

EPITOME
OF
URBAN
LUXURY

KALA[®]

DEVELOPER
NAVPADH
INFRASTRUCTURE

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kalatirth
premium

4 BHK IMPERIAL LIVING
@ MOTERA, AHMEDABAD

4
BHK
IMPERIAL
LIVING



PERFECT
FOR
WONDERFUL
LIFE

Coming home is not just about a place, but about experiencing most amazing and joyful feeling in the world.

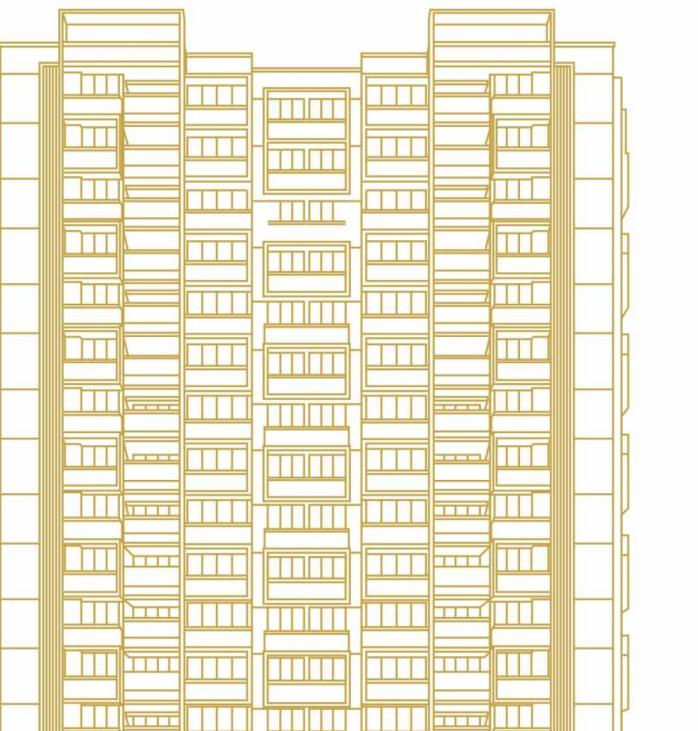
Presenting **Kalatirth Premium**, a home you will absolutely be proud to own and flaunt.



GRANDEUR OF STUNNING ELEVATION

Just one look & you will be spell bound by its architectural design & opulent beauty.

Living here is sheer happiness & prestige.





ESSENCE OF MODERN LIFESTYLE



24 HRS. WATER SUPPLY
FROM TUBE WELL & AMC



PNG PIPE LINE TO
EVERY FLAT



GRAND ENTRANCE
FOYER



TWO ELEVATORS



GROUND FLOOR &
DOUBLE BASEMENT PARKING



CENTRALLY FITTED DTH
CONNECTION



WELL LANDSCAPED
GARDEN



SEATING AREA



CHILDREN
PLAY AREA



24 HRS. CCTV
SURVEILLANCE CAMERA



LUXURY OF EVERYDAY DELIGHTS

Life is nothing but a collage of wonderful memories.

Indulge in amazing lifestyle amenities with your loved ones to make each day special.



SECOND BASEMENT PLAN

N



FIRST BASEMENT PLAN

N





INSIGNIA OF
SUPREME COMFORTS





GROUND FLOOR PLAN

LEGEND

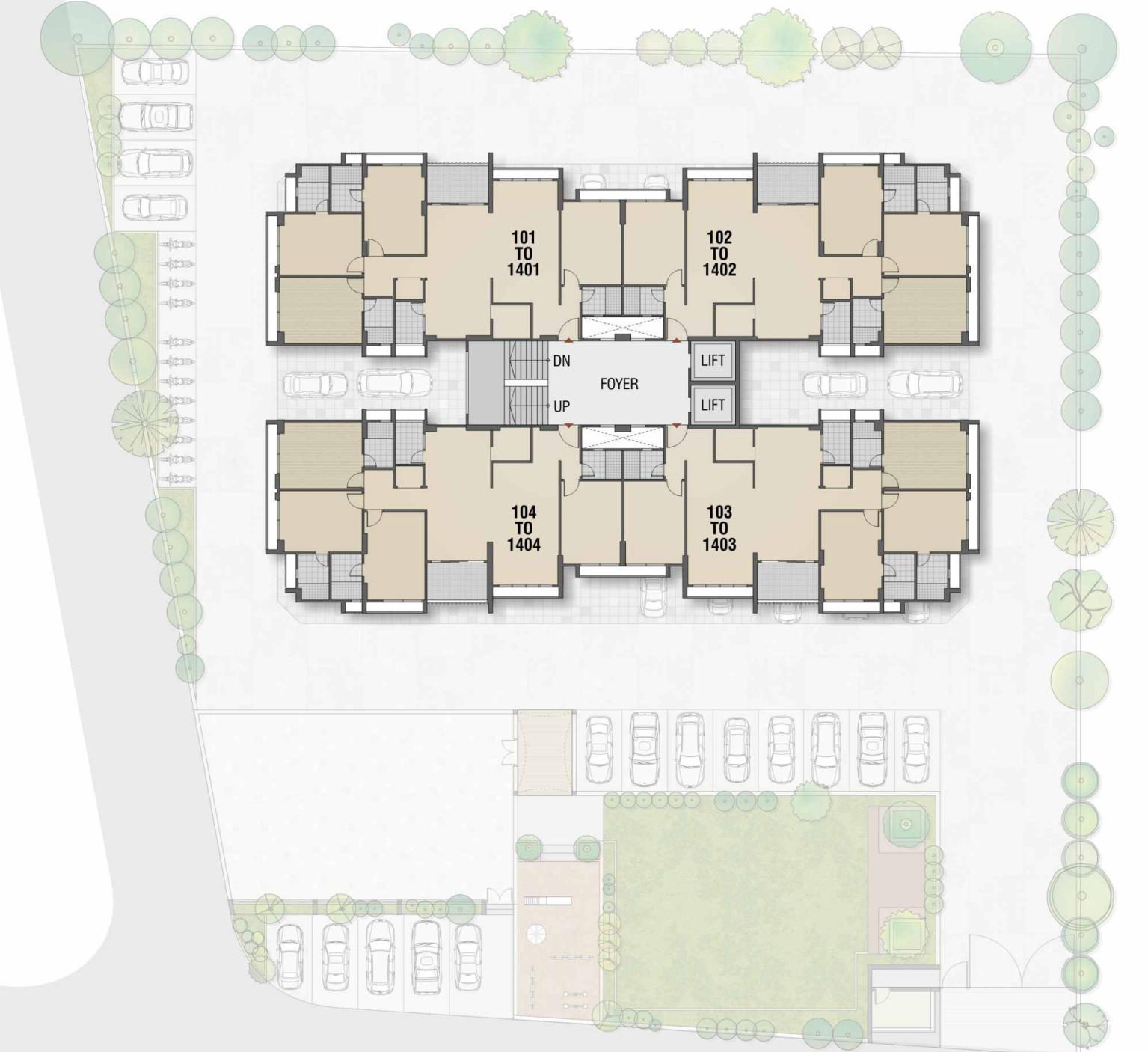
- | | |
|------------------------|-------------------------|
| 01) Entry / Exit Gate | 06) Visitor Parking |
| 02) Security Cabin | 07) Entrance Foyer |
| 03) Seating Area | 08) Ramp to Basement |
| 04) Common Plot | 09) Car Parking |
| 05) Children Play Area | 10) Two Wheeler Parking |



