

ABBREVIATIONS			
or bolt		PNT	paint
above	PT	pressure treated	
area drain			
above finish floor	QT	quarry tile	
M	aluminum		
OX	annunciator	R	riser
H	approximate	RD	roof drain
O	architectural	REF	refrigerator
G	automatic	REINF	reinforced
G	avenue	REQ'D	required
G	American wire gauge	REV	revision
G	bottom of	RFG	roofing
G	bituminous	RM	room
G	building	RMV	remove
		RO	rough opening
J	center line	S	South
J	ceiling	SAFB	sound attenuation
J	centimeter	batt insulation	
J	concrete masonry unit	SAN	sanitary
J	cleanout	SECT	section
J	column	SF	square foot (feet)
J	concrete	SIM	similar
J	continuous	SQ	square
J	coordinate	SS	stainless steel
J	center	STC	sound transmission
J	cubic	class	
J	cold water	STD	standard
J	double	STL	steel
J	degree	STRUCT	structural
J	demolish	T	tread
J	department	T/	top of
J	detail	T&B	top and bottom
J	diameter	T&G	tongue and groove
J	diagonal	TEL	telephone
J	down	TEMP	tempered
J	downspout	TOPO	topography(ic)
J	drawing	TYP	typical
C	East	UNO	unless noted otherwise
C	electrical	UTIL	utility
C	emergency		
T	existing	VAC	vacuum
T	exterior	VTR	vent through roof
	face of	VIF	verify in field
	fire alarm	W	West
	floor clean out	W/	with
N	floor drain	W/O	without
N	foundation	WC	water closet
N	finish floor	WH	water heater
N	floor	WIN	window
N	foot (feet)	WWF	welded wire fabric
R	footing		
R	furring	YD	yard
V	gauge		
V	galvanized		
V	ground		
B	gypsum wall board		
B	gypsum		
/H	hose bib		
/R	hardwood		
	hardware		
	hour		
	height		
	hot water		
JUL	inside diameter		
	inches		
	include(d)(ing)		
	insulation		
	interior		
	knockout		
	kitchen		
)	laminate(s)		
)	lavatory		
)	pound(s)		
)	landlord		
)	light		
NT	meter		
	maintenance		
	masonry		
	maximum		
H	mechanical		
Z	metal		
Z	mezzanine		
Z	manufacturer		
Z	minimum		
C	miscellaneous		
C	millimeter		
L	masonry opening		
L	mullion		
C.	North		
C.	not in contract		
I	number		
I	nominal		
I	not to scale		
G	overall		
G	on center		
G	outside diameter		
G	overhead		
G	opening		
M	plate		
G	plastic laminate		
MB	plumbing		
MB	plumbing		
MB	panel		

ADD CHICAGO NOTES IF NEEDED

PVOLVE

ADDRESS LINE 1
CITY, STATE, ZIP CODE

SCOPE OF WORK

FITNESS STUDIO - TENANT IMPROVEMENT OF AN EXISTING TENANT SPACE. WORK TO INCLUDE NON-BEARING INTERIOR PARTITIONS, ACCESSIBLE RESTROOMS, MILLWORK, PLUMBING, MECHANICAL, AND ELECTRICAL.

<p>MPE ENGINEER</p> <p>NEVILLE ENGINEERING SERVICE</p> <p>1221 W LAKEVIEW CT. ROMEOVILLE, ILLINOIS 60446</p>	<p>MPE ENGINEER</p> <p>ALPHA MEP ORANGE, CALIFORNIA</p>
<p>CONTACT: JOHN NEVILLE JNEVILLEENG.COM</p>	<p>CONTACT: NATHAN GABEHART SENIOR MECHANICAL/ PROJECT MANAGER (P) 317.431.1624 NATEG@ALPHAMEP.NET</p>

E ENGINEER
SE ENGINEERING
5 MERUS COURT
LOUIS, MO 63026
636.349.1600

CONTACT:
HN VIRTUDAZO
INCIPLE
636.349.1600

CONTACTS

DESIGNER

DxU, architects
412 S. WELLS ST.
SECOND FLOOR
CHICAGO, IL
(P) 312.955.0334

SELECT
ENGINEER

DRAWING INDEX

DEFERRED SUBMITTAL:

- FIRE SPRINKLER SYSTEM
- FIRE ALARM SYSTEM
- EXTERIOR SIGNAGE

REASON FOR ISSUE	
Project Number: 24-328	Approved By: JD
Drawn By: VY	Date
No. Issue	06-18-2024
FOR PERMIT	
CONSULTANTS	
DxU ARCHITECTS 412 S. Wells Street • 2nd Floor • Chicago, IL 60607 P: 312.955.0334 • dxuarch.com	
PROJECT	
PVOLVE - WALNUT CREEK, CA	
1845 YGNACIO VALLEY WALNUT CREEK, CA 94598	
LICENSE EXPIRES ON: MM-DD-YYYY DATE OF SIGNATURE: MM-DD-YYYY	
T1-01	
These documents are confidential and shall be in the possession of authorized individuals only. These documents are the exclusive property of DxU architects and shall not be copied or reproduced without written authorization.	

CONSTRUCTION BMP GENERAL NOTES

1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "STORM WATER STANDARDS MANUAL" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMPS AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST-CONSTRUCTION BMPS.

2. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLET PROTECTION. INLET PROTECTION IN THE PUBLIC RIGHT-OF-WAY MUST BE TEMPORARILY REMOVED PRIOR TO A RAIN EVENT TO ENSURE NO FLOODING OCCURS AND REINSTALLED AFTER RAIN IS OVER.

3. ALL CONSTRUCTION BMPS SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.

4. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED CONTACT PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.

5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER BMPS AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES, AND/OR STOP WORK NOTICES.

6. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS, AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.

7. THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION-RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMPS THAT ARE ACCEPTABLE TO THE CITY RESIDENT ENGINEER AND AS INDICATED IN THE SWPPP/WPCP.

8. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.

9. IF A NON-STORM WATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE. PRIOR TO RESUMING CONSTRUCTION ACTIVITY, ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.

10. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMPS WHEN RAIN IS IMMINENT.

11. THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMPS TO WORKING ORDER YEAR ROUND.

12. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES.

13. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPounded WATERS CREATE A HAZARDOUS CONDITION.

14. ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROLS FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE CITY RESIDENT ENGINEER.

15. AS NECESSARY, THE CITY RESIDENT ENGINEER SHALL SCHEDULE MEETINGS FOR THE PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED CONTACT PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER, AND THE CITY RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMPs RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.

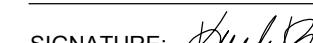
16. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CONDUCT VISUAL INSPECTIONS AND MAINTAIN ALL BMPs DAILY AND AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMPs SHALL BE CONDUCTED BEFORE, DURING, AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMPs AS SOON AS POSSIBLE AS SAFETY ALLOWS.

17. CONSTRUCTION ENTRANCE AND EXIT AREA. TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASCA FACT SHEET TC-10 CALTRANS FACT SHEET TC-01 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS. WIDTH SHALL BE 10' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BYPASSING THE ENTRANCE.

(a) NON-STORM WATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM WATER MANAGEMENT AND DISCHARGE CONTROL".

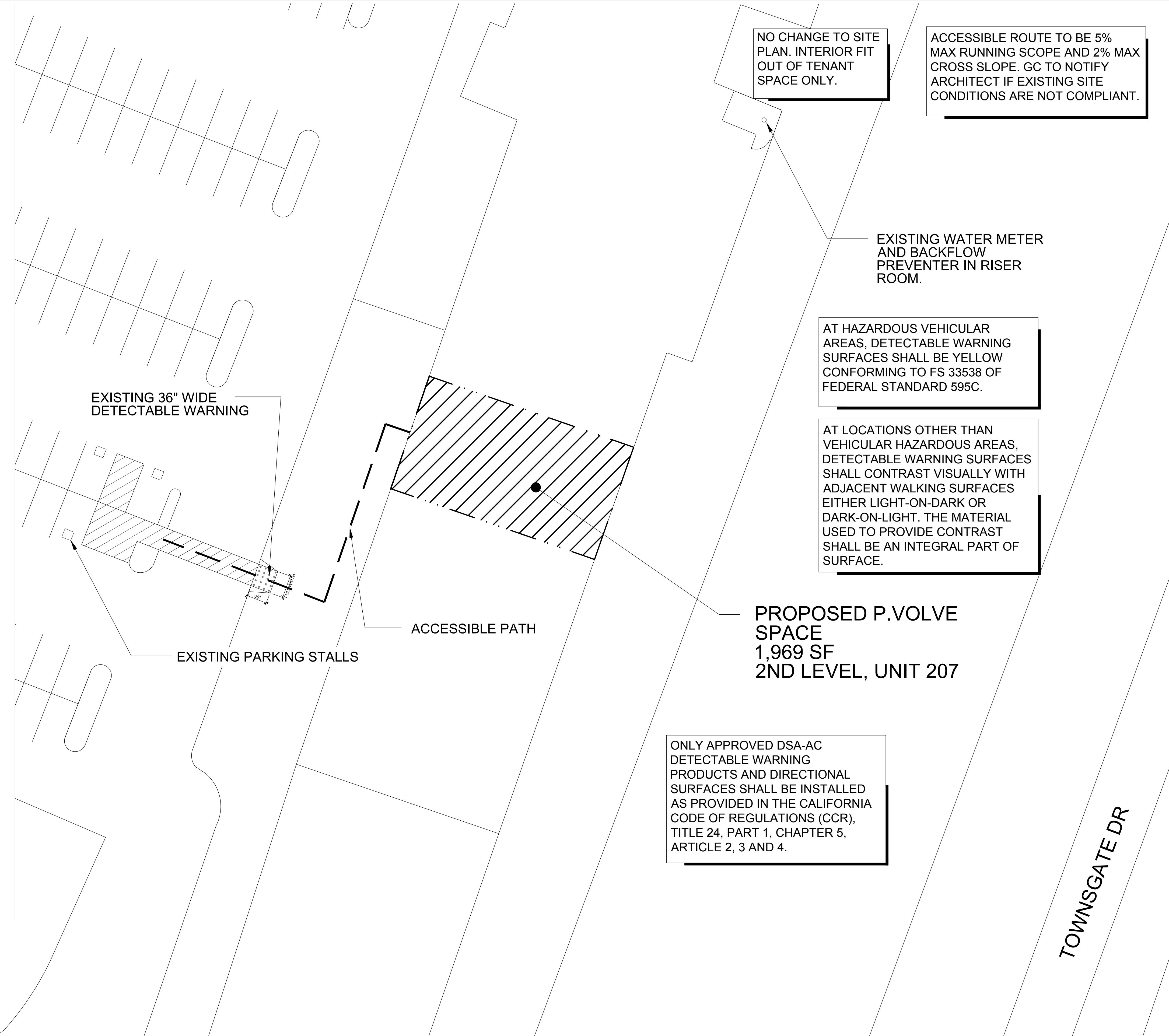
I AM THE DESIGNER/OWNER IN RESPONSIBLE CHARGE OF THIS TENANT IMPROVEMENT PROJECT. I HAVE INSPECTED THE SITE PREVIOUSLY AND CONFIRM THAT EXISTING CONDITIONS ARE IN FULL COMPLIANCE WITH CURRENT SITE ACCESSIBILITY REQUIREMENTS TO THE EXTENT REQUIRED BY LAW.

PRINT NAME: KAYLEE ROSS - ARCHITECT

SIGNATURE: 

DATE: 02/09/2024

IF THE CITY BUILDING INSPECTOR DETERMINES NON-COMPLIANCE WITH ANY ACCESSIBILITY PROVISIONS, A COMPLETE AND DETAILED REVISED PLANS CLEARLY SHOWING ALL PROPOSED MODIFICATIONS AND THE PROPOSED MODIFICATIONS TO MEET CURRENT ACCESSIBILITY REQUIREMENTS (INCLUDING SITE PLAN, FLOOR PLANS, DETAILS, ETC.) WILL BE SUBMITTED TO THE DEPARTMENT FOR REVIEW AND APPROVAL.



PROXIMITY MAP

SCALE = NTS

EGRESS

OCCUPANCY LOAD CALCULATION

AREA DESCRIPTION:	AREA	AREA PER OCCUPANT	TOTAL OCCUPANTS
EXERCISE STUDIO AREAS	1326.6	50 GROSS	27 (XX USED)
STORAGE AREAS	169.8	300 GROSS	1
LOCKER ROOM	439.2	50 GROSS	9
SALES AREA	333.9	60 GROSS	6
OFFICE	120.8	150 GROSS	1
TOTAL			44
AUTOMATIC FIRE PROTECTION SYSTEM	YES		
EGRESS REQUIREMENTS	REQUIRED	PROVIDED	
EXIT TRAVEL DISTANCE (TABLE 1017.2)	250' OR LESS	95'-9" OR LESS	
COMMON PATH OF TRAVEL (TABLE 1006.1)	75' OR LESS	20'-8" OR LESS	
EGRESS DOOR WIDTH	36" MIN	36"	
EGRESS CORRIDOR WIDTH	36" MIN (OCC<50)	44" MIN	
MINIMUM NUMBER OF EXITS	1 MIN (OCC<50)	3	
MINIMUM EXIT WIDTH	36" MIN (OCC<50)	44" (AISLE WIDTH) 36"(DOORS)	

BUILDING CODES

BUILDING	2018 INTERNATIONAL BUILDING CODE
MECHANICAL	2018 INTERNATIONAL MECHANICAL CODE
ELECTRICAL	2017 NATIONAL ELECTRICAL CODE
PLUMBING	ILLINOIS STATE PLUMBING CODE
ENERGY	2018 INTERNATIONAL ENERGY CONSERVATION CODE
FUEL GAS	2018 INTERNATIONAL FUEL GAS CODE
FIRE CODE	2018 INTERNATIONAL FIRE CODE
GREEN BUILDING	2018 INTERNATIONAL GREEN CONSTRUCTION CODE
LIFE SAFETY	2018 NFPA 101 (NATIONAL FIRE PROTECTION ASSOC.)
ACCESSIBILITY CODE	2018 ILLINOIS ACCESSIBILITY CODE

AS AMENDED WITH ALL CITY AMENDMENTS & CODES

ADA COMPLIANCE NOTES

ADA COMPLIANT SERVICE AREA:	REQUIREMENT CALCULATION	PROVIDED
LAVATORY	ADA ACCESSIBLE WITH SCALD PROTECTION	YES
DRINKING FOUNTAIN	ADA ACCESSIBLE	YES
LOCKERS	5% OF 30 = 2	2
CHECK IN DESK	36" LINEAR AT 34" HEIGHT MAX	YES

ACCESSIBILITY NOTES: PROJECT MUST FULLY COMPLY & MEET ALL ACCESSIBILITY REQUIREMENTS OF THE AMERICAN DISABILITIES ACT, THE LOCAL CODE ACCESSIBILITY CODE & THE 2018 INTERNATIONAL BUILDING CODE (MOST RESTRICTIVE REQUIREMENTS GOVERN).

PLUMBING REQUIREMENTS

MIN. NO. OF PLUMBING FIXTURES	REQUIREMENT CALCULATION		MALE	FEMALE	PROVIDED
	OCCUPANCY LOAD (PER CPC CH. 4, TABLE 4-1)	MALE			
WATER CLOSETS:	1 TO 100 = 1	22	22	1	1
URINALS:	NOT REQUIRED			0	
LAVATORIES:	1 TO 200 = 1		1 TO 200 = 1	1	1
DRINKING FOUNTAINS:	1 TO 500 = 1			1 ADA COMPLIANT	
SERVICE SINK:		1		1	

FITNESS STUDIO - TENANT IMPROVEMENT OF AN EXISTING TENANT SPACE. WORK TO INCLUDE NON-BEARING INTERIOR PARTITIONS, ACCESSIBLE RESTROOMS, MILLWORK, PLUMBING, MECHANICAL, AND ELECTRICAL.

PROJECT DESCRIPTION

PVOLVE1845 YGNACIO VALLEY
WALNUT CREEK, CA 94598

CLIENT

PROJECT

LICENSE EXPIRES ON: MM-DD-YYYY
DATE OF SIGNATURE: MM-DD-YYYY**DxU** ARCHITECTS
4125 West Street 2nd Floor • Chicago, IL 60657
P: 312.915.3334 • F: 312.915.3334 • E: info@dxu.com

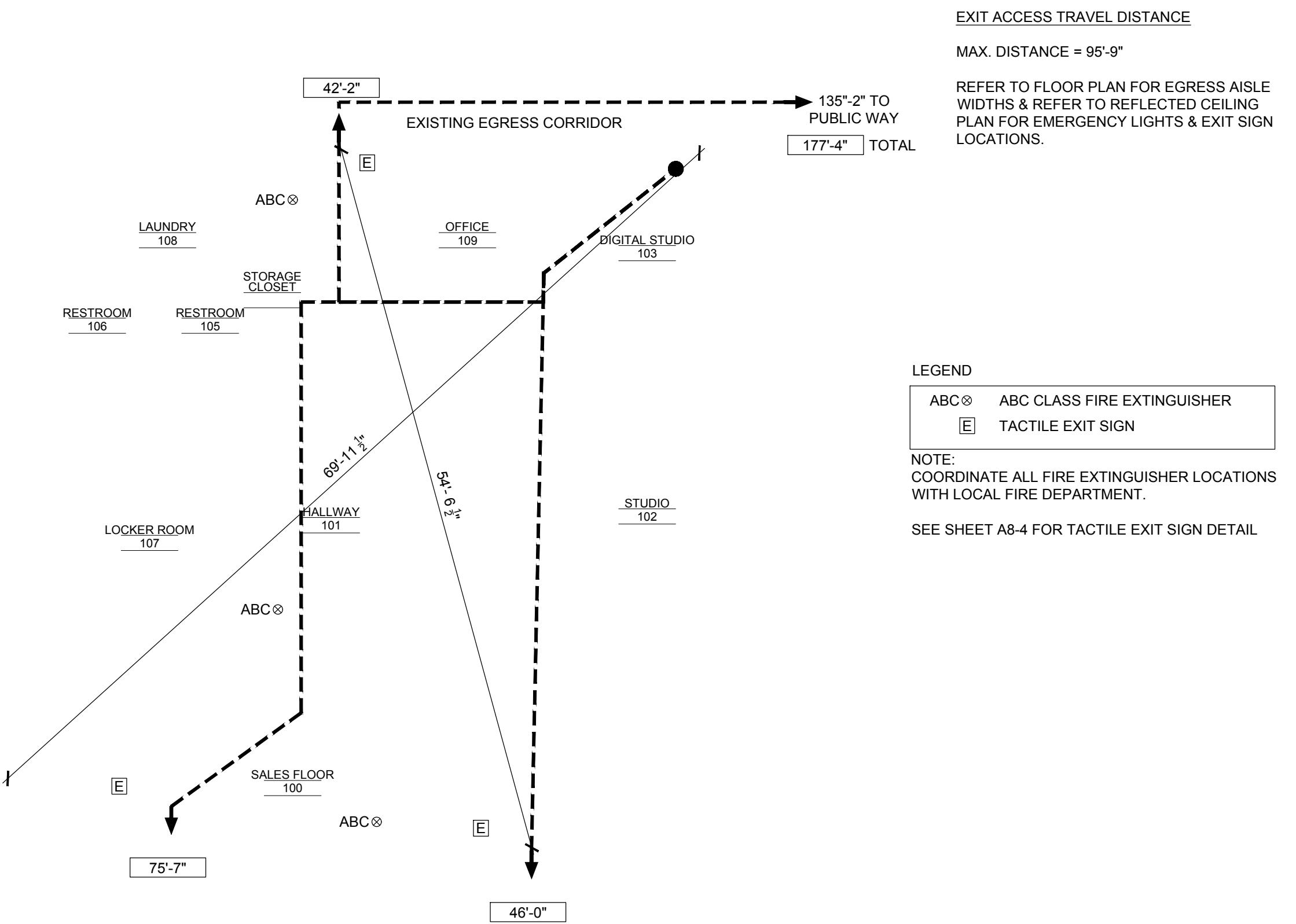
CONSULTANTS

REASON FOR ISSUE

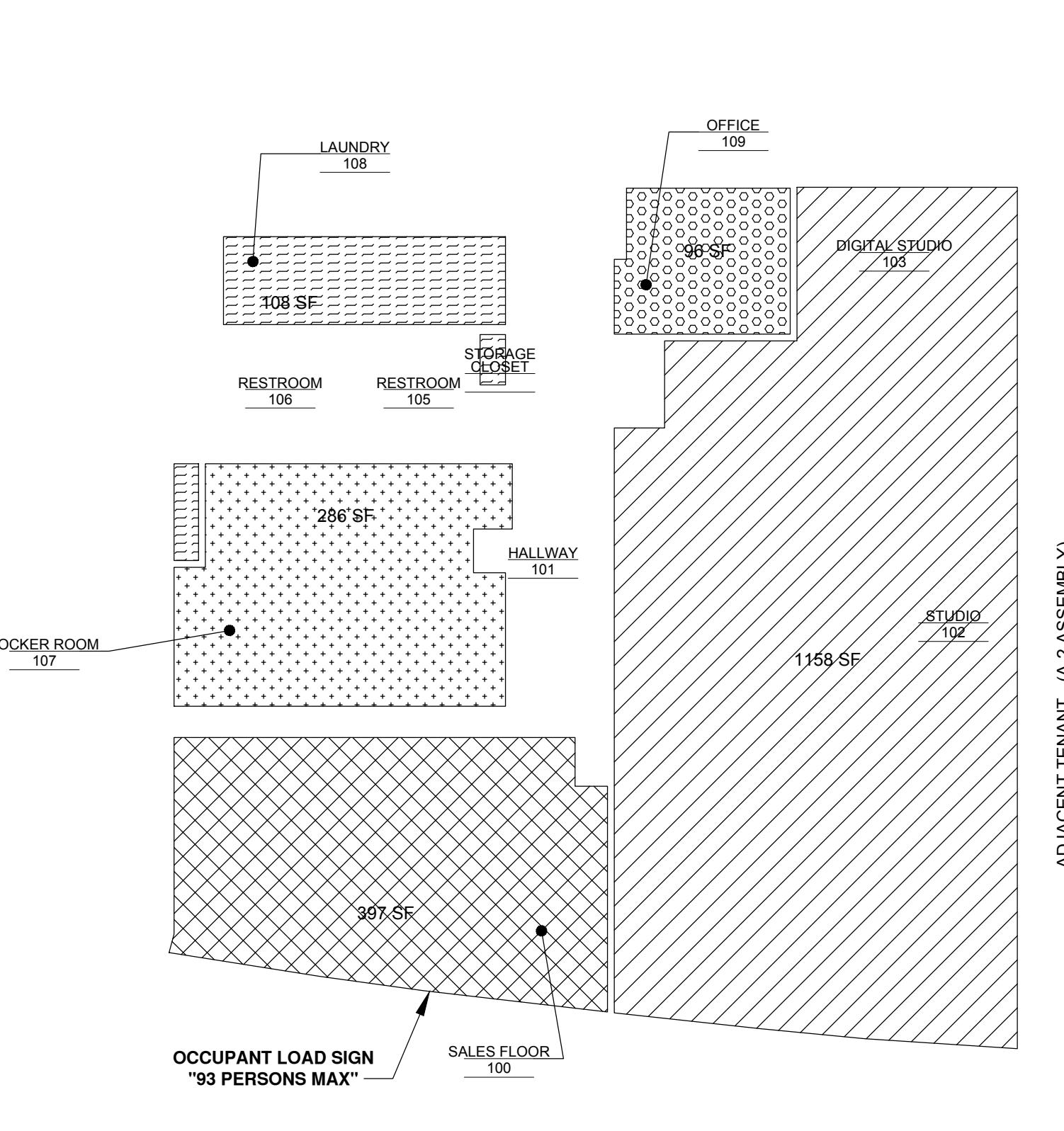
SHEET TITLE & NUMBER

PROJECT INFO &
CODE ANALYSISG1-01
These documents are confidential and shall be in the possession of authorized individuals only. All rights reserved. They are the exclusive property of DxU and shall not be copied or reproduced without written authorization.

EGRESS / ACCESS DIAGRAM



OCCUPANCY DIAGRAM



LEGEND

- EXERCISE ROOMS, 50 GROSS
- MERCANTILE, 60 GROSS
- LOCKER ROOMS, 50 GROSS
- TOTAL OFFICE ROOMS, 150 GROSS
- ACCESORY STORAGE AREAS, 300 GROSS

CONTRACTOR TO PROVIDE A DURABLE OCCUPANT LOAD SIGN POSTED IN A PROMINENT LOCATION NEAR THE MAIN EXIT, AS REQUIRED PER NFPA 101. VERIFY LOCATION WITH FIRE CODE INSPECTOR

GENERAL REQUIREMENTS

LANDLORD'S INSTRUCTIONS

G.C. COMPLIANCE

PURPOSE:

THE FOLLOWING IS A LIST OF SOME OF THE LANDLORD'S INSTRUCTIONS TO GENERAL CONTRACTORS AND HIS/HER SUBCONTRACTORS. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OBTAIN LANDLORD'S COMPLETE REQUIREMENTS AND MAKE SURE THAT THE LANDLORD'S POLICIES ARE MET.

ROOF PENETRATIONS:

INSTRUCT ALL SUB-CONTRACTORS THAT ANYTHING THAT NEEDS TO BE ATTACHED ABOVE THE CEILING SHOULD BE ATTACHED TO THE ROOF STRUCTURE, NOT THE DECKING. ALL ROOF PENETRATIONS SHALL BE DONE BY LANDLORDS ROOFING CONTRACTOR TO MAINTAIN WARRANTY.

STRUCTURAL ELEMENTS:

DO NOT MAKE ANY CUTS TO ANY OF THE BUILDING ELEMENTS WITHOUT VERIFYING WHETHER OR NOT IT IS A STRUCTURAL ELEMENT. THIS INCLUDES ROOF BEAMS, ROOF DECK, MASONRY WALLS AND THE CONCRETE SLAB.

IF YOU HAVE ANY QUESTIONS REGARDING THE ABOVE INFORMATION, PLEASE CONTACT THE LANDLORD. LANDLORD CONTACT INFORMATION IS FOUND ON THE COVER SHEET.

A/C STARTUP:

CONTACT THE LANDLORD FOR ANY REQUIREMENTS ON THE START-UP OF LANDLORD PROVIDED HVAC UNITS.

FIRE SYSTEM MONITORING: (IF REQUIRED)

VERIFY IF THE LANDLORD IS MONITORING THE FLOW AND TAMPER SWITCHES FOR THE SHELL BUILDING. IF THE SYSTEM IS OPERATIONAL, YOU MUST CONTACT THE LANDLORD PRIOR TO TAKING DOWN THE SYSTEM.

ANY FINES CHARGED BY THE FIRE DEPARTMENT FOR FALSE ALARMS WILL BE CHARGED BACK TO THE TENANT'S GENERAL CONTRACTOR.

ARCHITECT'S INSTRUCTIONS

SUBMITTALS:

IF ALTERNATE EQUIPMENT IS PROPOSED DUE TO LEAD TIME, THE ARCHITECT OR ENGINEER MAY REQUEST PAYMENT FROM G.C. FOR REVIEW OF THE SUBMITTAL. GENERAL CONTRACTOR MUST VERIFY LONG LEAD ITEMS AT START OF PROJECT TO AVOID DELAYS & ALTERNATES.

AS BUILTS:

THE GENERAL CONTRACTOR SHALL RED LINE ALL FIELD CHANGES ON A SET OF PRINTS TO REMAIN ON SITE THROUGHOUT THE CONSTRUCTION OF THE PROJECT. IT IS THE GC'S RESPONSIBILITY TO RECORD ALL FIELD CHANGES AND SUBMIT THE 'AS BUILTS' TO THE CLIENT AT TURNOVER, AND TO THE AOR AND MUNICIPALITY IF/AS REQUIRED.

FIRE SPRINKLERS

1. IF AN AUTOMATIC FIRE SPRINKLER SYSTEM EXISTS WITHIN THE SPACE, THE GENERAL CONTRACTOR SHALL EMPLOY THE SERVICES OF THE LANDLORD'S, OR ANOTHER LICENSED FIRE SPRINKLER CONTRACTOR TO DESIGN AND INSTALL THE NEW SYSTEM TO CONFORM WITH THE NEW ROOM AND CEILING HEIGHTS AS SHOWN IN THESE DRAWINGS. THE SPRINKLER CONTRACTOR SHALL DESIGN AND PREPARE SHOP DRAWINGS FOR THE PROPOSED SYSTEM MODIFICATIONS & SUBMIT THESE DRAWINGS TO THE BLDG/FIRE DEPT. & THE ARCHITECT TO GAIN APPROVALS PRIOR TO COMMENCING ANY WORK. PUBLIC AREA HEADS TO BE CONCEALED TYPE W/ BLACK COVERS AT DARK CEILINGS, WHITE AT LIGHT CEILINGS & CHROME IN TOILETS. HEADS IN NON-PUBLIC AREAS ARE TO BE SEMI-RECESSED. INSTALLATION IS TO INCLUDE ALL SITE WORK.

2. COMPLETE PLANS AND SPECIFICATIONS FOR FIRE-EXTINGUISHING SYSTEMS, INCLUDING AUTOMATIC SPRINKLERS AND WET AND DRY STANDPIPES; HALON SYSTEMS AND OTHER SPECIAL TYPES OF AUTOMATIC FIRE-EXTINGUISHING SYSTEMS; BASEMENT PIPE INLETS; AND OTHER FIRE PROTECTION SYSTEMS AND APPURTENANCES THERETO SHALL BE SUBMITTED TO FIRE AND LIFE SAFETY FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

3. FIRE EXTINGUISHING SYSTEM SHALL BE IN ACCORDANCE WITH CURRENT APPLICABLE CODE.

FIRE ALARM (WHERE REQUIRED)

1. EXISTING FIRE PANEL TO REMAIN IF PRESENT. FIRE CONTRACTOR TO TIE INTO BUILDING SYSTEM OR PROVIDE NEW SYSTEM AS REQ'D BY LOCAL JURISDICTION. F.C. TO PROVIDE DRAWINGS AND SPECIFICATIONS FOR LOCAL JURISDICTION APPROVAL.

2. THE GENERAL CONTRACTOR SHALL EMPLOY THE SERVICES OF THE LANDLORD'S, OR ANOTHER LICENSED FIRE ALARM CONTRACTOR TO DESIGN AND INSTALL NEW SYSTEM W/ ALL REQUIRED DEVICES.

EXTERIOR SIGNAGE

OWNER'S SIGNAGE CONTRACTOR SHALL PREPARE SIGNAGE SHOP DRAWINGS AND SUBMIT TO BUILDING DEPT. & LANDLORD FOR APPROVAL. ALL SIGNAGE IS UNDER SEPARATE PERMIT.

SPRINKLER NOTES

1. EXISTING SPRINKLER SYSTEM TO REMAIN.
2. SPRINKLER CONTRACTOR TO ADJUST AND/OR ADD HEADS AS REQ'D FOR NEW LAYOUT.
3. S.C. TO PROVIDE DRAWINGS AND CALCS FOR LOCAL JURISDICTION APPROVAL.

PVOLVE

PVOVLE - WALNUT CREEK, CA

1845 YGNACIO VALLEY

WALNUT CREEK, CA 94598

SEAL LICENSE EXPIRES ON: MM-DD-YYYY
DATE OF SIGNATURE: MM-DD-YYYYDXU
ARCHITECTS
CONSULTANTS

REASON FOR ISSUE

Project Number: 24-328	Approved By: JD	Date
Drawn By: YY		
No. _____	Issue _____	FOR PERMIT _____
_____	_____	06-18-2024

SHEET TITLE & NUMBER

GENERAL INFORMATION

G1-02

These documents are confidential and shall be in the possession of authorized individuals only. All rights reserved. These documents are the exclusive property of DXU and shall not be copied or reproduced without written authorization.

GENERAL NOTES

- GENERAL NOTES**
- CONTRACTOR SHALL FIELD VERIFY TYPE OF SOILS. IF CORROSIVE SOILS ARE ENCOUNTERED, TAKE NECESSARY PRECAUTIONS FOR ALL UNDER GROUND WORK.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON DRAWINGS FOR CONFLICTS PRIOR TO CONSTRUCTION, THE CONTRACTOR WILL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. DO NOT SCALE DRAWINGS.
 - BIDDERS ARE INSTRUCTED TO CAREFULLY REVIEW THE CONSTRUCTION DOCUMENTS & SITE.
 - NO STRUCTURE OF ANY KIND TO BE CONSTRUCTED ON, OVER OR PLACED WITHIN THE PUBLIC UTILITY EASEMENTS EXCEPT WOOD, WIRE OR REMOVABLE SECTION TYPE FENCING AND/OR PAVING.
 - CONTRACTOR TO COORDINATE STAGING AREAS AS REQUIRED WITH LANDLORD & OWNER.
 - ANY DAMAGE BY G.C. OR SUBCONTRACTOR TO EXISTING ASPHALT PAVEMENT AND/OR EXISTING LANDSCAPING OUTSIDE OF CONSTRUCTION LIMIT LINE SHALL BE REPAIRED AT NO COST TO OWNER.
 - SIDEWALK ELEVATIONS TO BE COORDINATED WITH SITE AS-BUILT CONDITIONS. ARCHITECT TO BE NOTIFIED OF ANY DISCREPANCIES.
 - G.C. TO COORDINATE LOCATION & PLACEMENT OF GREASE REMOVAL SYSTEM WITH PLUMBING CONTRACTOR. FIELD VERIFY ANY (E) SITE CONDITIONS THAT MAY IMPEDE INSTALLATION AND/OR OPERATION OF SUCH.
 - APPROVED NUMBERS OR ADDRESSES SHALL BE MAINTAINED & AS CURRENTLY PLACED ON BUILDING.
 - NO MATERIALS SHALL BE STORED ON PUBLIC PROPERTY UNLESS AN ENCROACHMENT PERMIT IS FIRST OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.
 - ALL DIMENSIONS ARE TO FACE OF GYPSUM BOARD AT FRAMED WALLS & SOFTIFS, TYPICAL UNLESS OTHERWISE NOTED. AT MILLWORK LOW WALLS, DIMENSIONS ARE TO FACE OF FINISHED WALL, TYPICAL.
 - CONTRACTOR SHALL PROVIDE CONSTRUCTION FENCE FOR PEDESTRIAN PROTECTION ACCORDING TO LOCAL REGULATIONS & BUILDING CODE.
 - TEMPORARY TOILET FACILITIES SHALL BE PROVIDED.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE SECURITY & SAFETY OF THE SITE WHILE THE JOB IS IN PROGRESS & UNTIL THE JOB IS COMPLETE.
 - CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS & WORKERS AT ALL TIMES.
 - ALL DEBRIS SHALL BE REMOVED FROM THE PREMISES DAILY & WORK AREAS SHALL BE LEFT IN A CLEAN (BROOM) CONDITION AT ALL TIMES.
 - CONTRACTOR SHALL PROVIDE A LIST OF SUBCONTRACTORS TO THE OWNER.
 - CONTRACTOR SHALL COMPLY WITH ALL STATE & LOCAL RULES & REGULATIONS CONCERNING LICENSING WHICH THE APPLICABLE GOVERNING AUTHORITY MAY HAVE ADOPTED.
 - ALL WEATHER-EXPOSED SURFACES SHALL HAVE A WEATHER-RESISTIVE BARRIER TO PROTECT THE INTERIOR WALL COVERING. EXTERIOR OPENINGS SHALL BE FLASHED IN SUCH A MANNER AS TO MAKE THEM WATERPROOF.
 - GENERAL CONTRACTOR SHALL PLACE ORDERS FOR ALL FINISHES, ALL MATERIALS, EQUIPMENT, ETC. AT THE START OF THE PROJECT. SUBSTITUTIONS ARE NOT ACCEPTED FOR ANY ITEMS, UNLESS NOTED OTHERWISE. OWNER & ARCHITECT MUST BE INFORMED OF LEAD TIME PROBLEMS WITHIN THE FIRST TWO WEEKS OF THE PROJECT.
 - PROVIDE VENTILATION FOR KITCHEN & FOOD PREPARATION AREAS PER MECHANICAL DRAWINGS.
 - SIGNS ARE REQUIRED FOR ALL MP&E ROOMS & SPRINKLER CONTROL VALVE ROOMS.
 - PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE APPLICANT SHALL HAVE EVIDENCE OF CURRENT WORKMAN'S COMPENSATION INSURANCE COVERAGE ON FILE WITH THE DEPARTMENT IN COMPLIANCE WITH THE LOCAL LABOR CODE.
 - AFTER OBTAINING BUILDING PERMIT AND BEFORE COMMENCING WITH THE WORK, THE GENERAL CONTRACTOR SHALL SHOW EVIDENCE OF ALL THE INSURANCE REQUIREMENTS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND OBTAIN ALL PERMITS AND LICENSES AND PAY REQUIRED FEES.
 - CONTRACTOR SHALL BE FAMILIAR WITH ALL LANDLORD REQUIREMENTS AND SHALL BE RESPONSIBLE FOR COMPLIANCE WITH SAME. CONTRACTOR SHALL INVESTIGATE LOCAL CODES AND PROCEDURES AND SHALL COMPLY WITH ALL REQUIREMENTS.
 - A COPY OF LANDLORD'S FINAL APPROVED PLANS MUST BE ON SITE DURING CONSTRUCTION.
 - REMOVE ALL ABANDONED IMPROVEMENTS, INCLUDING ELECTRICAL AND MECHANICAL, IF ANY.
 - INSPECT SITE: VERIFY FIELD DIMENSIONS BEFORE COMMENCING CONSTRUCTION. NOTIFY TENANT AND LANDLORD IMMEDIATELY IF THERE ARE ANY SIGNIFICANT DISCREPANCIES.
 - WHERE FACTORY FINISHED OR FACTORY PRIMED ITEMS OCCUR, SUCH AS GRILLES, DIFFUSERS, METAL TRIM AND ACCESSORIES, ETC. THEY SHALL BE PAINTED TO MATCH THE ADJACENT SURFACE AND AS DIRECTED BY THE OWNER.
 - CONTRACTOR SHALL, IN THE WORK OF ALL TRADES, PERFORM ANY AND ALL CUTTING, PATCHING, REPAIRING, RESTORING AND THE LIKE, NECESSARY TO COMPLETE THE WORK AND TO RESTORE ANY DAMAGED OR AFFECTED SURFACES RESULTING FROM THE WORK OF THIS CONTRACT TO THEIR ORIGINAL CONDITION TO THE SATISFACTION OF THE OWNER.
 - THESE SHALL BE NO EXPOSED PIPE, CONDUITS, ETC. IN PUBLIC AREAS, UNO. ALL SUCH LINES SHALL BE CONCEALED OR FURRED AND FINISHED.
 - GENERAL CONTRACTOR SHALL COORDINATE WORK PERFORMED BY OTHER CONTRACTORS. DISCREPANCIES IF ANY, SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK.
 - SHOULD THE DRAWINGS DISAGREE WITH THEMSELVES OR WITH THE SPECIFICATIONS OR SHOULD THE SPECIFICATIONS DISAGREE WITH THEMSELVES, THE BETTER QUALITY AND/OR GREATER QUANTITY OF WORK SHALL BE USED. ESTIMATE UPFRONT UNLESS OTHERWISE ORDERED IN WRITING. SHALL BE FURNISHED AND INSTALLED.
 - NO SUBSTITUTIONS ARE PERMITTED UNLESS PRIOR APPROVAL BY THE OWNER.
 - IF ANY DISCREPANCIES APPEAR IN CONTRACT DOCUMENTS, CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING OF SUCH DISCREPANCIES PRIOR TO BID.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY ARRIVAL OF ALL SPECIFIED FIRE MATERIALS EQUIPMENT, ETC. FOR THE PROJECT. THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING WITHIN 10 DAYS OF THE DATE OF CONTRACT OF THOSE SPECIFIED ITEMS THAT MAY NOT BE READILY AVAILABLE. IF NOTIFICATION IS NOT RECEIVED BY THE OWNER THE CONTRACTOR ACCEPTS RESPONSIBILITY FOR THE PROPER ORDERING AND FOLLOW-UP OF SPECIFIED ITEMS. THE CONTRACTOR SHALL NOT CHARGE THE OWNER AT NO ADDITIONAL COST TO THE OWNER, INSURE AVAILABILITY OF ALL SPECIFIED ITEMS SO AS NOT TO CREATE A HARDSHIP ON THE OWNER AND NOT DELAY PROGRESS OF THE WORK. NO EXTENSION OF TIME TO THE CONTRACT WILL BE ALLOWED.
 - MECHANICAL CONTRACTORS SHALL VERIFY EXACT DIMENSIONS WITH EQUIPMENT MANUFACTURERS. MECHANICAL CONTRACTOR SHALL VERIFY ALL SIZES AND LOCATIONS OF DUCT OPENINGS BEFORE INSTALLATION

