**ABBREVIATIONS**

anchor bolt	PNT	paint
ABV	above	pressure treated
AD	area drain	PT
AFF	above finish floor	QT
ALUM	aluminum	quarry tile
ANN	annunciator	R
APROX	approximate	RD
ARCH	architectural	REF
AUTO	automatic	REINF
AVE	avenue	REQ'D
AWG	American wire gauge	REV
B/	bottom of	RFG
BIT	bituminous	RM
BLDG	building	RMV
CL	center line	RO
CLG	ceiling	S
CM	centimeter	SAFB
CMU	concrete masonry unit	sound insulation
CO	cleanout	SAN
COL	column	SECT
CONC	concrete	SF
CONT	continuous	SIM
COORD	coordinate	SS
CNTR	center	stainless steel
CU	cubic	STD
CW	cold water	STL
DBL	double	STRUCT
DEG	degree	T
DEMO	demolish	tread
DEPT	department	T/
DET	detail	top of
DIA	diameter	T&B
DIAG	diagonal	top and bottom
DN	down	T&G
DS	downspout	telephone
DWG	drawing	TEMP
E		TOPO
ELEC	East	topography(ic)
EM	electrical	typical
EXIST	emergency	UNO
EXT	existing	unless noted otherwise
VAC	exterior	UTIL
VTR		utility
VIF		VAC
W	face of	vent through roof
FA	fire alarm	VIF
FCO	floor clean out	verify in field
FD	floor drain	W
FNDN	foundation	W/
FF	finish floor	WC
FLR	floor	WH
FT	foot (feet)	WIN
FTG	footing	WWF
FURR	furring	YD
GA	gauge	yard
GALV	galvanized	
GND	ground	
GWB	gypsum wall board	
GYP	gypsum	
HB	hose bib	
HDWH	hardwood	
HDWR	hardware	
HR	hour	
HT	height	
HW	hot water	
ID	inside diameter	
IN	inches	
INCL	include(d)ing	
INSUL	insulation	
INT	interior	
KO	knockout	
KIT	kitchen	
LAM	laminate(s)	
LAV	lavatory	
LB(S)	pound(s)	
LL	landlord	
LT	light	
M	meter	
MAINT	maintenance	
MAS	masonry	
MAX	maximum	
MECH	mechanical	
MTL	metal	
MEZZ	mezzanine	
MFR	manufacturer	
MIN	minimum	
MISC	miscellaneous	
MM	millimeter	
MO	masonry opening	
MULL	mullion	
N	North	
N.I.C.	not in contract	
NO.	number	
NOM	nominat	
NTS	not to scale	
OA	overall	
OC	on center	
OD	outside diameter	
OH	overhead	
OPNG	opening	
PL	plate	
P-LAM	plastic laminate	
PLBG	plumbing	
PLUMB	plumbing	
PNL	panel	

**ADD CHICAGO
NOTES IF NEEDED**

PVOLVE

**ADDRESS LINE 1
CITY, STATE, ZIP CODE**

SCOPE OF WORK

FITNESS STUDIO - TENANT IMPROVEMENT OF AN EXISTING TENANT SPACE. WORK TO INCLUDE NON-BEARING INTERIOR PARTITIONS, ACCESSIBLE RESTROOMS, MILLWORK, PLUMBING, MECHANICAL, AND ELECTRICAL.

MPE ENGINEER	MPE ENGINEER	MPE ENGINEER
NEVILLE ENGINEERING SERVICE	ALPHA MEP ORANGE, CALIFORNIA	CASE ENGINEERING 796 MERUS COURT ST. LOUIS, MO 63026 (P) 636.349.1600
1221 W LAKEVIEW CT. ROMEOVILLE, ILLINOIS 60446	CONTACT: NATHAN GABEART SENIOR MECHANICAL/PROJECT MANAGER (P) 317.431.1624 NATEQ@ALPHAMEP.NET	CONTACT: JOHN VIRTUDAZO PRINCIPLE (P) 636.349.1600
CONTACT: JOHN NEVILLE JNEVILLEENG.COM		

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CLIENT NAME DxU, architects
CLIENT ADDRESS 412 S. WELLS ST.
SECOND FLOOR CHICAGO, IL
(P) 312.955.0334

SELECT ENGINEER

DIRECTOR OF CONSTRUCTION ZONING DEPARTMENT BUILDING DEPARTMENT

ASHLEY B. CHATLEY DEPT TITLE ADDRESS
PVOLVE DIRECTOR OF REAL ESTATE AND CONSTRUCTION (P) XXX.XXX.XXXX (P) XXX.XXX.XXXX
ACHATLEY@PVOLVE.COM EMAIL
(P) 404-734-9926

MyWall VENDOR LIGHTING VENDOR
CHRIS JONES, OWNER ROBERT PETERSON, SALES
CHRIS.J@ADAPTIVDC.COM ROBERT@ADAPTIVDC.COM
(P) 508-922-0786

- DEFERRED SUBMITTAL:**
- FIRE SPRINKLER SYSTEM
 - FIRE ALARM SYSTEM
 - EXTERIOR SIGNAGE

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TEST FIT				
Project Number: 24-442	Approved By: JD	Date		
Drawn By: AS	Issue	07-29-2024		
No.	FOR PERMIT			
SHEET TITLE & NUMBER				
TITLE SHEET				

T1-01

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PVOLVE

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CONSULTANTS

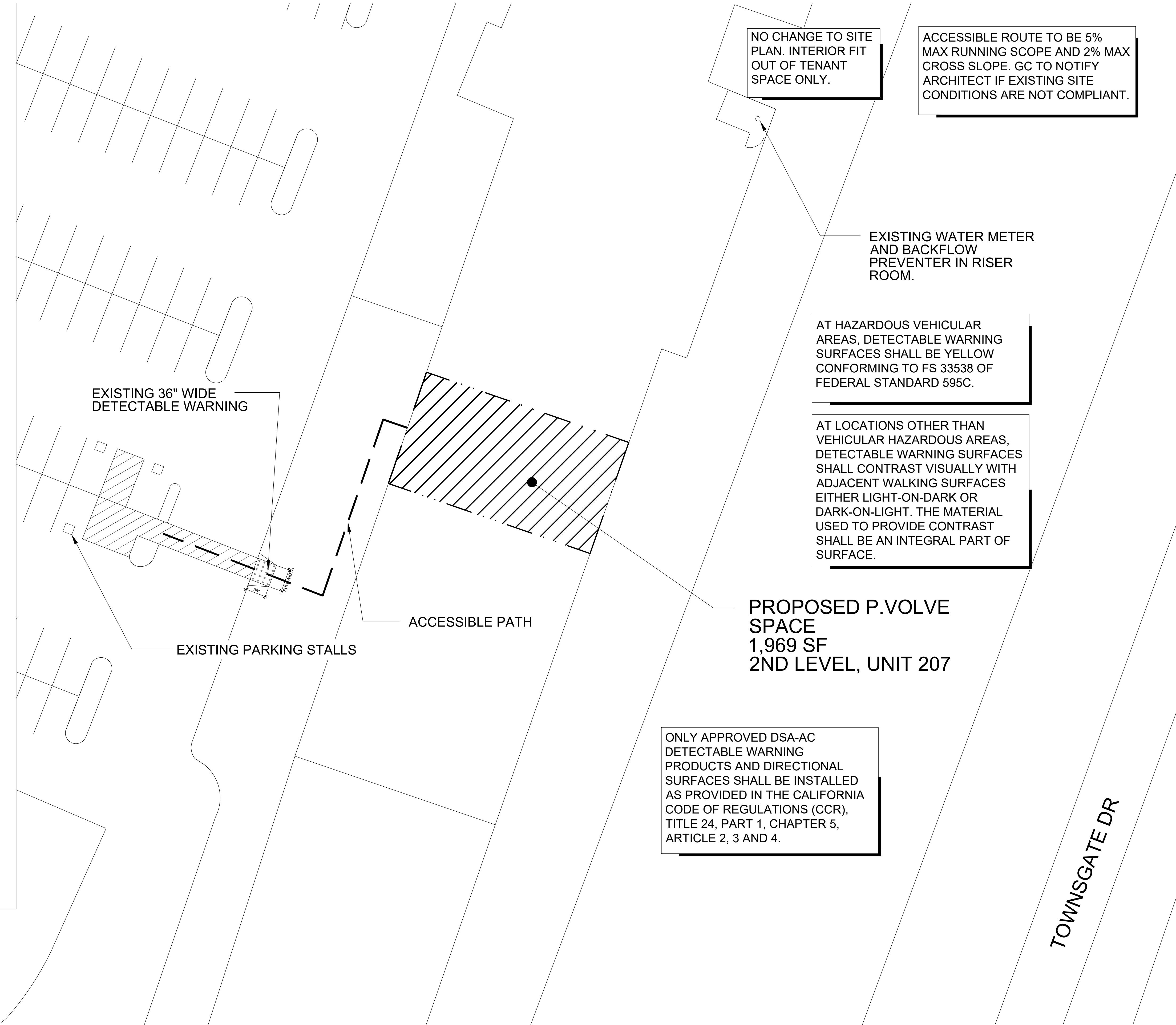
CONSTRUCTION BMP GENERAL NOTES

1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "STORM WATER STANDARDS MANUAL" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING IMPROVEMENTS CONSENTANT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMPS AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST-CONSTRUCTION BMPS.
2. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLET PROTECTION. INLET PROTECTION IN THE PUBLIC RIGHT-OF-WAY MUST BE TEMPORARILY REMOVED PRIOR TO A RAIN EVENT TO ENSURE NO FLOODING OCCURS AND REINSTALLED AFTER RAIN IS OVER.
3. ALL CONSTRUCTION BMPS SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
4. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED CONTACT PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER BMPS AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCC WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES, AND/OR STOP WORK NOTICES.
6. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS, AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.
7. THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION-RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMPS THAT ARE ACCEPTABLE TO THE CITY RESIDENT ENGINEER AND AS INDICATED IN THE SWPPP/WPCC.
8. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.
9. IF A NON-STORM WATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE. PRIOR TO RESUMING CONSTRUCTION ACTIVITY, ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
10. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMPS WHEN RAIN IS IMMINENT.
11. THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMPS TO WORKING ORDER YEAR ROUND.
12. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES.
13. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPounded WATERS CREATE A HAZARDOUS CONDITION.
14. ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCC SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROLS FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE CITY RESIDENT ENGINEER.
15. AS NECESSARY, THE CITY RESIDENT ENGINEER SHALL SCHEDULE MEETINGS FOR THE PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED CONTACT PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER, AND THE CITY RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMPs RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
16. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CONDUCT VISUAL INSPECTIONS AND MAINTAIN ALL BMPs DAILY AND AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMPs SHALL BE CONDUCTED BEFORE, DURING, AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMPs AS SOON AS POSSIBLE AS SAFETY ALLOWS.
17. CONSTRUCTION ENTRANCE AND EXIT AREA. TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASCA FACT SHEET TC-10 CALTRANS FACT SHEET TC-01 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS onto PAVED SURFACES AND TRAVELED WAYS. WIDTH SHALL BE 10' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BYPASSING THE ENTRANCE.
(a) NON-STORM WATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM WATER MANAGEMENT AND DISCHARGE CONTROL".

I AM THE DESIGNER/OWNER IN RESPONSIBLE CHARGE OF THIS TENANT IMPROVEMENT PROJECT. I HAVE INSPECTED THE SITE PREVIOUSLY AND CONFIRM THAT EXISTING CONDITIONS ARE IN FULL COMPLIANCE WITH CURRENT SITE ACCESSIBILITY REQUIREMENTS TO THE EXTENT REQUIRED BY LAW.

PRINT NAME: KAYLEE ROSS - ARCHITECT
SIGNATURE: 
DATE: 02/09/2024

IF THE CITY BUILDING INSPECTOR DETERMINES NON-COMPLIANCE WITH ANY ACCESSIBILITY PROVISIONS, A COMPLETE AND DETAILED REVISED PLANS CLEARLY SHOWING ALL MODIFICATIONS TO EXISTING CONDITIONS AND THE PROPOSED MODIFICATIONS TO MEET CURRENT ACCESSIBILITY REQUIREMENTS (INCLUDING SITE PLAN, FLOOR PLANS, DETAILS, ETC.) WILL BE SUBMITTED TO THE DEPARTMENT FOR REVIEW AND APPROVAL.



MUNICIPAL APPROVAL STAMP

PVOLVE - CYPRESS, TX

10611 FRY RD #250
CYPRESS, TX 77433

CLIENT

PROJECT

SEA

LICENSE EXPIRES ON:
DATE OF SIGNATURE:**DXU** ARCHITECTS
4125 West Street 2nd Floor • Chicago, IL 60657
P. 312.915.3334 • F. 312.915.3334 • E. info@dxu.com
CONSULTANTS

TEST FIT

Project Number: 24-442	Approved By: JD	Date
Drawn By: AS	Issue	07-29-2024
No.	FOR PERMIT	

SHEET TITLE & NUMBER

SITE PLAN

A0-1

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PROXIMITY MAP		BUILDING CODES		PROJECT DESCRIPTION																																																																																																																			
<p>SCALE = NTS</p>		<table border="1"> <tr><td>BUILDING</td><td>2018 INTERNATIONAL BUILDING CODE</td></tr> <tr><td>MECHANICAL</td><td>2018 INTERNATIONAL MECHANICAL CODE</td></tr> <tr><td>ELECTRICAL</td><td>2017 NATIONAL ELECTRICAL CODE</td></tr> <tr><td>PLUMBING</td><td>ILLINOIS STATE PLUMBING CODE</td></tr> <tr><td>ENERGY</td><td>2018 INTERNATIONAL ENERGY CONSERVATION CODE</td></tr> <tr><td>FUEL GAS</td><td>2018 INTERNATIONAL FUEL GAS CODE</td></tr> <tr><td>FIRE CODE</td><td>2018 INTERNATIONAL FIRE CODE</td></tr> <tr><td>GREEN BUILDING</td><td>2018 INTERNATIONAL GREEN CONSTRUCTION CODE</td></tr> <tr><td>LIFE SAFETY</td><td>2018 NFPA 101 (NATIONAL FIRE PROTECTION ASSOC.)</td></tr> <tr><td>ACCESSIBILITY CODE</td><td>2018 ILLINOIS ACCESSIBILITY CODE</td></tr> </table> <p>AS AMENDED WITH ALL CITY AMENDMENTS & CODES</p>		BUILDING	2018 INTERNATIONAL BUILDING CODE	MECHANICAL	2018 INTERNATIONAL MECHANICAL CODE	ELECTRICAL	2017 NATIONAL ELECTRICAL CODE	PLUMBING	ILLINOIS STATE PLUMBING CODE	ENERGY	2018 INTERNATIONAL ENERGY CONSERVATION CODE	FUEL GAS	2018 INTERNATIONAL FUEL GAS CODE	FIRE CODE	2018 INTERNATIONAL FIRE CODE	GREEN BUILDING	2018 INTERNATIONAL GREEN CONSTRUCTION CODE	LIFE SAFETY	2018 NFPA 101 (NATIONAL FIRE PROTECTION ASSOC.)	ACCESSIBILITY CODE	2018 ILLINOIS ACCESSIBILITY CODE	<p>FITNESS STUDIO - TENANT IMPROVEMENT OF AN EXISTING TENANT SPACE. WORK TO INCLUDE NON-BEARING INTERIOR PARTITIONS, ACCESSIBLE RESTROOMS, MILLWORK, PLUMBING, MECHANICAL, AND ELECTRICAL.</p>																																																																																															
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EGRESS / ACCESS DIAGRAM		OCCUPANCY DIAGRAM		<p>TEST FIT</p> <table border="1"> <tr><td>Project Number: 24-442</td><td>Approved By: JD</td></tr> <tr><td>Drawn By: AS</td><td>Date:</td></tr> <tr><td>No. _____</td><td>Issue: _____</td></tr> <tr><td colspan="2">FOR PERMIT</td></tr> <tr><td colspan="2">07-29-2024</td></tr> </table> <p>SEAL: _____ LICENSURE EXPIRES ON: _____ DATE OF SIGNATURE: _____</p> <p>ARCHITECT: DxU ARCHITECTS 4123 West Street 2nd Floor Chicago, IL 60657 P: 312.915.3334 • F: 312.915.3334 • E: info@dxuarch.com CONSULTANTS: _____</p> <p>PROJECT INFO & CODE ANALYSIS</p> <p>G1-01</p> <p>These documents are confidential and shall be in the possession of authorized individuals only. All rights reserved. These documents are the exclusive property of DxU and shall not be copied or reproduced without written authorization.</p>		Project Number: 24-442	Approved By: JD	Drawn By: AS	Date:	No. _____	Issue: _____	FOR PERMIT		07-29-2024																																																																																																									
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GENERAL REQUIREMENTS

LANDLORD'S INSTRUCTIONS

PURPOSE:

THE FOLLOWING IS A LIST OF SOME OF THE LANDLORD'S INSTRUCTIONS TO GENERAL CONTRACTORS AND HIS/HER SUBCONTRACTORS. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO OBTAIN LANDLORD'S COMPLETE REQUIREMENTS AND MAKE SURE THAT THE LANDLORD'S POLICIES ARE MET.

ROOF PENETRATIONS:

INSTRUCT ALL SUB-CONTRACTORS THAT ANYTHING THAT NEEDS TO BE ATTACHED ABOVE THE CEILING SHOULD BE ATTACHED TO THE ROOF STRUCTURE, NOT THE DECKING. ALL ROOF PENETRATIONS SHALL BE DONE BY LANDLORDS ROOFING CONTRACTOR TO MAINTAIN WARRANTY.

STRUCTURAL ELEMENTS:

DO NOT MAKE ANY CUTS TO ANY OF THE BUILDING ELEMENTS WITHOUT VERIFYING WHETHER OR NOT IT IS A STRUCTURAL ELEMENT. THIS INCLUDES ROOF BEAMS, ROOF DECK, MASONRY WALLS AND THE CONCRETE SLAB.

IF YOU HAVE ANY QUESTIONS REGARDING THE ABOVE INFORMATION, PLEASE CONTACT THE LANDLORD. LANDLORD CONTACT INFORMATION IS FOUND ON THE COVER SHEET.

A/C STARTUP:

CONTACT THE LANDLORD FOR ANY REQUIREMENTS ON THE START-UP OF LANDLORD PROVIDED HVAC UNITS.

FIRE SYSTEM MONITORING: (IF REQUIRED)

VERIFY IF THE LANDLORD IS MONITORING THE FLOW AND TAMPER SWITCHES FOR THE SHELL BUILDING. IF THE SYSTEM IS OPERATIONAL, YOU MUST CONTACT THE LANDLORD PRIOR TO TAKING DOWN THE SYSTEM.

ANY FINES CHARGED BY THE FIRE DEPARTMENT FOR FALSE ALARMS WILL BE CHARGED BACK TO THE TENANT'S GENERAL CONTRACTOR.

ARCHITECT'S INSTRUCTIONS

SUBMITTALS:

IF ALTERNATE EQUIPMENT IS PROPOSED DUE TO LEAD TIME, THE ARCHITECT OR ENGINEER MAY REQUEST PAYMENT FROM G.C. FOR REVIEW OF THE SUBMITTAL. GENERAL CONTRACTOR MUST VERIFY LONG LEAD ITEMS AT START OF PROJECT TO AVOID DELAYS & ALTERNATES.

AS BUILTS:

THE GENERAL CONTRACTOR SHALL RED LINE ALL FIELD CHANGES ON A SET OF PRINTS TO REMAIN ON SITE THROUGHOUT THE CONSTRUCTION OF THE PROJECT. IT IS THE GC'S RESPONSIBILITY TO RECORD ALL FIELD CHANGES AND SUBMIT THE 'AS BUILTS' TO THE CLIENT AT TURNOVER, AND TO THE AOR AND MUNICIPALITY IF/AS REQUIRED.

G.C. COMPLIANCE

OWNER'S GENERAL CONTRACTOR SHALL VISIT THE PREMISES AND VERIFY ALL EXISTING CONDITIONS PRIOR TO START OF CONSTRUCTION AND SHALL REPORT ALL DISCREPANCIES TO TENANT'S ARCHITECT. TENANT'S GENERAL CONTRACTOR SHALL CONFORM TO ALL REQUIREMENTS REGARDING CONSTRUCTION PROCEDURES, INSURANCE, ETC., AS SET FORTH BY THE LANDLORD. GC TO VERIFY THE EXACT LOCATION OF ALL EXISTING LANDLORD FEATURES I.E. METAL BRACE FRAME, STOREFRONT OPENINGS, CORRIDOR ACCESS DOOR, DEMISING WALLS, UTILITY P.O.C., ETC.

FIRE SPRINKLERS

1. IF AN AUTOMATIC FIRE SPRINKLER SYSTEM EXISTS WITHIN THE SPACE, THE GENERAL CONTRACTOR SHALL EMPLOY THE SERVICES OF THE LANDLORD'S, OR ANOTHER LICENSED FIRE SPRINKLER CONTRACTOR TO DESIGN AND INSTALL THE NEW SYSTEM TO CONFORM WITH THE NEW ROOM AND CEILING HEIGHTS AS SHOWN IN THESE DRAWINGS. THE SPRINKLER CONTRACTOR SHALL DESIGN AND PREPARE SHOP DRAWINGS FOR THE PROPOSED SYSTEM MODIFICATIONS & SUBMIT THESE DRAWINGS TO THE BLDG/FIRE DEPT. & THE ARCHITECT TO GAIN APPROVALS PRIOR TO COMMENCING ANY WORK. PUBLIC AREA HEADS TO BE CONCEALED TYPE W/ BLACK COVERS AT DARK CEILINGS, WHITE AT LIGHT CEILINGS & CHROME IN TOILETS. HEADS IN NON-PUBLIC AREAS ARE TO BE SEMI-RECESSED. INSTALLATION IS TO INCLUDE ALL SITE WORK.

2. COMPLETE PLANS AND SPECIFICATIONS FOR FIRE-EXTINGUISHING SYSTEMS, INCLUDING AUTOMATIC SPRINKLERS AND WET AND DRY STANDPIPES; HALON SYSTEMS AND OTHER SPECIAL TYPES OF AUTOMATIC FIRE-EXTINGUISHING SYSTEMS; BASEMENT PIPE INLETS; AND OTHER FIRE PROTECTION SYSTEMS AND APPURTENANCES THERETO SHALL BE SUBMITTED TO FIRE AND LIFE SAFETY FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

3. FIRE EXTINGUISHING SYSTEM SHALL BE IN ACCORDANCE WITH CURRENT APPLICABLE CODE.

FIRE ALARM (WHERE REQUIRED)

1. EXISTING FIRE PANEL TO REMAIN IF PRESENT. FIRE CONTRACTOR TO TIE INTO BUILDING SYSTEM OR PROVIDE NEW SYSTEM AS REQ'D BY LOCAL JURISDICTION. F.C. TO PROVIDE DRAWINGS AND SPECIFICATIONS FOR LOCAL JURISDICTION APPROVAL.

2. THE GENERAL CONTRACTOR SHALL EMPLOY THE SERVICES OF THE LANDLORD'S, OR ANOTHER LICENSED FIRE ALARM CONTRACTOR TO DESIGN AND INSTALL NEW SYSTEM W/ ALL REQUIRED DEVICES.

EXTERIOR SIGNAGE

OWNER'S SIGNAGE CONTRACTOR SHALL PREPARE SIGNAGE SHOP DRAWINGS AND SUBMIT TO BUILDING DEPT. & LANDLORD FOR APPROVAL. ALL SIGNAGE IS UNDER SEPARATE PERMIT.

SPRINKLER NOTES

1. EXISTING SPRINKLER SYSTEM TO REMAIN.
2. SPRINKLER CONTRACTOR TO ADJUST AND/OR ADD HEADS AS REQ'D FOR NEW LAYOUT.
3. S.C. TO PROVIDE DRAWINGS AND CALCS FOR LOCAL JURISDICTION APPROVAL.

PVOLVE

PVOLVE - CYPRESS, TX

10611 FRY RD #250
CYPRESS, TX 77433

CLIENT

PROJECT

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CONSULTANTS

TEST FIT	
Project Number: 24-442	Approved By: JD
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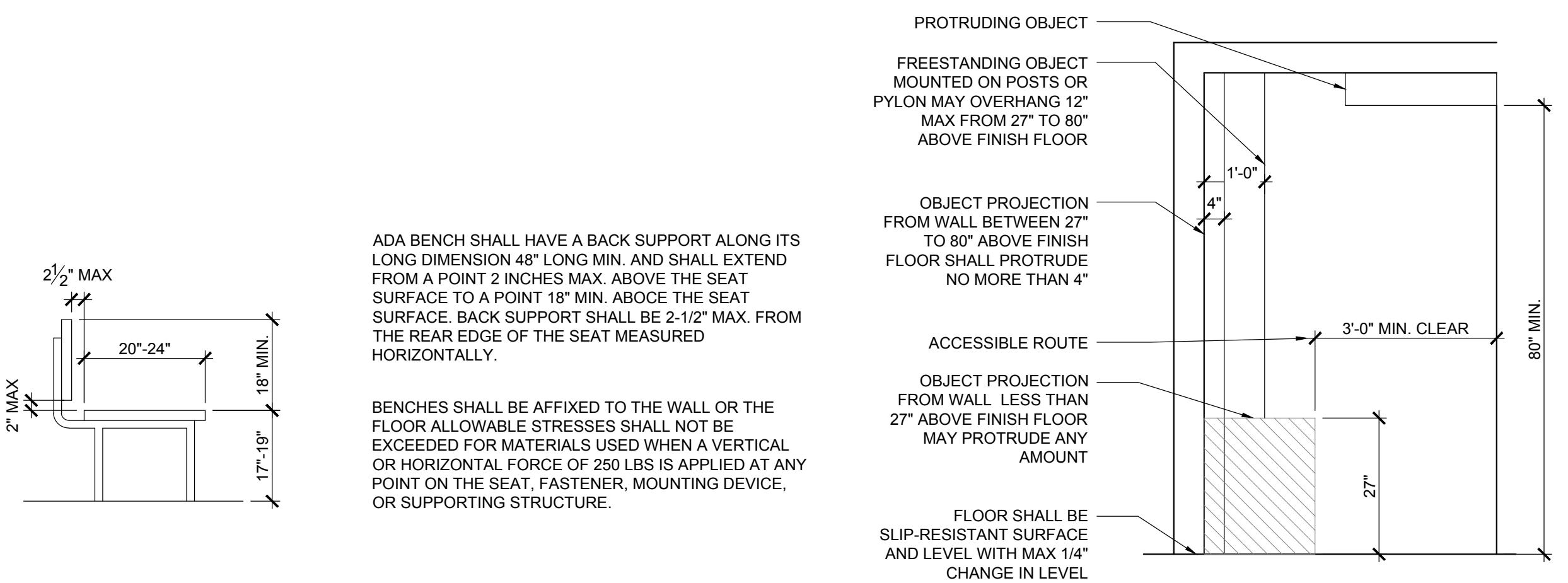
GENERAL INFORMATION