18 MTS. WIDE T.P.S. ROAD



TYPICAL FLOOR PLAN



18 MTS. WIDE T.P.S. ROAD



All measurements are without plaster



BEAUTY OF MAJESTIC LIVING

Your gorgeous oasis of bliss and opulence is an epitome of elegance.

Designed to inspire awe, each corner of your home is created to absolute perfection





DINING AREA



KITCHEN



BEDROOM



SPECIFICATIONS



FLOORING

- Italian type vitrified PGVT/Double charge 1mt.x 1mt.
- 1 Master bedroom wooden flooring



DOORS & WINDOWS

- Decorative main entrance door
- Other bedrooms : Flush door
- Fittings: S.S. hinges with Europa make Locks
- Door frame : Wooden (Imported wood)
- Windows sill : Polished granite sill (Steel grey)
- Windows : Aluminum anodized sections



KITCHEN

- Platform : Mirror polished black granite with S.S. Sink
- Decorative tile dado up to lintel level on the walls above the platform
- Shelves in the store room (3 pc)



ELECTRICAL

- Main distribution board with Schneider make ELCB & MCBS
- Concealed copper wiring (Polycab make) with adequate numbers of points in all rooms
- Schneider switches
- Provision for DTH, telephone and internet points
- 3 phase 10 KW power to each Flat



BATHROOMS

- Wall : Decorative tiles dado up to lintel level
- Floor : Anti skid floor tiles
- Single lever system in master bedroom



WASH AREA

- Kota stone flooring with dado of glazed tiles
- Separate area for washing machine with electric & plumbing point



PLUMBING

- CPVC / UPVC water supply pipes (Supreme/Astral make)
- Branded bathroom fittings(Roca/Grohe/Duravit/ American standards or Equivalete make)



EXTERNAL & INTERNAL FINISHES

- External : Double coat plaster with acrylic paint
- Internal : Single coat mala plaster with putty finish



AIR CONDITIONER

- Branded air conditioner split units in all rooms (Mitsubishi/Daikin make)
- Drawing Room - 2 Ton - 5 Star
- Dining & Bedroom - 1, 2, 3 & 4 - 1.5 Ton - 5 Star



DISCLAIMER: • Stamp duty, Registration charges, Legal documentation charges, Advance maintenance, Fix maintenance charges, AMC charges and Torrent electrical / GEB charges including cable and sub- station cost shall be borne by the purchaser • Service tax, VAT, GST any additional charges, taxes, cess or duties levied by the government/local authorities prior, during or after the completion of the scheme shall be borne by the purchaser • In the interest of the continual developments in design and quality of construction, the developer reserves all rights to make any changes in the scheme, including technical specifications, design, planning and layout at any stage. All the purchasers shall abide by such changes • Changes / Alteration of any nature, including technical elevations, exterior color scheme of the apartments or any other change affecting the overall design concept and outlook of the scheme by any purchasers are strictly not permitted during or after the completion of the scheme • The brochure is intended only to convey the essential design and technical features of the scheme and shall not be construed to form part of the legal document. Agreement for sale shall be final and binding to the purchaser. • All elements, objects, treatments, materials, equipments and colour schemes shown are artist's impressions. Actuals may be different as per architect's designs. • All dimensions shown here are unfinished to un finished wall and of the longest measure of the area

CONNECTIVITY



Airport

8.80 km



Propose
Metro Station

01.00 km



School

01.70 km



Ahmedabad
Railway Station

11.00 km



Commercial Hub

0.65 km



Public Garden

0.40 km