- AND VERIFY DISCREPANCIES, IF ANY.
- ALL EXTERIOR WALL OPENINGS, FLASHING, COUNTER FLASHING, COPING AND EXPANSION JOINTS SHALL BE WEATHERPROOF.
 - CAULKING AND SEALANTS: ALL OPEN JOINTS PENETRATIONS AND OTHER OPENINGS IN THE BUILDING ENVELOPE SHALL BE SEALED, CAULKED, GASKETED, OR WEATHER STRIPPED TO LIMIT AIR AND WATER LEAKAGE.
 - USE ACOUSTICAL SEALANT AROUND ALL PIPES, DUCTS CONDUITS, OUTLETS, SWITCHES, ETC. ON BOTH SIDES OF CROSSING/PENETRATING WALLS WITH THERMAL AND ACOUSTIC INSULATION.
 - ALL NOISE BARRIER BATT(S) (SOUND INSULATION) SHALL BE NON-COMBUSTIBLE.
 - EACH CONTRACTOR SHALL LEAVE THE SITE IN A NEAT, CLEAN AND ORDERLY CONDITION ON A DAILY BASIS AND UPON CONCLUSION OF HIS WORK. ALL WASTE, RUBBISH AND EXCESS MATERIALS SHALL BE REMOVED FROM THE SITE PROMPTLY. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL TRASH GENERATED BY OWNERS CONTRACTORS FOR THE DURATION OF THE PROJECT.
 - SAFETY: ALL CONDUIT, WORK EQUIPMENT AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST SAFETY RULES AND REGULATIONS OF ALL AUTHORITIES AND AGENCIES HAVING JURISDICTION OVER THE WORK.
 - CONSULT PROPERTY UTILITY PLANS BEFORE SAW CUTTING CONCRETE SLAB, IF ANY.
 - THE ARCHITECT WILL NEITHER HAVE CONTROL OVER OR CHARGE OF, NOR BE RESPONSIBLE FOR, THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE CONTRACTOR'S RIGHTS AND RESPONSIBILITIES.
- FIRE DEPARTMENT NOTES**
- CONTRACTOR TO PROVIDE A SUFFICIENT NUMBER OF 2A10BC RATED FIRE EXTINGUISHERS DURING CONSTRUCTION SO THAT ALL PORTIONS OF THE BUILDING ARE WITHIN 75' OF TRAVEL DISTANCE OF SAID EXTINGUISHER & SO THAT AT LEAST ONE 2A10BC RATED FIRE EXTINGUISHER IS PROVIDED FOR EACH 3,000 SQ. FT. OF FLOOR SPACE OR PORTION THEREOF.
 - PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 40-B FOR KITCHEN, LOCATE EXTINGUISHERS PER LOCAL FIRE DEPARTMENT INSPECTOR.
 - PROVIDE FIRE EXTINGUISHERS AS REQUIRED BY FIRE DEPARTMENT FIELD INSPECTOR DURING CONSTRUCTION & FOR COMPLETED PROJECT.
 - ALL EXIT DOORS SHALL SWING IN THE DIRECTION OF TRAVEL.
 - ALL EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT SPECIAL KNOWLEDGE OR EFFORT (NO DEAD BOLTS, NO SLIDING BOLTS, ETC.).
 - AN OCCUPANT LOAD SIGN SHALL BE POSTED IN EACH ASSEMBLY ROOM HAVING AN OCCUPANT CONTENT OF 50 OR MORE. SIGN IS TO BE POSTED NEAR ENTRANCE, COORDINATE LOCATION OF SUCH SIGN WITH FIRE MARSHAL. SIGN TO BE PROVIDED & INSTALLED BY OWNER VENDOR.
 - Maintain min. 44" AISLES TO EXIT OR PUBLIC WAY.
 - Provide EXIT SIGNS ABOVE EXITS WITH MIN. 3/4"x6" LETTERS LIGHTED ON CONTRASTING BACKGROUND.
 - EXIT SIGNS MUST BE INTERNALLY ILLUMINATED.
 - Provide TWO (2) SEPARATE POWER SUPPLIES FOR EXIT SIGNS CONFORMING TO CODE SECTION.
 - Provide EMERGENCY EXIT LIGHTING PROVIDING A VALUE OF ONE FOOT CANDLE AT FLOOR LEVEL.
 - Additional EXIT SIGNS WILL BE PROVIDED AS IF DIRECTED BY THE CITY INSPECTOR.
 - SEE "ROOM FINISH SCHEDULE" FOR SMOKE DENSITY RATING & FLAME SPREAD RATING OF MATERIALS USED.
 - INTERIOR WALL & CEILING FINISHES FOR ASSEMBLY AREAS SHALL NOT EXCEED AN END POINT FLAME SPREAD RATING OF 20.
 - ANY DECORATIONS USED SHALL BE NON-COMBUSTIBLE OR FLAME PROOFED IN AN APPROVED MANNER.
 - DRAPE & OTHER DECORATIVE MATERIALS SHALL BE FLAME RETARDANT. CERTIFICATION THEREOF SHALL BE PROVIDED. EXITS, EXIT SIGNS, FIRE ALARM STATIONS, HOSE CABINETS & EXTINGUISHER LOCATIONS SHALL NOT BE CONCEALED BY DECORATIVE MATERIALS.
 - FINISHES SHALL NOT EXCEED CLASS A, B OR C AS INDICATED IN THE BUILDING CODE.
 - Provide OUTSIDE GAS SHUT OFF VALVE CONSPICUOUSLY MARKED.
 - UNLESS ALREADY EXISTING, AN APPROVED SET OF NUMERALS, MINIMUM 4" HIGH WITH A STROKE WIDTH OF NOT LESS THAN 1/2 INCH, SHALL BE PLACED ON THE BUILDING. THE NUMBERING SHALL BE PLACED IN SUCH A POSITION AS TO BE PlainLY VISIBLE & LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SAID NUMERALS SHALL CONTRAST WI TH THEIR BACKGROUND. IF THE ADDRESS THAT IS POSTED NEAR THE INTERSECTION OF THE DRIVEWAY & THE PUBLIC STREET AND FRONTING THE PROPERTY IS NOT VISIBLE, ADDITIONAL ADDRESSES POSTED NEAR THE INTERSECTION OF THE DRIVEWAY & THE PUBLIC STREET ARE REQUIRED. (VERIFY REQUIREMENTS.)
 - Provide A KNOX BOX FOR FIRE DEPT. ACCESS & KEY ACCESS, LOCATION AS DETERMINED BY FIRE MARSHAL.
 - EXIT SIGNAGE SHALL BE PROVIDED & MAINTAINED FOR CORRIDORS & AISLE WAYS LEADING TO EXITS IN ACCORDANCE WITH STATE CODE. SIGNAGE SHALL STATE: "OBSTRUCTIONS, INCLUDING STORAGE, SHALL NOT BE PLACED IN THE REQUIRED WIDTH OF AN EXIT OR EXIT PASSAGEWAY."
 - GENERAL CONTRACTOR SHALL SECURE PERMITS REQUIRED BY THE FIRE DEPARTMENT FROM THE FIRE DEPARTMENT PRIOR TO OCCUPYING THIS BUILDING.
 - FIRE DEPARTMENT FINAL INSPECTION REQUIRED. G.C. TO VERIFY INSPECTION SCHEDULING REQUIREMENTS AT LEAST 14 DAYS PRIOR TO COMPLETION OF WORK.
 - STORAGE, DISPENSING OR USE OF ANY FLAMMABLE & COMBUSTIBLE LIQUIDS, FLAMMABLE & COMPRESSED GASES & OTHER HAZARDOUS MATERIALS SHALL COMPLY WITH STATE BUILDING CODE REGULATIONS.
 - ANY TYPE I HOOD INSTALLATION & SHAFT CONSTRUCTION MUST COMPLY WITH THE STATE & MECH CODE.
 - WHEN ALLOWED BY FIRE MARSHAL AND/OR BUILDING INSPECTOR, FIRE BLOCKS CAN BE SUBSTITUTED WITH APPROVED FIRE SPRINKLER SYSTEM.
 - IN ADDITION TO THE SPRINKLER MONITORING SYSTEM, A FIRE SYSTEM PER NFPA #13 SPECIFICATIONS MUST BE INSTALLED. PLANS FOR THE FIRE ALARM MUST BE SUBMITTED TO THE BUILDING DEPARTMENT FOR FIRE DEPARTMENT REVIEW PRIOR TO INSTALLATION. THE KITCHEN HOOD FIRE PROTECTION SYSTEM WILL CAUSE INITIATION OF AN ALARM SIGNAL.
 - ALL EXIT DOORS & INTERVENING DOORS ON THE EXIT PATH, IF PROVIDED WITH A LOCK OR LATCH, MUST BE PROVIDED WITH PANIC HARDWARE.
 - PLANS FOR THE KITCHEN HOOD FIRE PROTECTION SYSTEM MUST BE SUBMITTED TO THE BUILDING DEPARTMENT FOR REVIEW BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION.
 - THE FIRE SPRINKLER SYSTEM DESIGN CRITERIA IS AS SET FORTH BY THE FIRE MARSHAL.
 - PREMISES IDENTIFICATION TO BE LEGIBLE FROM STREET OR DRIVE & MUST BE ON ALL PLANS.
 - IT IS THE DEVELOPERS RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING AMENDMENTS ACT & AMERICANS

GENERAL NOTES

WITH DISABILITIES ACT & INCORPORATE SAME INTO THEIR BUILDING PLANS.

MATERIAL OFF-LOADING ALLOWED ON THE EMERGENCY ACCESS ROAD. FIRE LANE SIGNS ARE REQUIRED TO BE POSTED ALONG THE ROAD.

- A SIGN SHALL BE POSTED AT THE MAIN STREET ENTRANCE INDICATING ENGINEERED COORDINATES, THE PROJECT NAME, THE PROJECT ADDRESS, AND AN EMERGENCY CONTACT NUMBER OF A COMPANY REPRESENTATIVE. THE SIGN SHALL BE A MINIMUM OF 24" HIGH X 36" WIDE, WITH WHITE REFLECTIVE BACKGROUND AND 3" RED REFLECTIVE LETTERS. IN ADDITION ALL OFF-SITE WORK SHALL HAVE A SIGN POSTED AT THE MAIN STREET ENTRANCE THAT IS REFLECTIVE OF THE GEOGRAPHICAL LOCATION TO THE PROJECT. THE SIGN SHALL INCLUDE THE PROJECT NAME FOLLOWED BY THE CAPTION "OFF SITE" AND THE GEOGRAPHICAL LOCATION.
- ALL SITE HYDRANTS SHALL BE INSTALLED AND ACCEPTED BY THE TOWN ENGINEERING DEPARTMENT PRIOR TO COMBUSTIBLE MATERIALS BEING DELIVERED TO THE CONSTRUCTION SITE.

- BUILDINGS UNDERGOING CONSTRUCTION, ALTERATION OR DEMOLITION SHALL BE IN ACCORDANCE WITH LOCAL ORDINANCES AND THE EXISTING BUILDING CODE.

ACCESSIBILITY NOTES

- ACCESS TO THESE FACILITIES SHALL BE PROVIDED AT PRIMARY ENTRANCES, AS REQUIRED BY ADA.

- WALKS & SIDEWALKS SHALL HAVE A CONTINUOUS COMMON SURFACE NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/2" & SHALL BE A MIN. OF 48" IN WIDTH.
- SURFACES WITH A SLOPE OF LESS THAN 6% GRADIENT SHALL BE AT LEAST AS SLIP RESISTANT AS THAT DESCRIBED AS A MEDIUM SALTED FINISH.
- SURFACES WITH A SLOPE OF 6% GRADIENT OR GREATER SHALL BE SLIP RESISTANT.

- SURFACE CROSS SLOPES SHALL NOT EXCEED 1/4" PER FOOT.

- WALKS, SIDEWALKS & PEDESTRIAN WAYS SHALL BE FREE OF GRATING WHEN POSSIBLE. FOR GRATINGS LOCATED IN THE SURFACE OF ANY OF THESE AREAS, GRID OPENINGS IN THE GRATINGS SHALL BE LIMITED TO 1/2" IN THE DIRECTION OF TRAFFIC FLOW.

- WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OF ANY WALK EXCEEDS 1 VERTICAL TO 20 HORIZONTAL, IT SHALL COMPLY WITH THE PROVISIONS OF A PEDESTRIAN RAMP.

- ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2". WHEN CHANGES IN LEVEL DO OCCUR, THEY SHALL BE BEVELLED WITH A LOGIC NOT GREATER THAN 1:2, EXCEPT THAT LEVEL CHANGES IN THE DIRECTION OF TRAVEL BEING VERTICAL, WHEN CHANGES IN LEVELS GREATER THAN 1/2" ARE NECESSARY, THEY SHALL COMPLY WITH THE REQUIREMENTS FOR CURB RAMPS.

- EVERY REQUIRED EXIT DOORWAY SHALL BE SIZED FOR A DOOR NOT LESS THAN 3' F.T. WIDE, BY NOT LESS THAN 6'-8" HIGH CAPABLE OF OPENING 90° & MOUNTED SO THAT THE CLEAR WIDTH OF THE EXIT WAY IS 32".

- THRESHOLDS SHALL BE A MAX. 1/2" ABOVE ADJACENT FINISH FLOOR.

- A FIRE HYDRANT SHALL BE LOCATED WITHIN 100' OF THE FIRE DEPARTMENT CONNECTION (FDC). THE ROUTE IS TO BE MEASURED AS A STRAIGHT LINE FROM THE ADDRESS SIDE OR NATURAL APPROACH OF THE BUILDING IT SERVES & SHALL IDENTIFY THE BUILDING(S) SERVED WITH PERMANENT SIGNAGE.

- ALL VALVES CONTROLLING THE WATER SUPPLY FOR AUTOMATIC SPRINKLER SYSTEMS & WATER-FLOW SWITCHES ON ALL SPRINKLER SYSTEMS SHALL BE ELECTRICALLY MONITORED WHERE THE NUMBER OF SPRINKLER HEADS EXCEEDS 19.

- IN ADDITION TO THE EXTERIOR BELL OR HORN, AN APPROVED AUDIBLE/VISUAL FIRE SPRINKLER FLOW ALARM SHALL BE PROVIDED IN THE INTERIOR OF ALL BUILDINGS IN A NORMALLY OCCUPIED LOCATION. THE DEVICE SHALL BE A MINIMUM OF 75 CD LUMENS & 15 DB ABOVE THE AMBIENT SOUND LEVEL.

- MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LBS FOR ALL DOORS, SUCH PULL OR PUSH EFFORT BEING APPLIED AT 90° ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS, COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO THE MAXIMUM ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 LBS.

- THE BOTTOM 10' OF ALL DOORS EXCEPT AUTOMATIC & SLIDING SHALL HAVE A SMOOTH UNINTERRUPTED SURFACE.

- PROVIDE LEVER-TYPE HARDWARE PANIC BARS, PUSH - PULL ACTIVATING BARS OR OTHER HARDWARE, DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. (30° TO 44° A.F.F.)

- ALL DOORWAYS LEADING TO SANITARY FACILITIES SHALL HAVE 32" CLEAR UNOBSTRUCTED OPENING & A LEVEL & CLEAR AREA FOR A MINIMUM DEPTH OF 60" IN THE DIRECTION OF THE DOOR SWING.

- PROVIDE 18" FROM WALL TO CENTERLINE OF W.C. & 32" FROM A WALL AT ONE SIDE & 48" IN FRONT OF W.C.

- PROVIDE 30"X48" LONG SPACE IN FRONT OF TOILET & WITHIN THE TOILET ROOM THAT ALLOWS THE DOOR TO CLOSE

- A FIRE ACCESS ROAD SHALL BE PROVIDED WHEN ANY PORTION OF AN EXTERIOR BUILDING OR THE 1ST STORY IS LOCATED MORE THAN 150' FROM AN APPROVED ACCESS ROAD. THE APPROVED ACCESS ROAD SHALL BE APPROVED BY THE FIRE DEPARTMENT AS THE FIRE HOSE WOULD BE LAYED OUT & IS NOT MEASURED THROUGH INTERIOR OR COVERED WALKWAYS OR WATER RETENTION BASINS, OVER WALLS OR SIMILAR OBSTRUCTIONS.

- APPARATUS ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF 20 FEET. A MIN. VERTICAL CLEARANCE OF 15 FEET 0 INCHES SHALL BE PROVIDED FOR THE APPARATUS ACCESS ROADS. CONFIRM FIRE APPARATUS TURNING RADIUS 35 FEET INSIDE & 55 FEET OUTSIDE.

- FIRE LANES SHALL BE MARKED BY SIGNS PER DOT DETAIL #63, AND/OR CURB PAINTED RED & LABELED "FIRE LANE NO PARKING", PLACED NOT GREATER THAN 75' APART AT THE BEGINNING & END OF THE DESIGNATED FIRE LANE.

- DEAD-END FIRE APPARATUS ACCESS ROADS IN EXCESS OF 150 FEET IN LENGTH SHALL BE PROVIDED WITH AN APPROVED MEANS FOR TURNING THE APPARATUS AROUND.

- AN APPROVED KEY BOX IS REQUIRED ON ALL COMMERCIAL STRUCTURES THAT CONTAIN OFF SITE MONITORED FIRE SPRINKLERS, A FIRE ALARM SYSTEM OR WHERE ACCESS IS DIFFICULT & WHERE IMMEDIATE ACCESS IS REQUIRED FOR LIFE SAVING OR FIREFIGHTING.

- PLANS & SPECIFICATIONS FOR FIRE ALARM SYSTEMS, AUTOMATIC FIRE-EXTINGUISHING SYSTEMS, STANDPIPES & THEIR APPURTENANCES SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR REVIEW & APPROVAL PRIOR TO INSTALLATION.

GENERAL FIRE ALARM SYSTEM NOTES

- ADDITIONAL DEVICES AND RELOCATION OF EXISTING DEVICES FOR THE FIRE ALARM SYSTEM DO NOT REQUIRE SHOP DRAWINGS FOR CITY REVIEW, BUT ARE SUBJECT TO THE FIRE INSPECTOR'S APPROVAL. ALL WORK TO BE PERFORMED BY A QUALIFIED STATE REGISTRANT IN FIRE ALARM DESIGN.

- ALARM INITIATING DEVICES, ALARM SIGNALING DEVICES, AND OTHER FIRE ALARM SYSTEM COMPONENTS SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CODES LISTED ON THE TITLE SHEET.

- WHEN DUCT DETECTORS, REQUIRED BY THE MECHANICAL CODE OR FIRE CODE AND BUILDING CODE, ARE CONCEALED FROM VIEW OR INSTALLED MORE THAN 10 FEET ABOVE FINISHED FLOOR OR IN ARRANGEMENTS WHERE THE DETECTOR'S ALARM INDICATOR IS NOT READILY VISIBLE TO RESPONDING PERSONNEL, AN LED SHALL BE PROVIDED THROUGH THE CEILING LEVEL OR SIGHT OBSTRUCTION AT EACH DETECTOR. ALL DETECTION DEVICES PROVIDED SHALL BE MONITORED FOR INTEGRITY BY THE FIRE ALARM SYSTEM WHERE A FIRE ALARM IS INSTALLED.

FIRE SAFETY DURING CONSTRUCTION, ALTERATION OR DEMOLITION OF A BUILDING

- DURING CONSTRUCTION, YOU MUST PROVIDE AND MAINTAIN AN ALL WEATHER ROAD DESIGNED TO SUPPORT THE IMPOSED LOAD OF FIRE APPARATUS WEIGHING UP TO 85,000 POUNDS. SITES SHALL HAVE TWO PLACES TO TURN. THE TURNING PLACES SHALL BE APPROVED BY THE FIRE INSPECTOR. UNPAVED SURFACES SHALL HAVE A MINIMUM ABC 6" DEPTH COMPACTED TO 95% AND 20' WIDE. NO VEHICLE PARKING OR BUILDING

- IT IS THE DEVELOPERS RESPONSIBILITY TO DETERMINE ULTIMATE COMPLIANCE WITH THE FAIR HOUSING AMENDMENTS ACT & AMERICANS

DOOR SWING OF AT LEAST 60" & THE LENGTH OPPOSITE THE DIRECTION OF DOOR SWING OF 48" AS MEASURED AT RIGHT ANGLES TO THE PLANE OF THE DOOR IN THE CLOSED POSITION. SUBMIT FOR ARCHITECTS REVIEW.

- ALL WALKS WITH CONTINUOUS GRADIENTS SHALL HAVE LEVEL AREAS AT LEAST 5'-0" IN LENGTH AT INTERVALS OF AT LEAST EVERY 40'.

- ABRUPT CHANGES IN LEVEL, EXCEPT BETWEEN A WALK OR SIDEWALK & AN ADJACENT STREET OR DRIVEWAY, EXCEEDING 4" IN A VERTICAL DIRECTION, SHALL BE CELEARED BETWEEN 30" & 42" ABOVE THE FLOOR, LATCHING & LOCKING DOORS THAT ARE HAND-ACTIVATED & WHICH ARE IN HEIGHT ABOVE THE WALK OR SIDEWALK SURFACE TO WARN THE BLIND OF A POTENTIAL DROP OFF. WHEN A GUARDRAIL OR HANDRAIL IS PROVIDED, NO CURB IS REQUIRED. WHEN

SPECIFICATIONS

DIVISION 01 - GENERAL REQUIREMENTS

- THE WORK INCLUDES NEW TENANT IMPROVEMENTS IN AN EXISTING STAND ALONE SPACE. PER SQUARE FOOT CALCULATIONS AS NOTED ON THE TITLE SHEET. CONTRACT WILL INCLUDE CONSTRUCTING WALLS, CEILINGS & FLOOR PER CLIENT APPROVED FINISHES, DETAILS & SPECIFICATIONS. SECURE & PAY FOR GOVERNMENT FEES, LICENSES, & PERMITS.
- CONTRACTORS SHALL VISIT THE PREMISES WHILE BIDDING & SHALL FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS & THE REQUIREMENTS OF THE PROJECT PRIOR TO DEVELOPING THEIR BID. MATERIAL QUANTITIES SHALL BE BASED ON ACTUAL FIELD CONDITIONS & MEASUREMENTS. DO NOT RELY ON SCAFFOLD PLANS FOR ACCURATE DIMENSIONING.
- PRIOR TO BEGINNING THE WORK, VERIFY ALL EXISTING DIMENSIONS & SQUARE FOOTAGES. NOTIFY THE OWNER OF COMPLIANCE OR DISCREPANCIES, COMPARING THOSE DISCREPANCIES TO THE NUMBERS ON THE TITLE SHEET.
- CONTRACTORS SHALL TAKE CARE TO PROTECT ADJACENT AREAS FROM DUST & DAMAGE DURING THE CONSTRUCTION PROCESS & SHALL CLEAN UP AFTER THEMSELVES AT THE END OF EACH WORKING DAY. ANY DAMAGE DONE TO ADJACENT AREAS MUST BE REPAIRED TO MATCH ORIGINAL CONDITIONS.
- ALL RUBBISH & TRASH SHALL BE REMOVED FROM THE PREMISES & PROPERLY DISPOSED OF EACH DAY. NO RUBBISH SHALL BE LEFT IN THE PREMISES AFTER WORK IS COMPLETED EACH DAY.
- ALL DRAWINGS HEREIN CREATE AN ENTIRE PACKAGE. ALL TRADES SHALL BE RESPONSIBLE FOR REVIEWING THEIR RESPECTIVE REQUIREMENTS & COORDINATING WITH OTHER TRADES & SUBCONTRACTORS. COORDINATE ALL WORK OF THE VARIOUS TRADES & SUBCONTRACTORS TO ASSURE EFFICIENT & ORDERLY INSTALLATION.
- PROVIDE ACCOMMODATION FOR ITEMS INSTALLED AT A LATER DATE. VERIFY THAT CHARACTERISTICS OF ELEMENTS & INTERRELATED OPERATING EQUIPMENT ARE COMPATIBLE & THAT ONE OF THE TRADES INVOLVED HAVING SUCH INTERDEPENDENT RESPONSIBILITIES FOR INSTALLING, CONNECTING TO, & PLACING IN SERVICE SUCH EQUIPMENT COORDINATE SPACE REQUIREMENTS & INSTALLATION OF MECHANICAL & ELECTRICAL WORK & FIRE SPRINKLER SYSTEM WHICH ARE INDICATED, DETAILED, OR IMPLIED DIAGRAMMATICALLY ON DRAWINGS.
- UNLESS SPECIFICALLY NOTED, PROVIDE & PAY FOR LABOR, MATERIALS & EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT & MACHINERY & OTHER FACILITIES & SERVICES NECESSARY FOR PROPER EXECUTION & COMPLETION OF WORK, INCLUDING PERMITS. TEMPORARY UTILITIES SHALL BE ARRANGED & PAID FOR BY GENERAL CONTRACTOR.
- GENERAL CONTRACTOR SHALL PURCHASE & MAINTAIN INSURANCE COVERAGE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LANDLORD & THE TENANT. VERIFY & COORDINATE WITH THE TENANT'S PROJECT MANAGER ANY ADDITIONAL REQUIREMENTS.
- FURNISH ALL REQUIRED TEMPORARY FACILITIES & ALL TEMPORARY UTILITIES IMMEDIATELY AFTER RECEIPT OF NOTICE TO PROCEED FOR USE IN CONVENIENCE OF ALL THOSE ENGAGED IN THE PROJECT WORK.
- ALL CONTRACTORS MUST STAY BEHIND THE BARRIERS & MAINTAIN ACCESS TO SUCH AREAS CLEAN & FREE OF CONSTRUCTION MATERIALS & DEBRIS. FAILURE TO MAINTAIN CLEAN STOREFRONT WILL RESULT IN BUILDING MANAGEMENT HAVING SUCH MATERIALS & DEBRIS REMOVED & ALL CHARGES FOR MAINTENANCE BILLED TO GENERAL CONTRACTOR.
- COORDINATE ALL CONSTRUCTION & SCHEDULING WITH THE BUILDING MANAGER REVIEWING ALL SCHEDULED ACTIVITIES AT OUTSET OF CONSTRUCTION.
- THE OWNER OR THE OWNER'S SUBCONTRACTORS MAY OCCUPY PORTIONS OF THE PROJECT DURING THE FINAL STAGE OF CONSTRUCTION. COORDINATE & COOPERATE WITH THE OWNER TO MINIMIZE CONFLICT & FACILITATE THE OWNER'S OPERATION.
- ALL DIMENSIONS & FINISHES SHALL BE VERIFIED & COORDINATED WITH EXISTING CONDITIONS PRIOR TO CONSTRUCTION, FABRICATION, OR PURCHASING. IN CASE OF CONFLICT BETWEEN THE PROJECT REQUIREMENTS AND/OR EXISTING CONDITIONS, THE ARCHITECT OR OWNER SHALL BE CONTACTED FOR DIRECTION.
- PERFORM ALL WORK IN ACCORDANCE WITH ACCEPTABLE TRADE PRACTICE TO INSURE THE HIGHEST QUALITY FINISHED PRODUCT. EXPRESSED OR IMPLIED, PERFORM ALL WORK BY SKILLED MECHANICS IN ACCORDANCE WITH ESTABLISHED STANDARDS OF WORKMANSHIP IN EACH OF THE VARIOUS TRADES.
- COORDINATE BLOCKING REQUIREMENTS WITH ADJACENT OR RELATED TRADES, ACCESSORIES, EQUIPMENT & FIXTURES. INSTALL REQUIRED BLOCKING AT NO ADDITIONAL COST TO THE CONTRACT.
- REPAIR PROPERTY DAMAGE BY THE INSTALLERS TO A LIKE NEW CONDITION OR REPLACE DAMAGED SURFACES & MATERIALS OF THE PREVIOUSLY INSTALLED WORK BY OTHER TRADES, INSTALLERS & SUBCONTRACTORS.
- WHERE REQUESTED BY THE OWNER TO CERTIFY CONFORMANCE TO TRADE STANDARDS OR THE PROJECT REQUIREMENTS, THE CONTRACTOR SHALL ENLIST A TESTING LABORATORY AT THE OWNER'S COST. IF THE REQUESTED TEST SHOWS NON-COMFORMANCE TO GENERALLY ACCEPTED TRADE STANDARDS OR THE PROJECT REQUIREMENTS, THE CONTRACTOR SHALL CORRECT THE DEFICIENCY AT NO ADDITIONAL COSTS TO THE OWNER & REIMBURSE ALL THE COSTS OF THE TESTING TO THE OWNER, UNLESS THE CONTRACTOR HAS USED PRODUCTS INCORRECTLY LABELED BY THE MANUFACTURER OR HAS MADE PREVIOUSLY APPROVED CHANGES.
- PROVIDE SECURITY OF THE WORK, INCLUDING TOOLS & UNINSTALLED MATERIALS. PROTECT THE WORK, STORED PRODUCTS, CONSTRUCTION EQUIPMENT & OWNER'S PROPERTY FROM THEFT & VANDALISM & THE PREMISES FROM ENTRY BY UNAUTHORIZED PERSONNEL UNTIL FINAL ACCEPTANCE BY OWNER.
- MAINTAIN AN ACTIVE FIRE EXTINGUISHER AT THE PROJECT.
- DO NOT USE MATERIAL OR EQUIPMENT FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT IS SPECIFICALLY DESIGNED OR SPECIFIED. ALL MATERIALS & EQUIPMENT THAT ARE SIMILAR SHALL BE THE SAME TYPE, MODEL & STYLE FOR THE SAME USE THROUGHOUT THE PROJECT OR THEY SHALL BE REJECTED.
- WHEN THE PROJECT REQUIREMENTS REQUIRE THAT THE INSTALLATION OF WORK SHALL COMPLY WITH MANUFACTURER'S INSTRUCTIONS, PERFORM THE WORK IN STRICT ACCORDANCE WITH THE MOST CURRENT WRITTEN MANUFACTURER'S INSTRUCTIONS.
- ALL PRODUCTS & EQUIPMENT SHALL BE DELIVERED IN UNDAMAGED CONDITION & STORED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS TO AVOID DISRUPTION OF THE WORK OR DAMAGE TO THE ITEMS. REPLACE DAMAGED OR UNFIT MATERIALS, AT NO COST TO THE OWNER.
- NOTIFY THE OWNER WHEN THE WORK IS SUBSTANTIALLY COMPLETE & READY FOR INSPECTION. UPON INSPECTION, PROVIDE WRITTEN OPERATION & MAINTENANCE INSTRUCTIONS & GUARANTEES FOR ALL EQUIPMENT & MATERIALS INSTALLED. PROVIDE WRITTEN GUARANTEES FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK.
- PROVIDE FINAL CLEAN-UP & DAMAGE REPAIR AT THE PROJECT CONCLUSION. LEAVE THE PREMISES NEAT, CLEAN & CLEAR OF TOOLS, EQUIPMENT & SURPLUS MATERIALS, UNLESS REQUESTED BY THE OWNER. CLEAN-UP SHALL INCLUDE & NOT BE LIMITED TO:
 - POWER WASHING & CLEANING OF ALL SHELVING, CABINETRY, CASEWORK, GLASS & MIRRORS BOTH INSTALLED UNDER THIS CONTRACT OR EXISTING WALLS, CEILINGS, FIXTURES, ETC.
 - REPAIR OR REPLACEMENT OF PROPERTY DAMAGED DURING FINAL COMPLETION OF THE PROJECT.
 - G.C. TO HIRE & PAY FOR PROFESSIONAL CLEANING ON (2) OCCASIONS: ONCE BEFORE OWNER'S MOVE-IN TO TENANT (MERCHANDISING) & AGAIN BEFORE OPENING.
- GENERAL CONTRACTOR SHALL PLACE ORDERS FOR ALL FINISHES, ALL MATERIALS, EQUIPMENT, ETC. AT THE START OF THE PROJECT. SUBSTITUTIONS ARE NOT ACCEPTED FOR ANY ITEMS, UNLESS NOTED OTHERWISE. OWNER & ARCHITECT MUST BE INFORMED OF LEAD TIME PROBLEMS WITHIN THE FIRST TWO WEEKS OF THE PROJECT.

DIVISION 02 - DEMOLITION / BUILDING ALTERATIONS

- THE WORK MAY INCLUDE DEMOLITION OF EXISTING CONSTRUCTION, REMOVAL OF VARIOUS ITEMS OF EQUIPMENT & CONSTRUCTION & THE CUTTING OR ALTERATION OF EXISTING CONSTRUCTION AS SHOWN, NOTED OR IMPLIED ON THE DRAWINGS. CONTRACTOR SHALL NOT REMOVE EXISTING CONSTRUCTION, EXCEPT AS NEEDED FOR DEMOLITION, REPAIR OR ALTERATION OF ITEMS PROVIDED FOR THE PROJECT. ALL COSTS OF REMOVAL, REPAIR OR REPLACEMENT SHALL BE INCLUDED IN THE BID. ADDITIONAL COSTS FOR DEMOLITION OF ITEMS HIDDEN OR INACCESSIBLE DURING THE BIDDING PHASE, SHALL BE SUBMITTED FOR APPROVAL PRIOR TO BEGINNING THE WORK.
- AT ALTERED CONSTRUCTION, REPAIR CUT EDGES, REPLACE CONSTRUCTION & FIT NEW TO EXISTING CONSTRUCTION TO MATCH EXISTING WORK. MAKE JOINTS OF NEW & EXISTING PATCHES VERY SMOOTH, EVEN & PRACTICALLY INVISIBLE. COORDINATE ALL REPLACEMENT & REPAIR REQUIREMENTS WITH LANDLORD'S CONSTRUCTION CRITERIA

& TENANT'S COORDINATOR.

- SAW-CUT CONCRETE WITH DIAMOND SAW; JACKHAMMERING WILL NOT BE PERMITTED EXCEPT WITH THE EXPRESSED WRITTEN APPROVAL OF THE LANDLORD. CUT IN ACCORDANCE WITH THE ENLISTED STRUCTURAL ENGINEER. BREAK OUT SECTIONS, CORE DRILLED WHERE APPROXIMATELY FOR INSTALLATION OF PLATES, SIMILAR ITEMS. COORDINATE ALL CORE LOCATIONS & SLAB MODIFICATIONS WITH LANDLORD'S STRUCTURAL ENGINEER. WHERE EXISTING PIPING & OTHER SIMILAR ITEMS ARE UNDER EXISTING SLABS, EXERCISE CARE TO PROTECT FROM DAMAGE. EXERCISE CARE WHEN CUTTING ADJACENT TO EXISTING WALLS TO AVOID DAMAGE TO WALLS. IF DAMAGED, REPAIR AS REQUIRED TO ORIGINAL CONDITION.
- DOORS & FRAMES: IF DOORS & FRAMES ARE TO BE REUSED ON THE WORK, CAREFULLY REMOVE DOOR FROM FRAMES & REMOVE FRAMES FROM OPENING, TAKING CARE TO AVOID DAMAGE. REMOVE HARDWARE, CLEAN, REFURBISH & STORE FOR REINSTALLATION WHERE INDICATED. FOR DOORS & FRAMES TO BE SALVAGED, CAREFULLY REMOVE FROM OPENING & DELIVER FOR STORAGE WHERE INDICATED.
- PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURE. PROVIDE & PLACE BRACING & SHORING & BE RESPONSIBLE FOR SAFETY & SUPPORT OF STRUCTURE, AS DETERMINED BY G.C. ENLISTED STRUCTURAL ENGINEER. ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT DAMAGE OR INJURY.
- ARRANGE & PAY FOR DISCONNECTING, REMOVING & CAPPING UTILITY SERVICES WITHIN AREAS AFFECTED BY DEMOLITION. PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. LOCATE SPRINKLER SHUT-OFF VALVE & SMOKE ALARM PRIOR TO COMMENCING WORK; COORDINATE REQUIRED MODIFICATION WITH LANDLORD.
- CAREFULLY REMOVE MATERIALS & EQUIPMENT WHICH ARE INTENDED TO BE REUSED. STORE IN A SECURE LOCATION. REMOVE DEBRIS, REFUSE & MATERIALS BEING DEMOLISHED IMMEDIATELY FROM THE SITE.
- ERECT & MAINTAIN WEATHERPROOF & DUSTPROOF CLOSURES & PARTITIONS TO PREVENT WEATHER DAMAGE OR SPREAD OF DUST, FUMES & SMOKE TO OTHER PARTS OF THE BUILDING, IN ACCORDANCE WITH MALL GUIDELINES & STIPULATIONS.
- PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.
- REPAIR ALL DEMOLITION IN EXCESS OF THAT REQUIRED AT NO COST TO THE OWNER.
- REMOVE FROM SITE CONTAMINATED, VERNIN INFESTED OR DANGEROUS MATERIALS ENCOUNTERED; DISPOSE OF BY SAFE MEANS TO PROTECT HEALTH OF WORKERS & PUBLIC.

DIVISION 03 - CONCRETE REPAIR & REPLACEMENT

- WORK INCLUDES: PATCHING OF SLAB AFTER DEMOLITION & REMOVAL OF FINISHES, FILLING & LEVELING JOINTS & CRACKS; FILLING ABANDONED ELECTRICAL BOXES & ANY HOLES GREATER THAN 1/2".
- USE RAECO-LITH "R-35" AS UNDERLAYMENT FOR PATCHING OR APPROVED EQUAL. MIX SHALL BE TWO PARTS - MORTAR MIX & LATEX BINDER. MIX & INSTALL PER MANUFACTURER'S LATEST WRITTEN & RECOMMENDED DIRECTIONS.

DIVISION 04 - MASONRY

CONCRETE MASONRY UNITS

- CONCRETE MASONRY UNITS ARE TO BE SQUARE-EDGED UNITS FOR OUTSIDE CORNERS, UNLESS OTHERWISE INDICATED.
- WHERE REQUIRED, USE DECORATIVE CONCRETE MASONRY UNITS TO MATCH EXISTING SHELL FINISH:
 - EXPOSED FACES TO BE GROUND FINISH, SPLIT-FACE FINISH OR SPLIT-RIBBED FINISH TO MATCH EXISTING

FACE BRICK

- FACE BRICK (ASTM C 216) IS TO BE OF STANDARD SIZE TO MATCH EXISTING SHELL SPACE.
- CONTRACTOR IS TO USE SOLID BRICK WITH FINISHED SURFACES AT ENDS & CAPS.
- SPECIAL SHAPES ARE TO BE USED IN APPLICATIONS WHERE SAW CUTTING WOULD LEAVE EXPOSED END UNFINISHED EXPOSED TO VIEW.

MORTAR

- ASTM 270, ASTM C 1142 & UBC STANDARD 21-15 ARE ACCEPTABLE.
- CALCIUM CHLORIDE SHALL NOT BE USED IN MORTAR MIXTURE.
- FOR MASONRY BELOW GRADE, IN CONTACT WITH EARTH, REINFORCED MASONRY TYPE S OR RS SHALL BE USED (MATCH EXISTING). FOR EXTERIOR ABOVE GRADE, LOAD BEARING, NON-LOAD BEARING & PARAPET WALLS TYPE N OR RN SHALL BE USED (MATCH EXISTING).

JOINT & CELL REINFORCEMENT, TIES & ANCHORS

- PROVIDE JOINT REINFORCEMENT FORMED FROM GALVANIZED CARBON-STEEL WIRE (ASTM A 153, CLASS B-2 FOR BOTH INTERIOR & EXTERIOR WALLS)
- FOR SINGLE-WYTHE MASONRY, PROVIDE LADDER OR TRUSS DESIGN REINFORCEMENT.
- INSTALL #4 BARS MIN. AT ENDS OF WALLS & 48" O.C. MIN. IN SOLID GROUTED CELLS OVERLAP BARS 18" MIN. & TIE, AS REQUIRED.

EXECUTION

- CUT MASONRY UNITS WITH MOTOR-DRIVEN SWAS. INSTALL CUT UNITS WITH CUT SURFACE CONCEALED.
- MASONRY UNITS TO BE MIXED FROM SEVERAL PALLETS AS THEY ARE PLACED TO CREATE UNIFORM BLEND OF COLOR & TEXTURE.
- COURsing, BONDING, COLOR & TEXTURE OF NEW MASONRY IS TO MATCH EXISTING.
- EXPOSED JOINTS ARE TO BE TOOLED SLIGHTLY WHEN THUMPRINT HARD.
- ALL CAVITIES ARE TO BE KEPT CLEAN OF MORTAR DROPPINGS & OTHER MATERIALS DURING CONSTRUCTION. CAVITY JOINTS ARE TO BE TOOLED FLUSH.

