

Issue Date 07/11/24

Revisions	Date	Description	By
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Local Infusion
1256 Indian Head Road,
Tom's River,
NJ 08755

Consultant
mb
MICHAEL R. BLACK, AIA
2225 E. RANDOL MILL RD., SUITE 300
ARLINGTON, TEXAS 76011
817.701.4819

Seal

CS101

Local Infusion

RESPONSIBILITY SCHEDULE					
LEGEND: EX = EXISTING L = LANDLORD O = OWNER (BND) C = CONTRACTOR/SUBCONTRACTOR					
DESCRIPTION	EX	FURNISHED BY	INSTALLED BY	REMARKS	
STOREFRONT	L	O	C	L	O
STOREFRONT GLAZING AND MULLION SYSTEM	●				
STOREFRONT ENTRANCE DOOR AND GLAZING	●			G.C. TO INSTALL NEW LOCK CYLINDER	
STOREFRONT SIGNAGE	●		●		UNDER SEPARATE PERMIT
DOORS	L	O	C	L	O
REAR EXIT DOOR & HARDWARE	●				
INTERIOR DOORS		●		●	
DOOR HARDWARE/DOOR FRAMES		●		●	
LOCK CORES		●		●	
CEILING/SOFFITS	L	O	C	L	O
ACT CEILING TILES		●		●	
PAINT		●		●	
WALLS	L	O	C	L	O
DEMISING PARTITIONS GYP BD.	●		●	●	PATCH/REPAIR BY G.C.
EXPOSED STRUCTURAL COLUMN FINISH	●		●	●	
INTERIOR PARTITION FRAMING & GYP BD.		●		●	
WALL FINISH		●		●	
TILE/GROUT		●		●	
WALL BACKING/BLOCKING		●		●	
PAINT		●		●	
SOUND BATT WALL INSULATION		●		●	
FLOORING	L	O	C	L	O
LUXURY VINYL PLANK		●		●	
TILE FLOOR		●		●	
RUBBER BASE		●		●	
TILE BASE		●		●	
MILLWORK	L	O	C	L	O
LOBBY COUNTER		●		●	
CABINETS/SHELVES/HARDWARE		●		●	
FURNITURE/EQUIPMENT	L	O	C	L	O
FURNITURE		●		●	
REFRIGERATORS		●		●	
RESTROOM ACCESSORIES		●		●	REF: RESTROOM SCHEDULE, A201
TV AND WALL MOUNT	●			●	PLYWOOD BACKING BY G.C.
GENERAL	L	O	C	L	O
GENERAL CONDITIONS		●		●	
PERMITS, FEES, AND INSURANCE		●		●	
TEMPORARY UTILITIES		●		●	
PROFESSIONAL CLEANING		●		●	
CERTIFICATE OF OCCUPANCY		●		●	
PROTECTION		●		●	
MECHANICAL	L	O	C	L	O
MECHANICAL DIFFUSERS		●		●	
RTU		●		●	
HVAC CONTROL AND SENSOR		●		●	
MAIN DUCTWORK	●		●	●	
BRANCH DUCTWORK	●		●	●	
EXHAUST FAN		●		●	
ELECTRICAL	L	O	C	L	O
MAIN DISTRIBUTION PANEL	●				
TENANT LOW VOLTAGE ELECTRICAL PANEL	●				
LIGHT FIXTURES		●		●	
EXIT SIGNS		●		●	
EMERGENCY LIGHT(S)		●		●	
DATA CABLE ROUGH-IN		●		●	
DATA CABLE TERMINATION	●		●	●	
PLUMBING	L	O	C	L	O
TOILET ROOM FIXTURES		●		●	
WATER HEATER		●		●	
NURSE/BREAK SINKS		●		●	
SPRINKLER HEADS		●		●	
SPRINKLER MAIN LINE	●		●	●	
SPRINKLER BRANCH PIPING		●		●	

ABBREVIATIONS

AL.	ALUMINUM
A.P.	ACCESS PANEL
A.C.T.	ACOUSTIC CEILING TILE
A.D.A.	AMERICANS W/ DISABILITIES ACT
A.F.F.	ABOVE FINISH FLOOR
A.H.J.	AUTHORITY HAVING JURISDICTION
BD.	BOARD
BM.	BEAM
BLKG.	BLOCKING
BLDG.	BUILDING
BOT.	BOTTOM
CLG.	CEILING
CONC.	CONCRETE
CLR.	CLEAR
CONT.	CONTINUOUS
CT.	CERAMIC TILE
DIA.	DIAMETER
DIA.G.	DIAGONAL
D.P.B.	DENSE PARTICLE BOARD
EQ.	EQUAL
EL.V.	ELEVATION
EFS.	EXTERIOR INSUL. FINISH SYSTEM
EQUIP.	EQUIPMENT
EXIST. OR E	EXISTING
F.C.	Fixture Contractor
FIN.	FINISH
FL.	FLOOR
F.F.	FACE OF FINISH
F.S.	FACE OF STUD
F.V.	FIELD VERIFY
F.B.	FLOOR BUMPER
F.E.	FIRE EXTINGUISHER
F.R.T.	FIRE RETARDANT TREATED
G.A.	GAUGE
G.C.	GENERAL CONTRACTOR
G.W.B.	GYPSUM WALL BOARD
G.Y.B.D.	GYPSUM BOARD
GL.	GLASS
GDW	GYPSUM DRY WALL
GA	GAUGE
H.	HIGH
H.T.	HEIGHT
H.M.	HOLLOW METAL
L.L.	LANDLORD
INSUL.	INSULATION
KIT.	KITCHEN
LAM. PL.	LAMINATED PLASTIC
MATL.	MATERIAL
M.D.	MASONRY OPENING
MTD.	MOUNTED
MTL.	METAL
MFR.	MANUFACTURER
MIN.	MINIMUM
MIR.	MIRROR
MTL.	METAL
N.I.C.A.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.H.	OPPOSITE HAND
OPG.	OPENING
P. L.	PLATE
PLYWD.	PLYWOOD
REFL.	REFLECTED
REINF.	REINFORCING
REQ'D	REQUIRED
R.O.	ROUGH OPENING
S.L.B.A.	SINGLE LINE BANKING
SSM	SOLID SURFACING MATERIAL
S.V.A.	Sheet Vinyl
SST.	Stainless Steel
STL.	STEEL
STRUCT.	STRUCTURE
SIM.	SIMILAR
SUSP.	SUSPENDED
T.B.D.	TO BE DETERMINED
TEMP.	TEMPORARY
THK.	THICK
T&G.	TONGUE & GROOVE
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
VERT.	VERTICAL
V.I.F.	VERIFY IN FIELD
V.C.T.	VINYL COMPOSITION TILE
V.W.C.	VINYL WALL COVERING
W/OR WDT	WITH
WB.	WALL BUMPER
WD.	WOOD

SEPARATE SUBMITTALS

THE FOLLOWING SHALL BE SUBMITTED BY THE APPROPRIATE VENDOR OR ENGINEER AND SHALL NOT BE REVIEWED AS A PART OF THIS SUBMISSION

- SIGNAGE
- FIRE SPRINKLER PLANS & SPECIFICATIONS

SCOPE OF WORK

INTERIOR TENANT FIT OUT FOR NEW IV INFUSION FACILITY. ALL STRUCTURAL COMPONENTS TO REMAIN. EXISTING STOREFRONT AND GLAZING SYSTEM TO REMAIN. EXISTING ELECTRICAL SERVICE TO REMAIN. EXISTING MECHANICAL EQUIPMENT AND DUCTWORK TO BE MODIFIED. NEW INTERNAL NON RATED PARTITIONS, LIGHTING LAYOUT, AND MILLWORK. NEW RESTROOM FIXTURES TO BE INSTALLED. NEW LIT EXTERNAL SIGNAGE TO BE INSTALLED.

OCCUPANT LOAD

USE GROUP	ROOM(S)	GROSS SQ. FT.	LOAD FACTOR	OCCUPANT LOAD
BUSINESS	LOBBY/TREATMENT ROOMS	1,617.3	150	10.8
STORAGE	STORAGE	105	300	0.4
UNOCCUPIED SPACE	RESTROOM	79.7		0
TOTAL:		1,778.8		12

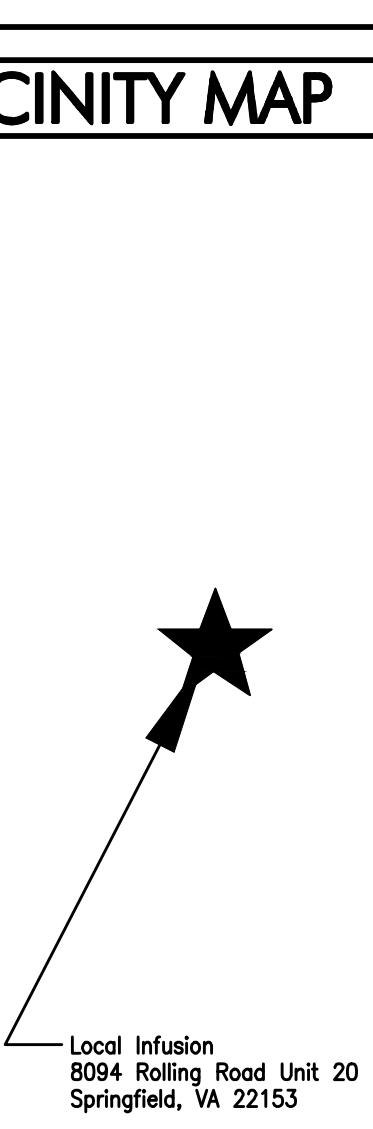
CODE INFORMATION

BUILDING: 2021 VIRGINIA CONSTRUCTION CODE
ACCESSIBILITY: 2017 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (ICC/ANSI A117.1)
FIRE: 2021 VIRGINIA BUILDING AND FIRE CODE RELATED REGULATIONS
MECHANICAL: 2021 VIRGINIA MECHANICAL CODE
PLUMBING: 2021 VIRGINIA PLUMBING CODE
ELECTRICAL: 2020 NATIONAL ELECTRICAL CODE

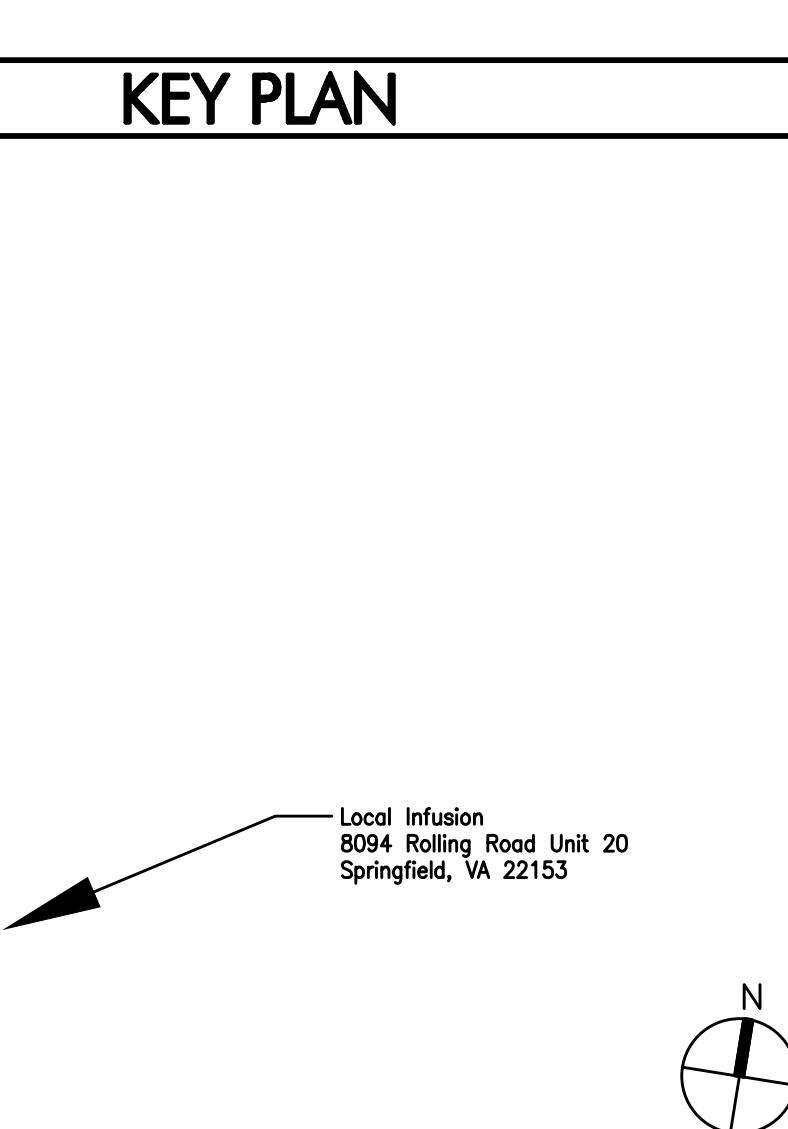
EGRESS REQUIREMENTS:

NUMBER OF EXITS REQUIRED(IBC TABLE 1006.3.2): 1
NUMBER OF EXITS PROVIDED: 2
MAXIMUM TRAVEL DISTANCE ALLOWED: 300' (200' if unsprinkled)
MAXIMUM TRAVEL DISTANCE PROVIDED: 119'-1"

VICINITY MAP



KEY PLAN



PROJECT DIRECTORY

OWNER:	LANDLORD
Regency Centers	One Independent Drive, Suite 114
4900 Central Blvd 300	Jacksonville, FL 32202
Nashville, TN 37209	Adil M Saltani
Angela Johnson	TEL (513) 460-9275
TEL (904) 598-7000	ojohnson@mylocalinf

DIVISION 1 - GENERAL REQUIREMENTS

Section 0100 - General Notes

- A. The "General Conditions" and "Supplementary General Conditions" form a part of the Contract and shall govern the work performed under each section of the Specifications.
- B. The following General Requirements Supplement supersedes the foregoing General and Supplementary Conditions for Contract work and are hereby considered a part of the Contract Documents.
- C. All work is to be accomplished in compliance with these plans and specifications. All changes must be approved in writing by Local Infusion or the owner's representative. All costs incurred by Local Infusion or the owner's representative as a result of unauthorized changes are the responsibility of the individual(s) making the change.

Section 0101 - Summary of the Work

- A. References and Definitions
- The Contractor is the person or entity identified as such in the Owner-Contractor Agreement, (and is referred to throughout the Contract Documents as if singular and masculine). The term Contractor means the Contractor or his authorized agent.

- B. A Subcontractor: Is a person or entity who has a direct contract with the Contractor to perform any work at the site. The term Subcontractor is referred to throughout the Contract Documents as if singular in number and masculine in gender and means a subcontractor or his authorized representative. The Subcontractor does not include any separate contractor.
- C. Installer: Is the person or entity engaged by the Contractor or his Subcontractor of subcontractor in the performance of a particular unit of work at the project site, including installation, erection, application and similar operations, as installer may be called.
- D. In the Plans, Specifications, addenda, and other Contract Documents, the abbreviation "GCC" or "GC" or "GC" is used. These shall be taken to mean the Contractor.

- E. The term "Owner's Representative" shall be taken to have the same meaning as Owner (as if singular and masculine). The term Owner means the Owner or his authorized agent.

- F. The Drawings and Specifications are complementary each to the other and what is called for hereon shall be as binding as it called for by both. However, the Drawings and Specifications shall be considered inseparable documents and Contractor shall consider both instruments in order to perform the work in accordance with their combined intent.

- G. In case of discrepancies in the Contract Documents, Contractor shall first consult with the Owner for clarifications, revision, or further action, as may be required prior to starting work affected by the discrepancy.

- H. Dimensions shall govern over scale sizes, large scale or full size details over small scale Drawings, and Specifications over Drawings.

- I. The Contractor, Subcontractor and installers are cautioned not to scale drawings. Should a problem not be known or shown, consult the Owner's Representative for advise.

B. Project/Work Summary

1. General: The work of this Contract involves and includes the construction of a new Local Infusion retail store in a leased space at the location specified in the title block. Local Infusion is referred to herein as, the Owner.
2. Contract Documents indicate the work of the Contract, and related provisions of project which may include but are not necessarily limited to the following:

- a. Existing site conditions and restrictions:
- Survey and Layout of Work: Contractor shall check carefully all levels and conditions and shall call attention in writing to any discrepancies, before proceeding with the work. Any discrepancies in the information provided on the Drawings or found within the owner's survey shall be reported immediately to the Owner. Contractor shall retain and file the Landlord's construction requirements of additional costs on the bids.
 - Requirements for Owner occupancy at the established date of "Substantial Completion" and prior to final completion of work of Contract.
 - Other work to be performed concurrently by Owner.
 - Owner-purchased and furnished material/ equipment to be installed under the work of this Contract.

3. This Contract may also include (but are not yet specifically stated herein):
- Pre-negotiated material/equipment orders assigned as work of Contract.
 - Pure-purchased subcontracts for Contract, with subcontract amount included in sum.

4. Summary by Reference: Work of Contract can be summarized by reference to the Contract, Instructions to Bidders, Supplementary Conditions, Specification sections as listed in the bound herewith, Drawings as listed in "Schedule of Drawings" bound herewith, addenda and modifications to the Contract Document issued subsequent to the initial printing of this Project Manual, and including, but not necessarily limited to, printed reference by any of these. It is recognized that work of Contract is also unavoidably affected or influenced by governing regulations, natural phenomena including weather conditions, and other forces outside the Contract Documents.

5. Abbreviated Written Summary: Briefly, and without force and effect upon Contract Documents, work of Contract can be summarized as follows:

- a. The work includes construction of a retail store on the site as shown, doors, hardware, glazing interior finishes and furnishings including architectural woodwork, floor finishes, acoustical ceilings, and a portion of the signage.

- b. The work also includes: plumbing, fire protection, heating-ventilating-air conditioning, electrical systems, lighting, and security systems.

6. The Owner will furnish certain materials and equipment. However, the work of this Contract includes certain support systems to receive and service Owner's equipment. These items will be summarized in the Instructions to General Contractors, in limited fashion, but are also called out in detail under various sections of the work.

Section 01011 - Examination of Contract Documents

- A. Before submitting proposal, each Bidder should carefully examine all Drawings, Specifications, addenda (if any) and all other Contract Documents.

- B. Submission of proposal implies that Bidder is fully informed regarding all requirements of the Contract Documents, also all site conditions. No additional compensation will be paid to the Contractor due to this failure to be fully informed regarding requirements of the Contract Documents.

- C. Protection and the safety of persons using the site, parking areas and existing facilities shall be paramount, as well as the non-disruption of essential services.

Section 01016 - Owner Occupancy

- A. The Owner reserves the right to take initial occupancy of the building at the earliest possible date, notwithstanding the award to delivery and installation of store fixtures, and merchandise. Depending on the progress of the general contractor's work, this may or may not create some inconvenience. The general contractor should anticipate this possibility. Claims for time delays and/or extra costs due to such inconvenience will not be allowed.

Section 01017 - Pre-Negotiated Orders

- A. General: Prior to date of Contract, and for purpose of expediting delivery and for other purposes in Owner's interests, Owner may negotiate costs or make other commitments to be indicated with suppliers of materials/equipment that may be incorporated into the work by Contractor. Those orders and commitments will be assigned to Contractor, and costs placed in Contract Sum. Contractor's responsibilities are same as if Contractor has negotiated purchase orders, including responsibility to renegotiate purchases if necessary and to execute final purchase order agreements. A "Schedule of Pre-Negotiated Prices" (if any) will be given to the Contractor or successful bidder, as the case may be.

Section 01041 - Supervision, Coordination and Layout

- A. All work included in the Contract shall be under the constant supervision of a qualified superintendent who has been employed directly by the General Contractor for a minimum of the preceding 6 (six) months. All work shall be in compliance with Landlord's rules and requirements and accomplished within the Base Bid.
- B. The Contractor shall submit the name of all Subcontractors to the Owner's Representative for approval prior to awarding of the subcontract work. The Owner reserves the right to approve or disapprove of any Subcontractors.
- C. In order to maintain proper coordination and continuity of all branches of work, job superintendents or foremen shall not be changed during the course of the project without prior notice to and approval of the Owner's Representative.

- D. The Contractor and Subcontractors shall carefully examine ALL Drawings and Specifications for the total project and coordinate his work with others to avoid delay and shall be responsible to ascertain that the work he installs does not interfere, or it shall be corrected at the installing Contractor's expense. Preoccupation of space by any Contractor or Subcontractor does not give him the right of priority to the space.

- E. When piping, conduits, ducts or other items are to run in the same general direction, elevation or location, the Subcontractors involved shall request the GC to arrange a conference to determine the proper allocation of the space or position.

- F. When work is to be installed above ceilings, adequate clearance must be maintained to allow for access, repairs, and removal of all devices. Each Subcontractor shall be responsible for protecting his/her installation from being blocked off by others. Should a conflict occur, he/she shall bring the matter to the attention of the General Contractor for resolution.

- G. Each Contractor shall be responsible for any layout associated with the performance of his work. Should a Subcontractor's work be subsequent to and contingent upon layout by another, he shall check said layout prior to proceeding with his work, reporting any discrepancies to the GC. Proceeding with the layout shall be considered as acceptance of the layout.

Section 01045 - Cutting and Patching

- A. Each Subcontractor shall be responsible for the condition and contents of the tenant space. Each Subcontractor shall be responsible to provide all cutting and patching required to perform and install their respective work. Cutting shall be in a neat, workmanlike manner, and shall be done with coring equipment whenever possible. Patching shall be performed carefully, and where necessary shall be done by skilled labor of the respective trade of work being patched. Each Subcontractor shall restore the work to "as new" condition.

- B. Sieves, inserts, boxes, etc., for plumbing and heating pipes and electrical conduits will be furnished and installed as specified under the various sections of that work. In case such sieves are not furnished in time, the Contractor shall form openings in the work after coordinating with the trades involved for proper location, and the Subcontractor shall be responsible for any cutting and patching thereto in connection with same. All voids between pipes, conduits, etc., and sieves shall be sealed to comply with Fire Code requirements.

- C. Each Subcontractor shall do all cutting promptly and shall make all repairs necessary to leave the entire work herein mentioned in a proper condition.

- D. Portable Fire Extinguishers: Supplied by GC - during construction and supplied new at Project Completion – including mounting bracket and sign.

- E. One standard multipurpose dry chemical fire extinguisher, per local code, should be provided at locations for each 3,000 square feet of new construction floor or fraction thereof. Additional extinguishers shall be provided at locations as shown on the drawings, or as directed by Fire Marshal.

- F. NOTE: The above requirement is the maximum permitted area of coverage per fire extinguisher location. Depending on partition arrangements, amount and location of barricades, obstructions, and combustible materials, additional fire extinguishers may be required. Sound engineering judgment should be used to assure adequate coverage.

- G. All workers should be instructed in the proper use of fire extinguishing equipment.

- H. No Contractor or Subcontractor shall endanger and/or damage any work by cutting, drilling, digging or other actions. No Contractor or Subcontractor shall cut or alter the work of other Contractor or Subcontractors without prior written approval by the Owner's Representative.

- I. Any cost caused by defective and/or ill-timed work shall be borne by the Subcontractor responsible therefore.

- J. In no case shall any Contractor or Subcontractor cut into any base building components, structural element, beam or column without prior written approval from the Landlord and the Owner.

- K. Each Subcontractor shall be responsible to follow the progress of the project to assure that his portion of the work is installed at the appropriate time to avoid unnecessary cutting, patching modifications to his work and/or the work of other Contractors.

- L. In case any Contractor is required to cut existing work in order to install the work required under his portion of the contract, the Contractor requiring the cutting shall bear the expense of the cutting and all subsequent repairs, patching, and/or replacement. All cutting, patching, repairing, and/or replacing shall meet with the approval of the Owner's Representative.

- M. Any cost caused by defective and/or ill-timed work shall be borne by the Subcontractor responsible therefore.

- N. The work also includes: plumbing, fire protection, heating-ventilating-air conditioning, electrical systems, lighting, and security systems.

- O. The Owner will furnish certain materials and equipment. However, the work of this Contract includes certain support systems to receive and service Owner's equipment. These items will be summarized in the Instructions to General Contractors, in limited fashion, but are also called out in detail under various sections of the work.

- P. This Contract may also include (but are not yet specifically stated herein):
- Pre-negotiated material/equipment orders assigned as work of Contract.
 - Pure-purchased subcontracts for Contract, with subcontract amount included in sum.

- Q. Other work to be performed concurrently by Owner.

- R. Owner-purchased and furnished material/ equipment to be installed under the work of this Contract.

- S. This Contract may also include (but are not yet specifically stated herein):
- Pre-negotiated material/equipment orders assigned as work of Contract.
 - Pure-purchased subcontracts for Contract, with subcontract amount included in sum.

- T. Other work to be performed concurrently by Owner.

- U. Owner-purchased and furnished material/ equipment to be installed under the work of this Contract.

- V. This Contract may also include (but are not yet specifically stated herein):
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- W. Other work to be performed concurrently by Owner.

- X. Owner-purchased and furnished material/ equipment to be installed under the work of this Contract.

- Y. This Contract may also include (but are not yet specifically stated herein):
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- Z. Other work to be performed concurrently by Owner.

- AA. Owner-purchased and furnished material/ equipment to be installed under the work of this Contract.

- BB. This Contract may also include (but are not yet specifically stated herein):
- Pre-negotiated material/equipment orders assigned as work of Contract.
 - Pure-purchased subcontracts for Contract, with subcontract amount included in sum.

- CC. Other work to be performed concurrently by Owner.

- DD. Owner-purchased and furnished material/ equipment to be installed under the work of this Contract.

- EE. This Contract may also include (but are not yet specifically stated herein):
- Pre-negotiated material/equipment orders assigned as work of Contract.
 - Pure-purchased subcontracts for Contract, with subcontract amount included in sum.

- FF. Other work to be performed concurrently by Owner.

- GG. Owner-purchased and furnished material/ equipment to be installed under the work of this Contract.

- HH. This Contract may also include (but are not yet specifically stated herein):
- Pre-negotiated material/equipment orders assigned as work of Contract.
 - Pure-purchased subcontracts for Contract, with subcontract amount included in sum.

- II. Other work to be performed concurrently by Owner.

- JJ. Owner-purchased and furnished material/ equipment to be installed under the work of this Contract.

