

Revisions	Date	Description	By
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DESCRIPTION	REMARKS	L = LANDLORD	C = CONTRACTOR	EX	FURNISH BY	INSTALL BY
		O = OWNER	EX = EXISTING	L	O	C
FLOORING	CUTTING/PATCHING BY G.C.			EX	L O C	L O C
CONCRETE SLAB		●			●	●
CERAMIC TILE/BASE					●	●
TRANSITION STRIPS	AS REQUIRED				●	●
CONCRETE CURB	24" Wx24"Dx6'H FOR SAFE				●	●
WALLS		EX	L O C	L O C		
DEMISING PARTITIONS FRAMING		●			●	●
DEMISING PARTITIONS GYP. BD.	PATCH/REPAIR BY G.C.	●			●	●
INTERIOR PARTITION FRAMING & GYP. BD.	PATCH/REPAIR BY G.C.	●			●	●
FRP		●			●	●
FRP @ LOW WALLS & UNDER COUNTER SURFACE					●	●
STAINLESS STEEL BASE					●	●
STAINLESS STEEL CORNER GUARDS	G.C. TO INSTALL AT ALL UNDERCOUNTER LOW-WALLS AND AS NOTED OTHERWISE AT COMMISSARY				●	●
CEILING/SOFFITS		EX	L O C	L O C		
GYP. BD. CURTAIN WALL/CEILING	SEE PLANS FOR LOCATIONS	●			●	●
SUSPENDED T-BAR CLOSS. W/ TILE	SEE PLANS FOR LOCATIONS	●			●	●
DOORS (SEE DOOR SCHEDULE)		EX	L O C	L O C		
ACCESS PANEL	CEILING AND WALLS, AS REQ'D			●		●
DOUBLE ACTING SWING GATE				●		●
DOORS, FRAMES, & HARDWARE	REAR EGRESS DOOR	●				
EQUIPMENT		EX	L O C	L O C		
EQUIPMENT SET UP				●		●
EQUIPMENT	PER EQUIPMENT SCHEDULE			●		●
STORAGE SHELVING	LOCATE AS SHOWN PER PLAN - PROVIDE BACKING AS REQ'D			●		●
SOAP AND TOWEL DISPENSER	LOCATE AS SHOWN PER PLAN - PROVIDE BACKING AS REQ'D			●		●
MILLWORK		EX	L O C	L O C		
SOLID SURFACE COUNTERS AND LOW-WALL	G.C. TO FIELD VERIFY REQ'D. CLEARANCES AND LOCATION OF POWER/DATA/PHONE STUB-UP PRIOR TO CONSTRUCTION			●		●
SOLID SURFACE CASH REGISTER SHROUD	G.C. TO FABRICATE, REF: 2/A.1			●		●
SOLID SURFACE PRETZEL & ROPE IMAGE INLAY	G.C. TO USE INLAY AS TEMPLATE			●		●
LEMONADE RECESSED GLASS W/ LED LIGHT	PURCHASE THROUGH NBI			●		●
MANTLE UNIT (TO INCLUDE REMOVABLE PANEL, LUMI SHEET, PUSH-THRU LETTERS, AND LED LIGHT)	PURCHASE THROUGH NBI			●		●
ACRYLIC W/ APPLIED GRAPHICS	PURCHASE THROUGH NBI			●		●
SIGNS		EX	L O C	L O C		
WALL MOUNTED STOREFRONT SIGN	G.C. TO COORDINATE INSTALLATION WITH VENDOR			●		●
MISC. GRAPHICS/VIDEO GRAPHIC				●		●
LIGHT BOXES				●		●
ACRYLIC FRAMES W/ STANDOFFS				●		●
HAND HELD MARKETING FRAME	PURCHASE THROUGH NBI			●		●
MECHANICAL		EX	L O C	L O C		
HVAC UNIT	SEE MECHANICAL SHEETS	●		●		●
DUCTWORK, DAMPERS, & GRILLES		●		●		●
THERMOSTATS		●		●		●
KITCHEN EXHAUST				●		●
AIR BALANCING REPORT	BY INDEPENDENT CONTRACTOR (IF & AS REQ'D)			●		●
ELECTRICAL		EX	L O C	L O C		
SEVICE	SEE ELECTRICAL SHEETS	●		●		●
ELECTRICAL PANEL		●		●		●
ELECTRICAL CIRCUIT BREAKERS		●		●		●
EMERGENCY & EXIT LIGHTS		●		●		●
LIGHT FIXTURES		●		●		●
HVAC WIRING - LINE VOLTAGE		●		●		●
HVAC WIRING - LOW VOLTAGE	BY WALMART CONTROLS CONTRACTOR IF REQUIRED	●		●		●
EQUIPMENT WIRING	SEE ELECTRICAL SHEETS			●		●
TEMPORARY LIGHTING		●		●		●
SIGNS						
TELEPHONE SYSTEM		EX	L O C	L O C		
CONDUIT - LL MAIN SERVICE RM. TO SPACE		●		●		●
PLYWOOD PANEL BOARD				●		●
EXTEND TELEPHONE SERVICE TO PANELBOARD	BY OWNER'S SERVICE PROVIDER, G.C. SHALL COORDINATE			●		●
TELEPHONE & INTERNET EQUIPMENT				●		●
DATA CABLING & TERMINATIONS				●		●
PLUMBING		EX	L O C	L O C		
WATER & SEWER LINES	SEE PLUMBING SHEETS	●		●		●
WATER HEATER	SEE PLUMBING SHEETS	●		●		●
FLOOR SINKS & DRAIN				●		●
HAND SINKS				●		●
THREE COMPARTMENT SINK				●		●
MOP SINK	SEE PLUMBING & MECHANICAL SHEETS			●		●
GENERAL		EX	L O C	L O C		
PLAN CHECK FEES	PICK UP & PAID FOR BY G.C. AS REQ'D.			●		●
BUILDING PERMIT	PICK UP & PAID FOR BY G.C.			●		●
ALL OTHER PERMITS				●		●
INSPECTIONS AND INSURANCE	AS REQUIRED			●		●
DEMOLITION				●		●
JANITORIAL SERVICE - FINAL CLEANING				●		●
CONSTRUCTION BARRICADE	G.C. TO COORDINATE W/ LL AS REQ'D			●		●
NOTE: REFER TO FINISH SCHEDULES FOR ADDITIONAL NOTES.						

# Wetzel's Pretzels

FRESH PRETZELS LEMONADE HOT DOGS

## WALMART SUPERCENTER #1563 LANCASTER, CA

### PROJECT TEAM

#### WETZELS PRETZELS FRANCHISEE

CHRISTOPHER RINCON  
45333 18TH STREET EAST  
LANCASTER, CA 93535  
PHONE: 661-609-1048  
EMAIL: TAPTOPANGA@GMAIL.COM

#### PROJECT MANAGER:

LAURIE KEYS  
11 WILLINGTON PLACE  
ALISO VIEJO, CA 92656  
PHONE: (949) 215-2187  
FAX: (949) 215-2161  
EMAIL: LAURIEKEYS@OUTLOOK.COM

#### LANDLORD:

WALMART U.S. REAL ESTATE  
2009 SE J STREET  
BENTONVILLE, AR 72712  
SR. PROJECT MANAGER  
REAL ESTATE ACCELERATION AND OPERATIONS: JB DOWDEN  
PHONE: (479) 790-6628  
EMAIL: JB.DOWDEN@WALMART.COM

#### ARCHITECT:

MICHAEL R. BLACK  
2225 E. RANDOL MILL RD., SUITE #300  
ARLINGTON, TX  
TEL: (817) 633-4200

#### ENGINEER:

DANIEL A. REEVES  
2225 E. RANDOL MILL RD., SUITE #300  
ARLINGTON, TX  
TEL: (817) 633-4208

### BUILDING INFORMATION

#### PROJECT ADDRESS:

WETZELS PRETZELS  
44665 VALLEY CENTRAL WAY,  
LANCASTER, CA 93536

#### NUMBER OF LEVELS:

1 OF 1

#### APPLICABLE CODES:

BUILDING: 2022 CALIFORNIA BUILDING CODE, LANCASTER AMENDMENTS  
MECHANICAL: 2022 CALIFORNIA MECHANICAL CODE, LANCASTER AMENDMENTS

#### PLUMBING:

2022 CALIFORNIA PLUMBING CODE, LANCASTER AMENDMENTS

#### ELECTRICAL:

2022 CALIFORNIA ELECTRICAL CODE, LANCASTER AMENDMENTS

#### FIRE:

2022 CALIFORNIA FIRE CODE, LANCASTER AMENDMENTS

#### ENERGY:

2022 CALIFORNIA ENERGY CODE, LANCASTER AMENDMENTS

#### ACCESSIBILITY:

2022 CALIFORNIA BUILDING CODE, LANCASTER AMENDMENTS

#### PROPOSED USE:

B, BUSINESS

#### EXISTING USE:

B, BUSINESS

#### LEASE AREA:

828 GROSS SQUARE FEET

#### OCCUPANCY LOAD:

(Service area) 334 sq. ft. / 200 2

(Commissary) 340 sq. ft. / 300 2

(Customer Area) 77 sq. ft. / 150 1

TOTAL 751 5

TO BE DETERMINED  
TYPICAL  
UBC UNIFORM BUILDING CODE  
UON UNIFORM FIRE CODE  
UTR UL THROUGH ROOF  
VIF VERIFY IN FIELD  
WH WATER HEATER

SHEET  
SIMILAR  
SOFT  
SS STAINLESS STEEL

TBL TO BE DETERMINED  
O/C ON CENTER  
INSUL INSULATION  
PSI POUNDS PER SQUARE INCH  
PLYWOOD  
REFLECTED CEILING PLAN  
SHT SHEET  
SIM SIMILAR  
SOFT SOFT  
SS STAINLESS STEEL

TYP TO BE DETERMINED  
O/C ON CENTER  
INSUL INSULATION  
PSI POUNDS PER SQUARE INCH  
PLYWOOD  
REFLECTED CEILING PLAN  
SHT SHEET  
SIM SIMILAR  
SOFT SOFT  
SS STAINLESS STEEL

TO BE DETERMINED  
TYPICAL

**Wetzel's Pretzels**  
**Walmart Supercenter**  
**6051 Florin Rd,**  
**Sacramento, CA 95823**

Issue Date **10/04/24**

Revisions	Date	Description	By
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**Wetzel's Pretzels**  
FRESH PRETZELS LEMONADE HOTDOGS

**Wetzel's Pretzels**  
6051 Florin Rd,  
Sacramento, CA 95823

**mrb**

MICHAEL R. BLACK, AIA  
2225 E. RANDOL MILL RD., SUITE 300  
ARLINGTON, TEXAS 76011  
817.701.4819  
CALIFORNIA REG. NO.: 26839

## DIVISION 1 - GENERAL REQUIREMENTS

### Section 0100 - General Notes

- A. The "General Conditions" and "Supplementary General Conditions" form a part of the Contract and shall govern the work performed under each section of the Specifications.
- B. The following General Requirements supplement the foregoing General and Supplementary Conditions for Contract work and are hereby considered a part of the Contract Documents.
- C. All work is to be accomplished in compliance with these plans and specifications. All changes must be approved in writing by WETZEL'S or the owner's representative. All costs incurred by WETZEL'S or the owner's representative as a result of unauthorized changes are the responsibility of the individual(s) making the change.

### Section 01010 - Summary of the Work

#### A. References and Definitions

- 1. The Contractor is the person or entity identified as such in the Owner-Contractor Agreement, and is referred to throughout the Contract Documents as if singular and masculine. The term Contractor means the Contractor or his authorized agent.

- 2. A Subcontractor: Is a person or entity who has a direct contract with the Contractor to perform any work at the site. The term Subcontractor is referred to throughout the Contract Documents as if singular in number and masculine in gender and denotes an authorized agent or authorized representative. The Subcontractor does not include a separate contractor.

- 3. Installer: Is the person or entity engaged by the Contractor or his Subcontractor or sub-subcontractor in the performance of a particular unit of work at the project site, including installation, erection, application and similar operations, as installer may be a Subcontractor.

- 4. In the Plans, Specifications, addenda, and other Contract Documents, the abbreviation "GCC" or "GC" or "TCC" is used. These shall be taken to mean the Contractor.

- 5. The term "Owner's Representative" shall be taken to have the same meaning as Owner (as if singular and masculine). The term Owner means the Owner or his authorized agent.

- 6. The Drawings and Specifications are complementary to each other and what is called for by one shall be binding as if called for by both. However, the Drawings and Specifications shall be considered inseparable documents and Contractor shall consider both instruments in order to perform the work in accordance with their combined intent.