CLEANING

- MASONRY BLOCK, FACE BRICK & VENNER TO BE CLEANED AS WORK PROGRESSES. MORTAR FINS, SMUDGES & SMEARS ARE TO BE REMOVED PRIOR TO TOOLING JOINTS.
- AFTER MORTAR HAS COMPLETELY SET & CURED, ALL LARGE MORTAR PARTICLES ARE TO BE REMOVED & UNITS MASONRY IS TO BE SCRUBBED THOROUGHLY.

DIVISION 05 - METAL FABRICATIONS

- PROVIDE ALL MISCELLANEOUS METAL ITEMS INCLUDING MATERIALS, FABRICATIONS, FASTENINGS & ACCESSORIES REQUIRED FOR FINISHED INSTALLATION AS INDICATED & SPECIFIED.
- STEEL SHALL BE ASTM A36 AMERICAN OPEN HEARTH SHEET STEEL, FREE FROM SCALE & Pitting & OTHER DEFECTS AFFECTING APPEARANCE.
- TUBING SHALL CONFORM TO REQUIREMENTS OF ASTM A500 OR A501 AS APPROVED.
- WHERE METAL ITEMS ARE TO BE ERECTED & IN CONTACT WITH DISSIMILAR MATERIALS, PROVIDE CONTACT SURFACES WITH COATING OF AN IMPROVED ZINC CHROMATE PRIMER IN A MANNER TO OBTAIN NOT LESS THAN 1.0 MIL DRY FILM THICKNESS.
- STEEL SHEET SHALL CONFORM TO REQUIREMENTS OF ASTM A606.
- CARBON STEEL BARS SHALL CONFORM TO REQUIREMENTS OF ASTM A321.
- ALUMINUM EXTRUSIONS SHALL CONFORM TO ASTM B221. REVEALS TO BE CLEAR ANODIZED FINISH (UNLESS OTHERWISE NOTED).
- FASTENERS SHALL BE AS REQUIRED FOR ASSEMBLY & INSTALLATION OF FABRICATED ITEMS.
- BOLTS SHALL BE LOW CARBON STEEL EXTERNALLY & INTERNALLY THREADED FASTENERS CONFORMING WITH REQUIREMENTS OF ASTM A307. INCLUDE NECESSARY NUTS & PLAIN HARDENED WASHERS. FOR MEMBERS FOR SUPPORT OF STRUCTURAL MEMBERS OR CONNECTION THERETO, USE FASTENERS CONFORMING WITH ASTM A325.

FOR STAINLESS STEEL & NON-FERROUS ITEMS, USE TYPE 302 & 304 STAINLESS STEEL FASTENERS.

- MISCELLANEOUS MATERIALS: PROVIDE ALL INCIDENTAL ACCESSORY MATERIALS, TOOLS, METHODS & EQUIPMENT REQUIRED FOR FABRICATION & INSTALLATION OF MISCELLANEOUS METAL ITEMS AS INDICATED ON DRAWINGS.
- VERIFY DIMENSIONS PRIOR TO FABRICATION OR CASTING. FORM METAL ITEMS TO ACCURATE SIZES & CONFIGURATIONS AS INDICATED ON DRAWINGS & OTHERWISE REQUIRED FOR PROPER INSTALLATION; FABRICATE WITH ALL LINES STRAIGHT & ACCURATE. PROVIDE ALL EXPOSED SURFACES TO MATCH. PROVIDE ITEMS FOR CONNECTION WITH WORK OF OTHER TRADES. MAKE PERMANENT CONNECTIONS BY WELDING & GRIND ALL EXPOSED WELDS SMOOTH TO MATCH ADJACENT SURFACES; ROUGH JOINT SURFACES NOT PERMITTED. AVOID USING BOLTS & SCREWS UNLESS SPECIFICALLY INDICATED OR APPROVED; WHEN USED, DRAW UP TIGHT & TIE THREADS TO PREVENT LOOSENING.
- ALL FERROUS METAL ITEMS SHALL BE SHOP FINISHED, TOUCH-UP OR REPAIR DAMAGED AREAS PRIOR TO INSTALLATION WITH SAME MATERIAL.
- PROVIDE CONTACT SURFACES WITH CONCRETE MASONRY OR OTHER DISSIMILAR MATERIALS WITH A MINIMUM ONE POINT ZERO (1.0) MIL DRY THICKNESS OF AN APPROVED ZINC CHROMATE PRIMER.
- PROVIDE ALL STEEL BLOCKING & BRACING IN METAL STUD FRAMED PARTITIONS NECESSARY FOR A COMPLETE INSTALLATION. INCLUDE AS REQUIRED FOR SUPPORT OF ALL WALL-MOUNTED EQUIPMENT & FABRICATIONS AS INDICATED ON DRAWINGS. PROVIDE SUPPORTS AT JAMBS OF DOORS & ELSEWHERE, AS REQUIRED.
- FABRICATE ALL MISCELLANEOUS FRAMING & BRACING ITEMS TO DETAIL OF STRUCTURAL SHAPES, PLATES & BARS; WELD JOINTS WHERE PRACTICAL; PROVIDE BOLTS & OTHER CONNECTION DEVICES REQUIRED. INCLUDE ANCHORAGES, CLIP ANGLES, SLEEVES, ANCHOR PLATE & SIMILAR DEVICES, WHETHER IMPLIED OR INDICATED. SET ACCURATELY IN POSITION AS REQUIRED & ANCHOR SECURELY TO BUILDING CONSTRUCTION WITH FASTENERS APPROPRIATE TO THE INSTALLATION

DIVISION 06 - WOOD & PLASTICS

- PROVIDE ROUGH LUMBER & PLYWOOD IN STANDARD DIMENSIONS. MOISTURE CONTENT NOT MORE THAN 19%.
- PROVIDE ALL NECESSARY ROUGH HARDWARE IN SIZES & QUANTITIES REQUIRED BY LOCAL CODE OR APPROVED BY ARCHITECT.
- USE FINISH OR CASING NAILS FOR EXPOSED WORK; USE TYPE "S" TRIM HEAD SCREWS FOR ATTACHMENT OF WOOD TRIM TO METAL STUDS, RUNNERS OR FURRING.
- RELIEVE BACKS OF WOOD TRIM; KERF BACKS OF MEMBERS MORE THAN 5" WIDE & 1" NOMINAL THICKNESS. EASE ALL EXTERNAL CORNERS.
- INSTALL LAMINATES ONLY WHEN RECEIVING SURFACES ARE IN A SATISFACTORY CONDITION FOR INSTALLATION.
- PROTECT FROM DAMAGE BY OTHER TRADES WORKING ADJACENT TO THE INSTALLATION. REPLACE DAMAGED SURFACES.
- REMOVE EXCESS ADHESIVE & CLEAN SURFACES USING MANUFACTURER'S RECOMMENDED SOLVENT & CLEANING PROCEDURES.
- FILL IN ALL SEAMS WITH MANUFACTURER'S APPROPRIATE COLOR SEAM COMPOUND.
- INSTALL WOOD & PLASTICS IN CONFORMANCE WITH DETAILS WITH THE FOLLOWING CONSIDERATIONS & REQUIREMENTS:
 - INSTALL ALL MATERIAL WITH TIGHT JOINTS.
 - MITER CASINGS & MOLDINGS.
 - ALONG RUNNING TRIM ONE (1) PIECE UP TO 10'-0". MATCH GRAIN & COLOR PIECE TO PIECE.
 - USE FINISH NAILS EXCEPT WHERE SCREWS ARE SPECIFICALLY CALLED FOR OR WHERE SCREWS DO NOT SHOW.
 - SET FASTENERS FOR PUTTYING.
 - WHERE SCREW ATTACHMENT REQUIRED, SPACE SCREWS AT EQUAL INTERVALS; SPACING NOT TO EXCEED 6" FOR WOOD SURFACES.
 - ALL MEMBERS & LINES LEVEL & PLUMB.
 - SELECT & CUT MATERIAL TO EXCLUDE DAMAGED, MARKED OR DEFECTIVE AREAS.
 - FINISH EXPOSED SURFACES SMOOTH, FREE FROM TOOL & MACHINE MARKS.
 - EASE ALL EXPOSED WOOD EDGES 1/8" MINIMUM RADIUS.
 - INSTALL FIRE RATED DOORS IN ACCORDANCE WITH REQUIREMENTS OF NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) RECOMMENDATIONS.

DIVISION 07 - SEALANTS & CAULKING

- PROVIDE NON-SAG SEALANT COMPLYING WITH REQUIREMENTS OF FEDERAL SPECIFICATIONS TTS-1543 OR FS TT-S 230 TYPE "II", CLASS "A". PROVIDE ACOUSTICAL SEALANT WHICH SHALL BE NON-HARDENING, NON-DRYING SYNTHETIC RUBBER SEALANT. SHADING IMPERFECTS, MINIMUM 10' LENGTH, ALLOWABLE 10% AT INTERSECTIONS BETWEEN PLANES. AROUND DOOR & WINDOW FRAMES, PRIMER SHALL BE MADE OR RECOMMENDED BY SEALANT MANUFACTURER FOR THE SPECIFIC CONDITIONS & SUBSTRATES.
- PROVIDE BACKING MATERIAL BY DOW "ETHAFoam" OR APPROVED EQUAL. APPLY SEALANT OVER BACKING TO A THICKNESS OF CONTINUOUS SEALS FILLING ALL JOINTS & VOID. SOLID, SUPERFICIAL POINTING WITH THE SKIM BEAD WILL NOT BE ACCEPTED. JOINTS OVER 1/4" IN WIDTH MUST BE REDUCED/ADJUSTED PRIOR TO SEALING. ALL GAPS WIDE ENOUGH TO ACCEPT A SLIP OF PAPER MUST BE SEALED.
- ALL SURFACES SHALL BE ADEQUATELY CLEANED & PREPARED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS PRIOR TO INSTALLATION.
- THE KEC IS RESPONSIBLE FOR SEALING ALL KITCHEN EQUIPMENT PROVIDED W/ SANITARY SILICONE SEALANT, CLEAR OR WHITE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SEALING ALL OTHER GAPS INCLUDING, WOOD BASE TO VCT, LAMINATE PANELS TO TRIM, CASING, ETC. W/ CLEAR OR PAINTABLE SEALANT AT DRYWALL / PAINT AS REQUIRED & REQUESTED BY INSPECTORS & OWNER.
- ALL PENETRATIONS IN MILLWORK ARE TO BE SEALED BY G.C. EXPOSED WOOD SURFACES IN CABINETS / COUNTERS ARE TO BE SEALED BY MILLWORK CONTRACTOR.

DIVISION 08 - WOOD & HOLLOW METAL DOORS & FRAMES

- PROVIDE FULLY WELDED DOOR FRAMES AT ALL G.C. PROVIDED DOORS, FREE FROM SCALE & Pitting & OTHER SURFACE DEFECTS, UNLESS OTHERWISE NOTED.
- PROVIDE HOLLOW METAL EXIT DOOR CONSTRUCTED WITH THE FOLLOWING MATERIALS:
 - MINIMUM 18 GA. FOR FACE SHEETS OF INTERIOR DOORS.
 - 16 GA. FOR EDGE CHANNELS.
 - MINIMUM 22 GA. FOR FACE STIFFENERS.
 - MINIMUM 16 GA. FOR INTERIOR FRAMES.
- PROVIDE DOORS OF SIZES & TYPES INDICATED ON DRAWINGS. FULLY WELDED SEAMLESS CONSTRUCTION WITH NO VISIBLE SEAMS OR JOINTS ON FACES OR VERTICAL EDGES; THICKNESSES AS SCHEDULED ON DRAWINGS. DOOR TOPS TO BE ENCLOSED W/ NO OPEN CHANNEL.
- FACE STIFFENERS, EDGES & HARDWARE REINFORCEMENT SHALL BE THE HIGHEST QUALITY WORKMANSHIP & MATERIALS. PROVIDE IN ACCORDANCE WITH BEST TRADE PRACTICE & MANUFACTURER'S WRITTEN RECOMMENDATIONS FOR THE USE INTENDED.
- HARDWARE REINFORCEMENT & ANCHORS (ERECTION, FLOOR & JAMB) SHALL BE AS REQUIRED FOR A SECURE INSTALLATION & SHALL BE IN ACCORDANCE WITH THE SPECIFIED HARDWARE & INTENDED USE.
- AFTER FABRICATION, DRESS, FILL & SAND EXPOSED SURFACES

SPECIFICATIONS

WITH ARCHITECT.

CEMENTITIOUS TILE BACKER BOARD

1. BACKER BOARD SHALL BE 5/8" "DUROCK", BY USG OR ARCHITECT APPROVED EQUIVALENT. INSTALL SHALL BE PER MANUF'S WRITTEN SPEC.
2. BACKER BOARD SHALL BE USED AT BASE OF WALLS THROUGHOUT KITCHEN & REST ROOM AREAS.
3. INSTALL WITH "DUROCK" FASTENERS & JOINT REINFORCEMENT TAPE.

PAINTING

1. PROVIDE PAINT FINISHES FOR BUILDING & OTHER SURFACES AS SCHEDULED ON DRAWINGS OR AS SPECIFIED HEREINAFTER INCLUDING SEALING OF CONCRETE FLOOR AT CORRIDOR & STOCKROOM. NO PAINT FINISH IS REQUIRED ON ITEMS HAVING COMPLETE FACTORY FINISH, EXCEPT AS MAY BE SPECIFIED HEREINAFTER. PUTTY AND PAINT CONTRACTOR SHALL NOT BE REQUIRED TO PAINT ANY SURFACE NOT SPECIFICALLY MENTIONED IN THE PAINTING SCHEDULE. STAINLESS STEEL; INTERIOR OR EXTERIOR OF EXISTING BUILDING, EXCEPT WHERE ALTERATIONS OCCUR OR WHERE SCHEDULED. PAINT GRILLES & DIFFUSERS. NO PAINTING IS REQUIRED FOR INSULATING PIPING, EXCEPT WHERE EXPOSED IN FINISH, NON-MECHANICAL ROOM SPACES.
2. PROTECT WORK OF OTHER TRADES FROM DAMAGE & DEFACEMENT CAUSED BY THIS WORK. REPAIR ANY DAMAGE CAUSED BY THE WORK OF THIS SECTION. REMOVE ELECTRICAL OUTLET & SWITCH PLATES, MECHANICAL DIFFUSERS, GRILLES, ESCUTCHEONS, REGISTERS, SURFACE HARDWARE, FITTINGS & FASTENINGS PRIOR TO COMMENCING THE WORK. STORE, CLEAN, & REPLACE UPON COMPLETION.
3. PAINT CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR IF ANY SURFACE TO BE PAINTED OR STAINED IS FOUND TO BE UNSUITABLE TO PRODUCE PROPER FINISH. APPLY NO FINISH MATERIAL UNTIL THE UNSUITABLE SURFACES HAVE BEEN MADE SATISFACTORY.
4. FINISH WORK SHALL BE UNIFORM, OF APPROVED COLOR, SMOOTH & FREE FROM RUNS. MAKE ENDS OF PAINT ADJOINING OTHER MATERIALS OR COLORS SHARP & CLEAN. WHERE HIGH GLOSS ENAMEL IS USED, LIGHTLY SAND UNDERCOAT TO OBTAIN A SMOOTH FINISH COAT.
5. PROVIDE ALL NEWLY PAINTED SURFACES WITH (1) COAT TINTED PRIMER & (2) COATS FINAL COLOR COAT, UNLESS OTHERWISE RECOMMENDED BY MANUFACTURER'S SPECIFICATIONS.
6. DELIVER ALL PAINT TO JOBSITE IN UNOPENED CONTAINERS BEARING THE MANUFACTURER'S LABEL & SHOWING PAINT TYPE, SHEEN & COLOR.
7. PAINT TYPES USED SHALL BE THOSE SPECIFICALLY RECOMMENDED BY THE MANUFACTURER FOR THE MATERIAL TO WHICH THEY WILL BE APPLIED. PAINTING CONTRACTOR SHALL FOLLOW MANUFACTURER'S INSTRUCTIONS FOR PROPER APPLICATION OF THE PAINT.
8. ALL SURFACES TO BE PAINTED SHALL BE THOROUGHLY CLEANED, & PREPARED FOR PAINTING PRIOR TO APPLICATION OF PAINT. PROVIDE VENTILATORS AS REQUIRED TO PREVENT BUILD-UP OF FUMES.
9. SANDPAPER ALL NEW WOOD TO SMOOTH & EVEN SURFACE & DUST OFF. AFTER PRIMING COAT HAS BEEN APPLIED, DRY-ROLL FILLED NAIL HOLES & OTHER SURFACE IMPERFECTIONS WITH PUTTY TINTED WITH PRIMER OR STAIN TO MATCH WOOD COLOR. SAND ALL WOOD- WORK BETWEEN COATS TO A SMOOTH SURFACE.
10. PRIME ALL SURFACES, WHICH RECEIVE PAINT PRIOR TO APPLICATION OF FINAL FINISH, IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
11. BACK PRIME ALL EXTERIOR & INTERIOR WOOD & TRIM PRIOR TO INSTALLATION. THOROUGHLY CLEAN SURFACES & APPLY NO FINISH UNLESS SURFACES ARE DRY & READY FOR APPLICATION. SANDBAPER SURFACES OF TRIM SMOOTH & WIPE CLEAN. AFTER STAIN COAT HAS BEEN APPLIED, FILL CRACKS & HOLES WITH PLASTIC WOOD OR PUTTY. IF STAIN HAS BEEN USED, FILL CRACKS & HOLES WITH PLASTIC WOOD OR PUTTY. BARRELS ARE SCHEDULED TO RECEIVE PAINT PRIOR TO FINISH NAIL HOLES, CRACKS & OTHER IMPERFECTIONS WITH PUTTY & SAND SMOOTH.
12. AT COMPLETION, TOUCH-UP & RESTORE FINISH WHERE DAMAGED & LEAVE ALL SURFACES IN GOOD & CLEAN CONDITION. PROVIDE FOR MULTIPLE SITE VISITS AS REQUIRED FOR TOUCH-UP & REFINISHING.
13. OTHER PAINT MANUFACTURER'S MAY NOT BE SUBSTITUTED.
14. FINISH INTERIOR SURFACES, AS SCHEDULED ON DRAWINGS, EXCEPT AS MODIFIED & SUPPLEMENTED HEREINAFTER & UPON WRITTEN OWNER APPROVAL. IN GENERAL, USE EGGSHELL SHEEN FOR WALL BOARD SURFACES, SEMI-GLOSS FOR HOLLOW METAL & WOOD TRIM; & FLAT FOR DUCTWORK.

RESILIENT BASE

1. INSTALL COVE BASE IN AREAS AS CALLED FOR IN PLANS AND/OR ELEVATIONS.
2. PROVIDE PREMOLDED INSIDE & OUTSIDE CORNERS FOR ALL CONDITIONS AT WHICH CORNERS ARE TO BE USED. JOB MITERING SHALL BE PERMITTED ONLY UPON OWNER'S APPROVAL.
3. USE ADHESIVES ONLY AS RECOMMENDED BY THE MANUFACTURER OF THE MATERIAL TO WHICH IT IS APPLIED.
4. CAREFULLY INSPECT ALL SURFACES TO RECEIVE BASE PRIOR TO INSTALLATION. REPAIR DAMAGED SURFACES PRIOR TO INSTALLATION.
5. UPON COMPLETION, IMMEDIATELY REMOVE ALL SURPLUS ADHESIVE FROM ADJACENT SURFACE, IN ACCORDANCE WITH THE TIMING RECOMMENDED BY THE MANUFACTURER, USING MATERIALS RECOMMENDED FOR THAT PURPOSE BY THE MANUFACTURER.

GLASS & GLAZING

1. PROVIDE TEMPERED GLASS, GRADE "B", STYLE #1, TYPE "1", QUALITY 03, THICKNESS PER PLANS.
2. ALL GLASS EDGES SHALL BE GROUND SMOOTH & POLISHED.
3. GENERAL GLASS SHALL BE Q3 IN ACCORDANCE WITH FEDERAL SPECIFICATIONS DD-G-451 & FGMA GLAZING MANUAL.
4. STOREFRONT GLASS SHALL BE AS REQUIRED FOR THE SIZES & CONDITIONS DETAILED. FRAME SECTION SHALL BE CONCEALED WHERE INDICATED.
5. PROVIDE RESILIENT NEOPRENE BLOCKS 70 TO 90 SHORE A DUROMETER HARDNESS & RESILIENT ACCESSORIES DESIGNED FOR POSITIONING GLASS IN RABBETS.
6. PROVIDE CLIPS OF NON-CORROSIVE METAL WITH ROUNDED EDGES DESIGNED FOR CONTACT BLOCKS, NOT GLASS.
7. PROVIDE STANDARD PREFORMED GLAZING TAPE, STANLOCKE 400, TRIMCO 440, OR APPROVED.
8. PROVIDE NON-SHRINKING ELASTOMERIC TAPE WHERE REQUIRED.
9. USE SILICONE SEALANT DOW #795 OR GE SILPRUF, COLOR AS SPECIFIED, OR APPROVED EQUAL.
10. ALL EDGES, DRILLED HOLES & NOTCHES SHALL BE FACTORY CUT AND/OR FACTORY FORMED. TOUCH-UP "RAW" EDGES TO MATCH FRAME.
11. INSTALL IN ACCORDANCE WITH FGMA RECOMMENDATIONS UNLESS NOTED OTHERWISE.
12. VERIFY THAT FRAMES TO RECEIVE GLAZING ARE SQUARE & TRUE, THAT PERIMETER CLEARANCES ARE SUFFICIENT TO PREVENT "POINT LOADING", & THAT SURFACES ARE CLEAN, DRY & READY TO RECEIVE GLAZING MATERIALS. REMOVE ALL PROTECTIVE COATINGS FROM FRAMING SURFACES.
13. CENTER GLASS IN RABBETS & POSITION SO AS TO MAINTAIN CLEARANCES ON ALL SIDES, INDOORS & OUT. IN ACCORDANCE WITH FGMA RECOMMENDATIONS. SHIM AS REQUIRED TO POSITION AGAINST FIXED STOPS & FRAME BARS.
14. SET ALL EXTRUSIONS IN CORRECT LOCATIONS AS SHOWN IN THE DETAILS. THEY SHALL BE LEVEL, FLUSH, SQUARE, PLUMB & IN ALIGNMENT WITH OTHER WORK.
15. UPON COMPLETION, REMOVE ALL EXCESS SEALANT & MATERIALS FROM SURFACES; WASH & CLEAN ALL GLASS FRAMING MEMBERS.

CEILING METAL SUSPENDED SYSTEM**QUALITY ASSURANCE**

1. USE ADEQUATE NUMBERS OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED &

EXPERIENCED IN THE NECESSARY CRAFTS & WHO ARE COMPLETELY FAMILAR WITH THE SPECIFIED REQUIREMENTS & THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK OF THIS SECTION.

METAL CHANNELS, RUNNERS & ACCESSORIES

1. FURRING CHANNELS: SHALL BE MINIMUM 25 GAUGE X 7/8" DEEP X 2-5/8" HAT SHAPED GALVANIZED STEEL CHANNELS.
2. MAIN RUNNER CHANNELS: SHALL BE 1-1/2" COLD ROLLED, 16 GAUGE STEEL CHANNELS, COATED WITH A RUST INHIBITIVE PAINT.
3. HANGER WIRES: SHALL BE OF SIZE/GAUGE INDICATED, DOUBLE ANNEALED & GALVANIZED, CONFORMING TO TYPE 1, FS QQ-W-461.
4. SCREWS: (FOR GYPSUM WALLBOARD APPLICATION) - SHALL BE TYPE S, 1-1/4", 1-5/8" 1-7/8" OR LENGTH AS REQUIRED FOR PENETRATION OF GYPSUM BOARD & CONNECTION TO SUPPORT CHANNELS, & AS RECOMMENDED BY MANUFACTURER.

SURFACE CONDITIONS

1. EXAMINE THE AREAS & CONDITIONS UNDER WHICH WORK OF THIS SECTION WILL BE PERFORMED. CORRECTION CONDITIONS DETERMINANT TO TIMELY & PROPER COMPLETION OF THE WORK. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED.

INSTALLATION

1. PROVIDE 1-1/2" MAIN RUNNER CHANNELS SPACED ON 4 FOOT CENTERS & METAL FURRING CHANNELS SPACED ON NOT OVER 16" CENTERS. NEITHER MAIN RUNNERS NOR CROSS FURRING SHALL BE LET INTO NORM COMING IN CONTACT WITH ABUTTING MASONRY WALLS OR PARTITIONS. LOCATE A MAIN RUNNER WITHIN 6" OF THE WALL TO SUPPORT THE ENDS OF THE FURRING CHANNELS, & LOCATE HANGERS TO SUPPORT THE ENDS OF THE MAIN RUNNERS.
2. ALLOW 1" CLEARANCE BETWEEN END OF FURRING CHANNELS & ABUTTING WALLS, WHERE MAIN RUNNERS OR FURRING CHANNELS ARE SPLICED, OVERLAP THE ENDS NOT LESS THAN 8" & SECURELY TIE NEAR EACH END OF THE SPLICE WITH TWO (2) LOOPS OF 16 GAUGE GALVANIZED WIRE.
3. SUSPEND MAIN RUNNERS FROM STRUCTURE ABOVE WITH ONE (1) NO. 8 GAUGE HANGER WIRE AT 48" O.C. ALONG CARRYING CHANNEL & WITHIN 6" OF EACH END. ALL WIRE HANGERS SHALL BE OF SUCH LENGTH SO THAT THE LOWER ENDS MAY BE SADDLED OR WRAPPED AROUND THE MAIN RUNNERS SO AS TO PREVENT TURNING OR TWISTING OF THE RUNNERS.
4. SECURELY CLIP METAL FURRING CHANNELS AT RIGHT ANGLES TO MAIN RUNNERS, USING FURRING CHANNEL CLIPS OR SADDLE WITH 2 STRANDS OF 16 GAUGE TIRE WIRE. INSTALL FURRING CHANNEL CLIPS ON ALTERNATE SIDES OF THE MAIN CHANNEL RUNNER.
5. AT LIGHTS OR OTHER OPENINGS THAT INTERRUPT THE MAIN RUNNER OR FURRING CHANNELS, REINFORCE GRILLEAGE WITH 3/4" COLD-ROLLED CHANNELS, WIRE TIRED ATOP & PARALLEL TO THE MAIN RUNNER CHANNELS. PROVIDE NECESSARY REINFORCING TO MAINTAIN INTEGRITY OF CEILING & TO SUPPORT FIXTURES.
6. APPLY WALLBOARD WITH LONG DIMENSION AT RIGHT ANGLES TO THE FURRING CHANNELS, WITH ALL ABUTTING ENDS & EDGES OCCURRING OVER THE WEB SURFACE OF THE FURRING CHANNEL. USE WALLBOARD OF MAXIMUM POSSIBLE LENGTH TO MINIMIZE END JOINTS. NEATLY FIT & STAGGER END JOINTS. INSTALL WALLBOARD WITH 1-5/8" SCREWS SPACED 8" ON CENTER IN THE FIELD OF THE BOARD, AT ALL BEARINGS, & LONG ABUTTING EDGES.

LEVELING

1. CEILING GRID SYSTEM SHALL BE HUNG TRUE & LEVEL AT HEIGHT AS INDICATED ON DRAWINGS, SO THAT AFTER GYPSUM WALLBOARD HAS BEEN HUNG & FINISHED, IT WILL BE PROPERLY LEVEL WITH NO SAGGING OR BOWS IN CEILING.

TILE - CERAMIC, QUARRY, TERRAZZO & BRICK VENEER

1. INSTALL TILE IN AREAS INDICATED FROM LEASE LINE TO TRANSITION. USE ADHESIVES & APPLY ONLY AS RECOMMENDED BY MANUFACTURER & IN ACCORDANCE WITH INDUSTRY STANDARDS.
2. INSTALLERS MUST BE SPECIALISTS WITH A MINIMUM OF TWO (2) YEARS EXPERIENCE.
3. ALL INSTALLATION SHALL CONFORM TO THE LATEST APPLICABLE TILE COUNCIL OF AMERICA & ANSI STANDARDS.
4. DO NOT COMMENCE INSTALLATION UNTIL SUBSTRATE HAS BEEN MADE SUITABLE FOR TILE INSTALLATION.
5. REVIEW ALL AREAS TO RECEIVE TILE FLOORING (PRIOR TO SUBMITTING ESTIMATE) TO DETERMINE THE REQUIRED EXTENT OF SUBFLOOR PREPARATION.
6. SET & GROUT TILE WHEN AMBIENT TEMPERATURE IS AT LEAST 50° & RISING. ALIGN ALL JOINTS & CORNERS.
7. CLEAN CONCRETE FLOORS, REMOVING ALL FOREIGN MATTER & CONTAMINANTS SUCH AS GREASE, OIL, DUST, WATER, SURFACE DIRT, OLD SEALANTS OR GLAZING COMPOUNDS & ADHESIVE COATINGS. METAL SHALL BE CLEANED BY MECHANICAL OR SOLVENT PROCEDURES.
8. INSTALL TILE TO CONCRETE SUBSTRATE PER TCA STANDARDS FOR GROUT, W/ UNIFORMLY SPACED JOINTS, TO PATTERN INDICATED IN DRAWINGS. VERIFY LAYOUT & CUTS WITH PROJECT MANAGER PRIOR TO COMMENCEMENT OF WORK. CUT TILE AT WALL INTERSECTIONS FOR CONCEALMENT BY BASE WHERE APPLICABLE. VARY MORTAR THICKNESS, AS NECESSARY, TO ACCOMMODATE VARIATIONS IN THE TILE THICKNESS.
9. CLOSE AREAS IN WHICH TILE IS BEING PLACED TO TRAFFIC & OTHER WORK. KEEP AREA CLOSED UNTIL TILE IS FIRMLY SET. PROTECT FLOORING FROM DAMAGE. REPLACE DAMAGED TILE AT NO ADDITIONAL COST TO OWNER.
10. INSTALL TILE TO ALUMINUM GLAZING CHANNEL & METAL BASE WITH DOW CORNING 795 SILICONE BUILDING SEALANT. BEADS AT 6" ON CENTER MAXIMUM.
11. GROUT FLUSH WITH TILE EDGES. BUFF TILES WITH CHEESE CLOTH AFTER FINAL SPONGING.
12. DAMP CURE PER MORTAR & GROUT MANUFACTURER'S RECOMMENDATIONS.
13. SEAL ALL GROUT JOINTS PER MANUFACTURER'S WRITTEN INSTRUCTIONS WITH SEALER AS RECOMMENDED.
14. REFER TO "FLOOR PREP / SETTING MATERIALS" SPECIFICATIONS FOR SPECIFIC SUB-FLOOR LEVELING MATERIALS, PRIMERS, WATERPROOFING MEMBRANE & SETTING MATERIALS. REFER TO TILE GROUT SPECIFICATIONS FOR SPECIFIC GROUT MANUFACTURER.

WATER PROOFING

1. WATERPROOF MEMBRANE SHALL BE INSTALLED AT WALLS AND THROUGHOUT AREAS NOTED ON THE FINISH PLAN. WATER PROOF MEMBRANE SHALL BE INSTALLED AT WALLS AND FLOORS THROUGHOUT RESTROOM AREAS.
2. WATERPROOF MEMBRANE SHALL BE "MAPELASTIC T" TROWEL APPLIED, POLYMER MODIFIED, FLEXIBLE CEMENTITIOUS FIBER WATERPROOF MEMBRANE BY "MAPEI". EXTEND MEMBRANE 12" UP WALL, & 48" OUT ACROSS FLOOR, AS DETAILED IN PLANS. INSTALL OVER CEMENT BACKER BOARD & CONCRETE FLOOR.

DIVISION 10 - SPECIALTIES

1. TENANT'S G.C. SHALL PROVIDE ADEQUATE BACKING FOR SECURE INSTALLATION OF ALL ACCESSORIES.
2. ALL ACCESSORIES SHALL BE INSTALLED IN ACCORDANCE WITH ALL GOVERNING NATIONAL, STATE & LOCAL CODES PERTAINING TO HANDICAP ACCESSIBILITY.

ACCESSORIES

1. REFER TO SHEET A1.1 FOR RESTROOM ACCESSORY SPECIFICATIONS, & PLUMBING DRAWINGS FOR PLUMBING FIXTURE SPECIFICATIONS.

INSTALLATION

1. DELIVER INSERTS & ROUGH-IN FRAMES TO JOBSITE AT APPROPRIATE TIME FOR INSTALLATION.
2. FASTENINGS: FURNISH TOILET ACCESSORIES TO COMPLETE WITH ALL REQUIRED MOUNTING DEVICES, FASTENINGS & ACCESSORIES AS REQUIRED FOR A FINISHED

INSTALLATION, PROPERLY PACKAGED & TAGGED FOR READY IDENTIFICATION. FASTEN ALL ITEMS WITH SCREWS OR BOLTS EXTENDING AT LEAST 1" INTO SOLID BACKING IF NO OTHER FASTENING IS SPECIFIED.

3. INSTALLATION OF TOILET ACCESSORIES SHALL BE IN ACCORDANCE WITH THE DRAWINGS, REVIEWED SHOP DRAWINGS & THE MANUFACTURER'S INSTALLATIONS & RECOMMENDATIONS.
4. TENANT'S G.C. SHALL SUPPLY & INSTALL ADEQUATE BACKING FOR SECURE INSTALLATION OF ALL ACCESSORIES.

MOUNTING

1. LOCATIONS & HEIGHTS SHALL BE AS SHOWN ON DRAWINGS & IN CONFORMANCE WITH "HANDICAP ORDINANCES".

SIGNS

1. SIGNS ARE SUPPLIED & INSTALLED BY OWNER'S SIGN CONTRACTOR. G.C. SHALL PROVIDE POWER SOURCE & REQUIRED DISCONNECTS, TIME CLOCKS ETC. COORDINATE WITH SIGN CONTRACTOR AS REQUIRED.

FIRE EXTINGUISHERS (PROVIDED BY G.C.)

1. EXTINGUISHERS SHALL BE 10-POUND CAPACITY, U.L. LABELS, ENAMEL, STEEL CONTAINER WITH PRESSURE INDICATING GAUGE FOR CLASS A, B, OR C FIRES.
2. INSTALL ON WALL MOUNTED HOOKS AS INDICATED OR DIRECTED BY THE MARSHALL, NEATLY FITTING TO FINISH SURFACES. PLACE FULLY CHARGED EXTINGUISHERS ON HOOKS PRIOR TO OCCUPANCY.
3. SEE FIXTURE PLAN FOR ARCHITECTS SUGGESTED LOCATIONS.

AUDIO/VIDEO

1. ALL AUDIO & VIDEO CABLES SHALL BE RUN IN CONDUIT (UNLESS OTHERWISE NOTED).
2. LEAVE ADEQUATE AMOUNT OF SLACK IN AUDIO & VIDEO CABLES FOR PROPER POSITIONING OF EQUIPMENT AFTER INSTALLATION.
3. EXCESS LENGTHS OF CABLE SHALL BE CONCEALED IN BRACKETS OR CEILING.

DIVISION 11 - EQUIPMENT

REFER TO FOOD SERVICE DRAWINGS FOR SPECIFICATIONS.

DIVISION 12 - FURNISHINGS

REFER TO FIXTURE PLAN FOR SPECIFICATIONS.

DIVISION 13 - NOT USED**DIVISION 14 - NOT USED****DIVISION 15 - MECHANICAL**

REFER TO MECHANICAL DRAWINGS FOR SPECIFICATIONS.

DIVISION 16 - PLUMBING

REFER TO PLUMBING DRAWINGS FOR SPECIFICATIONS.

DIVISION 17 - ELECTRICAL

REFER TO ELECTRICAL DRAWINGS FOR SPECIFICATIONS.

CLIENT
PROJECT
ARCHITECT
CONSULTANTSSEAL
LICENSE EXPIRES ON: MM-DD-YYYY
DATE OF SIGNATURE: MM-DD-YYYYARCHITECT
DXU
ARCHITECTS
4125 West Street 2nd Floor • Chicago, IL 60607
P. 312.915.3334 • F. 312.915.3334
CONSULTANTS

SPECIFICATIONS

These documents are confidential and shall be in the possession of authorized individuals only. They are the exclusive property of DXU and shall not be copied or reproduced without written authorization.

© DXU 2024

ILLINOIS PROFESSIONAL DESIGN REGISTRATION NUMBER: 184.006683 EXPIRES: 4/30/2024

PLOT DATE: 6/8/2024 4:02 PM

PLOTTED BY: STRUCTURAL

G2-02

Page Number: 24-328

Drawn By: YV

Approved By: JD

Date: 06-18-2024

Issue No.: FOR PERMIT

Plotted Date: 06-18-2024

Plotter: DX-4000

PVOLVE

1845 YGNACIO VALLEY

WALNUT CREEK, CA 94598

PROJECT

CLIENT

SEAL

LICENSE EXPIRES ON: MM-DD-YYYY
DATE OF SIGNATURE: MM-DD-YYYY

REASON FOR ISSUE

Project Number:	24-328	Approved By:	JD
Drawn By:	YY	Date:	06-18-2024
No.	Issue	FOR PERMIT	

SHEET TITLE & NUMBER

ILLINOIS PROFESSIONAL DESIGN REGISTRATION: 184-006688 EXPIRES: 4/30/2024

DxDU ARCHITECTS

4125 West Street 2nd Floor • Chicago, IL 60657
P: 312.915.3334 • F: 312.915.3334

CONSULTANTS

ARCHITECT

CONSULTANT

DEMOLITION

D1-1

These documents are confidential and shall be in the possession
of authorized individuals only. All rights reserved. They are the exclusive
property of DxDU and shall not be copied or reproduced
without written authorization.