- KK. This Contract may also include (but are not yet specifically stated herein):
- Pre-negotiated material/equipment orders assigned as work of Contract.
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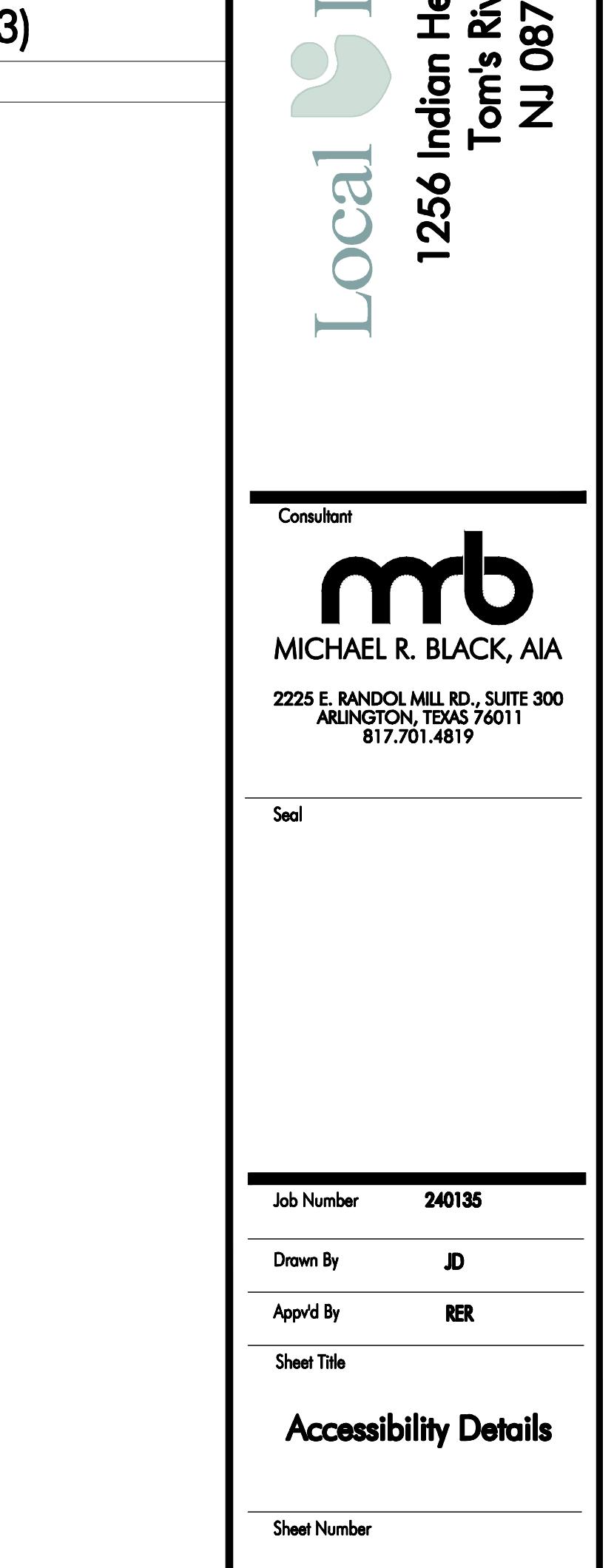
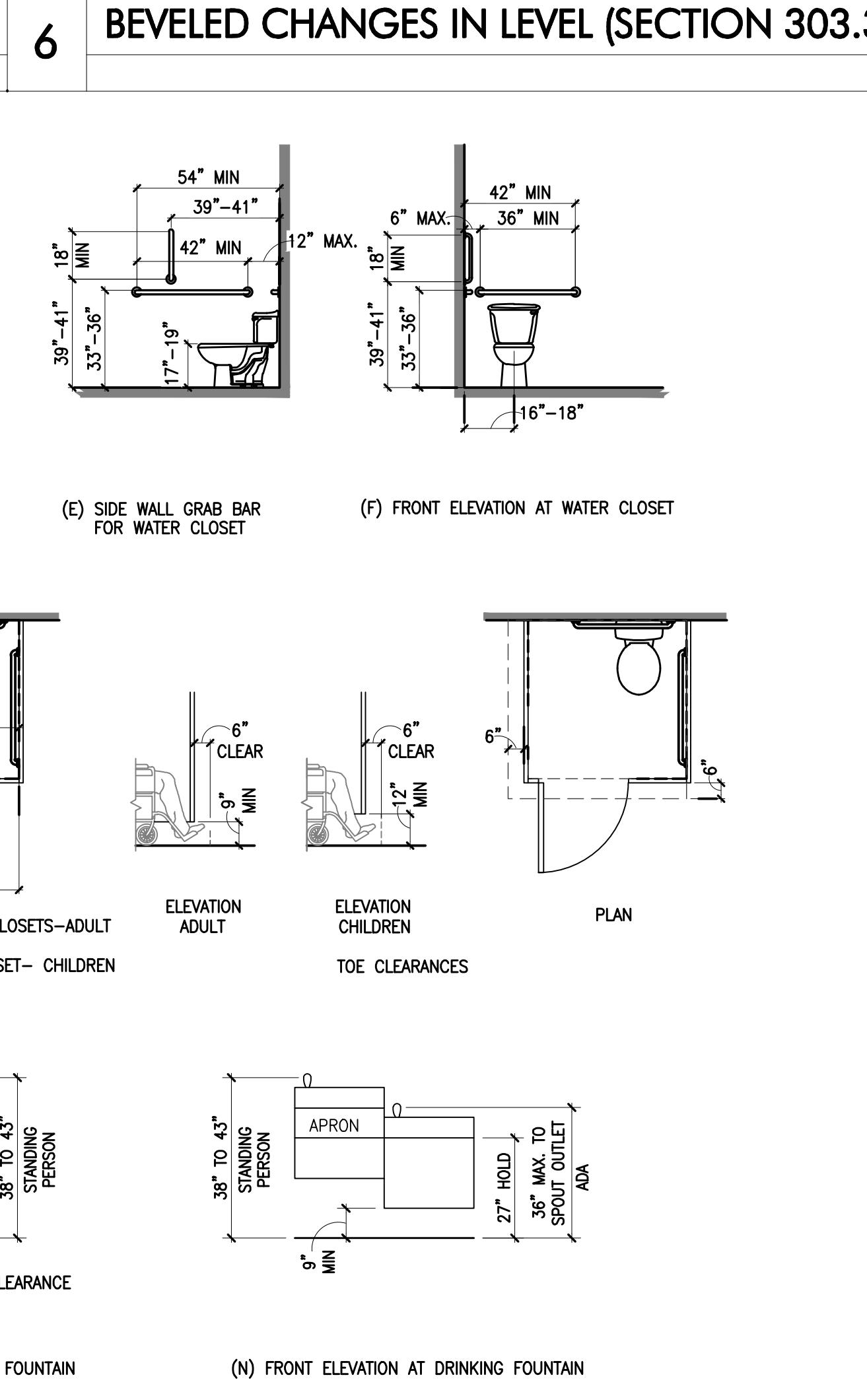
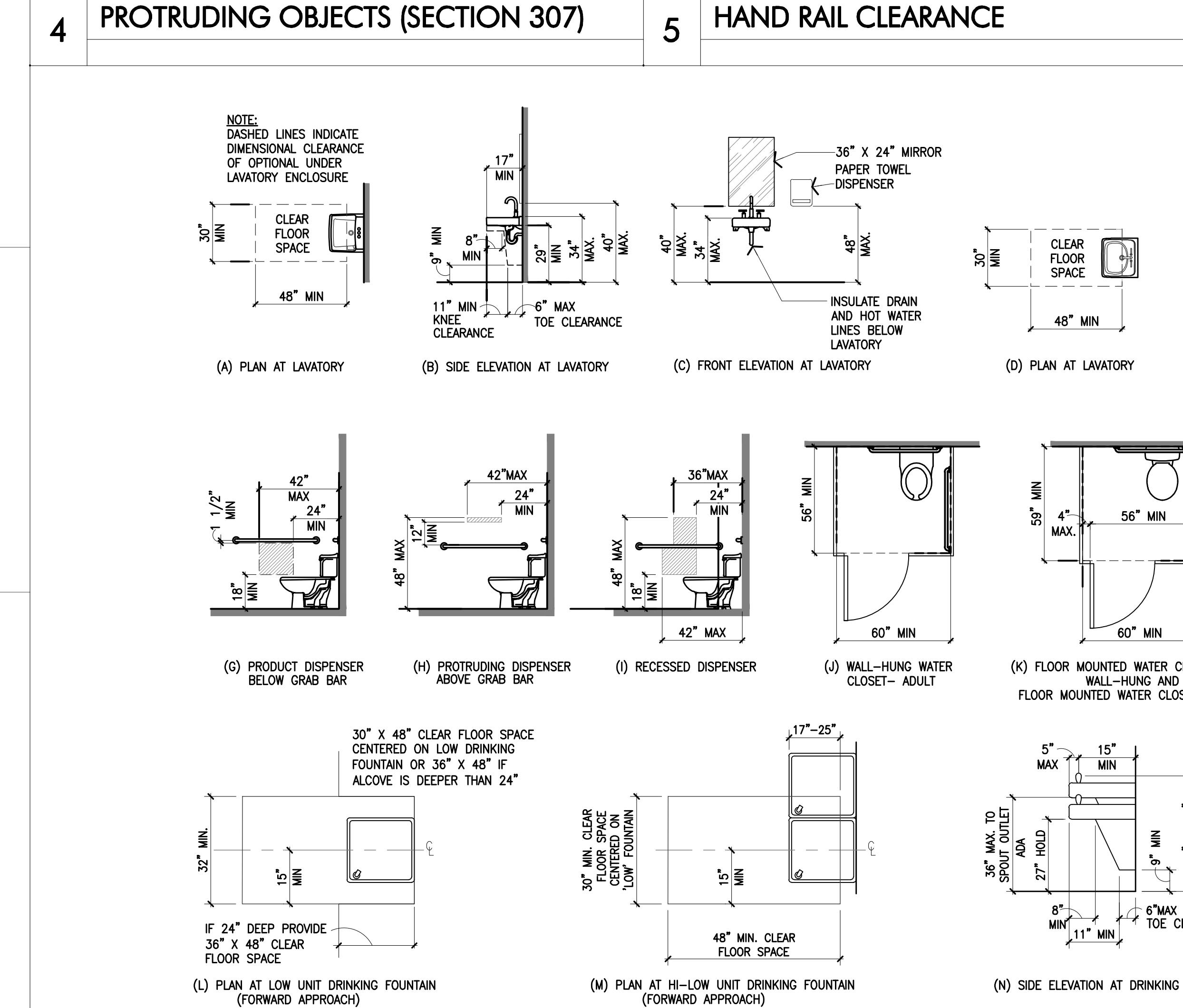
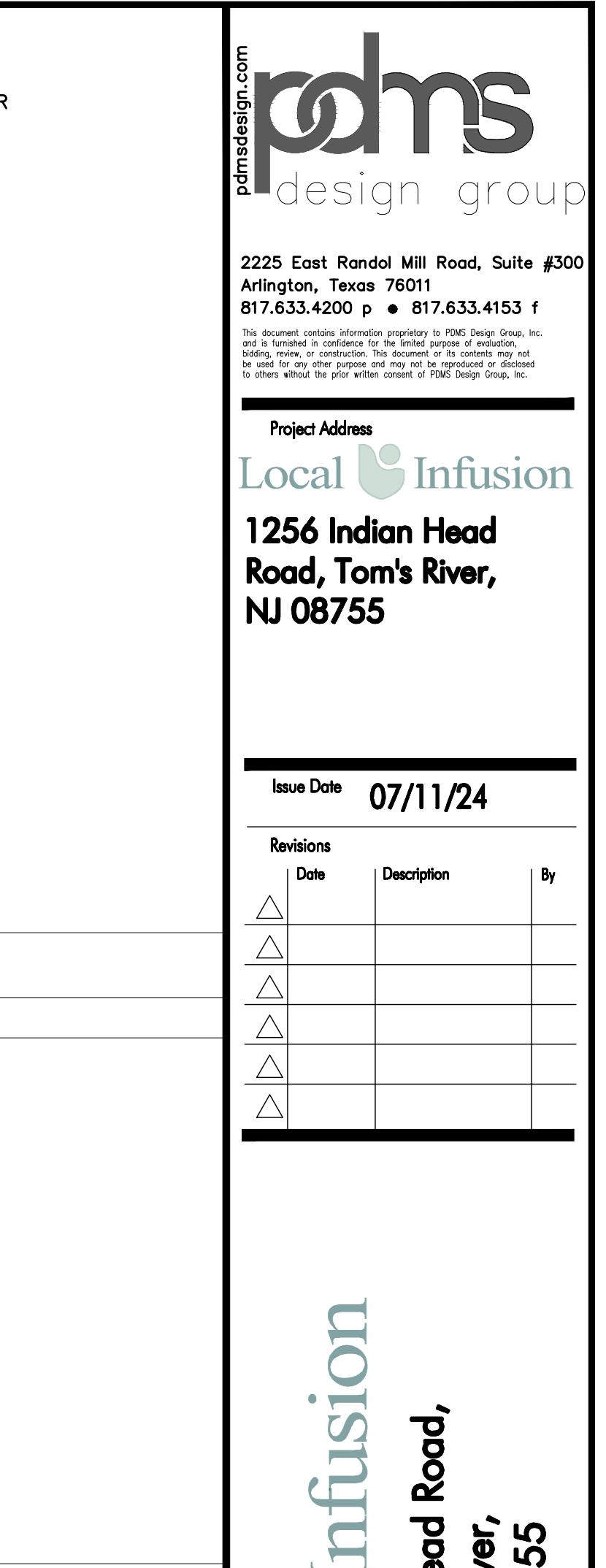
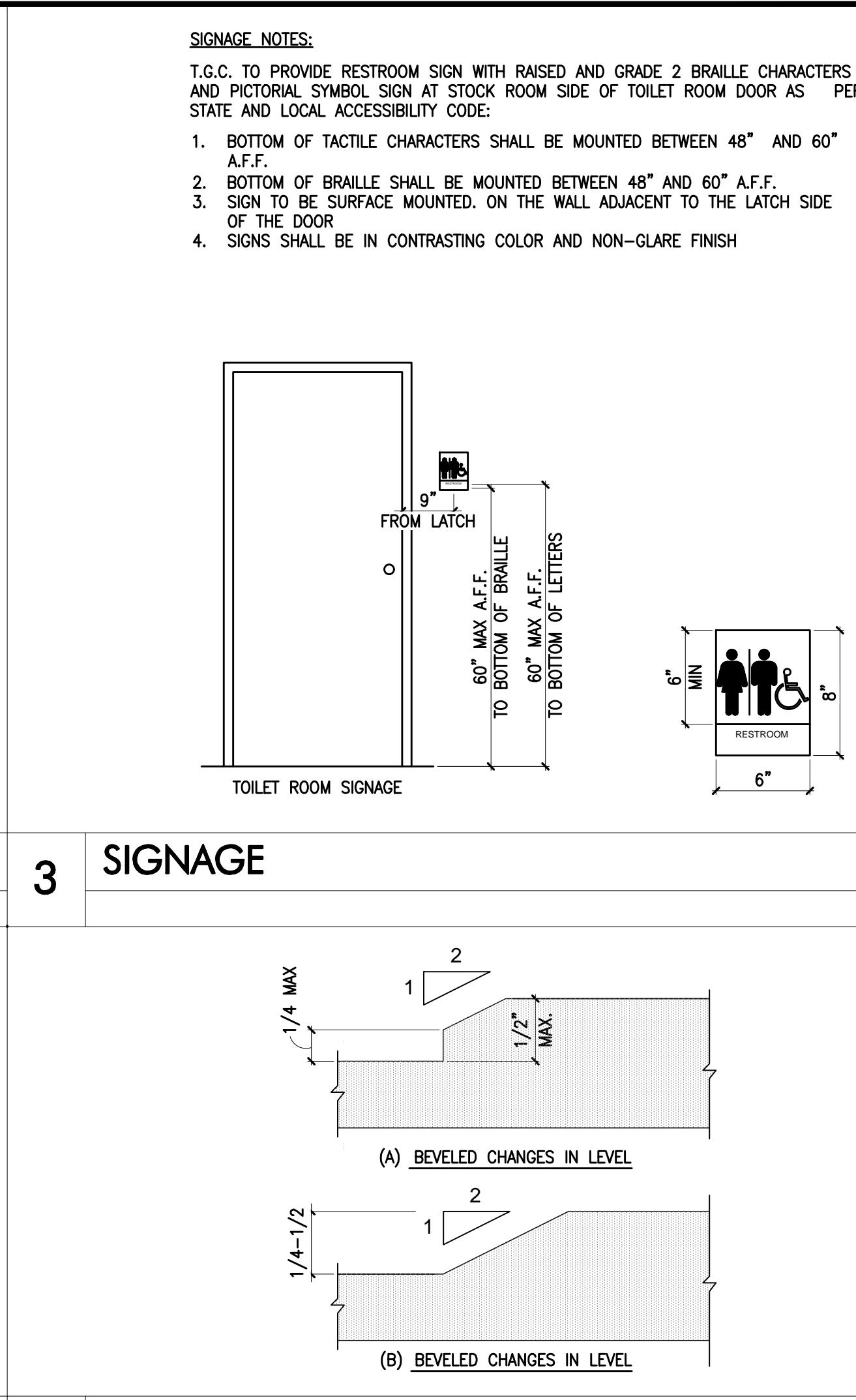
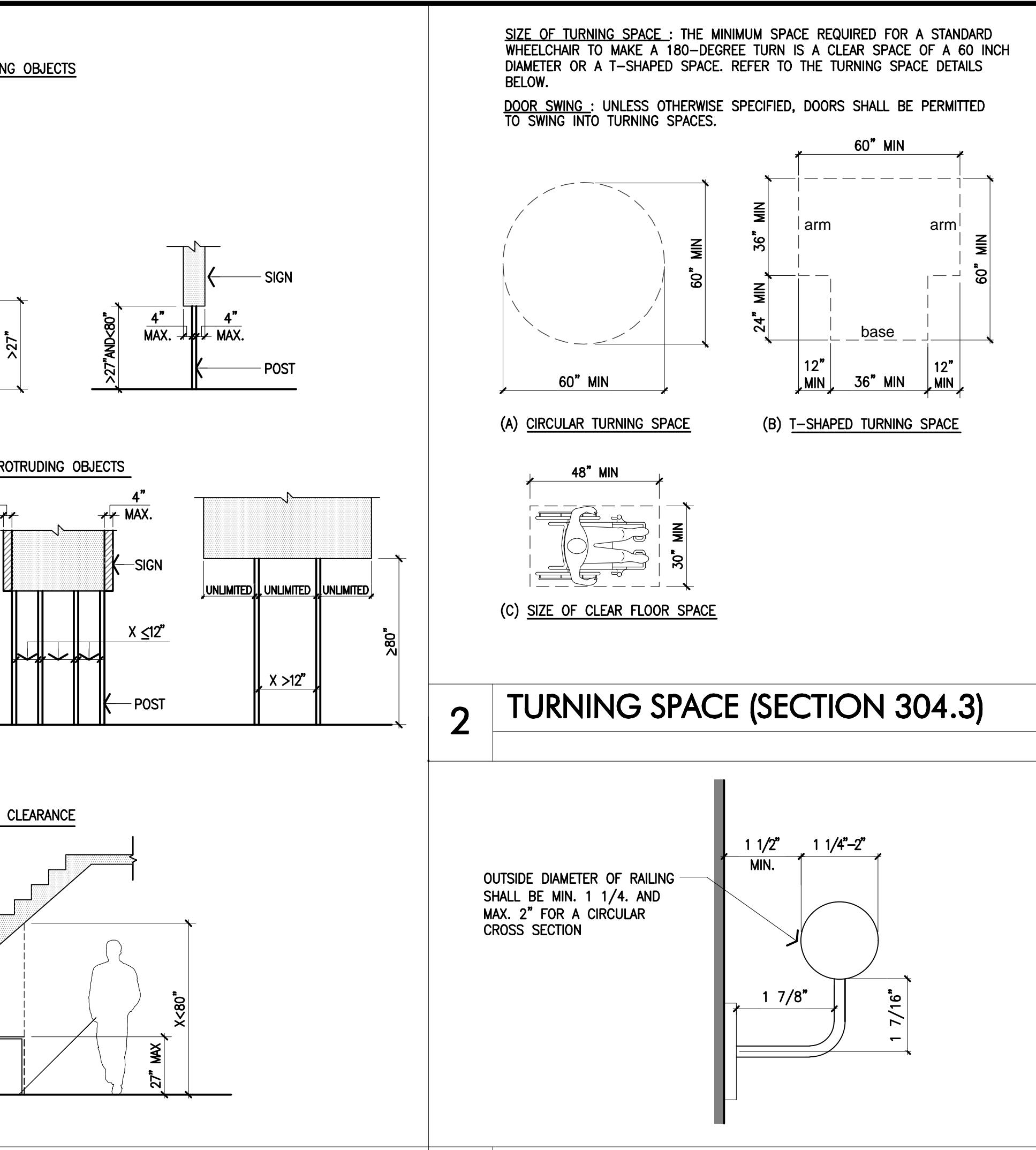
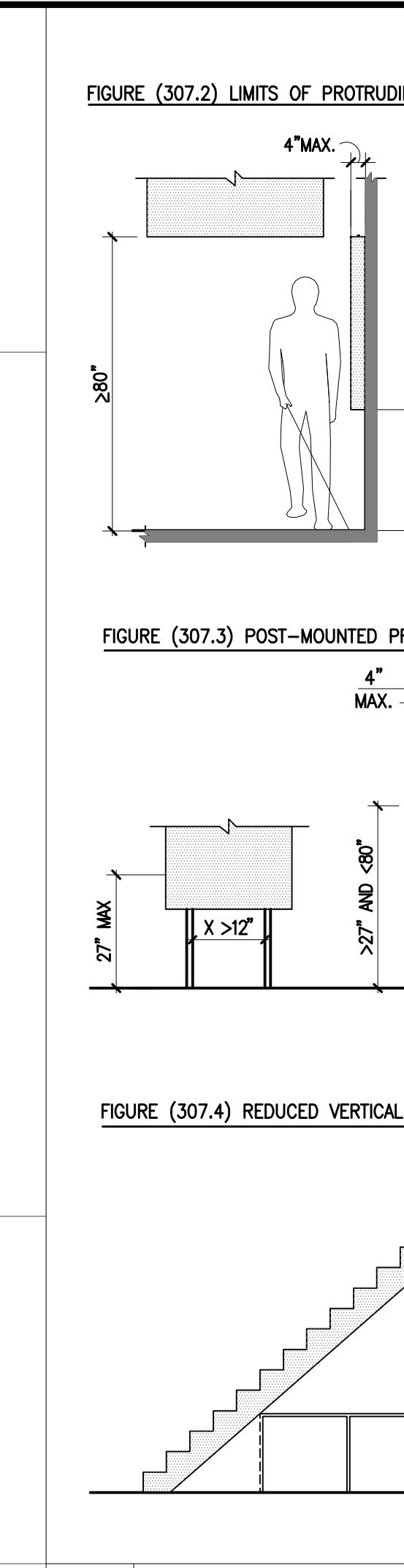
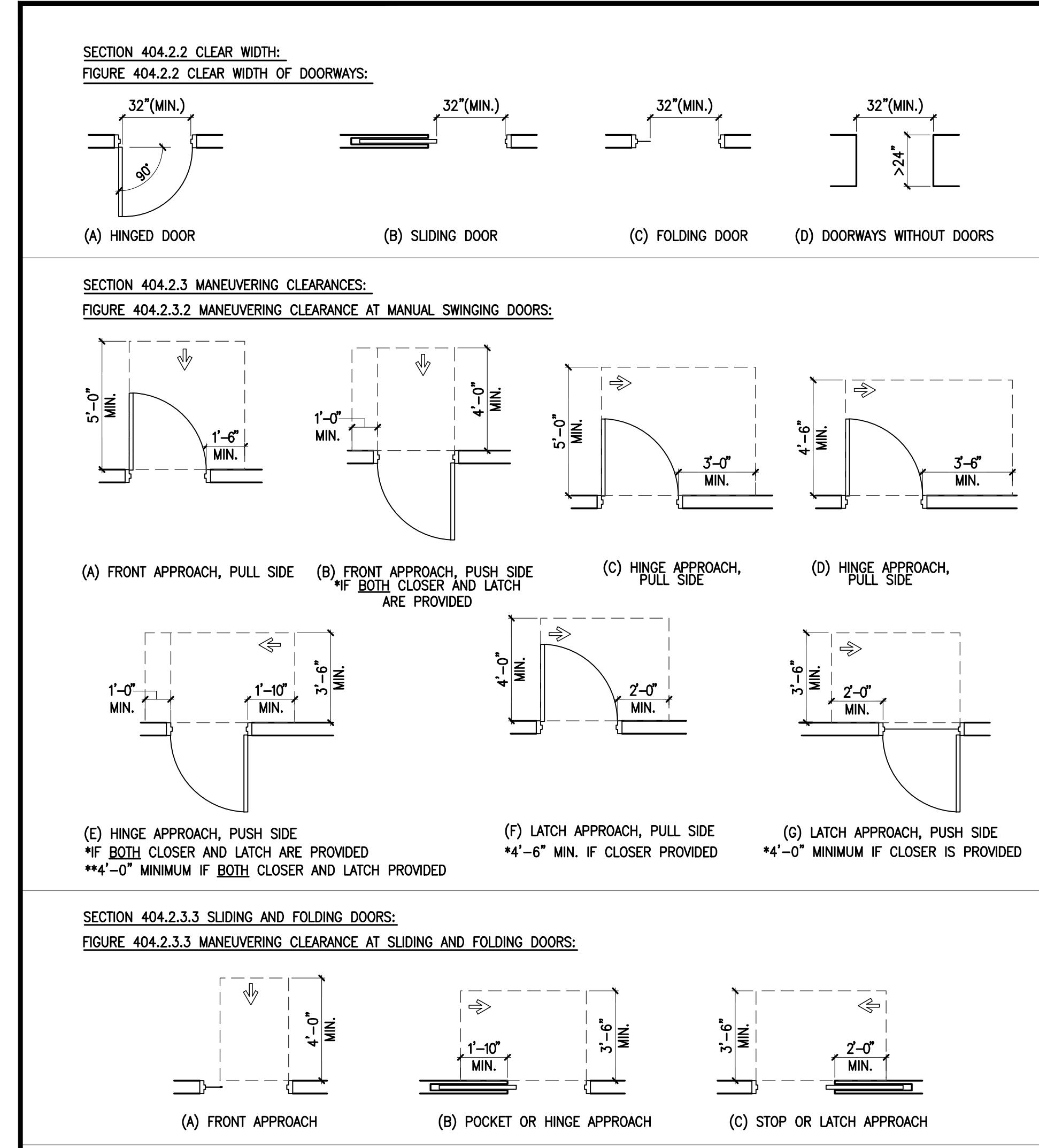
- JJ. Other work to be performed concurrently by Owner.

- KK. Owner-purchased and furnished material/ equipment to be installed under the work of this Contract.

- LL. This Contract may also include (but are not yet specifically stated herein):
- Pre-negotiated material/equipment orders assigned as work of Contract.
 - Pure-purchased subcontracts for Contract, with subcontract amount included in sum.

- MM. Other work to be performed concurrently by Owner.

- PP. Owner-purchased and furnished material/ equipment to be installed under the work of this Contract.