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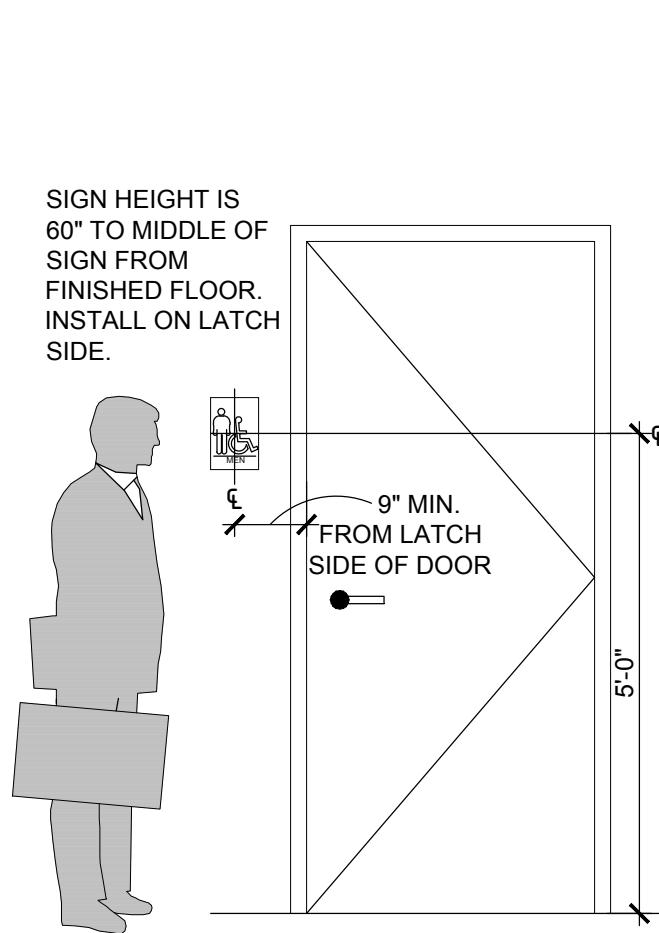
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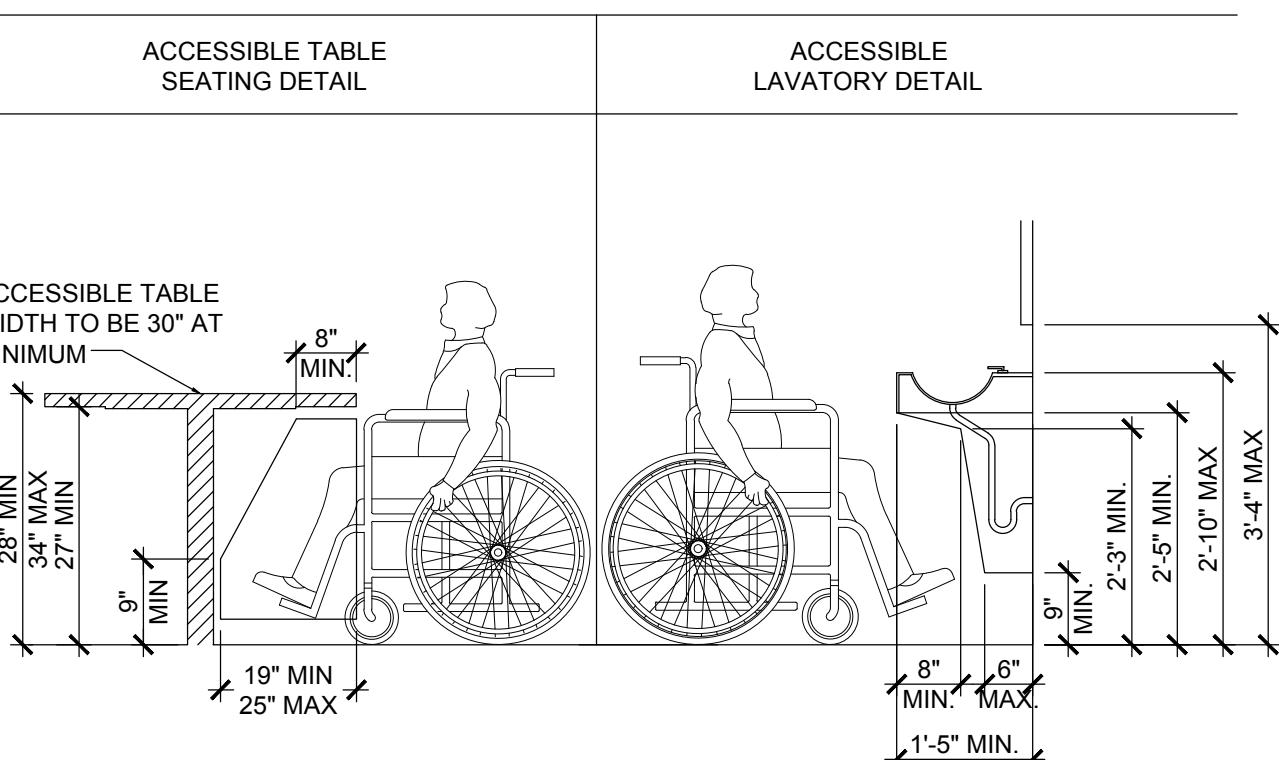
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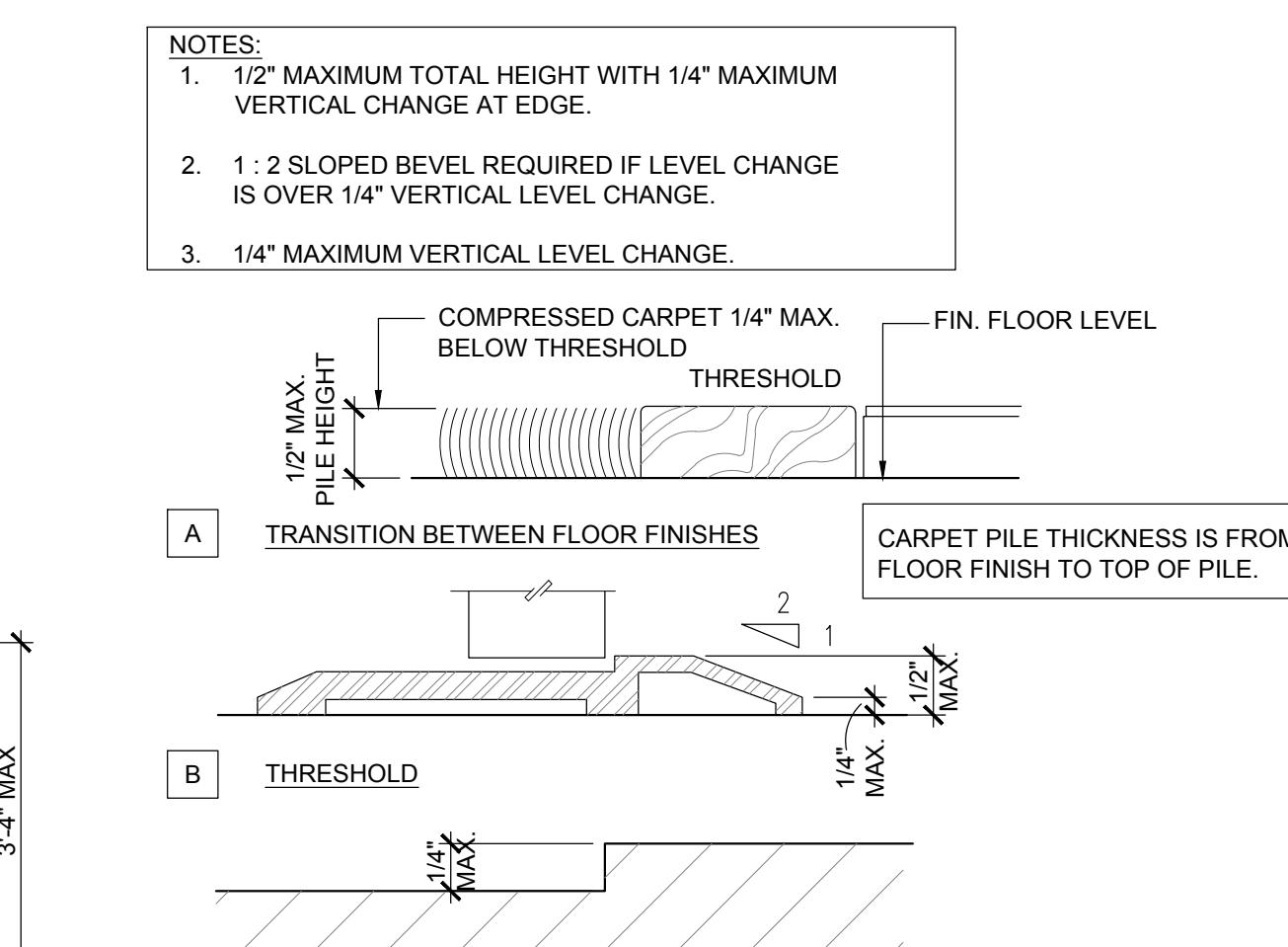
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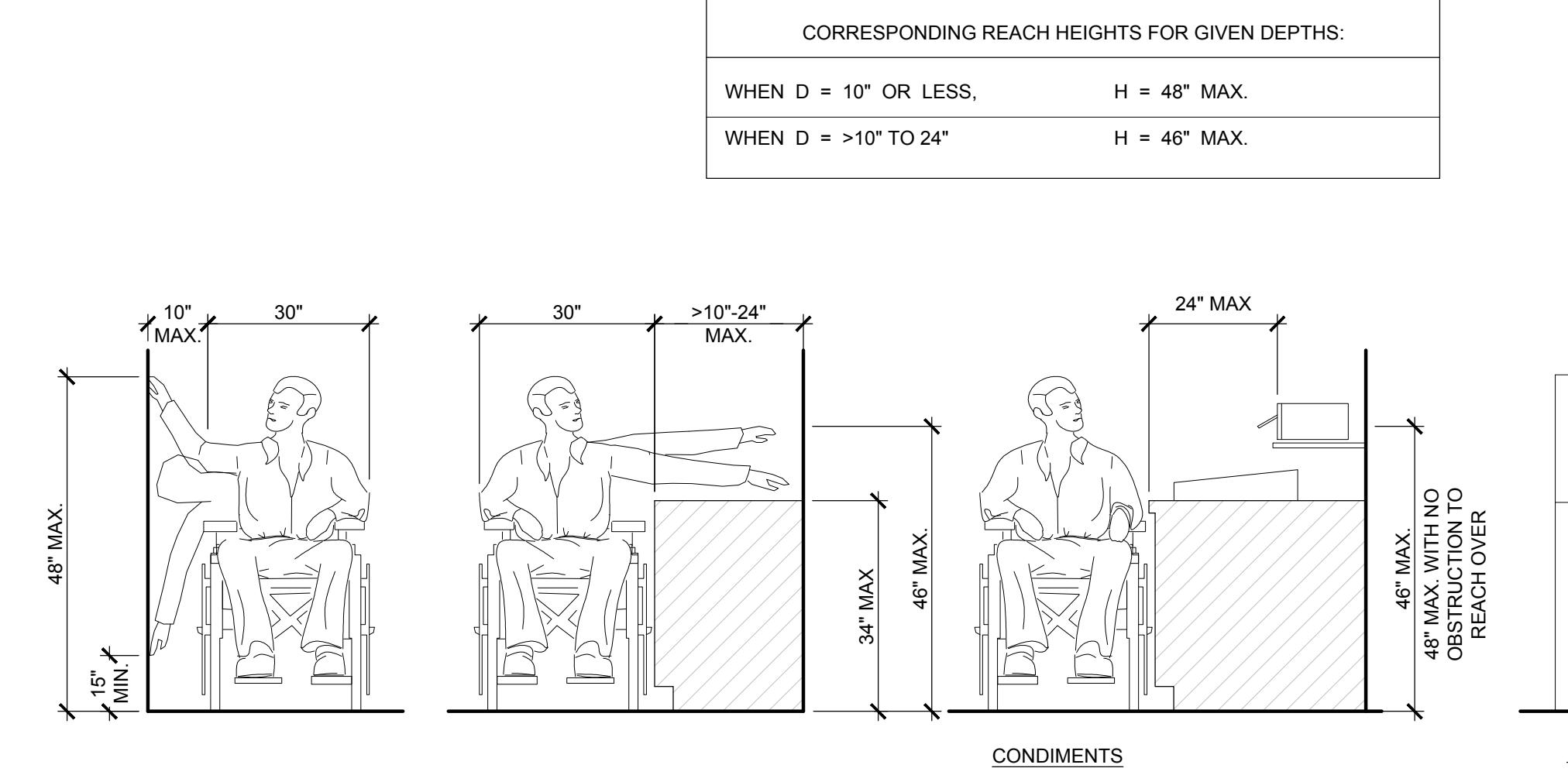
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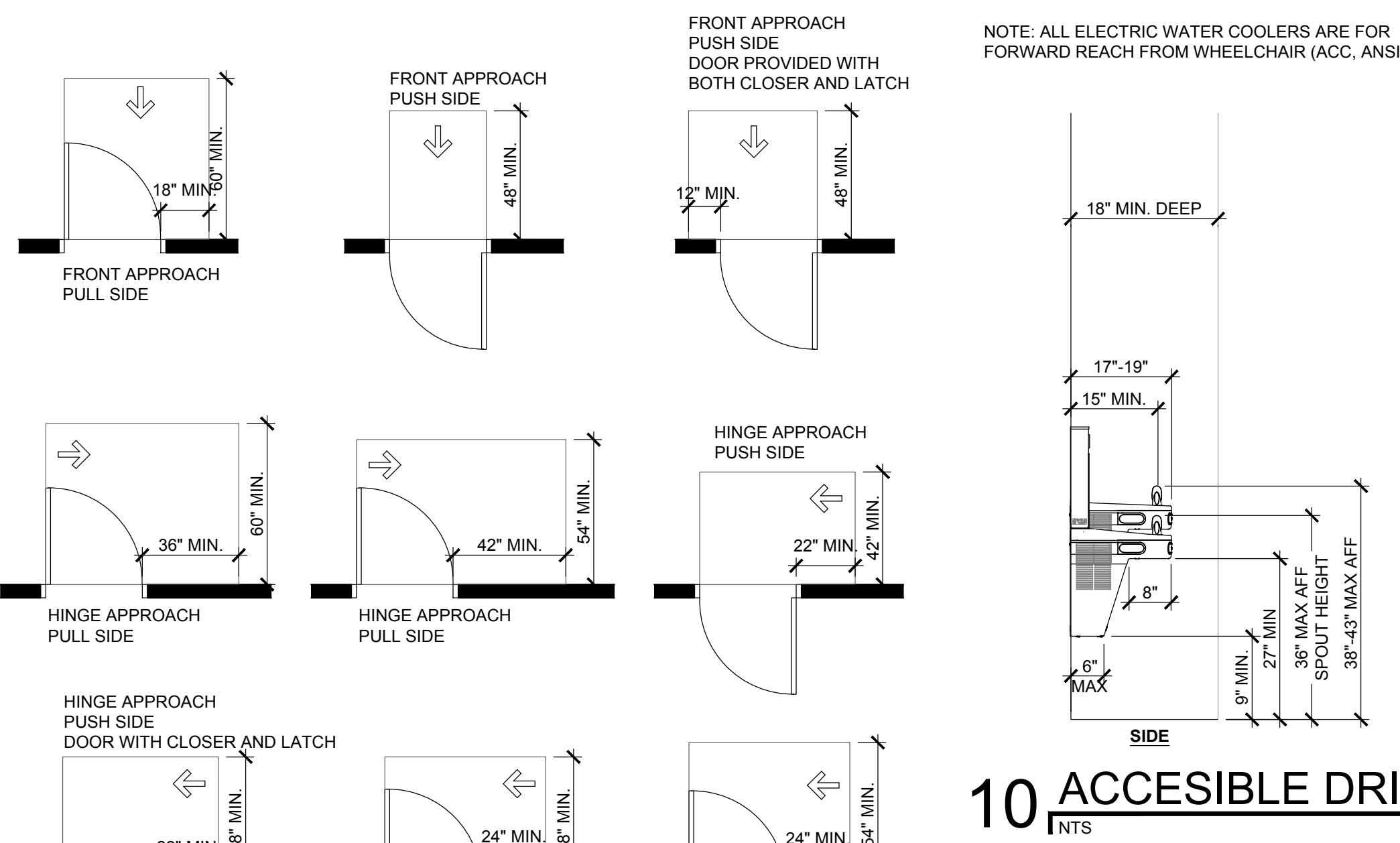
7 ACCESSIBLE ILLUSTRATIONS



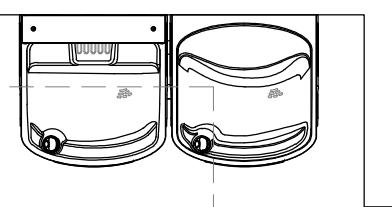
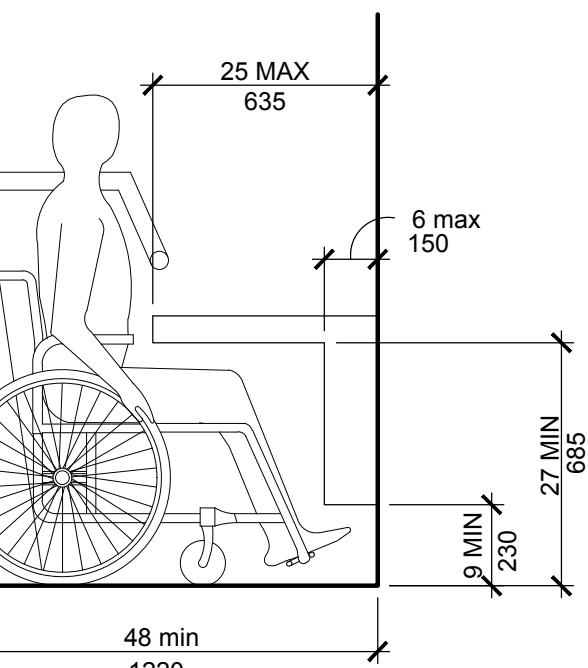
4 CHANGES IN LEVEL NTS



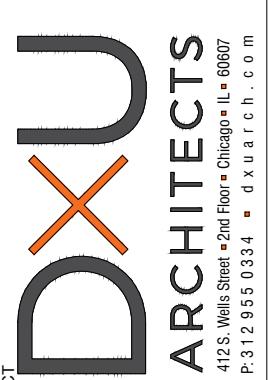
3 ADA REACH RANGES



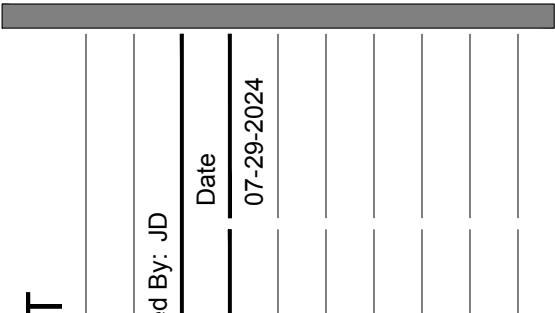
The diagram illustrates three separate accessible drinking fountain fixtures. Each fixture is a curved, wall-mounted unit. To the left of each fixture is a vertical dimension line indicating a minimum clearance of 24 inches (labeled "24\" MIN."). Above each fixture is another dimension line indicating a minimum clearance of 8 inches (labeled "8\" MIN."). Arrows point from the text labels to the respective dimension lines.



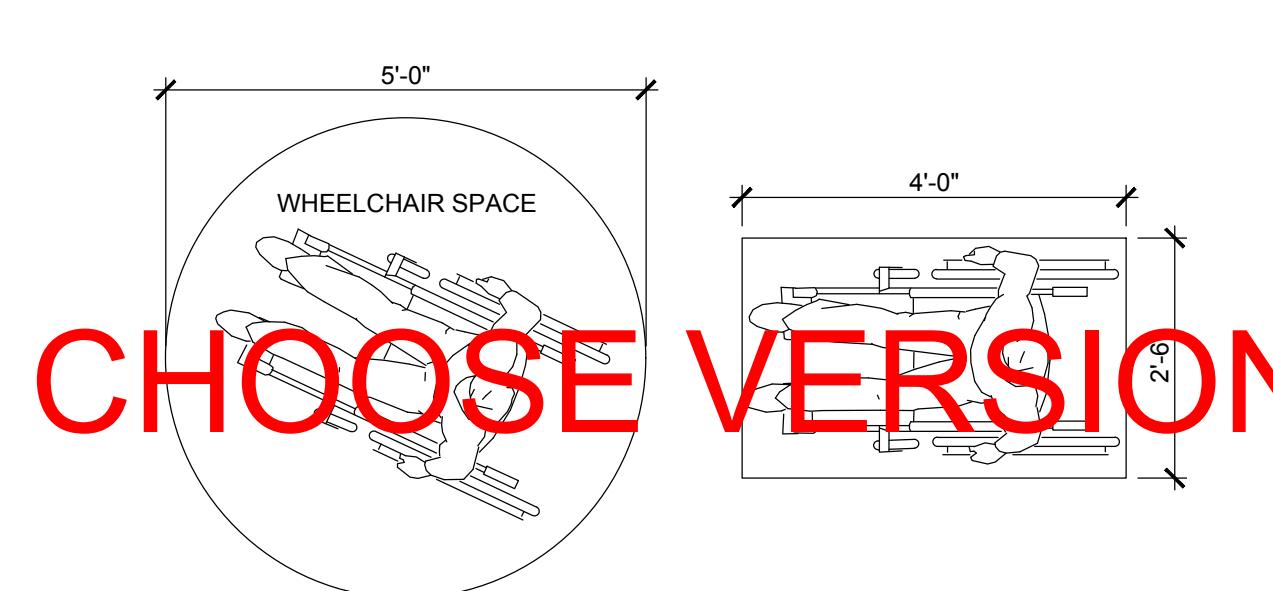
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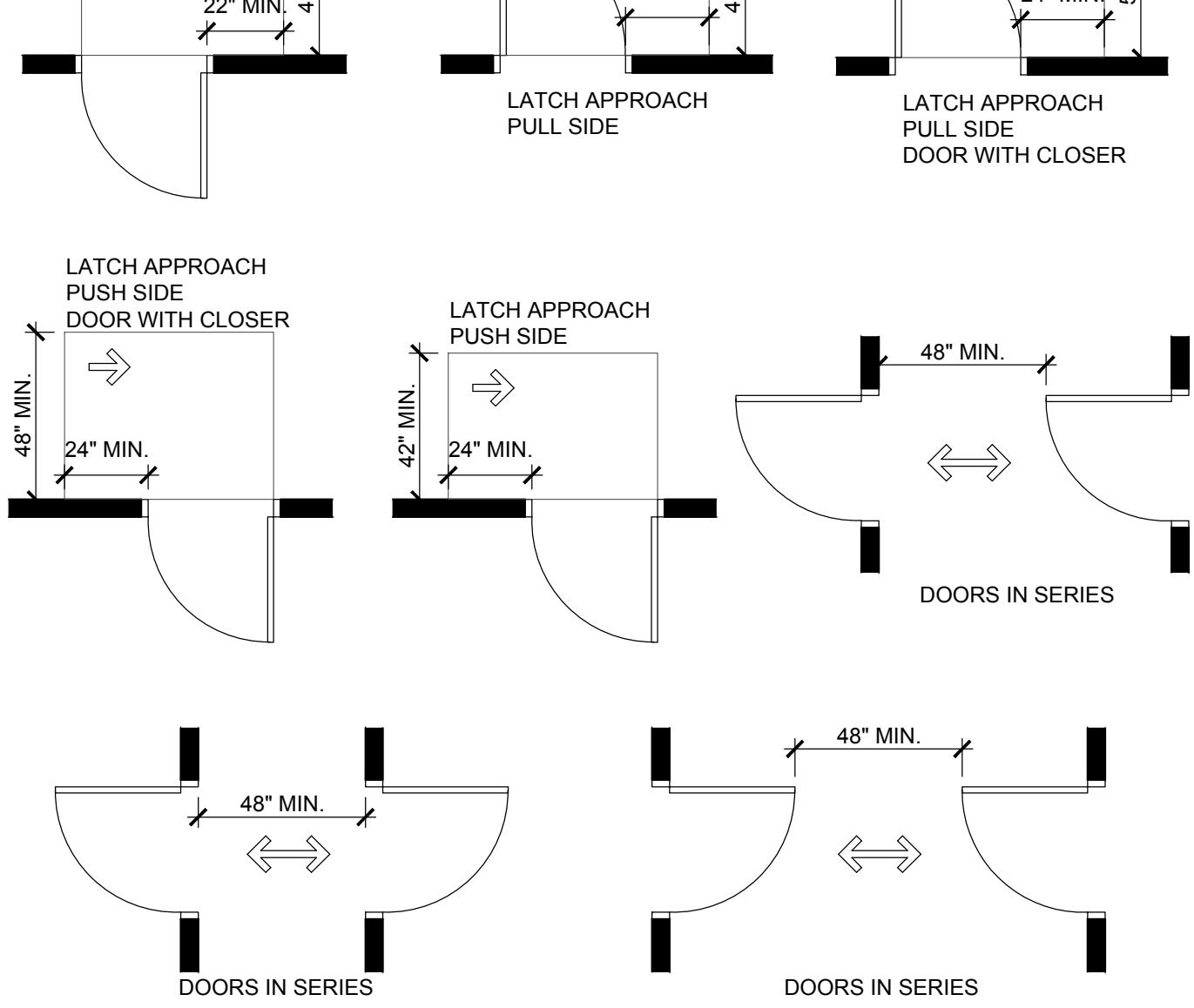
ARCHITECT



TEST EIT



SECTION 205.3 ICC/ANSI A117.1-2003



2 DOOR CLEARANCES



1 ADA CLEAR FLOOR & TURNING SPACE

SPECIFICATIONS

DIVISION 01 - GENERAL REQUIREMENTS

- THE WORK INCLUDES NEW TENANT IMPROVEMENTS IN AN EXISTING STAND ALONE SPACE. PER SQUARE FOOT CALCULATIONS AS NOTED ON THE TITLE SHEET. CONTRACT WILL INCLUDE CONSTRUCTING WALLS, CEILINGS & FLOOR PER CLIENT APPROVED FINISHES, DETAILS & SPECIFICATIONS. SECURE & PAY FOR GOVERNMENT FEES, LICENSES, & PERMITS.
- CONTRACTORS SHALL VISIT THE PREMISES WHILE BIDDING & SHALL FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS & THE REQUIREMENTS OF THE PROJECT PRIOR TO DEVELOPING THEIR BID. MATERIAL QUANTITIES SHALL BE BASED ON ACTUAL FIELD CONDITIONS & MEASUREMENTS. DO NOT RELY ON SCAFFOLD PLANS FOR ACCURATE DIMENSIONING.
- PRIOR TO BEGINNING THE WORK, VERIFY ALL EXISTING DIMENSIONS & SQUARE FOOTAGES. NOTIFY THE OWNER OF COMPLIANCE OR DISCREPANCIES, COMPARING THOSE DISCREPANCIES TO THE NUMBERS ON THE TITLE SHEET.
- CONTRACTORS SHALL TAKE CARE TO PROTECT ADJACENT AREAS FROM DUST & DAMAGE DURING THE CONSTRUCTION PROCESS & SHALL CLEAN UP AFTER THEMSELVES AT THE END OF EACH WORKING DAY. ANY DAMAGE DONE TO ADJACENT AREAS MUST BE REPAIRED TO MATCH ORIGINAL CONDITIONS.
- ALL RUBBISH & TRASH SHALL BE REMOVED FROM THE PREMISES & PROPERLY DISPOSED OF EACH DAY. NO RUBBISH SHALL BE LEFT IN THE PREMISES AFTER WORK IS COMPLETED EACH DAY.
- ALL DRAWINGS HEREIN CREATE AN ENTIRE PACKAGE. ALL TRADES SHALL BE RESPONSIBLE FOR REVIEWING THEIR RESPECTIVE REQUIREMENTS & COORDINATING CHANGES IN THE DRAWINGS. COORDINATE WITH OTHER RELATED TRADES. COORDINATE ALL WORK OF THE VARIOUS TRADES & SUBCONTRACTORS TO ASSURE EFFICIENT & ORDERLY INSTALLATION.
- PROVIDE ACCOMMODATION FOR ITEMS INSTALLED AT A LATER DATE. VERIFY THAT CHARACTERISTICS OF ELEMENTS & INTERRELATED OPERATING EQUIPMENT ARE COMPATIBLE. COORDINATE WITH OTHER RELATED TRADES. COORDINATE INTERDEPENDENT RESPONSIBILITIES FOR INSTALLING, CONNECTING TO, & PLACING IN SERVICE SUCH EQUIPMENT. COORDINATE SPACE REQUIREMENTS & INSTALLATION OF MECHANICAL & ELECTRICAL WORK & FIRE SPRINKLER SYSTEM WHICH ARE INDICATED, DETAILED, OR IMPLIED DIAGRAMMATICALLY ON DRAWINGS.
- UNLESS SPECIFICALLY NOTED, PROVIDE & PAY FOR LABOR, MATERIALS & EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT & MACHINERY & OTHER FACILITIES & SERVICES NECESSARY FOR PROPER EXECUTION & COMPLETION OF WORK, INCLUDING PERMITS. TEMPORARY UTILITIES SHALL BE ARRANGED & PAID FOR BY GENERAL CONTRACTOR.
- GENERAL CONTRACTOR SHALL PURCHASE & MAINTAIN INSURANCE COVERAGE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LANDLORD & THE TENANT. VERIFY & COORDINATE WITH THE TENANT'S PROJECT MANAGER ANY ADDITIONAL REQUIREMENTS.
- FURNISH ALL REQUIRED TEMPORARY FACILITIES & ALL TEMPORARY UTILITIES IMMEDIATELY AFTER RECEIPT OF NOTICE TO PROCEED FOR USE IN CONVENIENCE OF ALL THOSE ENGAGED IN THE PROJECT WORK.
- ALL CONTRACTORS MUST STAY BEHIND THE BARRIERS & MAINTAIN ACCESS TO SUCH AREAS CLEAN & FREE OF CONSTRUCTION MATERIALS & DEBRIS. FAILURE TO MAINTAIN CLEAN STOREFRONT WILL RESULT IN BUILDING MANAGEMENT HAVING SUCH MATERIALS & DEBRIS REMOVED & ALL CHARGES FOR MAINTENANCE BILLED TO GENERAL CONTRACTOR.
- COORDINATE ALL CONSTRUCTION & SCHEDULING WITH THE BUILDING MANAGER REVIEWING ALL SCHEDULED ACTIVITIES AT OUTSET OF CONSTRUCTION.
- THE OWNER OR THE OWNER'S SUBCONTRACTORS MAY OCCUPY PORTIONS OF THE PROJECT DURING THE FINAL STAGE OF CONSTRUCTION. COORDINATE & COOPERATE WITH THE OWNER TO MINIMIZE CONFLICT & FACILITATE THE OWNER'S OPERATION.
- ALL DIMENSIONS & FINISHES SHALL BE VERIFIED & COORDINATED WITH EXISTING CONDITIONS PRIOR TO CONSTRUCTION, FABRICATION, OR PURCHASING. IN CASE OF CONFLICT BETWEEN THE PROJECT REQUIREMENTS AND/OR EXISTING CONDITIONS, THE ARCHITECT OR OWNER SHALL BE CONTACTED FOR DIRECTION.
- PERFORM ALL WORK IN ACCORDANCE WITH ACCEPTABLE TRADE PRACTICE TO INSURE THE HIGHEST QUALITY FINISHED PRODUCT. EXPRESSED OR IMPLIED, PERFORM ALL WORK BY SKILLED MECHANICS IN ACCORDANCE WITH ESTABLISHED STANDARDS OF WORKMANSHIP IN EACH OF THE VARIOUS TRADES.
- COORDINATE BLOCKING REQUIREMENTS WITH ADJACENT OR RELATED TRADES, ACCESSORIES, EQUIPMENT & FIXTURES. INSTALL REQUIRED BLOCKING AT NO ADDITIONAL COST TO THE CONTRACT.
- REPAIR PROPERTY DAMAGE BY THE INSTALLERS TO A LIKE NEW CONDITION OR REPLACE DAMAGED SURFACES & MATERIALS OF THE PREVIOUSLY INSTALLED WORK BY OTHER TRADES, INSTALLERS & SUBCONTRACTORS.
- WHERE REQUESTED BY THE OWNER TO CERTIFY CONFORMANCE TO TRADE STANDARDS OR THE PROJECT REQUIREMENTS, THE CONTRACTOR SHALL ENLIST A TESTING LABORATORY AT THE OWNER'S COST. IF THE REQUESTED TEST SHOWS NON-COMFORMANCE TO GENERALLY ACCEPTED TRADE STANDARDS OR THE PROJECT REQUIREMENTS, THE CONTRACTOR SHALL CORRECT THE DEFICIENCY AT NO ADDITIONAL COSTS TO THE OWNER & REIMBURSE ALL THE COSTS OF THE TESTING TO THE OWNER, UNLESS THE CONTRACTOR HAS USED PRODUCTS INCORRECTLY LABELED BY THE MANUFACTURER OR HAS MADE PREVIOUSLY APPROVED CHANGES.
- PROVIDE SECURITY OF THE WORK, INCLUDING TOOLS & UNINSTALLED MATERIALS. PROTECT THE WORK, STORED PRODUCTS, CONSTRUCTION EQUIPMENT & OWNER'S PROPERTY FROM THEFT & VANDALISM & THE PREMISES FROM ENTRY BY UNAUTHORIZED PERSONNEL UNTIL FINAL ACCEPTANCE BY OWNER.
- MAINTAIN AN ACTIVE FIRE EXTINGUISHER AT THE PROJECT.
- DO NOT USE MATERIAL OR EQUIPMENT FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT IS SPECIFICALLY DESIGNED OR SPECIFIED. ALL MATERIALS & EQUIPMENT THAT ARE SIMILAR SHALL BE THE SAME TYPE, MODEL & STYLE FOR THE SAME USE THROUGHOUT THE PROJECT OR THEY SHALL BE REJECTED.
- WHEN THE PROJECT REQUIREMENTS REQUIRE THAT THE INSTALLATION OF WORK SHALL COMPLY WITH MANUFACTURER'S INSTRUCTIONS, PERFORM THE WORK IN STRICT ACCORDANCE WITH THE MOST CURRENT WRITTEN MANUFACTURER'S INSTRUCTIONS.
- ALL PRODUCTS & EQUIPMENT SHALL BE DELIVERED IN UNDAMAGED CONDITION & STORED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS TO AVOID DISRUPTION OF THE WORK OR DAMAGE TO THE ITEMS. REPLACE DAMAGED OR UNFIT MATERIALS, AT NO COST TO THE OWNER.
- NOTIFY THE OWNER WHEN THE WORK IS SUBSTANTIALLY COMPLETE & READY FOR INSPECTION. UPON INSPECTION, PROVIDE WRITTEN OPERATION & MAINTENANCE INSTRUCTIONS & GUARANTEES FOR ALL EQUIPMENT & MATERIALS INSTALLED. PROVIDE WRITTEN GUARANTEES FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE OF THE WORK.
- PROVIDE FINAL CLEAN-UP & DAMAGE REPAIR AT THE PROJECT CONCLUSION. LEAVE THE PREMISES NEAT, CLEAN & CLEAR OF TOOLS, EQUIPMENT & SURPLUS MATERIALS, UNLESS REQUESTED BY THE OWNER. CLEAN-UP SHALL INCLUDE & NOT BE LIMITED TO:
 - POWER WASHING & CLEANING OF ALL SHELVING, CABINETRY, CASEWORK, GLASS & MIRRORS BOTH INSTALLED UNDER THIS CONTRACT OR EXISTING WALLS, CEILINGS, FIXTURES, ETC.
 - REPAIR OR REPLACEMENT OF PROPERTY DAMAGED DURING FINAL COMPLETION OF THE PROJECT.
 - G.C. TO HIRE & PAY FOR PROFESSIONAL CLEANING ON (2) OCCASIONS: ONCE BEFORE OWNER'S MOVE-IN TO TENANT (MERCHANDISING) & AGAIN BEFORE OPENING.
- GENERAL CONTRACTOR SHALL PLACE ORDERS FOR ALL FINISHES, ALL MATERIALS, EQUIPMENT, ETC. AT THE START OF THE PROJECT. SUBSTITUTIONS ARE NOT ACCEPTED FOR ANY ITEMS, UNLESS NOTED OTHERWISE. OWNER & ARCHITECT MUST BE INFORMED OF LEAD TIME PROBLEMS WITHIN THE FIRST TWO WEEKS OF THE PROJECT.
- DIVISION 02 - DEMOLITION / BUILDING ALTERATIONS**
- THE WORK MAY INCLUDE DEMOLITION OF EXISTING CONSTRUCTION, REMOVAL OF VARIOUS ITEMS OF EQUIPMENT & CONSTRUCTION & THE CUTTING OR ALTERATION OF EXISTING CONSTRUCTION AS SHOWN, NOTED OR IMPLIED ON THE DRAWINGS. CONTRACTOR SHALL NOT REMOVE ANY EXISTING CONSTRUCTION, DEMOLISH, ALTER OR REMOVE ITEMS TO PROVIDE FOR A COMPLETE ETCH INSTALLATION OF NEW WORK. ALL COSTS OF REMOVAL, REPAIR OR REPLACEMENT SHALL BE INCLUDED IN THE BID. ADDITIONAL COSTS FOR DEMOLITION OF ITEMS HIDDEN OR INACCESSIBLE DURING THE BIDDING PHASE, SHALL BE SUBMITTED FOR APPROVAL PRIOR TO BEGINNING THE WORK.
- AT ALTERED CONSTRUCTION, REPAIR CUT EDGES, REPLACE CONSTRUCTION & FIT NEW TO EXISTING CONSTRUCTION TO MATCH EXISTING WORK. MAKE JOINTS OF NEW & EXISTING PATCHES VERY SMOOTH, EVEN & PRACTICALLY INVISIBLE. COORDINATE ALL REPLACEMENT & REPAIR REQUIREMENTS WITH LANDLORD'S CONSTRUCTION CRITERIA

& TENANT'S COORDINATOR.