DEMOLITION KEYNOTES

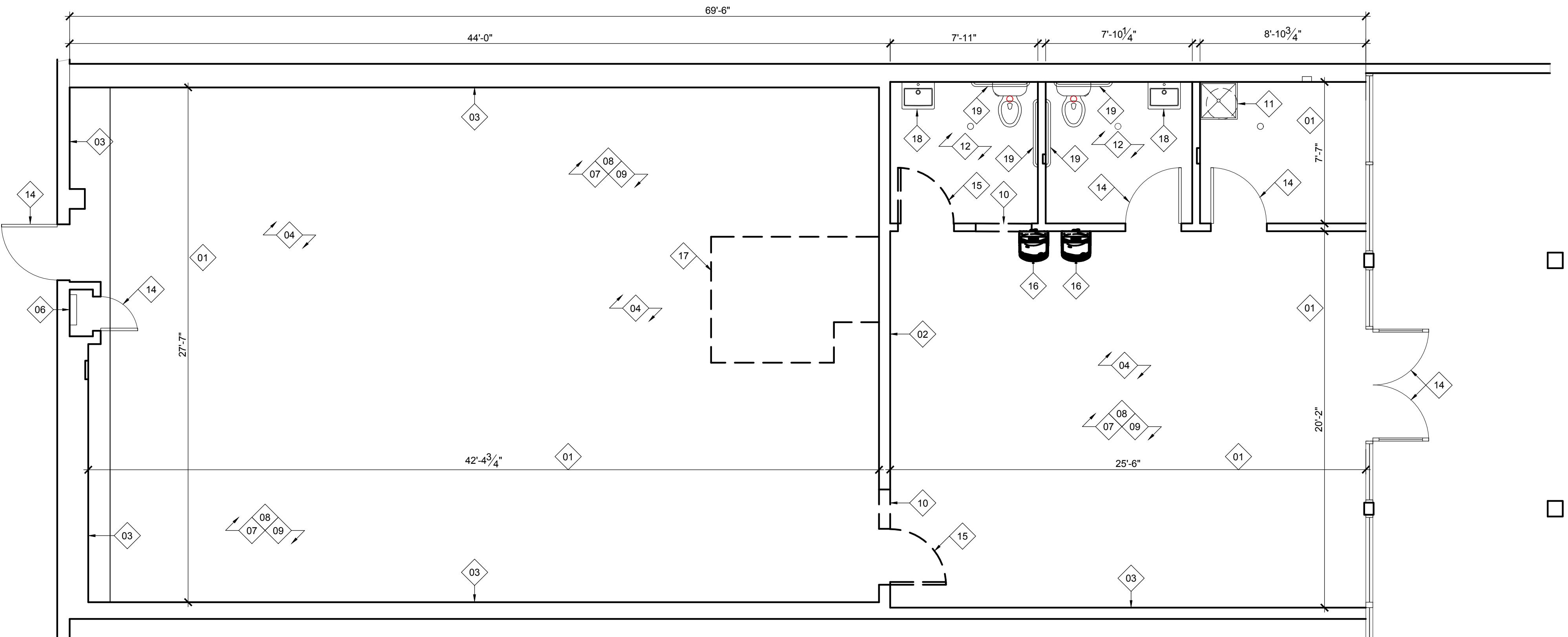
- 01 VERIFY ACTUAL DIMENSION MATCHES INDICATED CRITICAL DIMENSION AFTER DEMOLITION AND NOTIFY ARCHITECT IMMEDIATELY WITH ANY DISCREPANCIES.
- 02 EXISTING PARTITION WALL TO REMAIN.
- 03 TENANT TO PROVIDE 2 HOUR DEMISING WALL. SEE A1-21 FOR WALL TAGS.
- 04 EXISTING FIRE SPRINKLER SYSTEM TO REMAIN. IDENTIFICATION PROVIDED AS REQUIRED UNDER SEPARATE PERMIT.
- 05 VERIFY EXISTING CONDUCTORS ARE OF SUFFICIENT LENGTH, SIZE, AND CONDITION TO DISTRIBUTE TO NEW PANEL LOCATION. SEE PLANS
- 06 EXISTING ELECTRICAL PANEL TO REMAIN. ELECTRICIAN TO INSPECT INTERIOR COMPONENTS FOR CORROSION OR DAMAGE AND NOTIFY TENANT OF ANY REQUIREMENTS FOR REPLACEMENT OR REPAIR.
- 07 EXISTING FLOOR AND CEILING FINISHES TO BE REMOVED.
- 08 EXISTING PLUMBING FIXTURE TO BE REMOVED. CAP SANITARY CONNECTION BELOW FLOOR. DEMO SUPPLY PIPING BACK TO SERVICE ENTRANCE.
- 09 DEMO ALL EXISTING LIGHTING, POWER OUTLETS, AND ASSOCIATED CONDUITS, DEVICES, AND WIRING BACK TO PANEL.
- 10 EXISTING PARTITION WALL TO BE REMOVED.
- 11 EXISTING MOP/FLOOR SINK, W.H. TO REMAIN.
- 12 EXISTING GRAB BARS, SINK, WATER CLOSET AND OTHER BATHROOM ACCESSORIES TO REMAIN.
- 14 EXISTING DOORS TO REMAIN.
- 15 REMOVE EXISTING DOORS.
- 16 REMOVE EXISTING WATER FOUNTAIN/BOTTLE FILLER.
- 17 REMOVE EXISTING MILLWORK.
- 18 SINKS TO BE REPLACED.
- 19 GRAB BARS TO BE REMOVED PREP FOR REPLACEMENT.

DEMOLITION NOTES

- 1. DEMOLISH EXISTING CONSTRUCTION AS INDICATED ON THE DRAWINGS AND REQUIRED BY JOB CONDITIONS. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS THAT WOULD PREVENT REMOVAL OF ANY ELEMENTS INDICATED.
- 2. PROTECT EXISTING CONSTRUCTION AND EQUIPMENT DESIGNATED TO REMAIN.
- 3. CONTRACTOR SHALL ENDEAVOR TO IDENTIFY ANY HAZARDOUS MATERIALS WITHIN THE SPACE, INCLUDING BUT NOT LIMITED TO ASBESTOS, BEARING MATERIALS, AND WHERE REQUIRED BY LAW, PROVIDE REQUIRED TESTING. WHERE HAZARDOUS MATERIALS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARRANGE FOR PROPER REMEDIATION.
- 4. UNLESS INDICATED OTHERWISE BY OWNER OR THESE DRAWINGS, ALL REMOVED MATERIAL AND ABANDONED EQUIPMENT SHALL BE LEFT AT THE SITE. CONTRACTOR, THE CONTRACTOR SHALL REMOVE DEMOLISHED ITEMS FROM THE SITE AND DISPOSE OF THEM IN A LEGAL MANNER.
- 5. THE CONTRACTOR SHALL ADHERE TO ANSI A10.6 SAFETY REQUIREMENTS FOR DEMOLITION PUBLISHED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE.
- 6. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE ACCURACY AND INSTALLATION OF ALL TEMPORARY SHORING SYSTEMS USED DURING THE REMOVAL OF ALL STRUCTURAL ELEMENTS, EXCEPT AS OTHERWISE AGREED BY THE BUILDING DEPT. AND THE ARCHITECT.
- 7. IF THE SAFETY OF EXISTING CONSTRUCTION APPEARS TO BE ENDANGERED AT ANY TIME, CEASE OPERATIONS AND IMMEDIATELY NOTIFY THE OWNER AND ARCHITECT. THE CONTRACTOR SHALL DEVISE A PLAN TO MAKE THE JOB SITE AS SAFE AS POSSIBLE. THE PUBLIC LIFE SAFETY FIRST AND FOREMOST, WORK SHALL NOT RESUME UNTIL DANGEROUS CONDITIONS HAVE BEEN REMEDIATED TO THE ARCHITECT'S SATISFACTION.
- 8. THE DRAWINGS DO NOT NECESSARILY INDICATE THE FULL EXTENT OF THE WORK REQUIRED TO BE PERFORMED. INSPECT THE EXISTING CONSTRUCTION CAREFULLY TO DETERMINE THE FULL EXTENT OF WORK TO BE PERFORMED AND THE PROBLEMS INVOLVED. NO EXTRA COMPENSATION WILL BE ALLOWED BECAUSE OF FAILURE TO ESTIMATE THE FULL EXTENT OF THE WORK OR FOR ANY CONTINGENCIES IN CONNECTION THEREWITH.
- 9. ALL WORK SHALL BE PERFORMED BY SKILLED AND PROPERLY EQUIPPED PERSONNEL, AND LICENSED WHEN REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
- 10. DEMOLITION AND REMOVAL OF ITEMS WHEN A SCAFFOLD, LADDER, OR OTHER VERTICAL ACCESS IS REQUIRED SHALL BE LOWERED BY CONTROLLED METHODS, NOT BY THROWING OR DROPPING.
- 11. PERFORM ANY CUTTING AND STRIPPING SO THAT THE WORK TO REMAIN IS UNDAMAGED AND IN SUCH MANNER THAT NEW WORK CAN BE PROPERLY CONNECTED WITH EXISTING WORK TO REMAIN.
- 12. DEMOLISH EXISTING CONSTRUCTION ONLY TO THE EXTENT NECESSARY FOR THE PROPER INSTALLATION OF NEW CONSTRUCTION AND JUNCTION WITH EXISTING WORK. CUT BACK FINISHED SURFACES TO STRAIGHT, PLUMB AND LEVEL AS REQUIRED.
- 13. SAWING SHALL BE PERFORMED BY EXPERIENCED CRAFTSMEN CUSTOMARILY ENGAGED IN AND PROPERLY EQUIPPED FOR THE PERFORMANCE OF THE TYPE OF WORK REQUIRED BY JOB CONDITIONS. USE DUST VACUUM EQUIPMENT FOR CONTROL OF WASTE COOLING LIQUID AND DUST PROTECTION AS REQUIRED.
- 14. WHEN REQUIRED FOR NEW WORK, INCIDENTAL DEMOLITION OF EXISTING ELEMENTS MAY BE REQUIRED FOR INSTALLATION OF PIPING, CONDUIT, TUBING, DUCTWORK, OR OTHER CONVEYANCE ELEMENTS AS REQUIRED BY MECHANICAL, PLUMBING, AND ELECTRICAL SCOPE. THE DRAWINGS MAY NOT SPECIFY EXACTLY SUCH INCIDENTS OF DEMOLITION; HOWEVER, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY AND PERFORM SUCH.
- 15. DRILLING AND INSTALLING SLEEVES FOR PASSAGE OF PIPING, CONDUIT, AND TUBING SHALL BE PERFORMED BY THE TRADE INSTALLING THE PIPING, CONDUIT, OR TUBING.
- 16. REPAIR, RESTORE, REPLACE, OR MAKE GOOD ANY DAMAGE TO EXISTING CONSTRUCTION WHICH OCCURS AS A RESULT OF DEMOLITION OPERATIONS AT NO ADDITIONAL COST TO THE OWNER. THESE REPAIRS SHALL INCLUDE ANY ROOF PATCHING REQUIRED DUE TO DEMOLITION AND SHALL BE COORDINATED WITH THE LANDLORD AND LANDLORD'S ROOFER.
- 17. DO NOT ALLOW MATERIALS AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE. REMOVE DAILY AND DISPOSE OF IN A LEGAL MANNER. NO INCINERATION, BURNING, OR BURGLING OF DEMOLISHED MATERIAL SHALL BE PERMITTED. DEBRIS SHALL NOT BE STORED OR STAGED NEAR ANY BACKFILL MATERIAL TO PREVENT CONTAMINATION OF BACKFILL WITH UNSUITABLE FILL.
- 18. LEAVE ALL SPACES BROOM CLEAN WITH ALL LEDGES AND CORNERS PROPERLY CLEANED AT THE END OF EACH WORK DAY.
- 19. PROVIDE PROTECTION TO PREVENT GLASS BREAKAGE AS MAY BE REQUIRED. REPLACE IN KIND ANY GLASS BROKEN BY CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST.
- 20. PROVIDE HOISTS AND CHUTES AS REQUIRED TO COVER REMOVED MATERIAL, THROWING, DROPPING, OR PERMITTING THE FREE FALL OF MATERIAL AND DEBRIS FROM HEIGHTS WHICH WOULD CAUSE DAMAGE TO WORK, CAUSE EXCESSIVE NOISE OR NUISANCE, CREATE UNSAFE CONDITIONS, OR CAUSE EXCESSIVE DUST IS EXPRESSLY PROHIBITED.
- 21. WHERE REQUIRED, ERECT SIGNS, BARRICADES, AND SUCH OTHER FORMS OF WARNING TO PREVENT PERSONNEL FROM BEING PUT AT RISK OF INJURY.
- 22. DOORS AND HARDWARE: REMOVE CAREFULLY TO AVOID DAMAGE, INSO FAR AS POSSIBLE, LEAVE HARDWARE ATTACHED TO THE DOOR. WHERE THIS IS NOT PRACTICAL, PLACE ITEMS OF HARDWARE IN A CLOTH BAG ATTACHED TO THE DOOR.

WALL KEY

- EXISTING WALL TO REMAIN
- NEW WALL
- WALL OR ELEMENT TO BE DEMO'D



PENETRATION PLAN NOTES

- CONTRACTOR SHALL SAW CUT EXISTING SLAB AS REQUIRED TO INSTALL UNDERGROUND PIPING. ANY BACK FILL REQUIRED SHALL BE OF 3" CA-6 COMPACTED GRAVEL LAID IN 6" LIFTS AS REQUIRED.
- CONTRACTOR SHALL PATCH SLAB AS REQUIRED FOR NEW LAYOUT WITH LIKE CONSTRUCTION, WHERE NEW CONCRETE SLABS SHALL NOT BE LESS THAN 4" IN THICKNESS. PROVIDE LIKE VAPOR BARRIER AS EXISTING CONSTRUCTION.
- FOR LARGE NON-LINEAR PATCHES THAT ARE IN EXCESS OF 36"x36" SQUARE AREA, PROVIDE DOWELS INTO EXISTING AND NEW SLAB.

KEYNOTES

- 01 EXISTING TOILET CONNECTION
- 02 EXISTING WATER HEATER ABOVE, COORDINATE CONDENSATE DRAIN TO DRAIN INTO MOP SINK BELOW. SEE PLUMBING DRAWINGS
- 03 EXISTING FLOOR DRAIN
- 04 WATER FOUNTAIN DRAIN, SEE MANUFACTURER SPEC FOR ROUGH IN HEIGHT
- 05 EXISTING WASHING MACHINE DRAIN
- 06 EXISTING MOP SINK
- 07 EXISTING LAVATORY DRAIN
- 08 BOTTLE FILLER.

PVOVLE

PVOVLE - WALNUT CREEK, CA

1845 YGNACIO VALLEY

WALNUT CREEK, CA 94598

CLIENT

PROJECT

LICENCE EXPIRES ON: MM-DD-YYYY
DATE OF SIGNATURE: MM-DD-YYYY**DxU**

ARCHITECTS

4125 West Street 2nd Floor • Chicago, IL 60656

P: 312.915.3334 • F: 312.915.3335

CONSULTANTS

REASON FOR ISSUE

Project Number:	24-328	Approved By:	JD
Drawn By:	YY	Date:	
No.	Issue	FOR PERMIT	06-18-2024

SHEET TITLE & NUMBER

PENETRATION PLAN

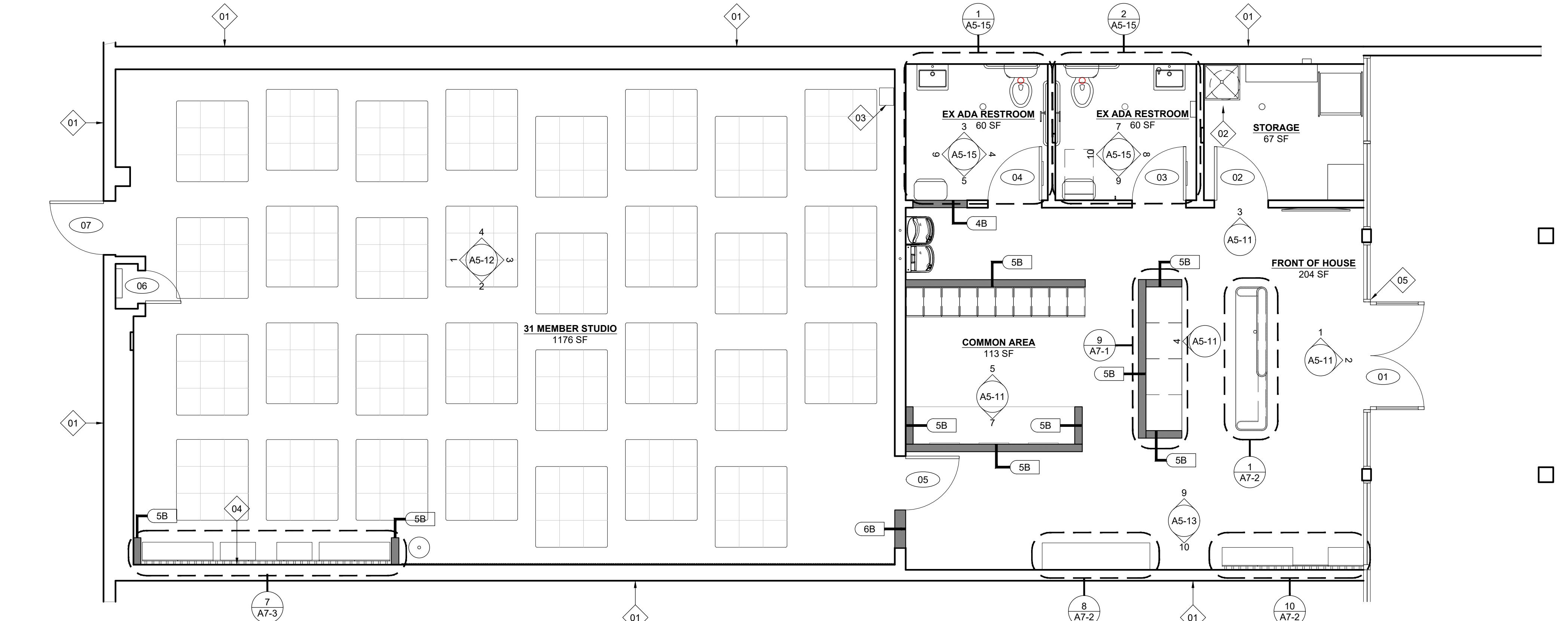
These documents are confidential and shall be in the possession of authorized individuals only. All rights reserved. These documents are the exclusive property of DxU and shall not be copied or reproduced without written authorization.

© DxU 2024

ILLINOIS PROFESSIONAL DESIGN REGISTRATION: 184.006688 EXPIRES: 4/30/2024

A1-11**1 PENETRATION PLAN**

1/4"=1'-0"



1 FLOOR PLAN

PLOT DATE: 6/19/2024 10:26 AM PLOTTED BY: STRUCTURAL402

- KEYNOTES**
- 01 ALL PENETRATIONS IN FIRE RATED ASSEMBLIES SHALL BE SEALED IN ACCORDANCE WITH THE FIRE PENETRATION DETAIL ON SHEET A8-1.
 - 02 WATER HEATER SHELF. MAINTAIN 6'-8" AFF CLEAR BELOW SHELF. SEE PLUMBING DRAWINGS FOR SHELF DETAILS AND BRACING.
 - 03 IPAD WALL MOUNT WITH INTEGRAL POWER, WALL SHELF, AND DUPLEX OUTLET. COORDINATE POWER AS REQUIRED.
 - 04 THIS SECTION OF WALL STUDS SHALL BE 16 GAUGE STUDS 16" O.C. WITH IN-WALL BRACING AND BLOCKING SUITABLE TO MOUNT STORAGE SYSTEM. SEE WALL TYPE 6D SIMILAR.
 - 05 COORDINATE ELECTRICAL FOR EXTERIOR WALL SIGNAGE WITH TENANT'S SIGN VENDOR. SIGN PERMITS UNDER SEPARATE COVER.
 - 06 CONTRACTOR TO REMOVE ANY EXISTING WEATHER SEALANT AND REPLACE WITH NEW WEATHER SEALANT FOR WATER-TIGHTNESS.
 - 07 THE FIRE-RATED DOOR SHALL MEET THE REQUIREMENTS FOR A SMOKE AND DRAFT CONTROL ASSEMBLY TESTED IN ACCORDANCE WITH UL 1784.
 - 08 PROVIDE WALL END CAP AND FIN TO PROVIDE TIGHT FIT TO GLASS.

PVOLE

1845 YGNACIO VALLEY
WALNUT CREEK, CA 94598

MUNICIPAL APPROVAL STAMP

CLIENT

PROJECT

LICENSE EXPIRES ON: MM-DD-YYYY
DATE OF SIGNATURE: MM-DD-YYYY

DxU
ARCHITECTS

4125 West Street • Chicago, IL 60657
P: 312.915.3334 • x. 111 • E: t.ell@dxu.com

CONSULTANTS

REASON FOR ISSUE

Project Number:	24-328	Approved By:	JD
Drawn By:	YY	Date:	
No.		Issue	06-18-2024
		FOR PERMIT	

SHEET TITLE & NUMBER

FLOOR PLAN

A1-21

WALL KEY

- EXISTING WALL TO REMAIN
- NEW WALL
- WALL TYPE TAG. SEE A8-1

These documents are confidential and shall be in the possession of authorized individuals only. These documents are the exclusive property of DxU and shall not be copied or reproduced without written authorization.

1845 YGNACIO VALLEY
WALNUT CREEK, CA 94598

PVOLE

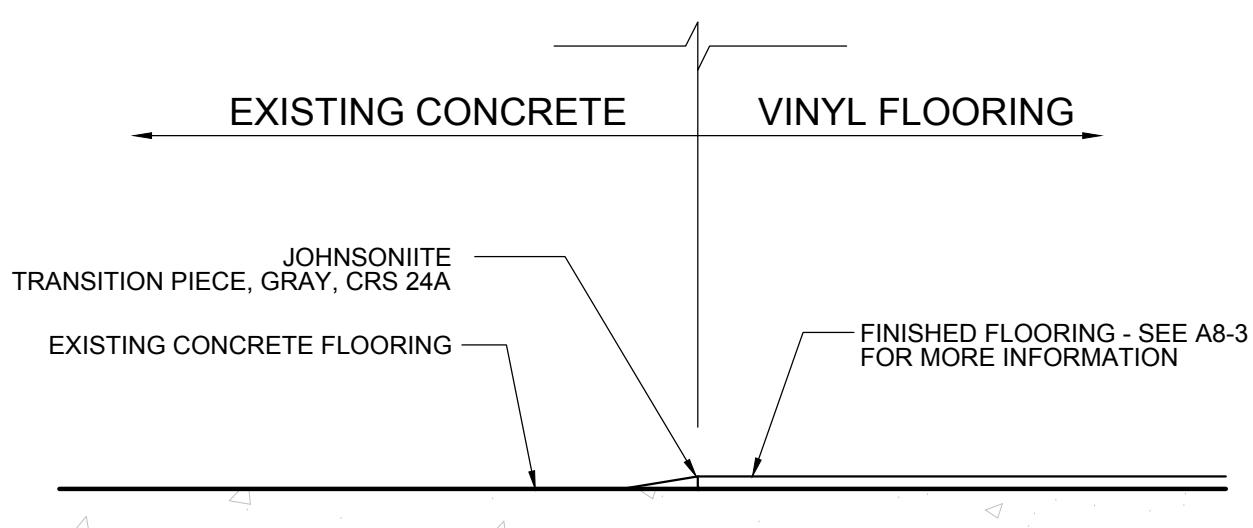
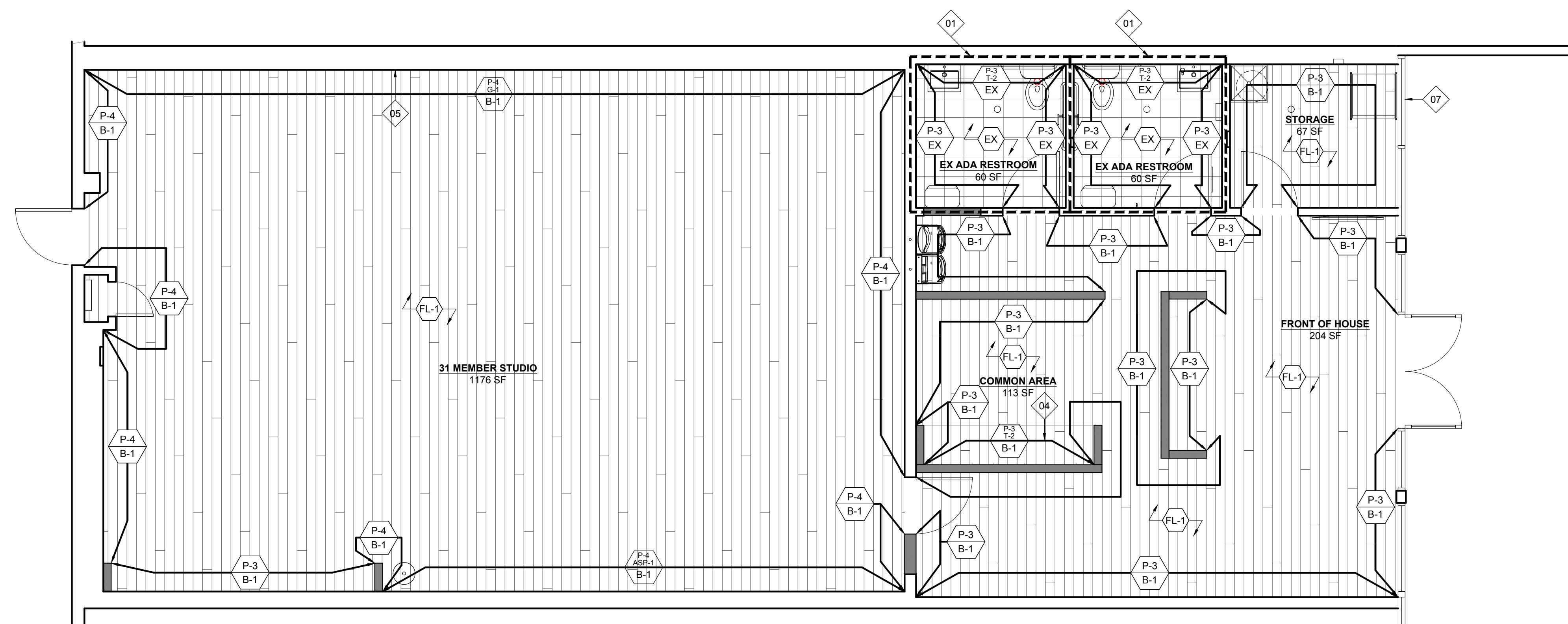
MUNICIPAL APPROVAL STAMP

CLIENT	DXU ARCHITECTS	
PROJECT	4125 Walnut Creek • 1st fl • P.O. Box 60000 • San Ramon, CA 94583-60000	
CONSULTANTS	P. 925.373.3334 • F. 925.373.3335 • E. info@dxu.com	
SEAL	LICENSE EXPIRES ON: MM-DD-YYYY	DATE OF SIGNATURE: MM-DD-YYYY
REASON FOR ISSUE		
Project Number:	Approved By:	Date:
Drawn By: YY	Issue No.:	06-18-2024
FOR PERMIT		
SHEET TITLE & NUMBER		
ILLINOIS PROFESSIONAL DESIGN REGISTRATION: 184.006688 EXPIRES: 4/30/2024		

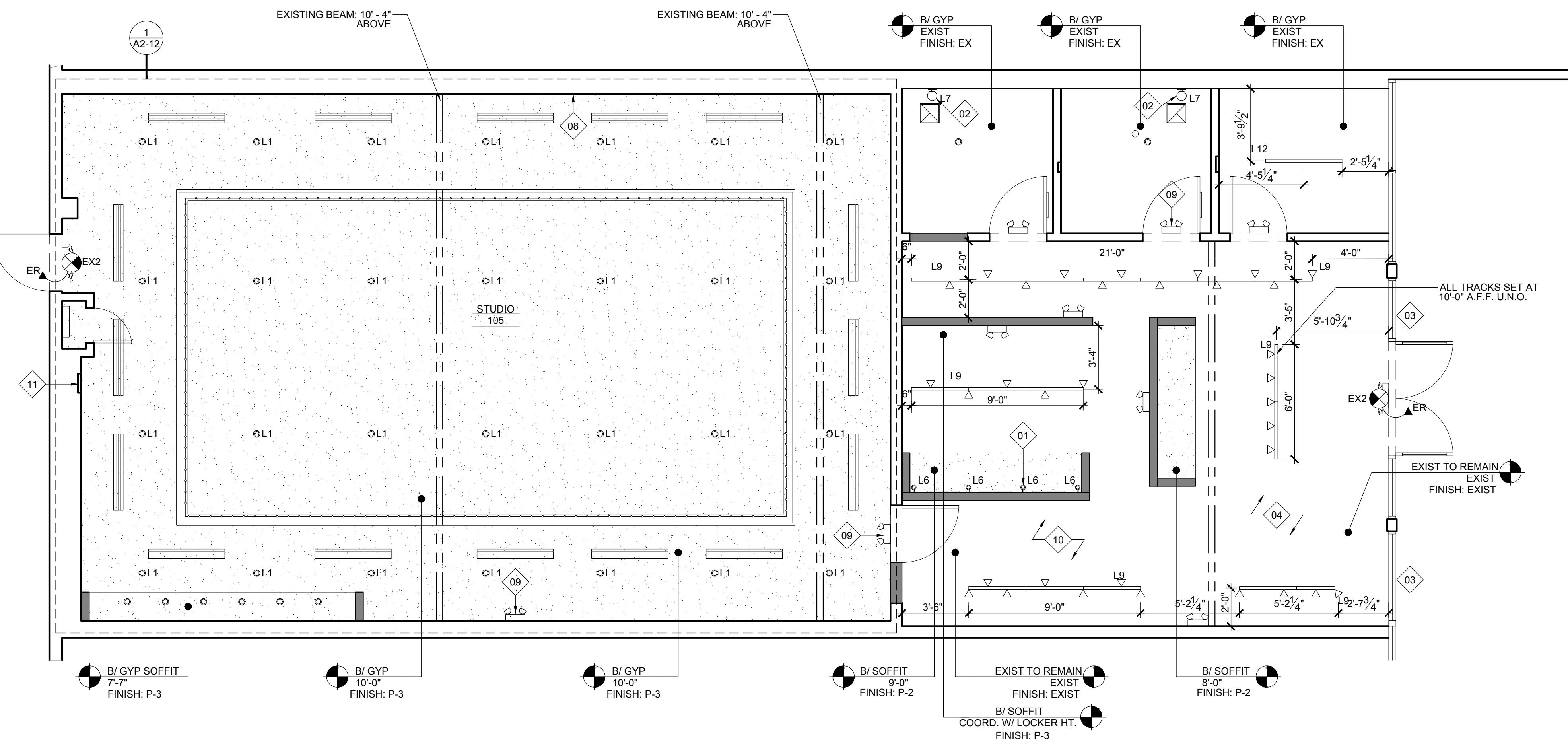
These documents are confidential and shall be in the possession of authorized individuals only. All rights reserved. They are the exclusive property of DXU and shall not be copied or reproduced without written authorization.

1 FINISH PLAN
1/4"=1'-0"

2 TRANSITION DETAIL
NTS



A1-41



1 REFLECTED CEILING PLAN
1/4"=1'-0"

- KEYNOTES**
- 01 REFER TO ELEVATIONS FOR WALL MOUNTED FIXTURE HEIGHT.
 - 02 LIGHT FIXTURES TO ALIGN WITH CENTERLINE OF LAVATORY BELOW. COORDINATE LAVATORY INSTALLATION WITH LIGHTING.
 - 03 EXTERIOR SIGNAGE IS BY SIGNAGE CONTRACTOR UNDER SEPARATE PERMIT. SIGN CONTRACTOR SHALL COORDINATE PERMITS FOR EXTERIOR SIGNAGE.
 - 04 ALL OPEN CEILINGS TO BE SPRAYED P-6.
 - 05 24x24 ACCESS PANEL. COORDINATE EXACT LOCATION IN FIELD WITH HVAC CONTRACTOR.
 - 06 A.C.T. GRID STARTING POINT.
 - 07 COORDINATE SOFFIT HEIGHT WITH LOCKERS. SEE ELEVATIONS FOR LOCKER HEIGHTS.
 - 08 L8 TAPE LIGHT UNDER MIRROR. SEE DETAIL SHEETS.
 - 09 CEILING MOUNT EM LIGHTING IN STUDIO
 - 10 IN AREAS WITH OPEN CEILINGS HOLD ALL DUCTING AND CONDUIT TIGHT TO THE STRUCTURE ABOVE.
 - 11 12x12 ACCESS PANEL. COORDINATE EXACT LOCATION IN FIELD WITH HVAC CONTRACTOR.

SYMBOL KEY

- L1 CAN LIGHT
- L6 SCONCE
- L7 SCONCE
- L8 TAPELIGHT
- ▽ △ L9 TRACK LIGHT
- L12 LINEAR LIGHT
- L13 2X2 LED PANEL
- EMERGENCY LIGHT
- EXIT SIGN EM LIGHT COMBO
- EXHAUST FAN. SEE MECHANICAL DWGS FOR MORE INFO.
- RETURN GRILLE. SEE MECHANICAL DWGS FOR MORE INFO.
- SUPPLY REGISTER. SEE MECHANICAL DWGS FOR MORE INFO.
- LINEAR DIFFUSER
- △ 24x24 ACCESS PANEL

SEAL
LICENCE EXPIRES ON: MM-DD-YYYY
DATE OF SIGNATURE: MM-DD-YYYY

DxU
ARCHITECTS

4125 West Street 2nd Floor • Chicago, IL 60657
P: 312.915.3334 • F: 312.915.3334

CONSULTANTS

PVOLE - WALNUT CREEK, CA
1845 YGNACIO VALLEY
WALNUT CREEK, CA 94598

REASON FOR ISSUE

Project Number: 24-328	Approved By: JD	Date:
Drawn By: YY		
No.	Issue	FOR PERMIT

SHEET TITLE & NUMBER

REFLECTED
CEILING PLAN

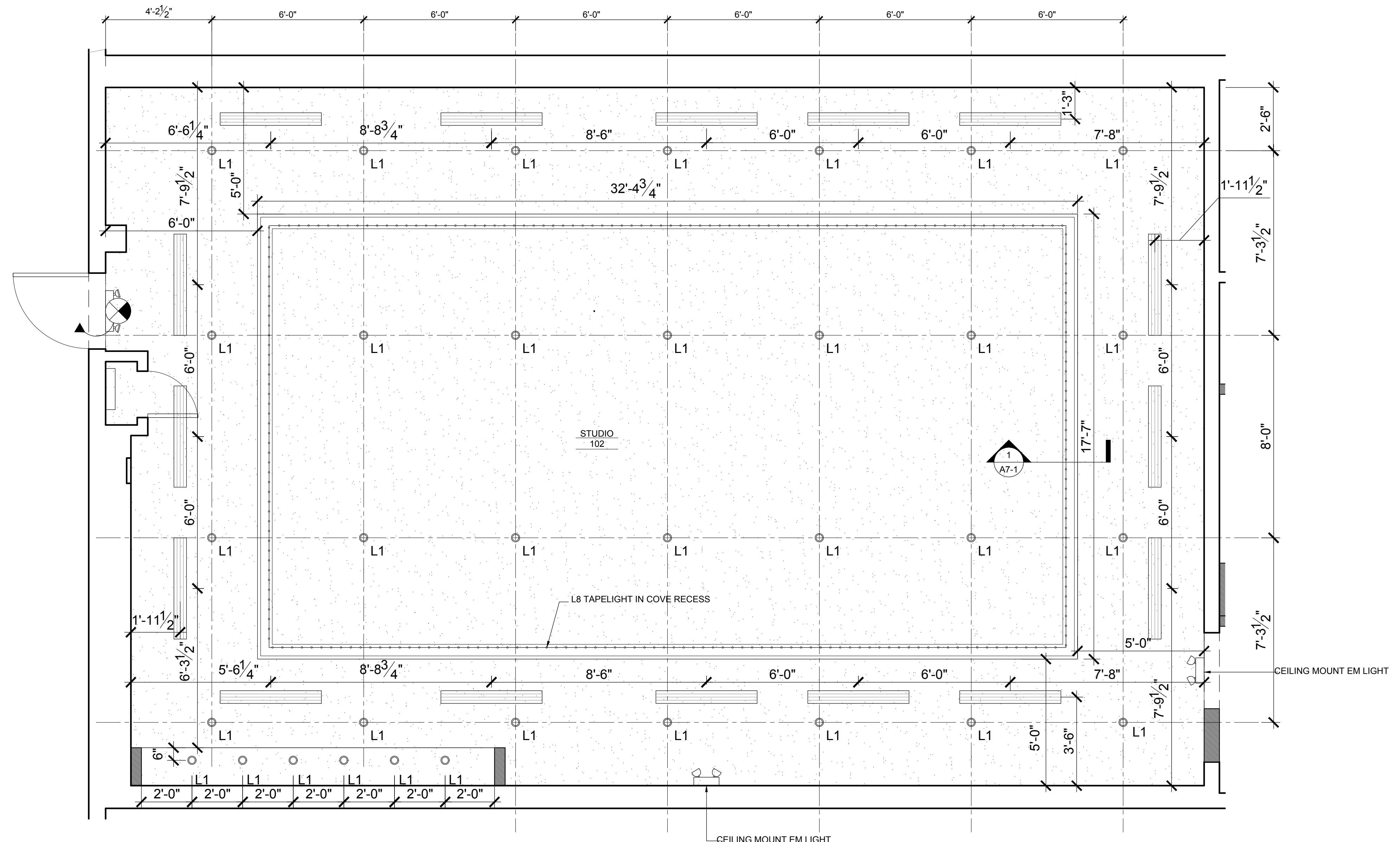
A2-11

These documents are confidential and shall be in the possession of authorized individuals only. All rights reserved. They are the exclusive property of DxU and shall not be copied or reproduced without written authorization.

GRID SHOWN IS FOR LIGHTING LAYOUT
PURPOSES ONLY AND DOES NOT DEPICT
GYPSUM BOARD SUPPORT GRID

PVOVLE

1845 YGNACIO VALLEY
WALNUT CREEK, CA 94598



REASON FOR ISSUE

Project Number: 24-328	Approved By: JD
Drawn By: YY	Date:
No.	Issue:
FOR PERMIT	06-18-2024

LICENSE EXPIRES ON: MM-DD-YYYY
DATE OF SIGNATURE: MM-DD-YYYY

DxU
ARCHITECTS

4125 Walnut Street • Suite 200 • Denver, CO 80205
P: 303.915.3334 • F: 303.915.3334

CONSULTANTS

SHEET TITLE & NUMBER

ENLARGED
REFLECTED
CEILING PLAN

A2-12

These documents are confidential and shall be in the possession
of authorized individuals only. All rights reserved. These are the exclusive
property of DxU and may not be copied or reproduced
without written authorization.



