM, THE LEVEL OF WORKMANSHIP SHOULD MATCH THE GENERAL LEVEL OF EXISTING SURFACES.
- 16. UNLESS SHOWN IN THE DRAWINGS OTHERWISE, DO NOT SUPPORT OR SUSPEND ITEMS, EQUIPMENT, HANGERS, ETC. FROM EXISTING STRUCTURAL MEMBERS (BEAMS, TRUSSES, JOIST, ETC.) WITHOUT WRITTEN APPROVAL OF A LICENSED STRUCTURAL ENGINEER.
- 17. DO NOT CUT OR DRILL ANY STRUCTURAL MEMBER (PARTICULARLY ROOF JOIST) WITHOUT WRITTEN APPROVAL OF THE OWNER'S ENGINEER.
- 18. SHOWING OF STRUCTURAL FOUNDATIONS, STRUCTURES, AND/OR TRENCHING REQUIRED TO COMPLETE THE WORK DESCRIBED IN THIS DOCUMENTS IS CONSIDERED A MEANS, METHOD OR TECHNIQUE AND IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. IF A REGULATORY AGENCY REQUIRES A LICENSED ENGINEER TO SUPERVISE, APPROVE, AND/OR PROVIDE DESIGN FOR THESE ITEMS, THE CONTRACTOR IS RESPONSIBLE FOR CONTRACTING WITH THE ENGINEER DIRECTLY AND THE COST SHALL BE INCLUDED IN THE BASE BID.
- 19. ALL SYSTEMS AND SERVICES ARE TO BE LEFT OPERATIONAL PRIOR TO THE END OF EACH WORKDAY.
- 20. THE CONTRACTOR SHALL REMOVE ALL RUBBLE AND DEBRIS FROM THE JOBSITE DAILY AND LEAVE THE BUILDING AND GROUNDS CLEAN UPON COMPLETION OF THE WORK.

## OPERATIONAL PHASING NOTES

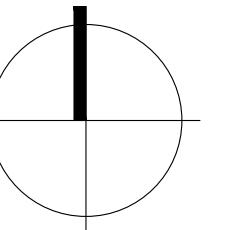
- 1. THE CONTRACTOR TO SUBMIT PHASING PLAN AT BID. THE CONTRACTOR SHALL CONFIRM THE OPERATIONAL PHASING WITH THE OWNER PRIOR TO STARTING CONSTRUCTION.
- 2. THE PHASING SHOWN IS NOT INTENDED TO REPRESENT OR DICTATE CONSTRUCTION PHASING, MEANS, METHODS OR TECHNIQUES.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL CONSTRUCTION PHASING SO AS NOT TO IMPACT THE OWNER'S OPERATIONS.
- 4. REMOVE WALLS, BOLLARDS, PLUMBING, ELECTRICAL, ETC. AND CAP UTILITIES BELOW THE FLOOR AS REQUIRED TO ACHIEVE THE OPERATIONAL PHASING.
- 5. PROVIDE TEMPORARY UTILITIES AS REQUIRED DURING PHASING.
- 6. WHEN REMOVING SIGNAGE, THE CONTRACTOR SHALL PROVIDE A TEMPORARY COVERING OF THE EXISTING SIGNAGE. THE CONTRACTOR SHALL PROVIDE A TEMPORARY "COSTCO WHOLESALE" SIGNAGE (SIZE COMPARABLE TO EXISTING SIGN) UNTIL PERMANENT SIGN IS INSTALLED. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS. PROVIDE ILLUMINATION FOR THE TEMPORARY SIGN. CONFIRM LOCATIONS WITH THE OWNER.

# COSTCO WHOLESALE CORPORATION

730 LAKE DRIVE  
SAQUAH, WA 98027  
T: 425.313.8100  
[www.costco.com](http://www.costco.com)

Westpark Dr, Ste 120  
n, VA 22102  
4 8484  
om

# BID



8'      16'      32'

6" = 1'-0"

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- 4 PERMIT SET
- 4 ISSUE FOR BID

0-19  
AGNES VINCENT  
N: AV  
ST 08, 2023

# LARGED EL E PLAN

G-1

For more information about the study, please contact Dr. John Smith at (555) 123-4567 or via email at [john.smith@researchinstitute.org](mailto:john.smith@researchinstitute.org).

# KEYNOTES

# GENERAL NOTES

- WORK, MATERIALS METHODS, ETC SHALL CONFORM TO ALL GOVERNING BUILDING CODES, REGULATIONS AND AGENCIES.

VIDE PEDESTRIAN OR VEHICULAR PROTECTION BARRICADES, TEMPORARY GUARD RAILS AND/OR CANOPIES AS REQUIRED BY THE LOCAL AUTHORITIES OR AS NECESSARY FOR PEDESTRIAN AND VEHICULAR SAFETY.

DEVELOPER'S NAME, ADDRESS AND PHONE NUMBER TO BE CONSPICUOUSLY POSTED AT THE CONSTRUCTION SITE DURING ALL PHASES OF CONSTRUCTION.