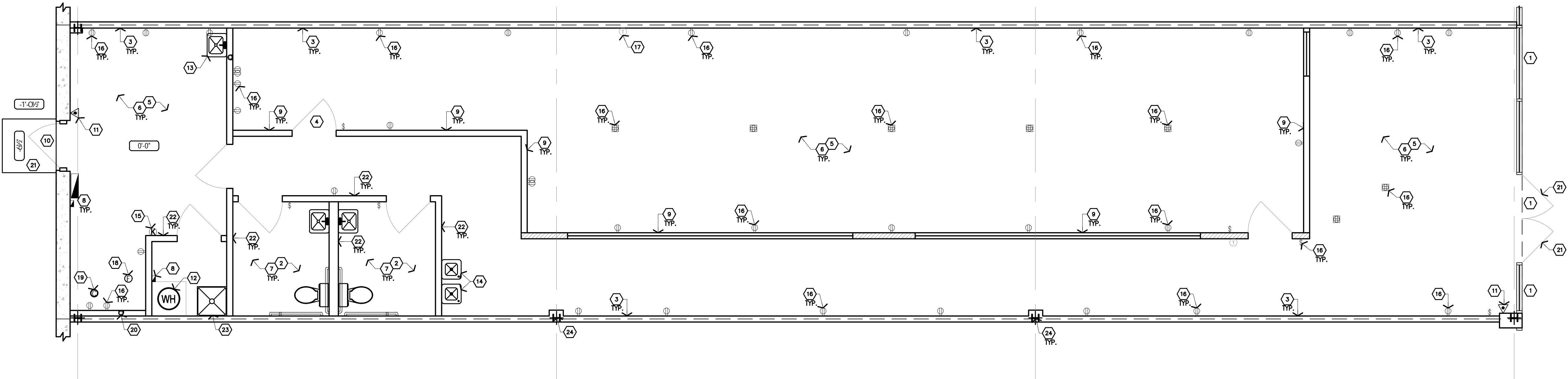
ADA ACCESSIBLE ROUTES (ANSI 117.1 2009)

$$1/4" = 1' =$$

7 PLUMBING ELEMENTS AND FACILITIES (SECTION 601)

1/4" = 1

Rewards	Date	Description	By
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1 DEMOLITION PLAN

1/4" = 1'-0"

1. SCOPE OF WORK

This portion of the work includes all labor, materials and services necessary for and reasonably incidental to complete all dismantling, demolition, and salvage as shown and noted on the drawings and specified herein. In general, the items to be performed under this section shall include, but are not limited to: removal of all existing acoustics and gypsum wall board, ceiling and frames, light fixtures, flooring, doors and walls, furred out column enclosures, and storefront and as specified on the drawings.

2. CODES AND STANDARDS

DEMOLITION WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE APPLICABLE SAFETY REQUIREMENTS OF THE LANDLORD, CITY AND STATE OF THE PROJECT, THE ASSOCIATED GENERAL CONTRACTOR'S MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION, LATEST EDITION, THE APPLICABLE REQUIREMENTS OF THE GOVERNING CODE, AND O.S.H.A.

3. PERMITS AND LICENSES

The general contractor shall procure all city, and state permits and licenses, and pay all charges and fees for the same, unless otherwise specified by owner. The plans shall be filed with local building department, by the owner.

4. ORDINANCES AND PROTECTION

A. CONTRACTOR SHALL CONFORM TO ALL FEDERAL, STATE, AND LOCAL ORDINANCES AND WITH LANDLORD REQUIREMENTS REFERRING TO THE PROTECTION OF THE PUBLIC AND CONTRACTOR'S PERSONNEL AND PROVIDE PROTECTION FOR PERSONS AND ADJACENT TENANTS THROUGHOUT THE PROCESS OF THE WORK.

B. THE LIMITS OF THE WORK ARE INDICATED ON THE DRAWINGS. UNLESS OTHERWISE NOTED, CONTRACTOR SHALL CONFINE THEIR OPERATIONS WITHIN THE LIMITS OF THE WORK AS INDICATED.

C. DEMOLITION WORK SHALL PROCEED IN SUCH A MANNER AS TO MINIMIZE THE SPREAD OF DUST AND FLYING PARTICLES AND TO PROVIDE SAFE WORKING CONDITIONS.

D. FIRES, EXPLOSIVES, AND OPEN FLAMES WILL NOT BE PERMITTED, UNLESS PERMITTED BY THE CITY.

E. ANY AND ALL EXISTING CONDITIONS, ADJACENT TENANT PROPERTIES, HVAC AND UTILITY LINES, AND OTHER ITEMS NOT SPECIFIED ON THE DRAWINGS, ETC., DAMAGED BY THE CONTRACTOR IN THE EXECUTION OF THIS CONTRACT SHALL BE RESTORED TO FORMER CONDITION BY CONTRACTOR TO THE SATISFACTION OF THE LANDLORD AT NO CHANGE IN THE CONTRACT PRICE.

F. ALL ITEMS INDICATED AS EXISTING TO REMAIN SHALL BE PROPERLY PROTECTED FROM ANY DAMAGES. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PRESERVE THE EXISTING TO REMAIN ITEMS.

G. DEMOLITION WORK SHALL NOT COMMENCE UNTIL TEMPORARY WORK SUCH AS FENCES AND BARRICADES AND ANY REQUIRED WARNING LIGHTS AND APPARATUS ARE FURNISHED AND INSTALLED.

5. SITE INVESTIGATION

CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE FULL EXTENT OF THE DEMOLITION WORK AND ANY OTHER MATTERS THAT IN ANY WAY AFFECT THE WORK. FAILURE OF CONTRACTOR TO ACCOUNT THEMSELVES WITH ALL AVAILABLE INFORMATION CONCERNING CONDITIONS WILL NOT RELIEVE THEM FROM RESPONSIBILITY FOR ESTIMATING THE DIFFICULTY OR THE COST OF THE WORK. CONTRACTOR SHALL NOTIFY LANDLORD AT THE COMPLETION OF DEMOLITION TO ALLOW LANDLORD'S STRUCTURAL ENGINEER TO INSPECT STRUCTURAL FLOOR SLAB AND STOREFRONT FRAMING AS MAY BE REQUIRED.

6. DISCONNECTION OF SERVICES

A. EXISTING SERVICES THAT WILL BE DISRUPTED BY CONSTRUCTION WORK SHALL BE RE-Routed AS NECESSARY TO PROVIDE TEMPORARY CONTINUATION OF SERVICE.

B. DISCONNECTED SERVICES SHALL BE PLUGGED AND SEALED IN AN APPROVED MANNER.

C. SPRINKLER SHUT-DOWN SHALL BE COORDINATED WITH THE FIRE MARSHAL, LANDLORD, AND BUILDING PRIOR TO EXECUTION OF WORK.

7. ABANDONED ELECTRICAL WIRING

CONDUTS ENCOUNTERED IN THE PROCESS OF THE DEMOLITION THAT ARE TO BE ABANDONED SHALL BE DISCONNECTED AND THE ENDS PLUGGED IN AN APPROVED MANNER. ANY ABANDONED CONDUTS INTERFERING WITH WORK UNDER THIS CONTRACT SHALL BE REMOVED ONLY TO THE EXTENT THAT THEY INTERFERE WITH NEW CONSTRUCTION.

8. DEMOTION

DEMOTIONAL PROCEDURES SHALL BE OPTIONAL WITH CONTRACTOR. INSPIRE THAT PROCEDURES DO NOT INFECT WITH THE APPROVED WORK PROCEDURE OR SALVAGE REQUIREMENTS. WHERE SALVAGE IS REQUIRED, PROCEDURES SHALL BE SUCH THAT THE MAXIMUM AMOUNT OF SALVAGE WILL RESULT. MATERIALS AND EQUIPMENT TO BE SALVAGED, IF ANY, ARE LISTED BELOW.

9. DISPOSITION OF MATERIALS, EQUIPMENT, AND DEBRIS

MATERIALS AND EQUIPMENT TO BE SALVAGED: MATERIALS AND EQUIPMENT TO BE SALVAGED ARE LISTED ON THE DEMOTION PLANS. CONTRACTOR SHALL CONSULT WITH TENANT TO REVIEW THE DRAWINGS TO DETERMINE THE ITEMS TO BE SALVAGED. ITEM NEED FOR SALVAGE SHALL BE REMOVED AS CAREFULLY AS POSSIBLE SO THAT A MINIMUM AMOUNT OF RECONDITIONING WILL BE REQUIRED FOR REUSING THE ITEMS. RECONDITIONING AND INSTALLING OF SUCH ITEMS ARE SPECIFIED IN THE DRAWINGS AND APPLICABLE SECTIONS OF THESE SPECIFICATIONS. ANY SUCH ITEMS SHALL BE PACKAGED AND PROPERLY STORED AND PROTECTED UNTIL TIME FOR THEIR USE.

10. MATERIALS AND EQUIPMENT NOT TO BE SALVAGED:

ALL MATERIALS AND EQUIPMENT NOT SCHEDULED TO BE SALVAGED INCLUDING DEBRIS, SHALL BECOME THE PROPERTY OF CONTRACTOR AND SHALL BE DISPOSED OF OUTSIDE THE LIMITS OF THE PROPERTY IN A LEGAL MANNER. LOCATION OF DUMP AND LENGTH OF HAUL SHALL BE CONTRACTOR'S RESPONSIBILITY.

11. SALES OF SALVAGED MATERIALS

SALES OF SALVAGED MATERIALS SHALL NOT BE CONDUCTED AT THE PREMISES.

12. CLEAN UP

UPON COMPLETION OF ALL DEMOTION WORK, CONTRACTOR SHALL PROMPTLY DISPOSE OF ALL DEBRIS RESULTING FROM DEMOTION OPERATIONS. THE CONTRACTOR SHALL LEAVE THE PROPERTY, THE ADJACENT TENANT SPACES AND THE BUILDING IN A CLEAN CONDITION, SATISFACTORY TO LOCAL AUTHORITIES AND THE LANDLORD. THE CONTRACTOR SHALL REPAIR ANY ADJACENT TENANT WALL, LOBBY FLOORING, ETC. TO THE SATISFACTION OF INVOLVED PARTIES DAMAGED BY THE DEMOTION PROCESS.

13. CONSTRUCTION SITE

THE ADJACENT TENANT PROPERTY IS TO BE MAINTAINED DURING DEMOTION AND IF ANYTHING IS DAMAGED DURING THE DEMOTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIRS, WHICH INCLUDES PROPERTY WITHIN THE LEASE OUTLINE DIMENSIONS WHICH PASSED THROUGH THE SPACE.

14. ANY ABANDONED SERVICES OR UTILITIES

SHALL BE REMOVED TO THE SOURCE AFTER REVIEW WITH THE LANDLORD AND/OR LOCAL AUTHORITIES.

15. G.C. TO REMOVE AND CAP PLUMBING LINES LOCATED IN WALL AS REQUIRED.

16. G.C. TO PROVIDE SHOP DRAWINGS FOR THE BARRICADE AND G.C. IS TO SECURE ANY AND ALL PERMITS REQUIRED FOR THE BARRICADE ERECTION AND PLACEMENT.

17. ALL DOORS, WALLS, FIXTURES, ETC. SHOWN IN DASHED LINES ARE TO BE REMOVED AND DISPOSED OF UNLESS NOTED OTHERWISE.

2. THE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY OF ANY UNFORESEEN HAZARD/ CONDITIONS OF ANY KIND. ALL CONDITIONS AND DIMENSIONS ARE TO BE CHECKED FOR DISCREPANCIES AND THE ARCHITECT IS TO BE NOTIFIED. THERE MAY HAVE BEEN AREAS, WHICH WERE NOT ACCESSIBLE AT THE TIME OF THE EXISTING CONDITIONS SITE VISIT AND MAY NEED FURTHER CONSIDERATION.

3. NO ALTERATION TO THE EXISTING STRUCTURAL MEMBERS ARE ALLOWED.

4. COORDINATE WITH THE LANDLORD OR REPRESENTATIVE FOR ANY AND ALL DEMOTION AT ALL TIMES.

5. FIRE SEPARATIONS BETWEEN TENANT SPACES ARE TO BE RETAINED DURING DEMOTION AT ALL TIMES.

6. THE GENERAL CONTRACTOR WILL RESTORE ANY DAMAGE DURING DEMOTION TO THE ORIGINAL STATE BEFORE DEMOTION STARTED.

7. THE CONSTRUCTION SITE IS TO BE SEALED TIGHTLY AND ANY CONSTRUCTION BARRICADES SHALL BE REVIEWED WITH THE LANDLORD, IF REQUIRED.

8. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE LANDLORD IF ANY RELOCATION OF EXISTING SERVICE LINES SUCH AS SPRINKLER MAIN, DOMESTIC WATER, SEWER LINE, GAS LINE, ETC. IS REQUIRED TO ACCOMMODATE THE NEW WORK.

9. NO COMBUSTIBLE MATERIALS ARE ALLOWED ABOVE THE FINISHED CEILING.

10. CONSTRUCTION SITE IS TO BE SEALED TIGHTLY.

11. THE CONSTRUCTION SITE IS TO BE MAINTAINED DURING DEMOTION AND IF ANYTHING IS DAMAGED DURING THE DEMOTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIRS, WHICH INCLUDES PROPERTY WITHIN THE LEASE OUTLINE DIMENSIONS WHICH PASSED THROUGH THE SPACE.

12. ANY ABANDONED SERVICES OR UTILITIES

SHALL BE REMOVED TO THE SOURCE AFTER REVIEW WITH THE LANDLORD AND/OR LOCAL AUTHORITIES.

13. G.C. TO REMOVE AND CAP PLUMBING LINES LOCATED IN WALL AS REQUIRED.

14. G.C. TO PROVIDE SHOP DRAWINGS FOR THE BARRICADE AND G.C. IS TO SECURE ANY AND ALL PERMITS REQUIRED FOR THE BARRICADE ERECTION AND PLACEMENT.

15. (E) STOREFRONT DOORS AND GLAZING SYSTEM TO REMAIN. G.C. TO INSPECT FOR ANY DAMAGED AREAS AT START OF CONSTRUCTION, NOTIFY ARCH OF ANY DAMAGES.

16. (E) DEMO AND DISCARD (E) RESTROOM FLOORING, METAL TRANSITION STRIP, AND RUBBER WALL BASE.

17. (E) DEMISING PARTITION G.C. TO PATCH/REPAIR (E) GYP. BD. PREP. FOR (N) FINISHES.

18. (E) DEMO & DISCARD (E) DOOR & FRAME.

19. (E) DEMO & DISCARD (E) RUBBER WALL BASE

20. (E) PREP (E) CONCRETE FLOORING FOR (N) FINISHES. V.I.F. PREP WORK PER SITE VISIT.

21. (E) DEMO & DISCARD (E) WATER CLOSET, LAVATORY, AND RESTROOM ACCESSORIES.

22. (E) ELECTRICAL EQUIPMENT TO REMAIN, REF: ELECTRICAL DRAWINGS FOR RE-USE/REMOVAL.

23. (E) DEMO & DISCARD (E) WALLS.

24. (E) REAR EXIT DOOR/FRAME & HARDWARE TO REMAIN.

25. (E) FIRE EXTINGUISHER TO BE RELOCATED. COORDINATE FINAL LOCATION WITH FIRE MARSHAL. G.C. TO VERIFY AGE AND FUNCTIONALITY. REPLACE WITH (N) IF DEFICIENT.

26. (E) WATER HEATER, G.C. TO VERIFY AGE AND FUNCTIONALITY. REPLACE WITH (N) IF DEFICIENT, REF: PLUMBING DRAWINGS.

27. (E) DEMO & DISCARD (E) KEYPAD.

28. (E) WATER FOUNTAIN, G.C. TO VERIFY AGE AND FUNCTIONALITY. REPLACE WITH (N) IF DEFICIENT.

29. (E) DEMO & DISCARD (E) THERMOSTAT.

30. (E) DEMO & DISCARD (E) FLOOR DRAIN.

31. (E) DEMO & DISCARD (E) THERMOSTAT.

32. (E) WALL CLEAN OUT TO REMAIN.

33. (E) REMOVE (E) DOOR GRAPHICS.

34. (E) WALLS TO REMAIN. G.C. TO PREP FOR (N) FINISHES.

35. (E) MOP/FLOOR SINK TO REMAIN.

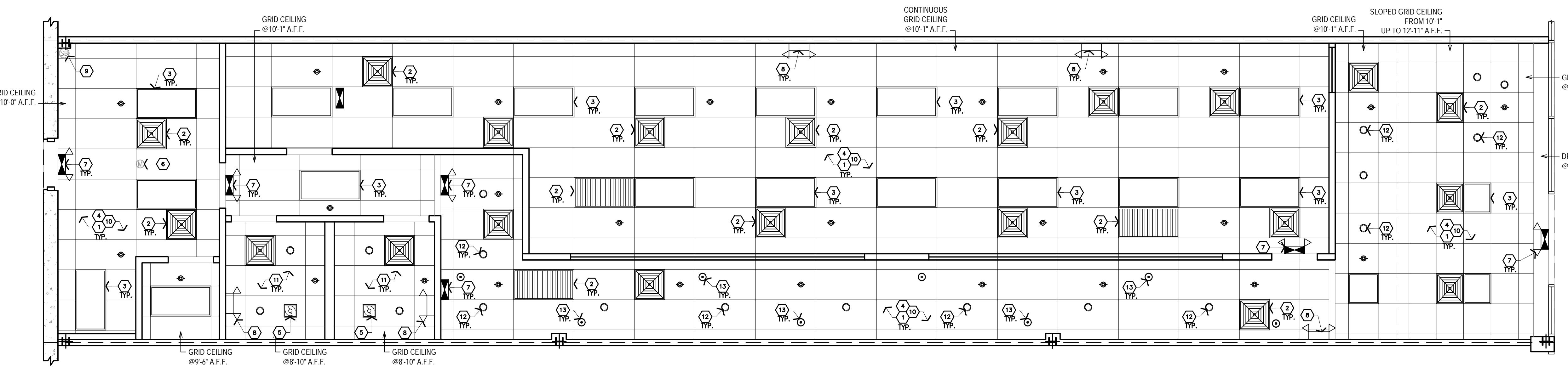
36. (E) STEEL COLUMN TO REMAIN.

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Drawn By JD
App'd By RER
Sheet Title
Demolition
RCP
Sheet Number
A102



DEMOLITION RCP

1/4" = 1'-0"

1. SCOPE OF WORK
THIS PORTION OF THE WORK INCLUDES ALL LABOR, MATERIALS AND SERVICES NECESSARY FOR AND REASONABLY INCIDENTAL TO COMPLETE ALL DISMANTLING, DEMOLITION, AND SALVAGE AS SHOWN AND NOTED ON THE DRAWINGS AND SPECIFIED HEREIN. IN GENERAL, THIS WILL INCLUDE, BUT NOT BE LIMITED TO: REMOVAL OF ALL EXISTING ACoustics AND GYPSUM WALL BOARD, CEILING AND FRAMES, LIGHT FIXTURES, FLOORING, DOORS AND WALLS, FURRED OUT COLUMN ENCLOSURES, AND STOREFRONT AND AS SPECIFIED ON THE DRAWINGS.

2. CODES AND STANDARDS
DEMOLITION WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE APPLICABLE SAFETY REQUIREMENTS OF THE LANDLORD, CITY AND STATE OF THE PROJECT, THE ASSOCIATED GENERAL CONTRACTOR'S MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION, LATEST EDITION, THE APPLICABLE REQUIREMENTS OF THE GOVERNING CODE, AND OSHA.

3. PERMITS AND LICENSES
THE GENERAL CONTRACTOR SHALL PRODUCE ALL CITY, STATE AND LOCAL PERMITS AND PAY ALL CHARGES AND FEES FOR THE SAME, UNLESS OTHERWISE SPECIFIED BY OWNER, THE PLANS SHALL BE FILED WITH LOCAL BUILDING DEPARTMENT, BY THE OWNER.

4. ORDINANCES AND PROTECTION
A. CONTRACTOR SHALL COMPLY TO ALL FEDERAL, STATE, AND LOCAL ORDINANCES AND WITH LANDLORD REQUIREMENTS REFERRING TO THE PROTECTION OF THE PUBLIC AND CONTRACTOR'S PERSONNEL AND PROVIDE PROTECTION FOR PERSONS AND ADJACENT TENANTS THROUGHOUT THE PROGRESS OF THE WORK.

B. THE LIMITS OF THE WORK ARE INDICATED ON THE DRAWINGS. UNLESS OTHERWISE NOTED, CONTRACTOR SHALL CONFINE THEIR OPERATIONS WITHIN THE LIMITS OF THE WORK AS INDICATED.

C. DEMOLITION WORK SHALL PROCEED IN SUCH A MANNER AS TO MINIMIZE THE SPREAD OF DUST AND FLYING PARTICLES AND TO PROVIDE SAFE WORKING CONDITIONS.

D. FIRES, EXPLOSIVES, AND OPEN FLAMES WILL NOT BE PERMITTED, UNLESS PERMITTED BY THE CITY.

E. ANY AND ALL EXISTING CONDITIONS, ADJACENT TENANT PROPERTIES, HVAC AND UTILITY LINES, AND OTHER ITEMS NOT SPECIFIED ON THE DRAWINGS, ETC., DAMAGED BY THE CONTRACTOR IN THE EXECUTION OF THIS CONTRACT SHALL BE RESTORED TO FORMER CONDITION BY CONTRACTOR TO THE SATISFACTION OF THE LANDLORD AT NO CHANGE IN THE CONTRACT PRICE.

F. ALL ITEMS INDICATED AS EXISTING TO REMAIN SHALL BE

PROPERLY PROTECTED FROM ANY DAMAGES. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PRESERVE THE EXISTING TO REMAIN ITEMS.

G. DEMOLITION WORK SHALL NOT COMMENCE UNTIL TEMPORARY WORKS, SUCH AS FENCES AND BARRICADES AND ANY REQUIRED WARNING LIGHTS AND APPARATUS ARE FURNISHED AND INSTALLED.

H. SITE INVESTIGATION

CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE FULL EXTENT OF THE DEMOLITION WORK AND ANY OTHER MATTERS THAT MAY AFFECT THE WORK. FAILURE OF CONTRACTOR TO ACCOUNT FOR THESE CONDITIONS, UNAVOIDABLE OR OTHERWISE, WILL NOT RELIEVE THEM FROM RESPONSIBILITY FOR ESTIMATING THE DIFFICULTY OR COST OF THE WORK. CONTRACTOR SHALL NOTIFY LANDLORD AT THE COMPLETION OF DEMOLITION TO ALLOW LANDLORD'S STRUCTURAL ENGINEER TO INSPECT STRUCTURAL FLOOR SLAB AND STOREFRONT FRAMING AS MAY BE REQUIRED.

I. DISCONNECTION OF SERVICES

A. EXISTING SERVICES THAT WILL BE DISRUPTED BY CONSTRUCTION WORK SHALL BE RE-Routed AS NECESSARY TO PROVIDE TEMPORARY CONTINUATION OF SERVICE.

B. DISCONNECTED SERVICES SHALL BE PLUGGED AND SEALED IN AN APPROVED MANNER.

C. SPRINKLER SHUT-DOWN SHALL BE COORDINATED WITH THE FIRE MARSHAL, LANDLORD, AND BUILDING PRIOR TO EXECUTION OF WORK.

D. ABANDONED ELECTRICAL WIRING

ENCOUNTERED IN THE PROGRESS OF THE DEMOLITION THAT ARE TO BE ABANDONED SHALL BE DISCONNECTED AND THE ENDS PLUGGED IN AN APPROVED MANNER. ANY ABANDONED CONDUIT ENCOUNTERED WITH WORK UNDER THIS CONTRACT SHALL BE REMOVED ONLY TO THE EXTENT THAT THEY INTERFERE WITH NEW CONSTRUCTION.

E. DEMOLITION

OPERATIONAL PROCEDURES SHALL BE OPTIONAL WITH CONTRACTOR INSOFAr THAT PROCEDURES DO NOT INFRINGE ON THE APPROVED WORK SCHEDULE. SALVAGE REQUIREMENTS WHERE SALVAGE IS REQUIRED, PROCEDURE SHALL BE SUCH THAT THE MAXIMUM AMOUNT OF SALVAGE WILL RESULT. MATERIALS AND EQUIPMENT TO BE SALVAGED, IF ANY, ARE LISTED BELOW.

F. DISPOSITION OF MATERIALS, EQUIPMENT, AND DEBRIS

MATERIAL AND EQUIPMENT TO BE SALVAGED ARE LISTED ON THE DRAWINGS. THE CONTRACTOR SHALL DETERMINE THE QUANTITY AND REVIEW THE DRAWINGS TO DETERMINE THE ITEMS TO BE SALVAGED. ALL ITEMS NOTED FOR SALVAGE SHALL BE REMOVED AS CAREFULLY AS POSSIBLE SO THAT A MINIMUM AMOUNT OF RECONDITIONING WILL BE REQUIRED FOR REUSING THE ITEMS.

RECONDITIONING AND INSTALLING OF SUCH ITEMS ARE SPECIFIED IN THE DRAWINGS AND APPLICABLE SECTIONS OF THESE SPECIFICATIONS. ANY SUCH ITEMS SHALL BE PACKAGED AND PROPERLY STORED AND PROTECTED UNTIL TIME FOR THEIR USE.

MATERIALS AND EQUIPMENT NOT TO BE SALVAGED

ALL MATERIALS AND EQUIPMENT NOT SCHEDULED TO BE SALVAGED INCLUDING DEBRIS, SHALL BECOME THE PROPERTY OF CONTRACTOR AND SHALL BE DISPOSED OF OUTSIDE THE LIMITS OF THE PROPERTY IN A LEGAL MANNER. LOCATION OF DUMP AND LENGTH OF HAUL SHALL BE CONTRACTOR'S RESPONSIBILITY.

SALES OF SALVAGED MATERIALS SHALL NOT BE CONDUCTED AT THE PREMISES.

J. CLEAN UP

UPON COMPLETION OF ALL DEMOLITION WORK, CONTRACTOR SHALL PROMPTLY DISPOSE OF ALL DEBRIS RESULTING FROM DEMOLITION OPERATIONS. THE CONTRACTOR SHALL LEAVE THE PROPERTY, THE ADJACENT TENANT SPACES AND THE BUILDING AN A CLEAN CONDITION, SATISFACTORY TO LOCAL AUTHORITIES AND THE LANDLORD. CONTRACTOR SHALL MAKE SURE THAT THE ADJACENT TENANT WALL, LOBBY, FLOORING, ETC. TO THE SATISFACTION OF INVOLVED PARTIES DAMAGED BY THE DEMOLITION PROCESS.

1. ALL DOORS, WALLS, FIXTURES, ETC. SHOWN IN DASHED LINES ARE TO BE REMOVED AND DISPOSED OF UNLESS NOTED OTHERWISE.

2. THE ARCHITECT IS TO BE NOTIFIED IMMEDIATELY OF ANY UNUSUAL CONDITIONS OR HAZARDS ENCOUNTERED. ALL CONDITIONS AND DIMENSIONS ARE TO BE CHECKED FOR DISCREPANCIES AND THE ARCHITECT IS TO BE NOTIFIED. THERE MAY HAVE BEEN AREAS WHICH WERE NOT ACCESSIBLE AT THE TIME OF THE EXISTING CONDITIONS SITE VISIT AND MAY NEED FURTHER CONSIDERATION.