1 STUDIO REFLECTED CEILING PLAN
3/8"=1'-0"

KEYNOTES

- (T) PROVIDE TEMPERED SAFETY GLASS
- (01) SEE MANUFACTURER INSTALLATION INSTRUCTION FOR MOUNTING HEIGHT OF WATER FOUNTAIN
- (02) NEW STOREFRONT SYSTEM TO MATCH EXISTING
- (03) SEE DETAIL SHEETS, A7 SERIES, FOR MILLWORK DETAILS
- (04) PROVIDE OBSCURING FILM ON WINDOWS AS SHOWN, FASARA "MILKY MILKY" BY 3M.
- (05) UNISEX ACCESSIBLE WALL SIGNAGE
- (06) UNISEX DOOR SIGN
- (07) TACTILE EXIT SIGN

PVOLVE1845 YGNACIO VALLEY
WALNUT CREEK, CA 94598

CLIENT

PROJECT

LICENCE EXPIRES ON: MM-DD-YYYY
DATE OF SIGNATURE: MM-DD-YYYY

ARCHITECTS

4125 Walnut Street • Suite 200 • Denver, CO 80204

P. 312.915.3334 • F. 312.915.3334

CONSULTANTS

REASON FOR ISSUE

Project Number: 24-328	Approved By: JD	Date:
Drawn By: YY	Issue:	06-18-2024
No. _____	FOR PERMIT	_____

SHEET TITLE & NUMBER

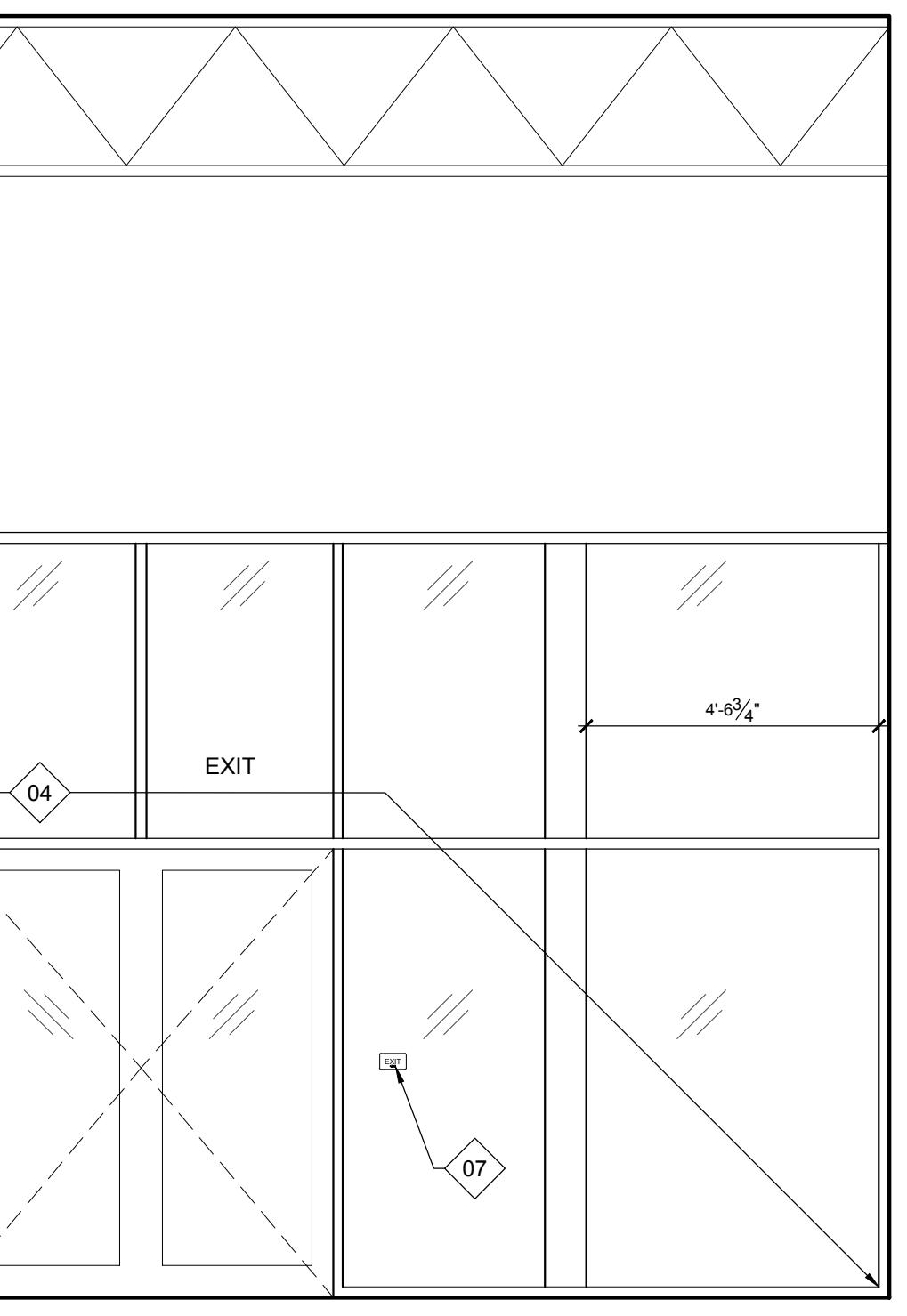
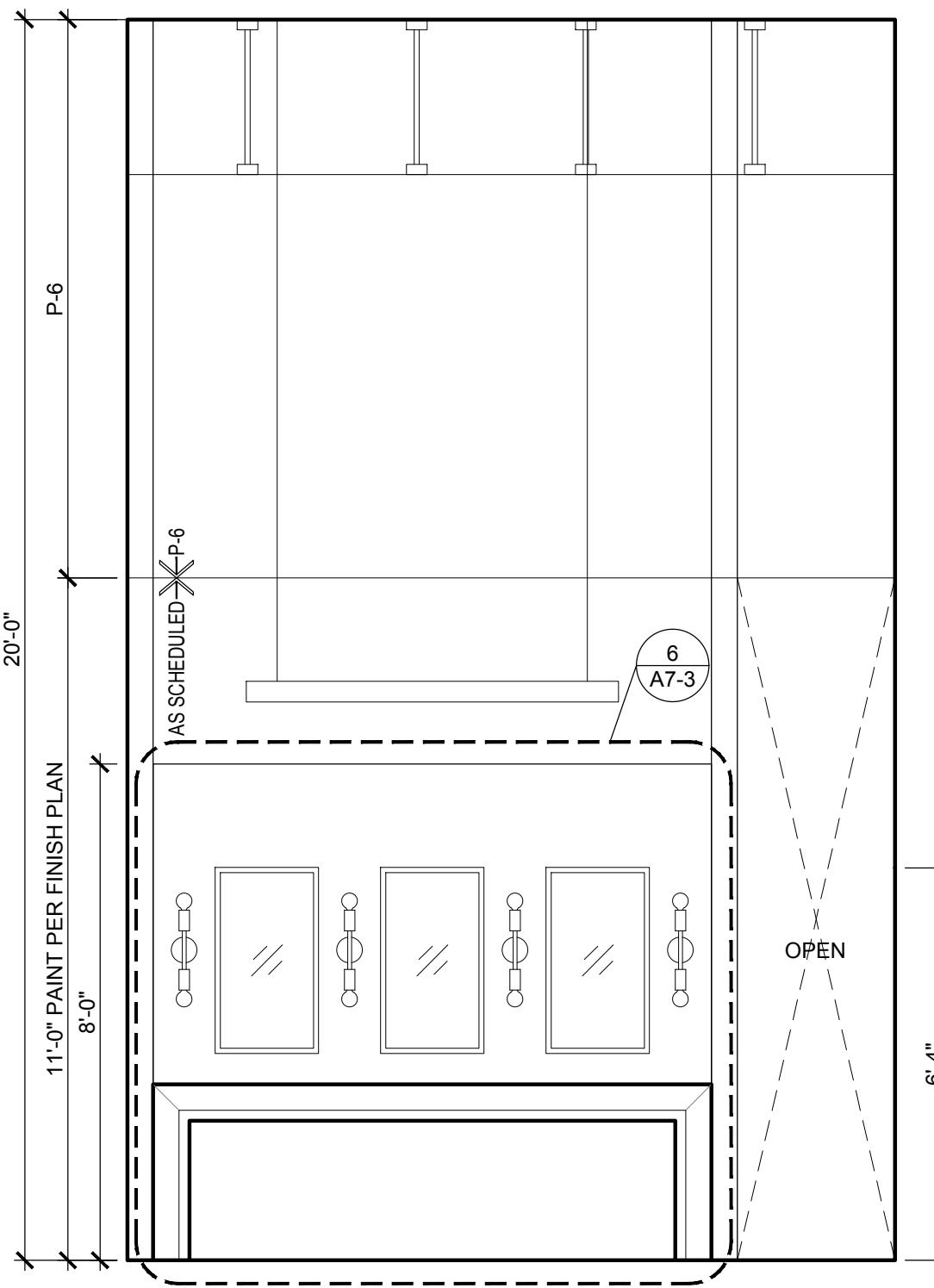
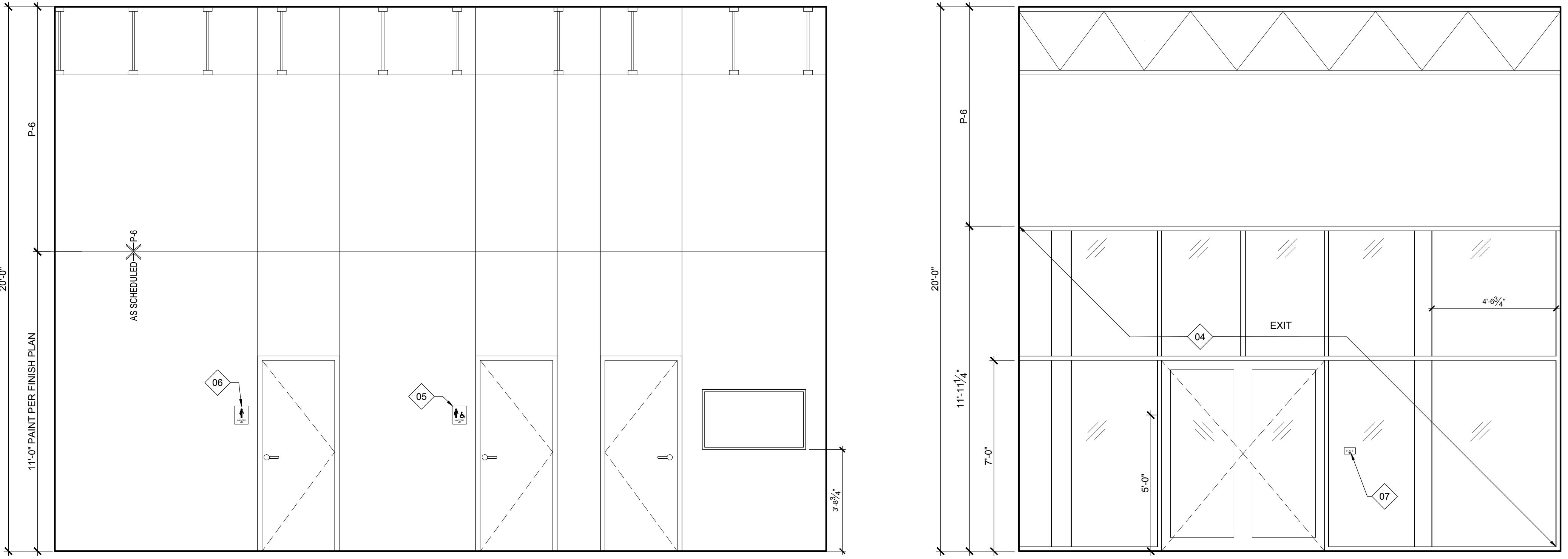
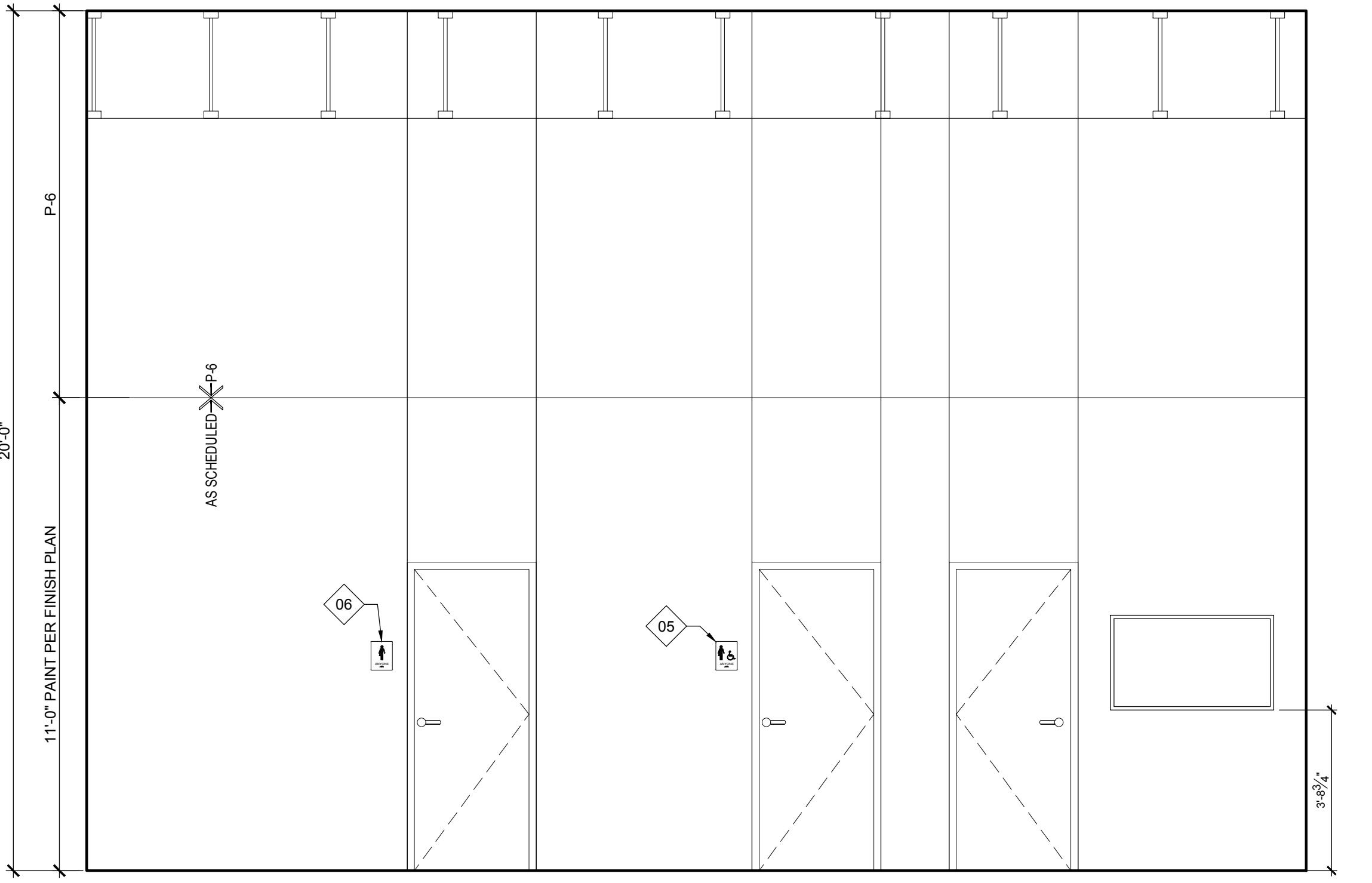
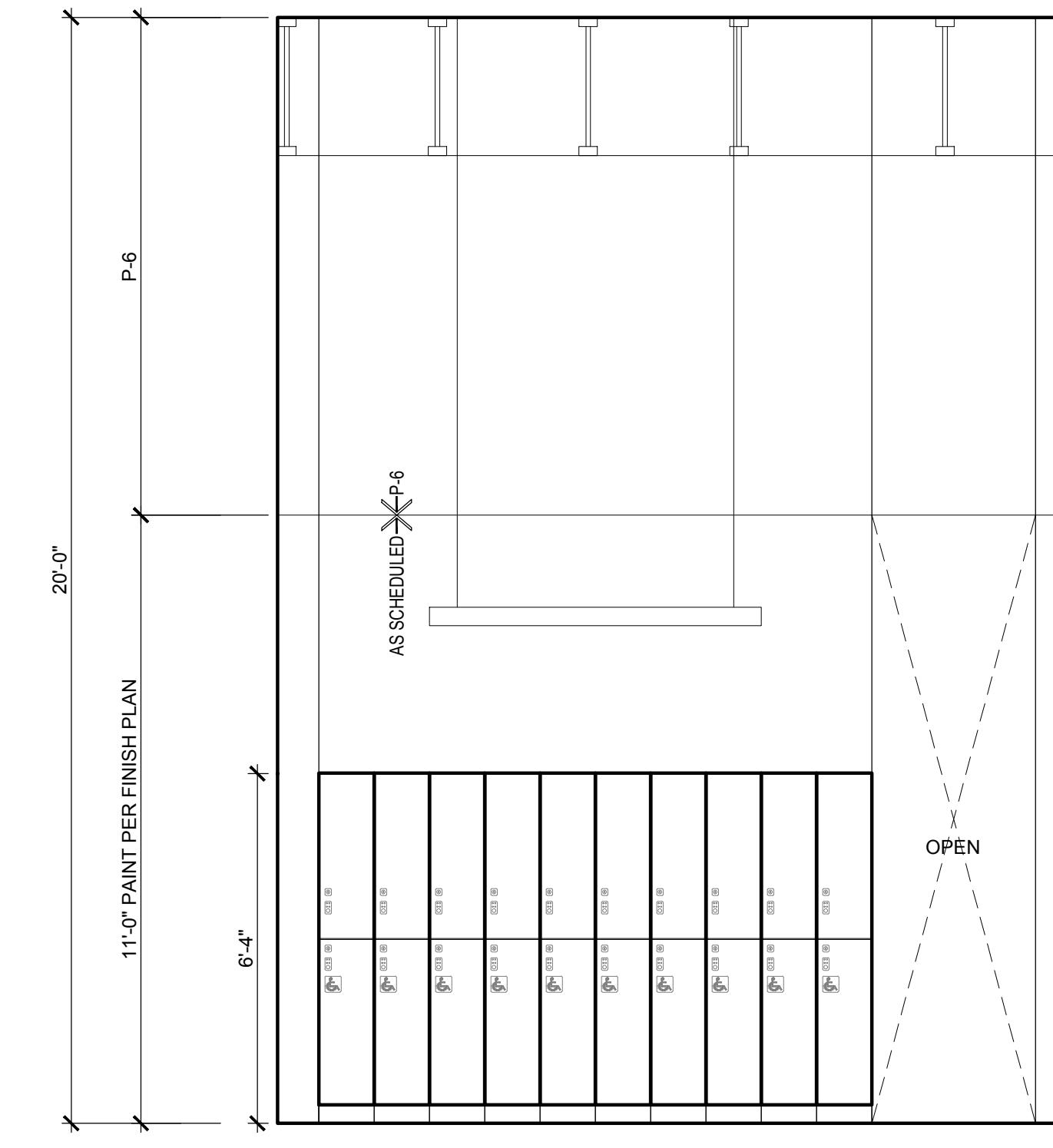
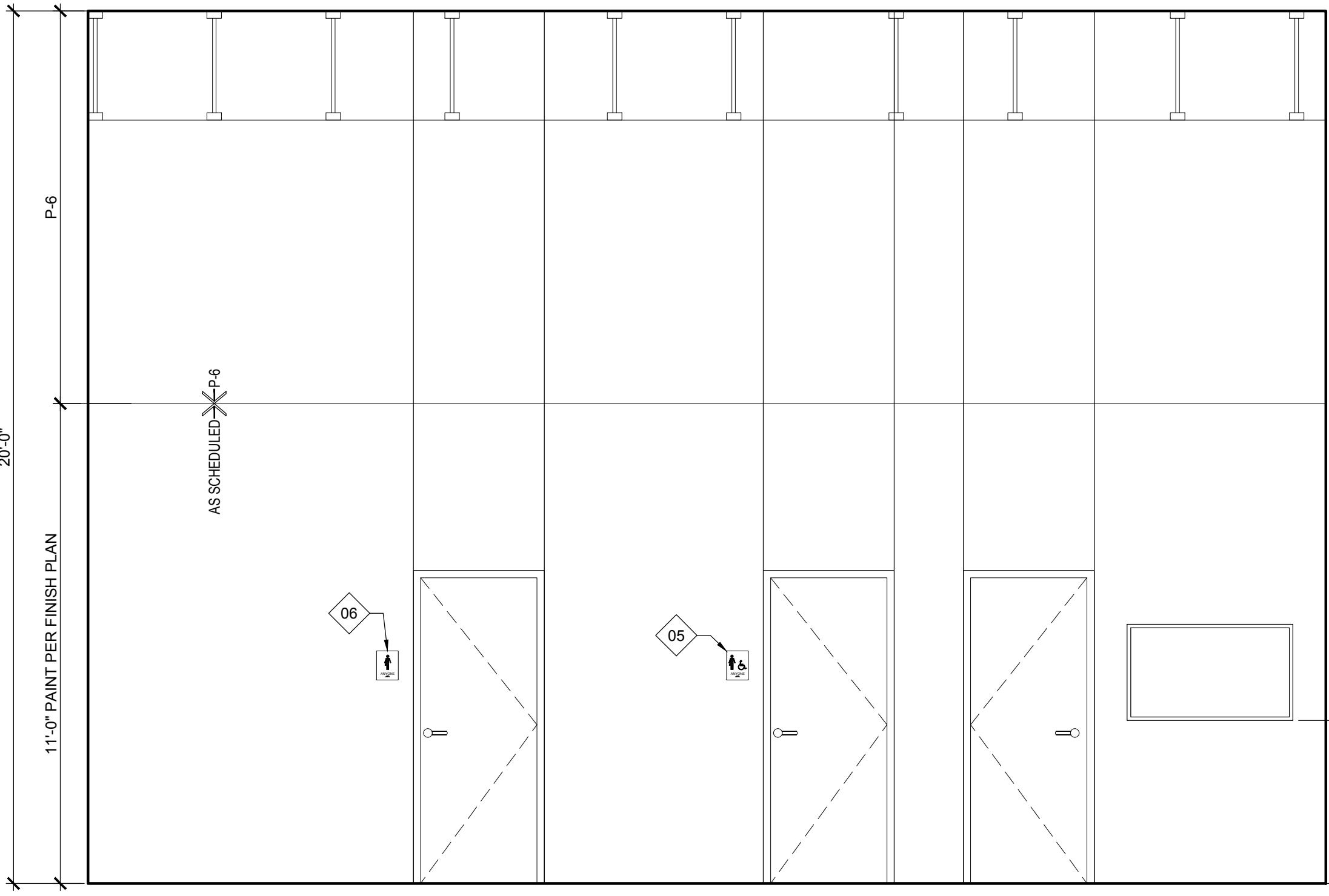
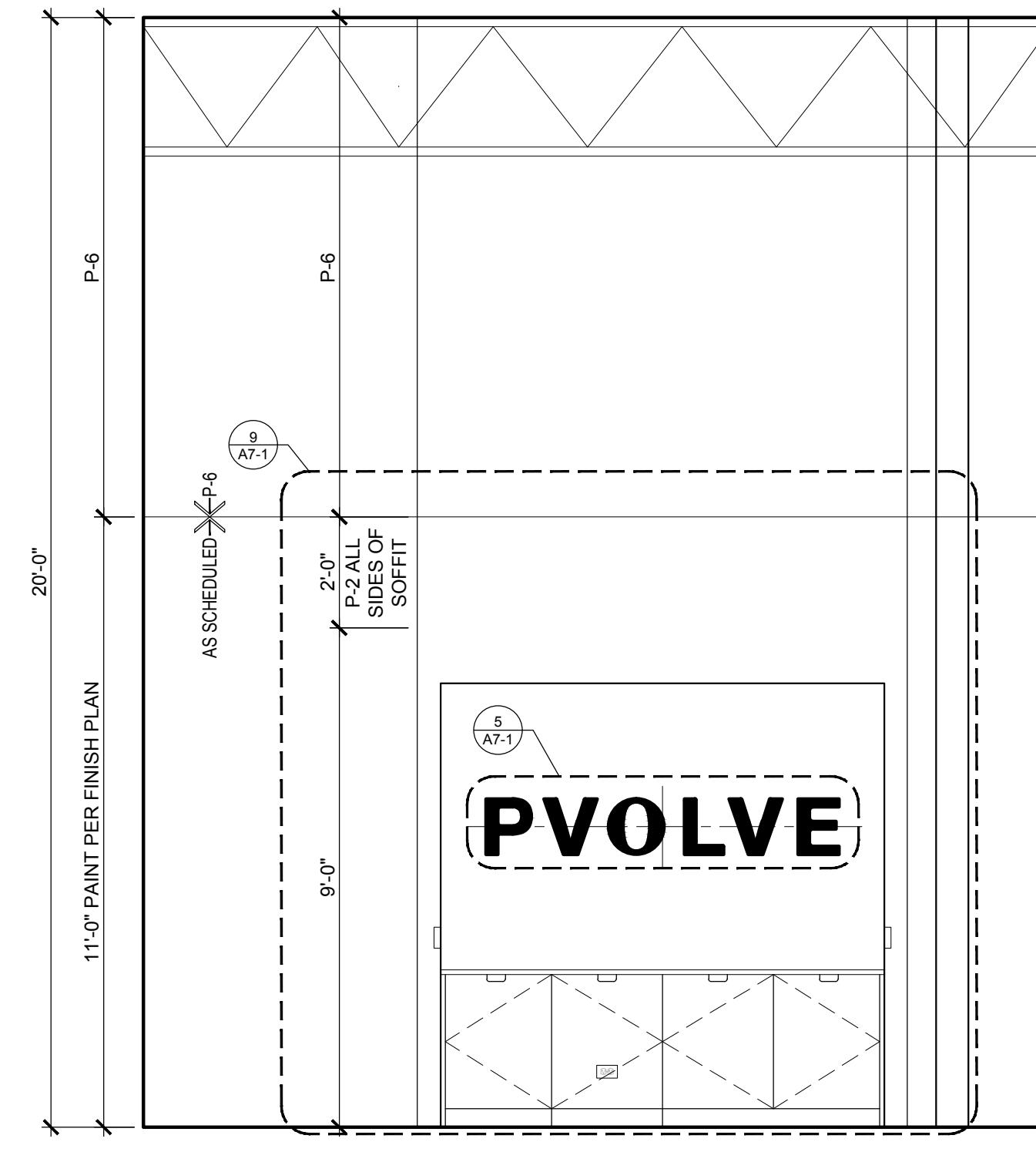
ILLINOIS PROFESSIONAL DESIGN REGISTRATION: 184.006688 EXPIRES: 4/30/2024

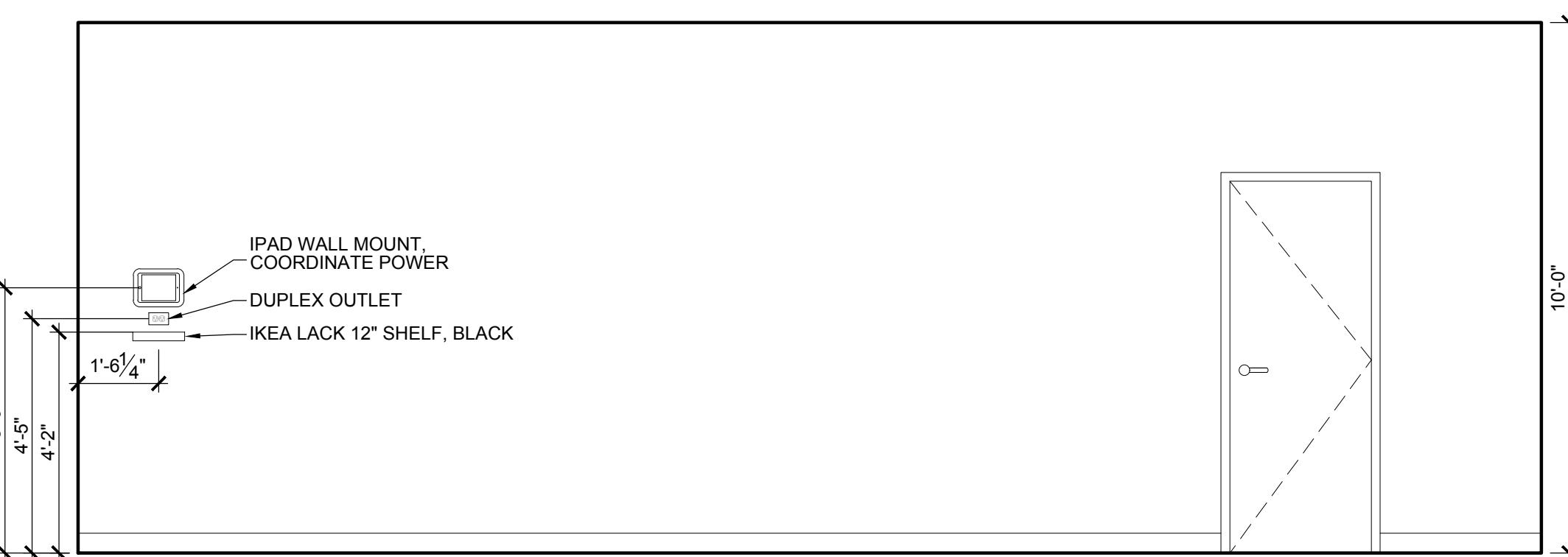
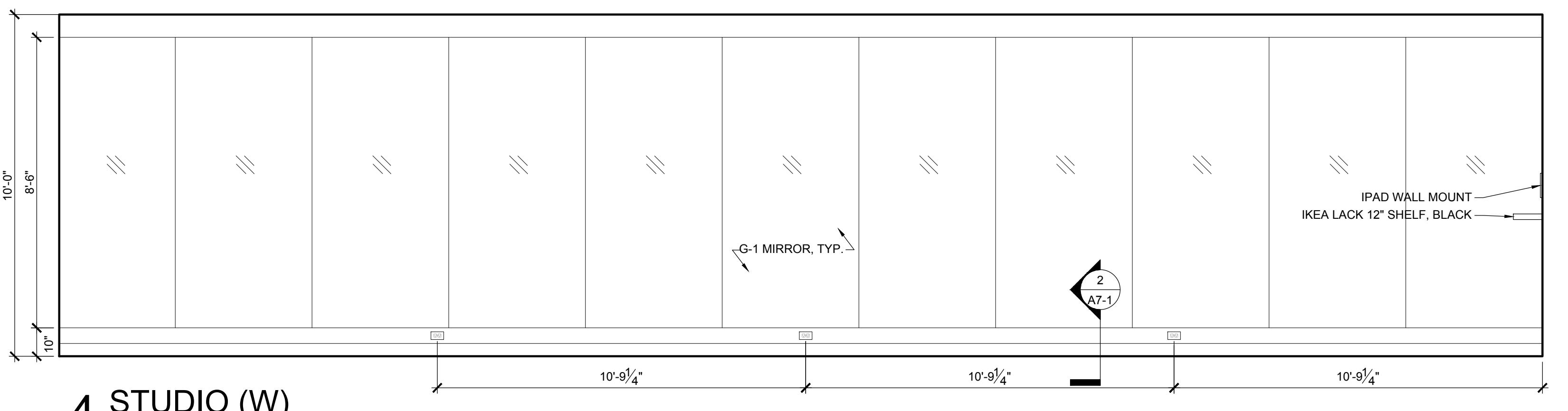
© DxU 2024

These documents are confidential and shall be in the possession of authorized individuals only. All rights reserved. They are the exclusive property of DxU and shall not be copied or reproduced without written authorization.

INTERIOR ELEVATIONS

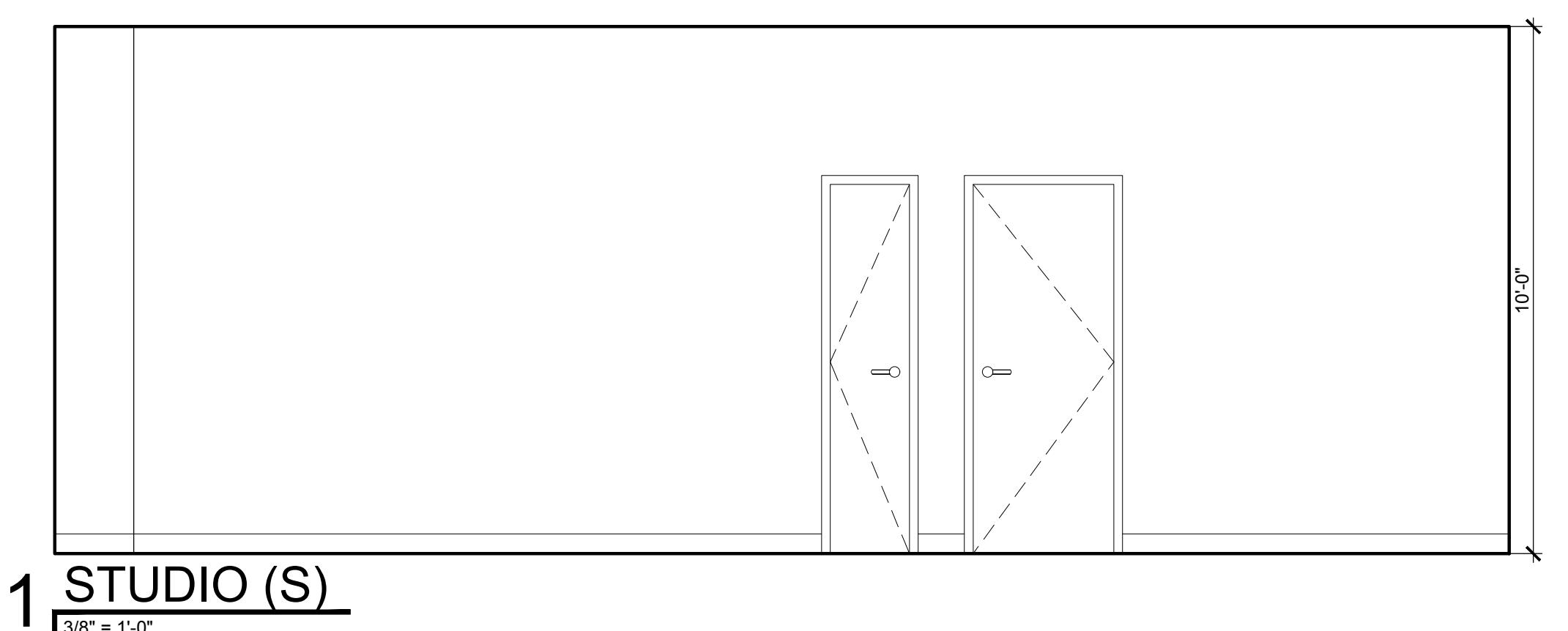
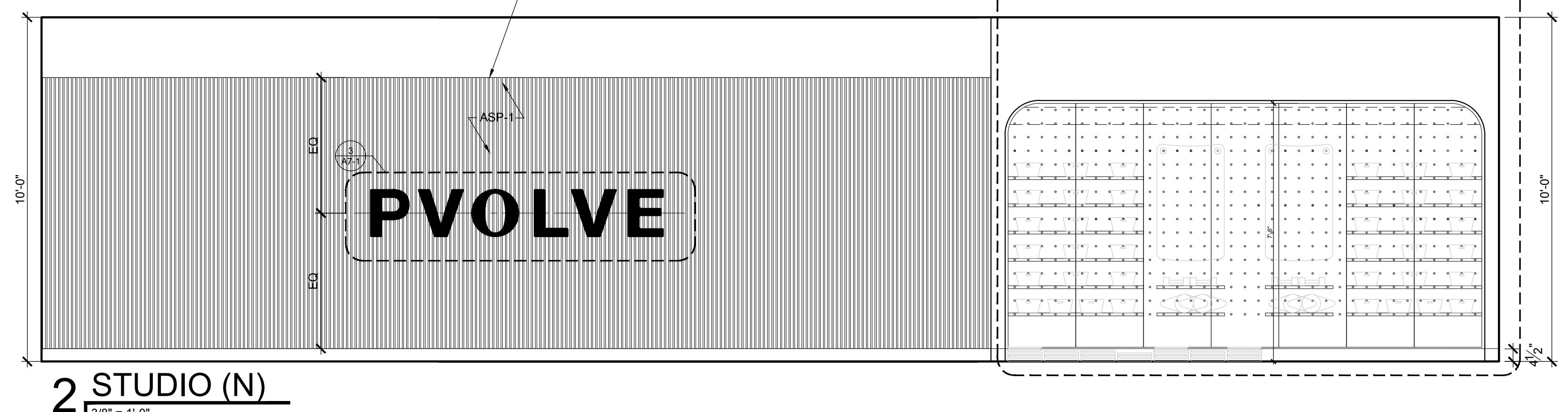
A5-11





PVOLOVE

1845 YGNACIO VALLEY
WALNUT CREEK, CA 94598



REASON FOR ISSUE

Project Number:	24-328	Approved By:	JD
Drawn By:	YY	Date:	06-18-2024
No.	FOR PERMIT	Issue:	06-18-2024

SHEET TITLE & NUMBER

INTERIOR ELEVATIONS

A5-12

These documents are confidential and shall be in the possession of authorized individuals only. All rights reserved. These documents are the exclusive property of DxJU and shall not be copied or reproduced without written authorization.

DxJU
ARCHITECTS
4125 West Street 2nd Floor • Chicago, IL 60656
P: 312.915.3334 • F: 312.915.3334
CONSULTANTS

PVOVLE

PVOVLE - WALNUT CREEK, CA

1845 YGNACIO VALLEY
WALNUT CREEK, CA 94598

CLIENT

PROJECT

LICENCE EXPIRES ON: MM-DD-YYYY
DATE OF SIGNATURE: MM-DD-YYYY
DxU
 ARCHITECTS

CONSULTANTS

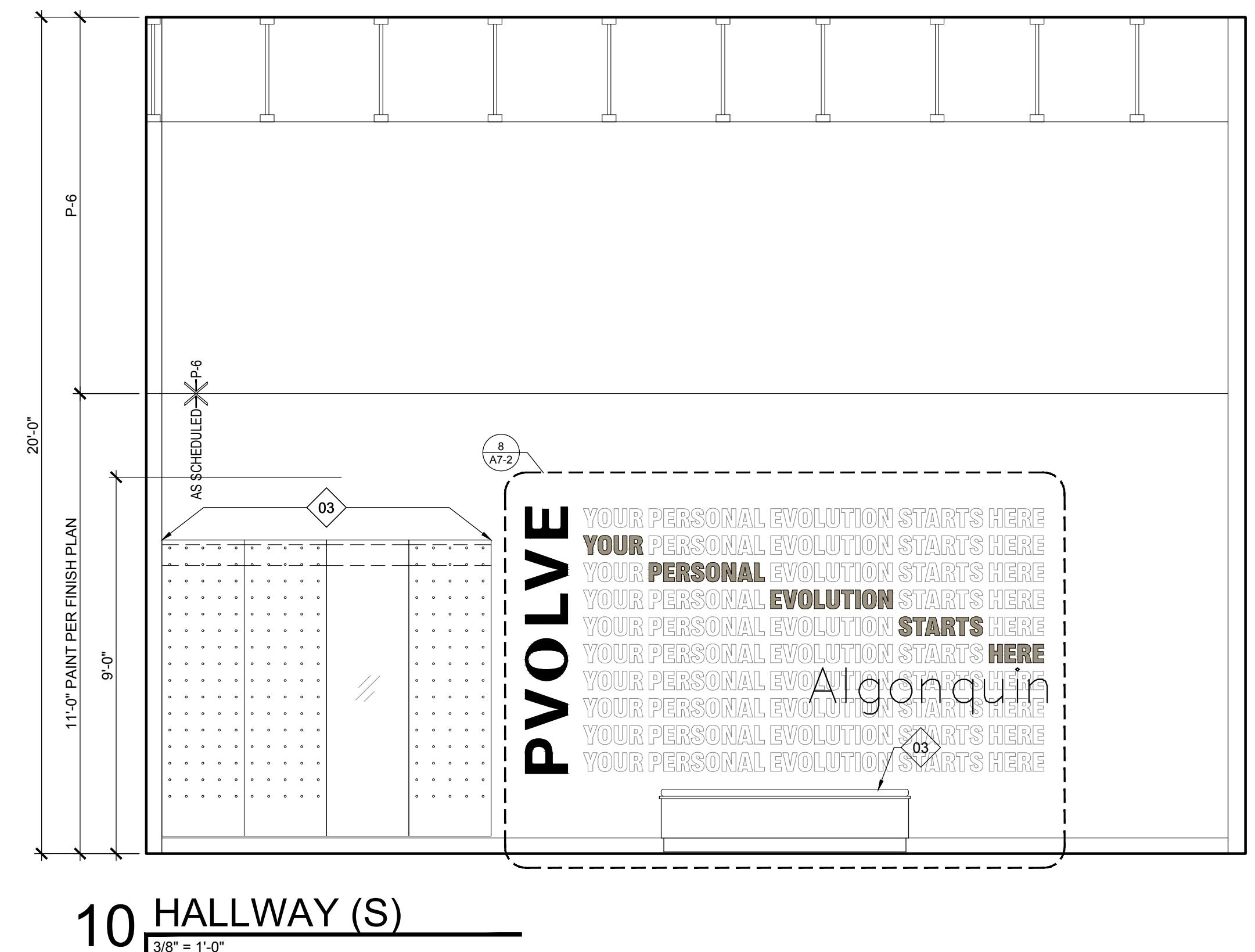
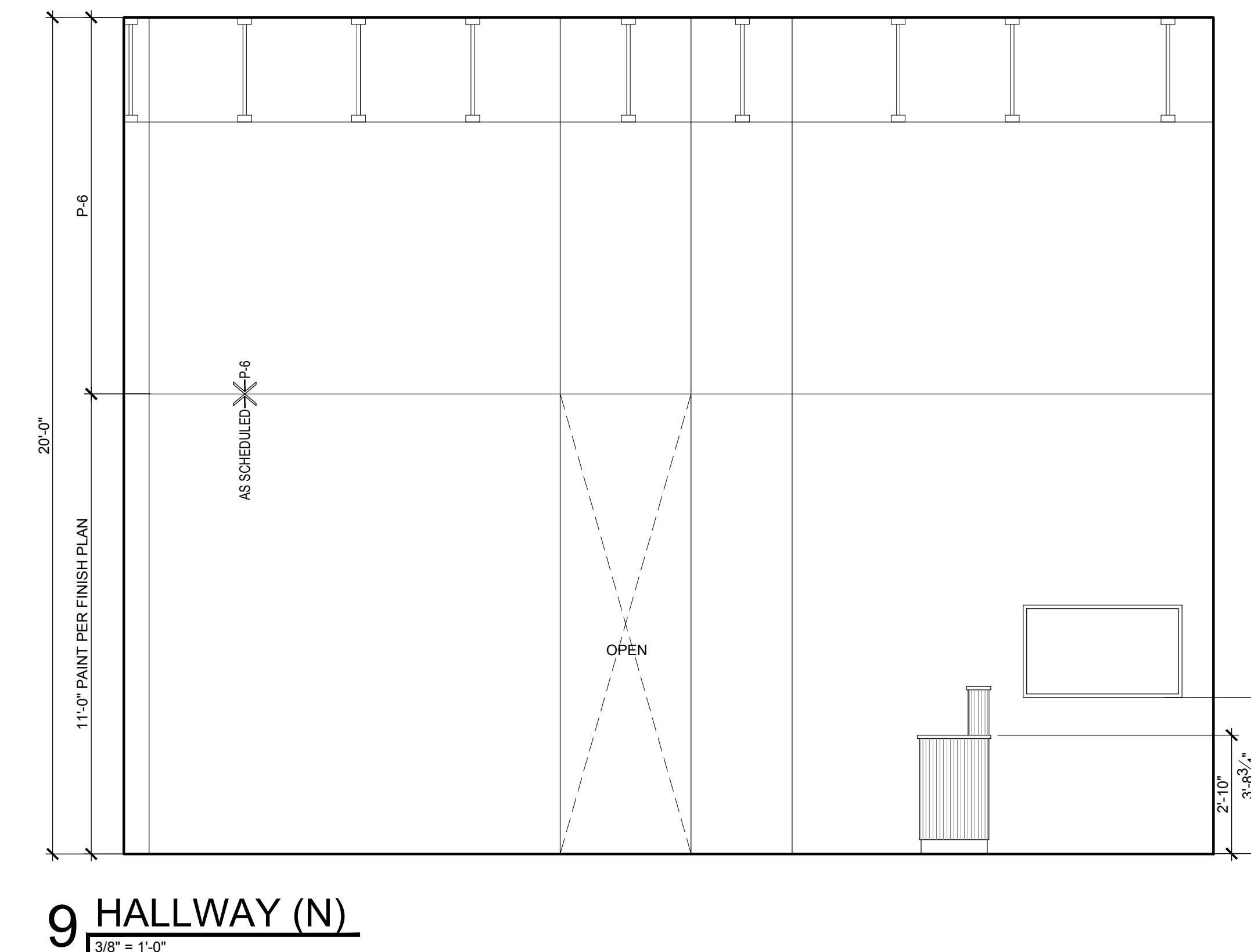
REASON FOR ISSUE

Project Number:	24-328	Approved By:	JD
Drawn By:	YY	Date:	
No.	Issue	FOR PERMIT	06-18-2024

SHEET TITLE & NUMBER

INTERIOR ELEVATIONS

A5-13

These documents are confidential and shall be in the possession
of authorized individuals only. All rights reserved. These are the exclusive
property of DxU and may not be copied or reproduced
without written authorization.