- SAW-CUT CONCRETE WITH DIAMOND SAW; JACKHAMMERING WILL NOT BE PERMITTED EXCEPT WITH THE EXPRESSED WRITTEN APPROVAL OF THE LANDLORD. CUT IN ACCORDANCE WITH THE ENLISTED STRUCTURAL ENGINEER. BREWELL SECTIONS, FLOOR SLAB, BE CORE DRILLED WHERE APPROXIMATELY FOR INSTALLATION OF PLATES, SIMILAR ITEMS. COORDINATE ALL CORE LOCATIONS & SLAB MODIFICATIONS WITH LANDLORD'S STRUCTURAL ENGINEER. WHERE EXISTING PIPING & OTHER SIMILAR ITEMS ARE UNDER EXISTING SLABS, EXERCISE CARE TO PROTECT FROM DAMAGE. EXERCISE CARE WHEN CUTTING ADJACENT TO EXISTING WALLS TO AVOID DAMAGE TO WALLS. IF DAMAGED, REPAIR AS REQUIRED TO ORIGINAL CONDITION.
- DOORS & FRAMES: IF DOORS & FRAMES ARE TO BE REUSED ON THE WORK, CAREFULLY REMOVE DOOR FROM FRAMES & REMOVE FRAMES FROM OPENING, TAKING CARE TO AVOID DAMAGE. REMOVE HARDWARE, CLEAN, REFURBISH & STORE FOR REINSTALLATION WHERE INDICATED. FOR DOORS & FRAMES TO BE SALVAGED, CAREFULLY REMOVE FROM OPENING & DELIVER FOR STORAGE WHERE INDICATED.
- PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURE. PROVIDE & PLACE BRACING & SHORING & BE RESPONSIBLE FOR SAFETY & SUPPORT OF STRUCTURE, AS DETERMINED BY G.C. ENLISTED STRUCTURAL ENGINEER. ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT DAMAGE OR INJURY.
- ARRANGE & PAY FOR DISCONNECTING, REMOVING & CAPPING UTILITY SERVICES WITHIN AREAS AFFECTED BY DEMOLITION. PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. LOCATE SPRINKLER SHUT-OFF VALVE & SMOKE ALARM PRIOR TO COMMENCING WORK; COORDINATE REQUIRED MODIFICATION WITH LANDLORD.
- CAREFULLY REMOVE MATERIALS & EQUIPMENT WHICH ARE INTENDED TO BE REUSED. STORE IN A SECURE LOCATION. REMOVE DEBRIS, REFUSE & MATERIALS BEING DEMOLISHED IMMEDIATELY FROM THE SITE.
- ERECT & MAINTAIN WEATHERPROOF & DUSTPROOF CLOSURES & PARTITIONS TO PREVENT WEATHER DAMAGE OR SPREAD OF DUST, FUMES & SMOKE TO OTHER PARTS OF THE BUILDING, IN ACCORDANCE WITH MALL GUIDELINES & STIPULATIONS.
- PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.
- REPAIR ALL DEMOLITION IN EXCESS OF THAT REQUIRED AT NO COST TO THE OWNER.
- REMOVE FROM SITE CONTAMINATED, VERNIN INFESTED OR DANGEROUS MATERIALS ENCOUNTERED; DISPOSE OF BY SAFE MEANS TO PROTECT HEALTH OF WORKERS & PUBLIC.

DIVISION 03 - CONCRETE REPAIR & REPLACEMENT

- WORK INCLUDES: PATCHING OF SLAB AFTER DEMOLITION & REMOVAL OF FINISHES, FILLING & LEVELING JOINTS & CRACKS; FILLING ABANDONED ELECTRICAL BOXES & ANY HOLES GREATER THAN 1/2".
- USE RAECO-LITH "R-35" AS UNDERLAYMENT FOR PATCHING OR APPROVED EQUAL. MIX SHALL BE TWO PARTS - MORTAR MIX & LATEX BINDER. MIX & INSTALL PER MANUFACTURER'S LATEST WRITTEN & RECOMMENDED DIRECTIONS.

DIVISION 04 - MASONRY

CONCRETE MASONRY UNITS

- CONCRETE MASONRY UNITS ARE TO BE SQUARE-EDGED UNITS FOR OUTSIDE CORNERS, UNLESS OTHERWISE INDICATED.
- WHERE REQUIRED, USE DECORATIVE CONCRETE MASONRY UNITS TO MATCH EXISTING SHELL FINISH:
 - EXPOSED FACES TO BE GROUND FINISH, SPLIT-FACE FINISH OR SPLIT-RIBBED FINISH TO MATCH EXISTING

FACE BRICK

- FACE BRICK (ASTM C 216) IS TO BE OF STANDARD SIZE TO MATCH EXISTING SHELL SPACE.
- CONTRACTOR IS TO USE SOLID BRICK WITH FINISHED SURFACES AT ENDS & CAPS.
- SPECIAL SHAPES ARE TO BE USED IN APPLICATIONS WHERE SAW CUTTING WOULD LEAVE EXPOSED END UNFINISHED EXPOSED TO VIEW.

MORTAR

- ASTM 270, ASTM C 1142 & UBC STANDARD 21-15 ARE ACCEPTABLE.
- CALCIUM CHLORIDE SHALL NOT BE USED IN MORTAR MIXTURE.
- FOR MASONRY BELOW GRADE, IN CONTACT WITH EARTH, REINFORCED MASONRY TYPE S OR RS SHALL BE USED (MATCH EXISTING). FOR EXTERIOR ABOVE GRADE, LOAD BEARING, NON-LOAD BEARING & PARAPET WALLS TYPE N OR RN SHALL BE USED (MATCH EXISTING).
- JOINT & CELL REINFORCEMENT, TIES & ANCHORS**
 - PROVIDE JOINT REINFORCEMENT FORMED FROM GALVANIZED CARBON-STEEL WIRE (ASTM A 153, CLASS B-2 FOR BOTH INTERIOR & EXTERIOR WALLS)
 - FOR SINGLE-WYTHE MASONRY, PROVIDE LADDER OR TRUSS DESIGN REINFORCEMENT.
 - INSTALL #4 BARS MIN. AT ENDS OF WALLS & 48" O.C. MIN. IN SOLID GROUTED CELLS OVERLAP BARS 18" MIN. & TIE, AS REQUIRED.

EXECUTION

- CUT MASONRY UNITS WITH MOTOR-DRIVEN SWAS. INSTALL CUT UNITS WITH CUT SURFACE CONCEALED.
- MASONRY UNITS TO BE MIXED FROM SEVERAL PALLETS AS THEY ARE PLACED TO CREATE UNIFORM BLEND OF COLOR & TEXTURE.
- COURsing, BONDING, COLOR & TEXTURE OF NEW MASONRY IS TO MATCH EXISTING.
- EXPOSED JOINTS ARE TO BE TOOLED SLIGHTLY WHEN THUMPRINT HARD.
- ALL CAVITIES ARE TO BE KEPT CLEAN OF MORTAR DROPPINGS & OTHER MATERIALS DURING CONSTRUCTION. CAVITY JOINTS ARE TO BE TOOLED FLUSH.

CLEANING

- MASONRY BLOCK, FACE BRICK & VENNER TO BE CLEANED AS WORK PROGRESSES. MORTAR FINS, SMUDGES & SMEARS ARE TO BE REMOVED PRIOR TO TOOLING JOINTS.
- AFTER MORTAR HAS COMPLETELY SET & CURED, ALL LARGE MORTAR PARTICLES ARE TO BE REMOVED & UNITS MASONRY IS TO BE SCRUBBED THOROUGHLY.

DIVISION 05 - METAL FABRICATIONS

- PROVIDE ALL MISCELLANEOUS METAL ITEMS INCLUDING MATERIALS, FABRICATIONS, FASTENINGS & ACCESSORIES REQUIRED FOR FINISHED INSTALLATION AS INDICATED & SPECIFIED.
- STEEL SHALL BE ASTM A36 AMERICAN OPEN HEARTH SHEET STEEL, FREE FROM SCALE & Pitting & OTHER DEFECTS AFFECTING APPEARANCE.
- TUBING SHALL CONFORM TO REQUIREMENTS OF ASTM A500 OR A501 AS APPROVED.
- WHERE METAL ITEMS ARE TO BE ERECTED & IN CONTACT WITH DISSIMILAR MATERIALS, PROVIDE CONTACT SURFACES WITH COATING OF AN IMPROVED ZINC CHROMATE PRIMER IN A MANNER TO OBTAIN NOT LESS THAN 1.0 MIL DRY FILM THICKNESS.
- STEEL SHEET SHALL CONFORM TO REQUIREMENTS OF ASTM A606.
- CARBON STEEL BARS SHALL CONFORM TO REQUIREMENTS OF ASTM A321.
- ALUMINUM EXTRUSIONS SHALL CONFORM TO ASTM B221. REVEALS TO BE CLEAR ANODIZED FINISH (UNLESS OTHERWISE NOTED).
- FASTENERS SHALL BE AS REQUIRED FOR ASSEMBLY & INSTALLATION OF FABRICATED ITEMS.
- BOLTS SHALL BE LOW CARBON STEEL EXTERNALLY & INTERNALLY THREADED FASTENERS CONFORMING WITH REQUIREMENTS OF ASTM A307. INCLUDE NECESSARY NUTS & PLAIN HARDENED WASHERS. FOR MEMBERS FOR SUPPORT OF STRUCTURAL MEMBERS OR CONNECTION THERETO, USE FASTENERS CONFORMING WITH ASTM A325.

FOR STAINLESS STEEL & NON-FERROUS ITEMS, USE TYPE 302 & 304 STAINLESS STEEL FASTENERS.

- MISCELLANEOUS MATERIALS: PROVIDE ALL INCIDENTAL ACCESSORY MATERIALS, TOOLS, METHODS & EQUIPMENT REQUIRED FOR FABRICATION & INSTALLATION OF MISCELLANEOUS METAL ITEMS AS INDICATED ON DRAWINGS.
- VERIFY DIMENSIONS PRIOR TO FABRICATION OR CASTING. FORM METAL ITEMS TO ACCURATE SIZES & CONFIGURATIONS AS INDICATED ON DRAWINGS & OTHERWISE REQUIRED FOR PROPER INSTALLATION; FABRICATE WITH ALL LINES STRAIGHT & ALIGNED. PROVIDE ALL EXPOSED SURFACES & EDGES WITH POLISH. PREPARE ITEMS FOR CONNECTION WITH WORK OF OTHER TRADES. MAKE PERMANENT CONNECTIONS BY WELDING & GRIND ALL EXPOSED WELDS SMOOTH TO MATCH ADJACENT SURFACES; ROUGH JOINT SURFACES NOT PERMITTED. AVOID USING BOLTS & SCREWS UNLESS SPECIFICALLY INDICATED OR APPROVED; WHEN USED, DRAW UP TIGHT & TIE THREADS TO PREVENT LOOSENING.
- ALL FERROUS METAL ITEMS SHALL BE SHOP FINISHED, TOUCH-UP OR REPAIR DAMAGED AREAS PRIOR TO INSTALLATION WITH SAME MATERIAL.
- PROVIDE CONTACT SURFACES WITH CONCRETE MASONRY OR OTHER DISSIMILAR MATERIALS WITH A MINIMUM ONE POINT ZERO (1.0) MIL DRY THICKNESS OF AN APPROVED ZINC CHROMATE PRIMER.
- PROVIDE ALL STEEL BLOCKING & BRACING IN METAL STUD FRAMED PARTITIONS NECESSARY FOR A COMPLETE INSTALLATION. INCLUDE AS REQUIRED FOR SUPPORT OF ALL WALL-MOUNTED EQUIPMENT & FABRICATIONS AS INDICATED ON DRAWINGS. PROVIDE SUPPORTS AT JAMBS OF DOORS & ELSEWHERE, AS REQUIRED.
- FABRICATE ALL MISCELLANEOUS FRAMING & BRACING ITEMS TO DETAIL OF STRUCTURAL SHAPES, PLATES & BARS; WELD JOINTS WHERE PRACTICAL; PROVIDE BOLTS & OTHER CONNECTION DEVICES REQUIRED. INCLUDE ANCHORAGES, CLIP ANGLES, SLEEVES, ANCHOR PLATE & SIMILAR DEVICES, WHETHER IMPLIED OR INDICATED. SET ACCURATELY IN POSITION AS REQUIRED & ANCHOR SECURELY TO BUILDING CONSTRUCTION WITH FASTENERS APPROPRIATE TO THE INSTALLATION

DIVISION 06 - WOOD & PLASTICS

- PROVIDE ROUGH LUMBER & PLYWOOD IN STANDARD DIMENSIONS. MOISTURE CONTENT NOT MORE THAN 19%.
- PROVIDE ALL NECESSARY ROUGH HARDWARE IN SIZES & QUANTITIES REQUIRED BY LOCAL CODE OR APPROVED BY ARCHITECT.
- USE FINISH OR CASING NAILS FOR EXPOSED WORK; USE TYPE "S" TRIM HEAD SCREWS FOR ATTACHMENT OF WOOD TRIM TO METAL STUDS, RUNNERS OR FURRING.
- RELIEVE BACKS OF WOOD TRIM; KERF BACKS OF MEMBERS MORE THAN 5" WIDE & 1" NOMINAL THICKNESS. EASE ALL EXTERNAL CORNERS.
- INSTALL LAMINATES ONLY WHEN RECEIVING SURFACES ARE IN A SATISFACTORY CONDITION FOR INSTALLATION.
- PROTECT FROM DAMAGE BY OTHER TRADES WORKING ADJACENT TO THE INSTALLATION. REPLACE DAMAGED SURFACES.
- REMOVE EXCESS ADHESIVE & CLEAN SURFACES USING MANUFACTURER'S RECOMMENDED SOLVENT & CLEANING PROCEDURES.
- FILL IN ALL SEAMS WITH MANUFACTURER'S APPROPRIATE COLOR SEAM COMPOUND.
- INSTALL WOOD & PLASTICS IN CONFORMANCE WITH DETAILS WITH THE FOLLOWING CONSIDERATIONS & REQUIREMENTS:
 - INSTALL ALL MATERIAL WITH TIGHT JOINTS.
 - MITER CASINGS & MOLDINGS.
 - ALONG RUNNING TRIM ONE (1) PIECE UP TO 10'-0". MATCH GRAIN & COLOR PIECE TO PIECE.
 - USE FINISH NAILS EXCEPT WHERE SCREWS ARE SPECIFICALLY CALLED FOR OR WHERE SCREWS DO NOT SHOW.
 - SET FASTENERS FOR PUTTYING.
 - WHERE SCREW ATTACHMENT REQUIRED, SPACE SCREWS AT EQUAL INTERVALS; SINK SCREWS INTO FINISHED SURFACES.
 - ALL MEMBERS & LINES LEVEL & PLUMB.
 - SELECT & CUT MATERIAL TO EXCLUDE DAMAGED, MARKED OR DEFECTIVE AREAS.
 - FINISH EXPOSED SURFACES SMOOTH, FREE FROM TOOL & MACHINE MARKS.
 - EASE ALL EXPOSED WOOD EDGES 1/8" MINIMUM RADIUS.
 - INSTALL FIRE RATED DOORS IN ACCORDANCE WITH REQUIREMENTS OF NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) RECOMMENDATIONS.

DIVISION 07 - SEALANTS & CAULKING

- PROVIDE NON-SAG SEALANT COMPLYING WITH REQUIREMENTS OF FEDERAL SPECIFICATIONS TTS-1543 OR FS TT-S-230 TYPE "II", CLASS "A". PROVIDE ACOUSTICAL SEALANT WHICH SHALL BE NON-HARDENING, NON-DRYING SYNTHETIC RUBBER SEALANT. SHADING IMPERFECTS, BLEMISHES & OTHER DEFECTS AT INTERSECTIONS BETWEEN PLANES, AROUND DOOR & WINDOW FRAMES, PRIMER SHALL BE MADE OR RECOMMENDED BY MANUFACTURER FOR THE SPECIFIC CONDITIONS & SUBSTRATES.
- PROVIDE BACKING MATERIAL BY DOW "ETHAFoam" OR APPROVED EQUAL. APPLY SEALANT OVER BACKING TO ADOBE THICKNESS & CONTINUOUS SEALS FILLING ALL JOINTS & VOID. SOLID SUPERFICIAL POINTING WITH THE SKIM BEAD WILL NOT BE ACCEPTED. JOINTS OVER 1/4" IN WIDTH MUST BE REDUCED/ADJUSTED PRIOR TO SEALING. ALL GAPS WIDE ENOUGH TO ACCEPT A SLIP OF PAPER MUST BE SEALED.
- ALL SURFACES SHALL BE ADEQUATELY CLEANED & PREPARED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS PRIOR TO INSTALLATION.
- THE KEC IS RESPONSIBLE FOR SEALING ALL KITCHEN EQUIPMENT PROVIDED W/ SANITARY SILICONE SEALANT, CLEAR OR WHITE. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SEALING ALL OTHER GAPS INCLUDING, WOOD BASE TO VCT, LAMINATE PANELS TO TRIM, CASING, ETC. W/ CLEAR OR PAINTABLE SEALANT AT DRYWALL / PAINT AS REQUIRED & REQUESTED BY INSPECTORS & OWNER.
- ALL PENETRATIONS IN MILLWORK ARE TO BE SEALED BY G.C. EXPOSED WOOD SURFACES IN CABINETS / COUNTERS ARE TO BE SEALED BY MILLWORK CONTRACTOR.

DIVISION 08 - WOOD & HOLLOW METAL DOORS & FRAMES

- PROVIDE FULLY WELDED DOOR FRAMES AT ALL G.C. PROVIDED DOORS, FREE FROM SCALE & Pitting & OTHER SURFACE DEFECTS, UNLESS OTHERWISE NOTED.
- PROVIDE HOLLOW METAL EXIT DOOR CONSTRUCTED WITH THE FOLLOWING MATERIALS:
 - MINIMUM 18 GA. FOR FACE SHEETS OF INTERIOR DOORS.
 - 16 GA. FOR EDGE CHANNELS.
 - MINIMUM 22 GA. FOR FACE STIFFENERS.
 - MINIMUM 16 GA. FOR INTERIOR FRAMES.
- PROVIDE DOORS OF SIZES & TYPES INDICATED ON DRAWINGS. FULLY WELDED SEAMLESS CONSTRUCTION WITH NO VISIBLE SEAMS OR JOINTS ON FACES OR VERTICAL EDGES; THICKNESSES AS SCHEDULED ON DRAWINGS. DOOR TOPS TO BE ENCLOSED W/ NO OPEN CHANNEL.
- FACE STIFFENERS, EDGES & HARDWARE REINFORCEMENT SHALL BE THE HIGHEST QUALITY WORKMANSHIP & MATERIALS. PROVIDE IN ACCORDANCE WITH BEST TRADE PRACTICE & MANUFACTURER'S WRITTEN RECOMMENDATIONS FOR THE USE INTENDED.
- HARDWARE REINFORCEMENT & ANCHORS (ERECTION, FLOOR & JAMB) SHALL BE AS REQUIRED FOR A SECURE INSTALLATION & SHALL BE IN ACCORDANCE WITH TRADE REQUIREMENTS FOR THE SPECIFIED HARDWARE & INTENDED USE.
- AFTER FABRICATION, DRESS, FILL & SAND EXPOSED SURFACES, BODY-PUTTY HOLES & IMPERFECTIONS. APPLY UNIFORM COAT OF MANUFACTURER'S STANDARD PRIME COAT TO ALL EXPOSED SURFACES. LEAVE READY TO RECEIVE FINISH PAINT.
- INSTALL FRAMES IN ACCURATE LOCATIONS AS INDICATED ON DRAWINGS. INSTALL RIGID, PLUMB, LEVEL & TRUE. ALIGN WITH ADJACENT CONSTRUCTION. SECURE FLOOR ANCHORS TO FLOOR

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PROJECT

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LICENSING EXPRESSES ON:

DATE OF SIGNATURE:

DxU ARCHITECTS

CONSULTANTS

TEST FIT

Project Number:	24-442	Approved By:	JD
Drawn By:	AS	Date:	07-29-2024

SHEET TITLE & NUMBER

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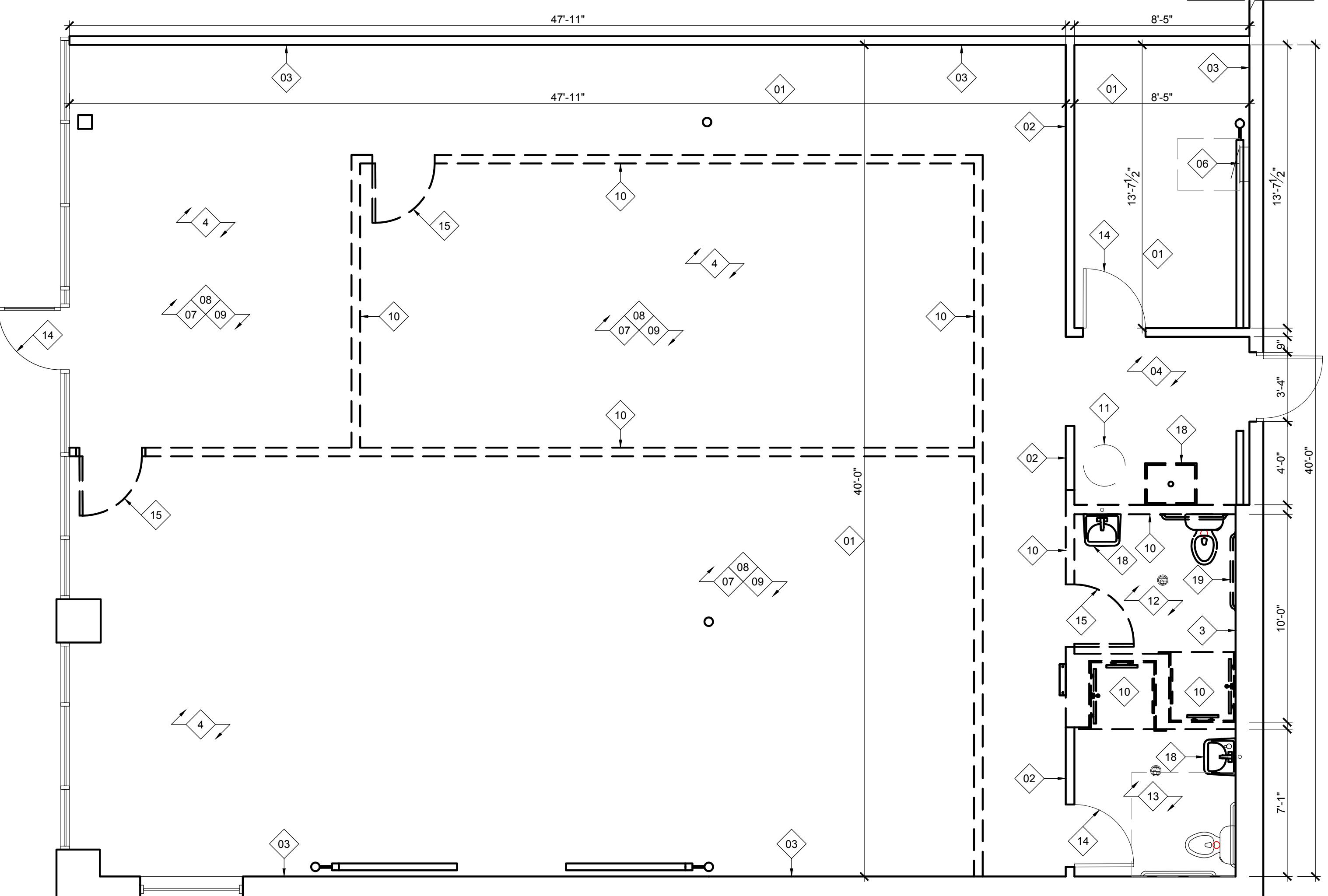
- EXISTING WALL TO REMAIN
- NEW WALL
- WALL OR ELEMENT TO BE DEMO'D

DEMOLITION NOTES

1. DEMOLISH EXISTING CONSTRUCTION AS INDICATED ON THE DRAWINGS AND REQUIRED BY JOB CONDITIONS. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS THAT WOULD PREVENT REMOVAL OF ANY ELEMENTS INDICATED.
2. PROTECT EXISTING CONSTRUCTION AND EQUIPMENT DESIGNATED TO REMAIN.
3. CONTRACTOR SHALL ENDEAVOR TO IDENTIFY ANY HAZARDOUS MATERIALS WITHIN THE SPACE, INCLUDING BUT NOT LIMITED TO ASBESTOS, BEARING MATERIALS, AND WHERE REQUIRED BY LAW, PROVIDE REQUIRED TESTING. WHERE HAZARDOUS MATERIALS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ARRANGE FOR PROPER REMEDIATION.
4. UNLESS INDICATED OTHERWISE BY OWNER OR THESE DRAWINGS, ALL REMOVED MATERIAL AND ABANDONED EQUIPMENT SHALL BE LEFT AT THE SITE. THE CONTRACTOR SHALL REMOVE DEMOLISHED ITEMS FROM THE SITE AND DISPOSE OF THEM IN A LEGAL MANNER.
5. THE CONTRACTOR SHALL ADHERE TO ANSI A10.6 SAFETY REQUIREMENTS FOR DEMOLITION PUBLISHED BY THE AMERICAN NATIONAL STANDARDS INSTITUTE.
6. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR THE ACCURACY AND INSTALLATION OF ALL TEMPORARY SHORING SYSTEMS USED DURING THE REMOVAL OF ALL STRUCTURAL ELEMENTS, EXCEPT AS OTHERWISE AGREED BY THE BUILDING DEPT. AND THE ARCHITECT.
7. IF THE SAFETY OF EXISTING CONSTRUCTION APPEARS TO BE ENDANGERED AT ANY TIME, CEASE OPERATIONS AND IMMEDIATELY NOTIFY THE OWNER AND ARCHITECT. THE CONTRACTOR SHALL DEVISE A PLAN TO MAKE THE JOB SITE AS SAFE AS POSSIBLE. THE OWNER'S LIFE SAFETY FIRST AND FOREMOST, WORK SHALL NOT RESUME UNTIL DANGEROUS CONDITIONS HAVE BEEN REMEDIATED TO THE ARCHITECT'S SATISFACTION.
8. THE DRAWINGS DO NOT NECESSARILY INDICATE THE FULL EXTENT OF THE WORK REQUIRED TO BE PERFORMED. INSPECT THE EXISTING CONSTRUCTION CAREFULLY TO DETERMINE THE FULL EXTENT OF WORK TO BE PERFORMED AND THE POSSIBLE IMPACT THEREON. COMPENSATION WILL BE ALLOWED BECAUSE OF FAILURE TO ESTIMATE THE FULL EXTENT OF THE WORK OR FOR ANY CONTINGENCIES IN CONNECTION THEREWITH.
9. ALL WORK SHALL BE PERFORMED BY SKILLED AND PROPERLY EQUIPPED PERSONNEL, AND LICENSED WHEN REQUIRED BY THE AUTHORITY HAVING JURISDICTION.
10. DEMOLITION AND REMOVAL OF ITEMS WHEN A SCAFFOLD, LADDER, OR OTHER VERTICAL ACCESS IS REQUIRED SHALL BE LOWERED BY CONTROLLED METHODS, NOT BY THROWING OR DROPPING.
11. PERFORM ANY CUTTING AND STRIPPING SO THAT THE WORK TO REMAIN IS UNDAMAGED AND IN SUCH MANNER THAT NEW WORK CAN BE PROPERLY CONNECTED WITH EXISTING WORK TO REMAIN.
12. DEMOLISH EXISTING CONSTRUCTION ONLY TO THE EXTENT NECESSARY FOR THE PROPER INSTALLATION OF NEW CONSTRUCTION AND JUNCTION WITH EXISTING WORK. CUT BACK FINISHED SURFACES TO STRAIGHT, PLUMB AND LEVEL AS REQUIRED.
13. SAWING SHALL BE PERFORMED BY EXPERIENCED CRAFTSMEN CUSTOMARILY ENGAGED IN AND PROPERLY EQUIPPED FOR THE PERFORMANCE OF THE TYPE OF WORK REQUIRED BY JOB CONDITIONS. USE APPROPRIATE EQUIPMENT FOR CONTROL OF WASTE, COOLING LIQUID AND DUST PROTECTION AS REQUIRED.
14. WHEN REQUIRED FOR NEW WORK, INCIDENTAL DEMOLITION OF EXISTING ELEMENTS MAY BE REQUIRED FOR INSTALLATION OF PIPING, CONDUIT, TUBING, DUCTWORK, OR OTHER CONVEYANCE ELEMENTS AS REQUIRED BY MECHANICAL, PLUMBING, AND ELECTRICAL SCOPE. THE DRAWINGS MAY NOT INDICATE SUCH INCIDENTS. OPERATION, HOWEVER, IS THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY AND PERFORM SUCH.
15. DRILLING AND INSTALLING SLEEVES FOR PASSAGE OF PIPING, CONDUIT, AND TUBING SHALL BE PERFORMED BY THE TRADE INSTALLING THE PIPING, CONDUIT, OR TUBING.
16. REPAIR, RESTORE, REPLACE, OR MAKE GOOD ANY DAMAGE TO EXISTING CONSTRUCTION WHICH OCCURS AS A RESULT OF DEMOLITION OPERATIONS AT NO ADDITIONAL COST TO THE OWNER. THESE REPAIRS SHALL INCLUDE ANY ROOF PATCHING REQUIRED DUE TO DEMOLITION AND SHALL BE COORDINATED WITH THE LANDLORD AND LANDLORD'S ROOFER.
17. DO NOT ALLOW MATERIALS AND DEBRIS GENERATED BY DEMOLITION ACTIVITIES TO ACCUMULATE. REMOVE DAILY AND DISPOSE OF IN A LEGAL MANNER. INCINERABLE, BURNING, OR BURGLAR-DEMOLISHED MATERIAL SHALL NOT BE PERMITTED. DEBRIS SHALL NOT BE STORED OR STAGED NEAR ANY BACKFILL MATERIAL TO PREVENT CONTAMINATION OF BACKFILL WITH UNSUITABLE FILL.
18. LEAVE ALL SPACES BROOM CLEAN WITH ALL LEDGES AND CORNERS PROPERLY CLEANED AT THE END OF EACH WORK DAY.
19. PROVIDE PROTECTION TO PREVENT GLASS BREAKAGE AS MAY BE REQUIRED. REPLACE IN KIND ANY GLASS BROKEN BY CONSTRUCTION OPERATIONS AT NO ADDITIONAL COST.
20. PROVIDE HOISTS AND CHUTES AS REQUIRED TO COVER REMOVED MATERIAL, THROWING, DROPPING, OR PERMITTING THE FREE FALL OF MATERIAL AND DEBRIS FROM HEIGHTS WHICH WOULD CAUSE DAMAGE TO WORK, CREATE EXCESSIVE NOISE OR NUISANCE, CREATE UNSAFE CONDITIONS, OR CAUSE EXCESSIVE DUST IS EXPRESSLY PROHIBITED.
21. WHERE REQUIRED, ERECT SIGNS, BARRICADES, AND SUCH OTHER FORMS OF WARNING TO PREVENT PERSONNEL FROM BEING PUT AT RISK OF INJURY.
22. DOORS AND HARDWARE: REMOVE CAREFULLY TO AVOID DAMAGE, INSO FAR AS POSSIBLE, LEAVE HARDWARE ATTACHED TO THE DOOR. WHERE THIS IS NOT PRACTICAL, PLACE ITEMS OF HARDWARE IN A CLOTH BAG ATTACHED TO THE DOOR.