3. NO ALTERATION TO THE EXISTING STRUCTURAL MEMBERS ARE ALLOWED.

4. COORDINATE WITH THE LANDLORD OR REPRESENTATIVE FOR ANY AND ALL DEMOLITION AT ALL TIMES.

5. FIRE SEPARATIONS BETWEEN TENANT SPACES ARE TO BE RETAINED DURING DEMOLITION AT ALL TIMES.

6. THE GENERAL CONTRACTOR WILL RESTORE ANY DAMAGE DURING DEMOLITION TO THE ORIGINAL STATE BEFORE DEMOLITION STARTED.

7. THE CONSTRUCTION SITE IS TO BE SEALED TIGHTLY AND ANY CONSTRUCTION BARRICADES SHALL BE REVIEWED WITH THE LANDLORD, IF REQUIRED.

8. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE LANDLORD IF ANY RELOCATION OF EXISTING SERVICE LINES SUCH AS SPRINKLER MAIN, DOMESTIC WATER, SEWER LINE, GAS LINE, ETC. IS REQUIRED TO ACCOMMODATE THE NEW WORK.

9. THE ADJACENT TENANT PROPERTY IS TO BE MAINTAINED DURING DEMOLITION AND IF ANYTHING IS DAMAGED DURING THE WORK, IT IS TO BE REPAIRED OR REPLACED AT THE GENERAL CONTRACTOR'S COST. THIS INCLUDES PROPERTY WITHIN THE SAME OUTLINE DIMENSIONS WHICH PASSED THROUGH THE SPACE.

10. ANY ABANDONED SERVICES OR UTILITIES SHALL BE REMOVED TO THE SOURCE AFTER REVIEW WITH THE LANDLORD AND/OR LOCAL AUTHORITIES.

11. C.C. TO REMOVE AND CAP PLUMBING LINES LOCATED IN WALL AS REQUIRED.

12. C.C. TO PROVIDE SHOP DRAWINGS FOR THE BARRICADE.

13. C.C. IS TO SECURE ANY AND ALL PERMITS REQUIRED FOR THE BARRICADE ERECTION AND PLACEMENT.

1. DEMO AND DISCARD (E) CEILING TILES AND CEILING GRID.
2. DEMO AND DISCARD (E) RETURN GRILLE AND SUPPLY DIFFUSER.
3. DEMO AND DISCARD (E) 2'x4' & 2'x2' FLUORESCENT LIGHT.
4. G.C. TO COORDINATE SPRINKLER PLAN DESIGN INTENT DRAWINGS FOR SCOPE OF SPRINKLER WORK.
5. DEMO AND DISCARD (E) EXHAUST FAN/LIGHT FIXTURE.
6. DEMO AND DISCARD (E) MOTION DETECTOR.
7. DEMO AND DISCARD (E) EXIT/EMER LIGHT.
8. DEMO AND DISCARD (E) EMERGENCY LIGHT.
9. DEMO AND DISCARD (E) SECURITY BUBBLE.
10. (E) DUCT WORK TO BE MODIFIED, REF: MECHANICAL DRAWINGS FOR SCOPE.
11. (E) CEILING GRID TO REMAIN. G.C. TO PATCH/REPAIR/ REPLACE MISSING CEILING TILES AS REQUIRED.
12. DEMO & DISCARD (E) PENDANT LIGHT.
13. DEMO & DISCARD (E) RECESSED LIGHT.

Revisions	Date	Description	By
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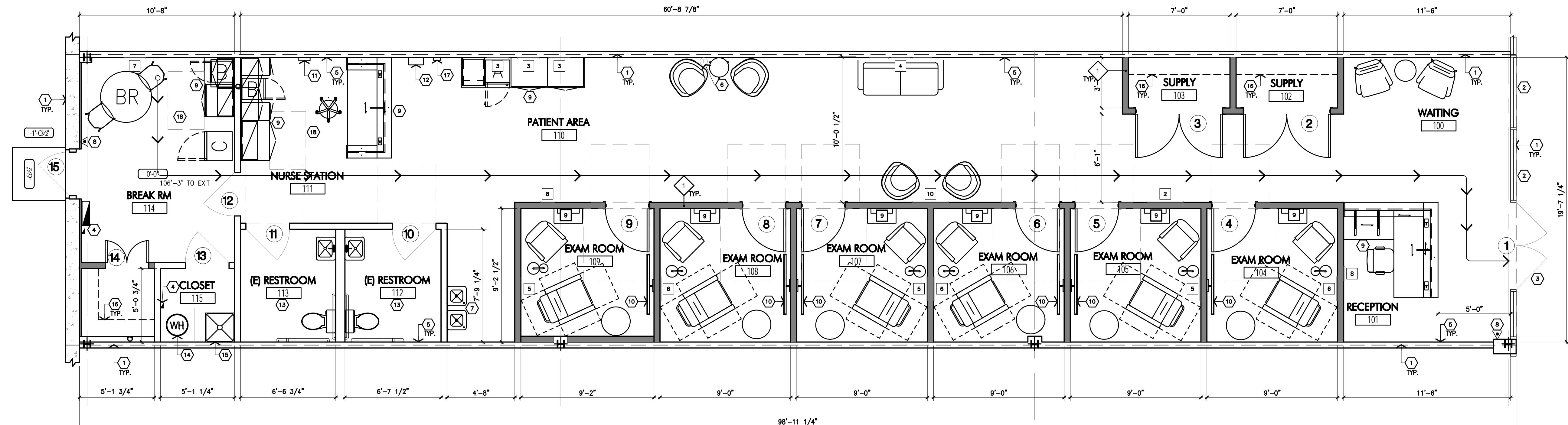
Drawn By JD

App'd By RER

Sheet Title

Floor Plan
Sheet Number

A121



1 CONSTRUCTION PLAN

1/4" = 1'-0"

SYMBOL	ITEM	DESCRIPTION
1	FRAMED WALL ART	18"x16"; CERTAINLY FRAMED
2	FRAMED WALL ART	30"x40"; BOAT DOCK
3	FRAMED WALL ART	18"x24"; HORIZON II, III, IV
4	FRAMED WALL ART	18"x24"; LES ITALIENNES I, II, III
5	FRAMED WALL ART	20"x16"; MORNING WALK
6	FRAMED WALL ART	20"x16"; HEXAGON
7	FRAMED WALL ART	24"x24"; MYSTICAL 2
8	WALL CLOCK	12" DIA
9	SHELF W/HOOKS	12-1/2"X12-1/4"
10	WALL MIRROR	30" DIA
11	FRAMED WALL ART	16"x20"; CLOUD MT

- SEE FIXTURE PLAN FOR FIXTURE INFORMATION.
- SEE REFLECTED CEILING PLAN FOR LIGHTING INFORMATION.
- NOTIFY ARCHITECT IMMEDIATELY OF ANY INCONSISTENCIES OR DISCREPANCIES WITH PLANS RELATING TO EXISTING FIELD CONDITIONS.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE ON THE CONSTRUCTION DOCUMENTS. DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE FROM THE FACE OF FINISHED WALL (GWF) TO FACE OF FINISHED WALL (GWF) UNLESS OTHERWISE NOTED ON PLANS.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED AND CONDITIONED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS OR INSTRUCTIONS.
- ALL WORK SHALL BE EXECUTED IN A MANNER ACCEPTABLE TO THE OWNER.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE FINAL CLEAN UP OF THE ENTIRE PREMISES TO INCLUDE NOT LIMITED TO FLOORS, MILLWORK FIXTURES, ETC. FOLLOWING THE INSTALLATION OF THE MILLWORK.
- G.C. SHALL SUPPLY & INSTALL PROPER AND ADEQUATE WOOD BLOCKING TO SUPPORT ALL OWNER SUPPLIED AND G.C. APPLIED & INSTALLED ITEMS FOR FIRM AND SECURE INSTALLATION ON WALLS, COLUMNS, ETC. G.C. SHALL COORDINATE WITH OWNERS FIXTURE SUPPLIER FOR REQUIRED LOCATIONS AND ADEQUACY OF BLOCKING REQUIREMENT AND PROVIDE ALL SUCH BLOCKING PRIOR TO CLOSING UP ANY AND ALL WALLS, COLUMNS, ETC. IF REQUIRED BY CODE AND LOCAL BUILDING OFFICIAL, SUCH BLOCKING SHALL BE FIRE RETARDANT TREATED TO MEET SUCH REQUIREMENT.
- ALL DOOR LANDINGS & CLEARANCE SHALL BE LEVELED TO HAVE A SLOPE NO GREATER THAN 1:48
- LANDINGS ON EITHER SIDE OF A DOOR SHALL BE AT THE SAME LEVEL WITH A MAX ELEVATION CHANGE OF 1/2". REFER TO SHEET A-151 FOR DETAILS.
- ALL BLOCKING FOR ALL WALL MOUNTED CABINETS, FIXTURES, ETC. SHALL BE FRI PLYWOOD. G.C. TO COORDINATE ALL BLOCKING LOCATIONS WITH CLIENT AS REQUIRED.
- AT FRAMED GYP BD WALLS ALL POWER MUST BE CONCEALED IN THE WALL IF NOT POSSIBLE TO HIDE IN EXISTING WALL, THERE MUST BE ADDED A HAT CHANNEL AND A LAYER OF 5/8" GYP. BD.
- G.C. MUST FINISH NEW AND EXISTING GYP. BD. PARTITION AS FOLLOWS: INTERIOR WALLS IN SHOWROOM AND IN VESTIBULE MUST BE LEVEL 5 FINISH; INTERIOR WALLS IN BACK OF HOUSE, TOILET ROOM AND CEILINGS TO RECEIVE LEVEL 4 FINISH.
- UPON POSSESSION OF PREMISES, ENTIRE SPACE DIMENSIONS SHALL BE VERIFIED AND NOTED OF ANY DISCREPANCIES BY G.C.'S FIELD SUPERVISOR USING SITE VERIFICATION PLAW SHEET. G.C. SHALL RESUBMIT THAT SHEET WITHIN (3) THREE DAYS FROM START OF CONSTRUCTION TO 155 AND ARCHITECT.
- ALL DIMENSIONS ARE FROM FACE OF GYP BD OR CEMENTITIOUS WALL BOARDS OR BRICK WALLS.
- G.C. SHALL VISIT SITE PRIOR TO BID. NO CHANGE ORDERS WILL BE ACCEPTED FOR EXISTING CONDITIONS.

SYMBOL	DESCRIPTION
—	EXISTING PARTITION
—	NEW PARTITION
△	EXISTING DOOR
△	NEW DOOR
□	WALL TYPE, REF: A123

LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
■	TASK CHAIR	—	WALL MOUNTED TV WITH AMAZON BASICS ARTICULATING WALL MOUNT
○	ARMCHAIR	■	24" UNDER COUNTER BEVERAGE REFRIGERATOR
□	SIDE CHAIR	■	20" MINI FRIDGE
○	LOUNGE CHAIR	■	RECLINER
■	ARMCHAIR	○	SIDE TABLE
■	RECLINER	○	SIDE TABLE
○	BR	○	MEDICAL REFRIGERATOR
○	BREAK RM TABLE	○	SIDE TABLE
○	SHOE RACK WITH MIRROR & HOOKS ABOVE	○	LAMP

- ASSUMED LEASE LINE, V.I.F.
- (E) STOREFRONT GLAZING SYSTEM TO REMAIN TO REMAIN.
- (E) STOREFRONT ENTRY DOOR TO REMAIN.
- (E) POWER DISTRIBUTION EQUIPMENT TO BE REUSED. REMOVE ANY UNUSED EQUIPMENT, SWITCHES, ETC. INSTALL NEW EQUIPMENT, SWITCHES, CONTRACTORS, ETC. TO MOUNTED AS TIGHT AS POSSIBLE TO REDUCE OVERALL WIDTH OF EQUIPMENT.
- EXISTING DEMISING PARTITION - G.C. TO VERIFY CONDITION OF WALL AND REPLACE OR REPAIR DAMAGED GYP. BD. TO MAINTAIN ANY EXISTING FIRE RATING. TYPICAL FOR ALL DEMISING WALLS, TENANT SIDE ONLY. U.N.O. SEE KEY NOTE #19.
- (N) THERMOSTAT AT 48° F.A.F.
- (N) HIGH-LOW WATER FOUNTAIN, REF: PLUMBING DRAWINGS.
- (E) FIRE EXTINGUISHER, COORDINATE FINAL PLACEMENT WITH FIRE MARSHALL, IF RELOCATION IS REQUIRED PATCH/REPAIR WALL.
- (N) MILLWORK, G.C. TO PROVIDE IN-WALL BLOCKING, REF: A151
- (N) WALL MOUNTED TV, G.C. TO PROVIDE IN-WALL BLOCKING, REF: ELECTRICAL DRAWINGS.
- (N) WALL MOUNTED BIOHAZARD BOX AND GLOVES.
- (N) WALL MOUNTED AED DEFIBRILLATOR.
- (N) WATER CLOSET, LAVATORY, AND RESTROOM ACCESSORIES. REF: A201/PLUMBING DRAWINGS.
- (E) WATER HEATER (ON FLOOR). REF: PLUMBING DRAWINGS.
- (E) MOP/SINK, REF: PLUMBING DRAWINGS.
- DEEP SOLID WALL MOUNTED SHELVING WITH SLOTTED STANDARDS MOUNTED TO STUDS. G.C. TO PROVIDE IN-WALL BLOCKING.
- WALL MOUNTED AED SIGN.
- G.C. TO TRENCH (E) CONCRETE SLAB AS REQUIRED. REF: ELECTRICAL & PLUMBING DRAWINGS.
- (N) WALL MOUNTED SIGNAGE BY OWNER, G.C. TO PROVIDE IN-WALL BLOCKING. REF: A151.

KEY NOTES

- FOR ALL WOOD MEMBERS REQUIRED BY CODE TO BE FIRE-RETARDANT TREATED, PROVIDE PRESSURE IMPREGNATION WITH FIRE RETARDANT CHEMICALS TO PROVIDE UL PRS FIRE HAZARD CLASSIFICATION. ALL SUCH WOOD SHALL BE IDENTIFIED WITH A UL LABEL CERTIFYING THIS CLASSIFICATION AND FM DIAMOND.
- APPROVED FIRE EXTINGUISHERS SHALL BE INSTALLED AS REQUIRED BY LOCAL AUTHORITY.
- ALL PENETRATIONS OF FIRE RESISTIVE FLOOR OR SHIFT WALLS SHALL BE PROTECTED BY MATERIALS AND INSTALLATION DETAILS THAT CONFORM TO UL STANDARDS FOR THROUGH PENETRATION FIRESTOP SYSTEMS. THE CONTRACTOR SHALL SUBMIT SHOP DRAWING DETAILS WHICH SHOW COMPLETE CONFORMANCE TO THE UL LISTING TO THE ARCHITECT. SUCH DRAWINGS SHALL BE AVAILABLE TO ANY CITY INSPECTOR. THE DRAWINGS SHALL BE SPECIFIC FOR EACH PENETRATION WITH ALL VARIABLES DEFINED.
- THE CONTRACTOR IS TO REPLACE ANY FIREPROOFING REMOVED FROM THE BUILDING STRUCTURE DURING DEMOLITION/CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING INTEGRITY OF RATED PARTITIONS & STRUCTURE PARTICULARLY WHERE PENETRATED BY VARIOUS TRADES AND SERVICES.
- G.C. SHALL INSTALL FIRE EXTINGUISHERS CONSPICUOUSLY AS NOTED ON THE DRAWING AND TO BE READILY ACCESSIBLE AND SHALL BE INSTALLED IN A WAY THAT THE TOP OF THE EXTINGUISHER SHALL NOT BE MORE THAN 4'-0" AND NOT LESS THAN 4" ABOVE FLOOR. ALL FIRE EXTINGUISHERS SHALL BE INSTALLED IN ACCORDANCE WITH CLASSIFICATION, RATING, AND DISTRIBUTION REQUIREMENTS OF NFPA 10. (NFPA 1: 13.6.1.1) SUGGESTED SPEC OR APPROVED EQUAL SPECIFICATION TO BE USED.

CONSTRUCTION NOTES

EQUIPMENT LEGEND

LIFE SAFETY GENERAL NOTES

Revisions	Date	Description	By
△			
△			
△			
△			
△			
△			

Seal

HARDWARE GROUP #1 (ENTRY)	
LOCKSET	EXISTING TO REMAIN, RE-KEY
PULL	EXISTING TO REMAIN
CLOSER	EXISTING TO REMAIN
HARDWARE GROUP #2 (REAR ENTRY DOOR)	
LOCKSET	EXISTING TO REMAIN, RE-KEY
PULL	EXISTING TO REMAIN
PANIC BAR	EXISTING TO REMAIN
CLOSER	EXISTING TO REMAIN
HARDWARE GROUP #3 (EXAM ROOM)	
LEVER SET	FALCON W101S Q (PASSAGE) OR EQUAL FINISH: 626 SATIN CHROME
HINGE	FINISH: 626 SATIN CHROME
WALL BUMPERS (WB)	FINISH: 626 SATIN CHROME
HARDWARE GROUP #4 (BREAK ROOM)	
LEVER SET	FALCON W101S Q (PASSAGE) OR EQUAL FINISH: 626 SATIN CHROME
HINGE	FINISH: 626 SATIN CHROME
WALL BUMPERS (WB)	FINISH: 626 SATIN CHROME
HARDWARE GROUP #5 (RESTROOM)	
LEVER SET	FALCON W301S Q (PRIVACY) OR EQUAL FINISH: 626 SATIN CHROME
HINGE	FINISH: 626 SATIN CHROME
WALL BUMPERS (WB)	FINISH: 626 SATIN CHROME
HARDWARE GROUP #6 (SUPPLY CLOSETS, STORAGE, ELECTRIC ROOM)	
LEVER SET	FALCON W12S Q (DUMMY LEVER) OR EQUAL FINISH: 626 SATIN CHROME
HINGE	FINISH: 626 SATIN CHROME
WALL BUMPERS (WB)	FINISH: 626 SATIN CHROME
LATCH	DIB1: ADJUSTABLE DRIVE-IN BALL CATCH, PACKED WITH FULL LIPSTRIKE, ROUND CORNER, POLY BAGGED WITH SCREWS: STRIKE SIZE: 1 3/8" X 2 1/8", RC

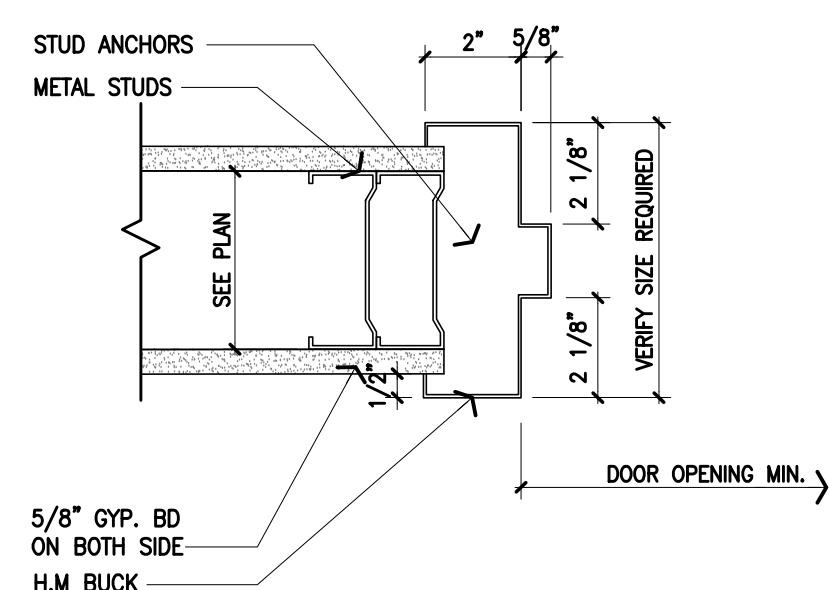
NO.	ROOM NO.	LOCATION	SIZE	DOOR		FRAME		HARDWARE GROUP	FIRE RATING	REMARKS
				TYPE	MATERIAL	FINISH	MATERIAL			
①	101	RECEPTION	(E)3'-0" x 7'-0"	A	EXISTING	-	EXISTING	-	1	-
②	102	SUPPLY	(2)3'-0" x 7'-0"	C	WD	[P-1]	MTL	[P-1]	6	-
③	103	SUPPLY	(2)3'-0" x 7'-0"	C	WD	[P-1]	MTL	[P-1]	6	-
④	104	EXAM ROOM	3'-0" x 7'-0"	B	WD	[P-3]	MTL	[P-3]	3	-
⑤	105	EXAM ROOM	3'-0" x 7'-0"	B	WD	[P-3]	MTL	[P-3]	3	-
⑥	106	EXAM ROOM	3'-0" x 7'-0"	B	WD	[P-3]	MTL	[P-3]	3	-
⑦	107	EXAM ROOM	3'-0" x 7'-0"	B	WD	[P-3]	MTL	[P-3]	3	-
⑧	108	EXAM ROOM	3'-0" x 7'-0"	B	WD	[P-3]	MTL	[P-3]	3	-
⑨	109	EXAM ROOM	3'-0" x 7'-0"	B	WD	[P-3]	MTL	[P-3]	3	-
⑩	112	RESTROOM	3'-0" x 7'-0"	B	WD	[P-1]	MTL	[P-1]	5	-
⑪	113	RESTROOM	3'-0" x 7'-0"	B	WD	[P-1]	MTL	[P-1]	5	-
⑫	114	BREAK ROOM	3'-0" x 7'-0"	B	WD	[P-1]	MTL	[P-1]	4	-
⑬	115	CLOSET	3'-0" x 7'-0"	B	WD	[P-1]	MTL	[P-1]	6	-
⑭		ELECTRIC ROOM	(2)1'x6" x 7'-0"	B	WD	[P-1]	MTL	[P-1]	6	-
⑮	113	BREAK ROOM (EXIT ROOM)	(E)3'-0" x 7'-0"	-	EXISTING	-	EXISTING	-	2	-
										EXISTING TO REMAIN, G.C. VERIFY PROPER WORKING ORDER, RE KEY, AND REPLACE ANY MISSING/DAMAGED HARDWARE

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CONSTRUCTION NOTES

- ALL DOORS MUST BE OPERABLE WITHOUT SPECIAL KNOWLEDGE OR EFFORT W/ LEVER TYPE HARDWARE IN COMPLIANCE WITH STATE & LOCAL CODES.
- ALL EGGS DOORS MUST BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF ONE KEY OR SPECIAL KNOWLEDGE OR EFFORT. DOORS SHALL BE OPENABLE WITH NOT MORE THAN ONE RELEASING OPERATION. IN ADDITION, DOOR HARDWARE SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE.
- ALL LOCK SETS TO BE RE-KEYED BY G.C. AFTER STORE TURNOVER.
- ALL HANDLES AND PULLS TO BE INSTALLED AT 39" A.F.F. TO CENTERLINE, U.N.O.
- ALL DOORS TO BE SINGLE ACTION U.O.N.
- PROVIDE THRESHOLDS 1/2 MIN. WITH A MAXIMUM HEIGHT OF 1/2" PER ADA REQUIREMENTS
- HINGES FOR OUT SWINGING EXTERIOR DOORS SHALL BE EQUIPPED WITH NON-REMOVABLE HINGE PINS IN COMPLIANCE WITH STATE & LOCAL CODES.
- BOTH THE LATCHING AND DEAD BOLT DEVICES ON EXTERIOR DOORS SHALL RELEASE WITH A SINGLE ACTION OF THE INSIDE LEVER PER CODE REQUIREMENTS.
- THE MAXIMUM DOOR OPENING FORCE FOR INTERIOR DOORS SHALL BE 5 LBS. PER ANSI 4.13.11
- ALL HARDWARE SHALL COMPLY WITH ALL CURRENT LOCAL AND NATIONAL CODES.
- ALL INTERIOR DOOR HARDWARE SHALL BE LEVER TYPE WHERE APPLICABLE AND MEET ALL CURRENT ADA STANDARDS.
- PUSH SIDE OF ALL DOORS TO HAVE A 10" CLEAR KICK PLATE FROM THE BOTTOM OF THE DOOR UP
- ALL DOOR CLEARANCES TO COMPLY WITH LOCAL BUILDING CODES.