- 7. In case of discrepancies in the Contract Documents, Contractor shall first consult with the Owner for clarifications, revision, or further action as may be required prior to starting work affected by the discrepancy.

- 8. Dimensions shall govern over scale sizes, large scale or full size details over small scale Drawings, and Specifications over Drawings.

- 9. The Contractor, Subcontractor and installers are cautioned not to scale drawings. Should a dimension not be known or shown, consult the Owner's Representative for advise.

#### B. Project/Work Summary

- 1. General: The work of this Contract involves and includes the construction of a new WETZEL'S retail store in a leased space at the location specified in the title block. WETZEL'S is referred to herein as the Owner.

- 2. Contract Documents indicate the work of the Contract, and related provisions of project which may include but are not necessarily limited to the following:

- a. Existing site conditions and restrictions:

  - (1) Survey and Layout of Work: Contractor shall check carefully all levels and conditions and shall call attention in writing to any discrepancies, before proceeding with work. Any discrepancy in the information provided on the Drawings or found within the owner's survey shall be reported immediately to the Owner. Contractor will obtain and follow Landlord's construction requirements of no additional cost to the bids.
  - b. Requirements for Owner occupancy at the established date of "Substantial Completion" and prior to final completion of work of Contract.
  - c. Other work to be performed concurrently by Owner.

- d. Owner-purchased and furnished material/ equipment to be installed under the work of this Contract.

- 3. This Contract may also include (but are not yet specifically stated herein):

- a. Pre-negotiated material/equipment orders assigned as work of Contract.
- b. Pre-purchased subcontracts for Contract, with subcontract amount included in Sum.

- 4. Summary by Reference: Work of Contract can be summarized by reference to the Contract, Instructions to Bidders, Supplementary Conditions, sections as listed in the bound herewith, Drawings as listed in "Schedule of Drawings" bound herewith, addenda and modifications to the Contract Document issued subsequent to the initial printing of this Project Manual, and including but not necessarily limited to, printed matter referenced by any of these. It is recognized that work of Contract is also unavoidably affected or influenced by governing regulations, natural phenomena including weather conditions, and other forces outside the Contract Documents.

- 5. Abbreviated Written Summary: Briefly, and without force and effect upon Contract Documents, work of Contract can be summarized as follows:

- a. The work includes construction of a retail store on the site as shown, doors, hardware, glazing interior finishes and furnishings including architectural woodwork, floor finishes, acoustical ceilings, and a portion of the signage.

- b. The work also includes: plumbing, fire protection, heating-ventilating-air conditioning, electrical systems, lighting, and security systems.

- 6. The Owner will furnish certain materials and equipment. However, the work of this Contract includes certain support systems to receive and service Owner's equipment. These items will be summarized in the Instructions to General Contractors, in limited fashion, but are also called out in detail under various sections of the work.

### Section 01011 - Examination of Contract Documents

- A. Before submitting proposal, each Bidder should carefully examine all Drawings, Specifications, addenda (if any), and all other Contract Documents.

- B. Submission of proposal implies that Bidder is fully informed regarding all requirements of the Contract Documents, also all site conditions. No additional compensation will be paid to the Contractor due to this failure to be fully informed regarding requirements of the Contract Documents.

- C. Protection and the safety of persons using the site, parking areas and existing facilities shall be paramount, as well as the non-disruption of essential services.

### Section 01016 - Owner Occupancy

- A. The Owner reserves the right to take initial occupancy of the building at the earliest possible date, particularly with regard to delivery and installation of store fixtures, and merchandise. Depending on the progress of the general contractor's work, this may or may not create some inconvenience. The general contractor should anticipate this possibility. Claims for time delays and/or extra costs due to such inconvenience will not be allowed.

### Section 01017 - Pre-Negotiated Orders

- A. General: Prior to date of Contract, and for purpose of expediting delivery and for other purposes in Owner's interests, Owner may negotiate costs or make other commitments to be indicated with suppliers of materials/equipment that may be incorporated into the work by Contractor. Those orders and commitments will be assigned to Contractor, and costs place in Contract Sum. Contractor's responsibilities are some as if Contractor has negotiated purchase orders, including responsibility to renegotiate purchases if necessary and to execute final purchase order agreements. A "Schedule of Pre-Negotiated Prices" (if any) will be given to the Contractor or successful bidder, as the case may be.

### Section 01041 - Supervision, Coordination and Layout

- A. All work included in the Contract shall be under the constant supervision of a qualified superintendent who has been employed directly by the General Contractor for a minimum of the preceding 6 (six) months. All work shall be in compliance with Landlord's rules and requirements and accomplished within the Base Bid.

- B. The Contractor shall submit the name of all Subcontractors to the Owner's Representative for approval prior to awarding of the subcontract work. The Owner reserves the right to approve or disapprove of any Subcontractors.

- C. In order to maintain proper coordination and continuity of all branches of work, job superintendents or foremen shall not be changed during the course of the project without prior notice to and approval of the Owner's Representative.

- D. The Contractor and Subcontractors shall carefully examine ALL Drawings and Specifications for the total project and coordinate his work with others to avoid delay and shall be responsible to ascertain that the work he installs does not interfere, or it shall be corrected at the installing Contractor's expense. Preoccupation of space by any Contractor or Subcontractor does not give him the right of priority to the space.

- E. When piping, conduits, ducts or other items are run in the same general direction, elevation or location, the Subcontractors involved shall request the GC to arrange a conference to determine the proper allocation of the space or position.

- F. When work is to be installed above ceilings, adequate clearance must be maintained to allow for access, repairs, and removal of all devices. Each Subcontractor shall be responsible for protecting his/her installation from being blocked off by others. Should a conflict occur, he/she shall bring the matter to the attention of the General Contractor for resolution.

- G. Each Contractor shall be responsible for any layout associated with the performance of his work. Should a Subcontractor's work be subsequent to and contingent upon layout by another, he shall check said layout prior to proceeding with his work, reporting any discrepancies to the GC. Proceeding with the layout shall be considered as acceptance of the layout.

### Section 01045 - Cutting and Patching

- A. Each Subcontractor shall be responsible for the condition and contents of the tenant space. Each Subcontractor shall be responsible to provide all cutting and patching required to perform and install their respective work. Cutting shall be in a neat, workmanlike manner, and shall be done with carboring equipment wherever possible. Patching shall be performed carefully, and where necessary shall be done by skilled labor of the respective trade of work being patched. Each Subcontractor shall restore the work to "as new" condition.

- B. Sleeves, inserts, boxes, etc., for plumbing and heating pipes and electrical conduits will be furnished and installed as specified under the various sections of that work. In case such sleeves are not furnished in time, the Contractor shall form openings in the work, after coordinating with the trades involved for proper location, and the Subcontractor shall be held responsible for any cutting and patching thereafter in connection with same. All voids between pipes, conduits, etc., and sleeves shall be sealed to comply with Fire Code requirements.

- C. Each Subcontractor shall do all cutting promptly and shall make all repairs necessary to leave the entire work herein mentioned in a proper condition.

- D. Portable Fire Extinguishers: Supplied by GC – during construction and supplied new of Project Completion – including bracket and sign.

- E. One standard listed multipurpose dry chemical fire extinguisher, per local code, should be provided and located for each 3,000 square feet of new construction floor or fraction thereof. Additional extinguishers shall be provided at locations as shown on the drawings, or as directed by Fire Marshal.

- F. NOTE: The above requirement is the maximum permitted area of coverage per fire extinguisher location. Depending on partition arrangements, amount and location of barricades, obstructions, and combustible materials, additional fire extinguishers may be required. Sound engineering judgment should be used to assure adequate coverage.

- G. All workers should be instructed in the proper use of fire extinguishing equipment.

- H. No Contractor or Subcontractor shall endanger and/or damage any work by cutting, drilling, digging or other actions. No Contractor or Subcontractor shall cut or alter the work of other Contractors or Subcontractors without prior written approval by the Owner's Representative.

- I. Any cost caused by defective and/or ill-timed work shall be borne by the Subcontractor responsible therefore.

- J. In no case shall any Contractor or Subcontractor cut into any base building components, structural element, beam or column without prior written approval from the Landlord and the Owner.

- K. Each Subcontractor shall be responsible to follow the progress of the project to assure that his portion of the work is installed at the appropriate time to avoid unnecessary cutting, patching modifications to his work and/or the work of other Contractors.

- L. In case any Contractor is required to cut existing work in order to install the work required from his portion of the contract, the Contractor requiring the cutting shall bear the expense of the cutting and all subsequent repairs, patching, and/or replacement. All cutting, patching, repairing, and/or replacing shall meet with the approval of the Owner's Representative.

- M. Any connections to or relocation of any existing utility line requiring temporary discontinuation of utilities which are in active use shall be scheduled and coordinated with the utility companies and/or the representatives of the Owner. An overtime required for the relocation of any utility connection or relocation shall be reimbursed in proportion to the bid. In no case shall the utility be left disconnected at the end of a working day or weekend unless authorized by representatives of the Owner in writing. Any existing utilities damaged due to the operation of any Contractor shall be repaired to the satisfaction of the Owner or utility company or agency, by the Contractor causing the damage, at no increase in the Contract cost.

- N. Any connections to or relocation of any existing utility line requiring temporary discontinuation of utilities which are in active use shall be scheduled and coordinated with the utility companies and/or the representatives of the Owner. An overtime required for the relocation of any utility connection or relocation shall be reimbursed in proportion to the bid. In no case shall the utility be left disconnected at the end of a working day or weekend unless authorized by representatives of the Owner in writing. Any existing utilities damaged due to the operation of any Contractor shall be repaired to the satisfaction of the Owner or utility company or agency, by the Contractor causing the damage, at no increase in the Contract cost.

- O. All work installed by the Contractor or Subcontractor shall be in compliance with governing Federal, State and Local Codes. All electrical work shall comply with the National Electrical Code (NEC-date of issue as adopted by local jurisdiction); except where more stringent local or other codes must govern. If any portion of work called for in the Specifications or shown on the Drawings is deemed contrary to the codes and requirements, Subcontractor shall be required to bring the matter to the attention of the GC prior to roughing in so that some can be reviewed for clarification or revision. Installations made without regard to code requirements must be corrected by the Contractor or Contractors without an increase in the contract amount.

- P. This Contractor shall apply for, pay all fees and obtain the Certificate of Occupancy (C of O).

- Q. Any "Standard" (ASTM, ASA, etc.) referenced in these Specifications shall be based on the edition and/or amendments of the Standard as specified herein. In cases where the edition or date of the "Standard" is not specified, the edition and/or amendments of the Standard which are current on the date the bids are submitted shall govern. Should a more current edition of a Standard become effective during construction, the Contractor may, with the approval of the Owner, apply the latest edition of the specified Standard.

### Section 01100 - Permits, Regulations, Codes & Standards

- A. The Contractor shall secure and pay for all required permits necessary for the execution of his work, except as otherwise stated herein.

- B. The Contractor will file plans and pay the filing fee for the building permit. The Contractor shall obtain the building permit and file in all necessary documents as required by local custom. Subcontractors shall file for and pay all fees for their respective permits.

- C. Contractor shall give all notices and comply with all laws, ordinances, rules and regulations bearing on the conduct of the work or on the premises.

- D. All work installed by the Contractor or Subcontractor shall be in compliance with governing Federal, State and Local Codes. All electrical work shall comply with the National Electrical Code (NEC-date of issue as adopted by local jurisdiction); except where more stringent local or other codes must govern. If any portion of work called for in the Specifications or shown on the Drawings is deemed contrary to the codes and requirements, Subcontractor shall be required to bring the matter to the attention of the GC prior to roughing in so that some can be reviewed for clarification or revision. Installations made without regard to code requirements must be corrected by the Contractor or Contractors without an increase in the contract amount.

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### Section 01100 - Alternates/Alternatives

- A. Specified Manufacturer's Substitutions and Alternatives

- 1. The following provisions shall govern the bidding of all work. The provisions specified below shall not relieve the Contractor from meeting other requirements set forth elsewhere in the Bidding or Contract Documents.