DEMOLITION KEYNOTES

- 01 VERIFY ACTUAL DIMENSION MATCHES INDICATED ON THE DRAWINGS. NOTIFY ARCHITECT IMMEDIATELY WITH ANY DISCREPANCIES.
- 02 EXISTING PARTITION WALL TO REMAIN.
- 03 TENANT TO PROVIDE 2 HOUR DEMISING WALL. SEE A1-21 FOR WALL TAGS.
- 04 EXISTING FIRE SPRINKLER SYSTEM TO REMAIN. MODIFICATION PROVIDED AS REQUIRED UNDER SEPARATE PERMIT.
- 05 VERIFY EXISTING CONDUCTORS ARE OF CORRECT SIZE AND CONDITION TO DISTRIBUTE TO NEW PANEL LOCATION. SEE PLANS.
- 06 EXISTING ELECTRICAL PANEL TO REMAIN. ELECTRICIAN TO INSPECT INTERIOR COMPONENTS FOR CORROSION OR DAMAGE AND NOTIFY TENANT OF ANY REQUIREMENTS FOR REPLACEMENT OR REPAIR.
- 07 EXISTING FLOOR AND CEILING FINISHES TO BE REMOVED.
- 08 EXISTING PLUMBING FIXTURE TO BE REMOVED. CAP SANITARY CONNECTION BELOW FLOOR. DEMO SUPPLY PIPING BACK TO SERVICE ENTRANCE.
- 09 DEMO ALL EXISTING LIGHTING, POWER OUTLETS, AND ASSOCIATED CONDUITS, DEVICES, AND WIRING BACK TO PANEL.
- 10 EXISTING PARTITION WALL TO BE REMOVED.
- 11 EXISTING MOP/FLOOR SINK, W.H. TO REMAIN.
- 12 EXISTING GRAB BARS, SINK, WATER CLOSET AND OTHER BATHROOM ACCESSORIES TO REMAIN.
- 13 WATER CLOSET, GRAB BARS & OTHER BATHROOM ACCESSORIES TO REMAIN.
- 14 EXISTING DOORS TO REMAIN.
- 15 REMOVE EXISTING DOORS.
- 16 REMOVE EXISTING WATER FOUNTAIN/BOTTLE FILLER.
- 17 EXISTING SINK TO BE REMOVED.
- 18 SINKS TO BE REPLACED.
- 19 GRAB BARS TO BE REMOVED PREP FOR REPLACEMENT.



PENETRATION PLAN NOTES

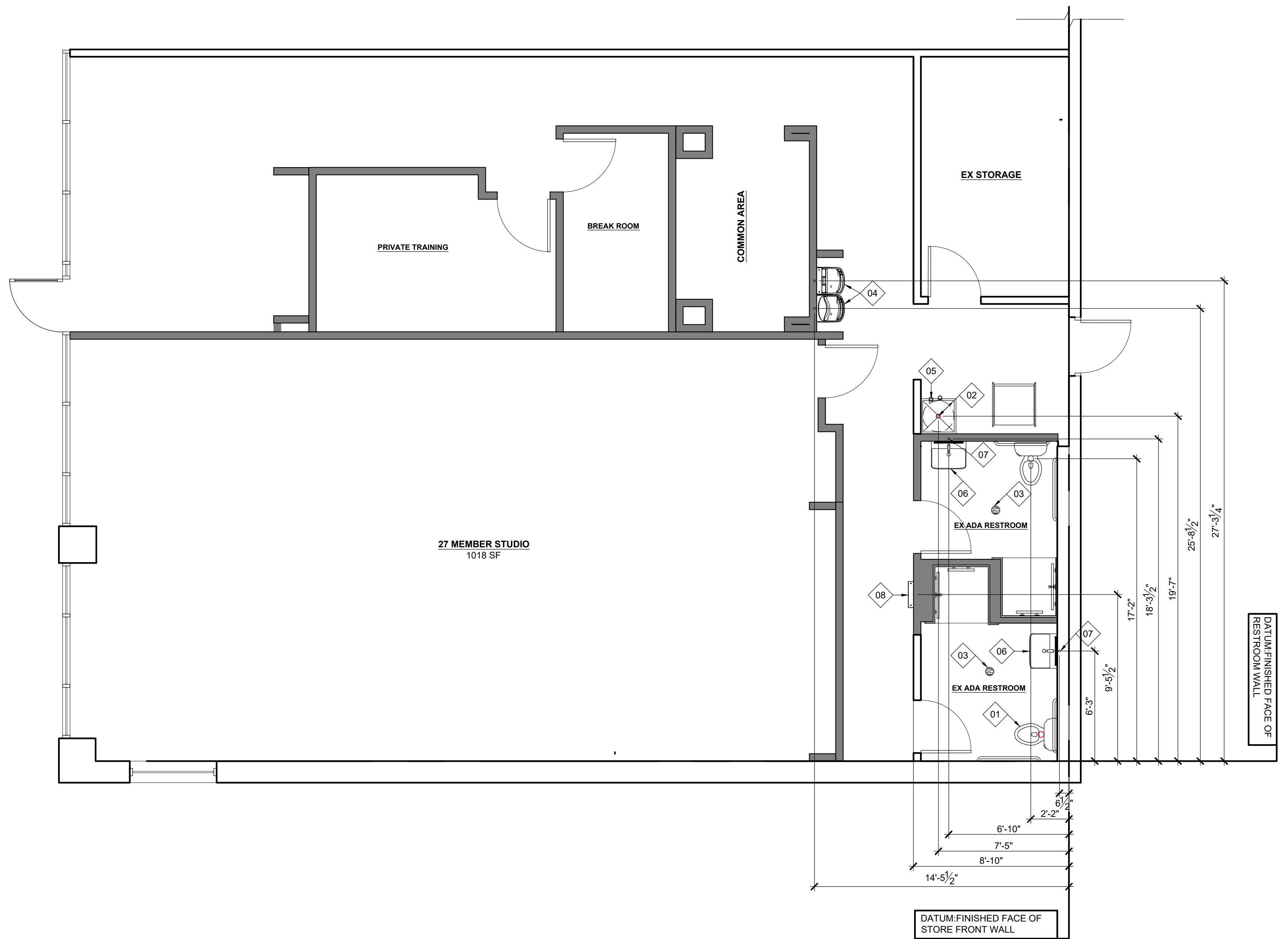
1. CONTRACTOR SHALL SAW CUT EXISTING SLAB AS REQUIRED TO INSTALL UNDERGROUND PIPING.
ANY BACK FILL REQUIRED SHALL BE OF $\frac{3}{4}$ " CA-6 COMPACTED GRAVEL LAID IN 6" LIFTS AS REQUIRED.
 2. CONTRACTOR SHALL PATCH SLAB AS REQUIRED FOR NEW LAYOUT WITH LIKE CONSTRUCTION, WHERE NEW CONCRETE SLABS SHALL NOT BE LESS THAN 4' IN THICKNESS. PROVIDE LIKE VAPOR BARRIER AS EXISTING CONSTRUCTION.
 3. FOR LARGE NON-LINEAR PATCHES THAT ARE IN EXCESS OF 36"x36" SQUARE AREA, PROVIDE DOWELS INTO EXISTING AND NEW SLAB.

KEYNOTES

- 01 EXISTING TOILET CONNECTION
 - 02 EXISTING WATER HEATER ABOVE, COORDINATE CONDENSATE DRAIN TO DRAIN INTO MOP SINK BELOW. SEE PLUMBING DRAWINGS
 - 03 EXISTING FLOOR DRAIN
 - 04 WATER FOUNTAIN DRAIN, SEE MANUFACTURER SPEC FOR ROUGH IN HEIGHT
 - 05 WASHING MACHINE DRAIN
 - 06 MOP SINK
 - 07 LAVATORY DRAIN
 - 08 BOTTLE FILLER.

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10611 FRY RD #250
CYPRESS, TX 77433



PLAN KEY

NEW CONCRETE SLAB, SEE DETAIL 2

NEW 4" CONCRETE SLAB WITH 6x6xW1.4xW1.4 WELD WIRE FABRIC REINFORCEMENT ON 10-MIL VAPOR BARRIER ON FULLY COMPACTED SUBGRADE FILL. SUBGRADE FILL BY LANDLORD, CC TO CONFIRM COMPACTION COMPLIES WITH ASTM D 698.

EXIST CONCRETE SLAB

18" LONG #5 BARS AT 24"O.C., DRILLED & GROUTED 9" INTO EXISTING CONCRETE SLAB. CENTERED IN SLAB DEPTH.

USE WHEN POUR SLAB

2 SLAB REINFORCEMENT DETAIL

N 1 PENETRATION PLAN

A1-11

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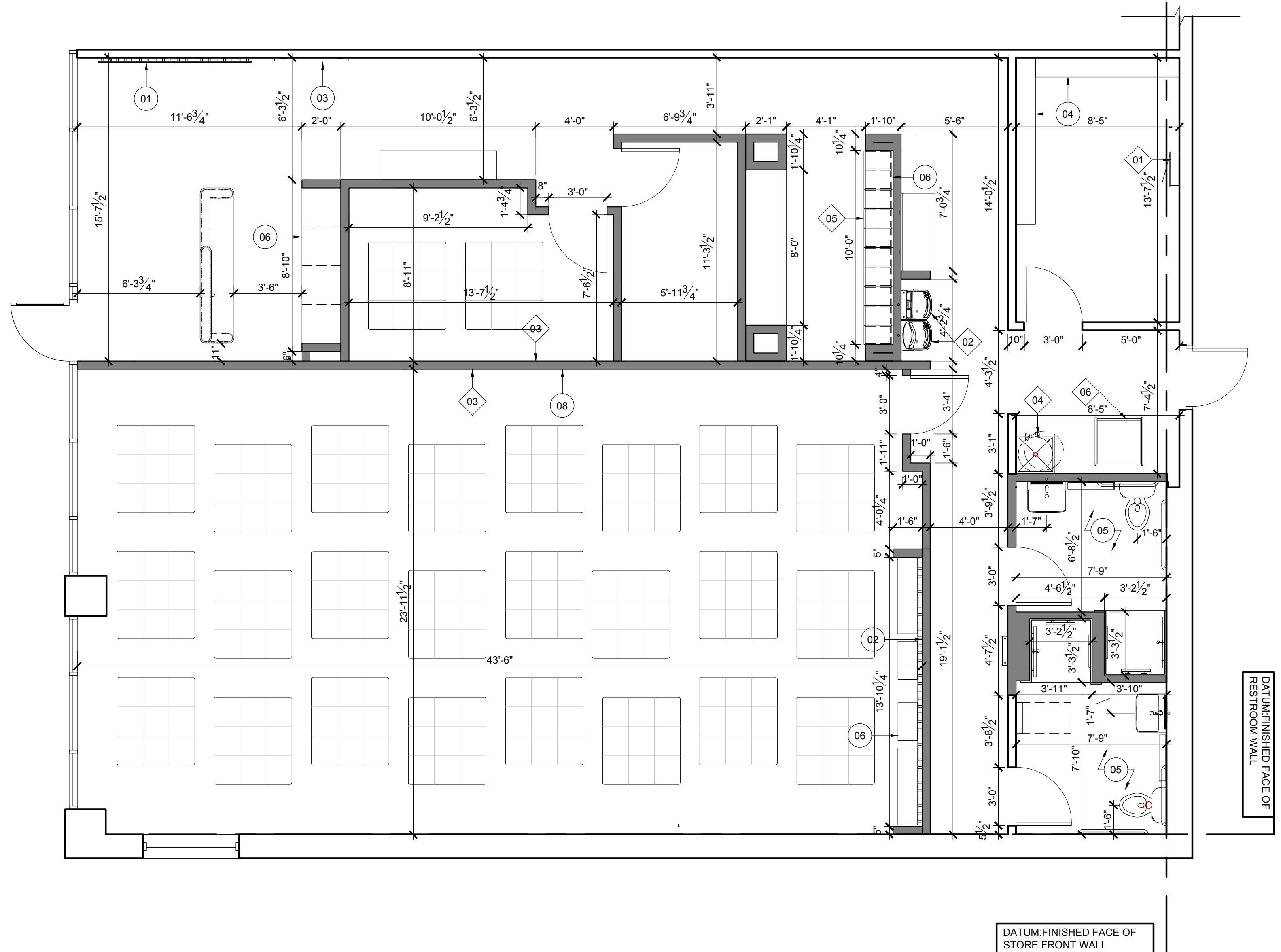
MUNICIPAL APPROVAL STAMP

KEYNOTES

GC TO FIELD VERIFY ALL EXISTING DIMENSIONS & COLUMN LOCATIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.

ALL BLOCKING SHALL BE NON-COMBUSTIBLE OR FIRE RETARDANT TREATED WOOD BLOCKING

FOR TYPE 1 AND TYPE 2 CONSTRUCTION TYPES ONLY



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DATE OF SIGNATURE:

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CONSULTANTS

TEST FIT

SHEET TITLE & NUMBER	
Project Number: 24-442	Approved By: JD
Drawn By: AS	Date:
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Issue _____	FOR PERMIT

ILLINOIS PROFESSIONAL DESIGN REGISTRATION: 184.006688 EXPIRES: 4/30/2026

DIMENSIONED
PLAN

A1-31

WALL KEY
■ EXISTING WALL TO REMAIN
■ NEW WALL

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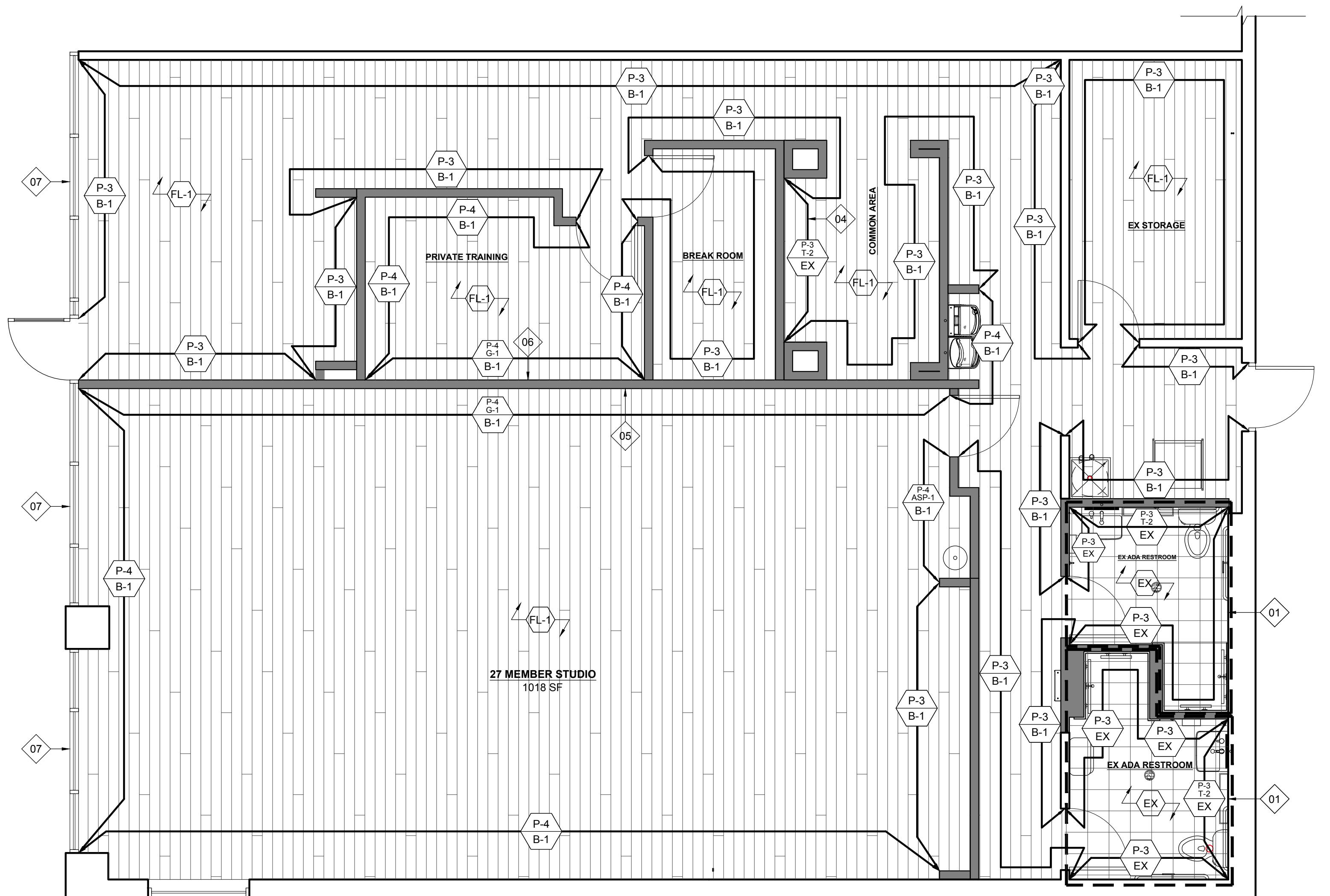
FINISH FLOOR PLAN**A1-41**These documents are confidential and shall be in the possession
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KEYNOTES

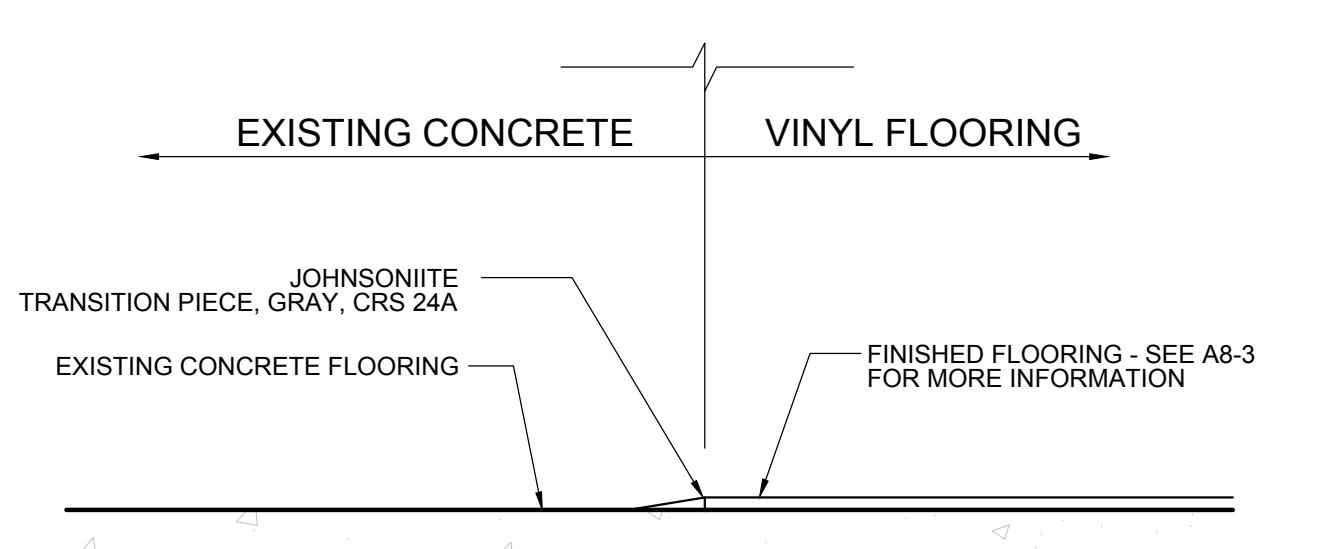
- 01 PROVIDE WATERPROOFING MEMBRANE OVER THE FREE LOOP AREA AND 18" UP FROM THE FLOOR UNDERNEATH FLOORING AREA SHOWN GRAPHICALLY WITH HEAVY DASHED LINE.
- 02 WALL TILE TO MEET FLOOR FINISH, NO BASE
- 03 PROVIDE TILE TRIM M-1 AT TOP OF WALL TILE
- 04 PROVIDE TILE TRIM M-1 AT CORNERS, TOP, AND BOTTOM OF WALL TILE T-2
- 05 SEE DETAIL 2 OF SHEET A7-1 FOR MIRROR DETAILS AT BOTTOM EDGE FOR INTEGRAL TAPELIGHT AND FOR END CONDITIONS
- 06 SEE DETAIL 2 OF SHEET A7-1 SIMILAR FOR MIRROR DETAILS AND FOR END CONDITIONS. OMIT TAPELIGHT IN PRIVATE TRAINING ROOM.
- 07 PROVIDE FROSTED FILM ON WINDOWS "FASARA MILKY MILKY" BY 3M.

NOTE FOR STUDIO MIRROR
SEE DETAIL 2 OF SHEET A7-1 FOR MIRROR DETAILS AT BOTTOM EDGE FOR INTEGRAL TAPELIGHT AND FOR END CONDITIONSNOTE FOR PRIVATE TRAINING MIRROR
SEE DETAIL 2 OF SHEET A7-1 SIMILAR FOR MIRROR DETAILS AND FOR END CONDITIONS. OMIT TAPELIGHT IN PRIVATE TRAINING ROOM.

SEE SHEET A8-3 FOR FINISH SCHEDULE

**1 FINISH PLAN**

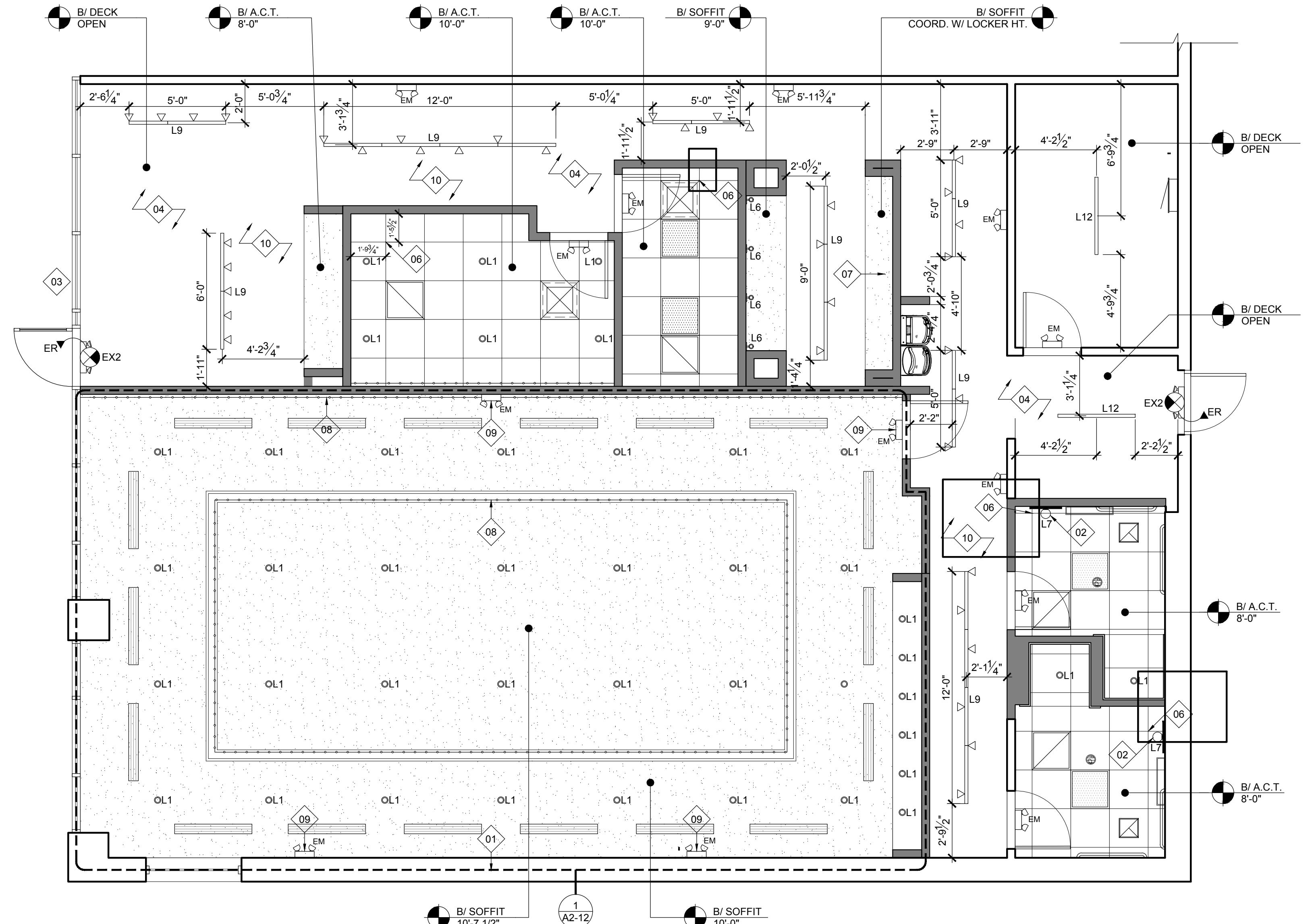
1/4"=1'-0"

**2 TRANSITION DETAIL**

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MUNICIPAL APPROVAL STAMP

**KEYNOTES**

- 01 REFER TO ELEVATIONS FOR WALL MOUNTED FIXTURE HEIGHT.
- 02 LIGHT FIXTURES TO ALIGN WITH CENTERLINE OF LAVATORY BELOW. COORDINATE LAVATORY INSTALLATION WITH LIGHTING.
- 03 EXTERIOR SIGNAGE IS BY SIGNAGE CONTRACTOR UNDER SEPARATE PERMIT. SIGN CONTRACTOR SHALL COORDINATE PERMITS FOR EXTERIOR SIGNAGE.
- 04 ALL OPEN CEILINGS TO BE SPRAYED P-6.
- 05 24x24 ACCESS PANEL. COORDINATE EXACT LOCATION IN FIELD WITH HVAC CONTRACTOR.
- 06 A.C.T. GRID STARTING POINT.
- 07 COORDINATE SOFFIT HEIGHT WITH LOCKERS. SEE ELEVATIONS FOR LOCKER HEIGHTS.
- 08 L8 TAPE LIGHT UNDER MIRROR. SEE DETAIL SHEETS.
- 09 CEILING MOUNT EM LIGHTING IN STUDIO
- 10 IN AREAS WITH OPEN CEILINGS HOLD ALL DUCTING AND CONDUC TIGHT TO THE STRUCTURE ABOVE.
- 11 12'x12' ACCESS PANEL. COORDINATE EXACT LOCATION IN FIELD WITH HVAC CONTRACTOR.