S IS NOTED AS EXISTING TO REMAIN. CONTRACTOR SHALL REPAIR AND/OR REPLACE, AT CONTRACTOR'S EXPENSE, ANY EXISTING FACILITIES TO REMAIN THAT ARE DAMAGED BY CONTRACTOR'S OPERATIONS.

PAVING OR CONCRETE THAT IS DESTROYED OR REMOVED AS A RESULT OF CONSTRUCTION SHALL BE REPLACED OR PATCHED BY THE GC IN A MANNER THAT MATCHES OR IMPROVES THE CONDITION OF THE EXISTING PAVING. SAWCUT ALL PAVEMENT EDGES PRIOR TO INSTALLING NEW PAVEMENT. DOWEL CONCRETE SURFACES WITH #4 DOWELS AT 18" OC.

IFY DIMENSIONS, LINES, GRADES, ELEVATIONS, AND SITE CONDITIONS PRIOR TO COMMENCING WORK. NOTIFY ARCHITECT PROJECT MANAGER IMMEDIATELY OF ANY DISCREPANCIES.

TRACTOR SHALL TAKE ADEQUATE PROTECTIVE MEASURES AND EXERCISE EXTREME CAUTION IN BORING OR TRENCHING SITE IN ORDER TO AVOID DAMAGING EXISTING UNDERGROUND UTILITIES. ANY DAMAGE TO EXISTING UNDERGROUND UTILITIES SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

CIVIL DRAWINGS FOR GRADING AND DRAINAGE INFORMATION. NO CLEAN-OUTS TO BE LOCATED IN THE UNDER CANOPY SLAB.

LANDSCAPE DRAWINGS FOR PLANTING AND IRRIGATION INFORMATION.

SHEET AG-2, AG-4 AND AG-6 FOR CANOPY ELEVATIONS, CANOPY REFLECTED CEILING PLAN, ROOF DETAILS, AND CANOPY MATERIALS.

ELECTRICAL DRAWINGS FOR SITE ELECTRICAL.

ELECTRICAL CONDUIT OR CABLE, WHERE SUBJECT TO VEHICULAR TRAFFIC SHALL HAVE A MINIMUM OF 16" COVER.

TANK AND ELECTRICAL DRAWINGS FOR FUEL PIPING RUNS AND ELECTRICAL CONDUIT RUNS UNDERGROUND STORAGE TANKS, DISPENSERS, LIGHT FIXTURES AND SECURITY CAMERAS. ELECTRICAL RUNS ARE SHOWN SCHEMATICALLY. THE BEST CONNECTION ROUTE SHOULD BE DETERMINED IN THE FIELD AND INSTALLED PER NATIONAL, STATE AND LOCAL CODE REQUIREMENTS.

EARLY LABELED MANUALLY OPERATED EMERGENCY SHUT-OFF SWITCH SHALL BE PROVIDED IN APPROVED LOCATION, WITHIN SEVENTY-FIVE (75) FEET OF, BUT NOT NEARER THAN FORTY-FIVE (17) FEET TO ANY DISPENSER.

IS IDENTIFYING THE EMERGENCY SHUT-OFF SWITCH SHALL BE LABELED EMERGENCY SHUTOFF.

RE EXTINGUISHER WITH A MINIMUM CLASSIFICATION OF 2A29BC SHALL BE PROVIDED AND LOCATED TO NOT BE MORE THAN SEVENTY-FIVE (75) FEET FROM ANY PUMP, DISPENSER, OR PIPE OPENING. LOCATE PER FIRE DEPARTMENT REQUIREMENTS.

VERIFICATION AND COORDINATION:

VEY DIMENSIONS: DIMENSIONS OF SITE CONDITIONS ARE FROM SURVEY BY OTHERS. THE ARCHITECT BEARS NO RESPONSIBILITY FOR ACCURACY OF SAME.

TING UTILITY LOCATION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF THE LOCATION AND LOCATION OF ALL EXISTING UNDERGROUND AND ABOVE GROUND UTILITIES. EXISTING UTILITIES SHOWN HAVE BEEN OBTAINED FROM AVAILABLE RECORDS AND ARE SHOWN FOR CONVENIENCE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL UTILITY LOCATIONS NOT SHOWN. CARE SHOULD BE TAKEN TO AVOID DAMAGE OR DISTURBANCE TO EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO AN EXISTING UTILITY.

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ATIONS NOT SHOWN. CARE SHOULD BE TAKEN TO AVOID DAMAGE OR DISTURBANCE TO  
TING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE TO  
UTILITY.