Revisions	Date	Description	By
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FRESH PRETZELS LEMONADE HOT DOGS

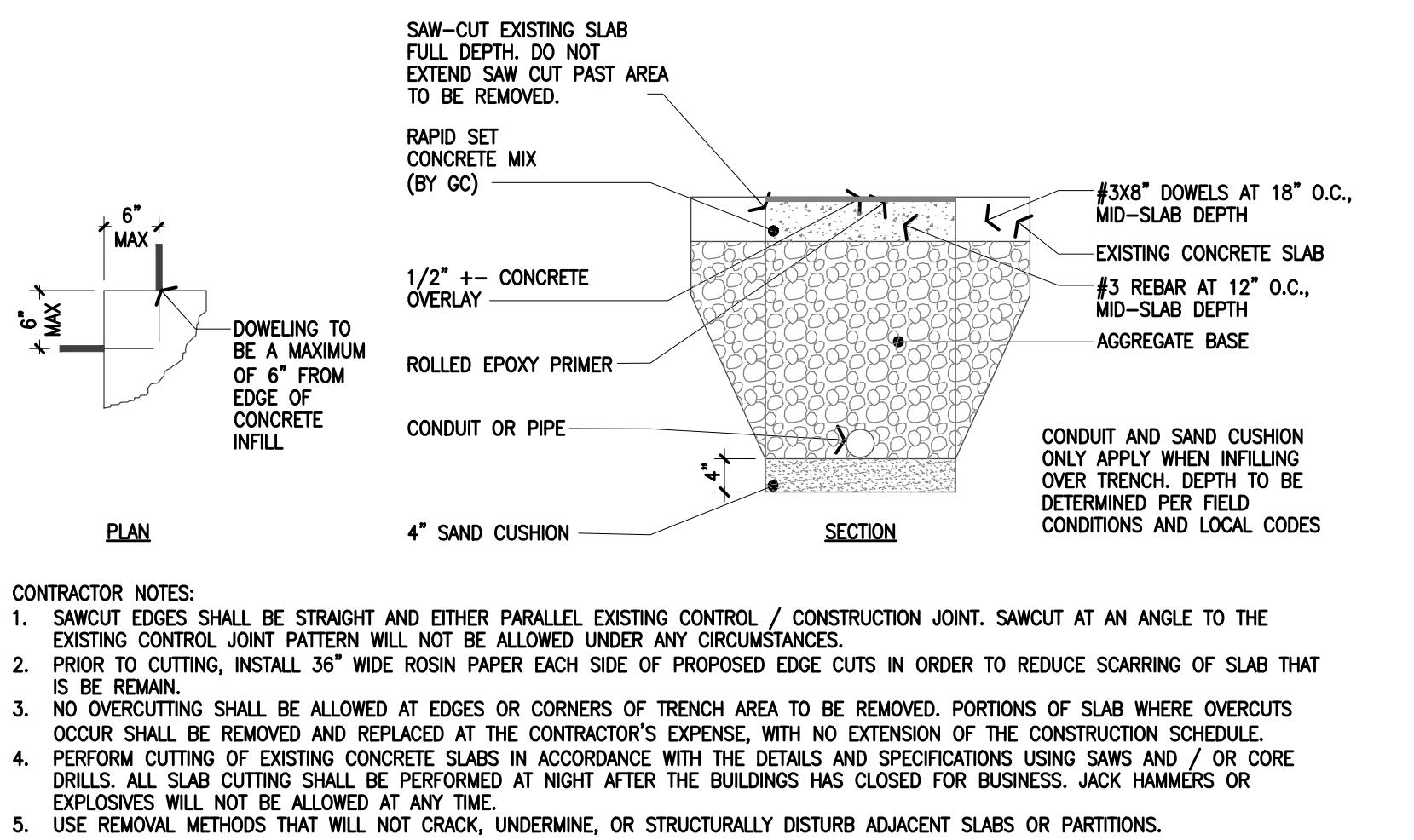
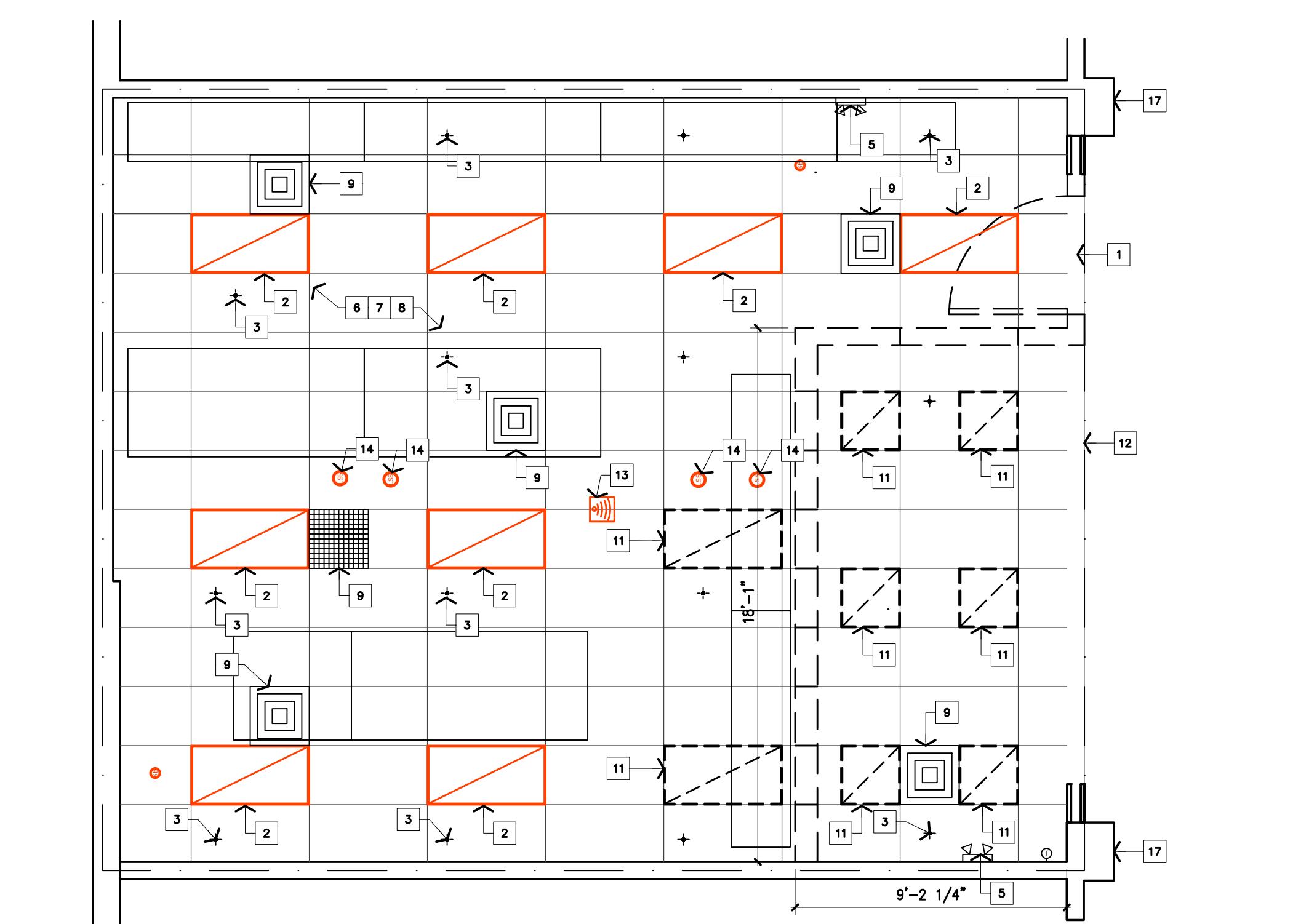
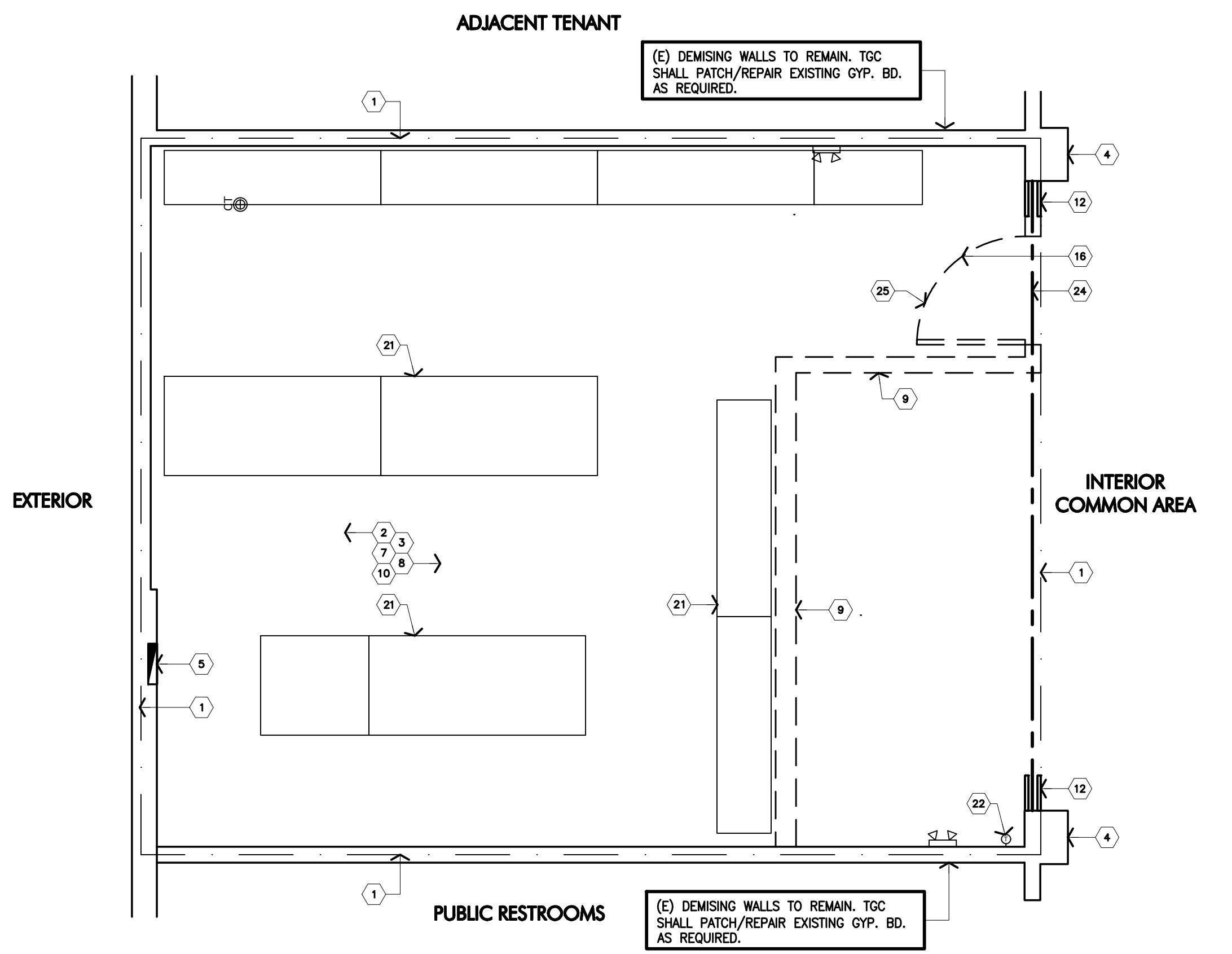
Walmart Supercenter  
6051 Florin Rd,  
Sacramento, CA 95823

Job Number	240282
Drawn By	
App'd By	
Sheet Title	

Demolition Floor Plan & RCP

Sheet Number

A1.1



### 3 Slab Trenching Detail

Scale: N.T.S.