PVOOLVE

1845 YGNACIO VALLEY
WALNUT CREEK, CA 94598

CLIENT

PROJECT

LICENCE EXPIRES ON: MM-DD-YYYY

DATE OF SIGNATURE: MM-DD-YYYY

DxU
ARCHITECTS
4125 West Street • 2nd Floor • Chico, CA 95928
P: 530.893.5334 • F: 530.893.5335 • E: info@dxu.com

CONSULTANTS

CONSULTANTS

REASON FOR ISSUE

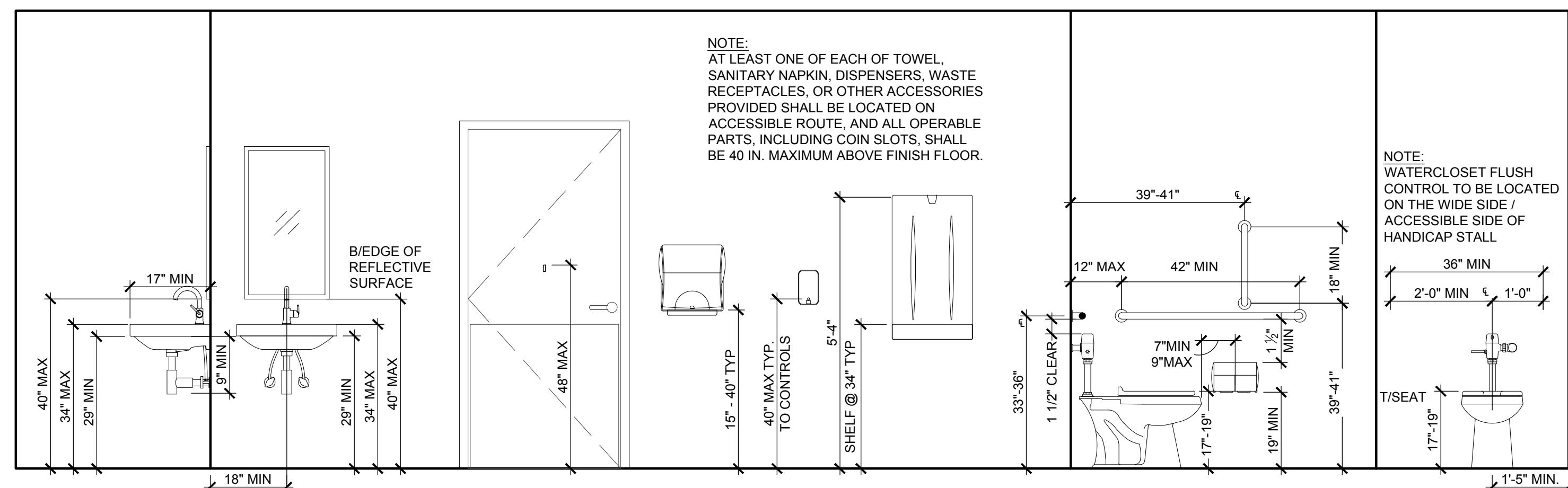
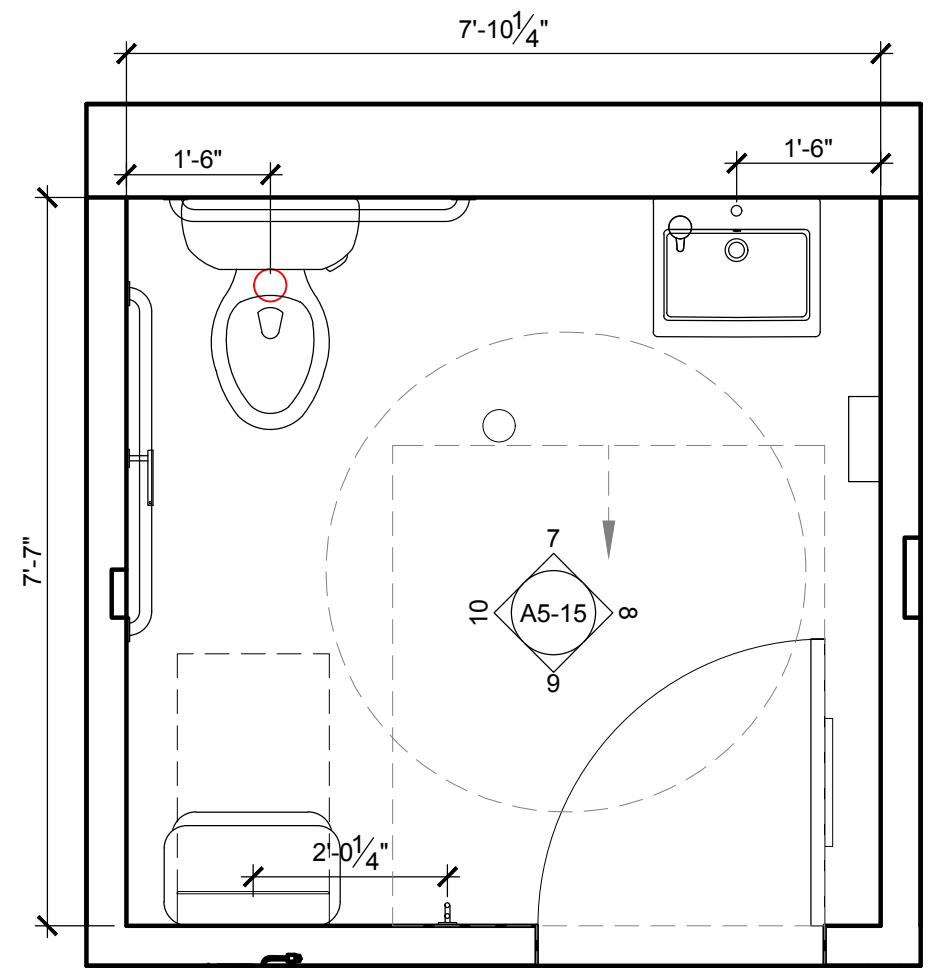
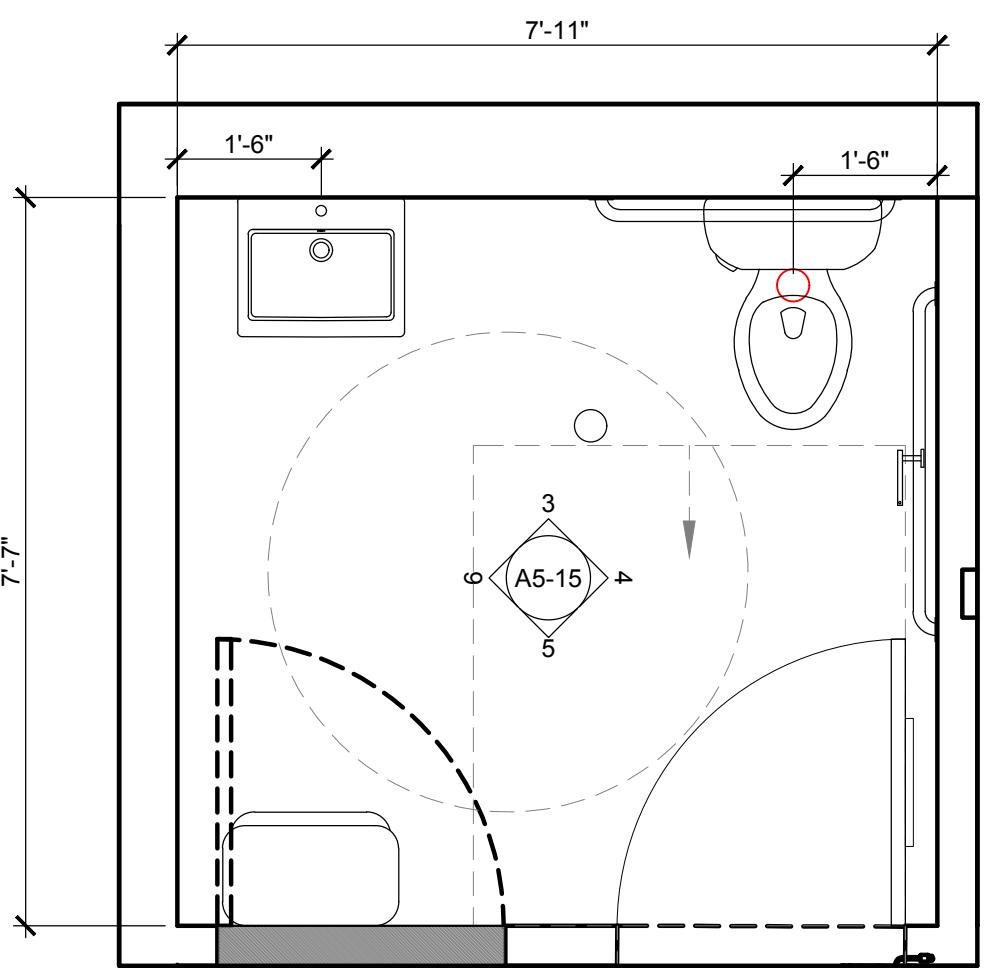
Project Number:	24-328	Approved By:	JD
Drawn By:	YY	Date:	
No.	Issue	FOR PERMIT	06-18-2024

SHEET TITLE & NUMBER

ENLARGE BATHROOM PLANS & ELEVATIONS

A5-15

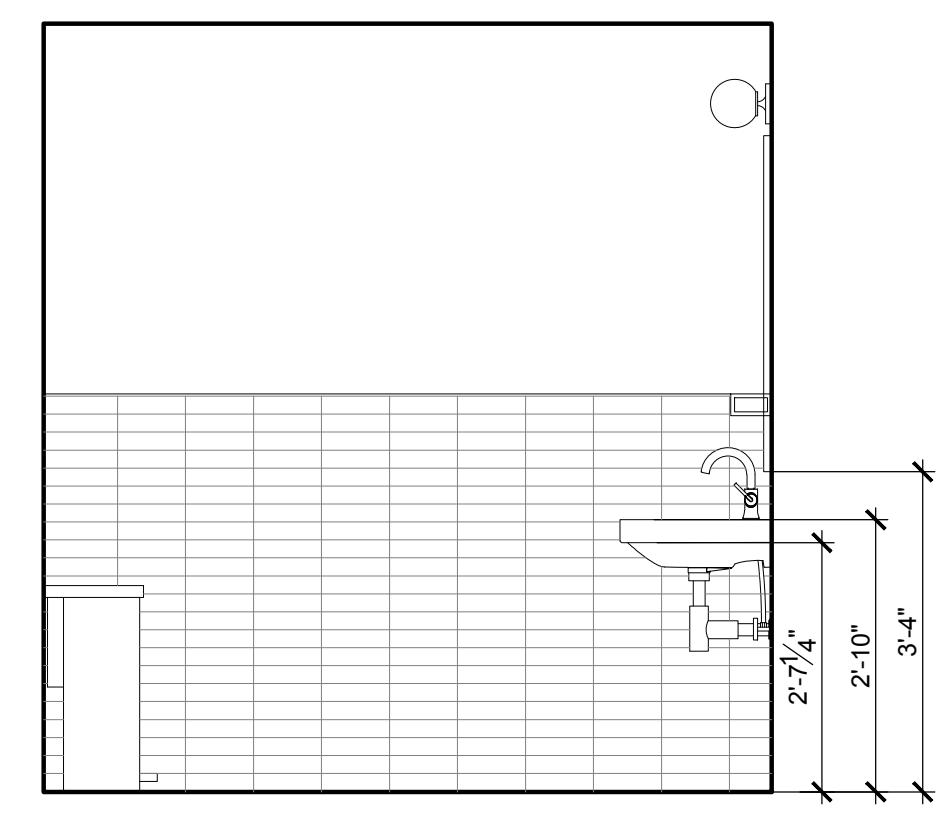
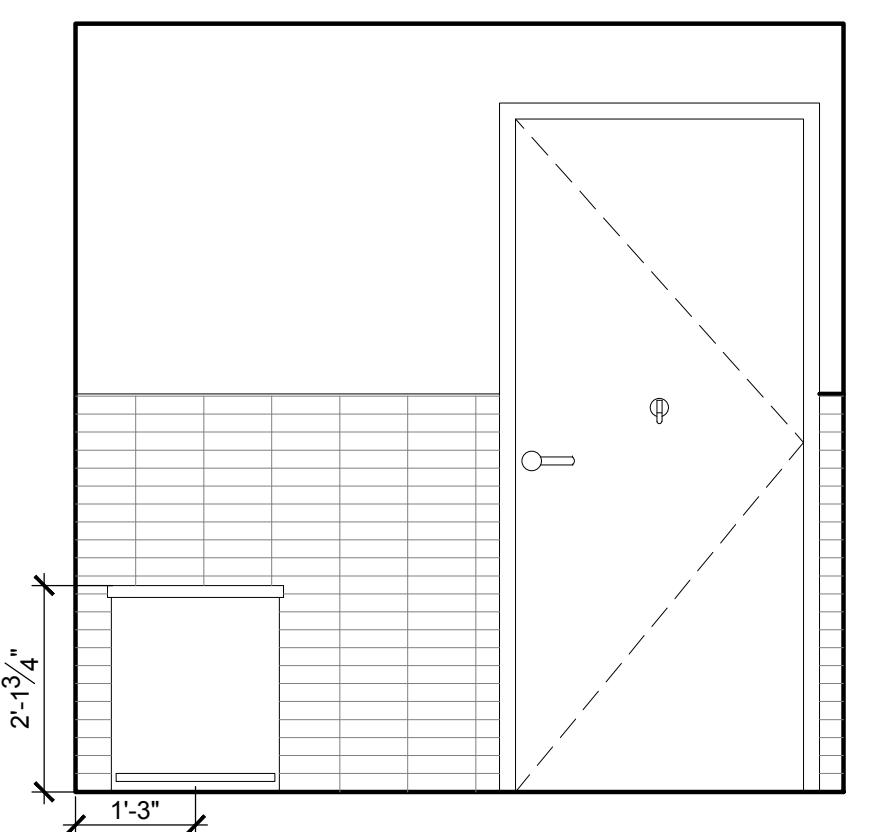
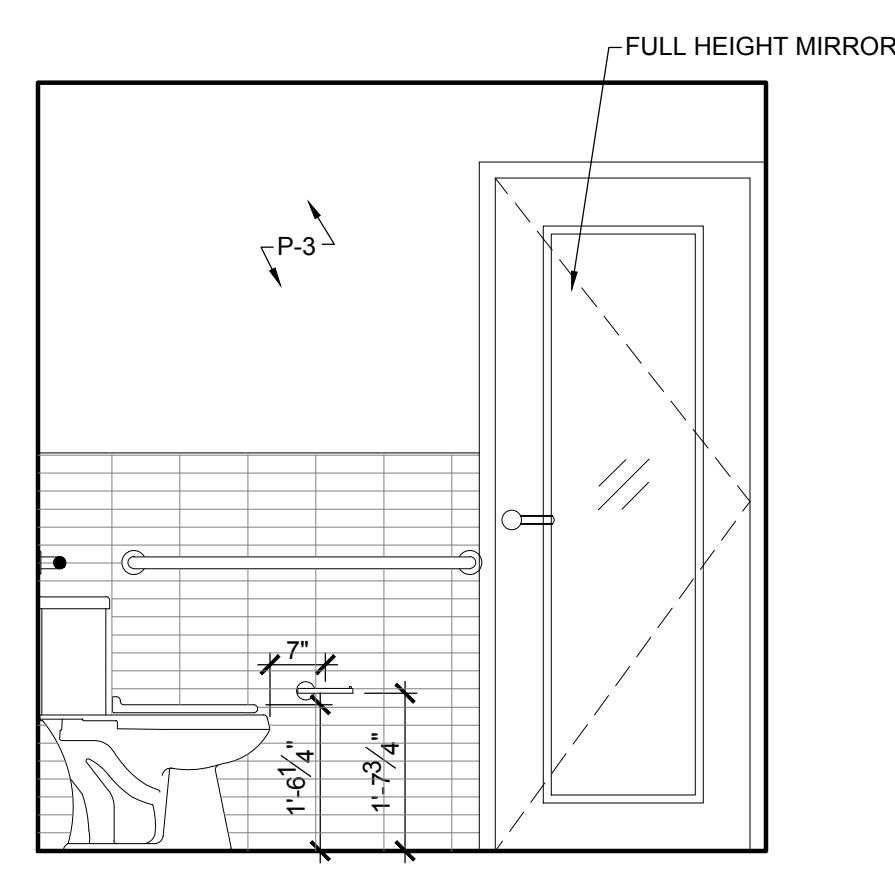
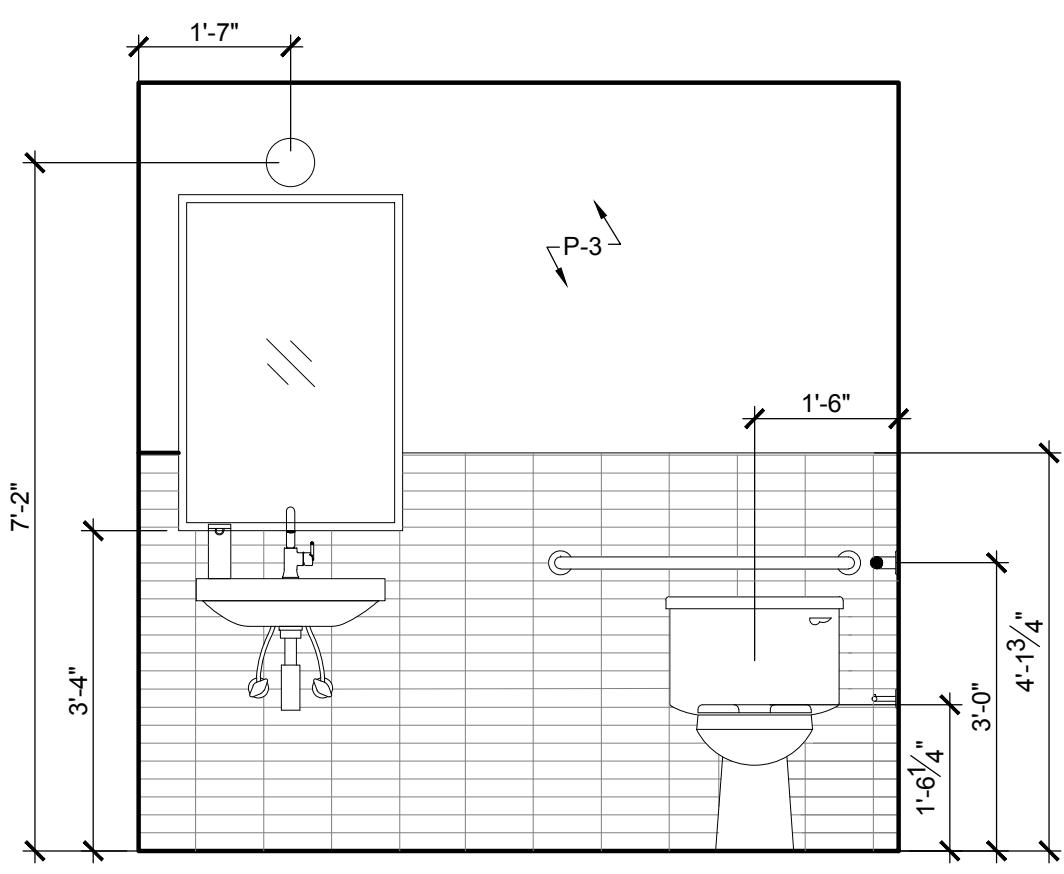
These documents are confidential and shall be in the possession of authorized individuals only. These documents are the exclusive property of DxU and shall not be copied or reproduced without written authorization.



1 RESTROOM
1/2"=1'0"

2 RESTROOM
1/2"=1'0"

TYPICAL MOUNTING HEIGHTS
1/2"=1'0"

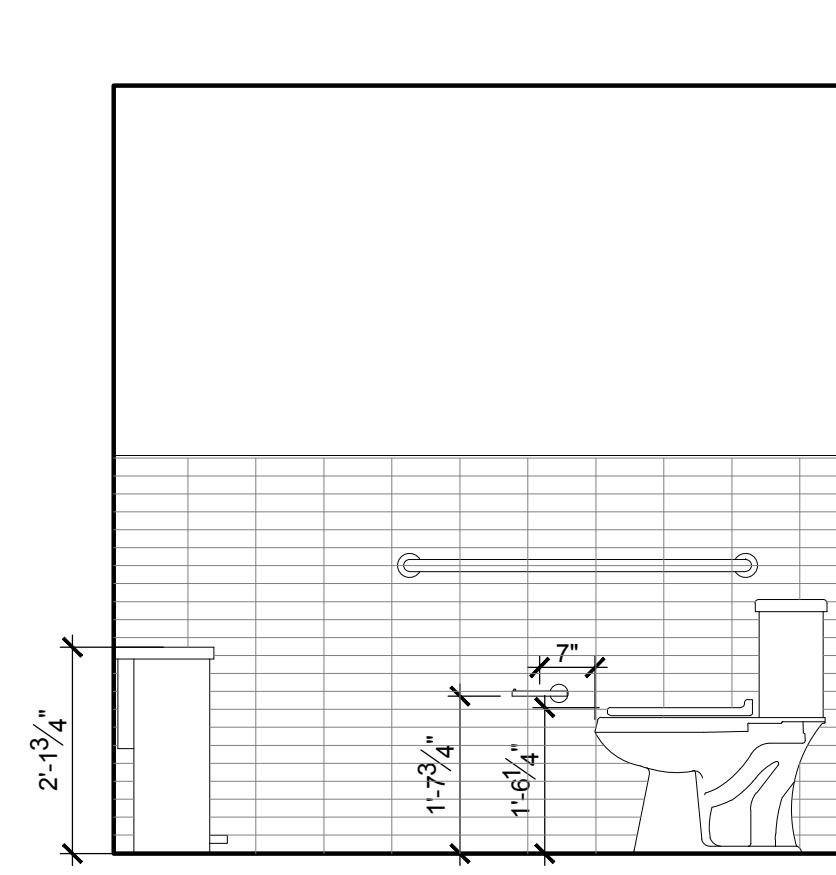
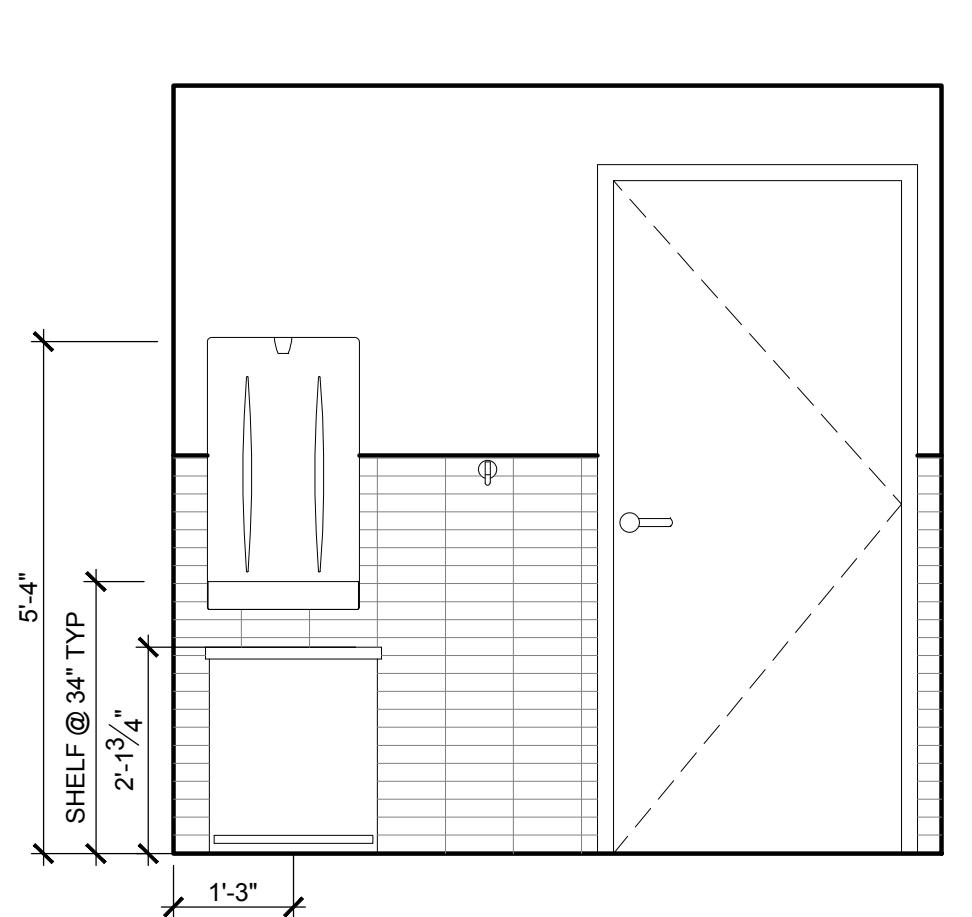
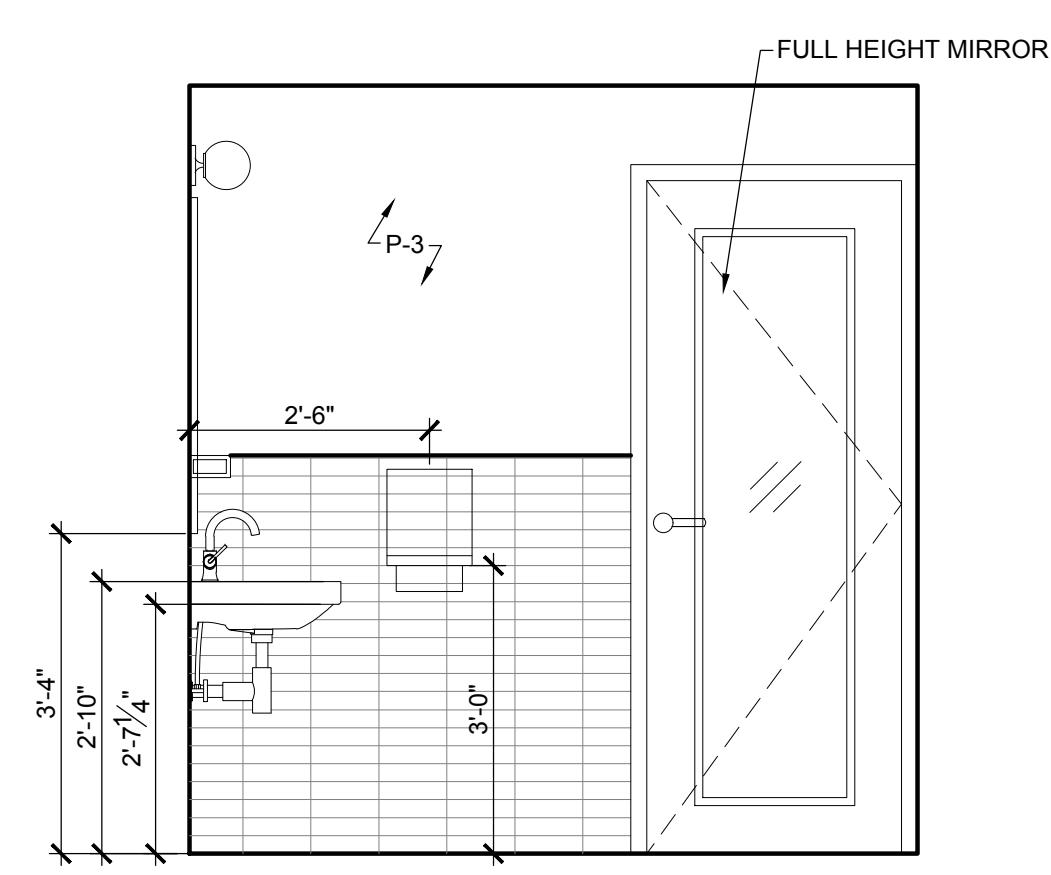
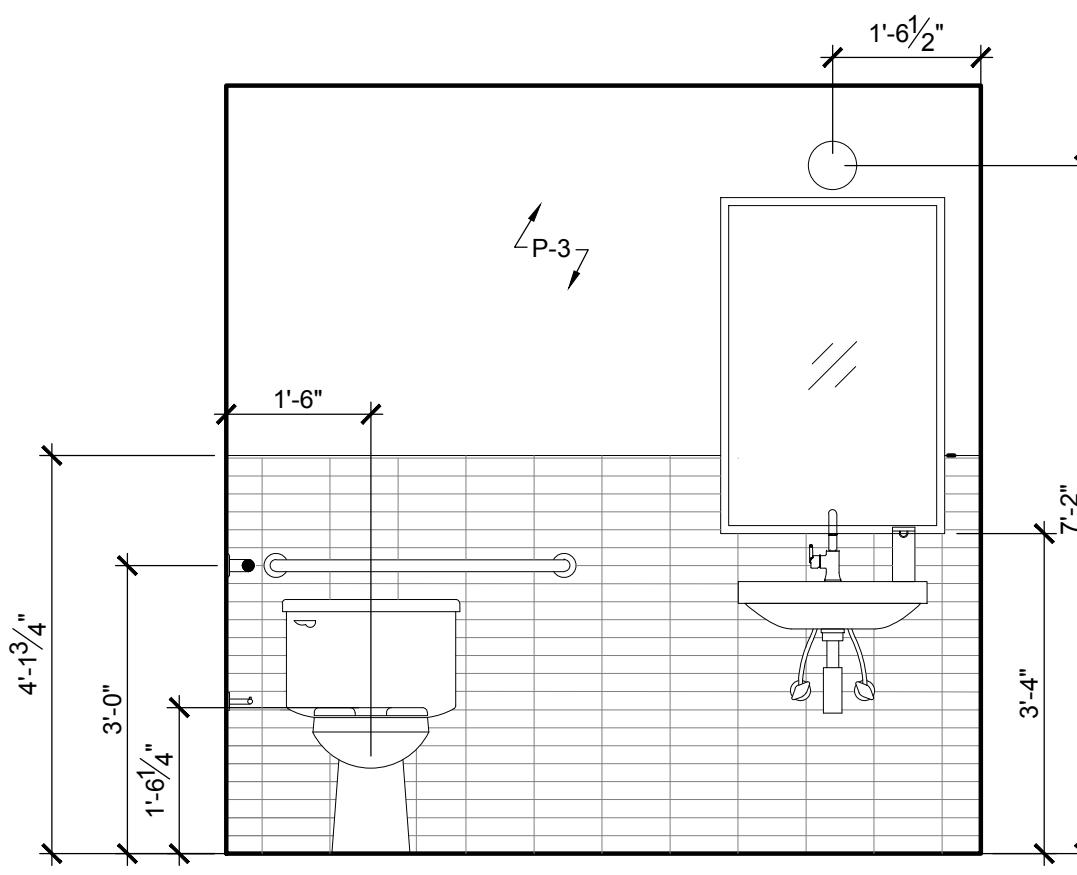


3 RESTROOM
1/2"=1'0"

4 RESTROOM
1/2"=1'0"

5 RESTROOM
1/2"=1'0"

6 RESTROOM
1/2"=1'0"

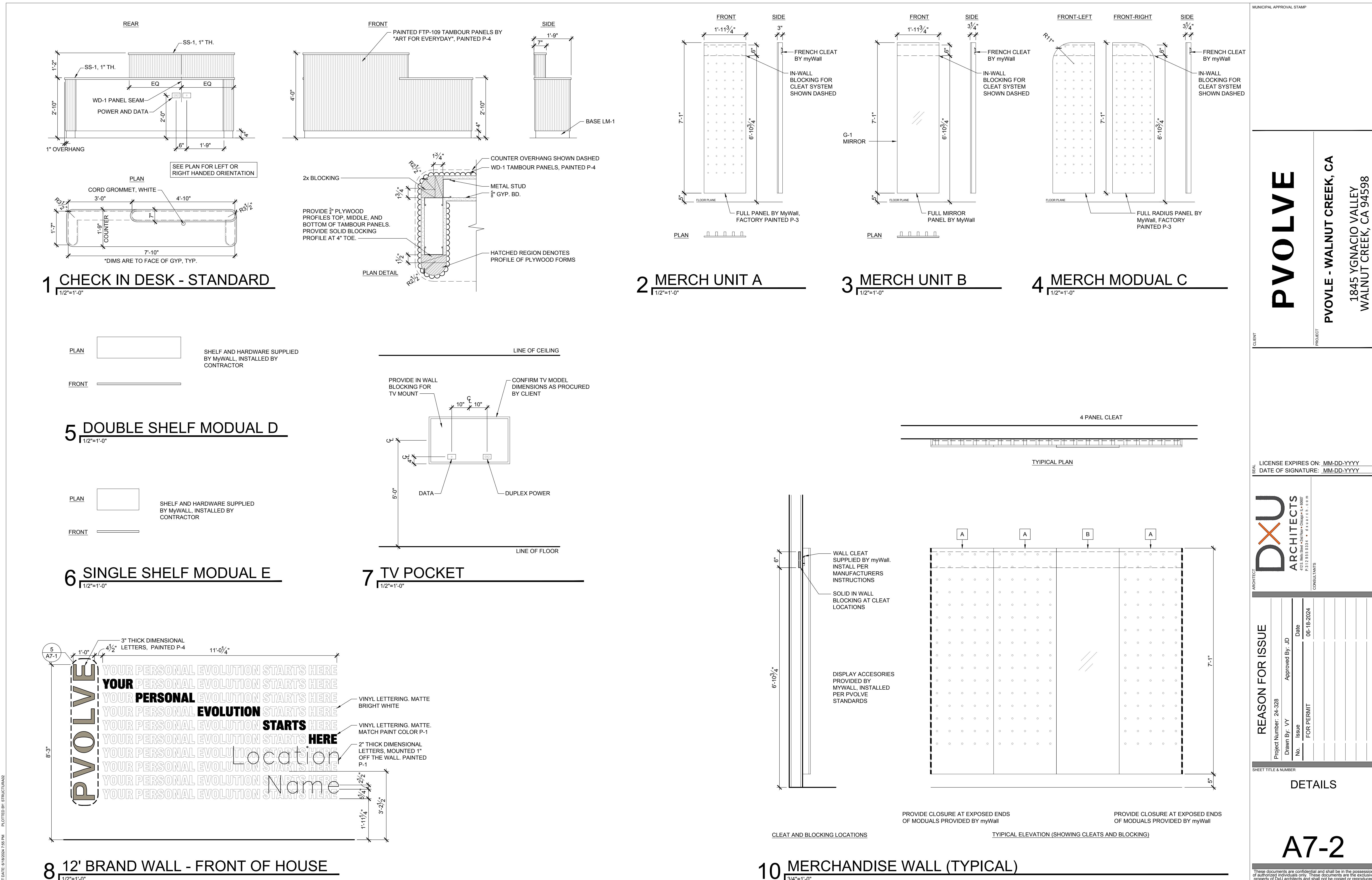


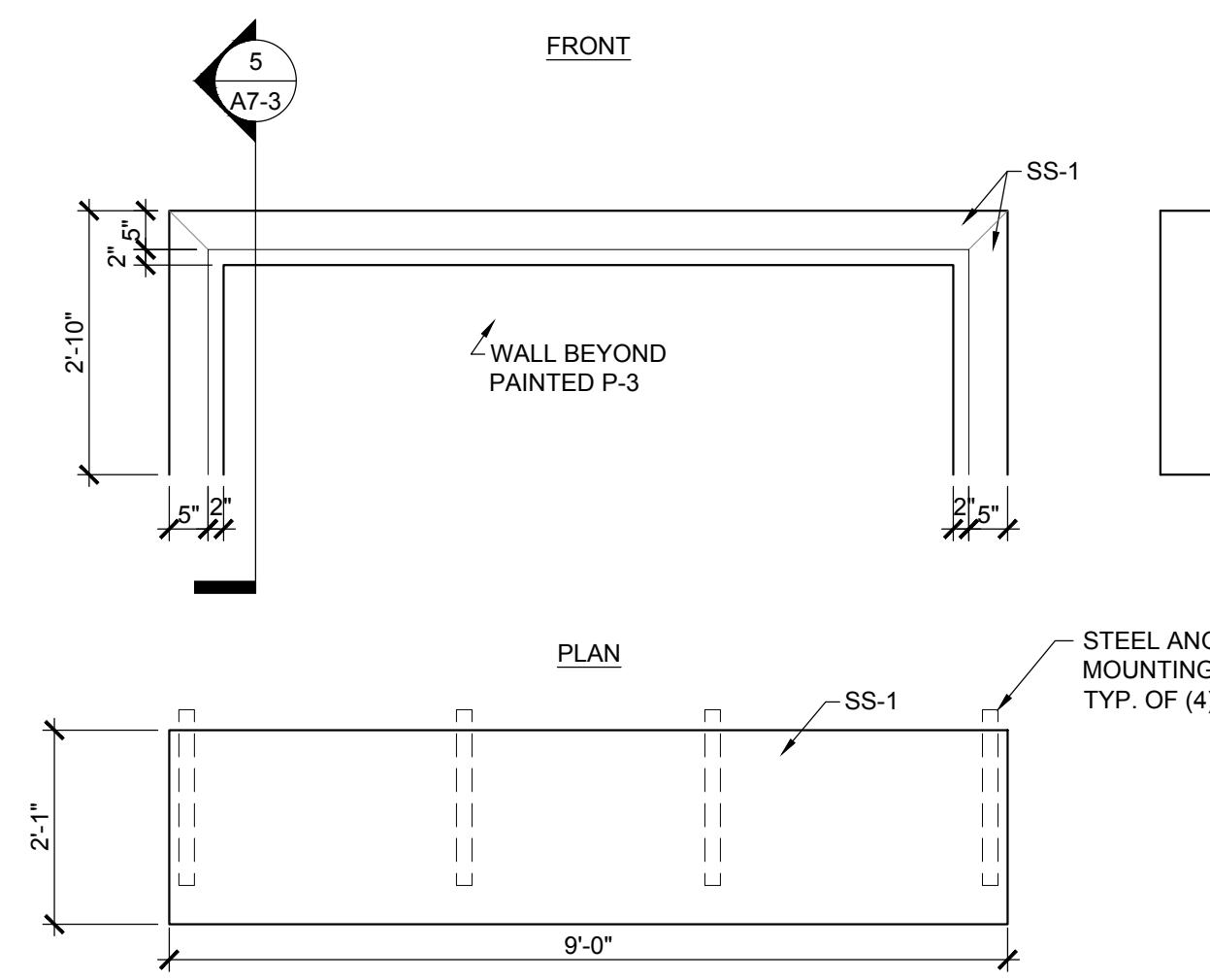
7 RESTROOM
1/2"=1'0"