SYMBOL KEY

- L1 CAN LIGHT
- L6 SCONCE
- L7 SCONCE
- L8 TAPELIGHT
- ▽ L9 TRACK LIGHT
- L12 LINEAR LIGHT
- L13 2X2 LED PANEL
- EMERGENCY LIGHT
- EXIT SIGN EM LIGHT COMBO
- EXHAUST FAN. SEE MECHANICAL DWGS FOR MORE INFO.
- RETURN GRILLE. SEE MECHANICAL DWGS FOR MORE INFO.
- SUPPLY REGISTER. SEE MECHANICAL DWGS FOR MORE INFO.
- LINEAR DIFFUSER
- △ 24"x24" ACCESS PANEL

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REFLECTED
CEILING PLAN

A2-11

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KEYNOTES

- T PROVIDE TEMPERED SAFETY GLASS
- 01 SEE MANUFACTURER INSTALLATION INSTRUCTION FOR MOUNTING HEIGHT OF WATER FOUNTAIN
- 02 NEW STOREFRONT SYSTEM TO MATCH EXISTING
- 03 SEE DETAIL SHEETS, A7 SERIES, FOR MILLWORK DETAILS
- 04 PROVIDE OBSCURING FILM ON WINDOWS AS SHOWN, FASARA "MILKY MILKY" BY 3M.
- 05 UNISEX ACCESSIBLE WALL SIGNAGE
- 06 UNISEX DOOR SIGN
- 07 TACTILE EXIT SIGN

PVOLVE - CYPRESS, TX
10611 FRY RD #250
CYPRESS, TX 77433

CLIENT

PROJECT

SEA

LICENSE EXPIRES ON:
DATE OF SIGNATURE:

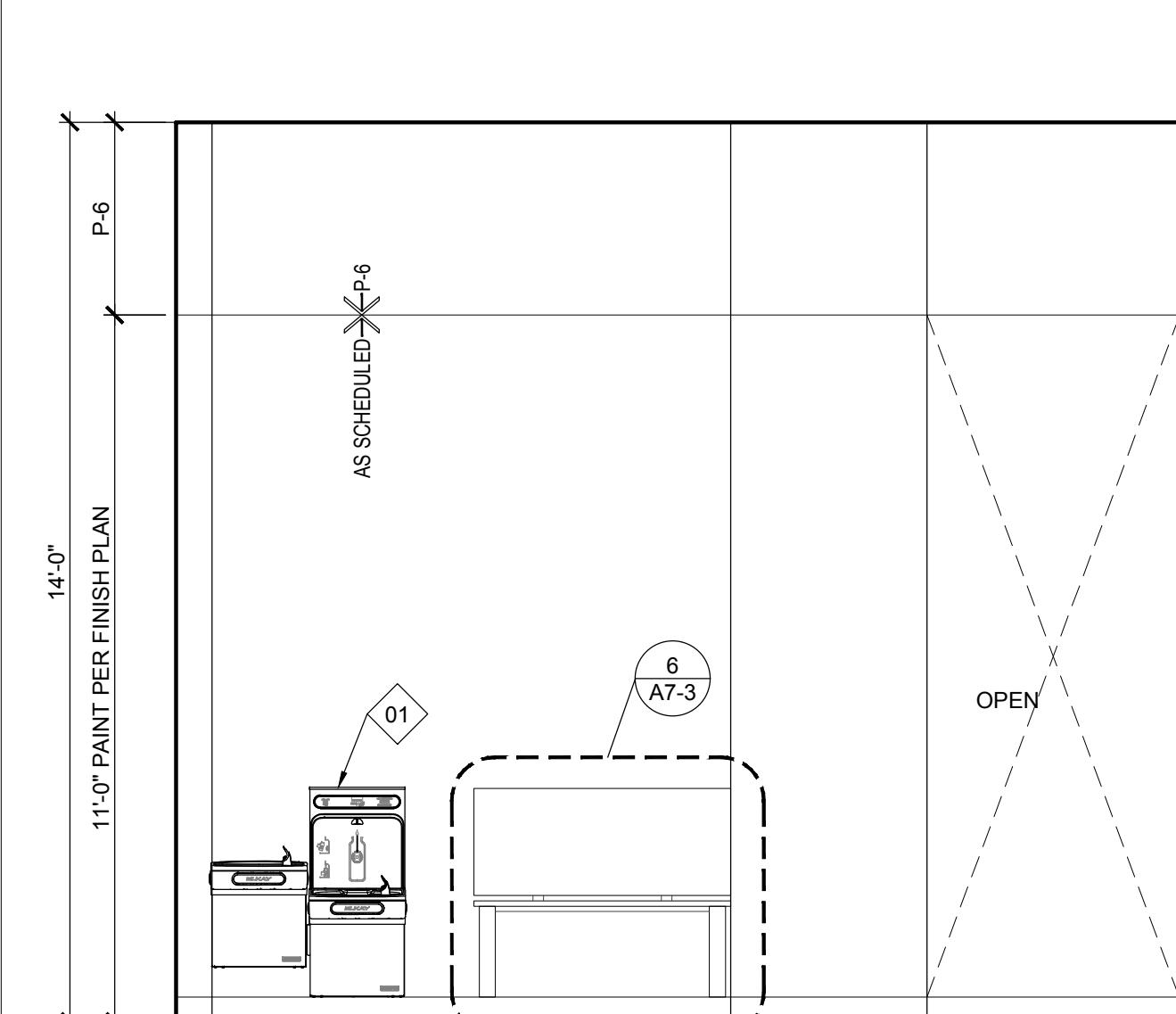
CONSULTANTS

Project Number: 24-442	Approved By: JD
Drawn By: AS	Date:
No. _____	07-29-2024
FOR PERMIT	
SHEET TITLE & NUMBER	

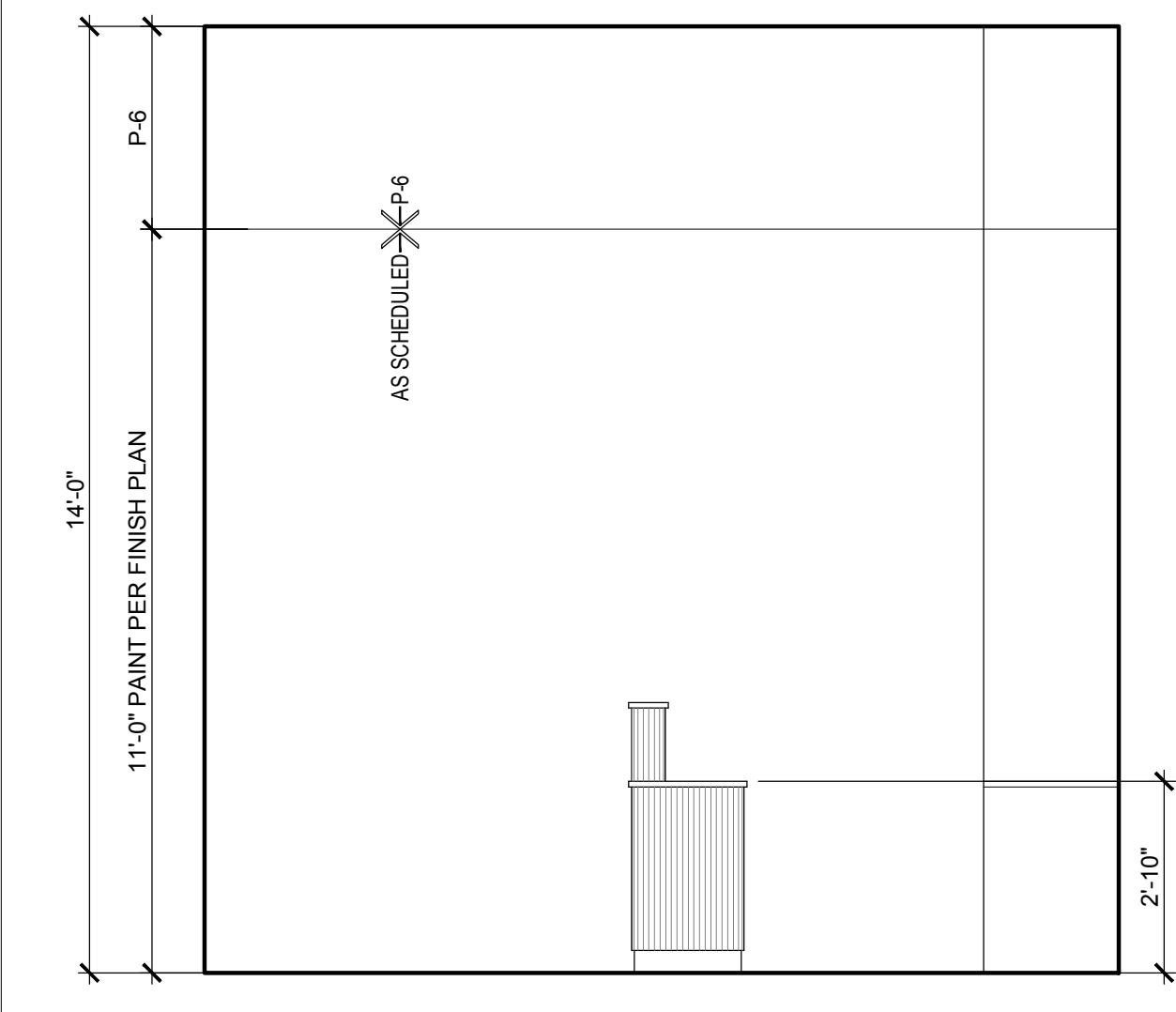
INTERIOR
ELEVATIONS

A5-11

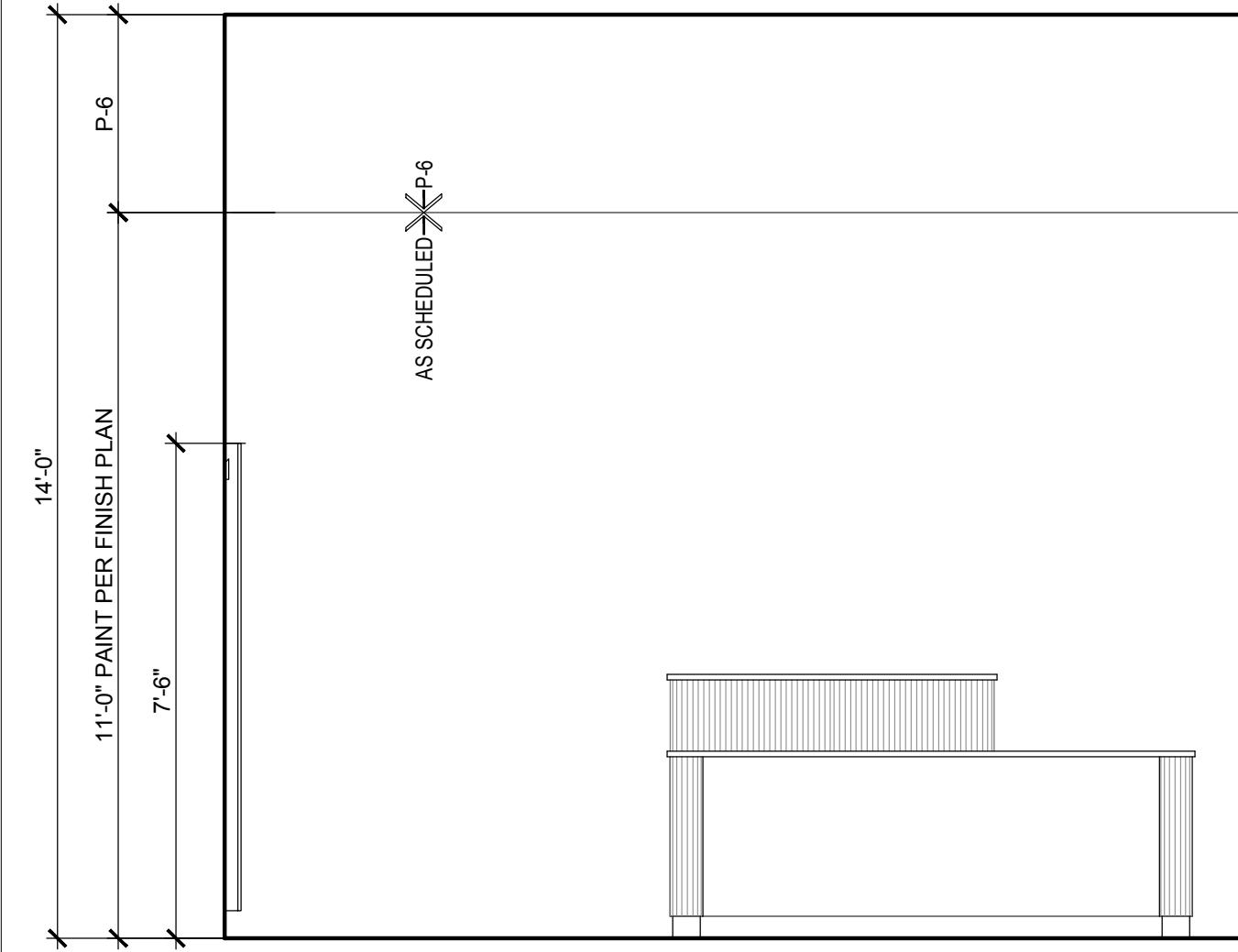
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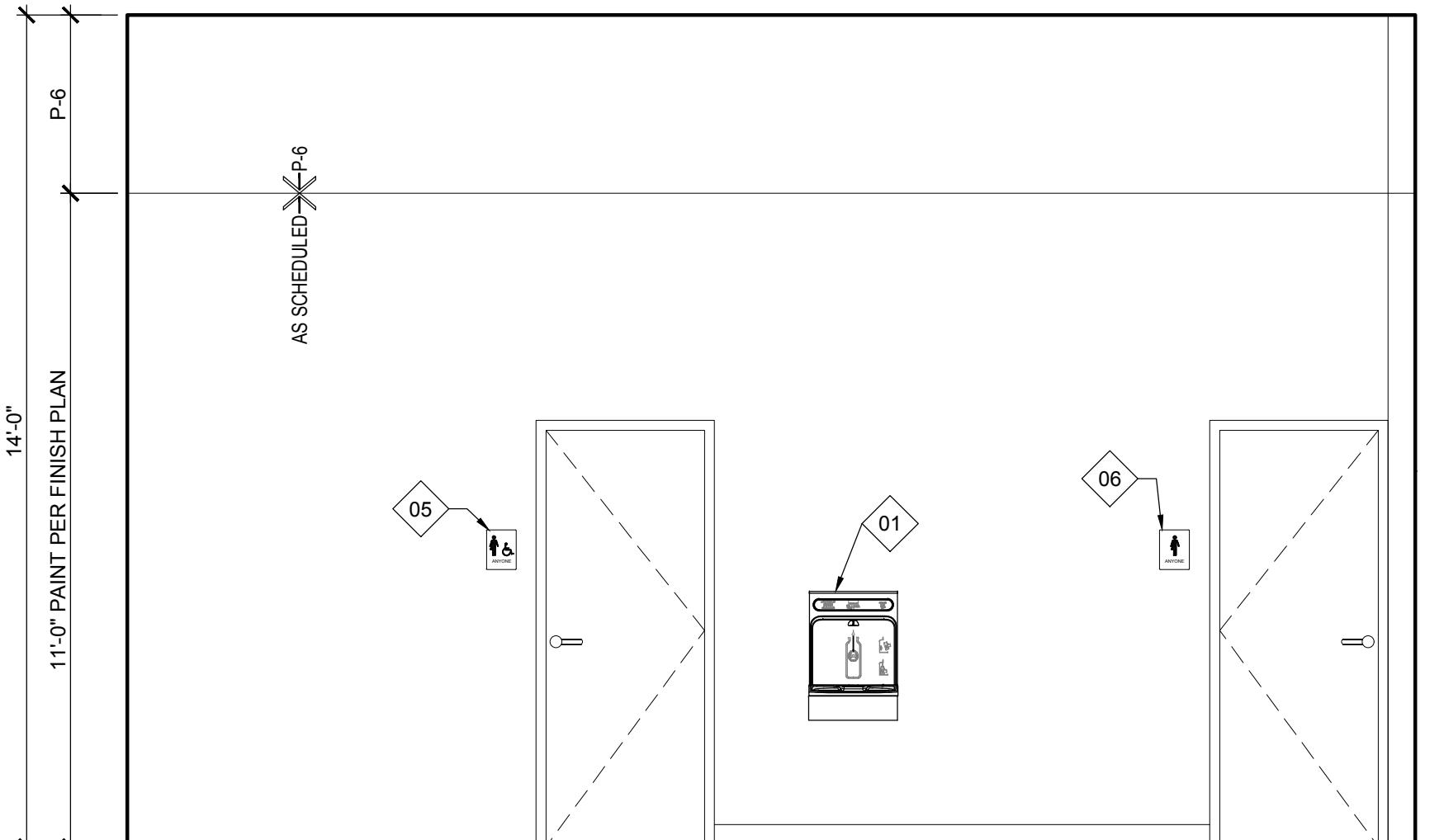
7 HALLWAY (W)



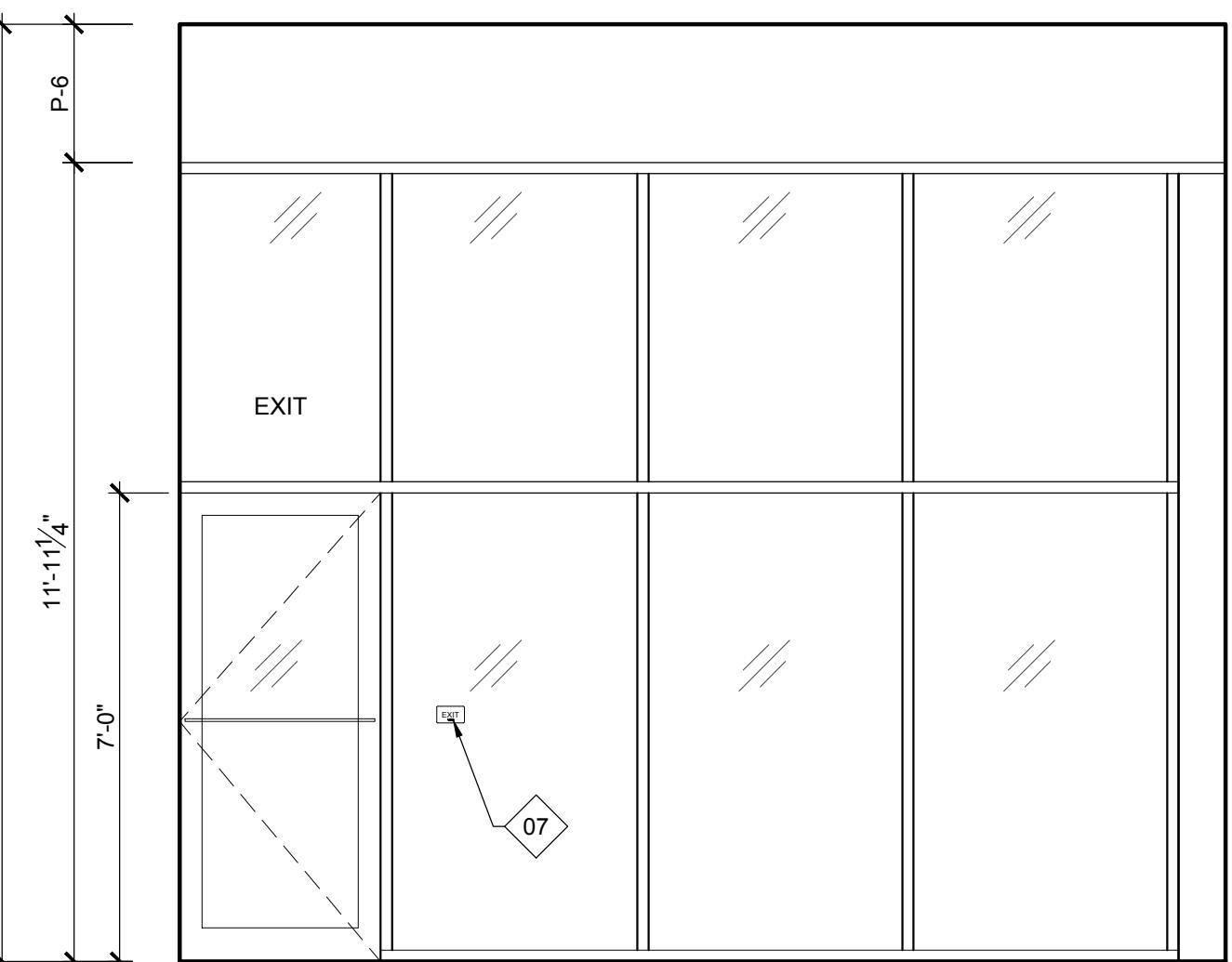
3 SALES FLOOR (S)



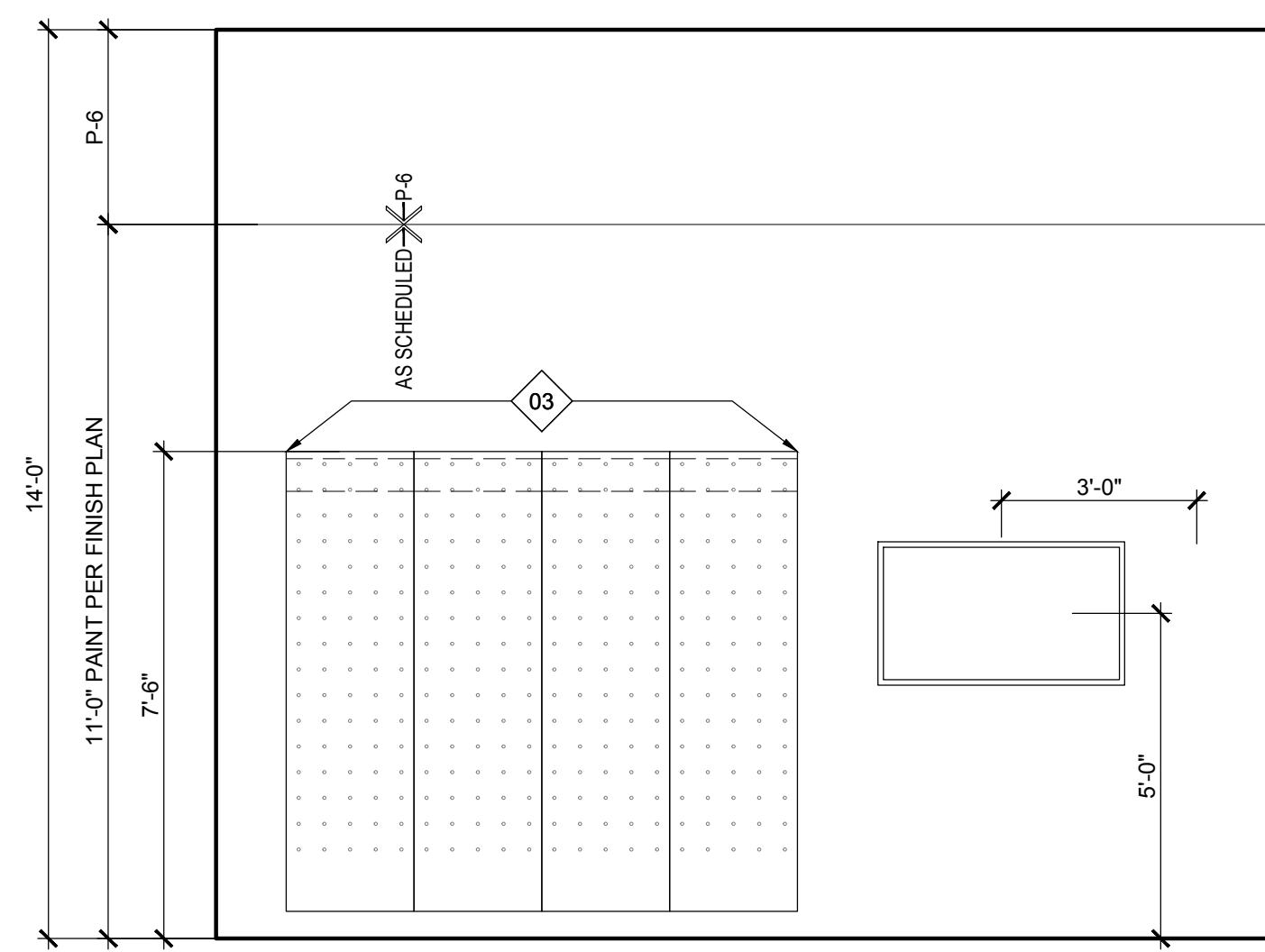
2 SALES FLOOR (E)



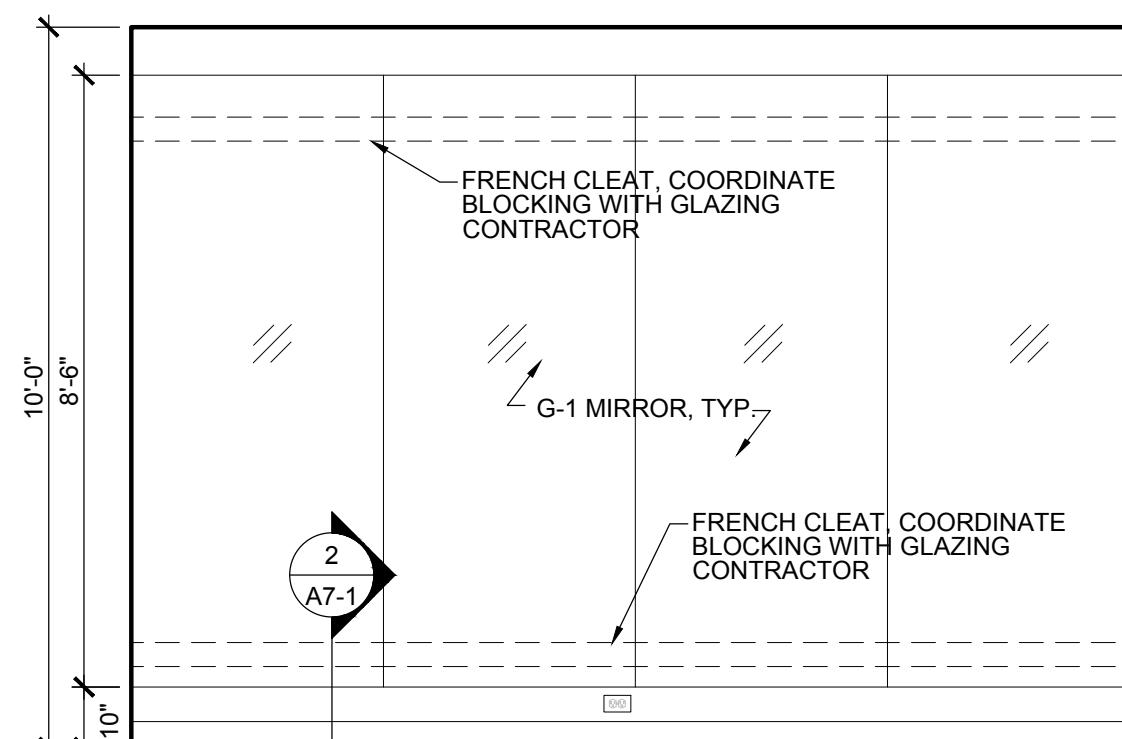
8 HALLWAY (W)



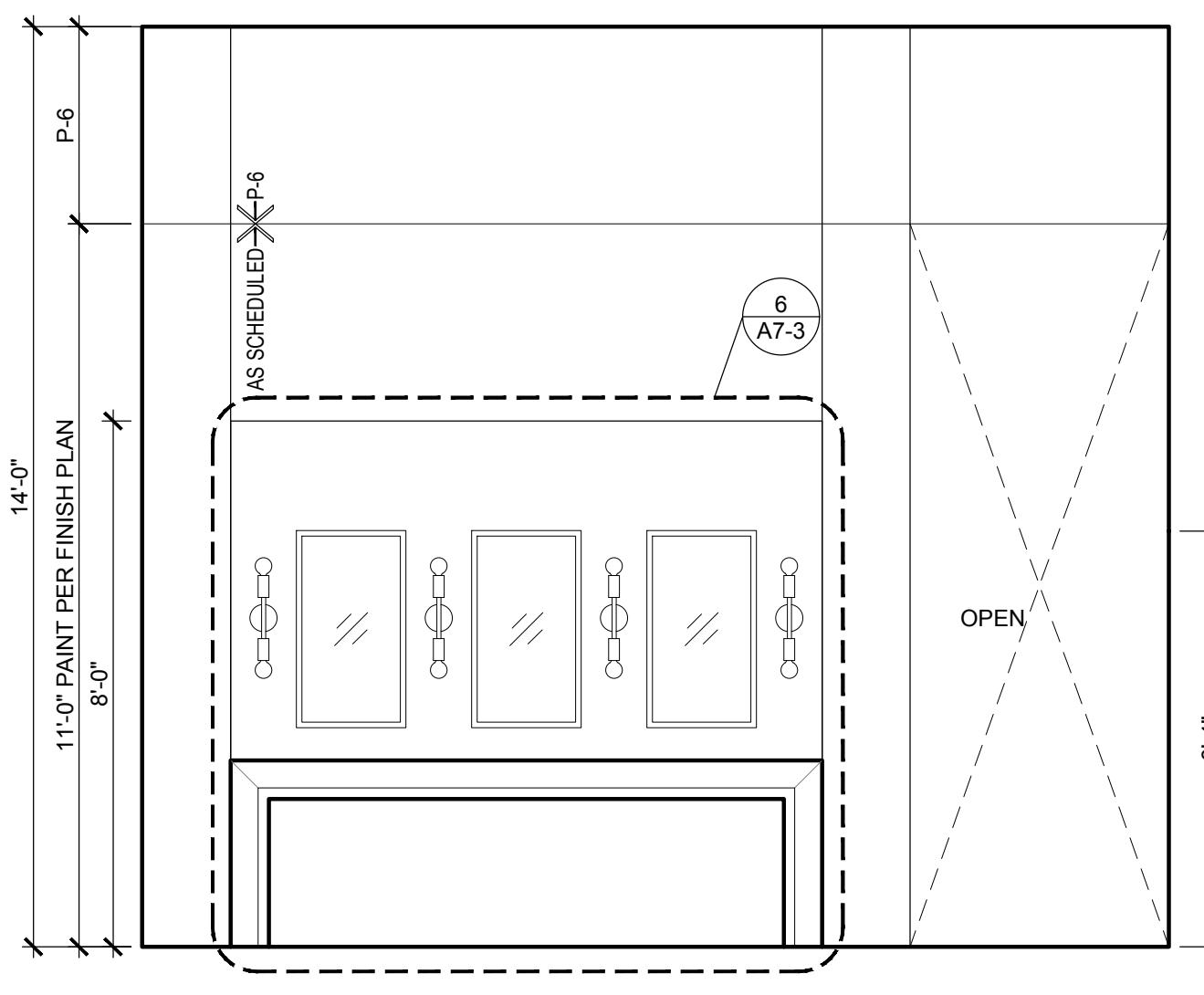
4 SALES FLOOR (W)



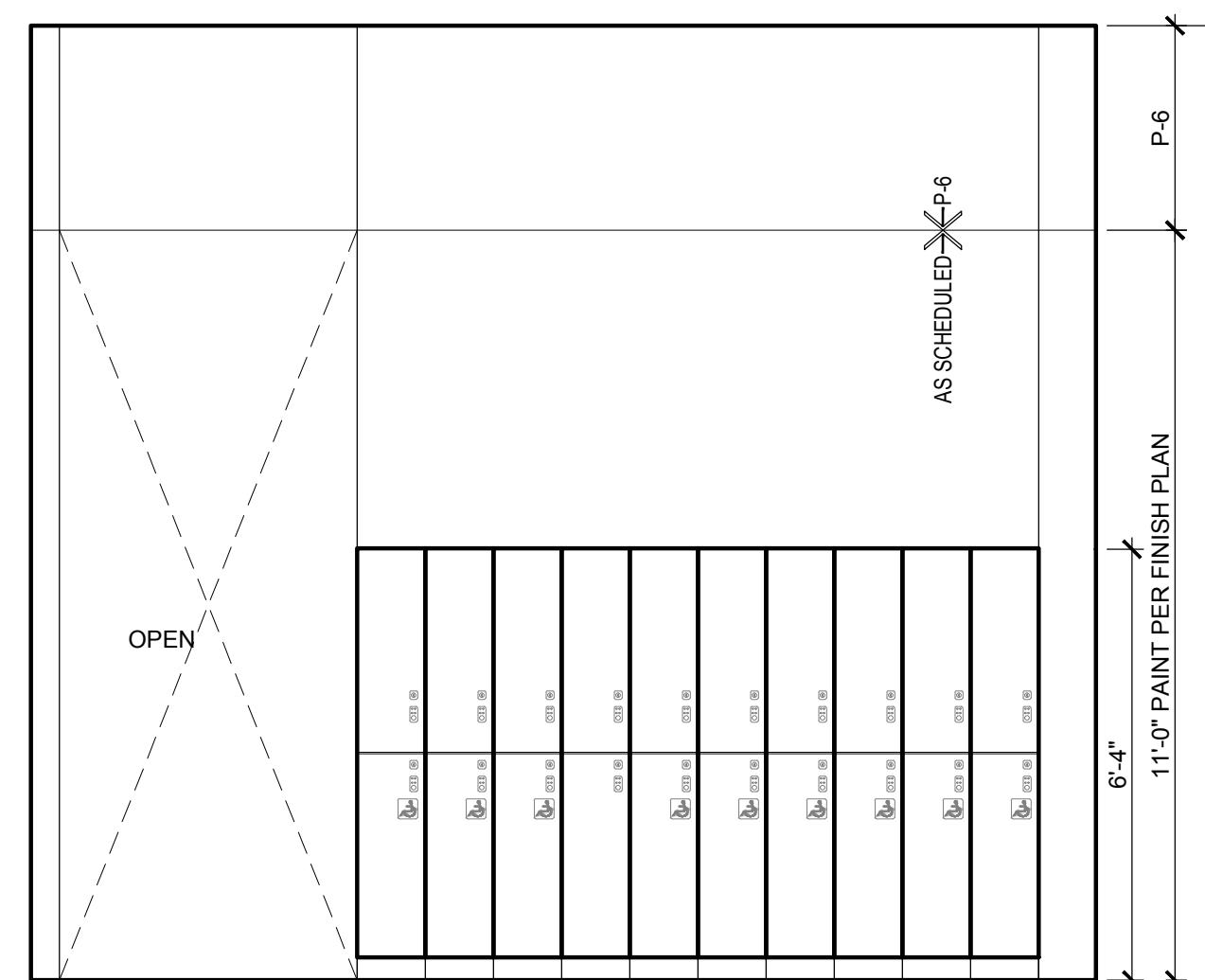
1 SALES FLOOR (N)



9 PRIVATE STUDIO (W)



5 LOCKERS (W)



6 LOCKERS (E)

PVOLVE

10611 FRY RD #250
CYPRESS, TX 77433

CLIENT

PROJECT

SEAL LICENSE EXPIRES ON:
DATE OF SIGNATURE:

DxU
ARCHITECTS
4123 West Street 2nd Floor • Chicago, IL 60656
P: 312.915.3334 • F: 312.915.3334
CONSULTANTS