#### FLOOR PLAN KEY NOTES

1. ASSUMED LEASE LINE, V.I.F.
2. G.C. SHALL FIELD VERIFY (E) CONDITIONS IN FIELD FOR INCLUDING BUT NOT LIMITED TO, SPACE DIMS, OBSTRUCTIONS, HIDDEN CONDITIONS, OR CONFLICTS W/ DRAWINGS. CONTACT WETZEL'S PROJECT MGR. & ARCHITECT @ START OF CONSTRUCTION. IF CONFLICTS ARE NOT REPORTED PRIOR TO START OF CONSTRUCTION, G.C. WILL BE HELD RESPONSIBLE FOR ANY CHANGES OR WORK DUE TO UNREPORTED DIFFERENCES AND SHALL BE @ G.C.'S EXPENSE.
3. G.C. SHALL FIELD VERIFY (E) ELECTRICAL CONDITIONS PRIOR TO SUBMITTING BID TO CONSTRUCTION MANAGER FOR RE-USE WITH (N) TENANT ELECTRICAL CONDITIONS, REF: ELECTRICAL.
4. (E) LL. FINISHED TO REMAIN. G.C. TO PROTECT DURING CONSTRUCTION.
5. (E) ELECTRICAL PANEL TO REMAIN.
6. (E) EXIT-DOOR AND HARDWARE TO REMAIN
7. G.C. TO REMOVE (E) SWITCHES AND OUTLETS BACK TO SOURCE U.N.O. REF: ELECTRICAL DRAWINGS.
8. G.G. TO REMOVE ANY EXISTING FURNISHING, EQUIPMENT, GRAPHICS LEFT FROM PREVIOUS FINISH OUT, V.I.F.
9. (E) WALL TO BE REMOVED AND DISCARDED.
10. (E) WOOD FLOORING AND VINYL BASE TO BE REMOVED AND DISCARDED.
11. (E) WALL-HUNG MILLWORK, MIRRORS, AND WALL-MOUNTED LIGHTS TO BE REMOVED AND DISCARDED. G.C. TO PATCH/REPAIR GYP. BD. BEHIND AS REQUIRED.
12. (E) STOREFRONT WALL AND WINDOWS TO BE REMOVED AND DISCARDED UP TO LL. BULKHEAD; COORDINATE WITH WALMART.
13. (E) MILLWORK AND SINK TO BE REMOVED AND DISCARDED.
14. (E) SHAMPOO SINK TO BE REMOVED AND DISCARDED.
15. APPROXIMATE AREA OF TRENCHING, REF: 3/A1.1 AND PLUMBING DRAWINGS.
16. DEMO AND DISCARD (E) STOREFRONT BARRICADE AND SIDE FOLDING SECURITY GRILLE.
17. (E) MILLWORK AND CABINETS TO BE REMOVED AND DISCARDED. G.C. TO CAP PLUMBING IN WALL; COORDINATE IN-SLAB PLUMBING WITH PLUMBING DRAWINGS.
18. (E) FIRE RISER TO REMAIN.
19. (E) WASHER/DRYER, MICROWAVE, REFRIGERATOR, AND WALL CABINETS TO BE REMOVED AND DISCARDED.
20. (E) WATER HEATER TO REMAIN.
21. (E) CABINETS AND SHELVES TO BE REMOVED AND DISCARDED.
22. (E) THERMOSTAT TO REMAIN.
23. (E) TELEPHONE BOARD TO BE RELOCATED.
24. (E) SIDE FOLDING GRILLE TO BE REMOVED AND DISCARDED.
25. (E) DOOR AND HARDWARE TO BE REMOVED AND DISCARDED.

#### CEILING PLAN KEY NOTES

1. (E) CEILING SOFFIT TO REMAIN, COORDINATE WITH DEMO OF WALL.
2. (E) LIGHT FIXTURE TO REMAIN. REF: ELECTRICAL DRAWINGS.
3. (E) SPRINKLER HEADS TO REMAIN. G.C. TO COORDINATE ANY SPRINKLER HEAD RELOCATION AS REQUIRED FOR NEW WALL/ EXHAUST HOOD.
4. (E) LIGHT FIXTURE TO BE RELOCATED. REF: ELECTRICAL DRAWINGS.
5. (E) EMERGENCY LIGHT TO REMAIN. REF: ELECTRICAL DRAWINGS.
6. G.C. SHALL FIELD VERIFY (E) CONDITIONS IN FIELD FOR INCLUDING BUT NOT LIMITED TO, SPACE DIMS, OBSTRUCTIONS, HIDDEN CONDITIONS, OR CONFLICTS W/ DRAWINGS. CONTACT WETZEL'S PROJECT MGR. & ARCHITECT @ START OF CONSTRUCTION. IF CONFLICTS ARE NOT REPORTED PRIOR TO START OF CONSTRUCTION, G.C. WILL BE HELD RESPONSIBLE FOR ANY CHANGES OR WORK DUE TO UNREPORTED DIFFERENCES AND SHALL BE @ G.C.'S EXPENSE.
7. G.C. SHALL FIELD VERIFY (E) ELECTRICAL CONDITIONS PRIOR TO SUBMITTING BID TO CONSTRUCTION MANAGER FOR RE-USE WITH (N) TENANT ELECTRICAL CONDITIONS, REF: ELECTRICAL.
8. (E) ACT CEILING GRID TO REMAIN. REMOVE & DISCARD ALL (E) ACT CEILING TILES.
9. (E) GRILLES/ DIFFUSERS TO REMAIN.
10. (E) EMERG/EXIT LIGHT TO REMAIN.
11. (E) LIGHT FIXTURE TO BE REMOVED AND DISCARDED.
12. (E) BULKHEAD TO REMAIN.
13. (E) SPEAKER TO REMAIN.
14. (E) FIRE STROBE TO REMAIN/RELOCATED.
15. NOT USED.
16. PORTION OF (E) ACT CEILING SHOWN DASHED TO BE REMOVED/ DISCARDED.
17. LL. FINISHES TO REMAIN. G.C. TO PROTECT DURING.
18. (E) TRACK LIGHT TO BE REMOVED AND DISCARDED.
19. (E) GRILLES/ DIFFUSERS TO BE RELOCATED.

#### LEGEND

— Existing Partition to Remain    - - - - - Demolition

#### LEGEND

1. REFER TO SHEET A0.2 FOR GENERAL NOTES AND REQUIREMENTS.
2. REMOVE ALL (E) FLOOR AND WALL FINISHES AS NECESSARY FOR WORK.
3. PATCH AND REPAIR ALL AREAS OF DEMOLITION TO CREATE A SMOOTH SURFACE TO ACCEPT SPECIFIED MATERIAL.
4. CAP OFF ALL UNUSED ELECTRICAL SUPPLY AND WASTE LINES, PLACE MARKERS TO INDICATED LOCATIONS OF DISCONNECTED SERVICE. IDENTIFY LINES AND CAPPING LOCATIONS ON PROJECT RECORD DOCUMENTS.
5. PROVIDE, ERECT, AND MAINTAIN BARRICADES, LIGHTING, AND GUARD RAILS AS REQUIRED BY APPLICABLE REGULATORY ADVISORY TO PROTECT OCCUPANTS OF BUILDING, WORKERS, AND PEDESTRIANS.
6. CEASE OPERATIONS AND NOTIFY THE OWNER IMMEDIATELY IF SAFETY OF THE STRUCTURE APPEARS TO BE ENDANGERED. TAKE PRECAUTIONS TO PROPERLY SUPPORT STRUCTURE. DO NOT RESUME OPERATION UNTIL SAFETY IS RESTORED.
7. ARRANGE AND PAY FOR DISCONNECTING, REMOVING, AND CAPPING UTILITY SERVICES WITHIN AREAS OF DEMOLITION. DISCONNECT AND STUB OFF, NOTIFY THE AFFECTED UTILITY COMPANY AND BUILDING MANAGER ADVANCE AND OBTAIN APPROVAL BEFORE STARTING THIS WORK.
8. ALL (E) UTILITIES, PIPES, LINES, AND CONDUITS WHICH ARE TO REMAIN SHALL BE CONCEALED WITHIN FLOORS, WALLS, OR CEILINGS.
9. (E) SPRINKLER SYSTEM IS TO REMAIN AND BE REUSED. G.C. IS RESPONSIBLE FOR COORDINATING SPRINKLER SYSTEM SHUT DOWN WITH THE LL'S REPRESENTATIVE PRIOR TO DEMOLITION AND PAY FOR ALL COSTS ASSOCIATED WITH THE SHUT DOWN.
10. (E) LIFE SAFETY SYSTEM/ALARM SYSTEM, IF (E) AND REQUIRED, SHALL REMAIN AND BE RECONFIGURED FOR NEW TENANT BUILD-OUT. DO NOT REMOVE, MODIFY ONLY. G.C. SHALL VERIFY PRIOR TO DEMOLITION/CONSTRUCTION.
11. REMOVE ALL UNUSED EQUIPMENT, PIPING, CONDUITS, ETC. TO THE POINT OF ORIGIN AND SPACE RESTORED TO ORIGINAL CONDITION. NOTHING IS TO BE ABANDONED WITHIN THE SPACE.



Project Address

**Wetzel's Pretzels**  
Walmart Supercenter  
6051 Florin Rd,  
Sacramento, CA 95823

Issue Date  
10/04/24

Revisions	Date	Description	By
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**Wetzel's Pretzels**  
FRESH PRETZELS HOT DOGS  
LEMONADE

Wetzel's Pretzels  
Supercenter  
6051 Florin Rd,  
Sacramento, CA 95823

**mrb**  
MICHAEL R. BLACK, AIA  
2225 E. RANDOL MILL RD., SUITE 300  
ARLINGTON, TEXAS 76011  
817.701.4819  
CALIFORNIA REG. NO. 26839