## LEGEND

JCGI NOTES:

- 1) SJ HAVE BEEN RELOCATED TO END OF ISLAND FORMS
- 2) SJ ADDED AT TANK SLAB NEED TO BE AT A MINIMUM OF 2' FROM MAN WAY LIDS TO AVOID SAW-CUTS IN CONCRETE CROWN AT MAN-WAYS
- 3) DIAGONAL CUTS HAVE BEEN ADDED TO ELIMINATE AS MANY DEAD-END SAW-CUTS AS POSSIBLE
- 4) WHERE SAW CUT MEET CURB LINE TOOLED JOINTS OR SAW-CUTS NEED TO CARRY THROUGH TO ELIMINATE CRACKING AT CURBS

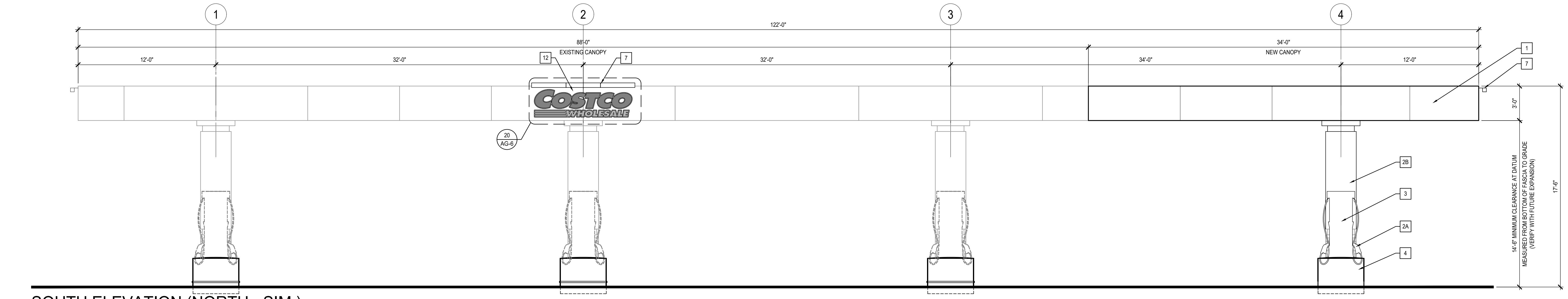
**NOTE:**  
FOR FUEL FACILITY SIGNAGE,  
SEE TABLE ON AG-2

TANK AND FUELING CONCRETE  
SLABS NOTE:  
CJ - CONSTRUCTION JOINT,  
SEE 16 / AG-6  
SJ - SAW-CUT SHRINKAGE JOINT,  
SEE 17 / AG-6

This detailed architectural site plan illustrates the layout of a gas station and convenience store complex. The plan includes a central building with a canopy entrance, a fuel island with six fuel pumps, and a long gas line. Various trees and shrubs are scattered throughout the property. A large sign on the building reads "DO NOT ENTER". The plan also shows a "STOP" sign and several "CAUTION" signs. Numerous callouts and labels provide specific dimensions and details for various parts of the facility.

# **ENLARGED FUEL SITE PLAN**

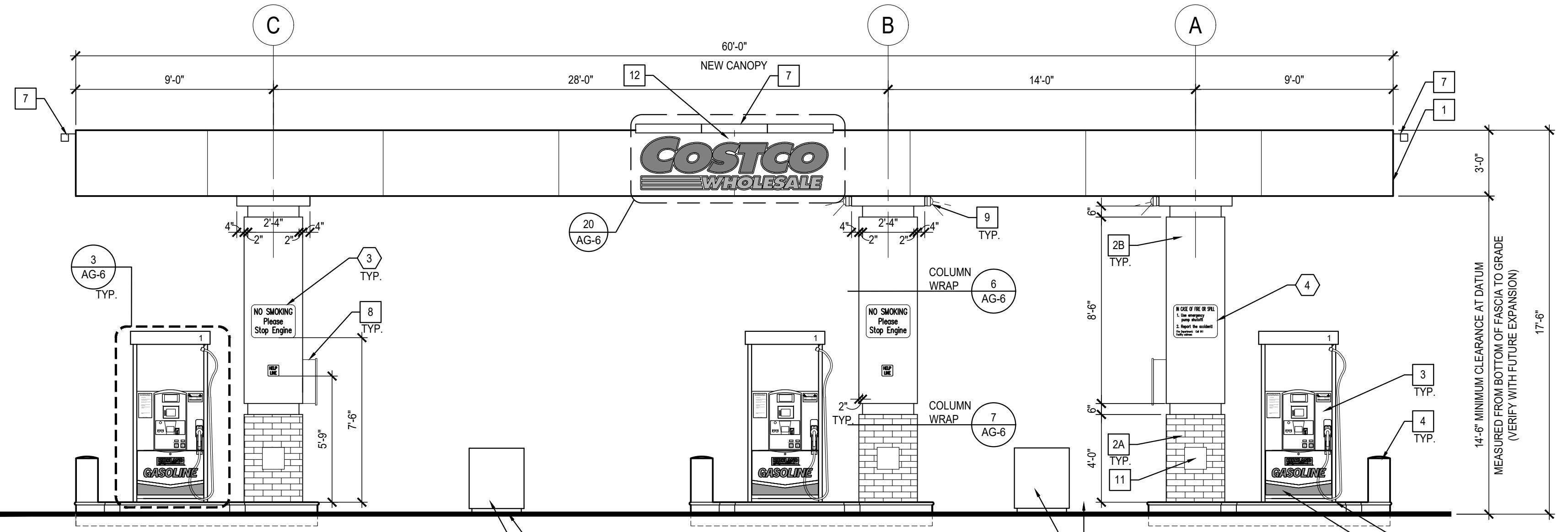
SCALE: 1/16"=1'-0"