8 RESTROOM
1/2"=1'0"

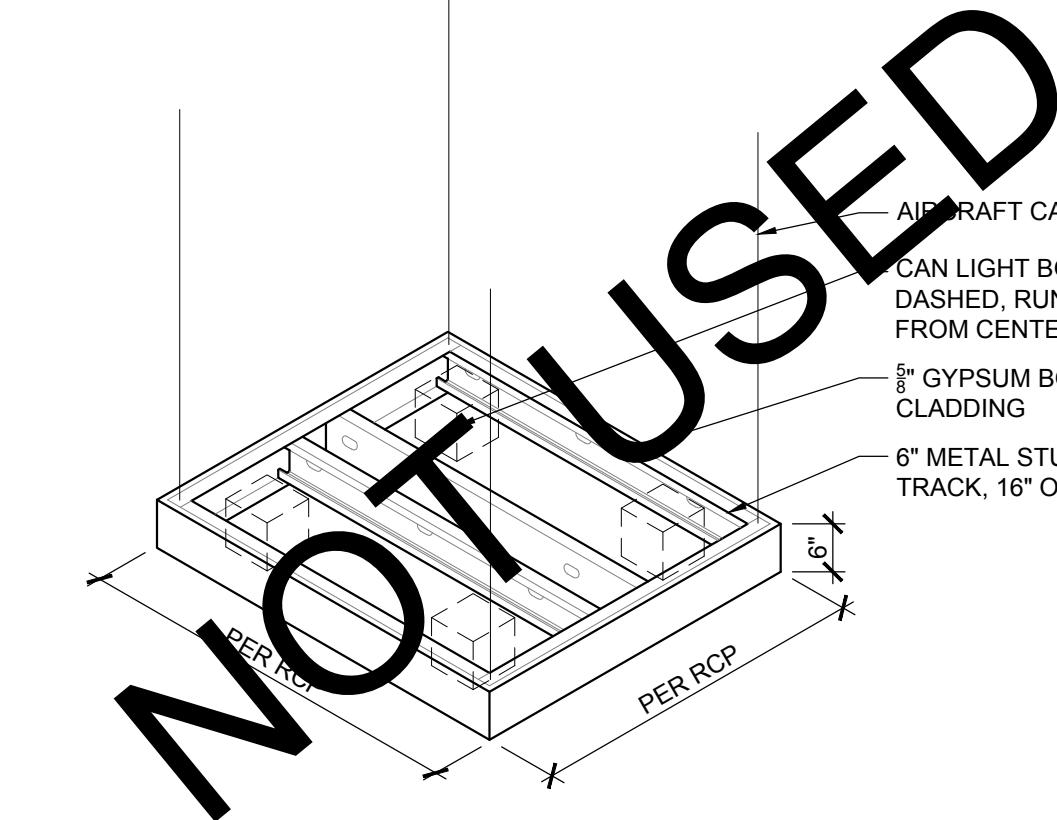
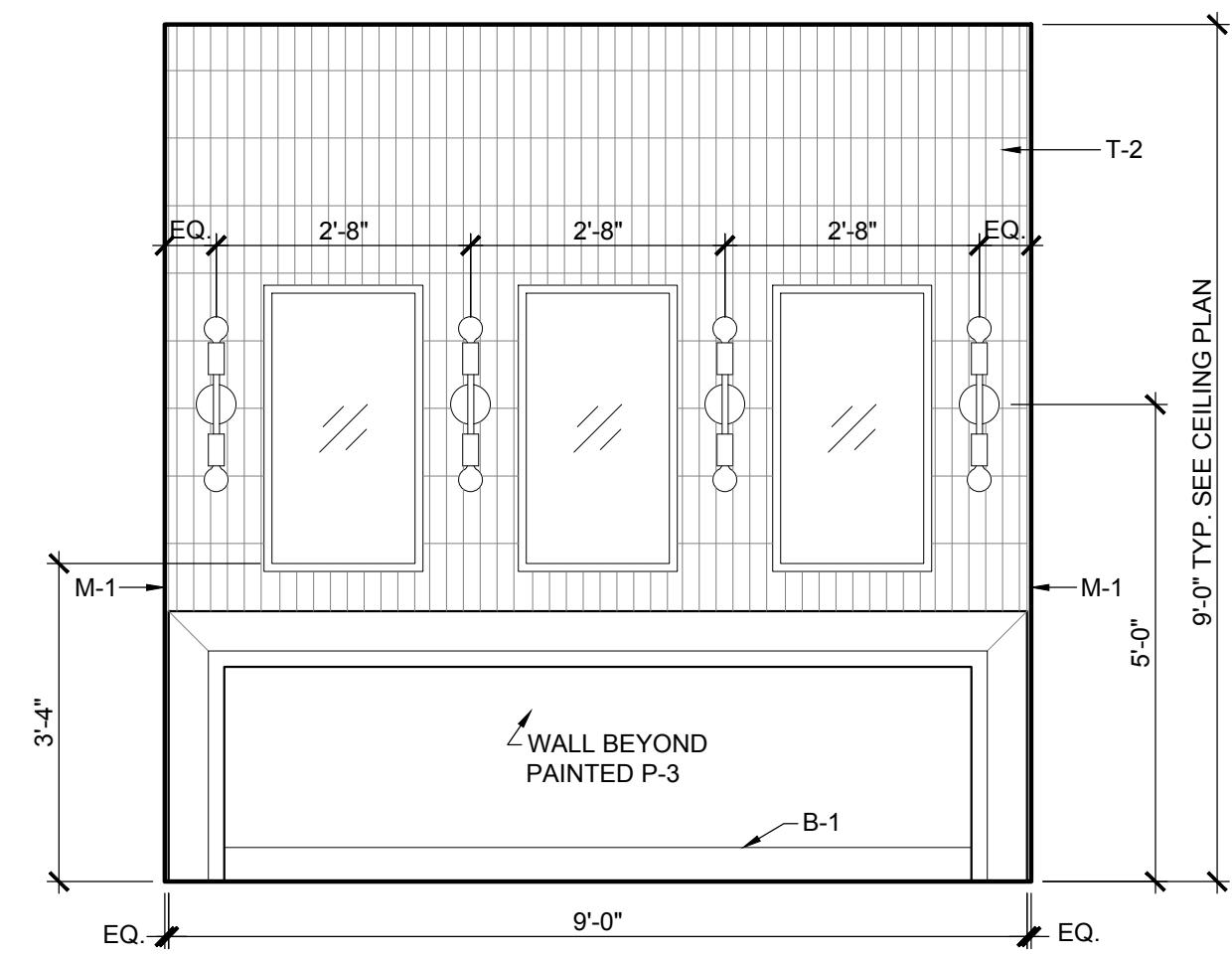
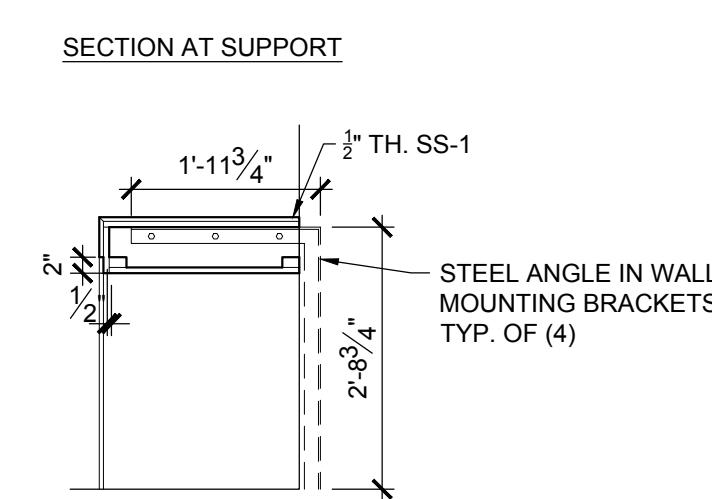
9 RESTROOM
1/2"=1'0"

10 RESTROOM
1/2"=1'0"

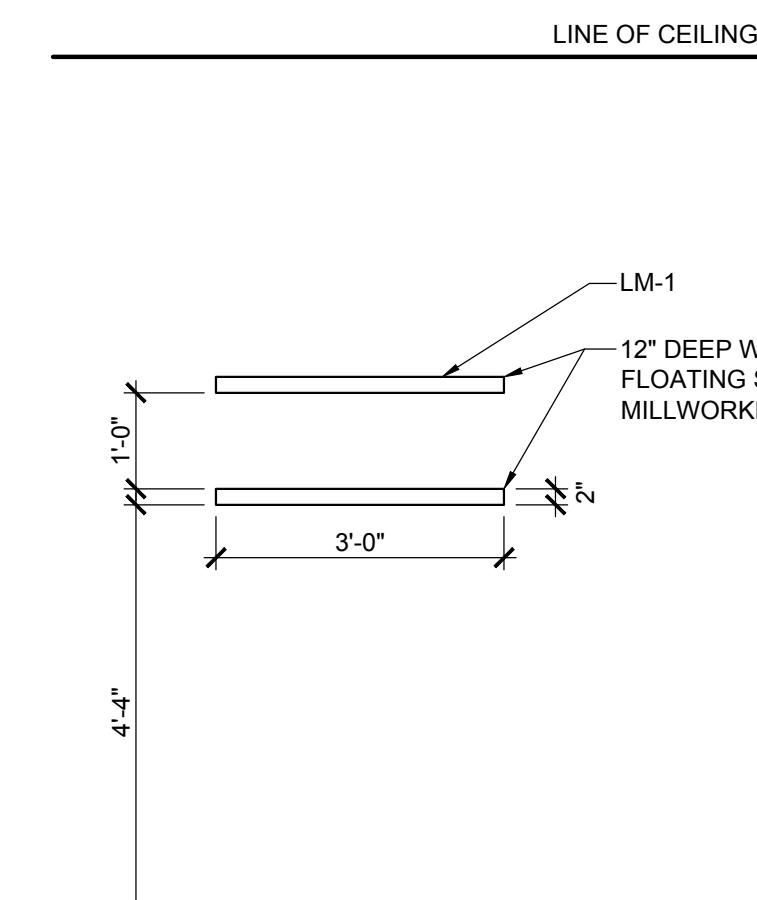
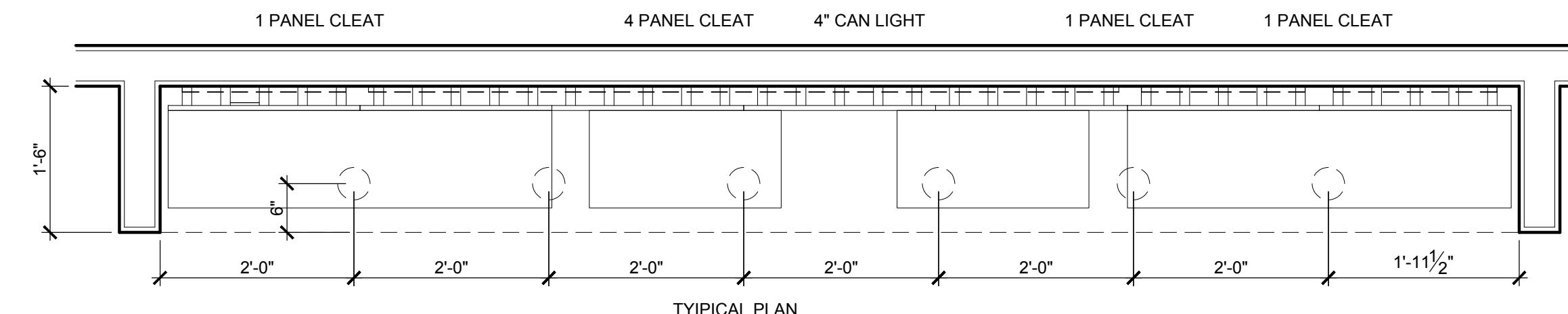


PVOLVE1845 YGNACIO VALLEY
WALNUT CREEK, CA 94598**1 BEAUTY BAR VANITY**

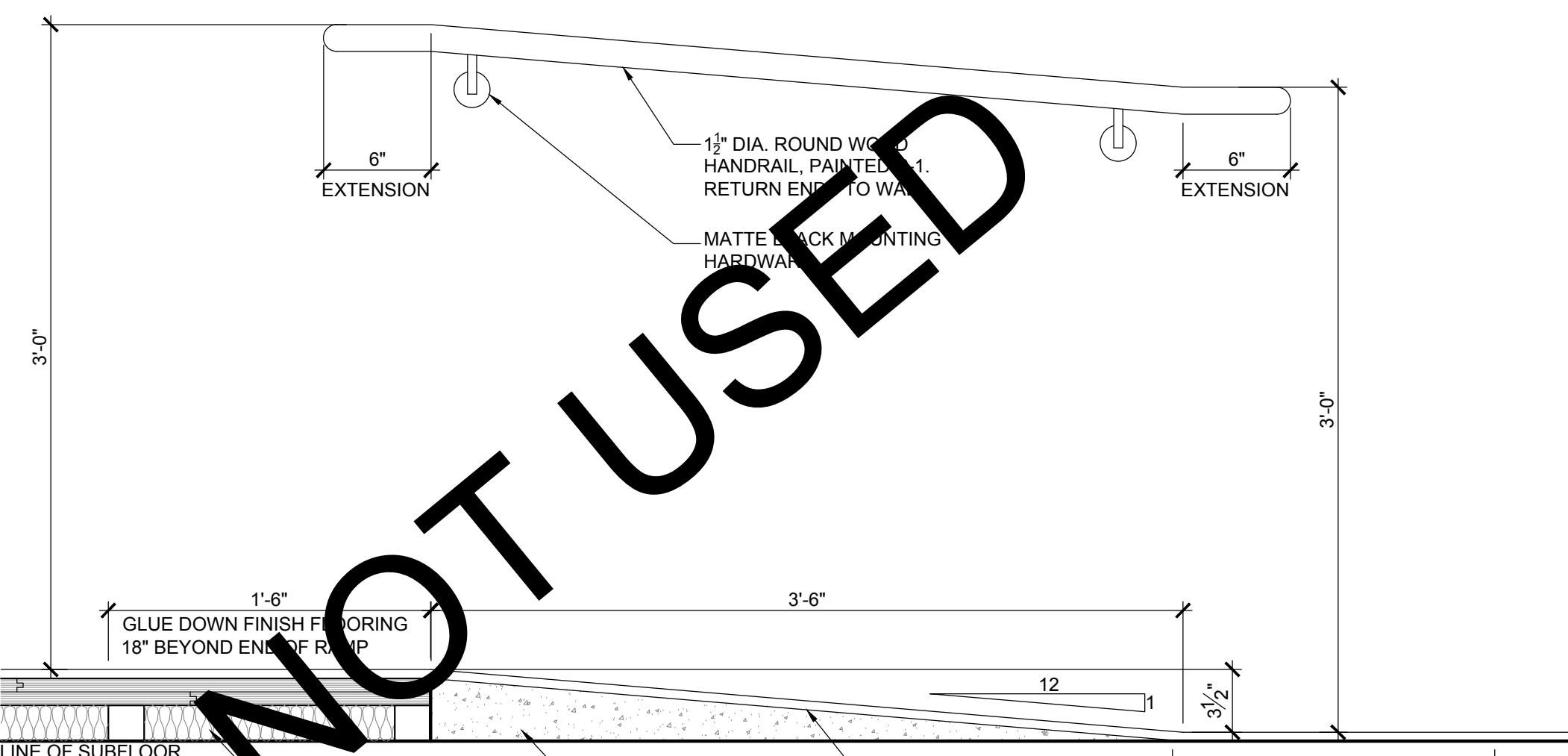
1/2"=1'-0"

**3 CLOUD DETAIL**

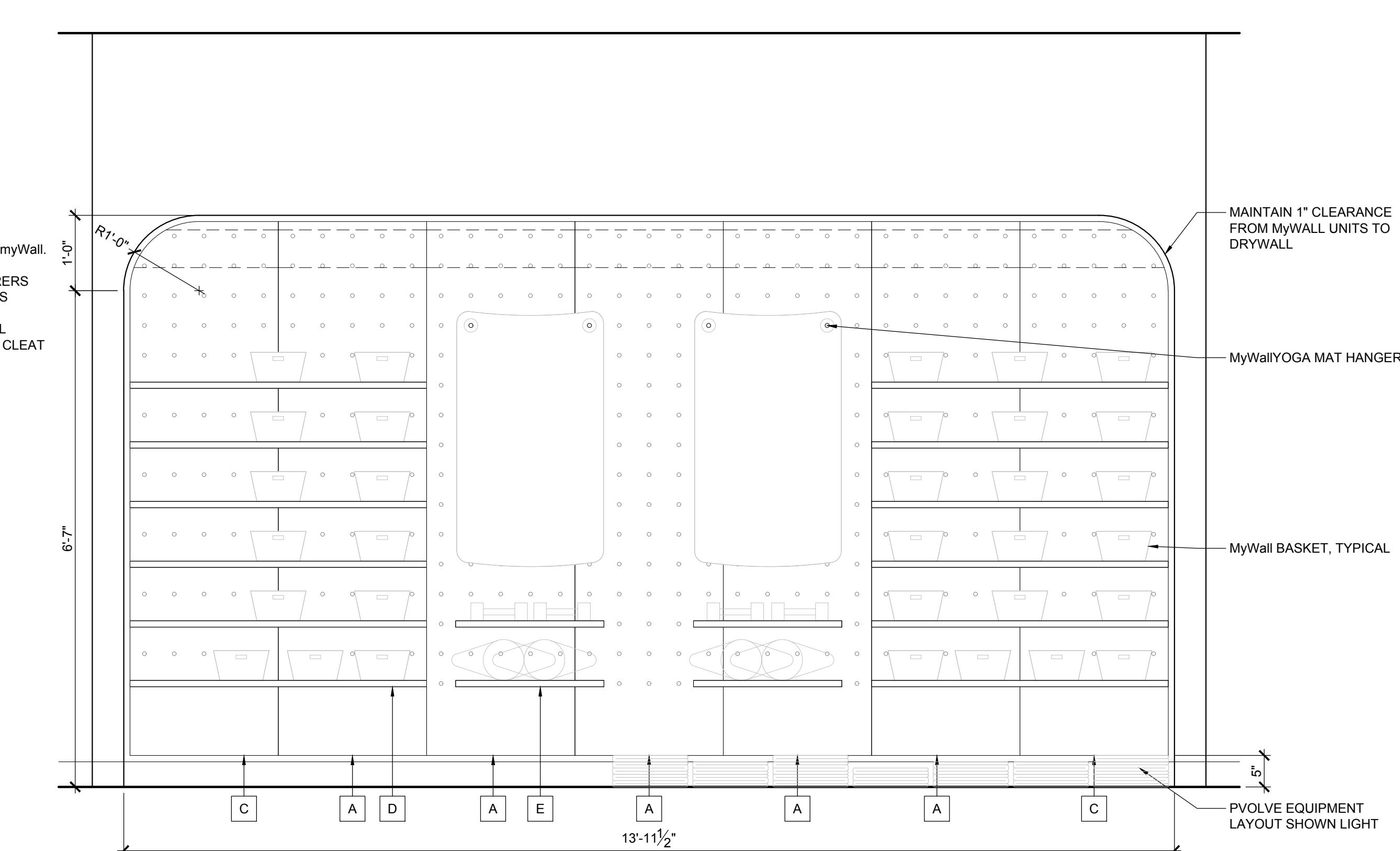
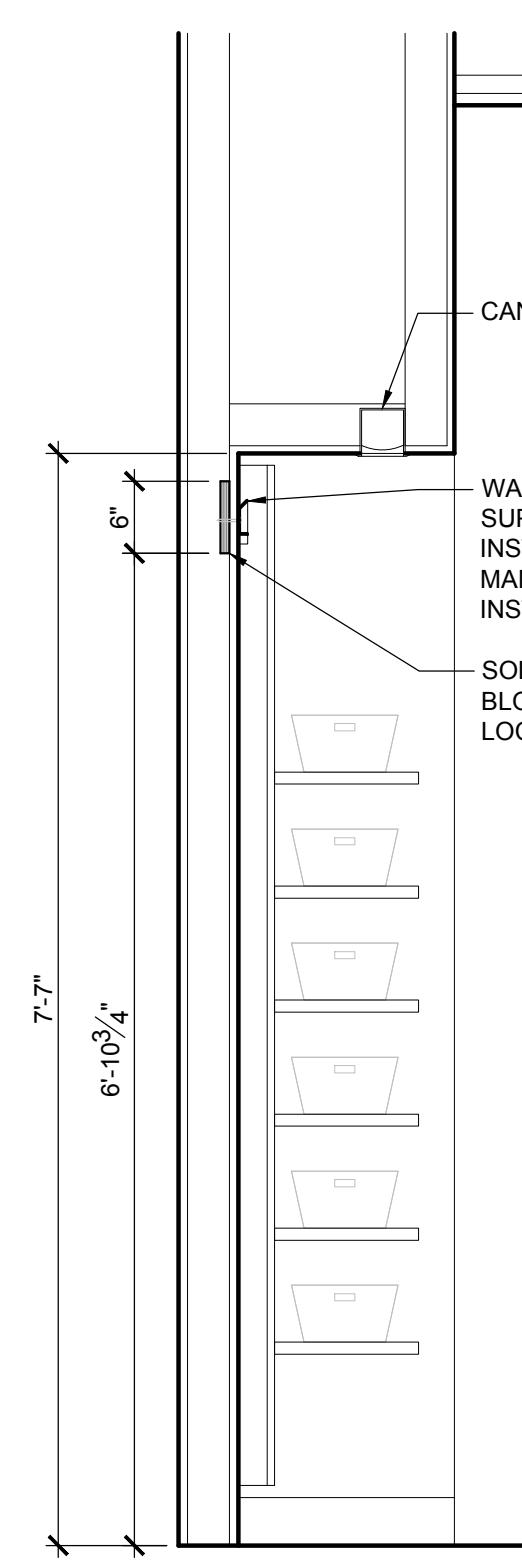
1/2"=1'-0"

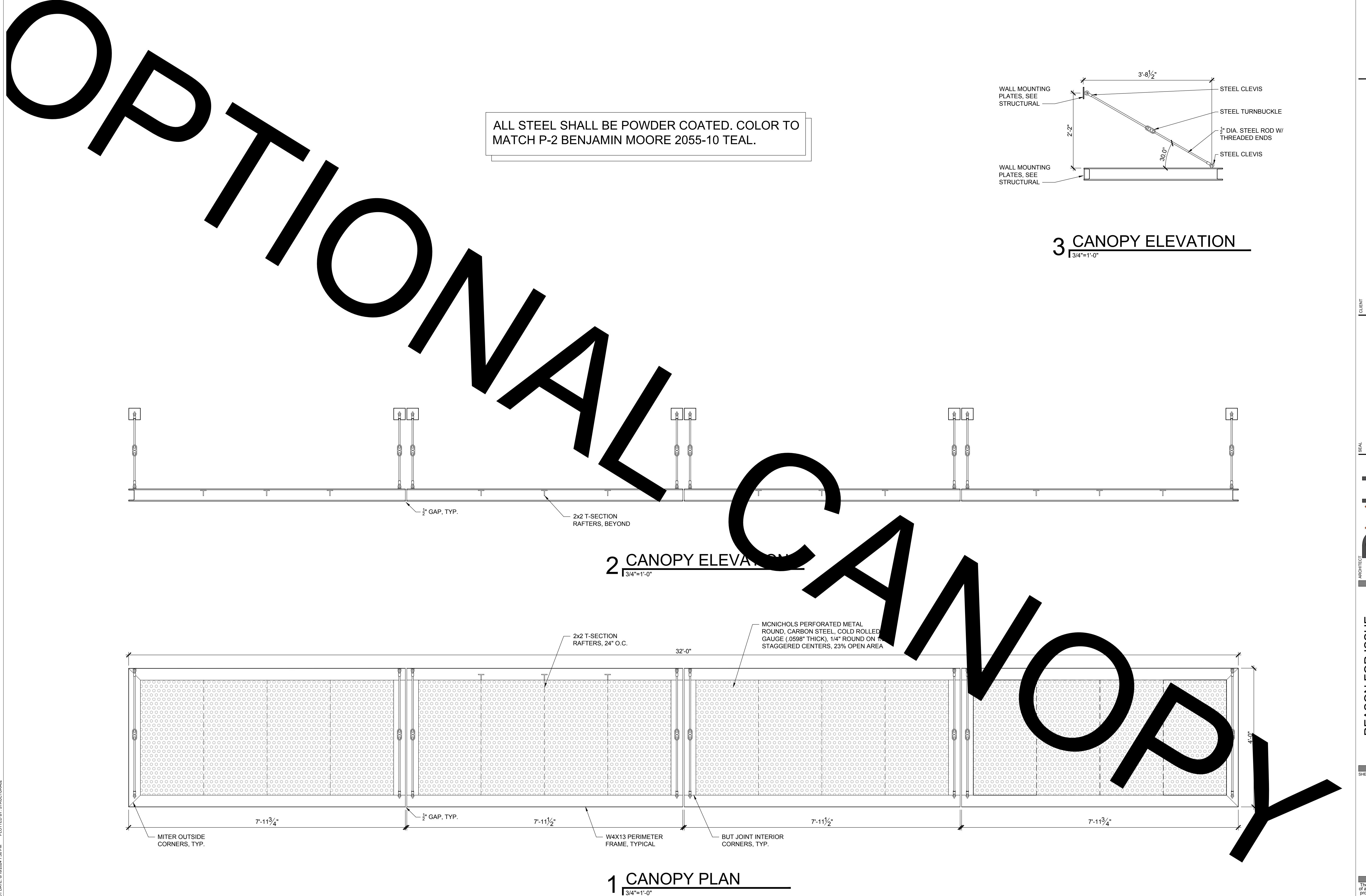
**4 TOWEL SHELVING**

1/2"=1'-0"

**6 RAMP DETAILS**

1/2"=1'-0"

**7 STUDIO STORAGE WALL (TYPICAL)****A7-3**



PVOLVE

PVOVLE - WALNUT CREEK, CA

1845 YGNACIO VALLEY

WALNUT CREEK, CA 94598

DXU ARCHITECTS

LICENSE EXPIRES ON: MM-DD-YYYY
DATE OF SIGNATURE: MM-DD-YYYY

REASON FOR ISSUE

Project Number: 24-328	Approved By: JD
Drawn By: YY	Date:
No. _____	Issue: _____
FOR PERMIT	
06-18-2024	

SHEET TITLE & NUMBER

CANOPY DETAILS

A7-4

These documents are confidential and shall be in the possession of authorized individuals only. All rights reserved. These are the exclusive property of DXU and may not be copied or reproduced without written authorization.

© DXU 2024 ILLINOIS PROFESSIONAL DESIGN REGISTRATION: 184-006688 EXPIRES: 4/30/2024

GENERAL PARTITION NOTES

- PARTITIONS ARE INDICATED ON FLOOR PLANS BY GRAPHIC DESIGNATION AND/OR TYPE SYMBOL - REFER TO PARTITION LEGEND.
- LINE OF STRUCTURE INDICATED FOR EACH PARTITION IS DIAGRAMMATIC ONLY AND DOES NOT INDICATE EXACT CONSTRUCTION CONDITIONS OR GEOMETRY - VERIFY EXISTING CONDITIONS IN FIELD.
- DO NOT FASTEN PARTITION STUDS AND GYPSUM BOARD TO METAL CEILING RUNNERS, TO ALLOW FOR STRUCTURAL DEFLECTION.
- PROVIDE BRACING WHERE PARTITION HEIGHT EXCEEDS MANUFACTURER'S ALLOWABLE HEIGHT. DO NOT BRAKE TO DUCTWORK OR OTHER SUCH COMPONENTS VERIFY ALLOWABLE HEIGHT PSF REQUIREMENTS WITH LOCAL CODE AUTHORITIES.
- THE FIRE RATINGS AND STC RATINGS NOTED FOR THE GYPSUM BOARD PARTITION ASSEMBLIES SHOWN ARE COPIED AND TRANSCRIBED HERE FOR CONVENIENCE ONLY FROM THE UNDERWIRRERS LABORATORY DIRECTOR AND THE UNITED STATES GYPSUM CATALOG.
- WALL ASSEMBLIES AND PARTITIONS THAT RECEIVE FIRE RESISTIVE RATINGS SHALL BE CONSTRUCTED PER TESTED ASSEMBLIES. MANUFACTURER'S RECOMMENDATIONS AND THE REQUIREMENTS OF ALL APPLICABLE CODES AND LOCAL GOVERNING AUTHORITIES.
- PENETRATIONS OR PRODUCTS FOR USE IN SPECIFIC FIRE RATED PARTITION ASSEMBLIES SHALL BE BASED ON SUCCESSFUL PERFORMANCE IN FIRE TESTS. THESE PENETRATIONS MAY INCLUDE BUT ARE NOT LIMITED TO ITEMS SUCH AS PIPING, CONDUIT, OR HVAC DUCTWORK.
- EACH PARTITION SHOWN ON THE DRAWINGS TO BE A FIRE AND/OR SMOKE RESISTANT PARTITION SHALL BE IDENTIFIED AS SUCH WITH A LABEL ABOVE THE CEILING ON EACH SEGMENT OF THE WALL, 8'-0" O.C.
- FIRE AND/OR SMOKE RESISTANT RATINGS ARE TO CONTINUE ABOVE ALL OPENINGS IN RATED PARTITIONS.
- ELECTRICAL RECEPTACLES SHALL NOT BE LOCATED IN FIRE RATED PARTITIONS IN EXCESS OF TWO HOURS.
- THE SURFACE AREA OF INDIVIDUAL METALLIC OUTLET OR SWITCH BOXES SHALL NOT EXCEED 16 SQ IN. THE AGGREGATE SURFACE AREA OF BOXES SHALL NOT EXCEED 100 SQ. IN. PER 100 SQ. FT. OF WALL AREA. A HORIZONTAL DISTANCE OF 24 IN. SHALL SEPARATE BOXES LOCATED ON OPPOSITE SIDES OF PARTITIONS.
- BUSES LOCATED IN CORRIDOR AND UNIT DEMISING PARTITIONS SHALL BE TREATED WITH ACOUSTICAL SEALANT AROUND PERIMETER AND BEHIND EACH BOX (FULL CLOSURE BED). IN ADDITION, OUTLET AND JUNCTION BOXES SHALL BE SEPARATED BY INSTALLING A METAL STUD BETWEEN THEM IN THE PARTITION.
- COMPLETELY SEAL WITH CONTINUOUS ACOUSTICAL SEALANT ALL PARTITION HEADS, BASES, AND ENDS, PLUS SEAL ALL PENETRATIONS, INCLUDING BUT NOT LIMITED TO MECHANICAL, ELECTRICAL AND PLUMBING WORK.
- SAUNDAR ATTENUATION BLANKETS ARE TO BE INSTALLED IN ALL PARTITIONS SEPARATING PUBLIC FROM PRIVATE AREAS AND WHERE NOISE CAN BE TRANSMITTED (RESTROOMS) EXTEND BLANKETS FULL HEIGHT OF PARTITION UP TO BOTTOM OF STRUCTURE, INSTALLED IN TIGHT, COMPRESSION FIT TO STUDS, STRUCTURE AND ADJACENT SURFACES.
- FINAL LOCATION AND PLACEMENT OF MEPFF ITEMS (BOTH HORIZONTAL AND VERTICAL) SHALL BE COORDINATED SUCH THAT THEY DO NOT TOUCH STUD PARTITION ASSEMBLIES AND CREATE AN ACOUSTICAL PROBLEM SUCH AS VIBRATION, IMPACT NOISE, ETC.
- PROVIDE FIRE RETARDANT WOOD BLOCKING IN METAL STUD PARTITIONS AS REQUIRED FOR SUPPORT AND/OR INSTALLATION OF DOOR FRAMES, MOLDINGS, MILLWORK, WALL PANELS, HANDRAILS, GRAB BARS, AND/OR PARTITIONS WHICH CONTAIN PLUMBING FIXTURES (SUCH AS WET WALLS AND WALLS ADJACENT TO AND BEHIND PLUMBING FIXTURES) U.N.O.
- CEMENTUM BACKER BOARD SHALL BE USED AT PARTITIONS WHICH CONTAIN BATHROOM OR KITCHEN PLUMBING FIXTURES U.N.O.
- USE GALVANIZED METAL CORNER BEADS AND EDGE TRIMS (OR SCREDS AS REQUIRED) IN ALL EXPOSED WORK, POSITIVELY ATTACHED WITH FASTENERS.
- TAPE AND APPLY JOINT COMPOUND TO ALL INTERIOR CORNERS AND MOVEMENT CONTROL JOINTS IN GYPSUM BOARD PARTITIONS U.N.O.
- PROVIDE VERTICAL CONTROL JOINTS FOR ANY UNINTERRUPTED PARTITION LENGTH AT 30'-0" O.C. IN THE HORIZONTAL DIRECTION WHERE INDICATED OR AS REQUIRED. VERIFY LOCATIONS WITH ARCHITECT BEFORE INSTALLATION.
- ALL PLUMBING, MECHANICAL AND ELECTRICAL WORK WITHIN PUBLIC SPACES IS TO BE CONCEALED BY PAINTED SUSPENDED GYPSUM BOARD SOFFITS AND CEILINGS. COORDINATE LOCATIONS WITH MEPP DRAWINGS.
- PROVIDE CONTINUOUS GYPSUM BOARD CANTS OF 75 DEGREES WITH 4" GA GALVANIZED SHEET METAL STRAPS 4"-0" O.C. IN ELEVATOR SHAFTS MORE THAN 2'.
- ALL MASONRY PARTITIONS THAT EXTEND BETWEEN STRUCTURAL CONCRETE COLUMNS AND/OR SHEAR WALLS SHALL HAVE VERTICAL SEALANT JOINTS BETWEEN CONCRETE AND MASONRY.
- ALL FIRESAFED MASONRY PARTITIONS SHALL HAVE CONTINUOUS FIRESAFING OR DENSITY AS SPECIFIED. PROVIDE CONTINUOUS JOINT FILLER AND ELASTOMERIC SEALANT AT THE TOP OF THE WALL AND UNDERSIDE OF STRUCTURE.
- INTERSECTIONS OF MASONRY PARTITIONS SHALL BE CONSTRUCTED BY INTERLOCKING ALTERNATE COURSES OF MASONRY AND INSTALLING METAL TIES, RIGID ANCHORS, OR PREFABRICATED JOINT REINFORCEMENT.
- COORDINATE LOCATIONS OF ALL OPENINGS REQUIRED IN MASONRY PARTITIONS WITH ARCHITECTURAL, STRUCTURAL AND MEP DRAWINGS. REFER TO STRUCTURAL DRAWINGS FOR LINTEL SCHEDULE AND REINFORCING SCHEDULE.
- SEE FINISH PLAN FOR WATERPROOFING REQUIREMENTS

PVOLVE

1845 YGNACIO VALLEY
WALNUT CREEK, CA 94598

CLIENT

PROJECT

LICENCE EXPIRES ON: MM-DD-YYYY
DATE OF SIGNATURE: MM-DD-YYYY

DXU ARCHITECTS

CONSULTANTS

CONSULTANTS

REASON FOR ISSUE

Project Number: 24-328	Approved By: JD	Date:
Drawn By: YY No.	Issue FOR PERMIT	06-18-2024

SHEET TITLE & NUMBER



WALL TYPES

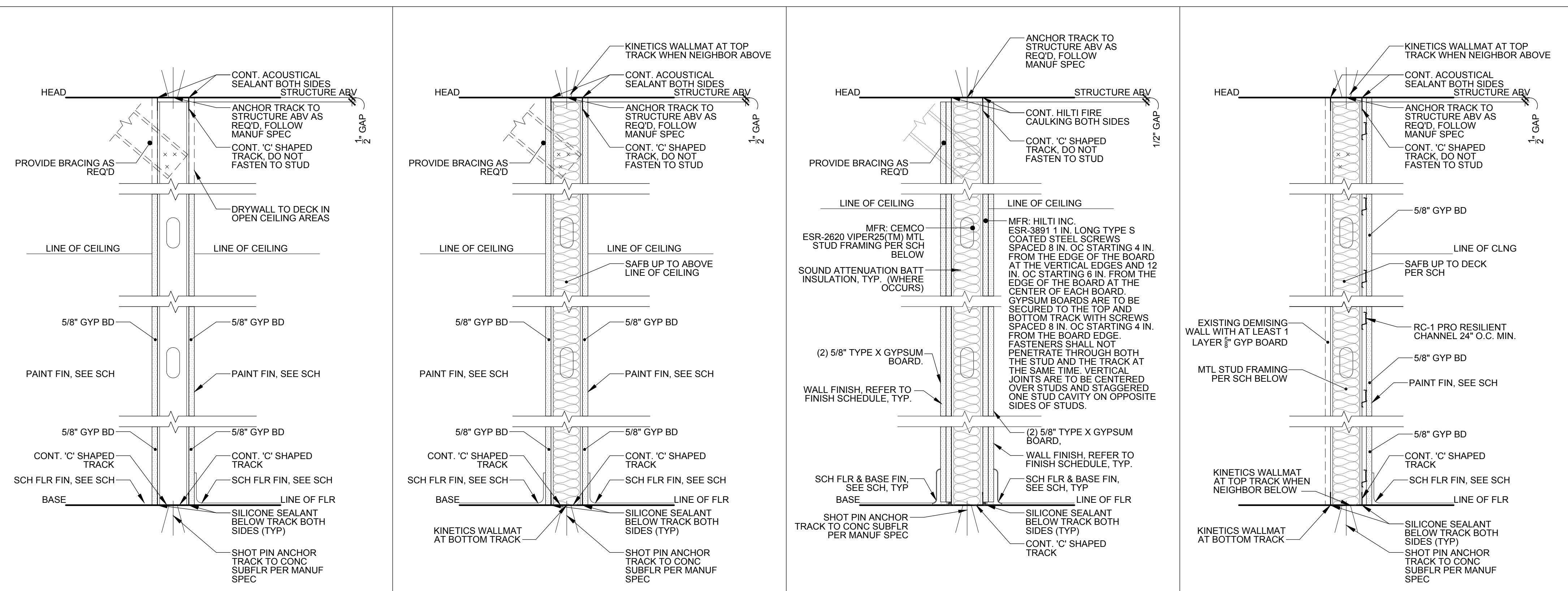
A8-1

These documents are confidential and shall be in the possession of authorized individuals only. They are the exclusive property of DXU Architects and shall not be copied or reproduced without written authorization.

UL DESIGN U605 FIRESTOP
WALL PENETRATION DETAIL

1 FIRESTOP PENETRATION DETAIL

1-1/2" = 1'-0"



PARTITION: 5 (GENERAL)

TYPE	STUD SIZE	STUD SPACING	FIRE RATING	INSULATION THICKNESS	STUD GAUGE	WALL THICKNESS	STC RATING
A	6"	16" OC	N/A	0"	20	7 1/4" NOM	N/A
B	3 5/8"	16" OC	N/A	0"	20	5" NOM	N/A
C	2 1/2"	16" OC	N/A	0"	20	3 1/8" NOM	N/A
D	-	-	-	-	-	-	-

PARTITION: 6 (STUDIO)

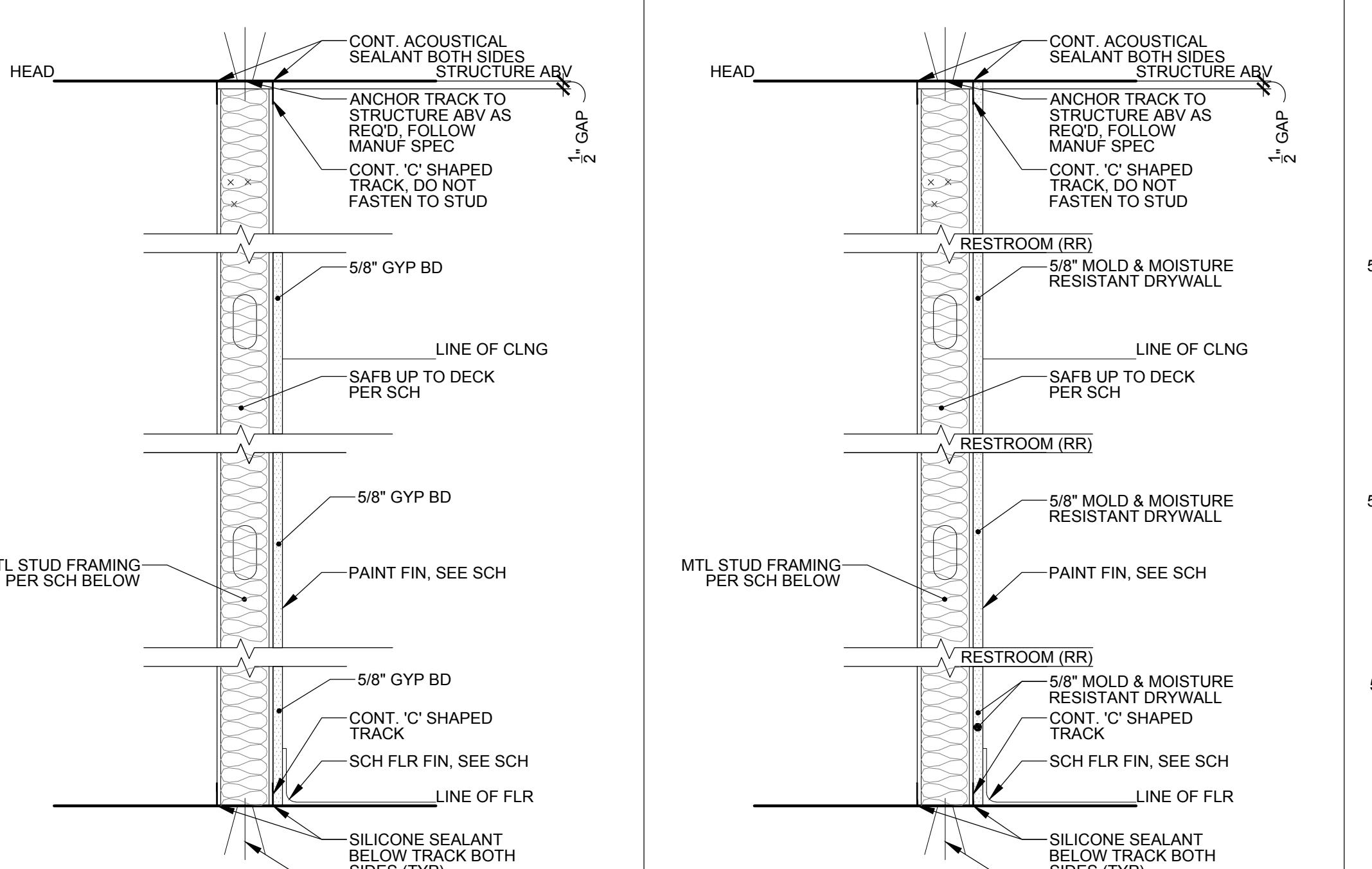
TYPE	STUD SIZE	STUD SPACING	FIRE RATING	INSULATION THICKNESS	STUD GAUGE	WALL THICKNESS	STC RATING
A	6"	16" OC	N/A	6"	20	7 1/4" NOM	49
B	3 5/8"	16" OC	N/A	3"	20	5" NOM	48
C	2 1/2"	16" OC	N/A	2"	20	3 1/8" NOM	44
D	3 5/8"	16" OC	N/A	3"	16	5" NOM	48

PARTITION: 7 (UL-419 2 HOUR RATED)

TYPE	STUD SIZE	STUD SPACING	FIRE RATING	INSULATION THICKNESS	STUD GAUGE	WALL THICKNESS	STC RATING
A	3 5/8"	16" OC	2 HR	0"	20	6 1/4" NOM	N/A
B	3 5/8"	16" OC	2 HR	3-1/2"	20	6 1/4" NOM	62
C	6"	16" OC	2 HR	0"	20	8 1/2" NOM	N/A
D	6"	16" OC	2 HR	6"	20	8 1/2" NOM	63

PARTITION: 8 (FURRING AT STUDIO)

TYPE	STUD SIZE	STUD SPACING	FIRE RATING	INSULATION THICKNESS	STUD GAUGE	WALL THICKNESS	STC RATING
A	3 5/8"	16" OC	N/A	3"	20	5 1/8" NOM	54



PARTITION: 1 (FURRING)

TYPE	STUD SIZE	STUD SPACING	FIRE RATING	INSULATION THICKNESS	STUD GAUGE	WALL THICKNESS	STC RATING
A	6"	16" OC	N/A	6"	20	6 5/8" NOM	N/A
B	3 5/8"	16" OC	N/A	3"	20	4 1/4" NOM	N/A
C	2 1/2"	16" OC	N/A	2"	20	3 1/8" NOM	N/A
D	1 5/8"	16" OC	N/A	0"	20	2 1/4" NOM	N/A

PARTITION: 2 (FURRING @ R.R.)