MK.	DESCRIPTION	SUPPLIER	QTY.	BASE	REMARKS/MANUFACTURER	ELECTRICAL REQUIREMENTS		PLUMBING REQUIREMENTS		C D CHORD DIRECT CONNECT	REMARKS
						VOLTS	H.P.	AMPS	PHASE	CONN	
						CW	FW	DIRECT/INDIRECT WASTE/WASTE			
①	FIRE EXTINGUISHER	T.G.C.	1	-	2A 10#BC						
②	MOP SINK (CUSTODIAL MOP SINK)	T.G.C.	1	-	REFER TO PLUMBING						
③	MOP/BROOM HOLDER	T.G.C.	1	-	BOBRICK-B223x24 STAINLESS STEEL						
④	WATER HEATER	-	1	-	REFER TO PLUMBING						
⑤	3-COMPARTMENT SINK	T.G.C.	1	LEGS	REFER TO PLUMBING, SEALED TO BACK WALL						
⑥	NOT USED SINK W/ SIDE SPLASHES	T.G.C.	1	-	REFER TO PLUMBING						REFER TO PLUMBING SEE ⑯ AND PROVIDE SOAP AND PAPER TOWEL DISPENSER
⑦	WALL MOUNTED HAND SINK	T.G.C.	2	-	REFER TO PLUMBING						REFER TO PLUMBING PROVIDE SOAP AND PAPER TOWEL DISPENSER
⑧	SOAP DISPENSER	T.G.C.	3	-	BOBRICK-B4112 SURFACE MOUNTED						PROVIDE ⑨ HAND SINKS
⑨	TOWEL DISPENSER	T.G.C.	3	-	BOBRICK-B262 SURFACE MOUNTED						PROVIDE ⑩ HAND SINKS
⑩	METAL LOCKERS	KEC/T	1	-	KELMAX EL6-15						G.C. TO REMOVE LEGS AND MOUNT TO WALL ⑪ 6" A.F.F.
⑪	NOT USED SINK	T.G.C.	1	-	REFER TO PLUMBING						PROVIDE SOAP AND PAPER TOWEL DISPENSERS
⑫	WALL MTD. WIRE SHELVING	KEC/T	2 SETS	-	ADVANCE TABCO - 16" DEEP X 3'-1/2" ⑬ 3-COMP SINK						PROVIDE BLOCKING BEHIND SHELVING, MOUNT ⑭ 5"-0" A.F.F.
⑬	SHELVING - 4 TIER HIGH	KEC/T	6	LEGS	OLYMPIC - 18" DEEP S.S. SHELVING						SEE FLOOR PLAN LAYOUT FOR SIZES
⑭	SHELVING - 4 TIER HIGH	KEC/T	1 SET	LEGS	OLYMPIC - 18" DEEP S.S. SHELVING W/ SOLID SHELF						SEE FLOOR PLAN LAYOUT FOR SIZES, USED FOR DRY FOOD STORAGE SHELVING, AT POS. T.G.C. TO CUT POSTS TO FIT UNDER MILLWORK
⑮	UNDER COUNTER SHELVING - 2 TIER HIGH	KEC/T	6	LEGS	OLYMPIC - S.S. SHELVING 30" H.						SEE FLOOR PLAN LAYOUT FOR SIZES, USED FOR DRY FOOD STORAGE SHELVING AT POS. T.G.C. TO CUT POSTS TO FIT UNDER MILLWORK; SOLID TOP SHELF 6" FROM B.O. COUNTER
⑯	UNDER COUNTER SHELVING - 3 TIER HIGH	KEC/T	2 LOTS	LEGS	OLYMPIC - S.S. SHELVING 30" H: SOLID TOP SHELF 6" FROM B.O. COUNTER						30'D. X 36'H. S.S. TABLE WITH ENCLOSED BASE, 4" BACKSPASH, SLIDING DOORS, CUT-OUT IN TOP TO ACCEPT TA-33 FOR DROP-IN SODA DISP. (OPEN BACK CUT OUT IN BASE). SEE ⑳ A.1
⑰	ENCLOSED BASE WORK TABLE (S.S.)	KEC/T	1	6" LEGS ADJUSTABLE	TITAN STAINLESS - CUSTOM UNIT; SEALED TO BACK WALL						30'D. X 36'H. S.S. TABLE WITH ENCLOSED BASE, 4" BACKSPASH, SLIDING DOORS, AND MID-SHELF. SEE ⑳ A.1
⑱	NOT USED WORK TABLE (S.S.)	KEC/T	1	6" LEGS ADJUSTABLE	TITAN STAINLESS - CUSTOM UNIT; SEALED TO BACK WALL						30'D. X 36'H. S.S. TABLE WITH ENCLOSED BASE, 4" BACKSPASH, SLIDING DOORS, AND MID-SHELF. SEE ⑳ A.1
⑲	NOT USED WORK TABLE (S.S.)	KEC/T	1	6" LEGS ADJUSTABLE	TITAN STAINLESS - CUSTOM UNIT; SEALED TO BACK WALL						30'D. X 36'H. S.S. TABLE WITH ENCLOSED BASE, 4" BACKSPASH, SLIDING DOORS, AND MID-SHELF. INTEGRAL HAND SINK WELDED INTO TOP. (OPEN BACK). SEE ⑳ A.1
⑳	MOBILE OVEN COUNTER	KEC/T	1	CASTERS	ADVANCE TABCO - MT-MS-300						30'W. X 30'H. WITH INTEGRAL S.S. 20" TRAY SLOTS. NO SUBSTITUTIONS.
㉑	ENCLOSED BASE WORK TABLE (S.S.)	KEC/T	1	6" LEGS ADJUSTABLE	TITAN STAINLESS - CUSTOM UNIT						40'W. X 30'D. X 36'H. S.S. TABLE WITH ENCLOSED BASE, 4" BACKSPASH, SLIDING DOORS, AND MID-SHELF. SEE ⑳ A.1
㉒	TWO SECTION FULL SOLID DOOR FREEZER	KEC/T	1	CASTERS	HOSHIZAKI TWO SECTION R2A-FS	115	1/2	8	1	C	1" SUPPLIED AND INSTALLED BY PEPSI
㉓	DROP-IN ICE/SODA DISPENSER	T	1	-	CORNELIUS 1522	115	1.5	1	C	1/2"	3/4" NO SUBSTITUTIONS. G.C. SHALL PROVIDE NEMA 5-20P CORD W/ PLUG
㉔	ICE MAKER/STORAGE BIN	KEC/T	1	LEGS	MANTOWOO I-SERIES 450 W/ 8-570 BIN	115	3/4	13.2	1	C	W/ BOWL AND DOUGH HOOK, VERIFY PLUG
㉕	TWO SECTION FULL SOLID DOOR FREEZER	KEC/T	1	CASTERS	HOSHIZAKI TWO SECTION F2A-FS	115	1	8.7	1	C	SELF CONTAINED W/ LOCK, VERIFY PLUG
㉖	20 QT. MIXER-COUNTER TOP MIXER	KEC/T	1	-	HOBART H200 LEGACY+	115	1/2	8	1	C	LOCATED ON DUMP TABLE
㉗	UNDER COUNTER REFRIGERATOR	KEC/T	1	3" CASTERS	BEVERAGE-AIR UCR27	115	1/6	4	1	C	DEDICATED CIRCUIT, REF: 2/A.6.1
㉘	GRANITA DISPENSER	KEC/T	2	-	BUNN ULTRA-2	120	11	1	C	20 AMP PLUG REQUIRED NEMA 5-20 INCLUDE WIRE RACK WHEN ORDERING	
㉙	Thermal Shelf	KEC/T	1	-	HATCO GRS-24 (ON COUNTER) 24" W X 19 1/2" D X 2 1/4" H	120	2.9	1	C	30'W. X 24'D. STAINLESS STEEL MIXER TABLE W/ UNDER SHELF	
㉚	COUNTER TOP WARMER	KEC/T	1	-	APW WYOTT CW-2Ai	120	12.5	1	C		
㉛	CASH REGISTER	KEC/T	2	-	WETZEL PRETZEL PROPRIETARY	120	2.1	1	C		
㉜	PRETZEL DISPLAY CASE	KEC/T	2	-	ROUNDUP DCH 320	120	15	1	C		
㉝	NOT USED	KEC/T	1	CASTERS	ADVANCE TABCO AG-MP-303 W/ UNDER SHELF						
㉞	LEMONADE BUBBLER	KEC/T	1	-	GRATHCO D25-4						
㉟	UNDER COUNTER FREEZER	KEC/T	1	3" CASTERS	BEVERAGE-AIR UCF27	115	1/4	6.0	1	C	SELF-CONTAINED W/ LOCK
㉟	HOOD EXHAUST	T.G.C.	1	-	REFER TO MECHANICAL						
㉟	NOT USED VENTLESS GREASE HOOD	T.G.C.	1	-	GILES #0VH-10	208	3.0	1	D	REFER TO ELECTRICAL DRAWINGS FOR WIRE CONNECTION OPTION. G.C. SHALL PROVIDE NEMA 15-30P CORD W/ PLUG	
㉟	PRETZEL OVEN	KEC/T	1	-	BAKER'S PRIDE P-44	240	24.3	3	C	NOT SHOWN ON PLAN	
㉟	UTILITY CART	KEC/T	1	CASTERS	-						REFER TO PLANS / ELEVATIONS. 28" H. X 3/8" CLEAR TEMP. GLASS PROGRAM TO 100F HW TEMP. G.C. SHALL PROVIDE NEMA 5-20P CORD W/ PLUG. ORDER WITH WALL MOUNT BRACKET.
㉟	RECESSED SNEEZE GUARD	T	1 LOT	-							
㉟	HOT WATER DISPENSER	KEC/T	1	-	BUNN H5E; REFER TO PLUMBING	120	15.4	1	C	1/2"	
㉟	NOT USED TOR	T.G.C.	1	-	REFER TO PLUMBING						G.C. TO SUPPLY AND INSTALL CHAIN RESTRAINTS ON CO2 TANK. CHAIN AND BLOCKING BY G.C.
㉟	BAG N BOX RACK/PUMP	T	1	-	REFER TO ELECTRICAL	120					G.C. TO CUT INTO CORIAN COUNTER AND USE TEMPLATE. COORDINATE WITH WETZEL'S P.M. REF: 2/A.3.1
㉟	46" LENGTH PRETZEL/ROPE IMAGE	T	1	-	CUSTOM CORIAN INLAY						REFER TO PLUMBING
㉟	NOT USED	T.G.C.	1	-	REFER TO PLUMBING						11" X 20" X 30"
㉟	TRASH CAN	KEC/T	2	-	RUBBERMAID 498450BG						(4) ANCHOR BOLTS PROVIDED, G.C. TO INSTALL
㉟	ELECTRONIC DROP SAFE	T	-	-	BLUEDOT BSM20216DD						10"X10"X15", RUBBERMAID MODEL #U81900
㉟	NOT USED BOTTLE	T.G.C.	1	-	RUBBERMAID ROUND S.S. 5 GAL						(MODEL#-7878741) SATIN FINISH S.S. BAIN MARIE. 1-1/4 WT. 4-1/8 DIA.
㉟	NOT USED INDIMENT DISPENSERS	KEC/T	3	RECESSED	VOLLRATH OR EQ.						(MODEL#-H2001SS) S.S. OF COUNTER FULLFOLD 720+ CAPACITY NAPKIN DISPENSER. 19 5/8" H. X 7" W. X 5 1/2" D.
㉟	NOT USED	KEC/T	1	COUNTER	SAN JAMAR OR EQ.						

KITCHEN EQUIPMENT SUPPLIER TO PROVIDE CUT-SHEETS ON ALL SUPPLIED EQUIPMENT TO T.G.C.

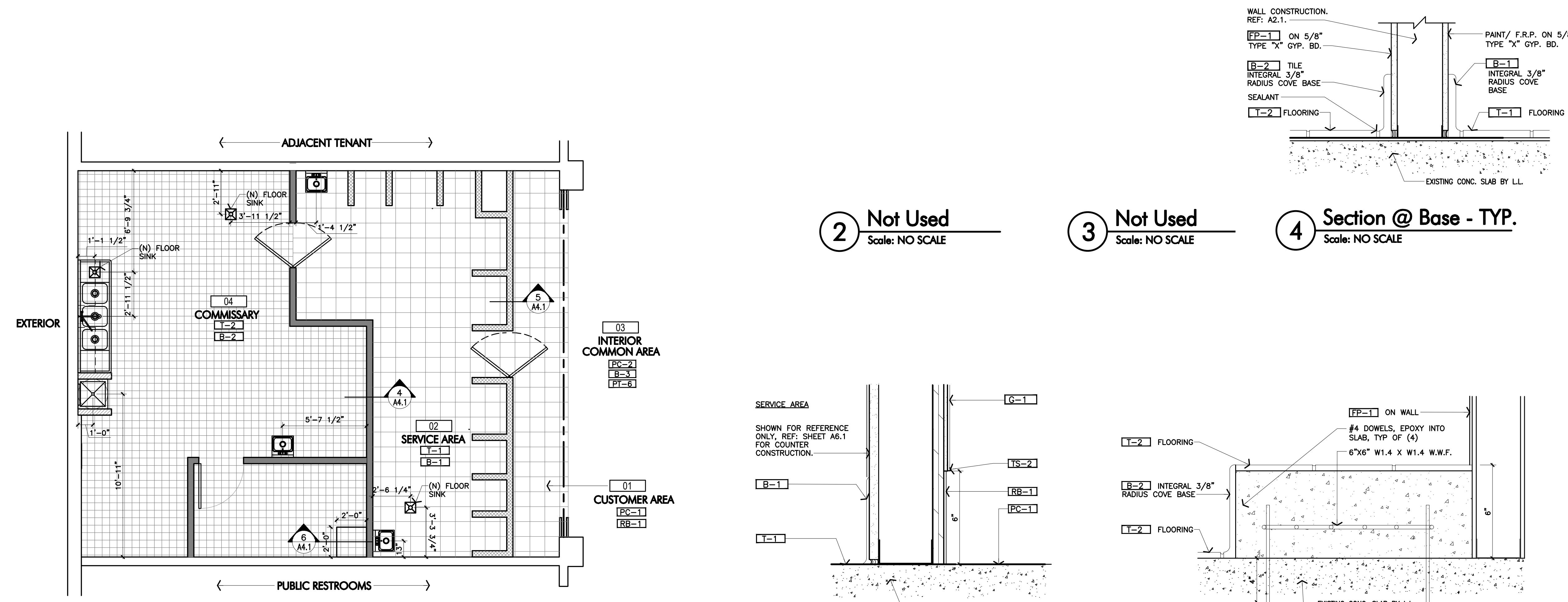
### GENERAL NOTES

- ALL EQUIPMENT SHALL MEET NATIONAL SANITATION FOUNDATION (NSF) REQUIREMENTS/STANDARDS OR THE PROVEN EQUIVALENT BY A RECOGNIZED CERTIFIED AGENCY.
- FINAL CLEANING BY G.C., PRIOR TO TURNOVER.
- G.C. SHALL SUPPLY ONE FULL SIZE STORAGE CONTAINER FOR DURATION OF PROJECT.
- G.C. SHALL UNLOAD ALL MATERIAL EQUIPMENT, MILLWORK AND FF & A SENT TO SITE AND VERIFY QUANTITIES. G.C. IS RESPONSIBLE FOR LOSS OR DAMAGE OF MATERIAL AND EQUIPMENT ONCE IT IS ON SITE. SIGNATURES ARE REQUIRED ON PACKING SLIPS AND MUST BE FAXED TO WETZEL'S PROJECT MANAGER.
- G.C. SHALL SEAL ALL SURFACES AS REQUIRED BY THE HEALTH DEPARTMENT TO INCLUDE BUT NOT LIMITED TO SILICONE CAULK.
- INCLUDE ADA COMPLIANT COMMERCIAL FAUCET W/ LONG DOWN SPOUT ASSEMBLY (SEE PLUMBING).
- PROVIDE SPLASH GUARD AT LEAST 12" HIGH BETWEEN THE THREE (3) COMPARTMENT SINK AND THE FOOD STORAGE SHELVING UNIT W/ A MINIMUM 2" CLEARANCE ON EACH SIDE OF THE THREE(3) COMPARTMENT SINK (IF APPLICABLE).
- G.C. SHALL SUPPLY AND INSTALL FIRE EXTINGUISHERS (AS REQ'D).
- G.C. SHALL SUPPLY AND INSTALL ADA COMPLIANT SIGNS AS REQUIRED.
- G.C. MUST PROVIDE A FUNCTIONING PHONE AND FAX MACHINE ON SITE DURING CONSTRUCTION.
- G.C. TO REVIEW BOTH ENGINEERING AND ARCHITECTURAL DRAWINGS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF WORK.
- G.C. TO DISTRIBUTE BOTH ENGINEERING AND ARCHITECTURAL DRAWINGS TO SUBCONTRACTORS AS THEIR PACKAGE.
- G.C. RESPONSIBLE FOR PROVIDING POWER FOR STARTUP AND SCHEDULE ALL EQUIPMENT STARTUP PRIOR TO TURN OVER.