DOOR AND HARDWARE NOTES

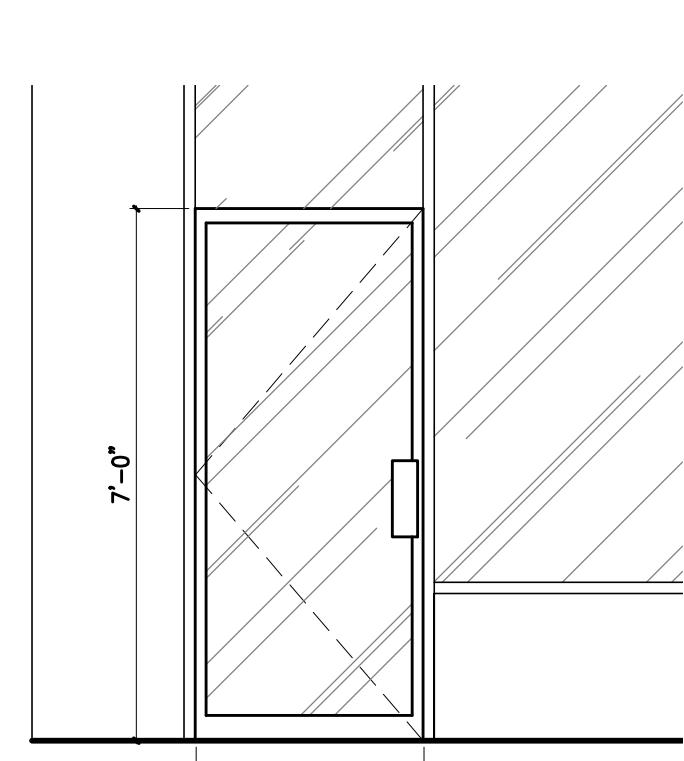


3 DOOR JAMB

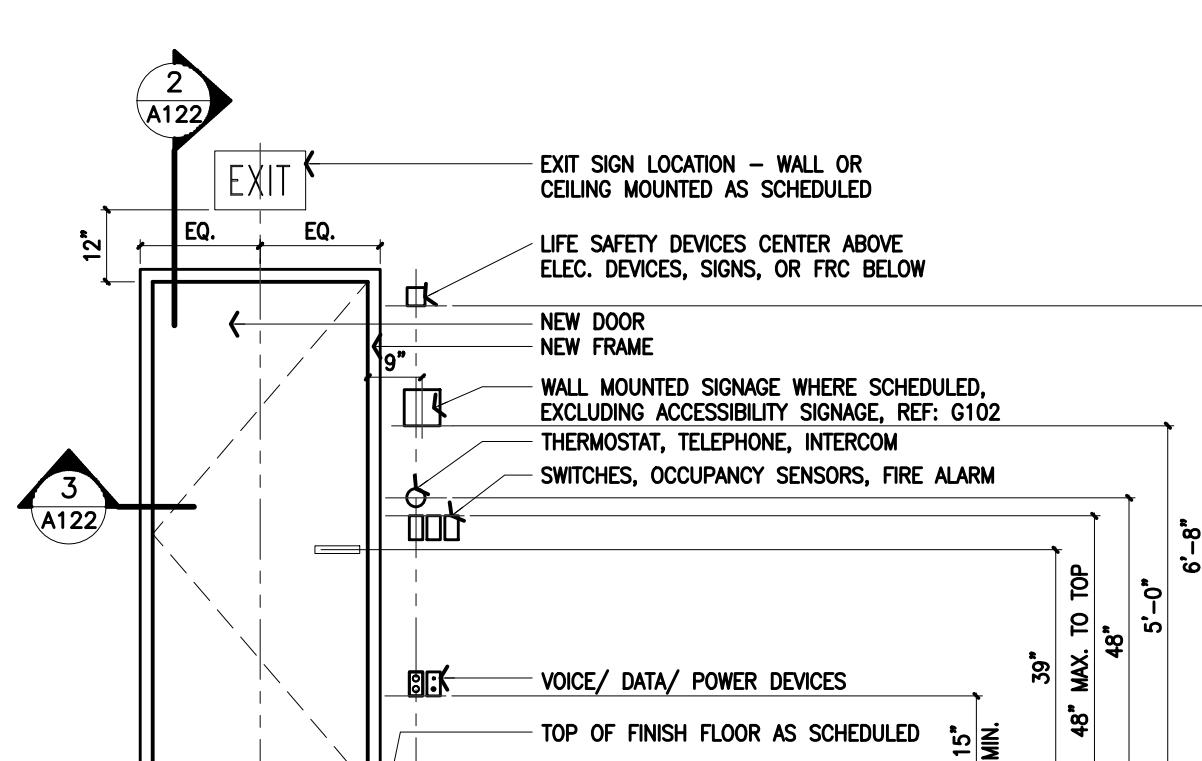
4' = 1'-0"

HARDWARE GROUP

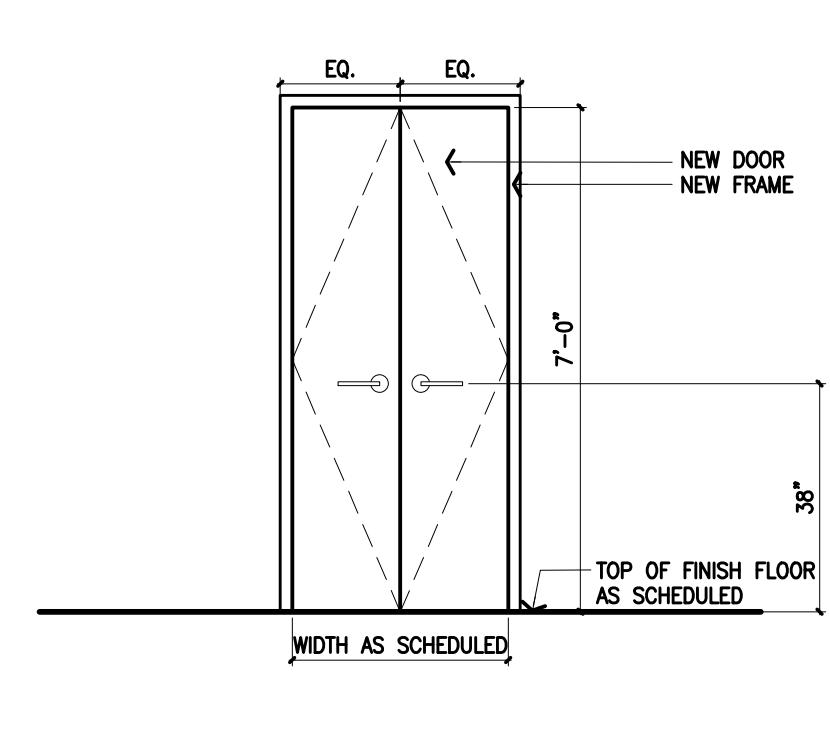
DOOR SCHEDULE



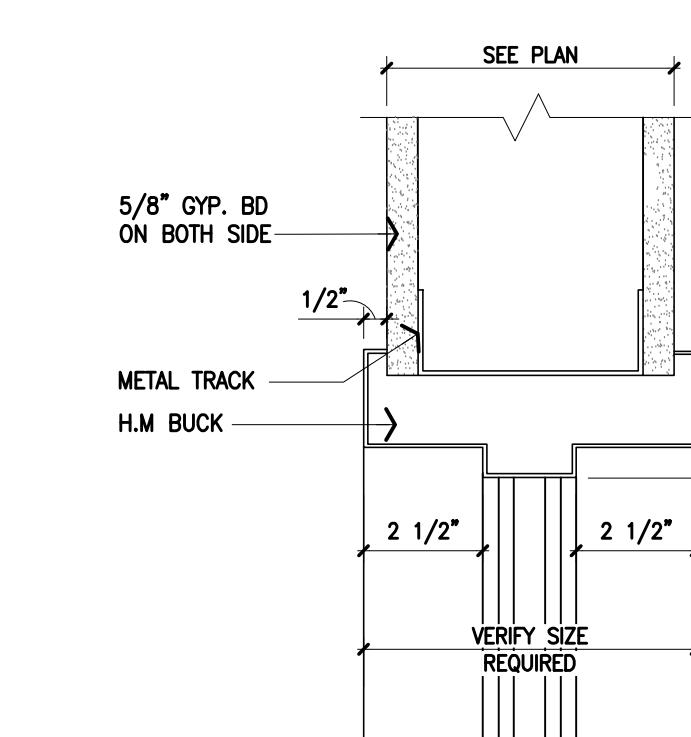
TYPE A
(EXISTING)



TYPE B

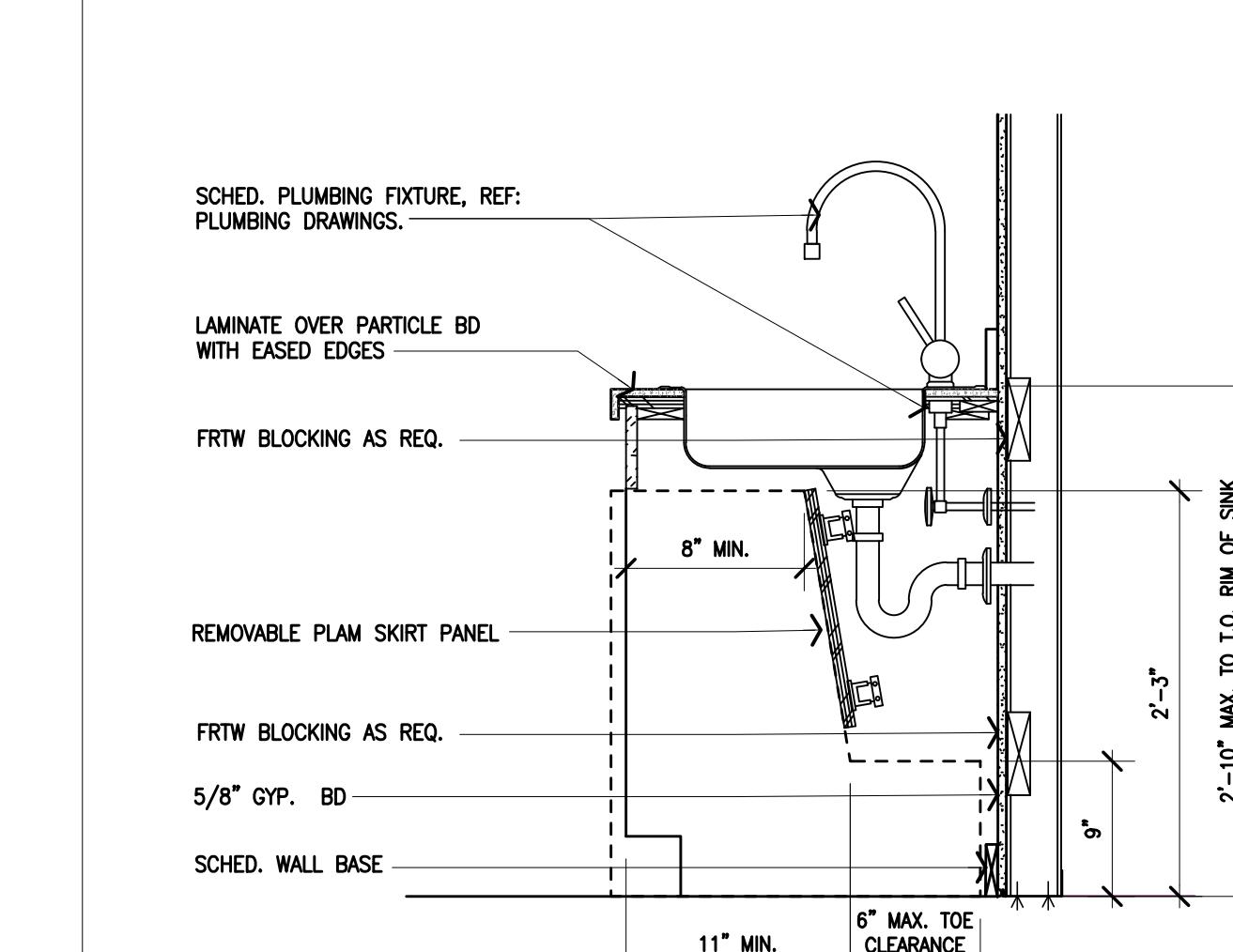


TYPE C



2 DOOR HEAD

3' = 1'-0"



4 SECTION - SINK

1' = 1'-0"

1 DOOR TYPES

Revisions	Date	Description	By
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Seal

Job Number 240135

Drawn By JD

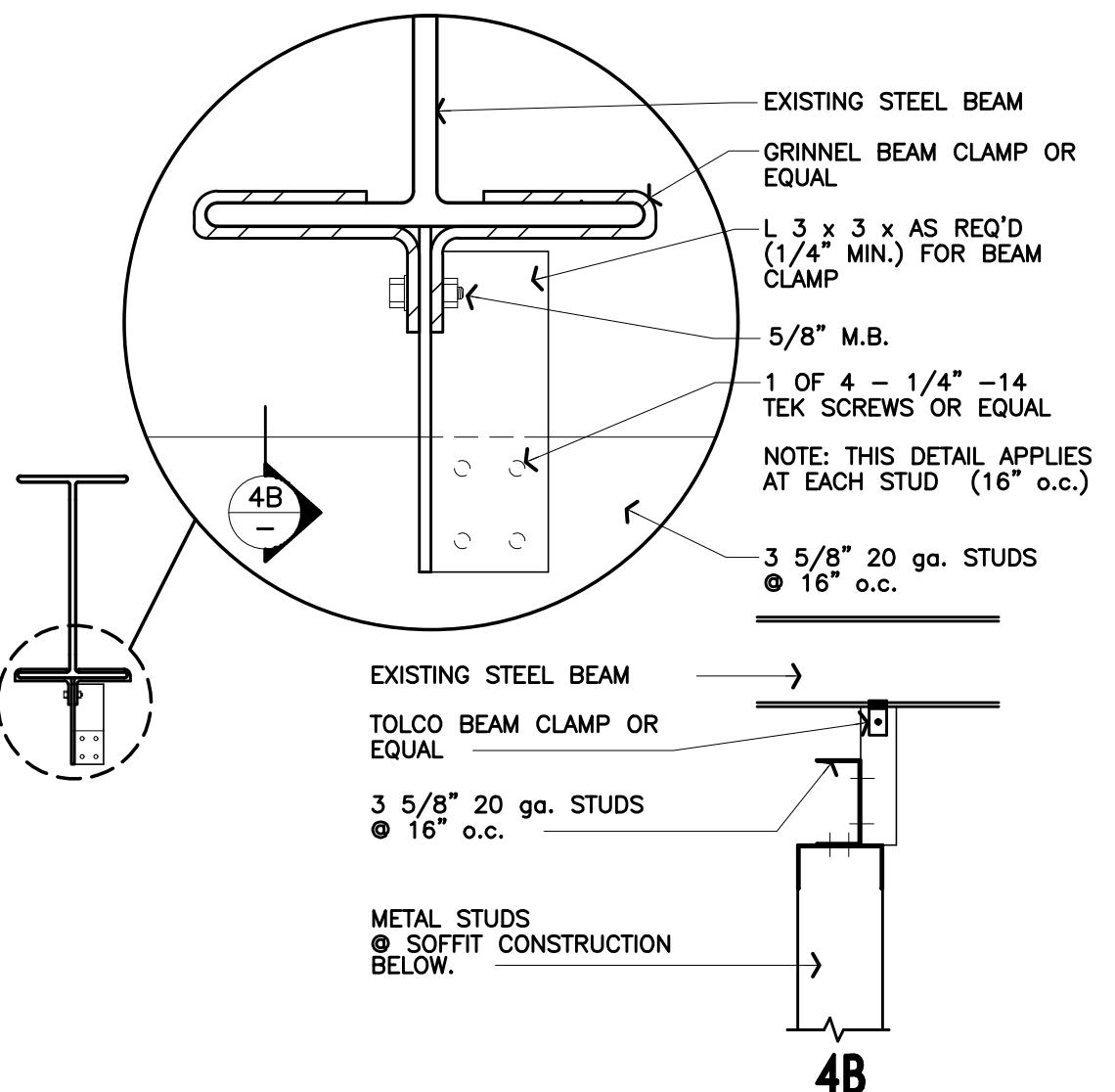
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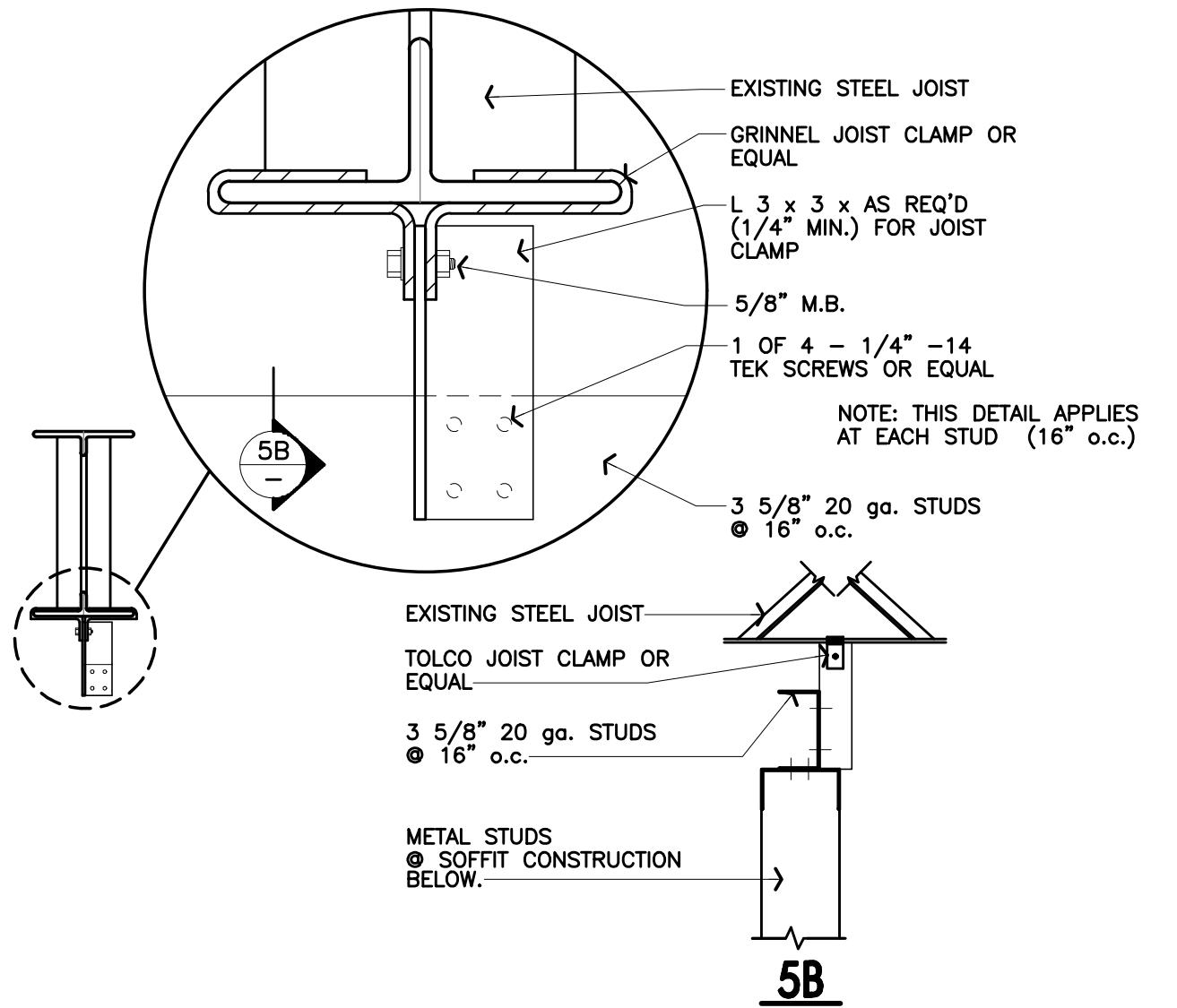
Partition Types
and Details

Sheet Number

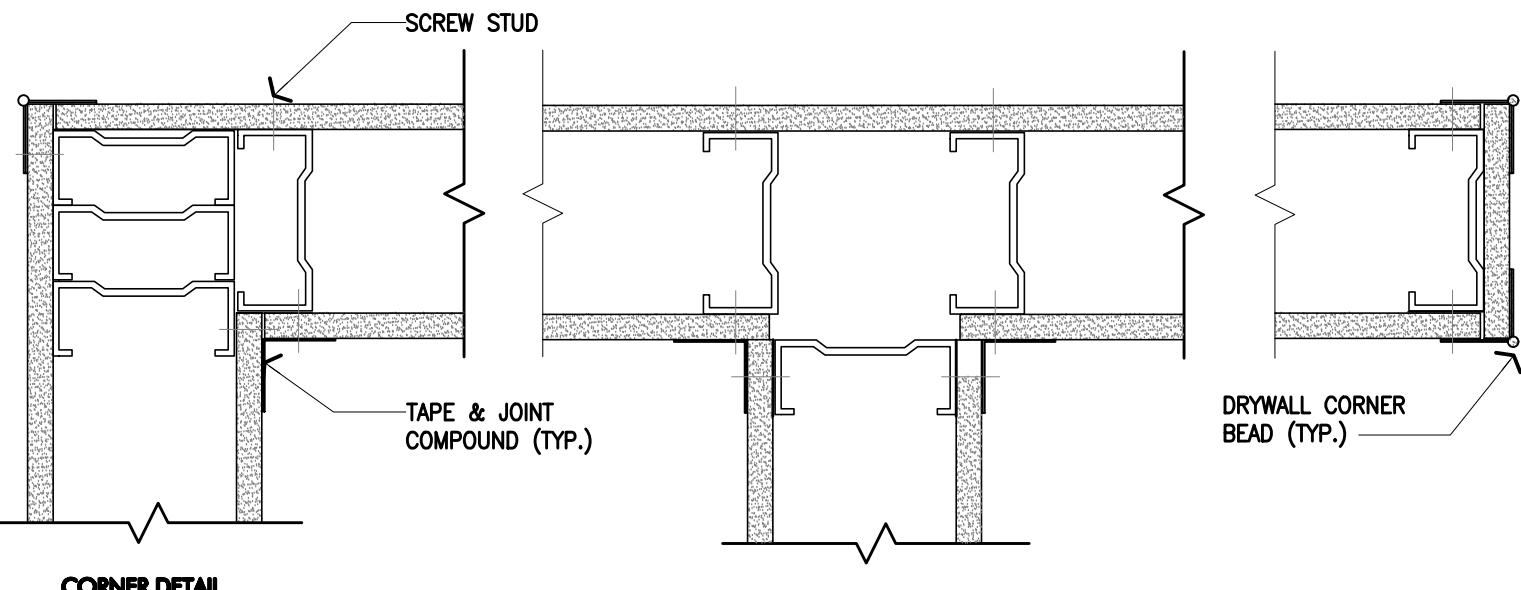
A123



4 BEAM CLAMP

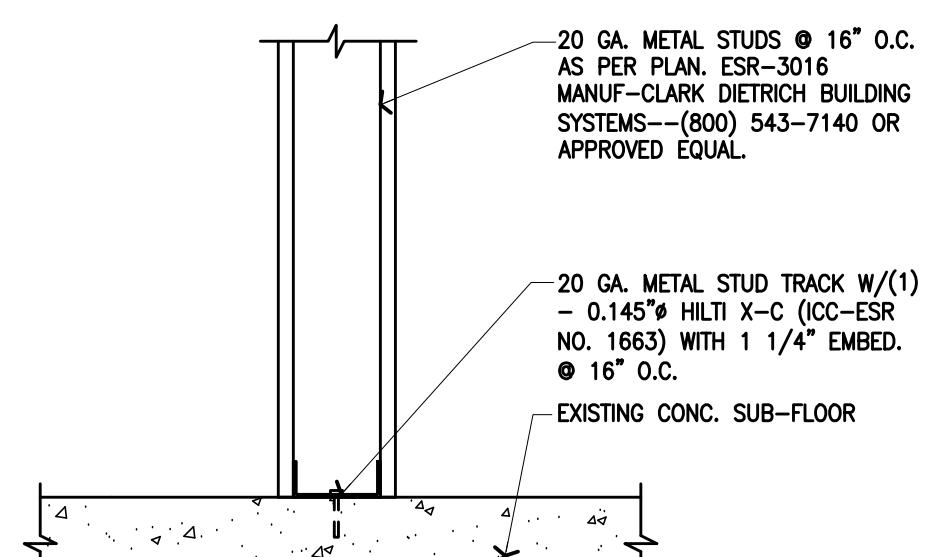


5 BEAM CLAMP

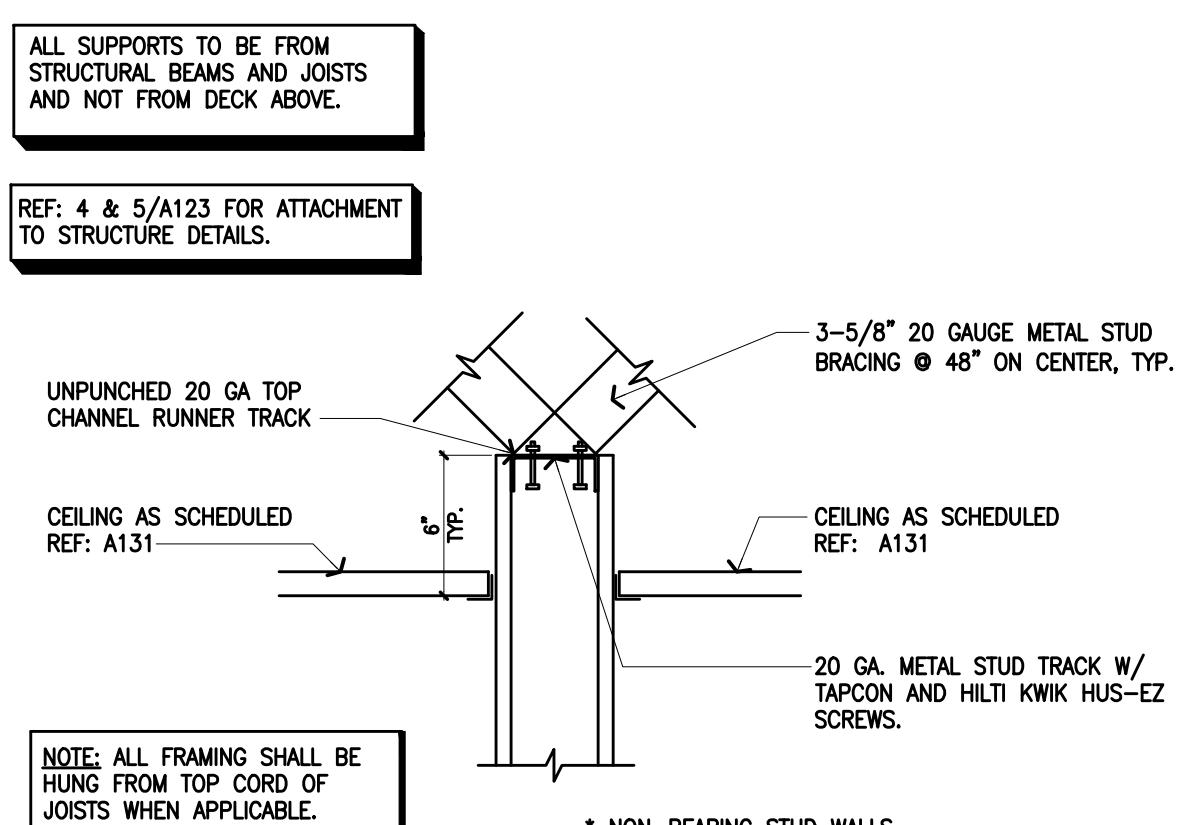


7 TYPICAL GYP. BD. DETAILS

1. NO MECHANICAL FASTENING TO LANDLORD STRUCTURE.
2. ALL PENETRATIONS IN RATED WALLS ARE TO BE CAULKED TO ENSURE RATING IS MAINTAINED.
3. ALL BLOCKING AND PLYWOOD INSTALLED SHALL BE FRFT.
4. G.C TO VERIFY DECK HEIGHT AND CONFIRM MAX STUD HEIGHT FOR THE SPECIFIED IS ACCEPTABLE. NOTIFY ARCHITECT IF NEW STUD SPECS ARE REQUIRED.