TYPE	STUD SIZE	STUD SPACING	FIRE RATING	INSULATION THICKNESS	STUD GAUGE	WALL THICKNESS	STC RATING
A	6"	16" OC	N/A	6"	20	6 5/8" NOM	N/A
B	3 5/8"	16" OC	N/A	3"	20	4 1/4" NOM	N/A
C	2 1/2"	16" OC	N/A	0"	20	3 1/8" NOM	N/A
D	-	-	N/A	0	-	5/8" NOM	N/A

PARTITION: 3 (R.R. TO R.R.)

TYPE	STUD SIZE	STUD SPACING	FIRE RATING	INSULATION THICKNESS	STUD GAUGE	WALL THICKNESS	STC RATING
A	6"	16" OC	N/A	6"	20	7 1/4" NOM	N/A
B	3 5/8"	16" OC	N/A	3"	20	7 1/4" NOM	N/A
C	2 1/2"	16" OC	N/A	0"	20	3 1/8" NOM	N/A
D	-	-	N/A	0	-	-	-

PARTITION: 4 (R.R. TO OTHER)

TYPE	STUD SIZE	STUD SPACING	FIRE RATING	INSULATION THICKNESS	STUD GAUGE	WALL THICKNESS	STC RATING
A	6"	16" OC	N/A	6"	20	7 1/4" NOM	N/A
B	3 5/8"	16" OC	N/A	3"	20	7 1/4" NOM	N/A
C	2 1/2"	16" OC	N/A	0"	20	3	

ITEM #	DESCRIPTION	MANUFACTURER	MODEL	COLOR	GAS REQUIREMENTS			ELECTRICAL REQUIREMENTS			PLUMBING REQUIREMENTS			SUPPLIED BY	INSTALLED BY	REMARKS		
					MBH (1,000 BTU/h)	WATER COLUMN	SIZE	VOLTAGE/PH	AMP/KVA	HP	CONNECTION	HW	CW	DRAIN				
E100	IN-CABINET FRIDGE	MAGIC CHEF	HMAR265WE.BE.SE.STE	BLACK	-	-	-	115/1	1.2	-	PLUG	-	-	-	GC	GC	OR APPROVED EQUAL	
E101	WATER FOUNTAIN W/ BOTTLE FILLER	ELKAY	LZS8WSLK	-	-	-	-	115/1	-	-	PLUG	-	3/8"	1-1/4"	GC	GC	MOUNT AT ADA COMPLAINT HEIGHT	
E101A	H/H FOUNTAIN W/ BOTTLE FILLER	NOT USED ELYKAY	LZS11CS9WSLK	NOT USED	NOT USED	NOT USED	NOT USED	115/1	8	-	PLUG	NOT USED	3/8"	1-1/4"	GC	GC	MOUNT AT ADA COMPLAINT HEIGHT	
E102	CLOTHES WASHER	MIELE	WXD160 WCS	-	-	-	-	120/1	15	0.8 KW	PLUG	3/4"	3/4"	2"	GC	GC	GC TO VERIFY MAKE AND MODEL WITH TENANT PRIOR TO ORDERING	
E103	VENTLESS ELEC. CLOTHES DRYER	MIELE	TXD160 WP	-	-	-	-	120/1	15	1/3	PLUG	-	-	-	GC	GC	GC TO VERIFY MAKE AND MODEL WITH TENANT PRIOR TO ORDERING	
E200	MOP SINK & FAUCET	MUSTEE	G3M & G3.600A & 65.600	24"x24"x10"	-	-	-	-	-	-	-	1/2"	1/2"	-	GC	GC	CAULK TO PARTITION, ORDER WITH FAUCET G3.600A AND MOP HANGER 65.600	
E201	LAVATORY BASIN FOR NOT USED	KOHLER	K-2883-C	NOT USED	NOT USED	NOT USED	NOT USED	-	-	-	NOT USED	NOT USED	1-3/4"	GC	GC	UNDERMOUNT	NOT USED	NOT USED
E202	FAUCET	NOT USED KIBI USA	K-181021N1PBM	NOT USED	NOT USED	NOT USED	NOT USED	-	-	-	NOT USED	NOT USED	3/8"	GC	GC	NOT USED	NOT USED	NOT USED
E203	TOILET FLUSH VALVE	NOT USED COAN / AMERICAN STANDARD	G2-8114-5001101	NOT USED	WHITE	NOT USED	NOT USED	-	-	-	NOT USED	NOT USED	1/2"	4"	GC	GC	OPEN ENDED TOILET SEAT, MATTE BLACK FLUSH HANDLE	
E204	TOILET - PRESSURE ASSISTED	ZURN	Z5560.000.01.03.36.LH OR RH	WHITE	-	-	-	-	-	-	-	-	1/2"	4"	GC	GC	OPEN ENDED TOILET SEAT, MATTE BLACK FLUSH HANDLE	
E205	FLOOR DRAIN	ZURN	FD2290	-	-	-	-	-	-	-	-	-	3"	3"	GC	GC	-	
E206	GRAB BAR - 18"	BOBRICK	B-9805x18	NOT USED	MATTE BLACK	NOT USED	NOT USED	-	-	-	NOT USED	-	-	-	GC	GC	ADD 18" VERTICAL BAR IF REQD.	
E207	GRAB BAR - 36"	BOBRICK	B-9806x36.MBLK	MATTE BLACK	-	-	-	-	-	-	-	-	-	-	GC	GC	ORDER 36" & 42" GRAB BARS, TOP OF GRAB BAR - 33" - 36" A.F.F., ADD MATCHING 18" VERTICAL BAR IF REQD.	
E208	GRAB BAR - 42"	BOBRICK	B-9806x42.MBLK	MATTE BLACK	-	-	-	-	-	-	-	-	-	-	GC	GC	ORDER 36" & 42" GRAB BARS, TOP OF GRAB BAR - 33" - 36" A.F.F., ADD MATCHING 18" VERTICAL BAR IF REQD.	
E210	BABY CHANGING TABLE - VERTICAL	RUBBERMAID	SM-FG-781988LP/LAT	-	-	-	-	-	-	-	-	-	-	-	GC	GC	SHELF @ 34" A.F.F.	
E212	TOILET TISSUE HOLDER	GEDY	GEDY 2039-14	MATTE BLACK	-	-	-	-	-	-	-	-	-	-	GC	GC	-	
E213	PAPER TOWEL DISPENSER	TOTAL RESTROOM	ASI 0210-41	MATTE BLACK	-	-	-	-	-	-	-	-	-	-	GC	GC	-	
E214	RESTROOM & VANITY MIRROR	HOME DEPOT	WN8154BLACK	MATTE BLACK	-	-	-	-	-	-	-	-	-	-	GC	GC	-	
E215	RESTROOM TRASH BIN	SIMPLEHUMAN	55 LITER STEP CAN	MATTE BLACK	-	-	-	-	-	-	-	-	-	-	TENANT	TENANT	20"x36"	
E216	COAT HOOK	NAMEEKS	NAMEEKS NNB028	MATTE BLACK	-	-	-	-	-	-	-	-	-	-	GC	GC	-	
E217	BACK OF DOOR MIRROR	NEUTYPE (HOME DEPOT)	AA01017AAFO01N-1	BLACK	-	-	-	-	-	-	-	-	-	-	GC	GC	16"x59" MOUNT TO BACK OF RESTROOM DOORS	
E218	DESK TRASH BIN	SIMPLEHUMAN	4.5 LITER ROUND STEP	MATTE BLACK	-	-	-	-	-	-	-	-	-	-	TENANT	TENANT	-	
E220	WIPE DISPENSER	GOOD EARTH	GDE 19219	BLACK	-	-	-	-	-	-	-	-	-	-	TENANT	TENANT	-	
E221	WATER HEATER	SEE PLUMBING	-	-	-	-	-	-	-	-	-	-	-	-	GC	GC	-	
E222	FIRE EXTINGUISHER	NOT USED PROGER/KODDE	25074 - TYPE ABC	NOT USED	NOT USED	NOT USED	NOT USED	-	-	-	NOT USED	-	-	-	GC	GC	WALL MOUNTED BETWEEN 36"-48" TO CENTER	
E223	ADA WALL MOUNT LAVATORY	NAMEEK'S	CERASTYLE 07960-U	WHITE	-	-	-	-	-	-	-	-	1-3/4"	-	GC	GC	WALL MOUNT, PROVIDE SCALD GUARD, MATTE BLACK DRAIN FINISH KIT.	
E226	SHELVES	IKEA	UNDASEN	BLACK	-	-	-	-	-	-	-	-	-	-	GC	GC	-	
E227	DOUBLE TV MOUNT	NOT USED INSTALLERPARTS	DP/T/QUACELING MOUNT	BLACK	-	-	-	-	-	-	-	-	-	-	TENANT	TENANT	AVAILABLE ON AMAZON, MULTIPLE COUPLERS AND EXTENSION PIPES MAY BE REQUIRED. SEE ELEVATIONS	
E228	TV	BY TENANT	BY TENANT	BLACK	-	-	-	-	-	-	-	-	-	-	TENANT	GC	GC TO ACQUIRE TV SPEC FROM TENANT	
E229	A/V CABINET	BY A/V CONTRACTOR	-	-	-	-	-	-	-	-	-	-	-	-	GC	GC	COORDINATE WITH AV CONTRACTOR	

SEAL LICENSE EXPIRES ON: MM-DD-YYYY
DATE OF SIGNATURE: MM-DD-YYYY

REASON FOR ISSUE					
Project Number:	24-28	Approved By:	JD	Date:	
Drawn By:	YY	Issue No.:		For Permit:	06-18-2024

EQUIPMENT &
FURNITURE
SCHEDULES

A8-2

HATCHED ITEMS
ARE NOT USED

These documents are confidential and shall be in the possession of authorized individuals only. These documents are the exclusive property of DXU and shall not be copied or reproduced without written authorization.

FURNITURE SCHEDULE									
ITEM #	DESCRIPTION	MANUFACTURER	MODEL	COLOR	SIZE	SUPPLIED BY	INSTALLED BY	REMARKS	
F100	CHECK IN DESK	MILLWORKER	-	SEE DETAILS	96"x18"	GC	GC	PONY WALLS CLAD IN WOODEN TAMBOUR PANELS, SEE DETAILS	
F101	CHECK IN CABINETS	MILLWORKER	-	LM-1	96"x24"	GC	GC	SEE DETAILS	
F103	LOCATION SIGNAGE	MILLWORKER	-	P-1	-	GC	GC	SEE DETAILS	
F104	BENCH - 6'	MILLWORKER	-	LM-1	72"x20"	GC	GC	SEE DETAILS	
F105	BENCH - 4' LEFT END	NOT USED MILLWORKER	LM-1	NOT USED	48"x20"	GC	GC	SEE DETAILS	
F106	BENCH - 4' MIDDLE	NOT USED MILLWORKER	LM-1	NOT USED	48"x20"	GC	GC	NOT DETAILS	
F107	BENCH - 4' RIGHT END	NOT USED MILLWORKER	LM-1	NOT USED	48"x20"	GC	GC	SEE DETAILS	
F108	LOGO - 10"	MILLWORKER	-	SEE ELEVATIONS	10" HIGH	GC	GC	SEE DETAILS, SEE ELEVATIONS FOR COLOR	
F109	LOGO - 12"	MILLWORKER	-	SEE ELEVATIONS	12" HIGH	GC	GC	SEE DETAILS, SEE ELEVATIONS FOR COLOR	
F110	LOGO - 16"	MILLWORKER	-	SEE ELEVATIONS	16" HIGH	GC	GC	SEE DETAILS, SEE ELEVATIONS FOR COLOR	
F111	MERCHANDISE MODULUS A	MyWall	FULL PANEL	P-5	-	GC	GC	CONTACT CHRIS JONES FOR ORDERING SEE COVER	
F112	MERCHANDISE MODULUS B	MyWall	FULL PANEL WITH MIRROR	P-5	-	GC	GC	CONTACT CHRIS JONES FOR ORDERING SEE COVER	
F113	MERCHANDISE MODULUS C	MyWall	FULL PANEL, LH RADIUS	P-5	-	GC	GC	CONTACT CHRIS JONES FOR ORDERING SEE COVER	
F114	MERCHANDISE MODULUS D	MyWall	FULL PANEL, RH RADIUS	P-5	-	GC	GC	CONTACT CHRIS JONES FOR ORDERING SEE COVER	
F116	DOUBLE SHELF	MyWall	P-5	-	-	GC	GC	WITH ANCHORS	
F117	SINGLE SHELF	MyWall	P-5	-	-	GC	GC	WITH ANCHORS	
F118	STORAGE BASKET	NOT USED BY TENANT							

FINISH SCHEDULE												Rev 01-31-2024	
ITEM #	DESCRIPTION	MANUFACTURER	MANUFACTURER NO	SPECIFICATION	SIZE	COLOR	TYPE	GROUT	SUPPLIED BY	INSTALLED BY	REMARKS		
BASE													
B-1	RUBBER BASE	JOHNSONITE	RWDC TG1	PERCEPTIONS RECESS TOE	4 1/4" H x 1/8"	TG1 SNOWBOUND	RECESS TOE	N/A	GC	GC	GC		
CEILING													
GYP	PAINTED GYPSUM BOARD	USG	270254 DRYWALL SUSPENSION SYSTEM	SUSPENDED DRYWALL SYSTEM, 5/8" GYP.	N/A	PAINTED, SEE RCP	N/A	N/A	GC	GC			
ACT-1	ACOUSTIC CEILING TILE AND GRID	GRIDSTONE	N/A	FIRE-SHIELD 1/2"	24"x24"	WHITE	VINYL FACE	N/A	GC	GC	PRELUDI ML 15/16" EXPOSED TEE, 7301 & ML7323 (WHITE)		
FLOOR													
FL-1	PREFERRED LVT	AHF CONTRACT	1LL07001	NOD TO NATURE LOOSE LAY LVT	7"X48"X5mm	SERENE STYLE 7"	N/A	N/A	GC	GC	LAY IN WITH RANDOM PATTERN		
	APPROVED ALTERNATE	AHF CONTRACT	1LL07007	NOD TO NATURE LOOSE LAY LVT	7"X48"X5mm	BEACHY FLAVOR 7"	N/A	N/A	GC	GC			
FL-2	PREFERRED ACOUSTIC LVT	AHF CONTRACT	1SP07001	NOD TO NATURE RIGID CORE SPC	7"X48"X5mm	SERENE STYLE 7"	STC 50	N/A	GC	GC	LAY IN WITH RANDOM PATTERN, FOR USE IN LOCATIONS WITH NEIGHBORING		
	APPROVED ACOUSTIC	AHF CONTRACT	1SP07007	NOT USED	NOD TO NATURE RIGID CORE SPC	7"X48"X5mm	BEACHY FLAVOR 7"	STC 50	NOT USED	GC	GC	TENANTS BELOW PVOLVE SPACE VARIOUS (16") CONCRETE SLAB	
FL-3	HEAVY ACOUSTIC ISOLATION	ENGINEERED	ENGINEERED	SEE DETAILS IN PLANS			STC 66	N/A	GC	GC	FOR USE IN LOCATIONS WITHOUT 152MM (6") CONCRETE SLAB FLOOR		
GROUT													
GR-1	WALL GROUT (BLACK TILE)	LATICRETE	MIDNIGHT BLACK #22	1600 SANDED GROUT	1/8" JOINT	BLACK	SANDED	N/A	GC	GC			
GR-2	FLOOR GROUT	LATICRETE	STERLING SILVER #78	1600 SANDED GROUT	1/8" JOINT	GREY	SANDED	N/A	GC	GC			
MILLWORK													
SS-1	SOLID SURFACE	WILSONART	ASPEN QUARTZITE 9245SS	9245SS	1/2" THICK	ASPEN QUARTZITE	N/A	N/A	GC	GC	FOR ALL COUNTERS IN PROJECT		
LM-1	LAMINATE FOR MILLWORK	FORMICA	J0032	FENIX COLOR CORE	N/A	BIANCO KOS	N/A	N/A	GC	GC			
TX-1	BENCH CUSHIONS	NOT USED	BRENTANO	1234-03 MASALA BURNING DOVE	MASALA	NOT USED	VARIES	NOT USED	BURNING DOVE	N/A	NOT USED	NOT USED	
WD-1	FLEXIBLE REEDED PANEL	ART FOR EVERYDAY	FTP-109	FLEXIBLE REEDED PANEL	1" HALF CIRCLE	PAINTED P-4	PAINT GRADE	N/A	GC	GC	GC	PROVIDE VELCRO ATTACHMENT TO NOT USED BENCHES	
MISC													
WP-1	WATERPROOF MEMBRANE	MAPEI	N/A	MAPAPLASTIC AQUA DEFENSE	N/A	N/A	N/A	N/A	GC	GC	18" ABV FLR ON OUTER SURF. OF WALL SHEATHING & UNDER FINISHES, AND ENTIRE FLOOR OF ROOM UNDER FLOOR FINISH. USE 2" FIBERGLASS MESH TAPE ON ALL CORNERS, COVES & JNTS. SEE SPEC FOR MORE INFO.		
G-1	MIRROR	GC SUPPLIED	N/A	1/4" THICK MIRROR GLASS	SEE ELEVATIONS	MIRROR	N/A	N/A	GC	GC			
M-1	TILE TRIM	SCHLUTER	QUADEC	END TRIM	N/A	BLACK	N/A	N/A	GC	GC			
TILE													
T-1	PORCELAIN TILE	FLOOR & DÉCOR	100572437	TAULETO BIANCO POLISHED PORCELAIN TILE	12X24	WHITE	PORCELAIN	GR-2	GC	GC	RESTROOM FLOORS; STACK BOND		
T-2	PORCELAIN TILE	NEMO TILE	METBLACK	METRO ABSOLUTE BLACK MATTE	2.125X8.5	ABSOLUTE BLACK MATTE	PORCELAIN	GR-1	GC	GC	BEAUTY BAR VENITY WALL AND RESTROOM WALLS; VERTICAL STACK BOND		
WALLS													
WC-1	WALL COVERING	NOT USED	ASTEK	N/A	FIJI	NOT USED	54" WIDE	NOT USED	TYPE II	N/A	GC	GC	
ASP-1	ACOUSTIC SLAT PANEL	AKUPANEL	RECON MAPLE	AKUPANEL RECON MAPLE	N/A	RECON MAPLE/BLACK FELT	N/A	N/A	GC	GC	ALTERNATE TO BE USED ON WALL BEHIND FRONT DESK ABOVE COUNTER WHEN SPECIFIED; SEE FINISH PLAN FOR MORE INFO		
ASP-1	ACOUSTIC SLAT PANEL	AKUPANEL	RECON MAPLE	AKUPANEL RECON MAPLE	N/A	RECON MAPLE/BLACK FELT	N/A	N/A	GC	GC	STUDIO WALL; SEE ELEVATIONS AND FINISH PLAN FOR MORE INFORMATION.		
PAINT													
P-1	BLACK PAINT - DOORS & SIGNAGE	BENJAMIN MOORE	2132-10	EGGSHELL SHEEN	N/A	BLACK	LATEX	N/A	GC	GC	DOORS, ACCENT, AND SIGNAGE PAINT; PROVIDE 1 COAT PRIMER, 2 COATS FINISH PAINT		
P-2	DUNE PAINT - SIGNAGE	BENJAMIN MOORE	HC-107	EGGSHELL SHEEN	N/A	GETTYSBURG GREY	LATEX	N/A	GC	GC	ACCENT AND SIGNAGE PAINT, SEE ELEVATIONS AND FINISH PLAN FOR MORE INFO; PROVIDE 1 COAT PRIMER, 2 COATS FINISH PAINT		
P-3	WHITE PAINT - WALLS	BENJAMIN MOORE	OC-65	EGGSHELL SHEEN	N/A	CHANTILLY LACE	LATEX	N/A	GC	GC	GENERAL WALL AND CEILING PAINT; PROVIDE 1 COAT PRIMER, 2 COATS FINISH PAINT		
P-4	TAN PAINT - STUDIO WALLS AND ACCENTS	BENJAMIN MOORE	OC-6	EGGSHELL SHEEN	N/A	FEATHER DOWN	LATEX	N/A	GC	GC	STUDIO WALL PAINT, AND CHECK IN NOOK PAINT; PROVIDE 1 COAT PRIMER, 2 COATS FINISH PAINT		
P-5	MYWALL MILLWORK PAINT	BY MANUFACURER		EGGSHELL SHEEN	N/A	WHITE	LATEX	N/A	GC	GC	MYWALL MANUFACTURER WHITE PAINT		
P-6	BRIGHT WHITE PAINT - UPPER WALLS AND CEILINGS	SHERWIN WILLIAMS	SW 7005	SEMI-GLOSS	N/A	PURE WHITE	LATEX	N/A	GC	GC	EXPOSED CEILINGS AND WALLS ABOVE 11'-0" PROVIDE 1 COAT PRIMER, 2 COATS FINISH PAINT		

HECK THE NEED FOR HIGH KIND OF FLOOR!

24

ISHES, AND
SS MESH TAPE ON

ACK BOND

COUNTER WHEN

FORMATION.

R, 2 COATS FINISH

N FOR MORE

COATS FINISH

DAT PRIMER, 2

RIMER, 2 COATS

UPDATE TO SET THE SCHEDULES THEM TO HIGH GRAPHICS EVERY TIME. REMEMBER TO PHOTOGRAPH

LICENCE EXPIRES ON: MM-DD-YYYY		
DATE OF SIGNATURE: MM-DD-YYYY		
D X U		
ARCHITECTS		
412 S. Wells Street • 2nd Floor • Chicago, IL 60607		
P: 312 955 0334 • d x u a r c h . c o m		
CONSULTANTS		
REASON FOR ISSUE		
Project Number: 24-328		
Approved By: JD		
Drawn By: VY		
No.	Issue	Date
	FOR PERMIT	06-18-2024

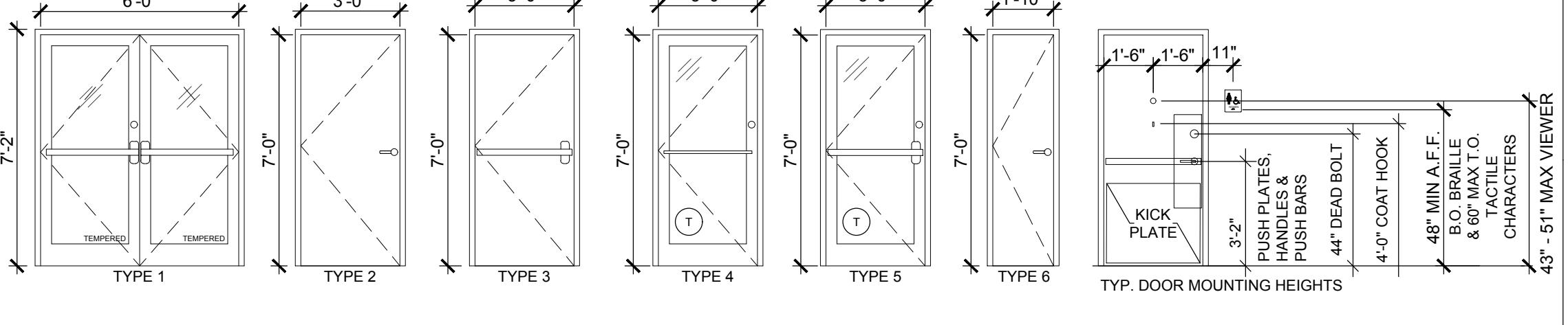
LIGHTING & FINISH SCHEDULES

WATCHED ITEMS ARE NOT USED

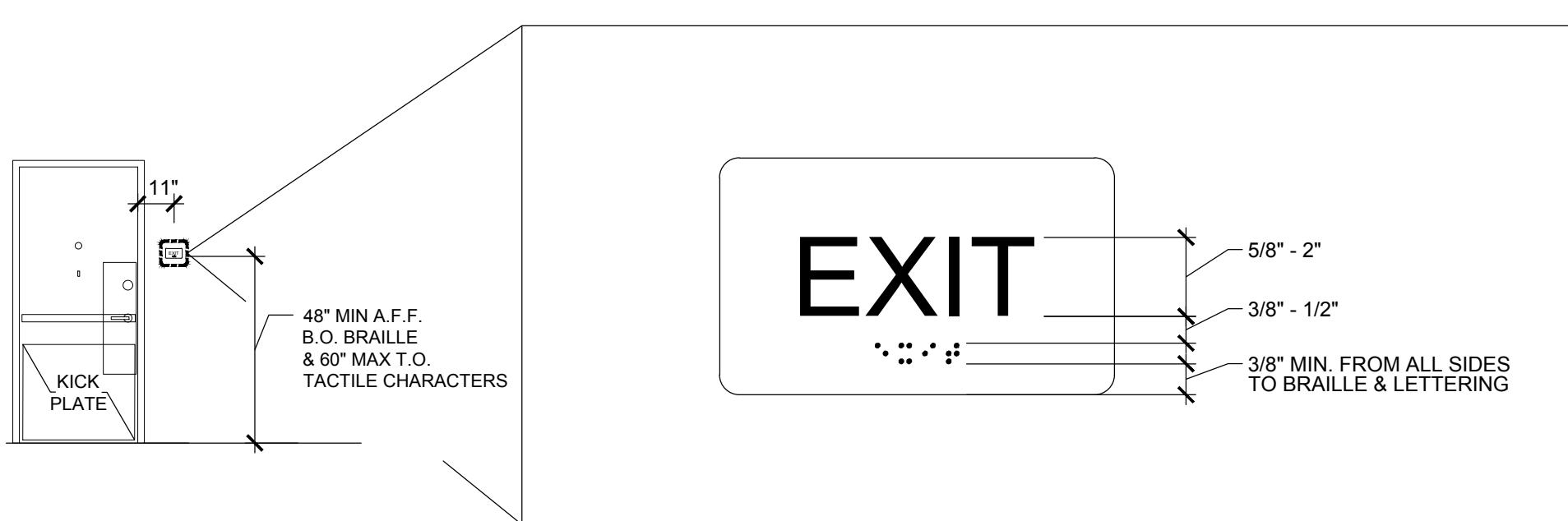
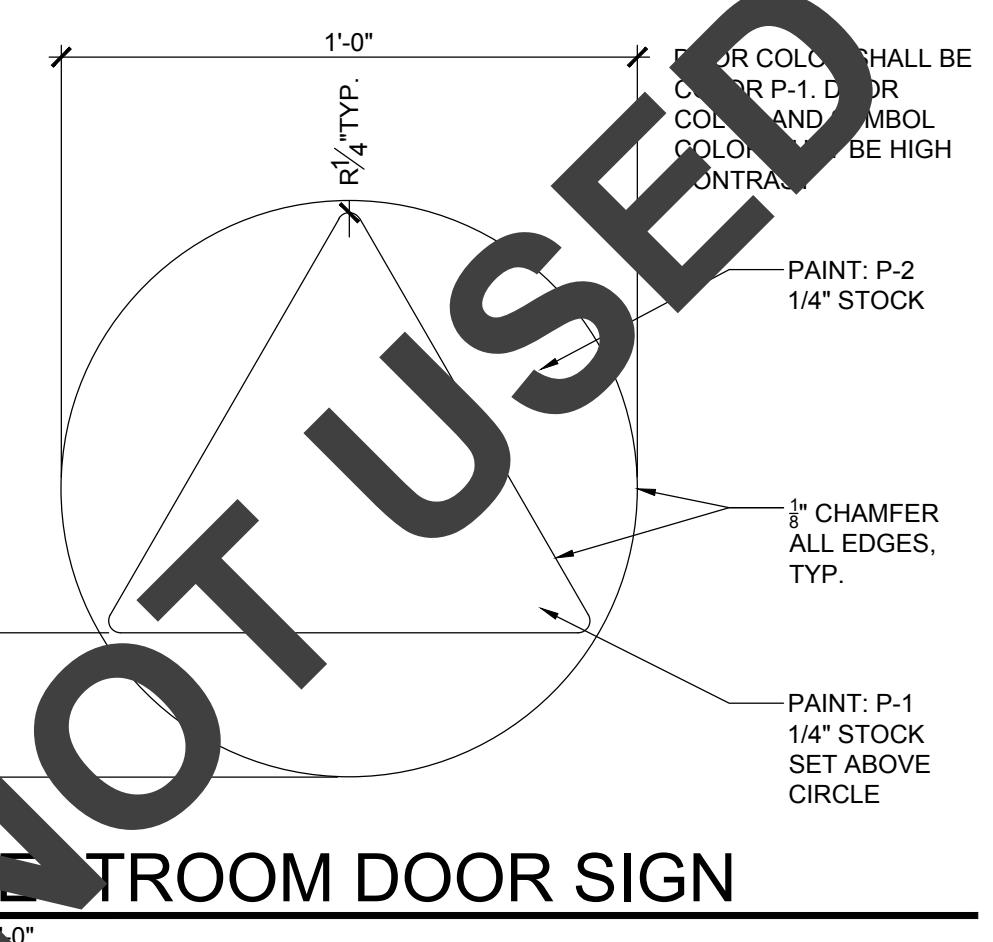
This document contains neither recommendations nor conclusions of the U.S. Environmental Protection Agency. It has been reviewed by the Agency and approved for publication. Mention of trade names or commercial products does not constitute endorsement or recommendation for use.

DOOR SCHEDULE					
DESCRIPTION	MARK	REMARKS	FINISH	TYPE	HARDWARE & ACCESSORIES
ENTRY DOOR (EXIST)	(01)	3'-0" x 7'-0" STOREFRONT DOOR WITH TEMPERED GLASS LITES. INTEGRAL STOREFRONT FRAME.	PUSH: EXISTING PULL: EXISTING FRAME: EXISTING	TYPE 4	RE-KEY LOCK, REUSE EXISTING HARDWARE. IF NOT PRESENT, PROVIDE: CLOSER (NORTON 1601, SIZES 1-6 BHMA-ADA COMPLIANT, COLOR MATCH), & SWEEPS. PROVIDE 1" LETTERS ON CONTRASTING BACKGROUND STATING "THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED".
STORAGE DOOR	(02)	0'-1 3/4" x 3'-0" x 7'-0" SOLID CORE DOOR. HOLLOW METAL FRAME. FRAME: P-1	PUSH: P-1 PULL: P-1 FRAME: P-1	TYPE 2	PROVIDE ADA COMPLIANT HANDLE SET WITH ANSI F86 STOREROOM LOCK. KEY LOCK TO MATCH ALL OTHER F86 STOREROOM LOCKS WITHIN TENANT SPACE.
RESTROOM DOOR	(03)	REUSE EXISTING 0'-1 3/4" x 3'-0" x 7'-0" SOLID CORE DOOR. HOLLOW METAL FRAME.	PUSH: P-1 PULL: P-1 FRAME: P-1	TYPE 2	IF NOT PRESENT PROVIDE ADA COMPLIANT HANDLE SET WITH ANSI F76 PRIVACY LOCK OPERATED FROM PRIVATE SIDE OF DOOR. PROVIDE: CLOSER (NORTON 1601, SIZES 1-6 BHMA-ADA COMPLIANT, COLOR MATCH)
RESTROOM DOOR	(04)	REUSE EXISTING 0'-1 3/4" x 3'-0" x 7'-0" SOLID CORE DOOR. HOLLOW METAL FRAME.	PUSH: P-1 PULL: P-1 FRAME: P-1	TYPE 2	IF NOT PRESENT PROVIDE ADA COMPLIANT HANDLE SET WITH ANSI F76 PRIVACY LOCK OPERATED FROM PRIVATE SIDE OF DOOR. PROVIDE: CLOSER (NORTON 1601, SIZES 1-6 BHMA-ADA COMPLIANT, COLOR MATCH)
STUDIO DOOR	(05)	0'-1 3/4" x 3'-0" x 7'-0" SOLID CORE DOOR W/ 2'-8"x6" LITE. HOLLOW METAL FRAME.	PUSH: P-1 PULL: P-1 FRAME: P-1	TYPE 1	PROVIDE ADA COMPLIANT HANDLE SET WITH ANSI F75 PASSAGE LATCH.
ACCESS PANEL	(06)	0'-1 3/4" x 3'-0" x 7'-0" SOLID CORE DOOR. HOLLOW METAL FRAME.	PUSH: P-1 PULL: P-1 FRAME: P-1	TYPE 6	PROVIDE ADA COMPLIANT HANDLE SET WITH ANSI F86 STOREROOM LOCK. KEY LOCK TO MATCH ALL OTHER F86 STOREROOM LOCKS WITHIN TENANT SPACE.
REAR EXIT DOOR (EXIST)	(07)	0'-1 3/4" x 3'-0" x 7'-0" EXISTING FIRE RATED DOOR WITH INTEGRAL METAL FRAME.	PUSH: P-1 PULL: EXISTING FRAME: P-1	TYPE 3	REUSE EXISTING HARDWARE. IF NOT PRESENT, PROVIDE: CLOSER (NORTON 1601, SIZES 1-6 BHMA-ADA COMPLIANT, COLOR MATCH), & SWEEPS. SHALL MEET THE REQUIREMENTS FOR A SMOKE AND DRAFT CONTROL ASSEMBLY TESTED IN ACCORDANCE WITH UL-1784. LABEL PULL SIDE OF DOOR WITH "P.VOLVE" AND UNIT NUMBER.
MULTI-SLIDE DOOR	NOT USED	(6) PANEL MULTI-SLIDE BOTTOM ROLLING DOOR. 4 ACTIVE PANELS. OVERALL DIMENSIONS: 10' x 10'-0"	PUSH BLACK ANODIZED NOT USED NOT USED NOT USED NOT USED NOT USED	TYPE 5	MULTI-SLIDE BOTTOM ROLLING DOOR SYSTEM. LA CANTINA DOORS OR EQUAL. SUBMIT SHOP DRAWINGS FOR APPROVAL.

NOTE:
 - ALL DOOR HARDWARE AND ACCESSORIES SHALL BE MATT BLACK U.N.O.
 - ALL HINGES TO BE BEARING TYPE. ALL HARDWARE TO BE LEVERS, HAVING AN OBVIOUS METHOD OF OPERATION UNDER ALL LIGHTING CONDITIONS. THE RELEASING MECHANISM SHALL OPEN THE DOOR WITH NOT MORE THAN ONE RELEASING OPERATION, PER NFPA 101 17.2.1.5.9.2.
 - ANY DOOR IN A REQUIRED MEANS OF EGRESS FROM AN AREA HAVING AN OCCUPANT LOAD OF 50 OR MORE PERSONS SHALL BE PERMITTED TO BE PROVIDED WITH A LATCH OR LOCK ONLY IF THE LATCH OR LOCK IS PANIC HARDWARE OR FIRE EXIT HARDWARE PER NFPA 101 12.2.2.3. PANIC HARDWARE SHALL CONTAIN A MINIMUM OF TWO (2) LOCKING POINTS ON EACH DOOR, ONE LOCATED AT THE HEADER, THE OTHER AT THE THRESHOLD OF THE DOOR. ON SINGLE DOORS, PANIC HARDWARE MAY HAVE ONE LOCKING POINT WHICH IS NOT LOCATED AT EITHER THE TOP OR BOTTOM EDGE OF THE DOOR. THE LATCH OR LOCK SHALL NOT BE LOCATED ON THE INSIDE SURFACE OF THE DOOR. THE ASTRAGAL SHALL EXTEND A MINIMUM OF SIX INCHES VERTICALLY ABOVE AND BELOW THE LATCH OF THE PANIC HARDWARE. THE ASTRAGAL SHALL BE A MINIMUM OF TWO (2) INCHES WIDE AND EXTEND A MINIMUM OF ONE INCH (1) BEYOND THE EDGE OF THE DOOR TO WHICH IT IS ATTACHED. DOUBLE DOORS CONTAINING PANIC HARDWARE SHALL HAVE A FULL ASTRAGAL CONSTRUCTED OF STEEL, ATTACHED TO THE DOORS AT THEIR MEETING POINT WHICH WILL CLOSE THE OPENING BETWEEN THEM, BUT NOT INTERFERE WITH THE OPERATION OF EITHER DOOR.
 - DOOR LOCKING BAR - VON DUPRIN MORTISE LOCK DEVICE, 9975-NL-03-3-US32D, ALARM - THE MONITOR, MODEL 4000AKS WITH STROBE AND BEST LOCK CYLINDER



UPDATE DOOR SCHEDULE EVERY TIME



ALL TACTILE SIGN SPECIFICATIONS MUST FOLLOW CBC 11B-703 AND BE MOUNTED IN ACCORDANCE WITH CBC 1013.4 AT EACH EXIT AND EXIT ACCESS DOOR

GRADE 2 BRAILLE EXIT SIGN



ACCESSIBLE RESTROOM SIGN

DOOR SCHEDULE

REASON FOR ISSUE	
Project Number:	24-328
Drawn By:	YY
Approved By:	JD
Date:	
No.	
Issue:	06-18-2024
FOR PERMIT	

SHEET TITLE & NUMBER
6'-0" x 1'-0"

A8-4

HATCHED ITEMS ARE NOT USED

These documents are confidential and shall be in the possession of authorized individuals only. All rights reserved. These documents are the exclusive property of DxU and shall not be copied or reproduced without written authorization.

ARCHITECT	DxU ARCHITECTS 4125 West Street 2nd Floor • Chicago, IL 60655 P: 312.915.3334 • F: 312.915.3334
CONSULTANTS	
SEAL	LICENSE EXPIRES ON: MM-DD-YYYY DATE OF SIGNATURE: MM-DD-YYYY

PVOLVE

1845 YGNACIO VALLEY
WALNUT CREEK, CA 94598