### ABBREVIATIONS

FW	FILTERED WATER
</

Revisions	Date	Description	By



MATERIAL SCHEDULE			FINISH SCHEDULE							
MARK	MATERIAL	DESCRIPTION	REMARKS	ROOM / AREA	FLOOR	BASE	WALLS	CEILING	CEILING HEIGHT	REMARKS
T-1	CERAMIC TILE	12" X 12" SERENE MATTE BY HARMONIST - HM201212P (GROUT #145 LIGHT SMOKE) (CLASS A, FLAME SPREAD=0, SMOKE DEVELOPED=0), TILE SHALL BE SMOOTH AND WASHABLE	1. NOT USED 2. NOT USED 3. PAINT FINISHES SHALL BE (2) COATS MIN. (ROLLED) W/ LIGHT ORANGE PEEL. LEVEL 4 FINISH.	01 CUSTOMER AREA	PC-1	RB-1	PT-1	(E) GRID (N)(ACT-1)	10'-0" A.F.F.	SEE INTERIOR ELEVATIONS A5.1 FOR EXTENT OF FINISHES, SEE
T-2	QUARRY TILE	6" x 6" 0040 "RED BLAZE" AS MANUFACTURED BY DAL-TILE (GROUT #370 DOVE GRAY) (CLASS A, FLAME SPREAD=0, SMOKE DEVELOPED=0)	4. G.C. SHALL INSTALL TRIM PIECES PER MANUFACTURER'S STANDARDS AT ALL JOINTS, CORNERS, AND EDGES.	02 SERVICE AREA	T-1	B-1	PT-2 PT-3 FP-2 FP-3	(E) GRID (N)(ACT-1) UNDERCNTR. LOW WALLS REF: A5.1	10'-0" A.F.F.	SEE INTERIOR ELEVATIONS A5.1 FOR EXTENT OF FINISHES, SEE
B-1	CERAMIC TILE BASE	SERENE MATTE BY HARMONIST - HM2036C9T1P W/ INTEGRAL 3/8" RADIUS COVE (GROUT #145 LIGHT SMOKE) (CLASS A, FLAME SPREAD=0, SMOKE DEVELOPED=0)	5. 1/4" X 1/4" BEVELED ALL EDGES. (NO SQUARE OR ROUNDED EDGES).	03 INTERIOR COMMON AREA	PC-2	B-3	PT-6	EXIST	-	-
B-2	QUARRY TILE BASE	6" H. 0040 "RED BLAZE" AS MANUFACTURED BY DAL-TILE W/ INTEGRAL 3/8" RADIUS COVE (GROUT #370 DOVE GRAY) (CLASS A, FLAME SPREAD=0, SMOKE DEVELOPED=0)	6. ALL OUTSIDE CORNERS AND EXPOSED EDGES, PROVIDE ALL INSIDE & OUTSIDE CORNER CONNECTIONS.	04 COMMISSARY	T-2	B-2	FP-1 P-5	(E) &(N) GRID (N)(ACT-1)	10'-0" A.F.F.	SEE INTERIOR ELEVATIONS A5.1 FOR EXTENT OF FINISHES, SEE
B-3	S.S. BASE	6" H. AND 1/8" THICK STAINLESS STEEL BASE	7. NOT USED 8. NOT USED 9. NOT USED 10. APPLY W/ 1/2" DOUBLE SIDED TAPE AT TOP EDGE ONLY	FINISH NOTES						
CT-4	NOT USED	"DAL-TILE" SIZE 3" X 6" SEMI GLOSS (PRISM HIGH PERFORMANCE GROUT- HAYSTACK MUEULDE FOIN #380 PG38017T) COLOR: Q012 MUSTARD (INSTALLED 1/2 STAGGERED) (CLASS A, FLAME SPREAD=0, SMOKE DEVELOPED=0)	11. SUPPLIED BY NBI, INSTALLED BY G.C.	1. VERIFY LOCATION OF FINISHES ON INTERIOR ELEVATIONS. 2. G.C. TO SUBMIT TAKE-OFFS TO OWNER FOR ALL MATERIALS AS REQUIRED WITH BID. 3. INTERIOR OF DIFFUSERS ARE TO BE PAINTED TO MATCH AT SERVICE AREA. 4. CONCRETE SHALL BE CLEAN AND FREE FROM DEBRIS PRIOR TO FLOORING INSTALLATION.						
CT-5	NOT USED	"DAL-TILE" SIZE 3" X 6" SEMI GLOSS (PRISM HIGH PERFORMANCE GROUT- HAYSTACK MUEULDE FOIN #380 PG38017T) COLOR: DH50 SUNFLOWER (INSTALLED 1/2 STAGGERED) (CLASS A, FLAME SPREAD=0, SMOKE DEVELOPED=0)								
CT-6	NOT USED	"DAL-TILE" SIZE 3" X 6" SEMI GLOSS (PRISM HIGH PERFORMANCE GROUT- HAYSTACK MUEULDE FOIN #380 PG38017T) COLOR: Q090 PUMPKIN SPICE (INSTALLED 1/2 STAGGERED) (CLASS A, FLAME SPREAD=0, SMOKE DEVELOPED=0)								
SS-1	SOLID SURFACE	CORIAN - COLOR - "LINEN" 1/2" THICKNESS (CLASS A, FLAME SPREAD=5, SMOKE DEVELOPED=10)								
G-1	ACRYLIC PANEL	1/4" THICK CLEAR ACRYLIC W/ SECOND SURFACE APPLIED PRINTED VINYL GRAPHICS (PRETZELS ON YELLOW BACKGROUND)	10,11							
PT-1	PAINT	BENJAMIN MOORE (SEMI-GLOSS) (FLAME SPREAD=0, SMOKE DEVELOPED=0) COLOR: BANANA YELLOW 2022-40	3							
PT-2	PAINT	BENJAMIN MOORE (SEMI-GLOSS) (FLAME SPREAD=0, SMOKE DEVELOPED=0) COLOR: JACK O' LANTERN 2155-30	3							
PT-3	PAINT	BENJAMIN MOORE (SEMI-GLOSS) (FLAME SPREAD=0, SMOKE DEVELOPED=0) COLOR: AMBER WAVES 2159-40	3							
PT-4	NOT USED	BENJAMIN MOORE (SEMI-GLOSS) (FLAME SPREAD=0, SMOKE DEVELOPED=0) COLOR: COTTON TAIL 2155-70	3							
PT-5	PAINT	BENJAMIN MOORE (SEMI-GLOSS) (FLAME SPREAD=0, SMOKE DEVELOPED=0) COLOR: BRILLIANT WHITE E-01	3							
PT-6	PAINT	WHITE PAINT TO MATCH (E) WALMART COLOR	3							
FP-1	F.R.P.	"MARLITE" S100 S2S .090 (SMOOTH FINISH NO EXCEPTIONS), COLOR - WHITE, (CLASS C, FLAME SPREAD=<200, SMOKE DEVELOPED=<450)	4, 12							
FP-2	F.R.P.	"MARLITE" ITEM# 212246B, FINISH: SYM SS6425 G63R DAFFODIL YELLOW 45X48, (CLASS C, FLAME SPREAD=<200, SMOKE DEVELOPED=<450)	4, 12							
FP-3	F.R.P.	"MARLITE" ITEM# 212247B, FINISH: SYM SS5480 G63R TOFFEE ORANGE 45X48 (CLASS C, FLAME SPREAD=<200, SMOKE DEVELOPED=<450)	4, 12							
NC-1	NOT USED FLOORING	CONTACT WALMART FOR SPECIFICATION								
RB-1	4" COVED RUBBER BASE	4" H ROPPE 700 SERIES RUBBER COVE MOLDING WALL BASE W/ TOE. COLOR: MATCH EXISTING WALMART COLOR.								
PC-1	POLISHED CONCRETE	POLISHED CONCRETE FLOORING WITH 2 COATS OF CLEAR HIGH GLOSS SEALER BY SHERWIN WILLIAMS.								
PC-2	POLISHED CONCRETE	(E) LL POLISHED CONCRETE FLOORING, CONTACT WALMART FOR SPEC								
TS-1	NOT USED INSITION STRIP	SCHLUTER SYSTEMS - RONDEC - 3/8" SATIN ANODIZED ALUM. WITH INSIDE/ OUTSIDE CORNER ACCESSORY	4							
TS-2	EDGE TRANSITION STRIP	C.R. LAURENCE - CATALOG CRL5.R, PAGE 106G, 1/4 J-CHANNEL, PART #D636BN, ALUMINUM WITH STAINLESS STEEL FINISH	6							
ACT-1	LAY-IN CEILING	"ARMSTRONG" - CLEAN ROOM VL - NON PERFORATED #870 2' x 4' PANELS. COLOR-WHITE. CEILING SHALL BE SMOOTH AND WASHABLE.								

Job Number 240282  
Drawn By \_\_\_\_\_  
App'd By \_\_\_\_\_  
Sheet Title Finish Floor Plan & Material Schedule  
Sheet Number A4.1  
A4.1