1 SOUTH ELEVATION (NORTH - SIM.)

SCALE: 1/4" = 1'-0"

0120



6 EAST ELEVATION

SCALE: 1/4" = 1'-0"

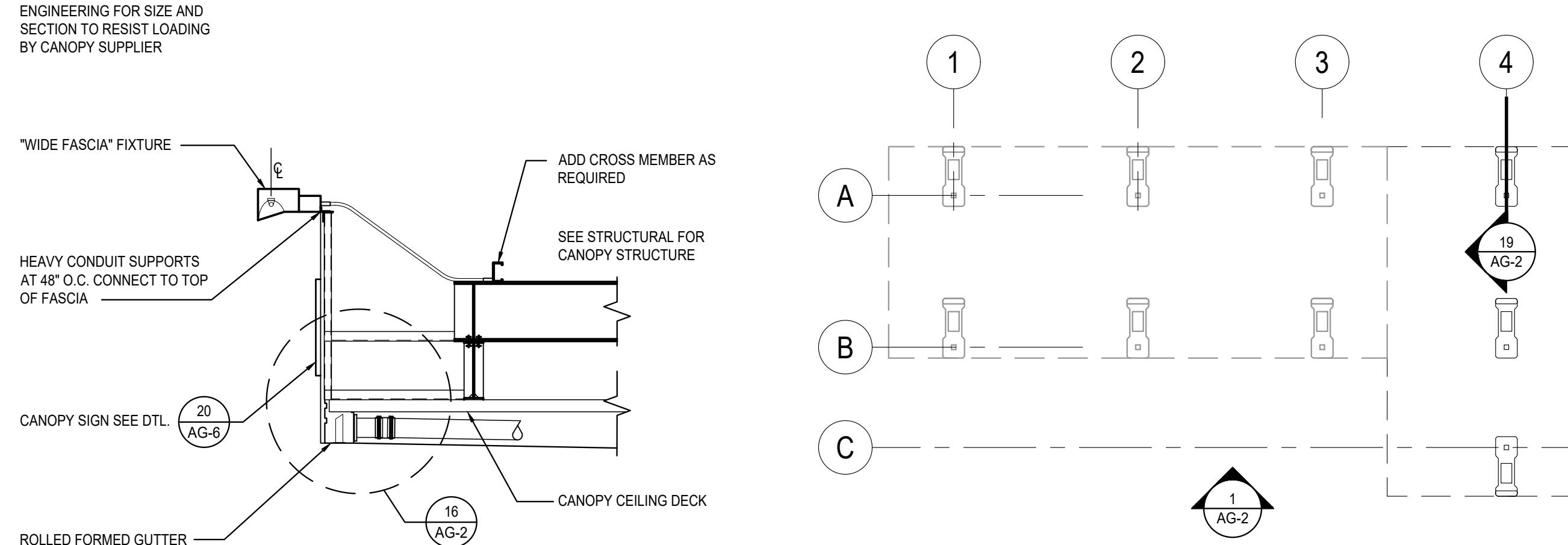
KEYNOTES			
1 PAINTED METAL FASCIA PANEL, COLOR TO BE "UNI-TEX" LIGHT CASHMERE #P-10P - TO MATCH EXISTING			
2A BRICK BASE TO MATCH WAREHOUSE. COLOR: INTERSTATE BRICK - DESERT SAND			
2B STEEL TUBE COLUMN WITH PAINTED SHEET METAL COLUMN WRAP - TO MATCH FASCIA			
3 ACCESSIBLE MULTIPRODUCT DISPENSER			
4 CONCRETE-FILLED METAL FORMED GUARD AT ENDS OF ISLANDS - TOP OF GUARD AT 30" ABOVE TRAFFIC SURFACE - PAINT SIDES ONLY WITH GLOSS BLUE, REFER TO SPECIFICATION			
5 RAISED CONCRETE ISLAND WITH METAL EDGE FORM - PAINT SIDES ONLY WITH GLOSS BLACK, REFER TO SPECIFICATION			
6 WASTE RECEPTOR, BOLT DOWN, CENTER OF EACH ISLAND (SOIC)			
7 CANOPY FASCIA SIGN LIGHT FIXTURE (SOIC) - REFER TO DETAIL 11 AG-2			
8 FIRE EXTINGUISHER AND CABINETS MOUNTED ON COLUMN SIDE AWAY FROM DISPENSER - FIRE EXTINGUISHER CABINET TO BE BROOKS MODEL # MARK II, RED CABINET WITH CLEAR COVER (OR EQUAL) - FIRE EXTINGUISHER AND CABINET, BY GC			
9 VIDEO CAMERA - VERIFY LOCATION WITH OWNER CONSTRUCTION PROJECT MANAGER. GC SHALL RUN CONDUIT AND INSTALL 3" ROUND OR OCTAGONAL BOX FOR MOUNTING CAMERAS - SEE ELECTRICAL DRAWINGS			
10 CAULK PERIMETER OF DISPENSER BASE WITH PETROLEUM RESISTANT SEALANT - SEE T-DWGS, TYPICAL			
11 12" x 12" ELECTRICAL ACCESS PANELS, SUPPLIED BY G.C.			
12 EXISTING SIGN TO BE REMOVED AND PREPARED FOR NEW SIGNAGE.			