TEST FIT

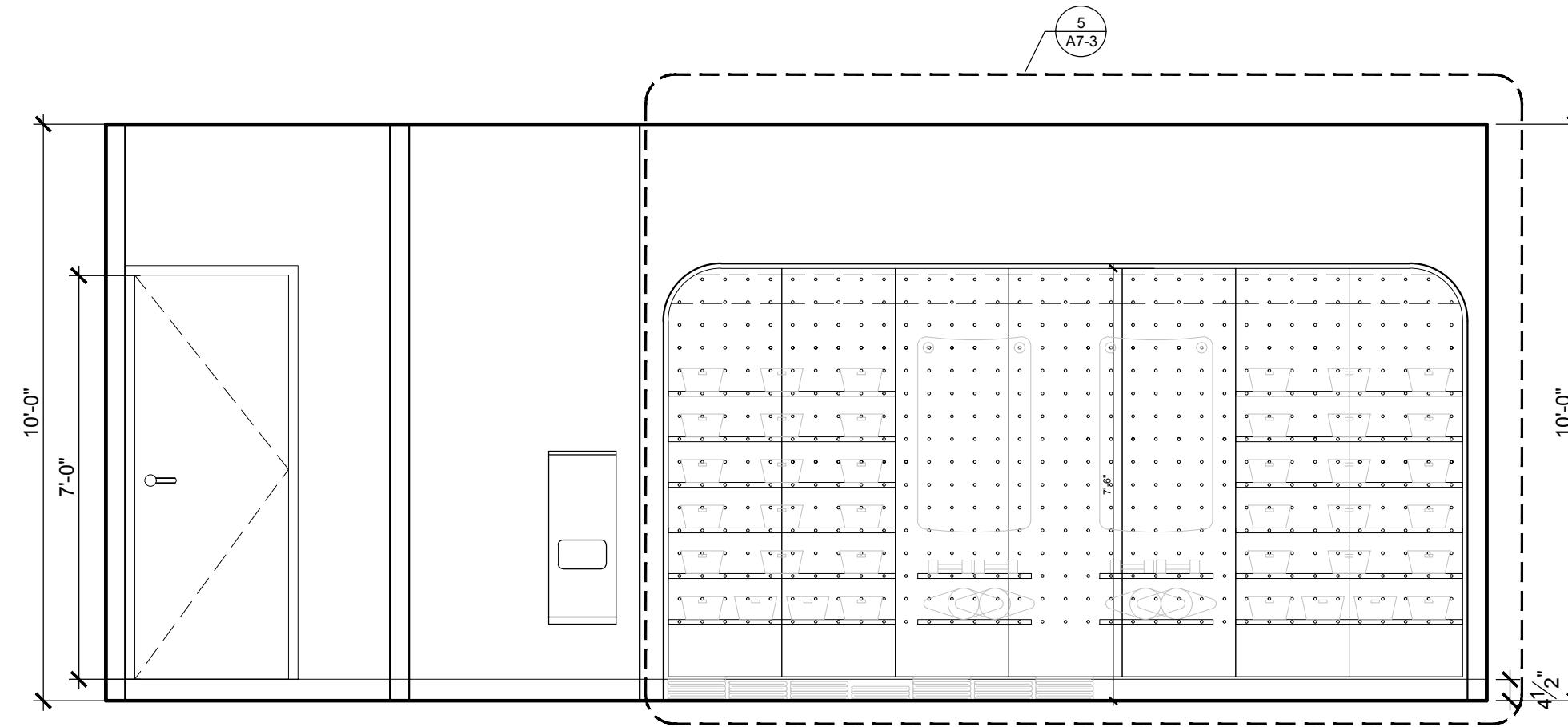
Project Number:	24-442	Approved By:	JD
Drawn By:	AS	Date:	07-29-2024
No.	Issue	FOR PERMIT	

SHEET TITLE & NUMBER

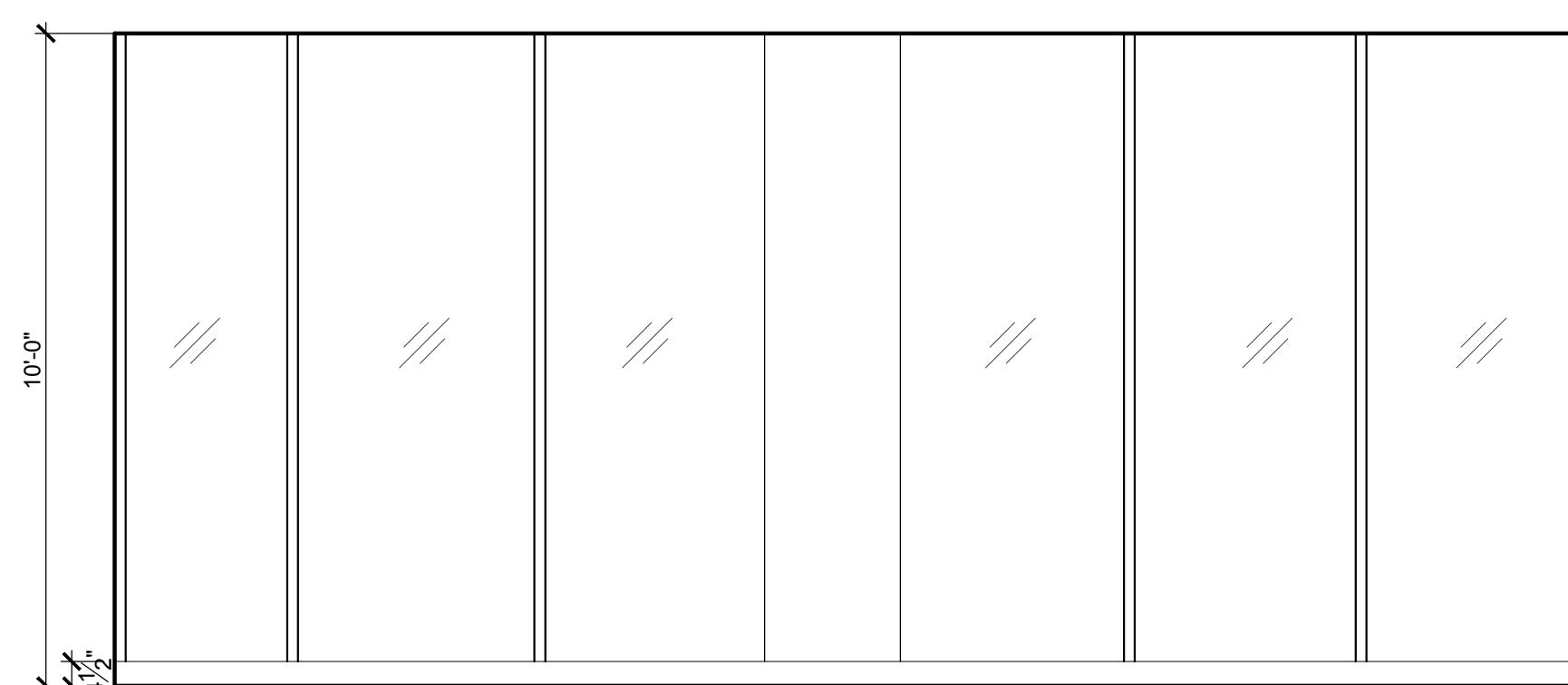
INTERIOR
ELEVATIONS

A5-12

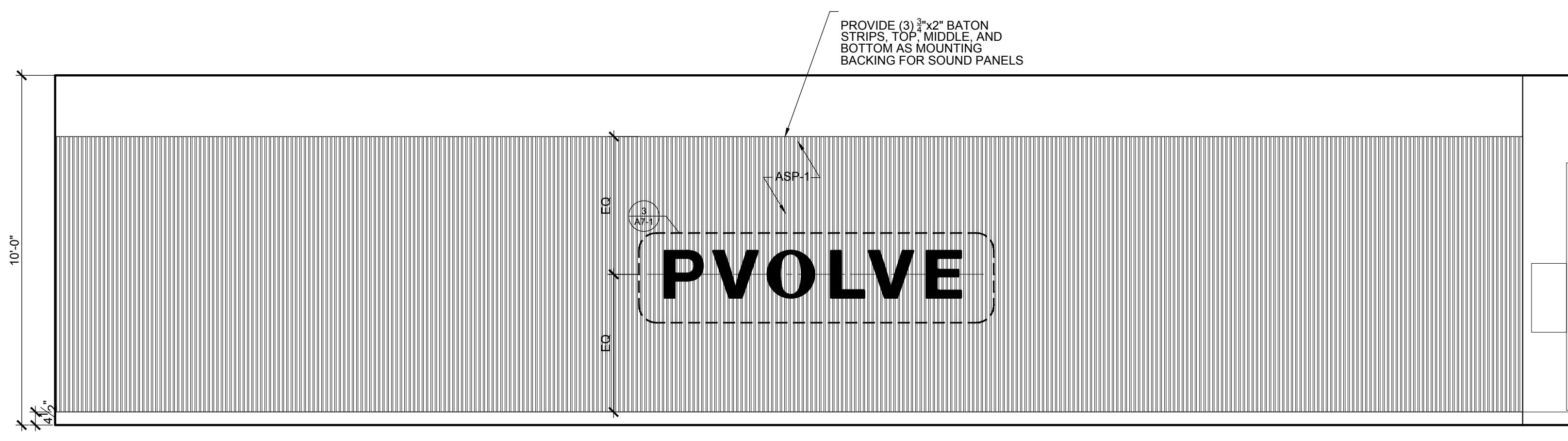
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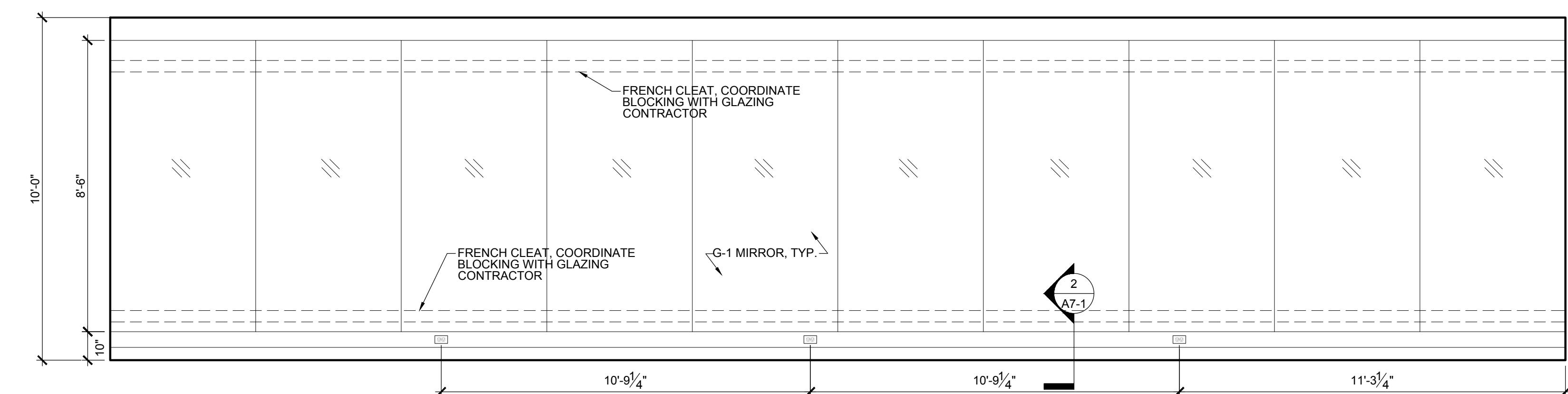
4 STUDIO (W)



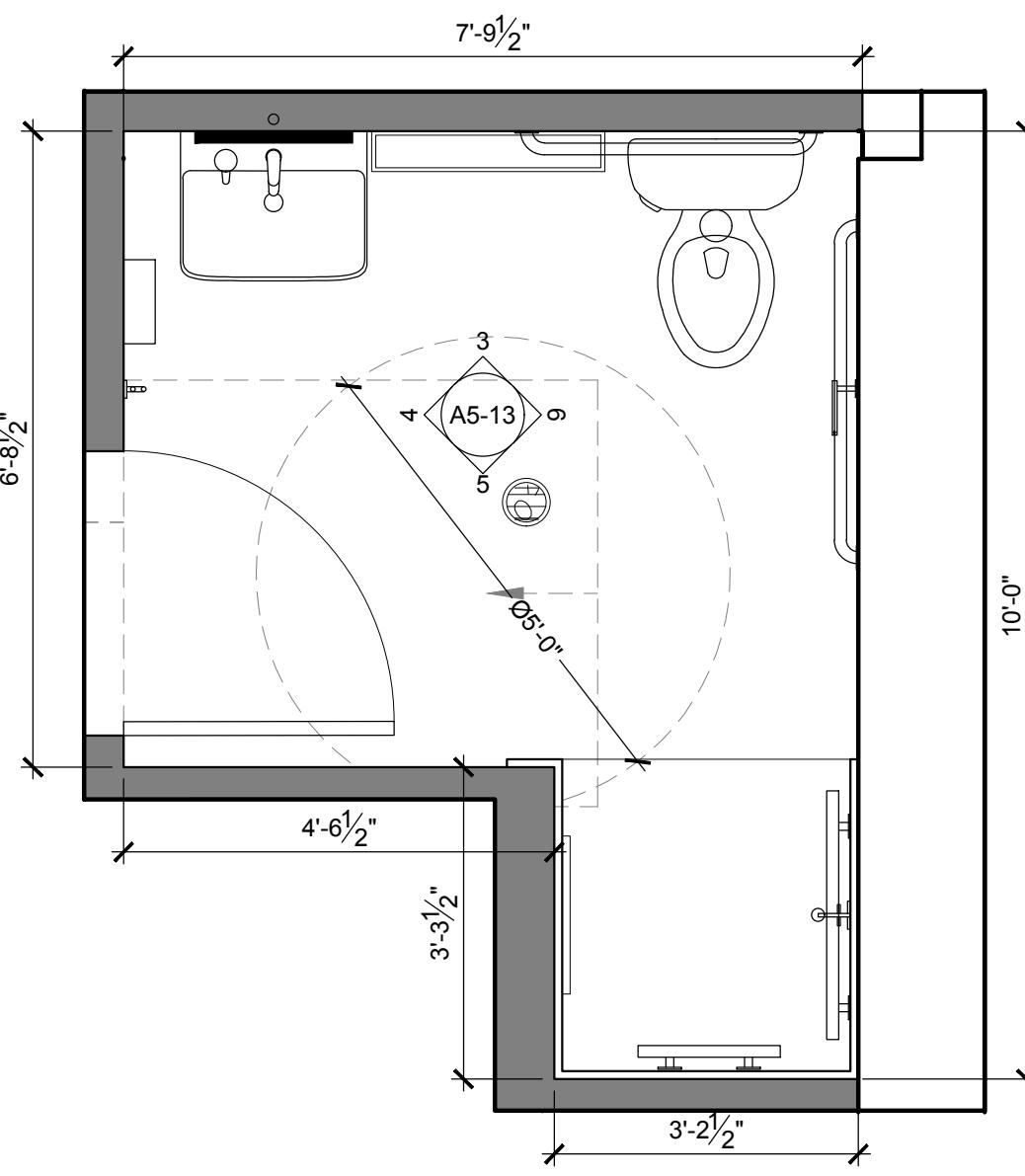
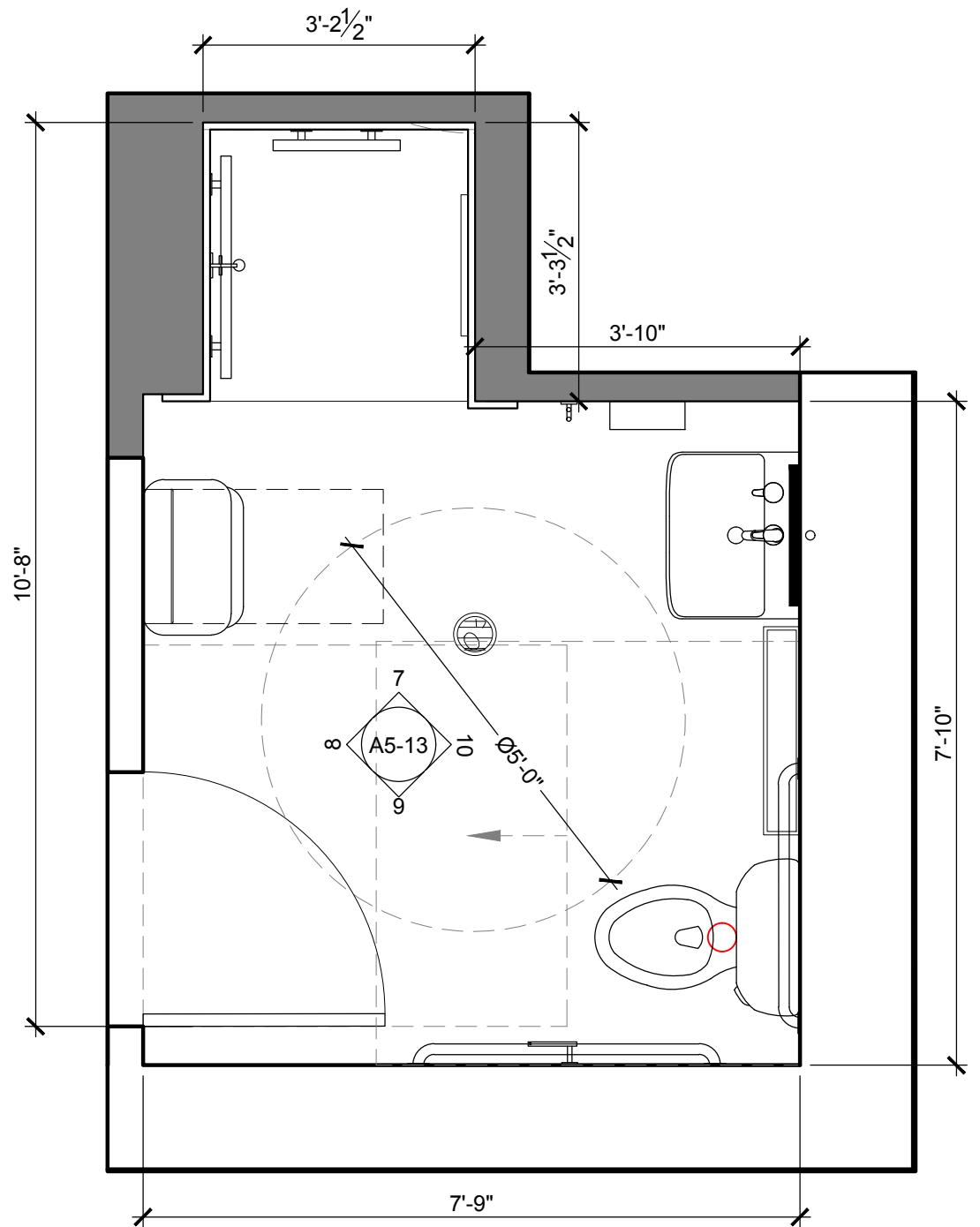
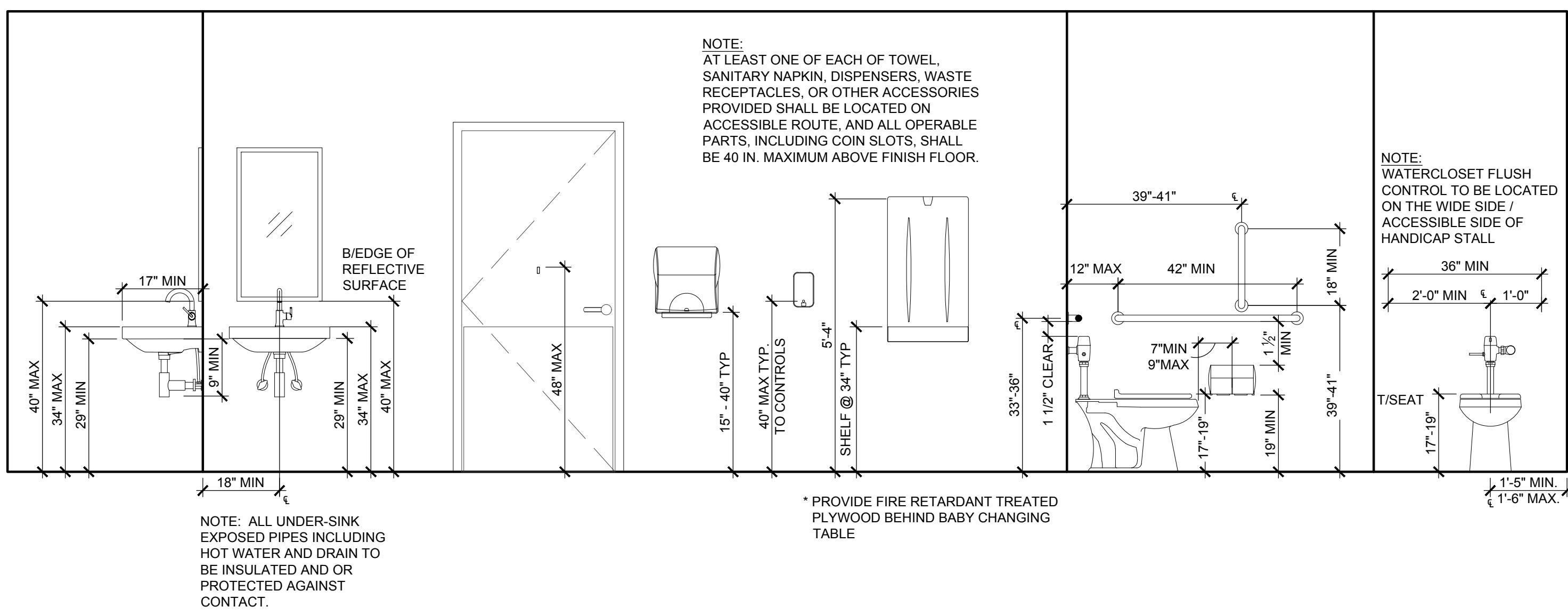
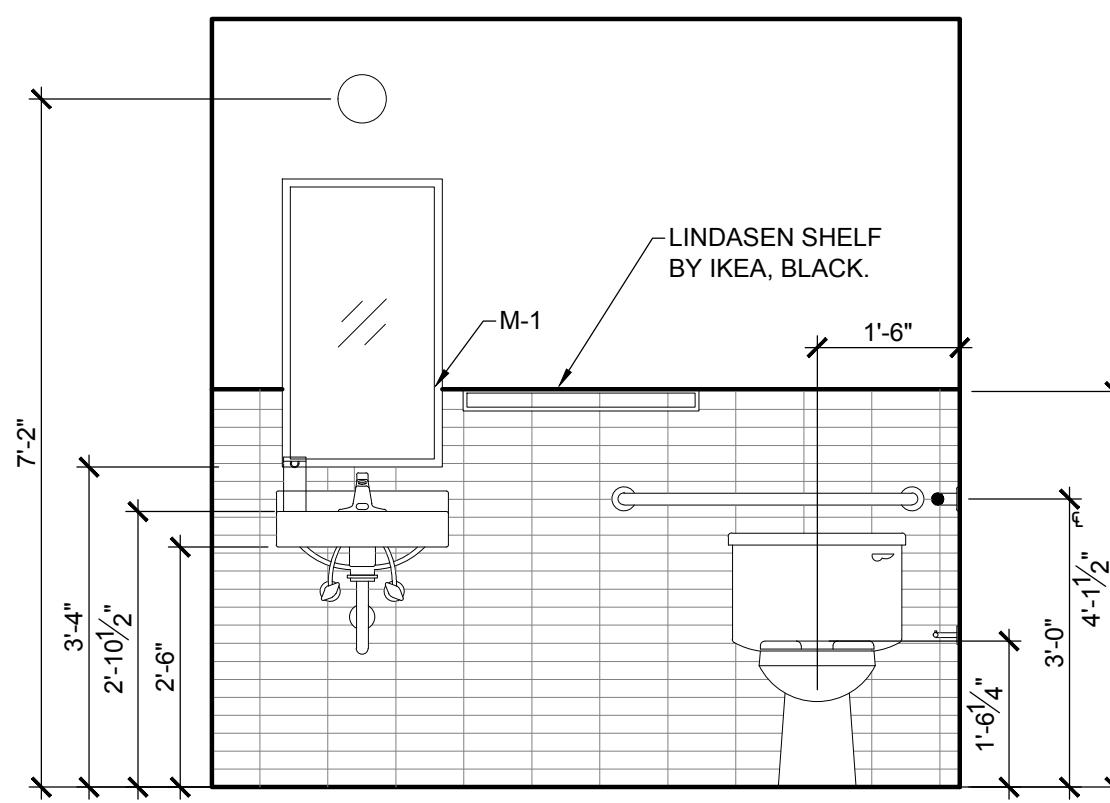
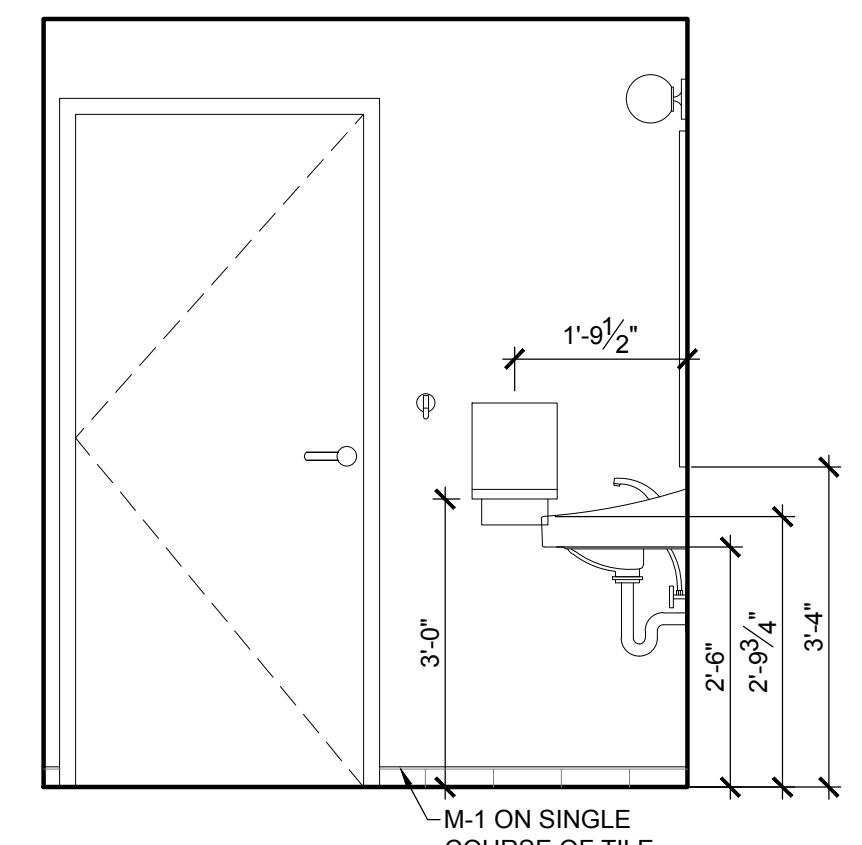
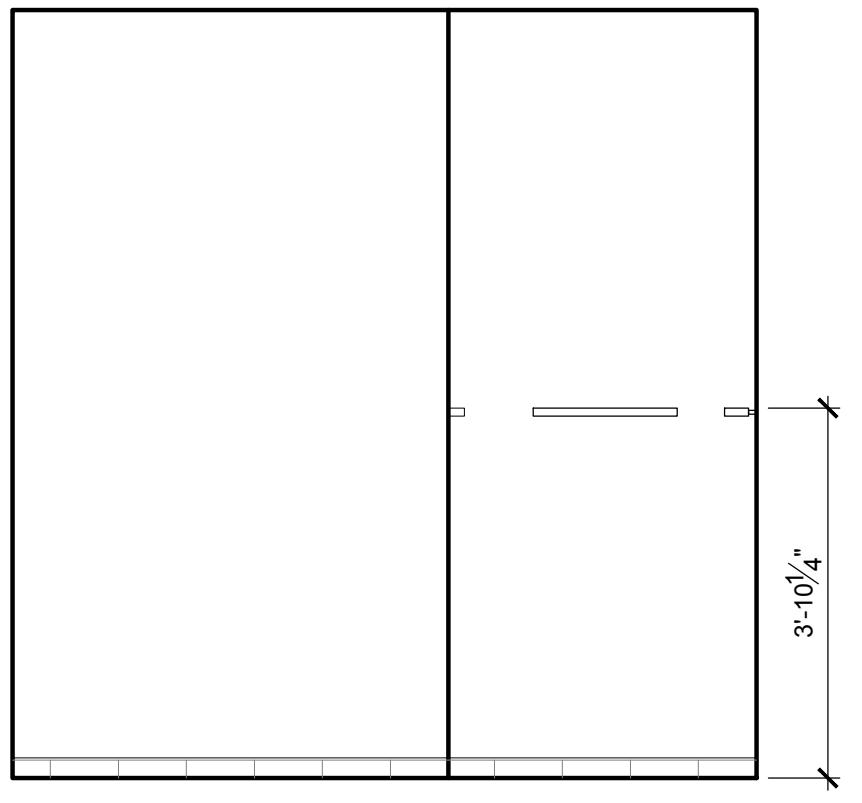
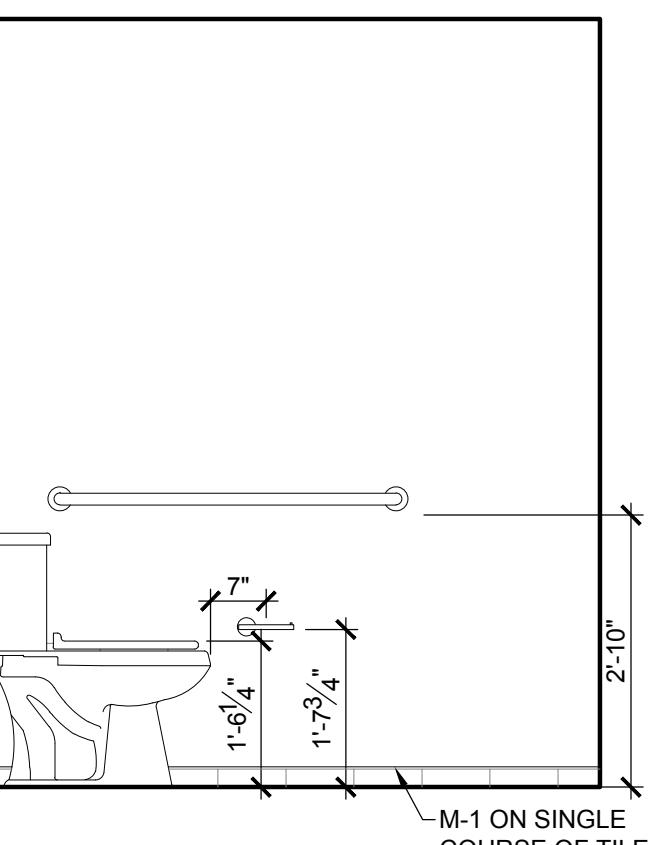
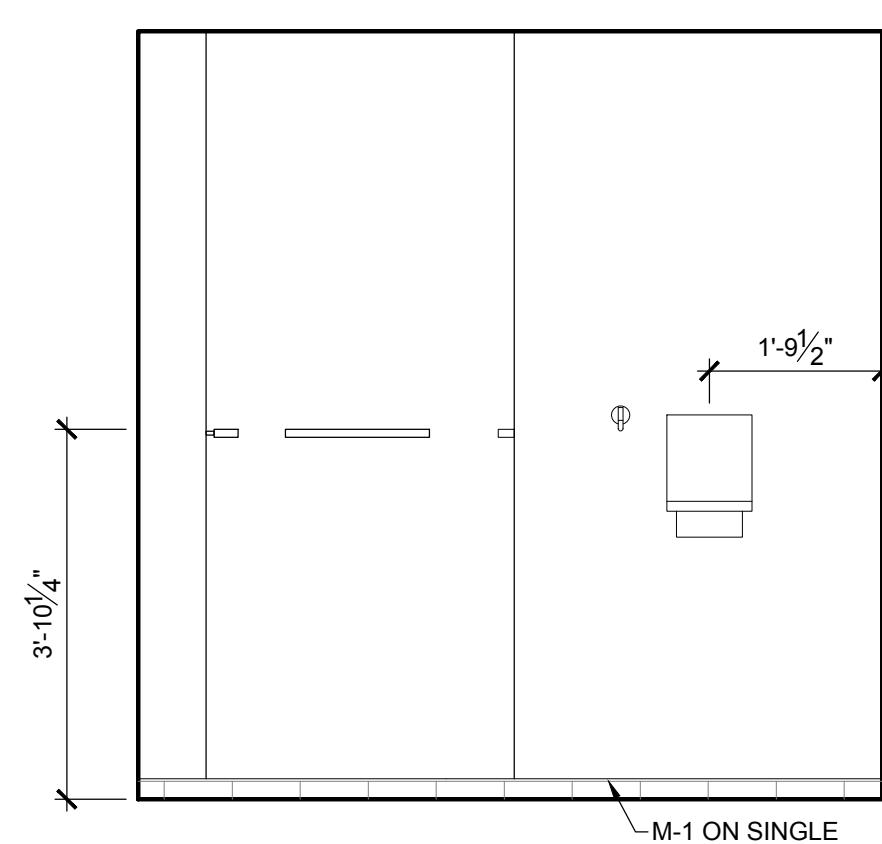
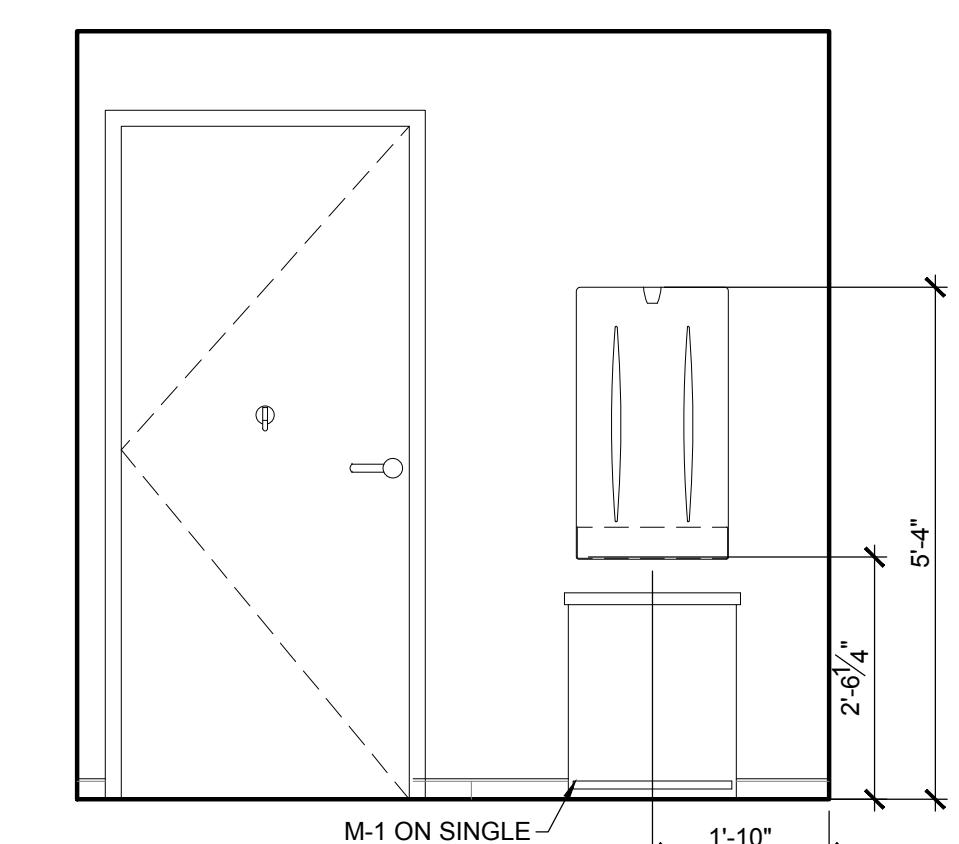
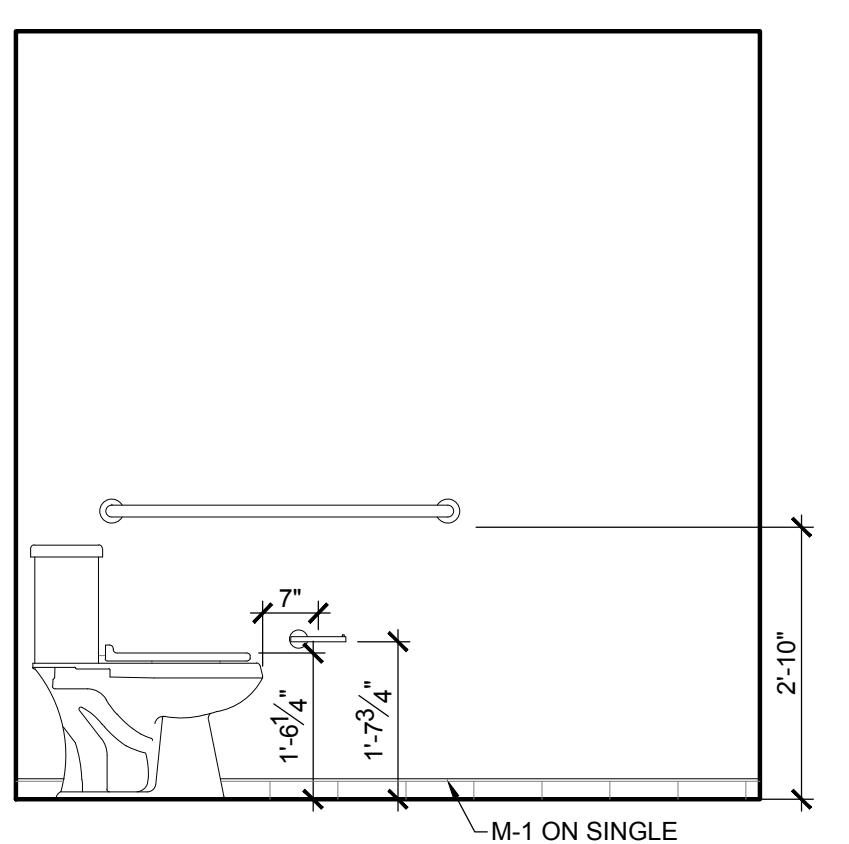
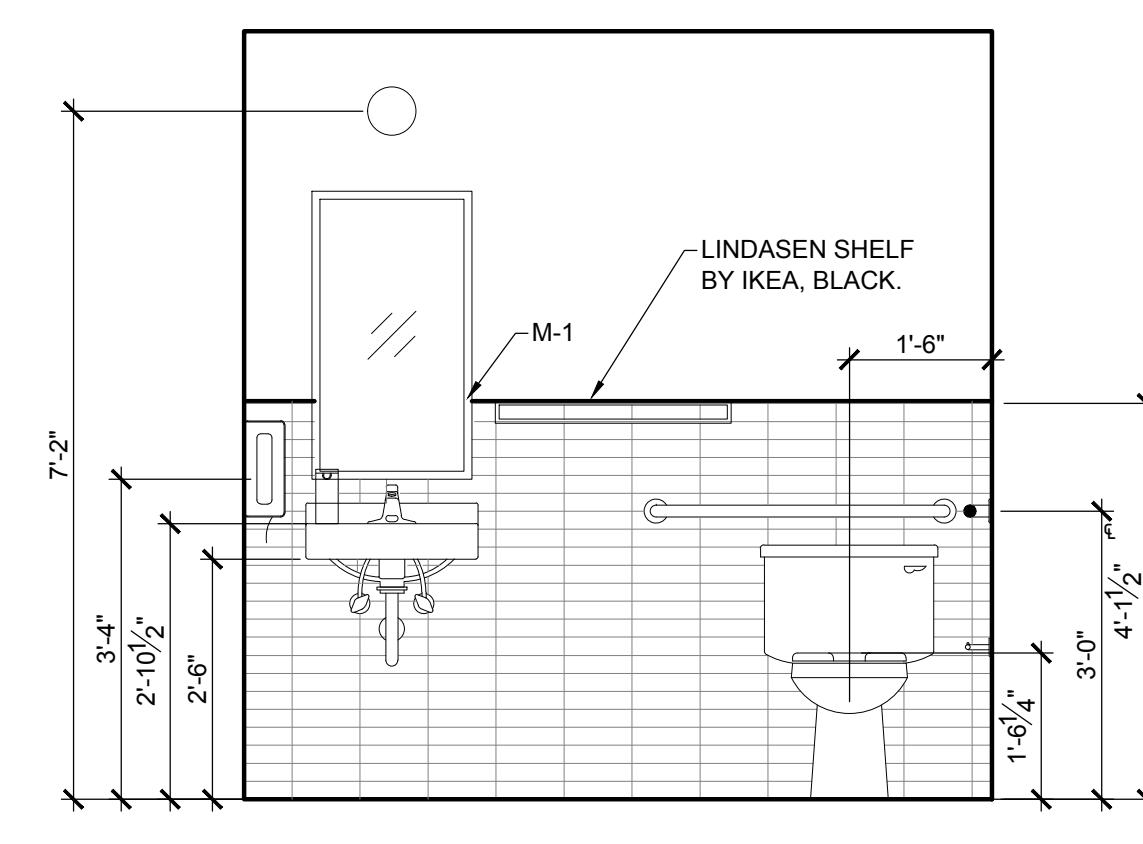
2 STUDIO (E)