Project Address

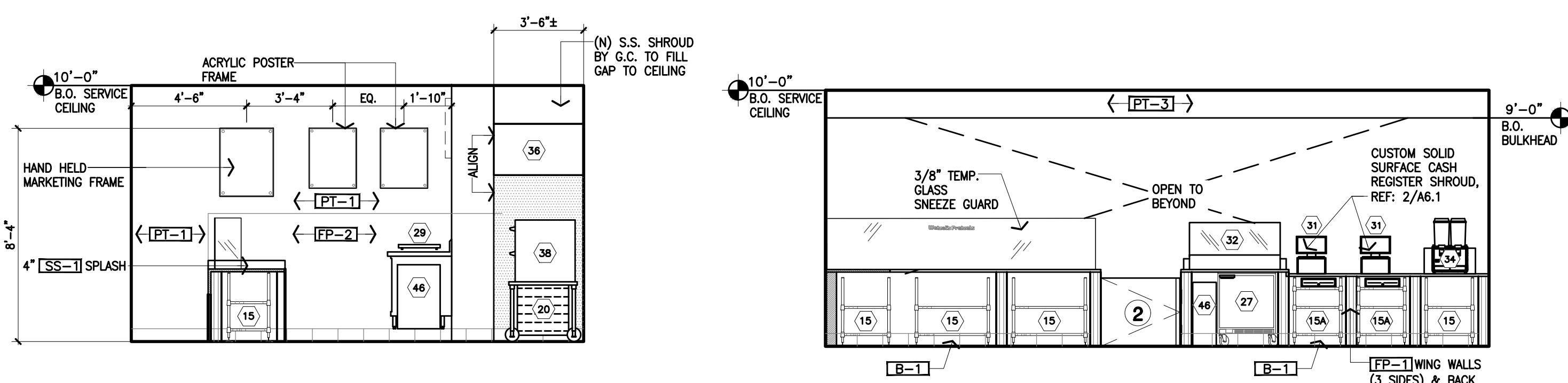
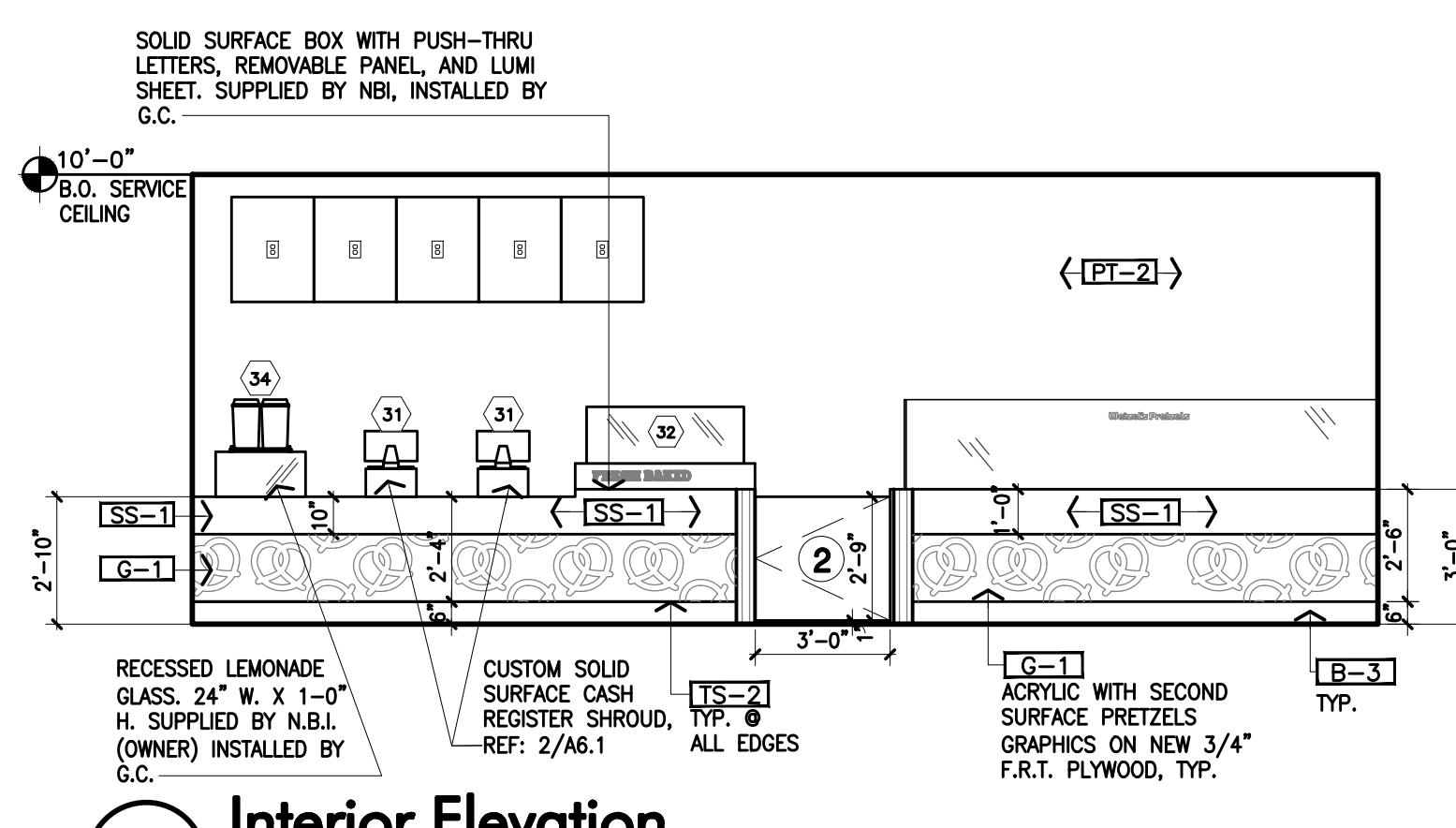
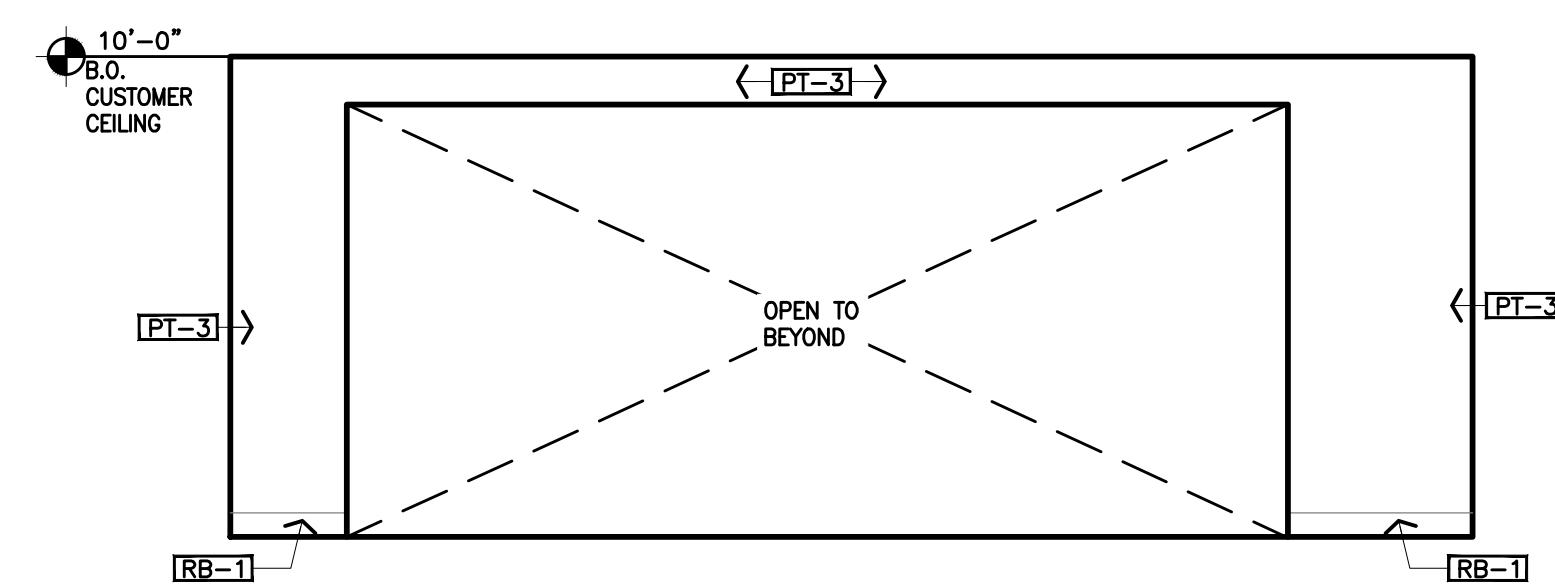
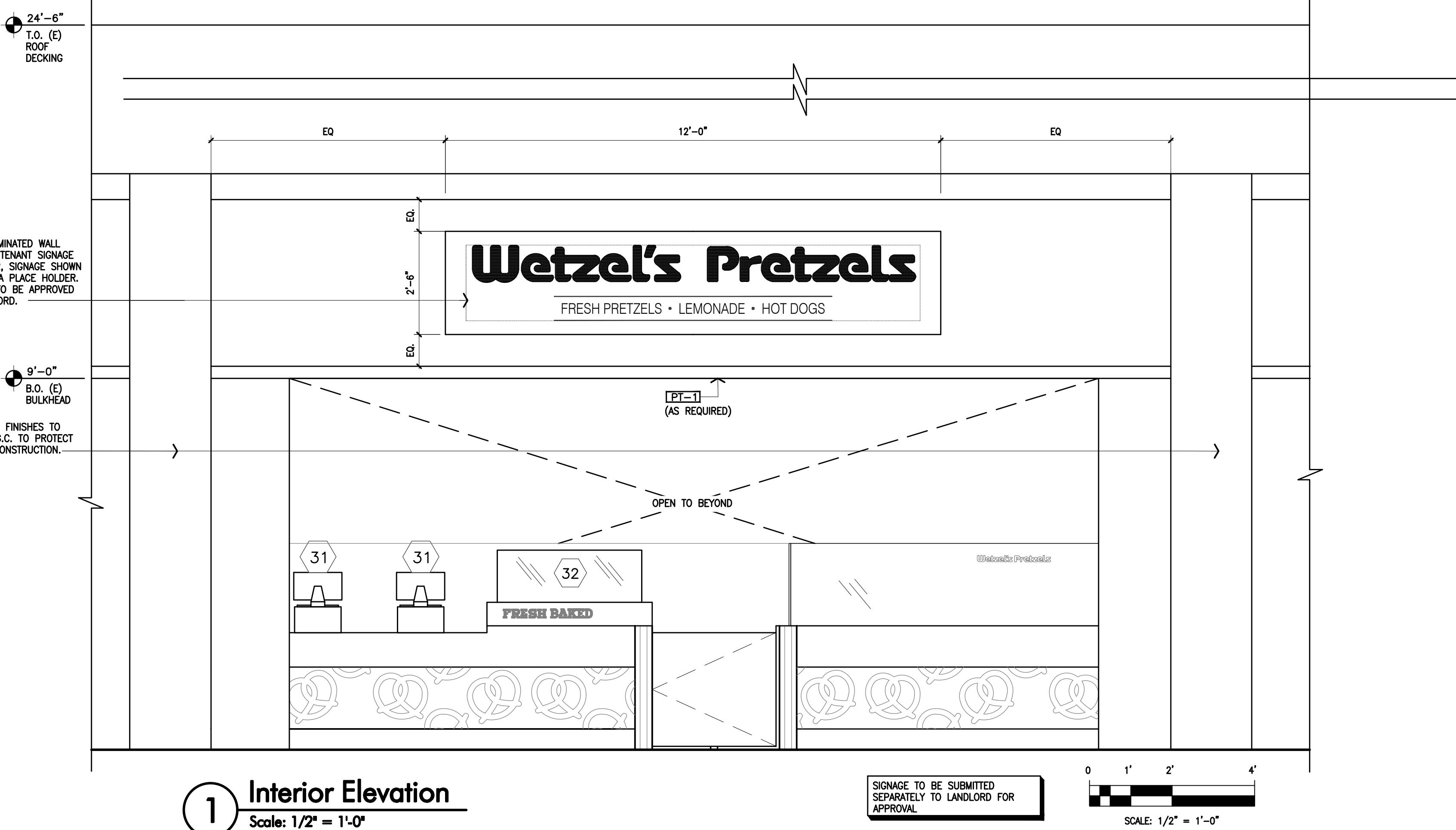
**Wetzel's Pretzels**  
Walmart Supercenter  
6051 Florin Rd,  
Sacramento, CA 95823

Issue Date 10/04/24

Revisions	Date	Description	By
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△			
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△			

**Wetzel's Pretzels**  
Walmart Supercenter  
6051 Florin Rd,  
Sacramento, CA 95823  
FRESH PRETZELS LEMONADE HOT DOGS

**mrb**  
MICHAEL R. BLACK, AIA  
2225 E. RANDOL MILL RD., SUITE 300  
ARLINGTON, TEXAS 76011  
817.701.4819  
CALIFORNIA REG. NO.: 26839