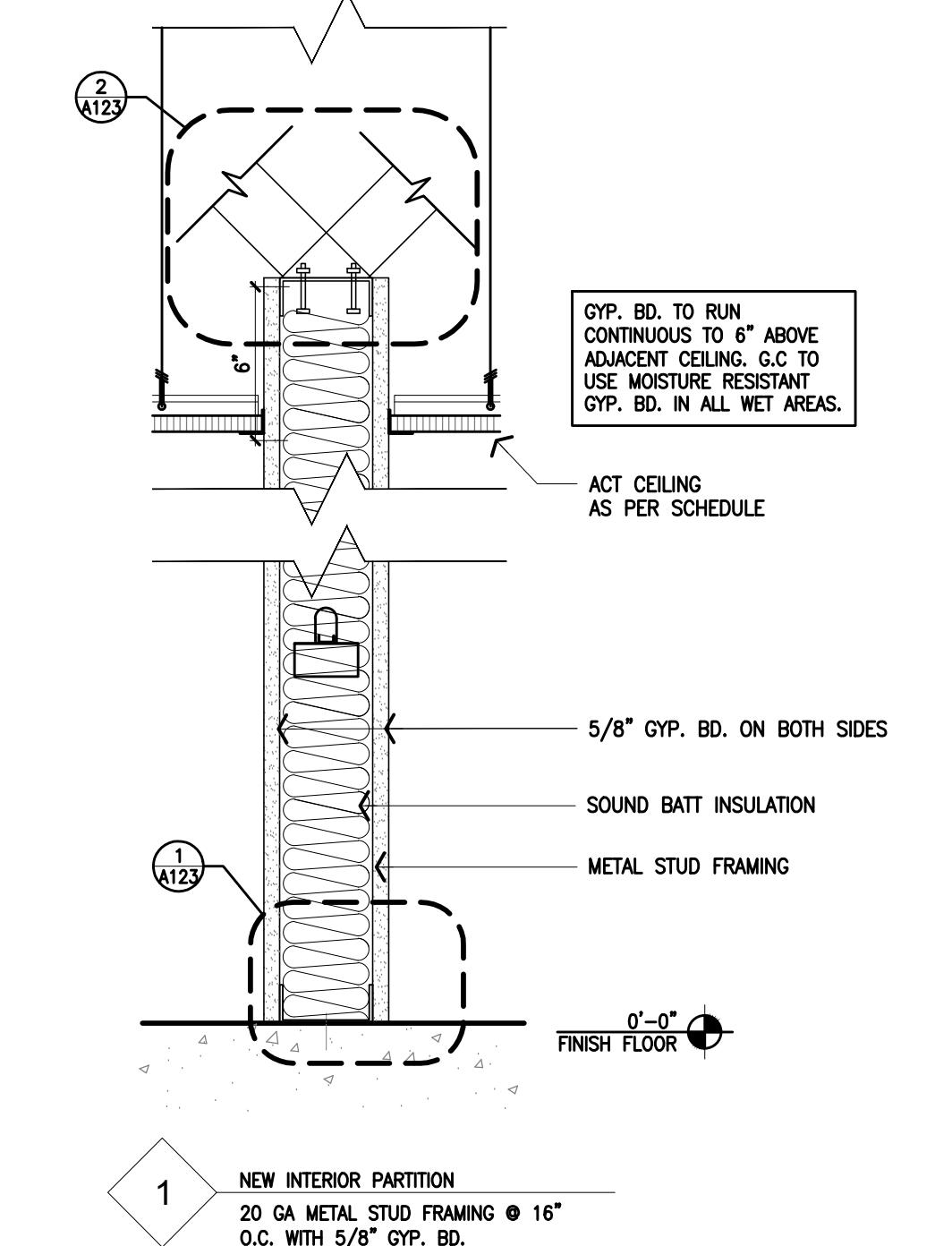


3 Non-Bearing Wall Detail
Scale 1 1/2" = 1'-0"

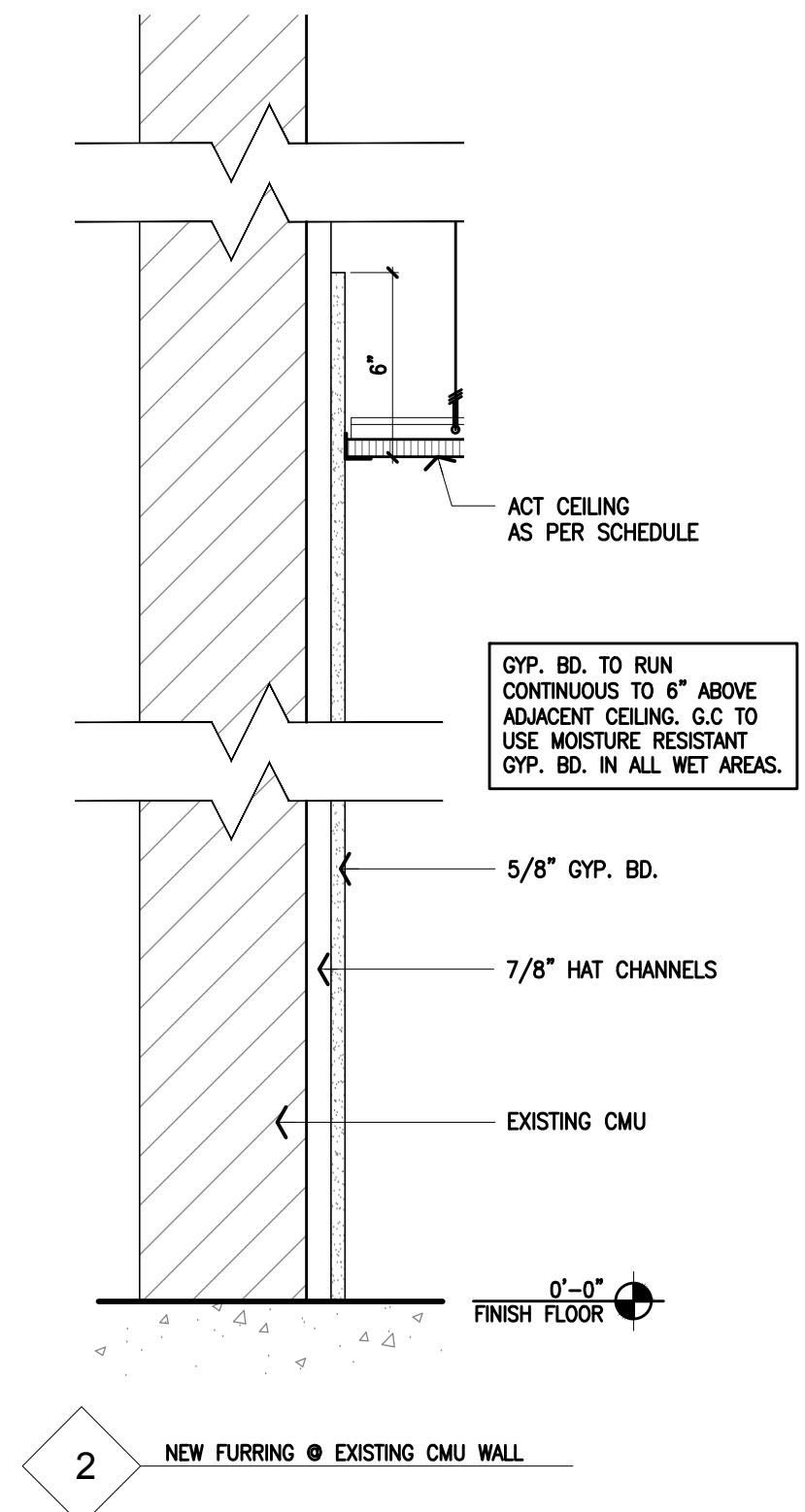


1 NON-BEARING WALL DETAILS
N.T.S.

2 NON-BEARING WALL DETAILS

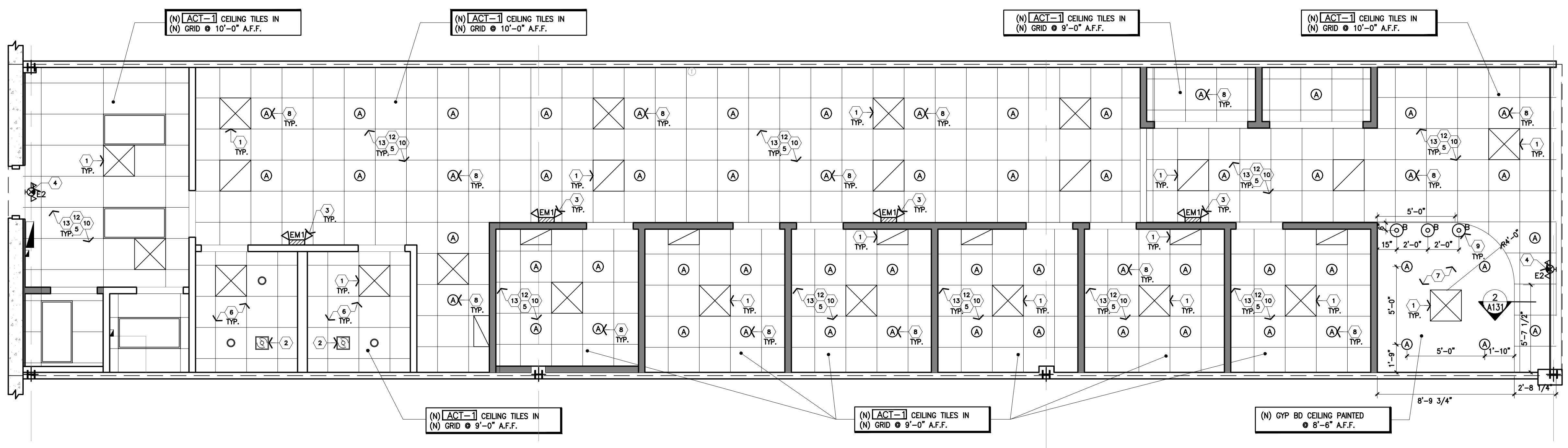


3 PARTITION TYPES



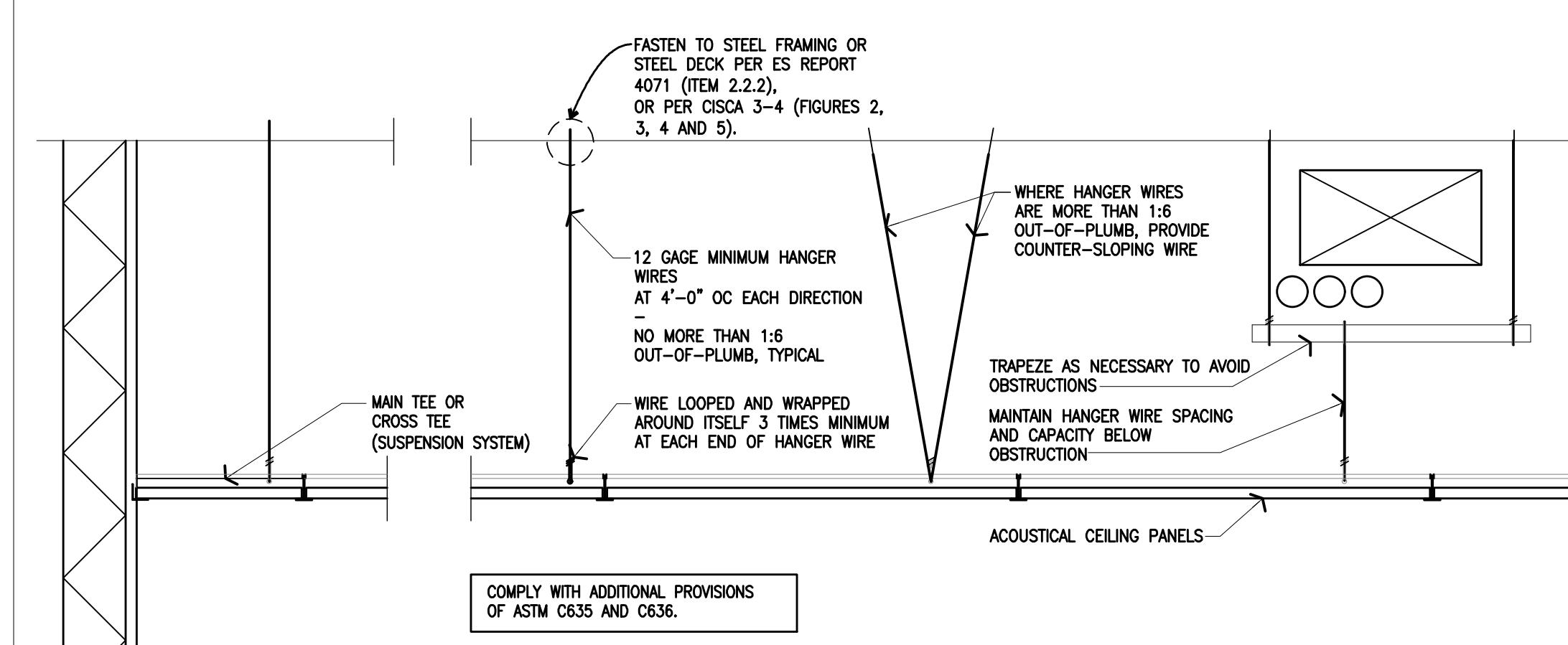
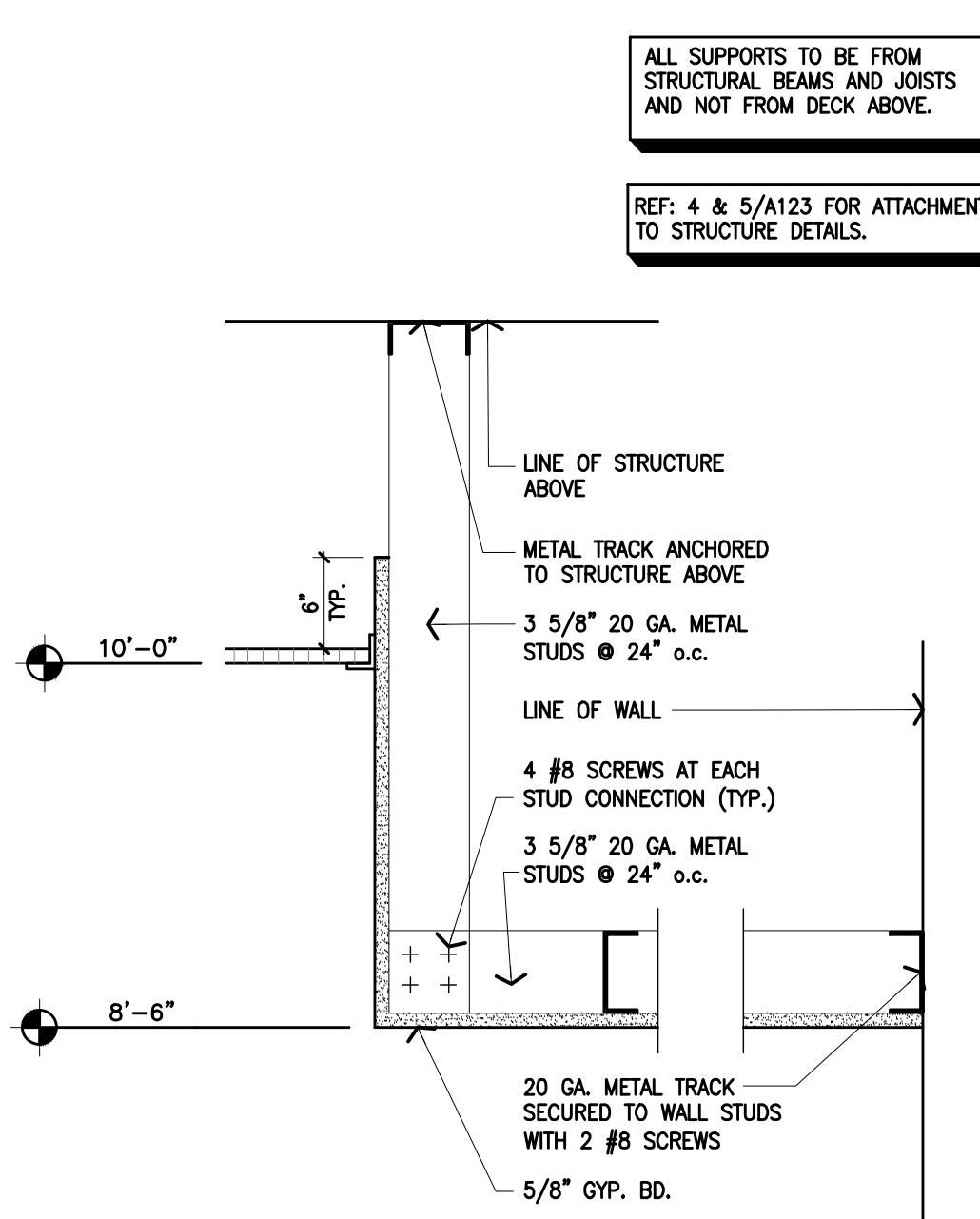
Issue Date 07/11/24			
Rewards	Date	Description	By
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Local Infusion
1256 Indian Head Road,
Tom's River,
NJ 08755

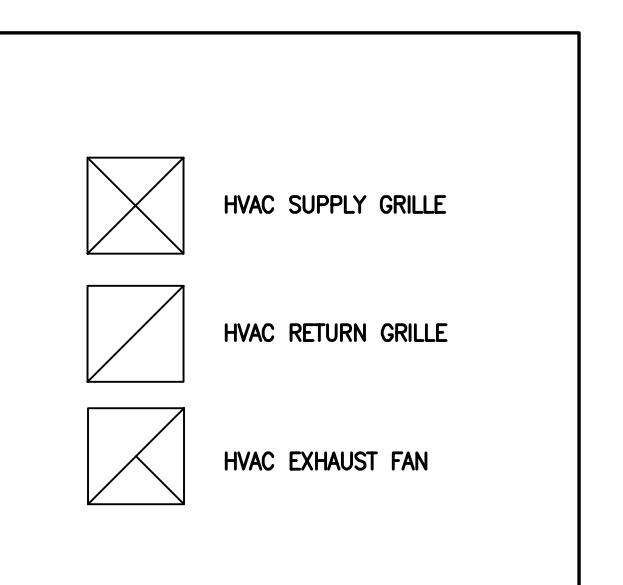


1 REFLECTED CEILING PLAN

1/4" = 1'-0"



1. (N) DIFFUSER & RETURN GRILLE. SEE MECHANICAL DRAWINGS FOR EXACT LOCATIONS AND ADDITIONAL INFORMATION.
2. (N) EXHAUST FAN REF: MECHANICAL DRAWINGS.
3. (N) EMERGENCY LIGHT, REF: ELECTRICAL DRAWINGS.
4. (N) EXIT/EMER. LIGHT, REF: ELECTRICAL DRAWINGS.
5. (N) CEILING GRID & TILES, TYPICAL, REF: 3/A131 AND FINISH SCHEDULE FOR PAINT SPEC.
6. (E) CEILING GRID AND (N) ACT-1 CEILING TILES.
7. (N) GYP. BD. SOFFIT ON METAL STUD FRAMING, REF: 2/A131.
8. (N) RECESS CAN LIGHTS, REF: ELECTRICAL DRAWINGS.
9. (N) SUSPENDED LIGHTING, REF: ELECTRICAL DRAWINGS.
10. CEILING GRID TO BE CENTERED IN ROOMS.
11. G.C. TO PREP SIGN BAND FOR (N) SIGNAGE; G.C. TO MATCH (E) LANDLORD CONDITIONS.
12. FIRE SPRINKLER HEADS TO BE RELOCATED AS REQUIRED, UNDER SEPARATE PERMIT BY G.C.
13. DECK HEIGHT @ 14'-7" TO 13'-11" A.F.F. FRONT TO BACK.



CEILING LEGEND

1. G.C. SHALL VISIT SITE PRIOR TO SUBMITTING BID, NO CHANGE ORDERS WILL BE ACCEPTED FOR EXISTING CONDITIONS.
2. EMERGENCY LIGHTS TO BE INSTALLED ON SEPARATE CIRCUIT.
3. ELECTRICAL CONTRACTOR TO VERIFY THAT EXISTING SERVICE IS ADEQUATE FOR DESIGN LOADS. IF NOT, NOTIFY ARCHITECT IMMEDIATELY.
4. ALL EQUIPMENT SHALL BEAR UL LABELS.
5. FIXTURES IN ACT TO BE MOUNTED IN CENTER OF TILE, UNLESS OTHERWISE NOTED.
6. SPRINKLER VENDOR, TO SUBMIT DRAWINGS TO THE AHJ FOR ALL WORK BEING DONE.
7. COORDINATE WITH ENGINEERING DRAWINGS FOR ALL MECHANICAL DUCT ROUTING.
8. THE LOCATION FOR ACCESS PANEL(S) AS MAY BE REQUIRED IN CEILING SHALL BE COORDINATED WITH OWNER, ARCHITECT AND ENGINEER. LOCATION(S) SHALL BE SYMMETRICAL WITH CEILING DESIGN (AS MUCH AS POSSIBLE). G.C. TO VERIFY EXACT LOCATION IN FIELD, COORDINATE WITH ENGINEER DRAWINGS AND OWNER.

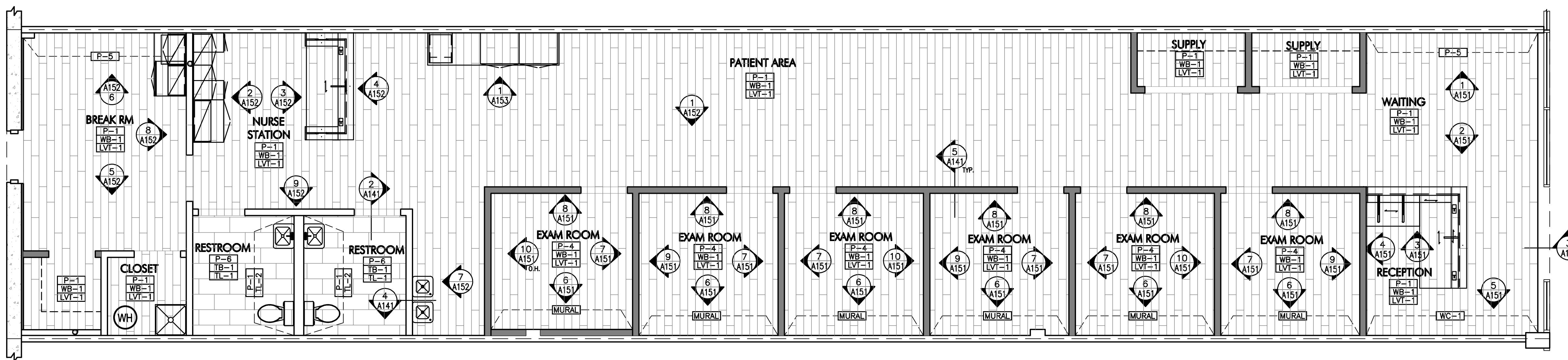
Job Number	240135
Drawn By	JD
App'd By	RER
Sheet Title	Reflected Ceiling Plan

- ALL INTERIOR WALL AND CEILING FINISHES ARE TO BE OF A CLASS C RATING OR BETTER PER TABLE 803.13.
- ALL FLOOR FINISHES SHALL COMPLY WITH 804.2.
- ALL MATERIALS REQUIRED TO HAVE A CERTAIN RATING SHALL HAVE DOCUMENTATION SHOWING COMPLIANCE WITH ALL OF THE APPROPRIATE CODES.
- CONTRACTOR REQUIRED TO PURCHASE PAINT THROUGH BENJAMIN MOORE NATIONAL ACCOUNTS PROGRAM, (SHOPNATIONALACCOUNTS.BENJAMINMOORE.COM) COORDINATE WITH OWNER.
- G.C. TO VERIFY ANY LEVEL CHANGE IN EXISTING CONCRETE SLAB PRIOR TO FLOORING INSTALL. G.C. TO ENSURE A LEVEL SURFACE PROVIDED PER THE FLOORING MANUFACTURER SPECIFICATIONS PRIOR TO FLOORING INSTALLATION.

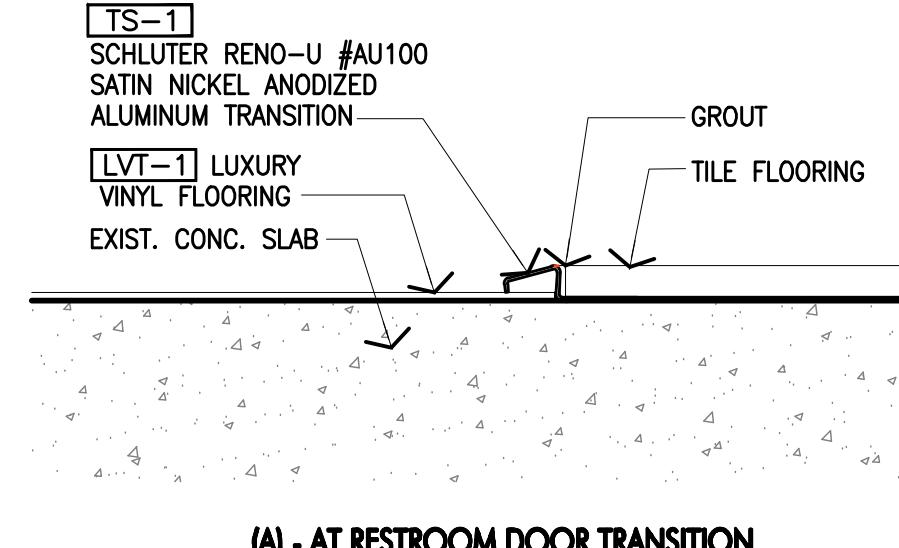
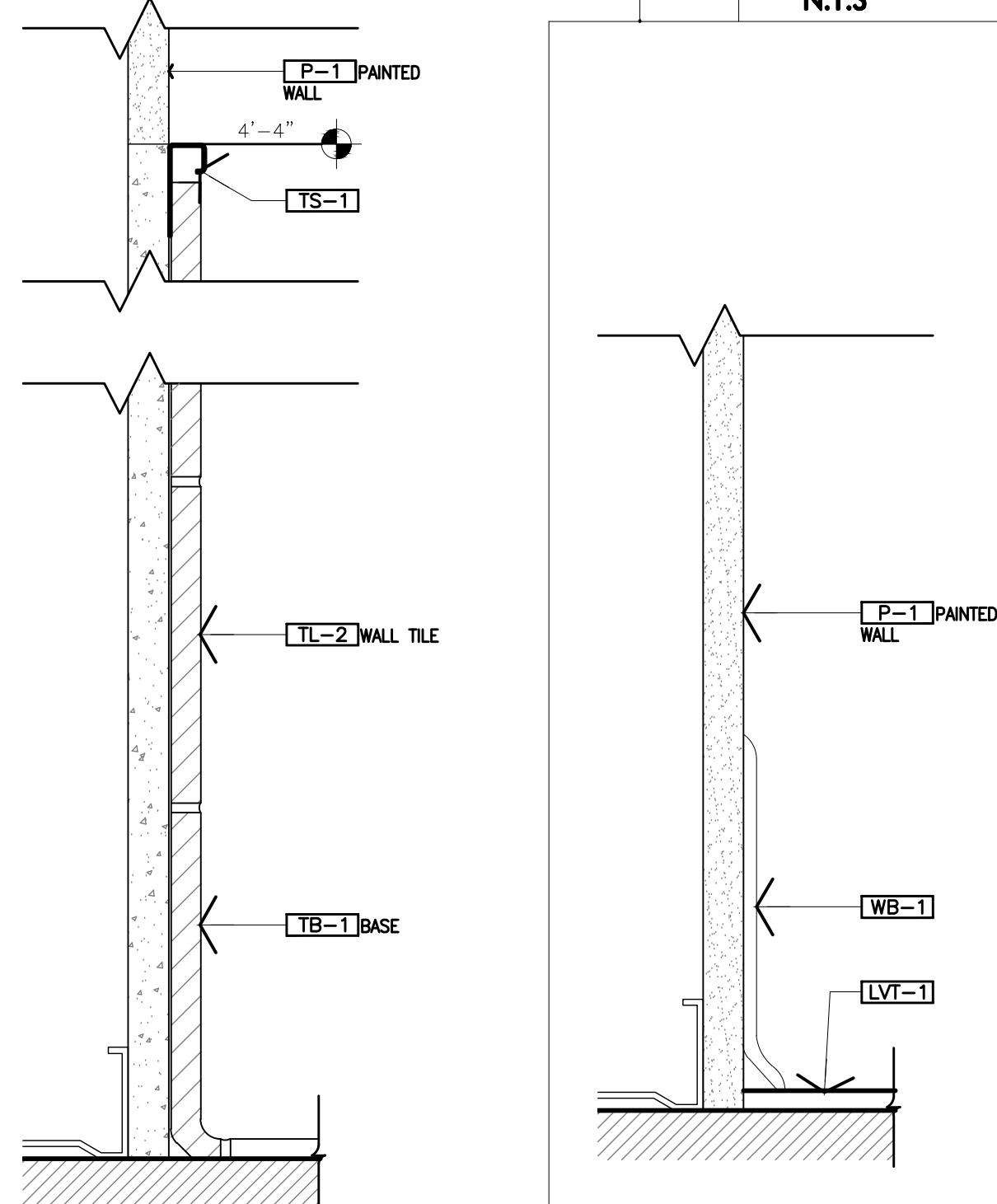
FINISH GENERAL NOTES

1. G.C. TO INSTALL 3/4" WIDE WHITE VINYL CORNER GUARD FOR THE FULL HEIGHT OF THE CORNER BETWEEN WALL COVERING AND PAINT FINISH.