GENERAL NOTES			
A. SEE ENLARGED SITE PLAN FOR ADDITIONAL GENERAL NOTES AND ADDITIONAL DETAIL REFERENCES.			
B. SEE DETAIL 5 AG-7 FOR MOUNTING.			
C. SEE DETAIL 8 AG-7 FOR MOUNTING.			
D. SEE DETAIL 11 AG-2 FOR MOUNTING.			
E. SEE DETAIL 12 AG-6 FOR MOUNTING.			
F. SEE DETAIL 13 AG-2 FOR MOUNTING.			
G. SEE DETAIL 14 AG-2 FOR MOUNTING.			
H. SEE DETAIL 15 AG-2 FOR MOUNTING.			
I. SEE DETAIL 16 AG-2 FOR MOUNTING.			
J. SEE DETAIL 17 AG-2 FOR MOUNTING.			
K. SEE DETAIL 18 AG-2 FOR MOUNTING.			
L. SEE DETAIL 19 AG-2 FOR MOUNTING.			
M. SEE DETAIL 20 AG-6 FOR MOUNTING.			
N. SEE DETAIL 21 AG-2 FOR MOUNTING.			
O. SEE DETAIL 22 AG-2 FOR MOUNTING.			
P. SEE DETAIL 23 AG-2 FOR MOUNTING.			
Q. SEE DETAIL 24 AG-2 FOR MOUNTING.			
R. SEE DETAIL 25 AG-2 FOR MOUNTING.			
S. SEE DETAIL 26 AG-2 FOR MOUNTING.			

6 EAST ELEVATION

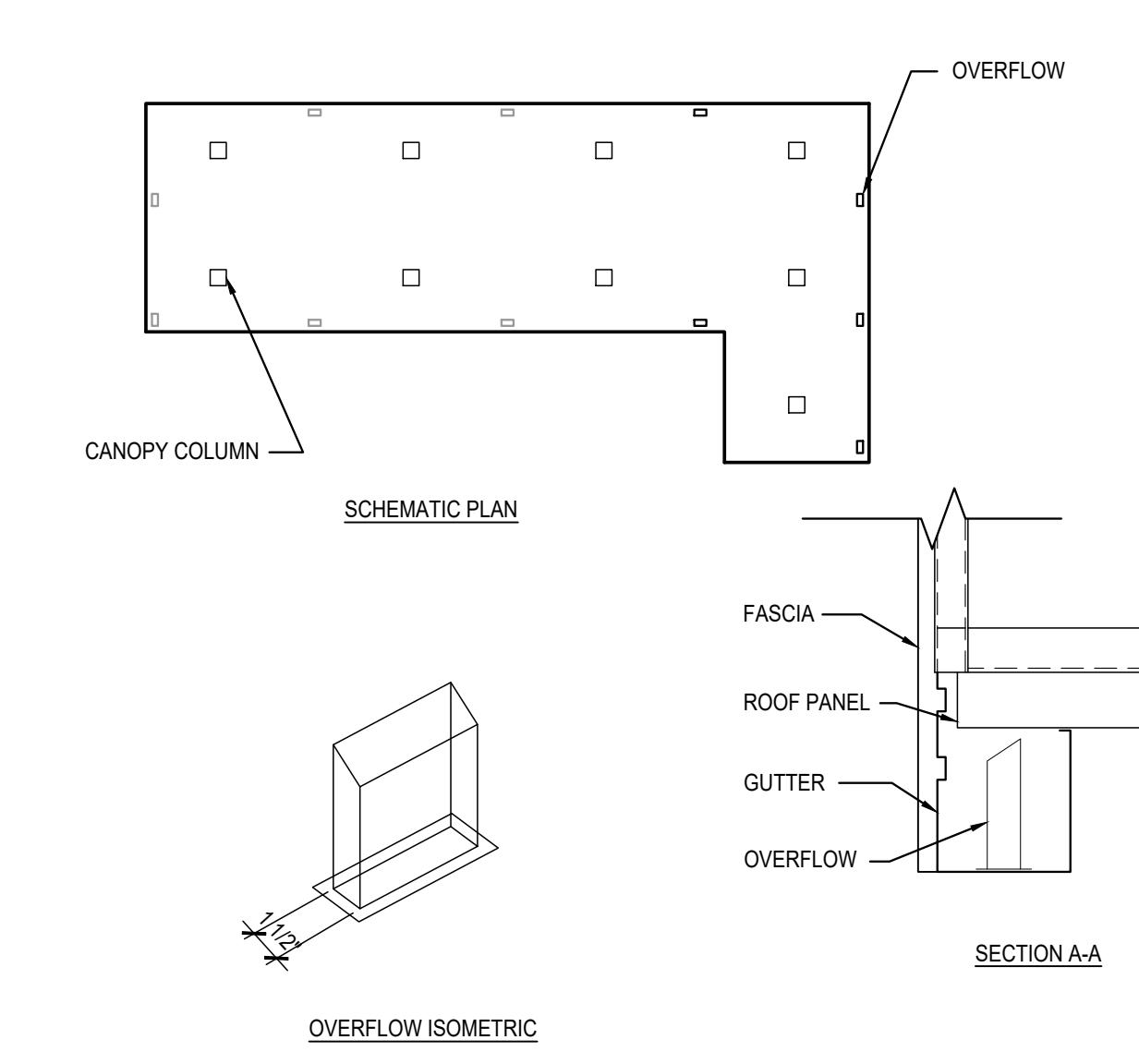
SCALE: 1/4" = 1'-0"