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Project Address

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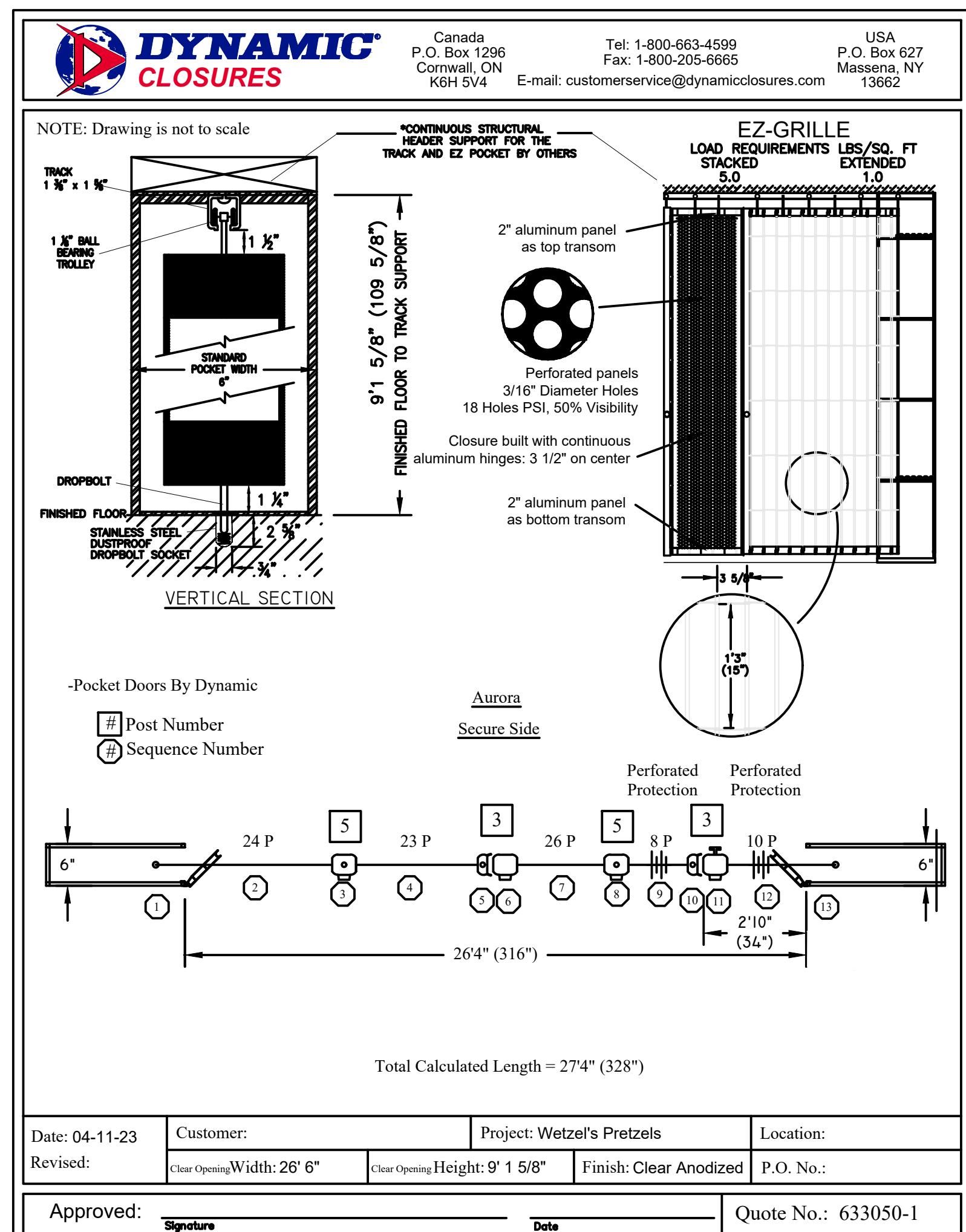
**Wetzel's Pretzels**  
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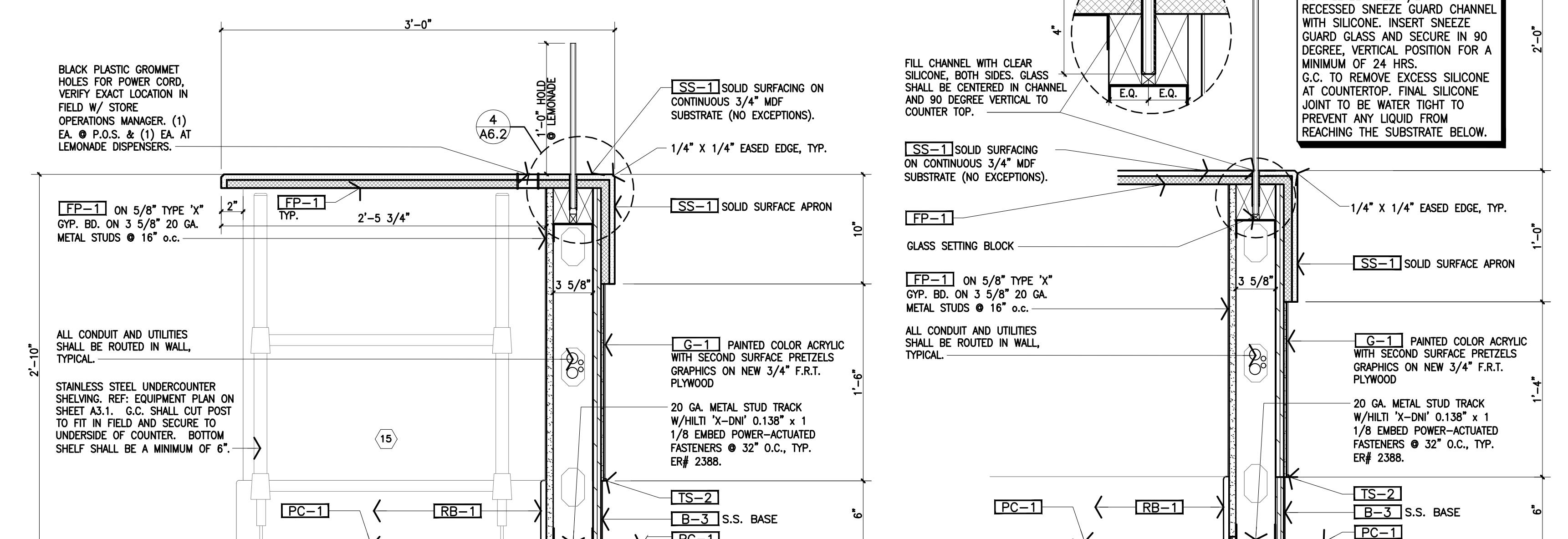
Job Number	240282
Drawn By	
App'd By	
Sheet Title	Counter Details
Sheet Number	

A6.2



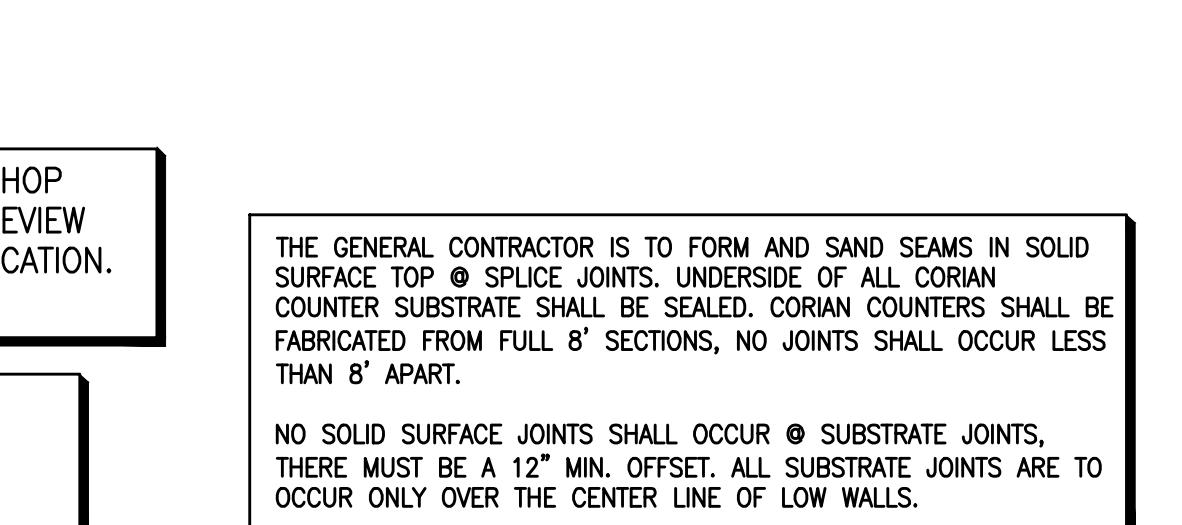
### 5 Security Spec Sheet

Scale: For Reference Only



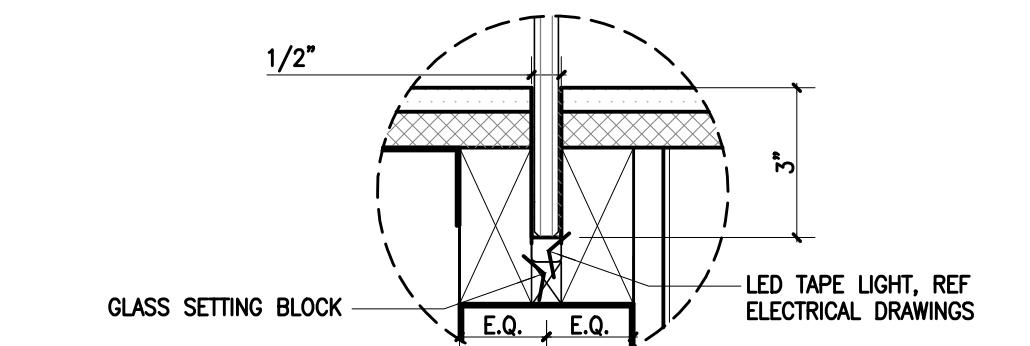
### 3 Counter @ Lemonade Recessed Glass

Scale: 1-1/2" = 1'-0"



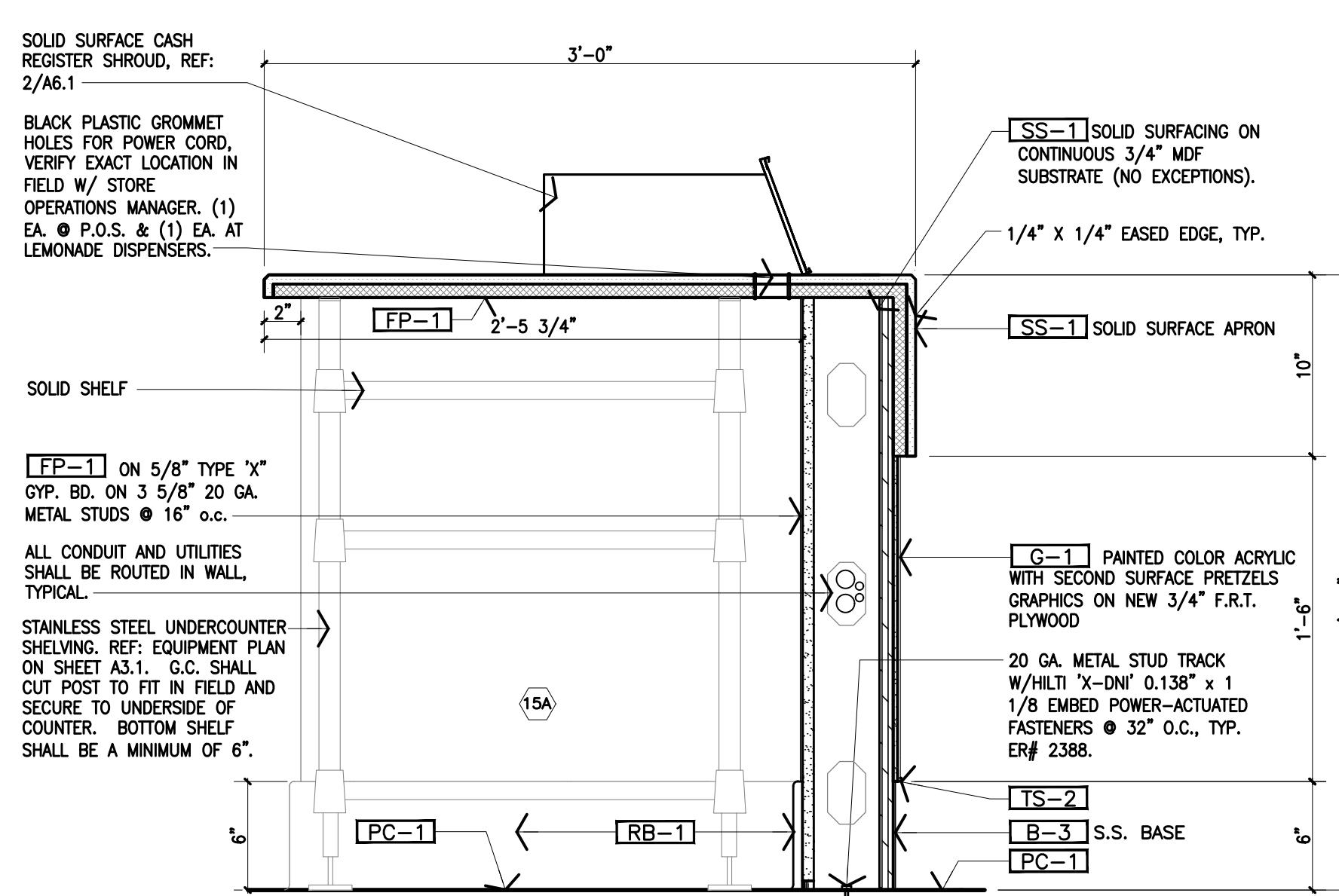
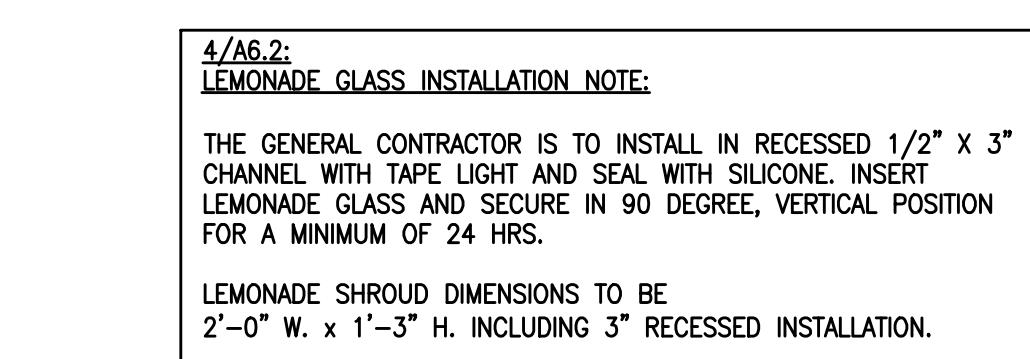
### COUNTER NOTE:

G.C. TO INSTALL 2" X 2" S.S. CORNER GUARDS @ ALL UNDERCOUNTER LOW-WALLS.



### 4 Lemonade Recessed Glass

Scale: 1-1/2" = 1'-0"



### 1 Service Counter @ Register

Scale: 1-1/2" = 1'-0"

### 2 Pretzel Rolling Counter

Scale: 1-1/2" = 1'-0"