FINISH KEY NOTES



1 FINISH PLAN N.T.S

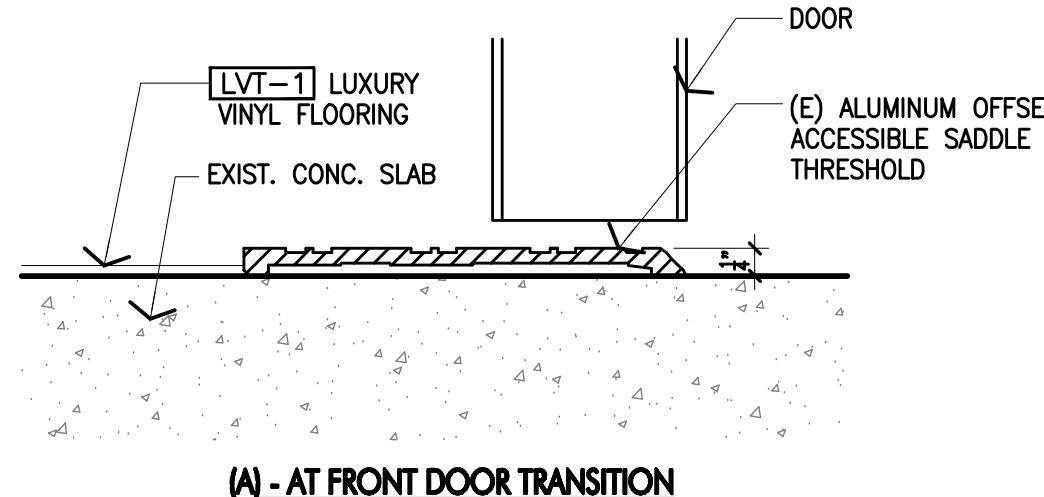


2 FLOOR TRANSITION DETAILS

4" = 1'-0"

4 BASE DETAILS

6" = 1'-0"



(A)-AT FRONT DOOR TRANSITION

3 FLOOR TRANSITION DETAILS

4" = 1'-0"

ROOM FINISH SCHEDULE

FINISH SCHEDULE

SYMBOL	DESCRIPTION	MANUFACTURER	FINISH	COLOR	PRODUCT	LOCATION	COMMENTS
WALL FINISH							
P-1	INTERIOR PAINT	BENJAMIN MOORE	EGGSHELL SEMI-GLOSS	OC-145, ATRIUM WHITE	OFF WHITE COLLECTION	WALLS, TRIM WORK, DOORS	DOORS, CASING, & WINDOW SILLS TO RECEIVE SEMI-GLOSS PAINT; WALLS TO RECEIVE EGGSHELL
P-2	INTERIOR PAINT	BENJAMIN MOORE	FLAT SEMI-GLOSS	CC-20, DECORATORS WHITE	DESIGNER CLASSICS	GYB. BD. CEILING	
P-3	INTERIOR PAINT	BENJAMIN MOORE	SEMI-GLOSS	624, BATH SALTS	CLASSIC COLOR	DOOR	
P-4	INTERIOR PAINT	BENJAMIN MOORE	EGGSHELL SEMI-GLOSS	2050-40, FLORIDA KEYS BLUE	COLOR PREVIEW	EXAM ROOMS	
P-5	INTERIOR PAINT	BENJAMIN MOORE	SEMI-GLOSS	2050-30, NEWPORT GREEN	COLOR PREVIEW	EXAM ROOM MURAL, ACCENT	
P-6	INTERIOR PAINT	BENJAMIN MOORE	SEMI-GLOSS	2070-60, LAVENDER MIST	COLOR PREVIEW	RESTROOMS	RESTROOM WALLS TO RECEIVE ANTI-MICROBIAL PAINT
WC-1	WALL COVERING	DESIGNTEX		CUSTOM DESIGN, MINT		RECEPTION	PROVIDE LEVEL 5 WALL FINISH
TL-2	WALL TILE	DALTILE	GLOSSY	1467, WOOD VIOLET COLOR WHEEL, 3X6 TILE		RESTROOM	INSTALL ON WALL WITH SINK 4" A.F.F. GROUT: LATICRETE 88 SILVER SHADOW
BASE							
WB-1	RUBBER WALL BASE	JOHNSONITE		MW-08-H, ICICLE 08	MANDALAY		4.5" H
IB-1	COVE TILE BASE	DALTILE		PF-02, WHITE	PORTFOLIO, PF02P36C9TB1P2		
FLOOR FINISH							
LVT-1	LUXURY VINYL TILE	MOHAWK		838 CUMBERLAND	LARGE AND LOCAL RESTORATION		NO SUBSTITUTION
TI-1	PORCELAIN TILE	DAL TILE		PF-02, WHITE	PORTFOLIO, PF02RCT1224MT	RESTROOM	GROUT: LATICRETE 88 SILVER SHADOW
CEILING FINISH							
AT-1	24" X 24" SUSPENDED ACoustical PANELS, ECHO GUARD FIBERGLASS TEGULAR/FLAT EDGE	ARMSTRONG	SMOOTH	1410 WHITE	OPTIMA LAY-IN AND TEGULAR, 3251		ARMSTRONG 15/16" PRELUDE XL SUSPENSION GRID AS REQUIRED.
WALK OFF MATT							
WO-1	WALK OFF MAT	MATS INC		STERLING	SUPER NOP 52	BREAK RM MILLWORK	MAT INSTALLED OVER FLOOR FINISH
TRANSITION STRIP							
IS-1	METAL TRANSITION STRIP	SCHULTER	ANODIZED ALUMINUM	BRUSHED NICKEL	SCHIENE	T.O. TILE WAiNSCOT	NO SUBSTITUTION

Rewards	Date	Description	By
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Seal

Job Number 240135

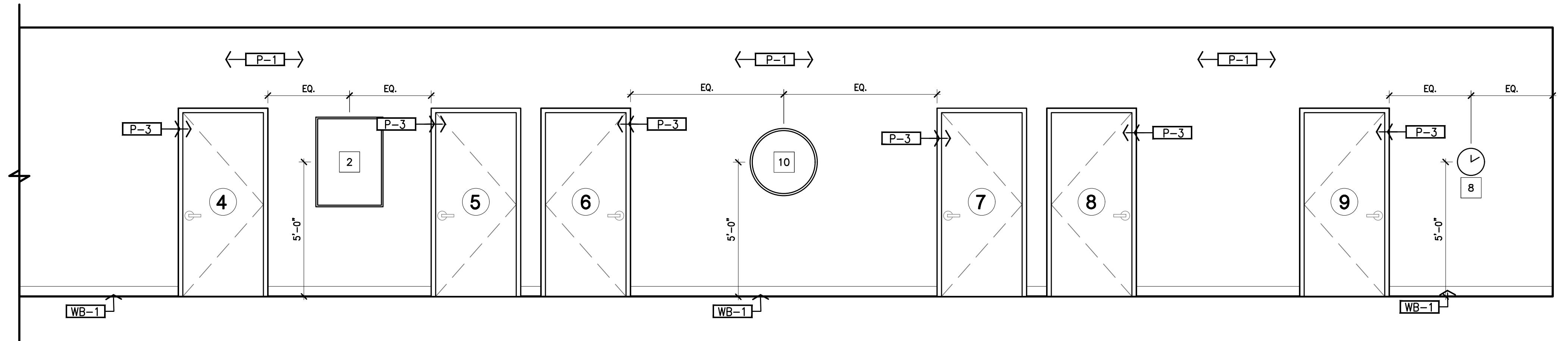
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Sheet Title

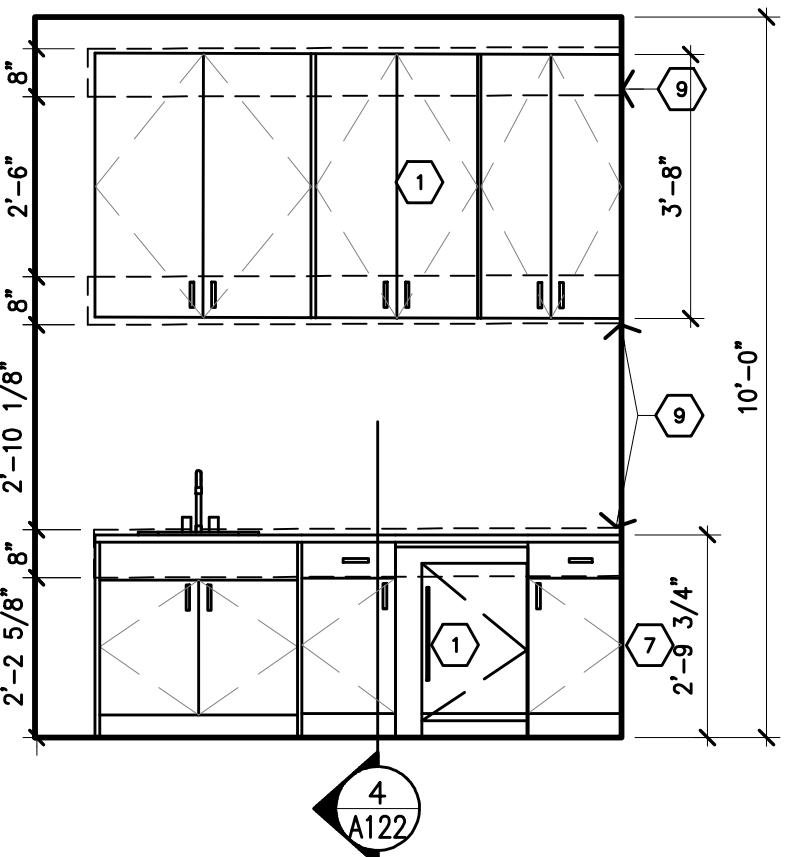
Interior Elevations

Sheet Number



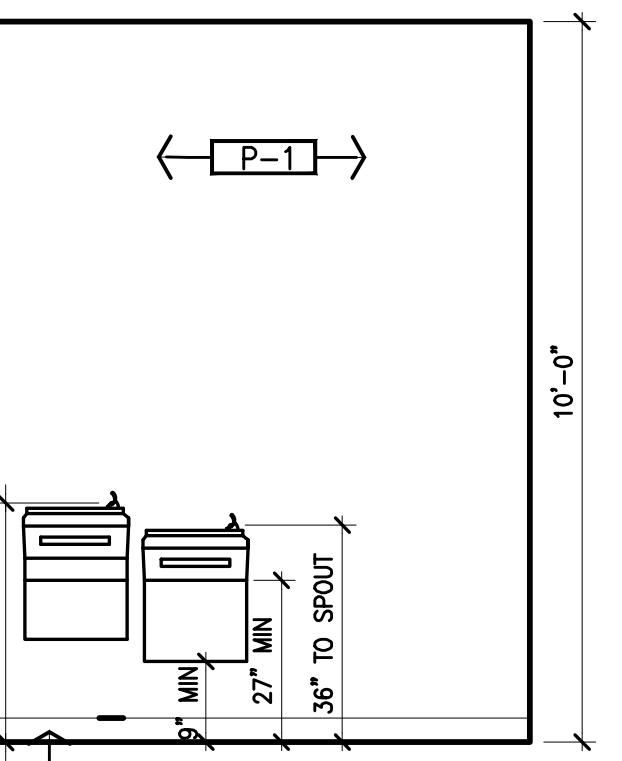
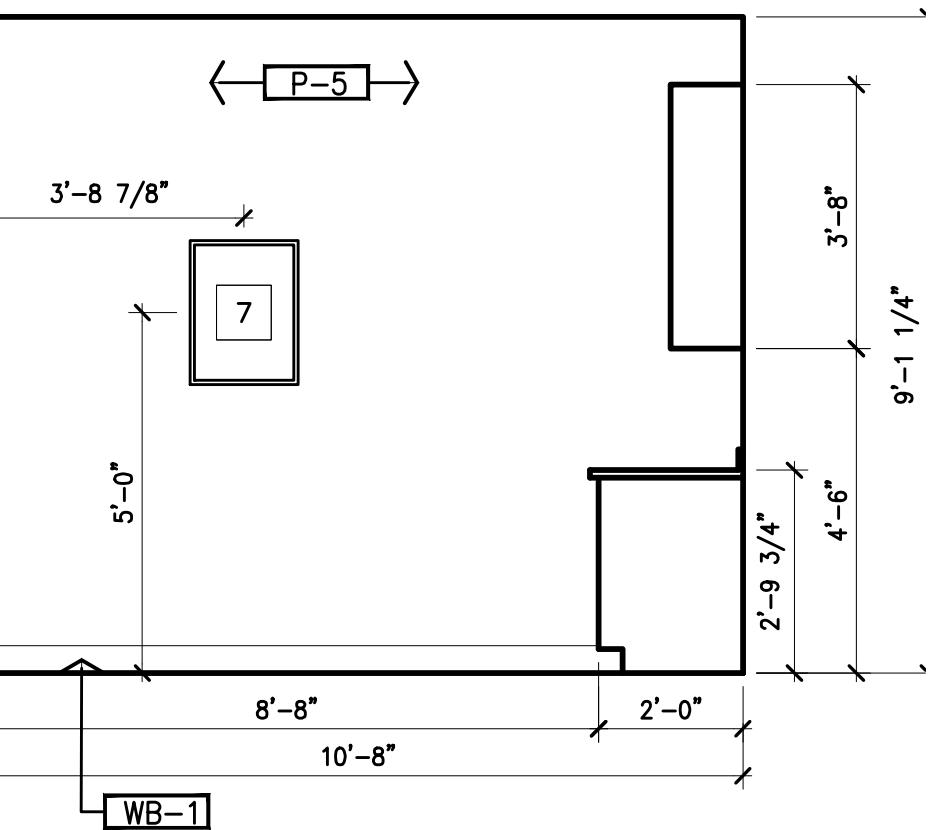
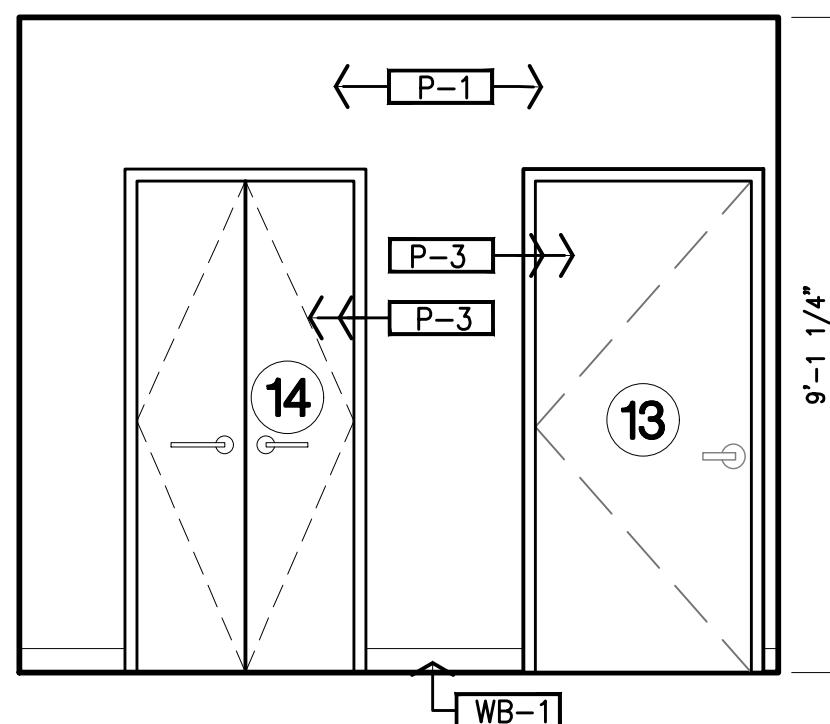
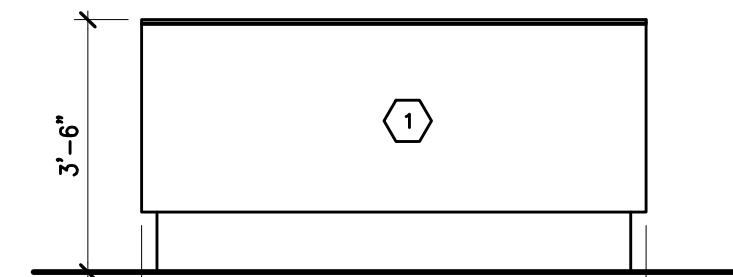
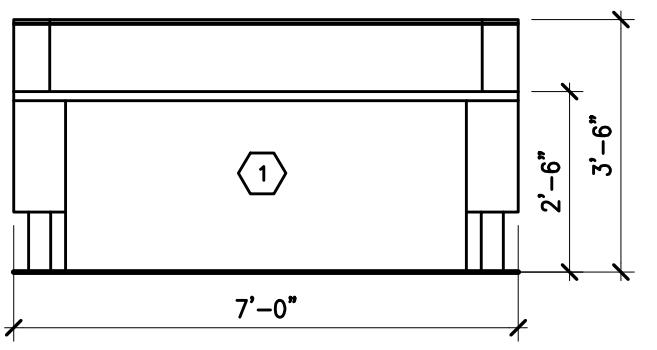
1 ELEVATION - HALLWAY

3/8" = 1'-0"



2 ELEVATION - NURSE STATION

3/8" = 1'-0"



3 ELEVATION - NURSE STATION

3/8" = 1'-0"

4 ELEVATION - NURSE STATION

3/8" = 1'-0"

5 ELEVATION - BREAK ROOM

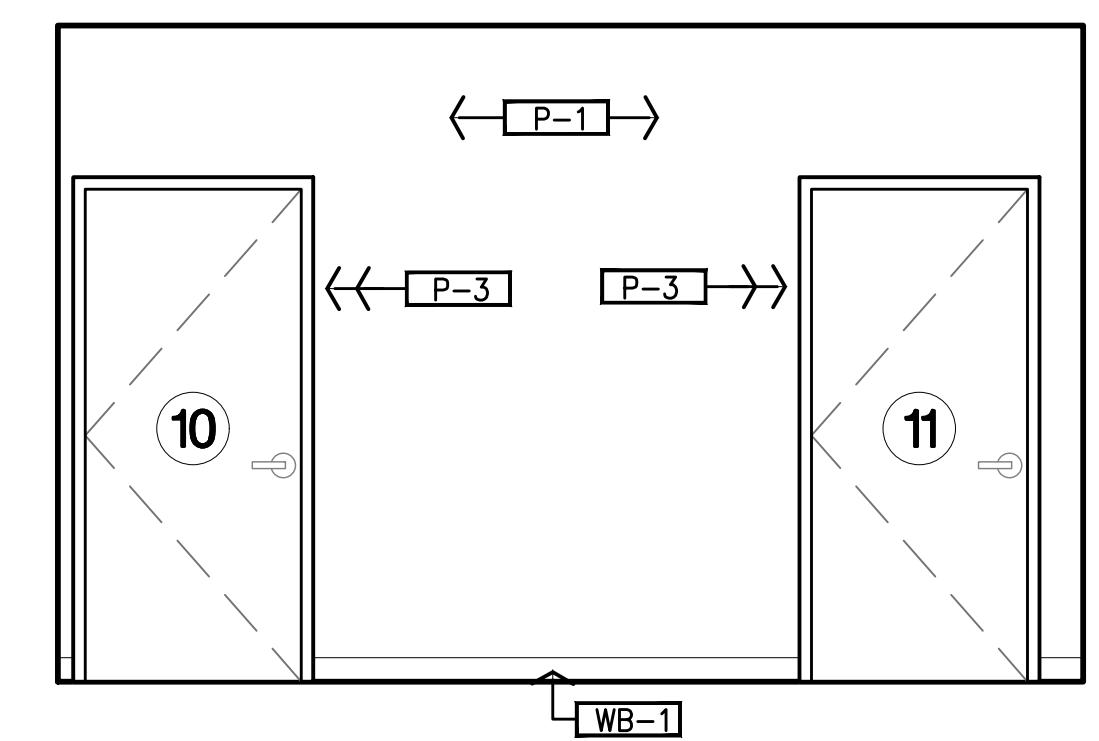
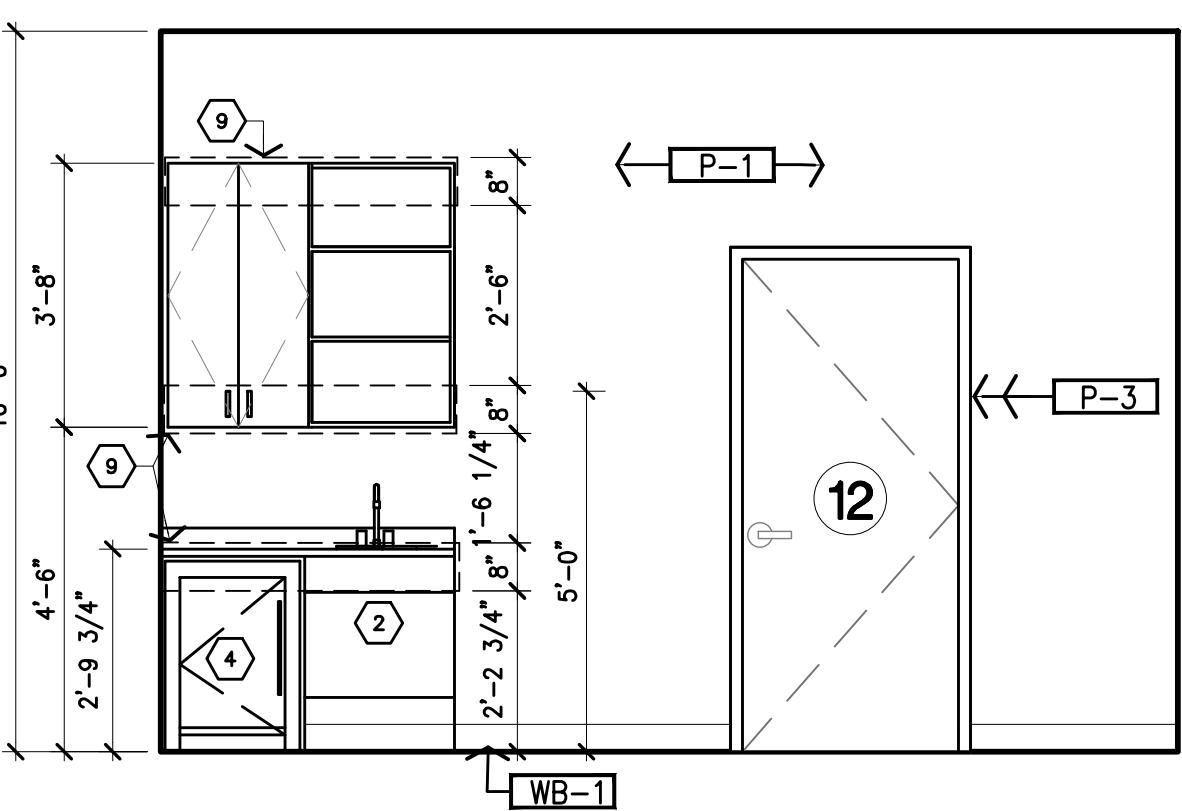
3/8" = 1'-0"

6 ELEVATION - BREAK ROOM

3/8" = 1'-0"

7 WATER FOUNTAIN

3/8" = 1'-0"



8 ELEVATION - BREAK RM

3/8" = 1'-0"

9 ELEVATION - NURSE STATION

3/8" = 1'-0"

WALL ART SCHEDULE

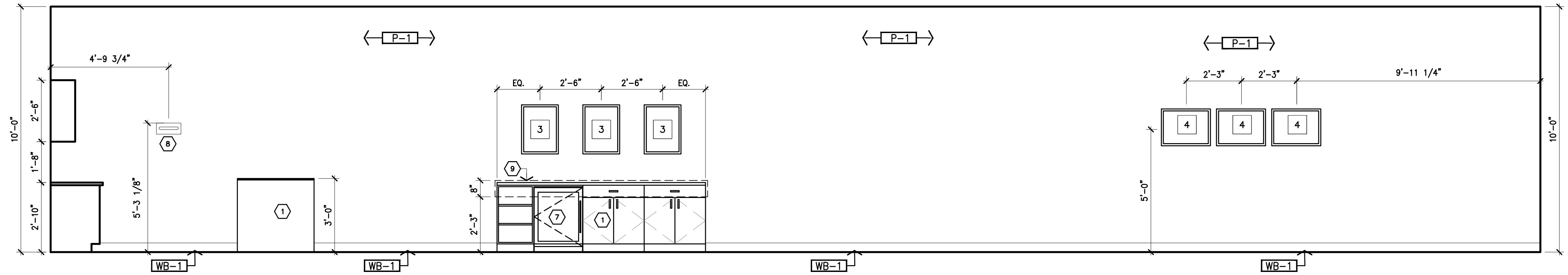
KEY NOTES

SYMBOL	ITEM	DESCRIPTION
1	FRAMED WALL ART	16"X16"; CERTAINLY-FRAMED
2	FRAMED WALL ART	30"X40"; BOAT DOCK
3	FRAMED WALL ART	18"X24"; HORIZON II, III, IV
4	FRAMED WALL ART	18"X24"; LES ITALIENNES I, II, III
5	FRAMED WALL ART	20"X16"; MORNING WALK
6	FRAMED WALL ART	20"X16"; HEXAGON
7	FRAMED WALL ART	24"X24"; MYSTICAL-2
8	WALL CLOCK	12" DIA
9	SHELF W/HOOKS	12-1/2"X12-1/4"
10	WALL MIRROR	30" DIA
11	FRAMED WALL ART	16"X20"; CLOUD-MT

A152

Issue Date 07/11/24			
Revisions			
△	Date	Description	By
△			
△			
△			
△			
△			

Local Infusion
1256 Indian Head Road,
Tom's River,
NJ 08755



1 ELEVATION - PATIENT AREA

3/8" = 1'-0"

SYMBOL	ITEM	DESCRIPTION
[1]	FRAMED WALL ART	16"x16"; CERTAINLY-FRAMED
[2]	FRAMED WALL ART	30"x40"; BOAT DOCK
[3]	FRAMED WALL ART	18"x24"; HORIZON II, III, IV
[4]	FRAMED WALL ART	18"x24"; LES ITALIENNES I, II, III
[5]	FRAMED WALL ART	20"x16"; MORNING WALK
[6]	FRAMED WALL ART	20"x16"; HEXAGON
[7]	FRAMED WALL ART	24"x24"; MYSTICAL-2
[8]	WALL CLOCK	12" DIA
[9]	SHELF W/HOOKS	12-1/2"x12-1/4"
[10]	WALL MIRROR	30" DIA
[11]	FRAMED WALL ART	16"x20"; CLOUD-MT

- MILLWORK BY OWNER
- WALL MOUNTED SIGNAGE BY OWNER. BLOCKING BY G.C. TO COORDINATE WITH SIGN SHOP DRAWINGS.
- WALL MOUNTED TV, BLOCKING BY G.C.
- OPEN TO BEYOND
- WALL-MOUNTED-AED-DEVICE
- WALL-MOUNTED-AED-SIGN
- REFRIGERATOR BY OWNER
- WALL MOUNTED BIOHAZARD BOX AND GLOVES.
- G.C. TO INSTALL 3/8" FRT PLYWOOD TO FILL (3) STUD BAYS. LOCATE PLYWOOD 1" ABOVE OUTLET. V.I.F.
- G.C. TO INSTALL 3/8" FRT PLYWOOD TO FILL (3) STUD BAYS.