0120



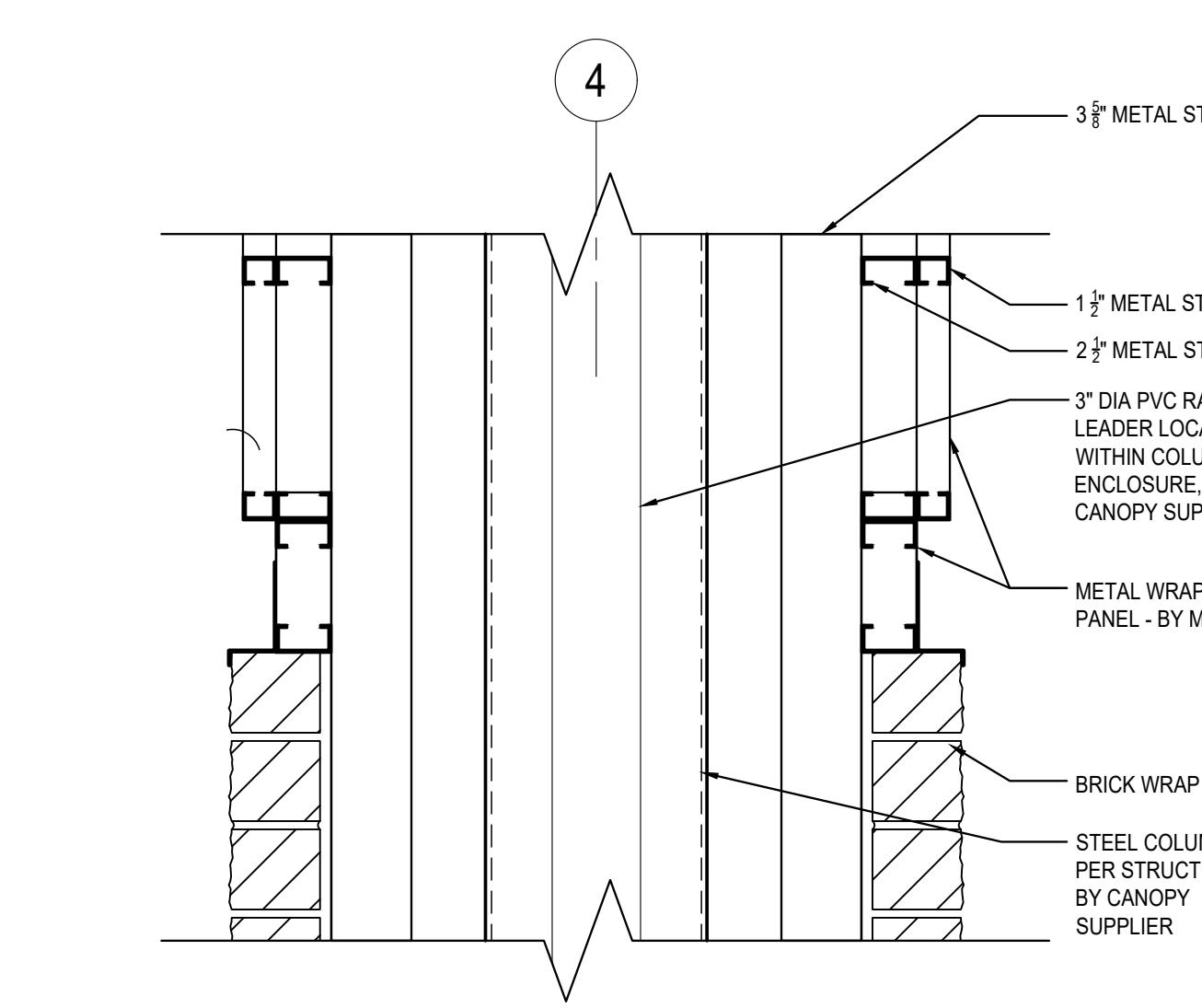
11 CANOPY FASCIA LIGHTING

SCALE: 1/2" = 1'-0"