3 STUDIO (S)



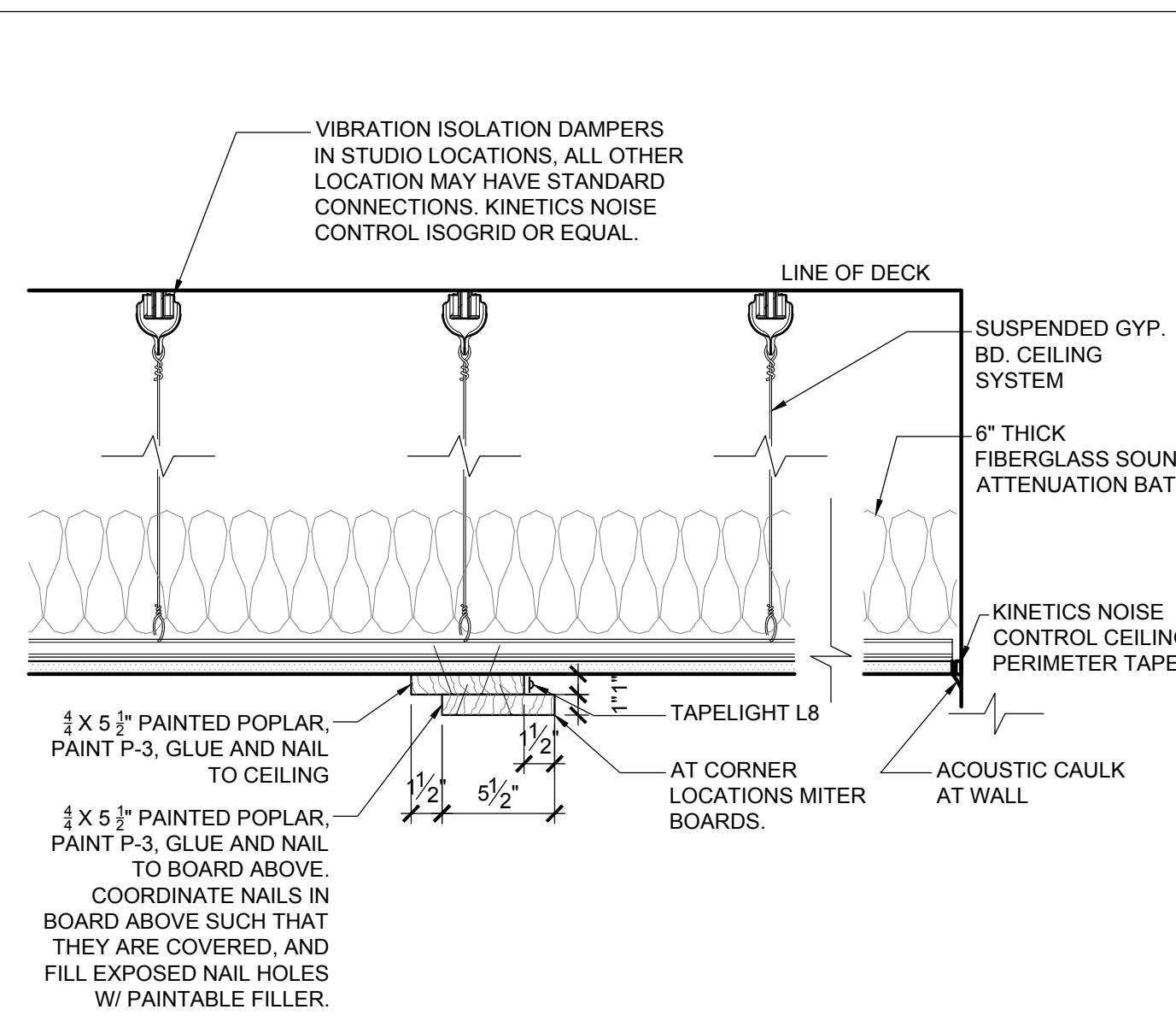
1 STUDIO (N)

PVOLVE10611 FRY RD #250
CYPRESS, TX 77433**1 RESTROOM**
1/2"=1'-0"**2 RESTROOM**
1/2"=1'-0"**TYPICAL MOUNTING HEIGHTS**
1/2"=1'-0"**3 RESTROOM 106**
1/2"=1'-0"**4 RESTROOM 106**
1/2"=1'-0"**6 RESTROOM 106**
1/2"=1'-0"**5 RESTROOM 106**
1/2"=1'-0"**7 RESTROOM 106**
1/2"=1'-0"**8 RESTROOM 106**
1/2"=1'-0"**9 RESTROOM 106**
1/2"=1'-0"**10 RESTROOM 106**
1/2"=1'-0"**TEST FIT**

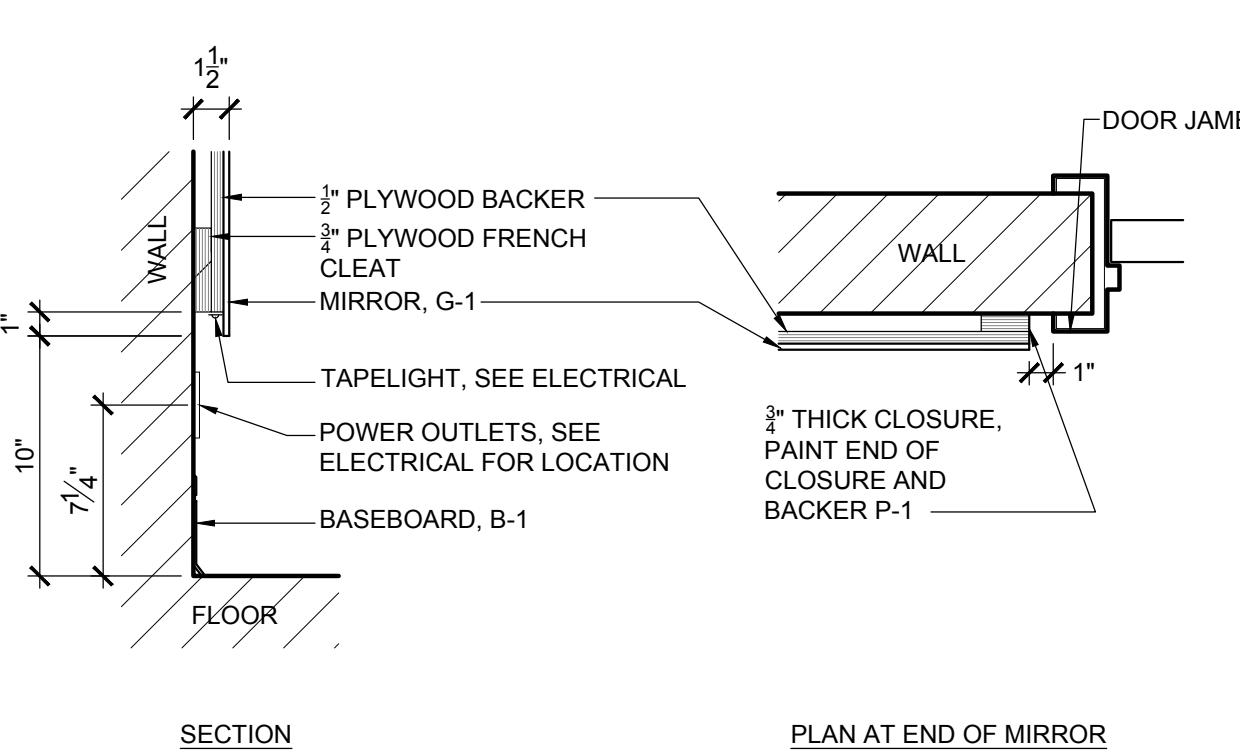
Project Number:	24-442	Approved By:	JD
Drawn By:	AS	Issue	FOR PERMIT
No.		Date	07-29-2024
SHEET TITLE & NUMBER			

ENLARGE BATHROOM PLANS & ELEVATIONS**A5-15**

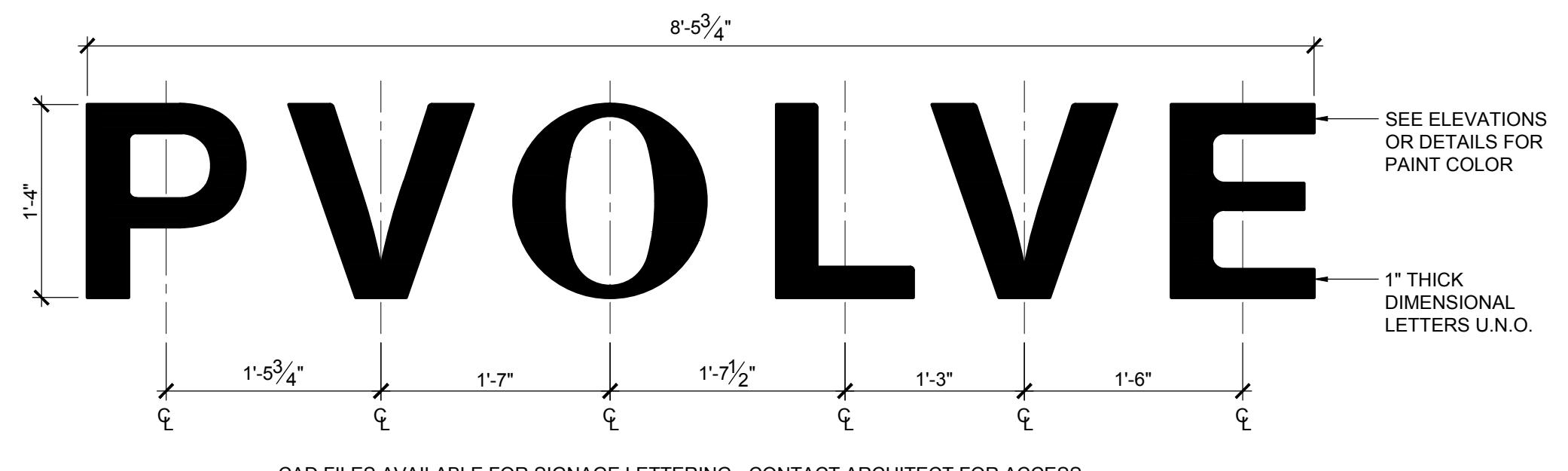
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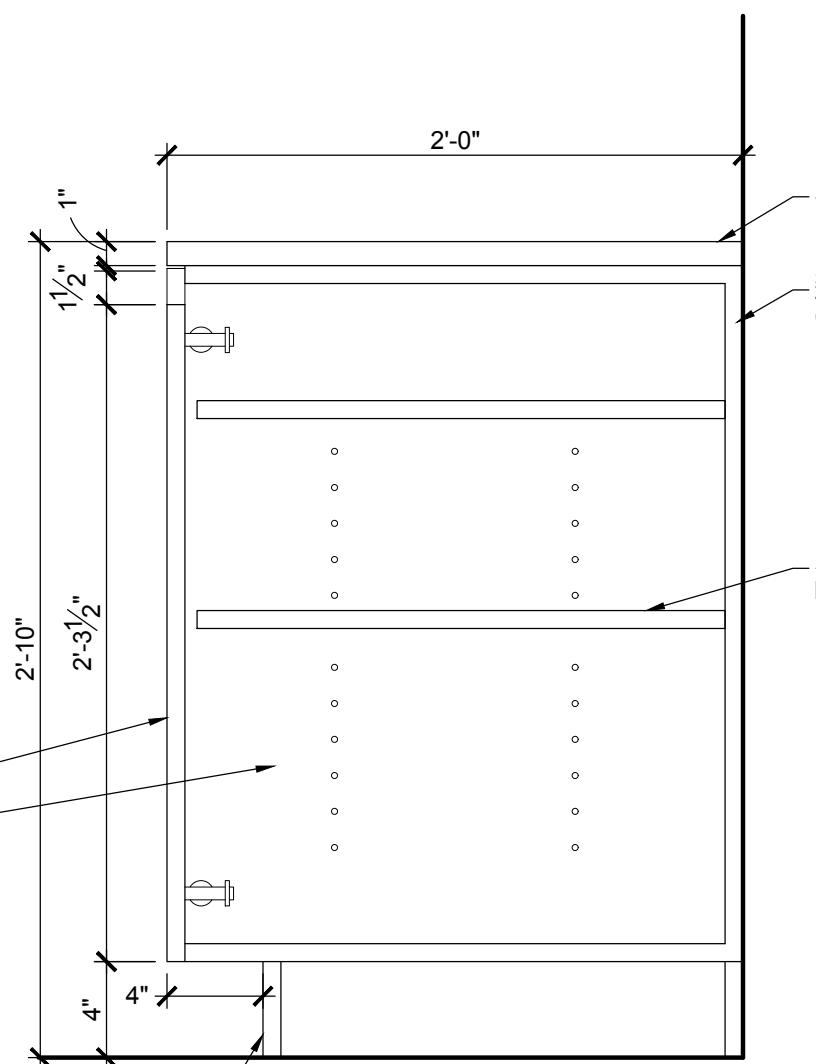
1 STUDIO CEILING LIGHT POCKET