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Seal

Job Number 240135

Drawn By JD

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Sheet Title

Interior Elevations

Sheet Number

WALL ART SCHEDULE

KEY NOTES

A153

Issue Date 07/11/24

Rewards	Date	Description	By
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△			
△			
△			
△			

Local Infusion
1256 Indian Head Road,
Tom's River,
NJ 08755

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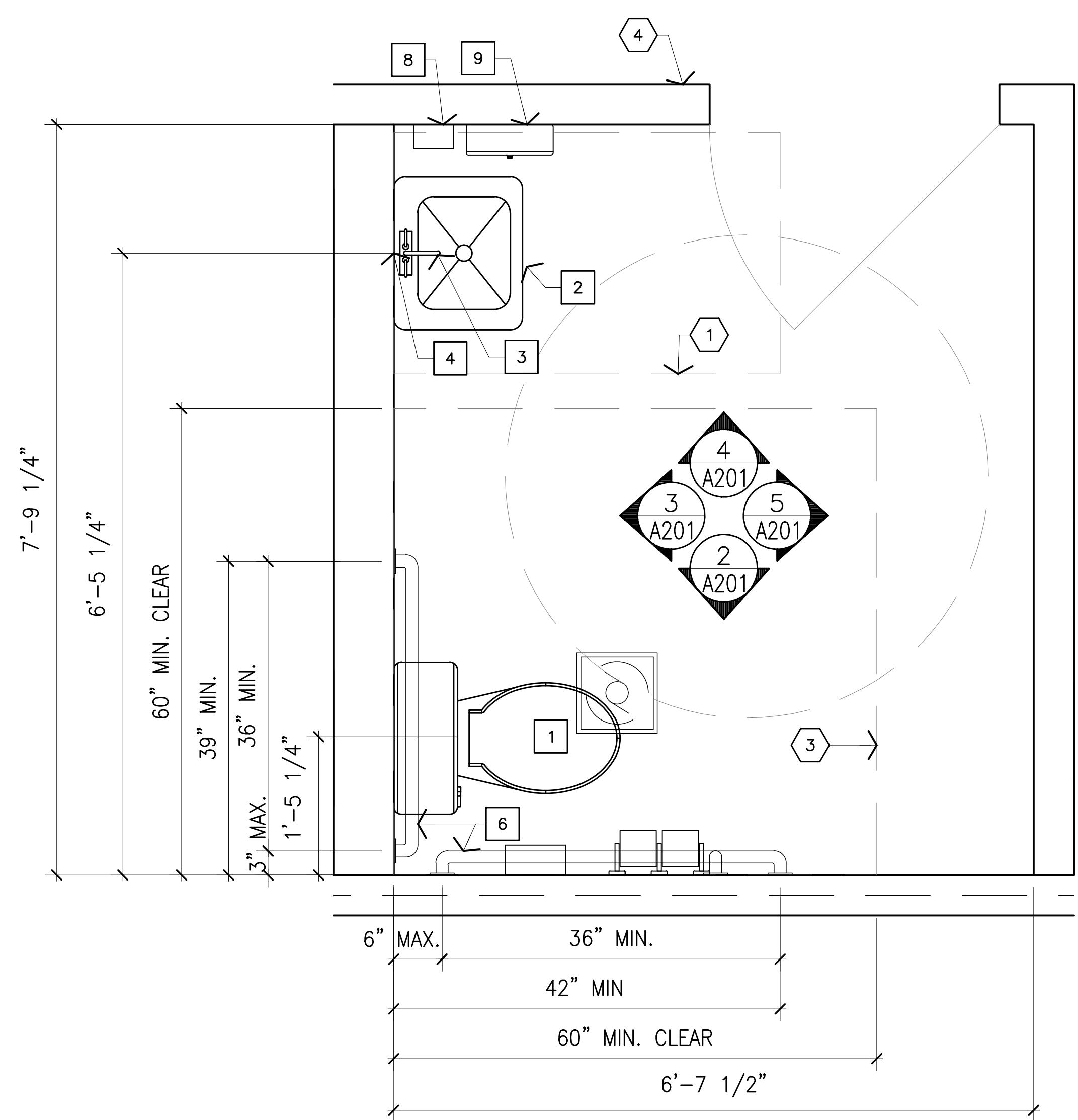
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Sheet Title

Enlarged Restroom Plan & Elevations

Sheet Number

A201

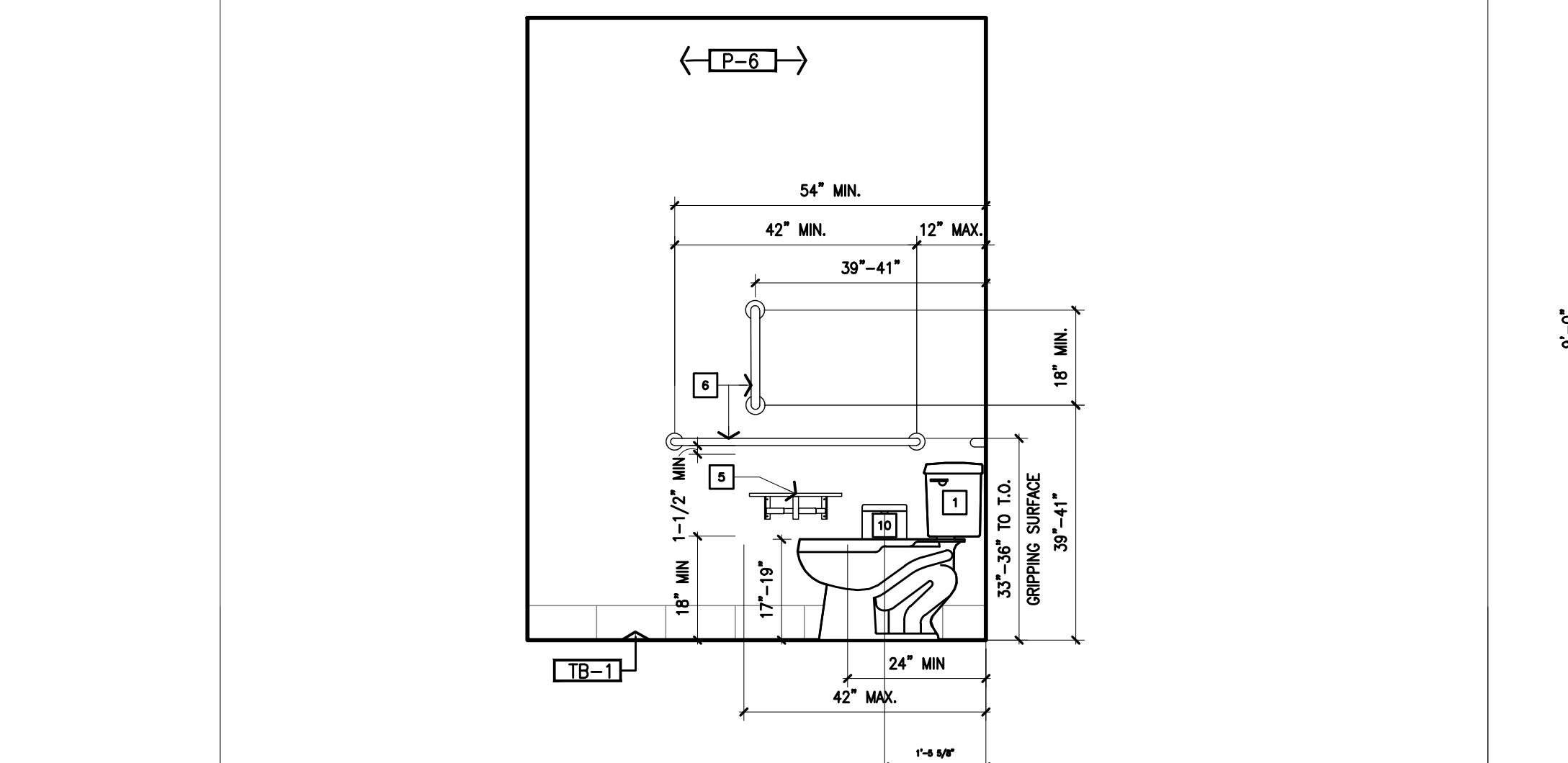


1 ENLARGED RESTROOM PLAN

1' = 1'-0"

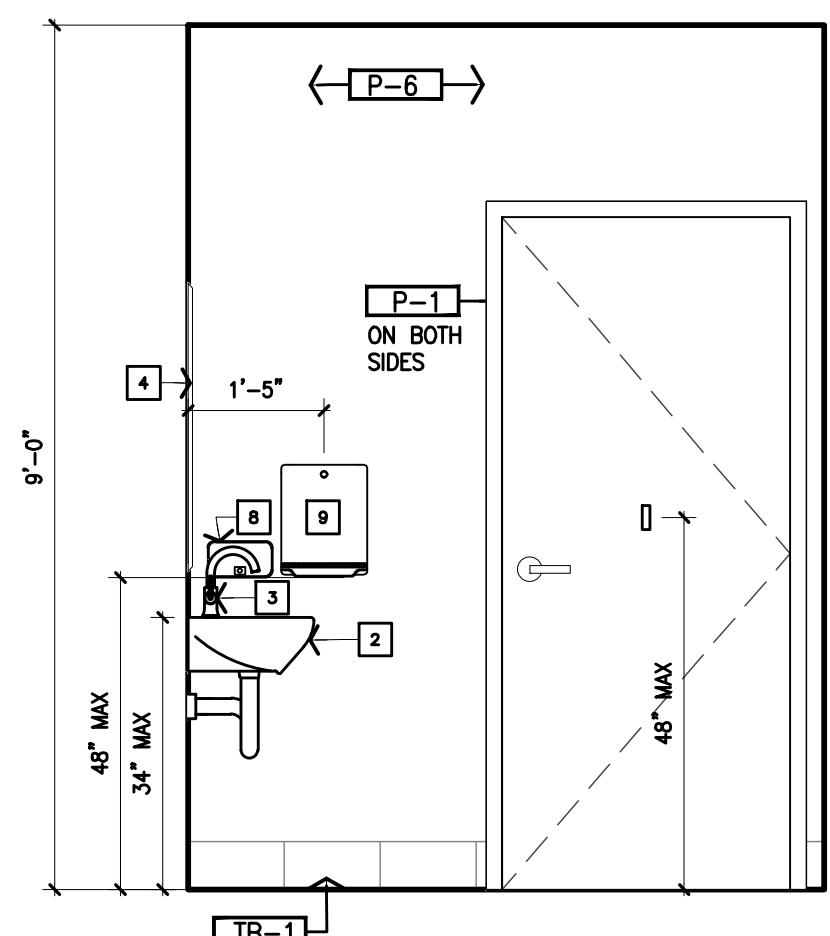
SYMBOL	ITEM	SPECIFICATION	VENDOR	PART #	ACCESSORIES	SUPPLY	INSTALL
1	ADA FLOOR MOUNTED TOILET	KOHLER HIGHLINE COMFORT HEIGHT TWO PIECE ELONGATED 1.28 GPF CHAIR HEIGHT TOILET, WHITE; KOHLER WELLWORTH HIGHLINE TOILET TRIP LEVER, MATTE BLACK; KOHLER LUSTRA ELONGATED TOILET SEAT K-4650, WHITE	KOHLER	K-3999-0 OR K-3999-RA-0	TRIP LEVER-K-937 9-BL TOILET SEAT-K-4850	G.C. TO SUPPLY	G.C. TO INSTALL
2	ADA LAVATORY	ME BY STARCK WASHBASIN COMPACT, FINISH: WHITE	DURAVIT	23436000	3	G.C. TO SUPPLY	G.C. TO INSTALL
3	FAUCET	TRISIC SINGLE HANDLE HIGH-ARC BATHROOM FAUCET, FINISH: STAINLESS STEEL	DELTA	559HA-SS-DST	-	G.C. TO SUPPLY	G.C. TO INSTALL
4	MIRROR	24"x36" MIRROR WITH STAINLESS STEEL ANGLE FRAME	BOBRICK	B-290	-	G.C. TO SUPPLY	G.C. TO INSTALL
5	TOILET PAPER HOLDER	SURFACE-MOUNTED TOILET TISSUE DISPENSER AND UTILITY SHELF	BOBRICK	B-2840	-	G.C. TO SUPPLY	G.C. TO INSTALL
6	ADA GRAB BAR	42", 36" AND 18", FINISH: BRUSHED NICKEL	KARTNERS	8289536-81 / 8289542	-	G.C. TO SUPPLY	G.C. TO INSTALL
7	HOOK	SURFACE-MOUNTED, FINISH: SATIN STAINLESS STEEL	BOBRICK	B-76717	-	G.C. TO SUPPLY	G.C. TO INSTALL
8	SOAP DISPENSER	SURFACE-MOUNTED, FINISH: SATIN STAINLESS STEEL	BOBRICK	B-2112	-	G.C. TO SUPPLY	G.C. TO INSTALL
9	PAPER TOWEL DISPENSER	SURFACE-MOUNTED, FINISH: SATIN STAINLESS STEEL	BOBRICK	B-2620	-	G.C. TO SUPPLY	G.C. TO INSTALL
10	SANITARY NAPKIN DISPOSAL	SURFACE-MOUNTED, FINISH: SATIN STAINLESS STEEL	BOBRICK	B-270	-	G.C. TO SUPPLY	G.C. TO INSTALL

RESTROOM FIXTURES AND ACCESSORIES



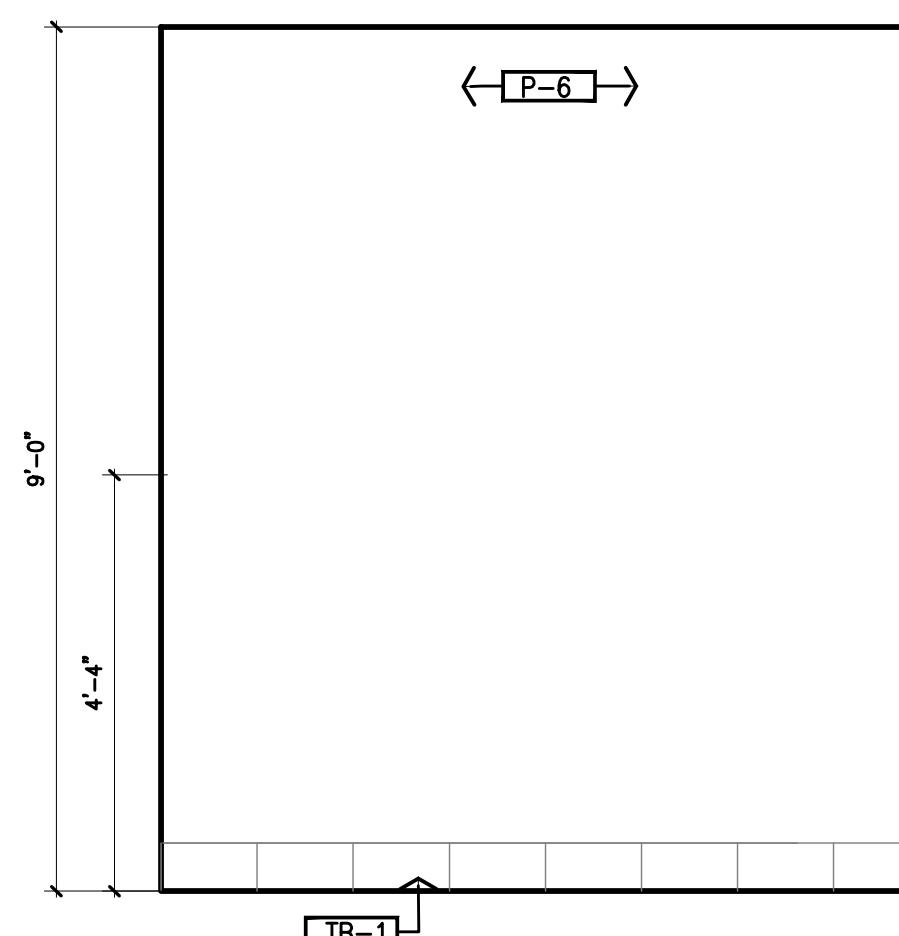
2 ENLARGED RESTROOM PLAN

1/2" = 1'-0"



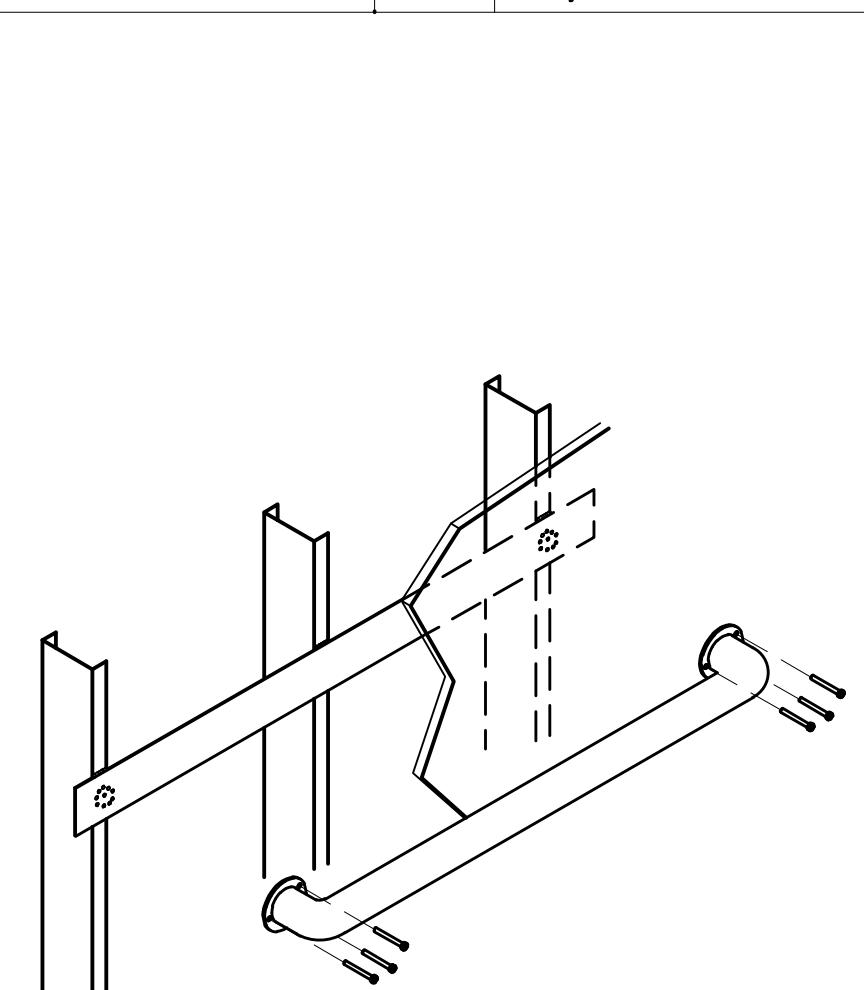
3 ENLARGED RESTROOM PLAN

1/2" = 1'-0"



4 ENLARGED RESTROOM PLAN

1/2" = 1'-0"



ANCHOR PLATES ARE 12 GAUGE STEEL AND 3" WIDE (LENGTH VARIES). FURNISHED WITH STAINLESS STEEL MACHINE SCREWS TO ACCOMMODATE WALL FINISHES TO 1 1/2" THICK ANCHOR PLATES SECURED TO STUDS BY WELDING, WIRING OR SELF THREADING SCREWS.

WATER CLOSET:
THE HEIGHT IS REQUIRED TO BE A MINIMUM OF 17 INCHES AND A MAXIMUM OF 19 INCHES MEASURE TO THE TOP OF THE SEAT. FLUSH CONTROLS ARE TO BE OPERABLE BY AN OSCILLATING HANDLE WITH A MAXIMUM OPERATING FORCE OF 3 lbs. OR BY A REMOTE LOW VOLTAGE BUTTON. THE HANDLE OR BUTTON SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET.

THE REQUIREMENTS FOR TOILET COMPARTMENTS DEPEND ON THE SIZE OF THE WATER CLOSET. THE APPROXIMATE TOE CLEARANCE AT THE FRONT OF THE TOILET ROOM. THERE ARE VARIOUS TYPES AVAILABLE AND COMPETITIVE BIDDINGS MAY CAUSE LATER CHANGES IN THE WATER CLOSET USED. THE FOLLOWING TABLE IS A GENERALIZATION OF THE TYPICAL SIZES AVAILABLE IN THE COMMONLY USED TYPES OF WATER CLOSETS. IF THERE IS ANY DOUBT, DESIGN FOR THE LARGEST TYPE THAT MIGHT BE USED.

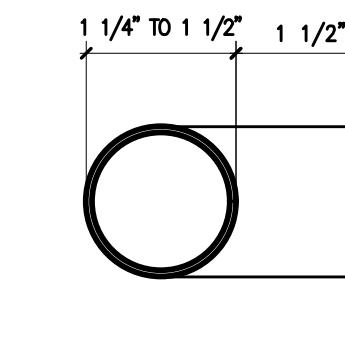
LAVATORY:
PROVIDE A CLEARANCE OF AT LEAST 20 INCHES FROM THE FLOOR TO THE BOTTOM OF THE FAUCET. WITH 36" CLEARANCE UNDER THE FRONT OF THE FAUCET, PROVIDE A CLEARANCE AT LEAST 30 INCHES WIDE, TO 9 INCHES ABOVE THE FLOOR AND 17 INCHES DEEP FROM THE FRONT OF THE LAVATORY.

PROVIDE A CLEAR FLOOR SPACE 30 INCHES BY 48 INCHES IN FRONT OF THE LAVATORY. THE CLEAR SPACE MAY EXTEND INTO KNEE AND TOE SPACE UNDERNEATH THE LAVATORY.

INSULATE OR COVER HOT WATER AND DRAIN PIPES UNDER LAVATORIES. NO SHARP OR ABRASIVE SURFACES ARE ALLOWED UNDER LAVATORIES.

FAUCET CONTROLS AND OPERATING MECHANISMS ARE REQUIRED TO BE OPERABLE WITH ONE HAND AND CAN NOT REQUIRE GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS IS NOT TO EXCEED 5 lbs. LEVER, TURN, SLIDE, PULL, PUSH, SPIN, PULL, PUSHER, AND OTHER OPERATING MECHANISMS ARE EXAMPLES OF ACCEPTABLE DESIGNS. SELF-CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS.

ACCESSIONS:
WHERE TOILET SANITARY NAPKIN AND WASTE RECEPENTES AND SIMILAR DISPENSING AND DISPOSAL FIXTURES ARE PROVIDED, AT LEAST ONE OF EACH TYPE IS TO BE LOCATED WITH ALL OPERABLE PARTS, INCLUDING COIN SLOTS, WITHIN 40 INCHES FROM THE FLOOR.



GRAB BARS:
LOCATE GRAB BARS ON EACH SIDE, OR ONE SIDE AND THE BACK, OF THE WATER CLOSET. 36" ABOVE AND PARALLEL TO THE FLOOR, GRAB BARS AT THE SIDE ARE TO BE AT LEAST 42 INCHES LONG WITH THE FRONT END POSITIONED 12 INCHES IN FRONT OF THE WATER CLOSET. GRAB BARS AT THE BACK CAN NOT BE LESS THAN 36 INCHES LONG.

THE DIAMETER OR WIDTH OF THE GRIPPING SURFACE IS REQUIRED TO BE 1 1/4 TO 1 1/2 INCHES, OR THE SHAPE IS TO PROVIDE AN EQUIVALENT GRIPPING SURFACE. IF GRAB BARS ARE MOUNTED ADJACENT TO A WALL, THE SPACE BETWEEN THE WALL AND THE GRAB BARS IS TO BE 1 1/2 INCHES.

GRAB BARS SHALL NOT ROTATE.

GRAB BARS AND ANY SURFACE ADJACENT TO THEM CAN NOT HAVE ANY SHARP OR ABRASIVE ELEMENTS. EDGES ARE TO HAVE A MINIMUM RADIUS OF 1/8 INCH. BENDING STRESS IN A GRAB BAR INDUCED BY THE MAXIMUM BENDING MOMENT FROM THE APPLICATION OF 250 LB.F. SHALL BE LESS THAN THE ALLOWABLE STRESS FOR THE MATERIAL OF THE GRAB BAR.

SHALLOW SHEAR STRESS IN A GRAB BAR INDUCED BY THE MAXIMUM BENDING MOMENT FROM THE APPLICATION OF 250 LB.F. SHALL BE LESS THAN THE ALLOWABLE SHEAR STRESS FOR THE MATERIAL OF THE GRAB BAR. IF THE CONNECTION BETWEEN THE GRAB BAR AND ITS MOUNTING BRACKET OR OTHER SUPPORT IS CONSIDERED TO BE FULLY RESTRAINED, THEN DIRECT AND TORSIONAL SHEAR STRESSES SHALL BE TOTALLED FOR THE COMBINED SHEAR STRESS, WHICH SHALL NOT EXCEED THE ALLOWABLE SHEAR STRESS.

1. 30" X 48" CLEARANCE @ SINK
2. 5'-0" TURNING RADIUS
3. 60" X 60" CLEARANCE @ ADA WATER CLOSET
4. (N) ADA RESTROOM SIGNAGE, REF: JG102
5. (N) WALL MOUNTED ILLUMINATED WALL SCONCE, REF: ELECTRICAL DRAWINGS.

6. Seal

Job Number 240135

Drawn By JD

Appv'd By RER

Sheet Title

Sheet Number

KEY NOTES

RESTROOM NOTES

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