KEY PLAN  
SCALE: NTS

13 METAL TO METAL DETAIL

SCALE: 1-1/2" = 1'-0"



16 CANOPY GUTTER AT DRAIN CONNECTION

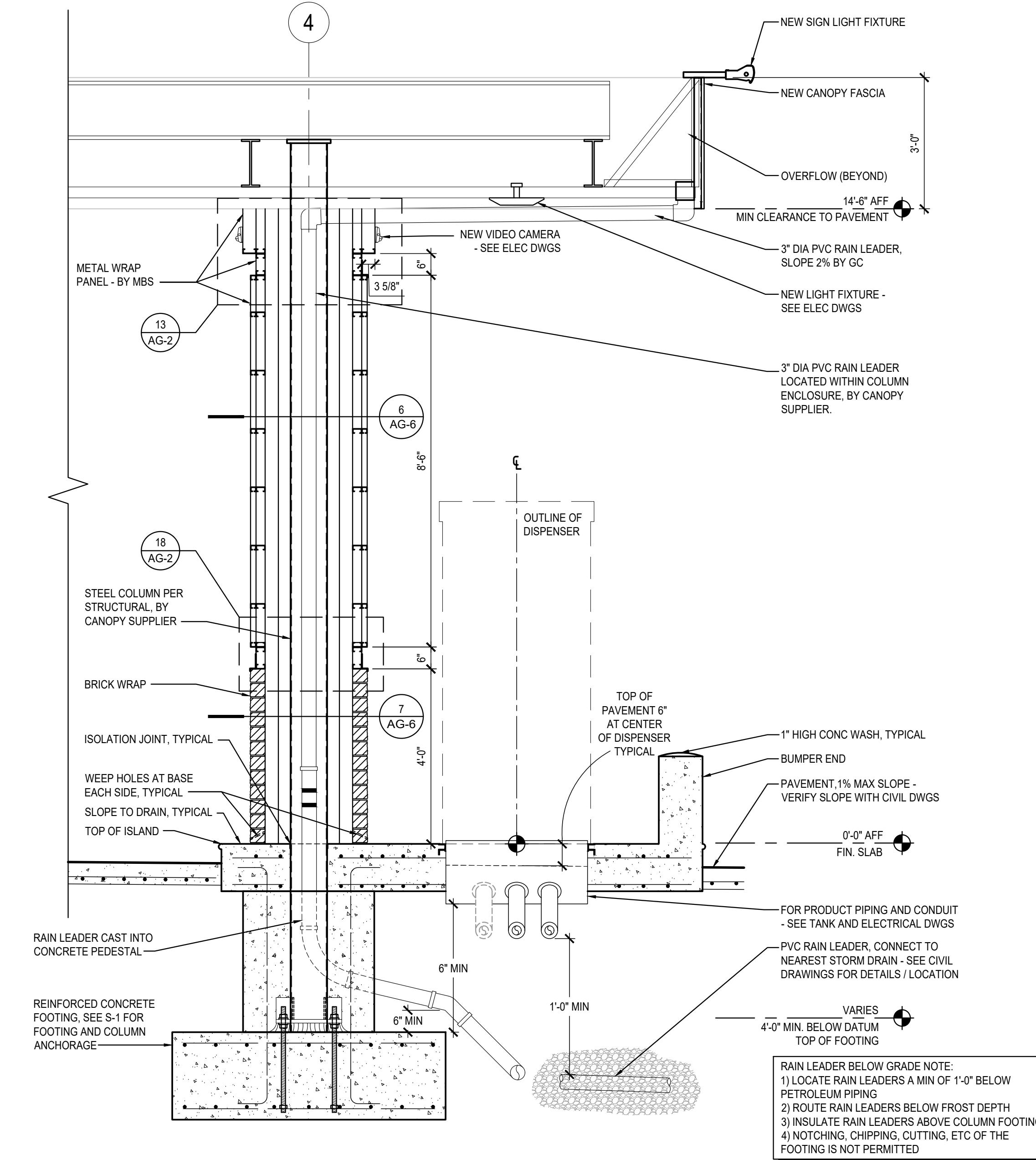
SCALE: 1" = 1'-0"

17 CANOPY OVERFLOW

SCALE: 1-1/2" = 1'-0"

18 BRICK TO METAL DETAIL

SCALE: 1-1/2" = 1'-0"



19 CANOPY FASCIA / COLUMN SECTION

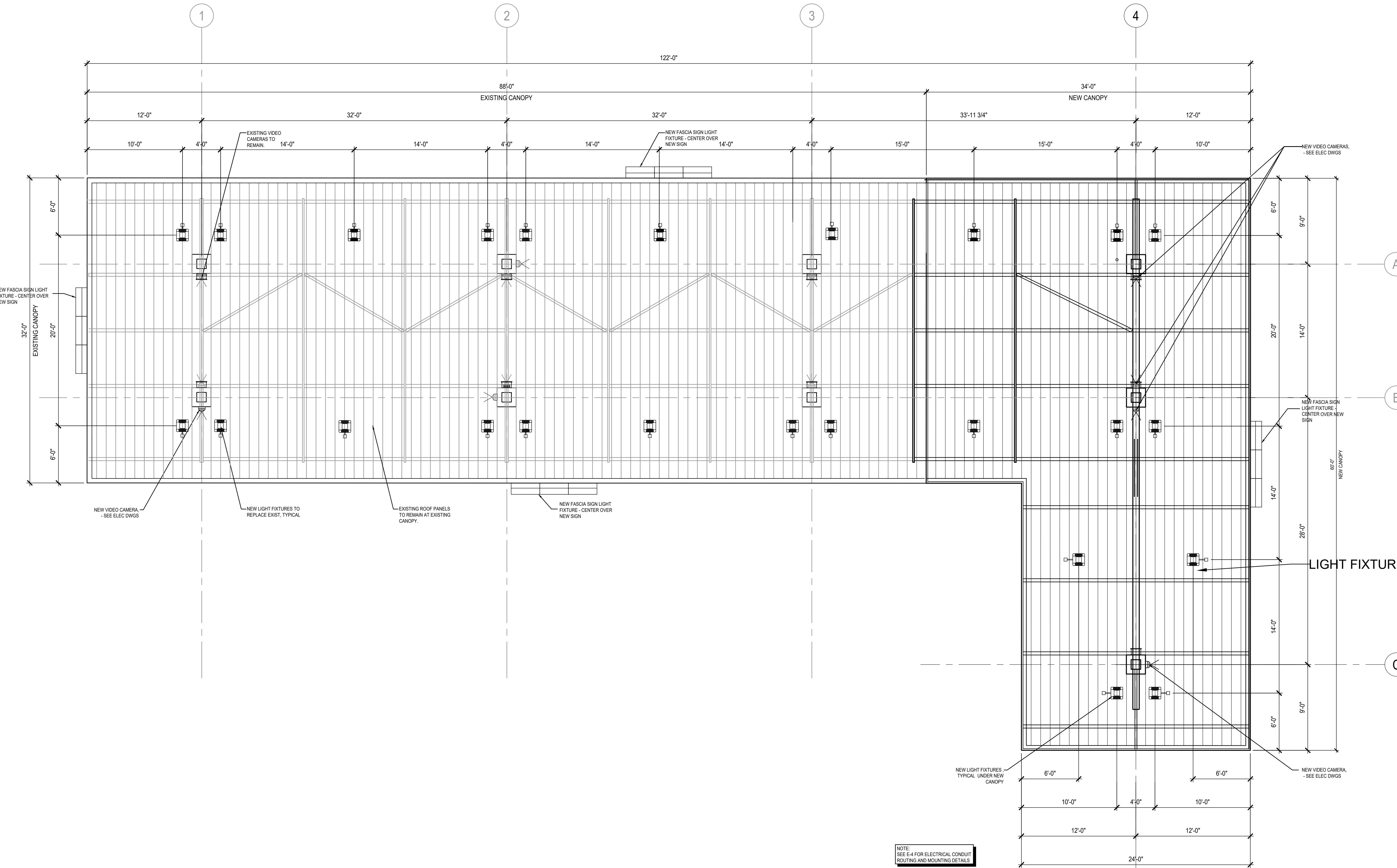
SCALE: 1/2" = 1'-0"

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△	DESCRIPTION
02/22/24	PERMIT SET
03/05/24	ISSUE FOR BID

98-150-19  
PM: AGNES VINCENT  
DRAWN: AV  
AUGUST 8, 2023

CANOPY ELEVATIONS AND SECTIONS  
AG-2



LEGEND	
	LED LIGHT FIXTURE (SOIC) - SEE ELEC DWGS
	LED LIGHT FIXTURE, SECURITY (SOIC) - SEE ELEC DWGS
9 VIDEO CAMERA (SIO) - SEE ELEC DWGS	
REFLECTED CEILING PLAN NOTES:	
EXISTING CANOPY LIGHTS TO BE REMOVED AND REPLACED WITH NEW LIGHTS.	
EXISTING FASCIA SIGN LIGHT FIXTURE TO BE REMOVED AND REPLACED WITH NEW FIXTURE.	
REFER ELECTRICAL DRAWINGS FOR EXACT LOCATION AND TYPE OF ELECTRICAL FIXTURES.	

DATE	DESCRIPTION
02/22/24	PERMIT SET
03/05/24	ISSUE FOR BID

CANOPY REFLECTED CEILING PLAN	
98-4150-19	PM: AGNES VINCENT DRAWN: AV AUGUST 8, 2023