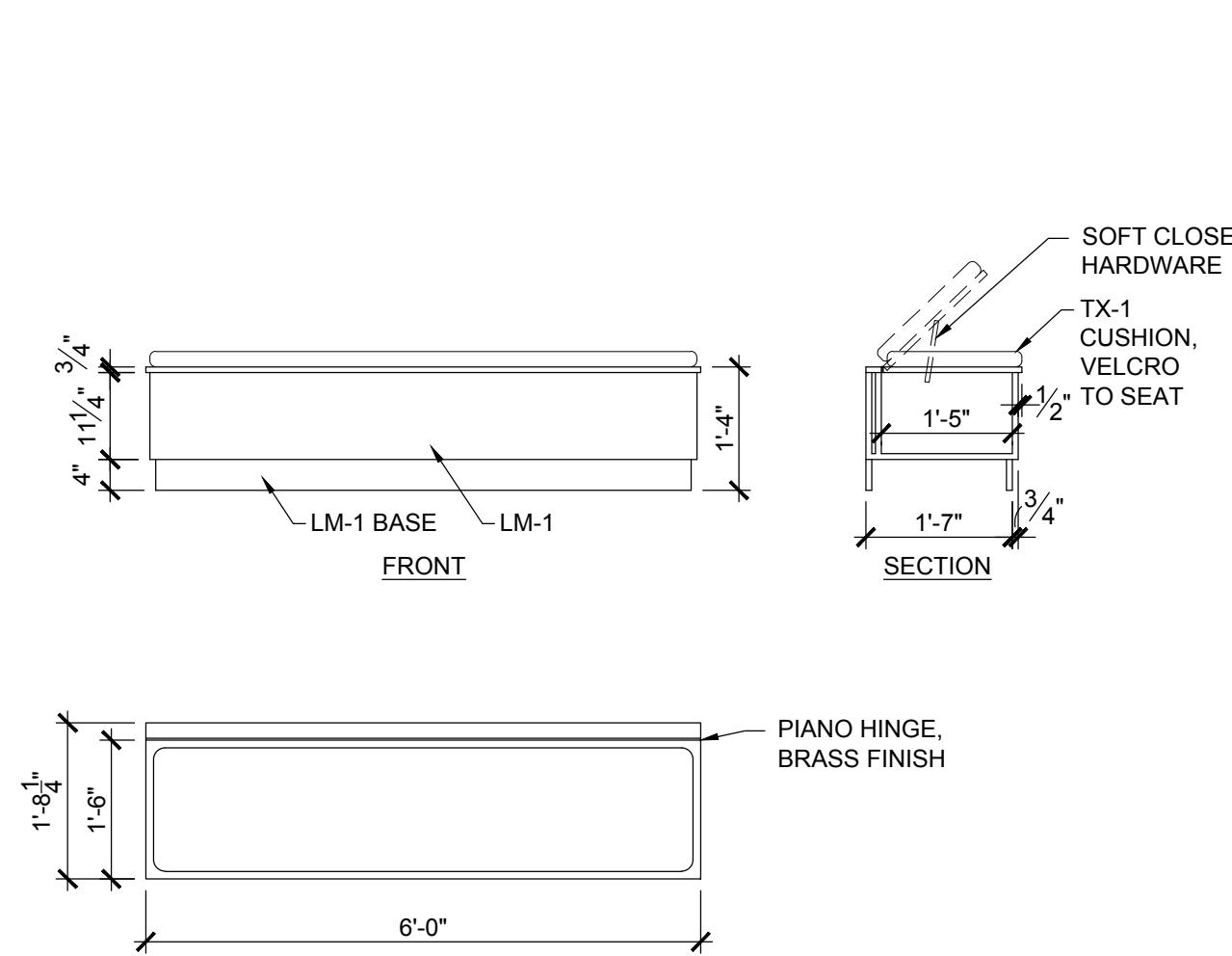
2 STUDIO MIRROR DETAILS



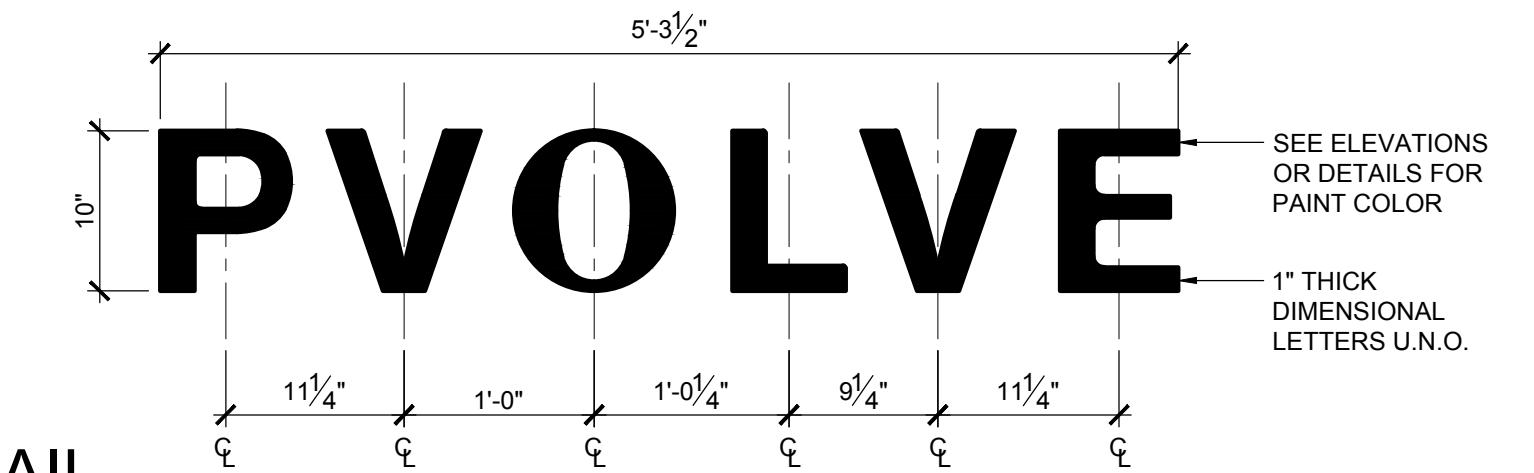
CAD FILES AVAILABLE FOR SIGNAGE LETTERING - CONTACT ARCHITECT FOR ACCESS



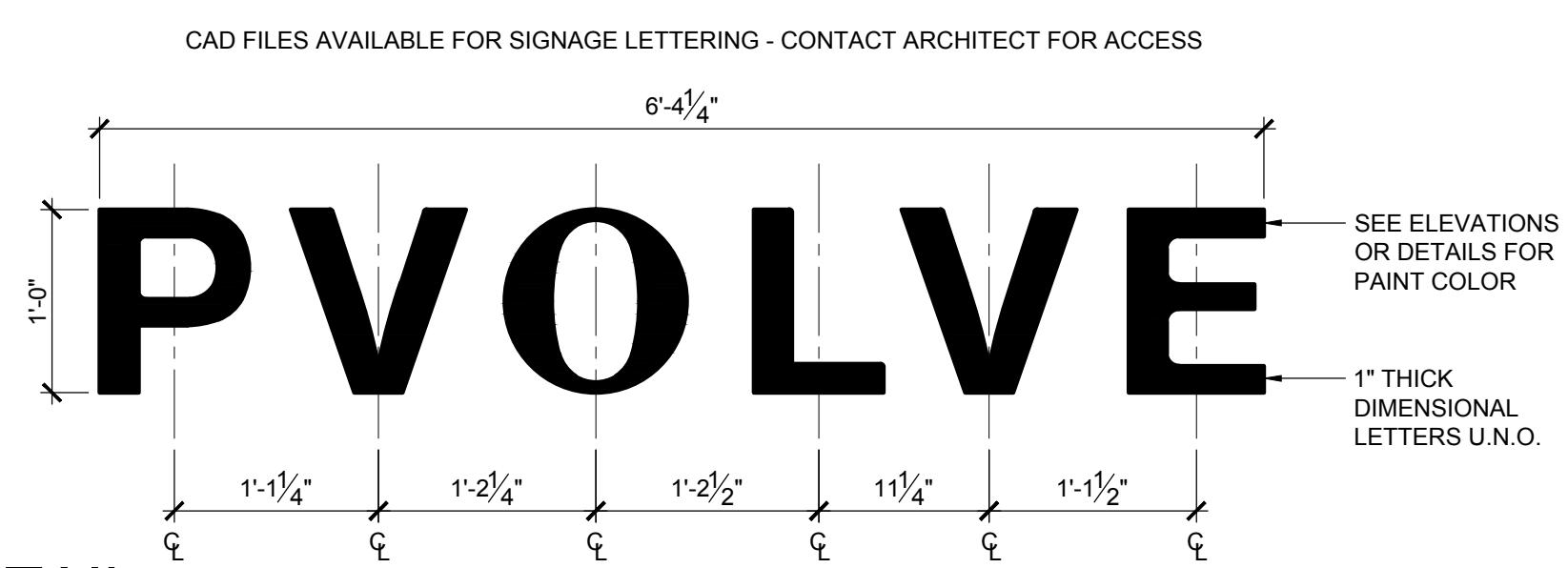
6 BACK COUNTER SECTION



7 BENCH 6'

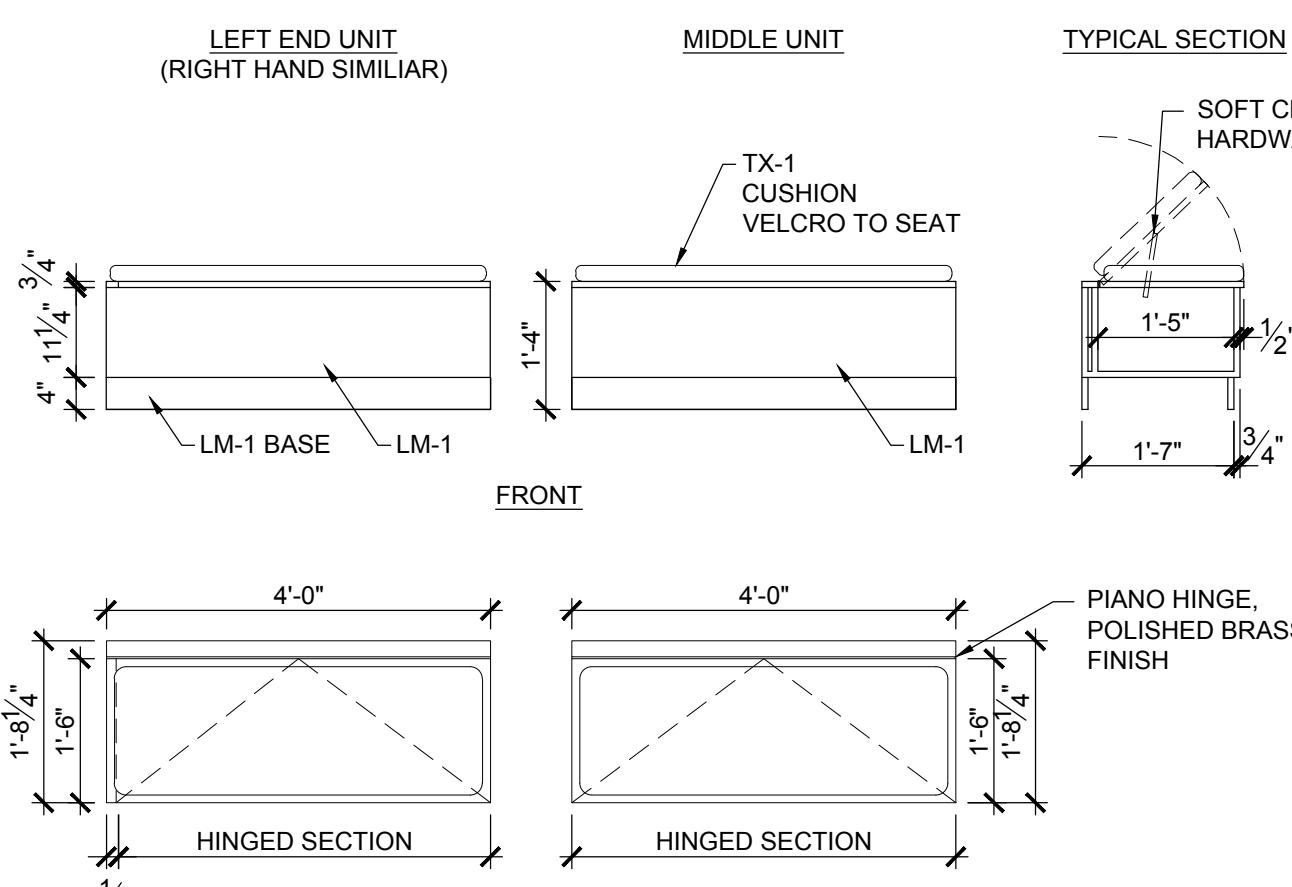


3 16" LOGO DETAIL

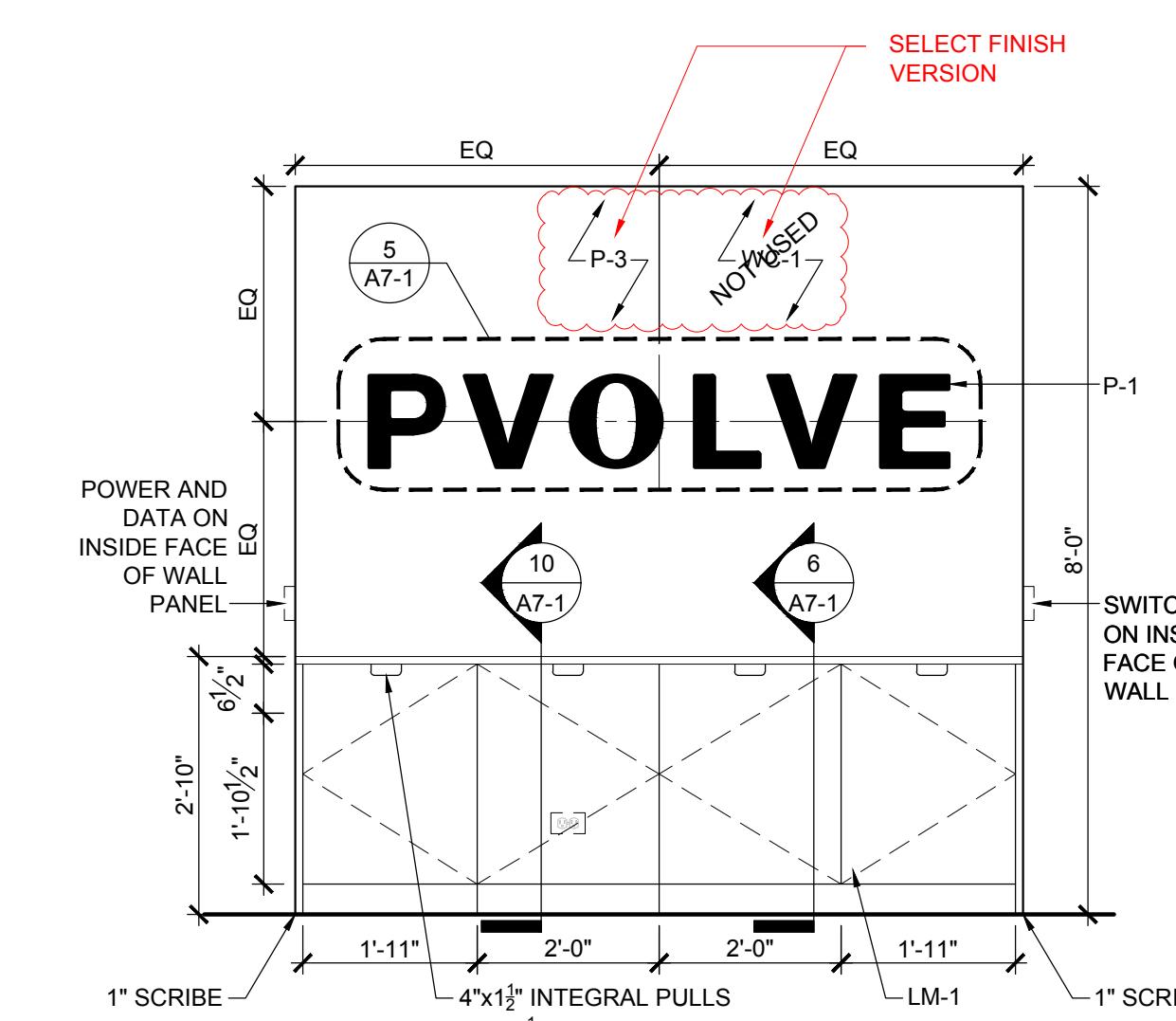


5' 12" LOGO DETAIL

1"=1'-0"

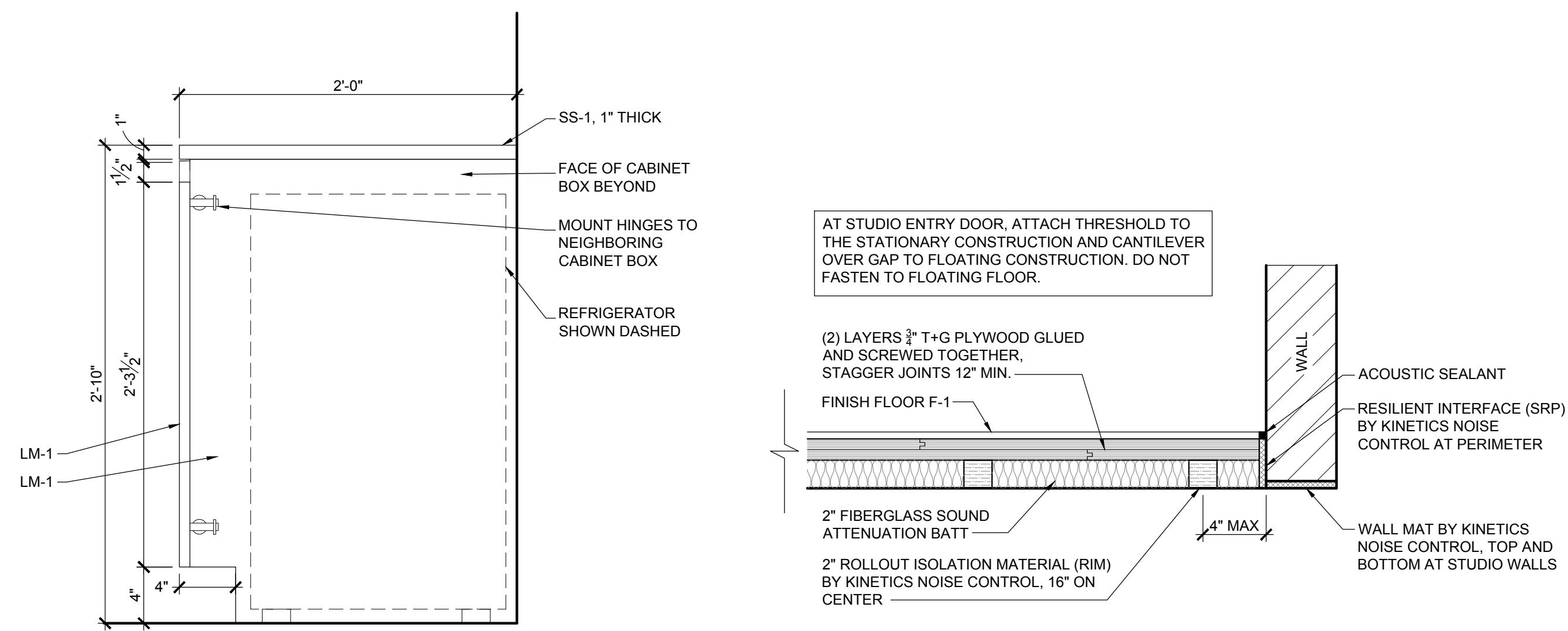


8 BENCH 4'

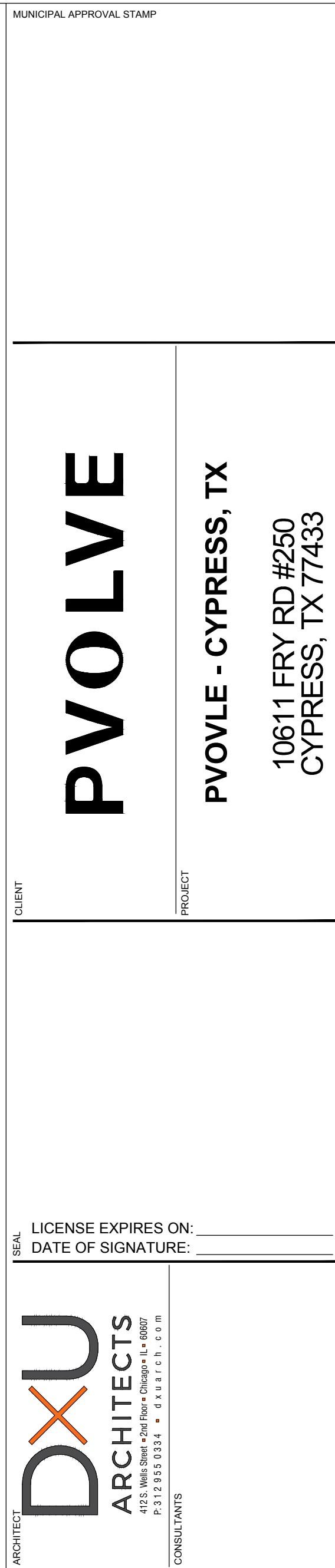


9 REAR COUNTER - STANDARD

1/2"=1'-0"

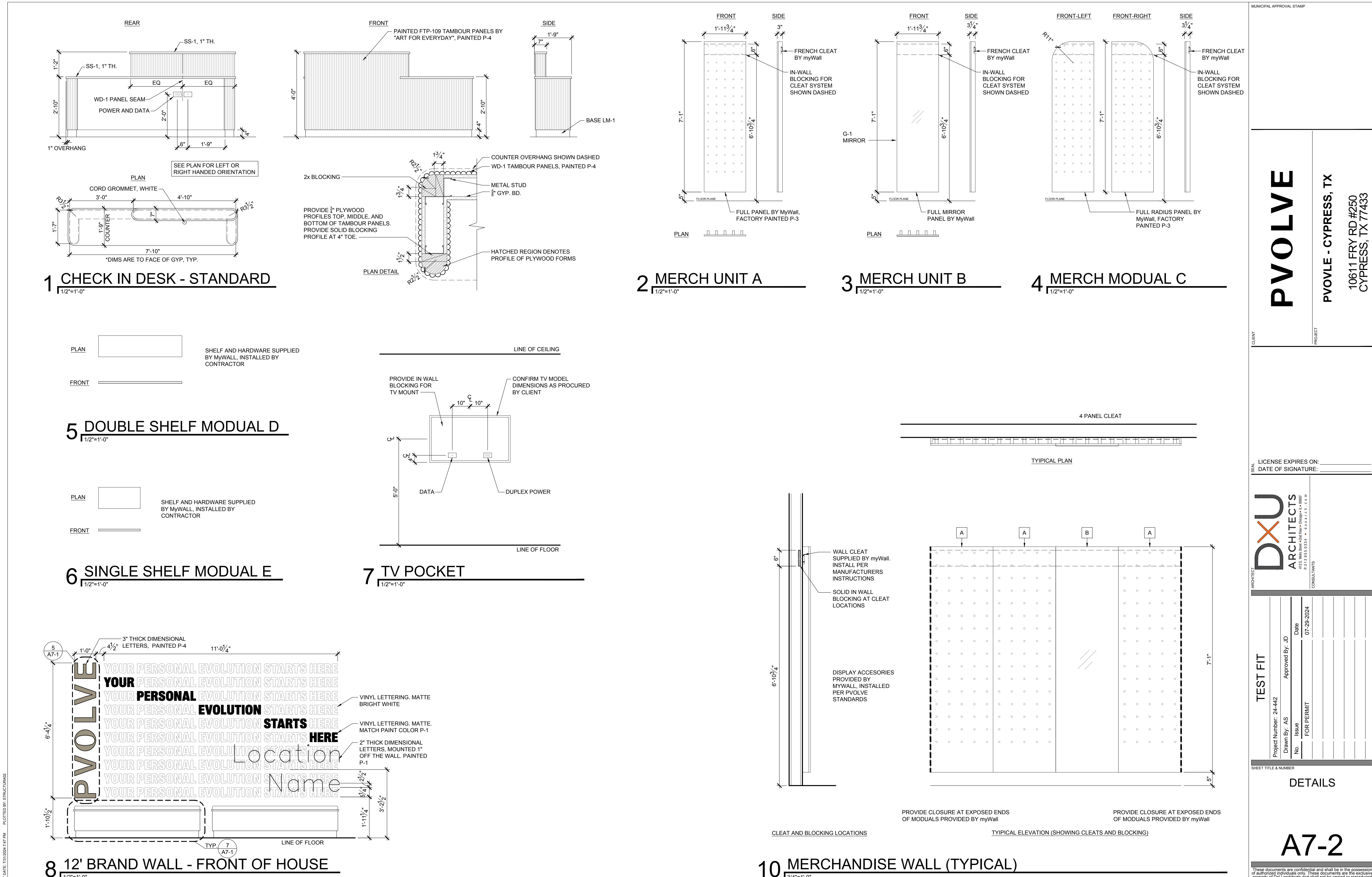


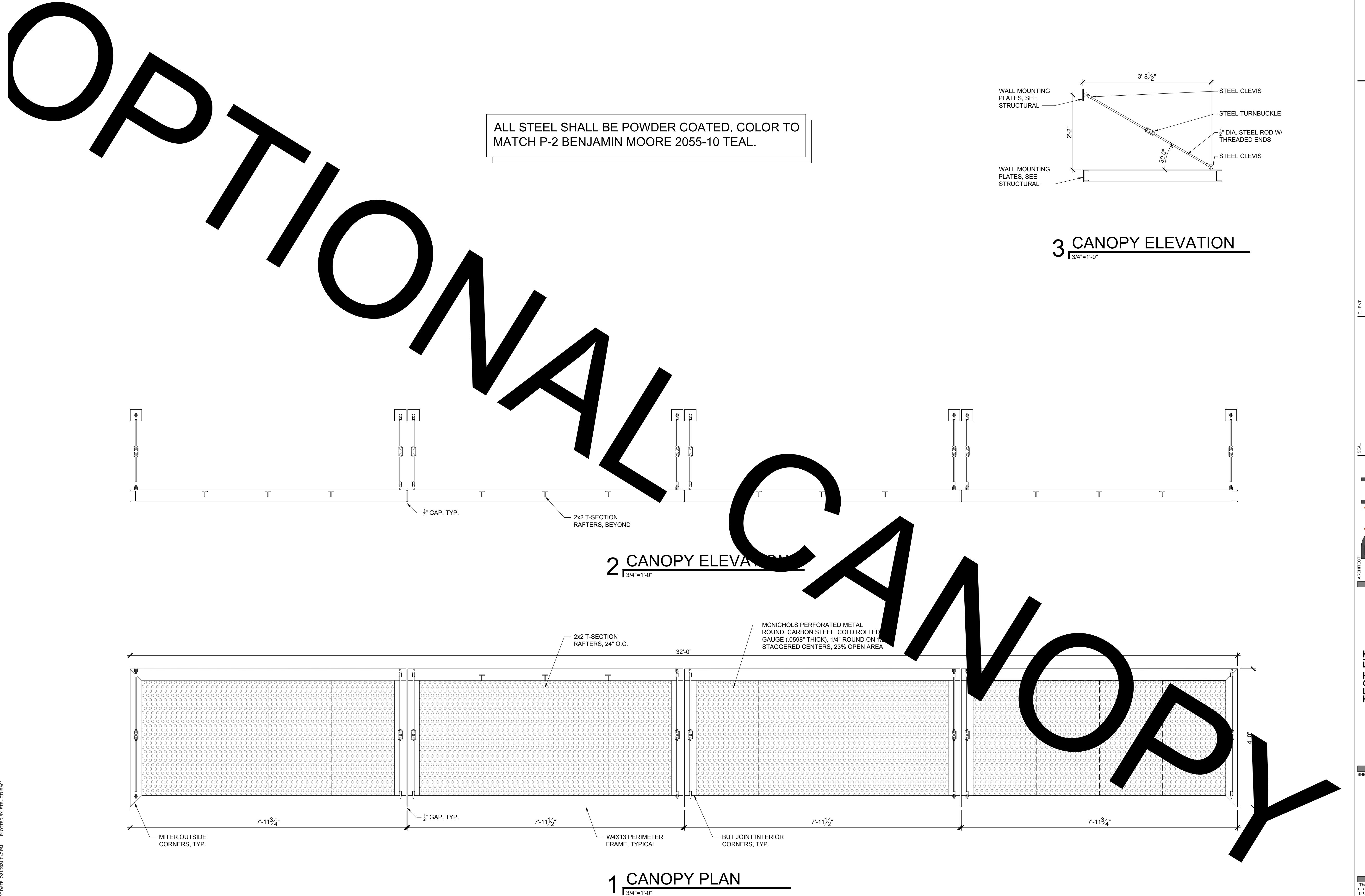
10 BACK COUNTER SECTION



A7-1

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MUNICIPAL APPROVAL STAMP

PVOLVE

CLIENT _____
PROJECT _____

LICENSE EXPIRES ON: _____
DATE OF SIGNATURE: _____

DXU ARCHITECTS
4123 West Street 2nd Floor • Chicago, IL 60656
P: 312.915.3334 • F: 312.915.3334 • E: info@dxu.com
CONSULTANTS

TEST FIT	Project Number: 24-442	Approved By: JD
	Drawn By: AS	Date: 07-29-2024
	No. _____	Issue: FOR PERMIT

SHEET TITLE & NUMBER: CANOPY DETAILS

A7-4

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ITEM #	DESCRIPTION	MANUFACTURER	MODEL	COLOR	GAS REQUIREMENTS			ELECTRICAL REQUIREMENTS			PLUMBING REQUIREMENTS			SUPPLIED BY	INSTALLED BY	REMARKS	Rev 01-31-2024			
					MBH (1,000 BTU/h)	WATER COLUMN	SIZE	VOLTAGE/ PH	AMP/ KVA	HP	CONNECTION	HW	CW	DRAIN						
E100	IN-CABINET FRIDGE	MAGIC CHEF	HMAR265WE.BE.SE.STE	BLACK	-	-	-	115/1	1.2	-	PLUG	-	-	-	GC	GC	OR APPROVED EQUAL			
E101	WATER FOUNTAIN W/ BOTTLE FILLER	ELKAY	LZ8WSLK					115/1		-	PLUG	-	3/8"	1-1/4"	GC	GC	OUNT AT ADA COMPLAINT HEIGHT			
E101A	HI/LOW FOUNTAIN W/ BOTTLE FILLER	ELKAY	LZSTLG8WSSK					115/1	6	-	PLUG	-	3/8"	1-1/4"	GC	GC	OUNT AT ADA COMPLAINT HEIGHT			
E102	CLOTHES WASHER	MIIELE	WXD160 WCS		-	-	-	120/1	15	0.8 KW	PLUG	3/4"	3/4"	2"	GC	GC	GCTO VERIFY MAKE AND MODEL WITH TENANT PRIOR TO ORDERING			
E103	VENTLESS ELEC. CLOTHES DRYER	MIIELE	TXD160 WP		-	-	-	120/1	15	1/3	PLUG	-	-	-	GC	GC	GCTO VERIFY MAKE AND MODEL WITH TENANT PRIOR TO ORDERING			
E200	MOP SINK & FAUCET	MUSTEE	G3M & G3.600A & G3.600		24" x 24" x 10"			-	-	-	1/2"	1/2"	-	-	GC	GC	CAULK TO PARTITION, ORDER WITH FAUCET G3.600A AND MOP HANGER G3.600			
E201	LAVATORY BAND 14" BEAUTY BAR	KOHLER	K-2883-O	NOT USED	K-2883-O	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	1-3/4"	1-3/4"	GC	GC	UNDERMOUNT	NOT USED			
E202	FAUCET	KIBI USA	C-KBF1021MB-KPW100M	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	3/8"	3/8"	GC	GC	NOT USED				
E203	TOILET FLUSH VALVE	SLOAN / AMERICAN STANDARD	G2-8117-5801100T-020	NOT USED	WHITE	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	1-1/2"	4"	GC	GC	OPEN ENDED TOILET SEAT, MATTE BLACK FLUSH HANDLE	NOT USED			
E204	TOILET - PRESSURE ASSISTED	ZURN	Z5560.000.01.03.36 LH OR RH	WHITE	-	-	-	-	-	-	-	1/2"	4"	GC	GC	OPEN ENDED TOILET SEAT, MATTE BLACK FLUSH HANDLE				
E205	FLOOR DRAIN	ZURN	FD2290					-	-	-	-	-	3"	GC	GC					
E206	GRAB BAR 18" NOT USED	BOBRICK	B-9806x18.MBLK	NOT USED	MATTE BLACK	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	GC	GC	ADD 18" VERTICAL BAR IF REQD.						
E207	GRAB BAR -36"	BOBRICK	B-9806x36.MBLK		MATTE BLACK	-	-	-	-	-	-	-	-	GC	GC	ORDER 36" & 42" GRAB BARS, TOP OF GRAB BAR - 33" - 36" A.F.F., ADD MATCHING 18" VERTICAL BAR IF REQD.				
E208	GRAB BAR -42"	BOBRICK	B-9806x42.MBLK		MATTE BLACK	-	-	-	-	-	-	-	-	GC	GC	ORDER 36" & 42" GRAB BARS, TOP OF GRAB BAR - 33" - 36" A.F.F., ADD MATCHING 18" VERTICAL BAR IF REQD.				
E210	BABY CHANGING TABLE - VERTICAL	RUBBERMAID	SM-FG-781988LPLAT					-	-	-	-	-	-	GC	GC	SHELF @ 34" A.F.F.				
E212	TOILET TISSUE HOLDER	GEDY	GEDY 2039-14	MATTE BLACK				-	-	-	-	-	-	GC	GC					
E213	PAPER TOWEL DISPENSER	TOTAL RESTROOM	A51 0210-41	MATTE BLACK				-	-	-	-	-	-	GC	GC					
E214	RESTROOM & VANITY MIRROR	HOMESTEAD	WM8154BLACK	MATTE BLACK				-	-	-	-	-	-	GC	GC	20"x36"				
E215	RESTROOM TRASH BIN	SIMPLEHUMAN	55 LITER STEP CAN	MATTE BLACK				-	-	-	-	-	-	TENANT	TENANT					
E216	COAT HOOK	NAMEEKS	NAMEEKS NNNBL0028	MATTE BLACK				-	-	-	-	-	-	GC	GC					
E217	BACK OF DOOR MIRROR	NEUTYPE (HOME USED)	AA01017AA1PD00X-1	NOT USED	BLACK	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	GC	GC	16" X 59" MOUNT TO BACK OF RESTROOM DOORS						
E218	DESK TRASH	SIMPLEHUMAN	4.5 LITER ROUND STEP	NOT USED	MATTE BLACK	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	TENANT	TENANT	NOT USED						
E220	WIPE DISPENSER	GOOD EARTH	GDE 19219	BLACK				-	-	-	-	-	-	TENANT	TENANT					
E221	WATER HEATER	SEE PLUMBING						-	-	-	-	-	-	GC	GC					
E222	FIRE EXTINGUISHER	BADGER KIDDE	25074 - TYPE ABC	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	GC	GC	WALL MOUNTED BETWEEN 36" & 48" TO CENTER	NOT USED					
E223	ADA WALL MOUNT LAVATORY	NAMEEK'S	CERASTYLE 079600-U	WHITE				-	-	-	-	-	1-3/4"	GC	GC	WALL MOUNT, PROVIDE SCALD GUARD, MATTE BLACK DRAIN FINISH KIT.				
E226	BATHROOM SHELF	IKEA	LINDASEN	BLACK				-	-	-	-	-	-	GC	GC					
E227	DOUBLE TV MOUNT	INSTALLERPARTS	NPT DUAL CEILING MOUNT	BLACK				-	-	-	-	-	-	TENANT	TENANT	AVAILABLE ON AMAZON, MULTIPLE COUPLERS AND EXTENSION PIPES MAY BE REQUIRED. SEE ELEVATIONS.				
E228	TV	BY TENANT	BY TENANT	BLACK				-	-	-	-	-	-	TENANT	GC	GC TO ACQUIRE TV SPEC FROM TENANT				
E229	ADA CABINET NOT USED	BY TENANT	BY TENANT	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	NOT USED	GC	GC	LOCKDOWN WITH ANCHOR						

PVOLVE - CYPRESS, TX
10611 FRY RD #250
CYPRESS, TX 77433

LICENSE EXPIRES ON:
DATE OF SIGNATURE:

FURNITURE SCHEDULE												Rev 01-31-2024
ITEM #	DESCRIPTION	MANUFACTURER	MODEL	COLOR	SIZE	SUPPLIED BY	INSTALLED BY	REMARKS				
F100	CHECK IN DESK	MILLWORKER	-	SEE DETAILS	96" X 18"	GC	GC	PONY WALLS CLAD IN WOODEN TAMBOUR PANELS, SEE DETAILS				
F101	CHECK IN CABINETS	MILLWORKER	-	LM-1	96" X 24"	GC	GC	SEE DETAILS				
F103	LOCATION SIGNAGE	MILLWORKER	-	P-1	-	GC	GC	SEE DETAILS				
F104	BENCH - 6'	MILLWORKER	-	LM-1	72" X 20"	GC	GC	SEE DETAILS				
F105	BENCH - 4' LEFT END NOT USED	MILLWORKER	NOT USED	48" X 20"	NOT USED	GC	GC	NOT USED				
F106	BENCH - 4' MIDDLE	MILLWORKER	-	LM-1	48" X 20"	GC	GC	SEE DETAILS				
F107	BENCH - 4' RIGHT END NOT USED	MILLWORKER	NOT USED	48" X 20"	NOT USED	GC	GC	NOT USED				
F108	LOGO - 10"	MILLWORKER	-	SEE ELEVATIONS	10" HIGH	GC	GC	SEE DETAILS, SEE ELEVATIONS FOR COLOR				
F109	LOGO - 12"	MILLWORKER	-	SEE ELEVATIONS	12" HIGH	GC	GC	SEE DETAILS, SEE ELEVATIONS FOR COLOR				
F110	LOGO - 16"	MILLWORKER	-	SEE ELEVATIONS	16" HIGH	GC	GC	SEE DETAILS, SEE ELEVATIONS FOR COLOR				
F111	MERCHANDISE MODUL A	MyWall	FULL PANEL	P-5	-	GC	GC	CONTACT CHRIS JONES FOR ORDERING SEE COVER				
F112	MERCHANDISE MODUL B	MyWall	FULL PANEL WITH MIRROR	P-5	-	GC	GC	CONTACT CHRIS JONES FOR ORDERING SEE COVER				
F113	MERCHANDISE MODUL C	MyWall	FULL PANEL, LH RADIUS	P-5	-	GC	GC	CONTACT CHRIS JONES FOR ORDERING SEE COVER				
F114	MERCHANDISE MODUL D	MyWall	FULL PANEL, RH RADIUS	P-5	-	GC	GC	CONTACT CHRIS JONES FOR ORDERING SEE COVER				
F116	DOUBLE SHELF NOT USED	MyWall	NOT USED	P-5	NOT USED	GC	GC	NOT USED				
F117	SINGLE SHELF NOT USED	MyWall	NOT USED	P-5	NOT USED	GC	GC	NOT USED				</

FINISH SCHEDULE												Rev 01-31-2024
ITEM #	DESCRIPTION	MANUFACTURER	MANUFACTURER NO	SPECIFICATION	SIZE	COLOR	TYPE	GROUT	SUPPLIED BY	INSTALLED BY	REMARKS	
BASE												
B-1	RUBBER BASE	JOHNSONITE	RWDC TG1	PERCEPTIONS RECESS TOE	4 1/4" H x 1/8"	TG1 SNOWBOUND	RECESS TOE	N/A	GC	GC	GC	
CEILING												
GYP	PAINTED GYPSUM BOARD	USG	270254 DRYWALL SUSPENSION SYSTEM	SUSPENDED DRYWALL SYSTEM, 5/8" GYP.	N/A	PAINTED, SEE RCP	N/A	N/A	GC	GC		
ACT-1	ACOUSTIC CEILING TILE AND GRID	GRIDSTONE	N/A	FIRE-SHIELD 1/2"	24"x24"	WHITE	VINYL FACE	N/A	GC	GC	PRELUDER ML 15/16" EXPOSED TEE, 7301 & ML7323 (WHITE)	
FLOOR												
FL-1	PREFERRED LVT APPROVED ALTERNATE	AHF CONTRACT AHF CONTRACT	1LL07001 1LL07007	NOD TO NATURE LOOSE LAY LVT NOD TO NATURE LOOSE LAY LVT	7"X48"X5mm 7"X48"X5mm	SERENE STYLE 7" BEACHY FLAVOR 7"	N/A N/A	N/A N/A	GC GC	GC GC	LAY IN WITH RANDOM PATTERN	
FL-2	PREFERRED ACOUSTIC LVT APPROVED ACOUSTIC ALTERNATE	AHF CONTRACT AHF CONTRACT	1SP07001 1SP07007	NOT USED NOT USED	7"X48"X5mm 7"X48"X5mm	SERENE STYLE 7" BEACHY FLAVOR 7"	STC 50 STC 50	N/A N/A	GC GC	GC GC	LAY IN WITH RANDOM PATTERN FOR USE IN LOCATIONS WITH NEIGHBORING TENANTS BELOW. PIVOLVE SPACE WITH 152MM (6") CONCRETE SLAB	
FL-3	HEAVY ACOUSTIC ISOLATION	ENGINEERED NOT USED	1SP07001 1SP07007	SEE DETAILS IN PLANS NOT USED	KOT USES KOT USES	STC 50 STC 50	NOT USED NOT USED	N/A N/A	GC GC	GC GC	FOR USE IN LOCATIONS WITHOUT 152MM (6") CONCRETE SLAB FLOOR	
GROUT												
GR-1	WALL GROUT (BLACK TILE)	LATICRETE	MIDNIGHT BLACK #22	1600 SANDED GROUT	1/8" JOINT	BLACK	SANDED	N/A	GC	GC		
GR-2	FLOOR GROUT	LATICRETE	STERLING SILVER #78	1600 SANDED GROUT	1/8" JOINT	GREY	SANDED	N/A	GC	GC		
MILLWORK												
SS-1	SOLID SURFACE	WILSONART	ASPEN QUARTZITE 9245SS	9245SS	1/2" THICK	ASPEN QUARTZITE	N/A	N/A	GC	GC	FOR ALL COUNTERS IN PROJECT	
LM-1	LAMINATE FOR MILLWORK	FORMICA	J0032	FENIX COLOR CORE	N/A	BIANCO KOS	N/A	N/A	GC	GC		
TX-1	BENCH CUSHION	BRENTANO NOT USED	1234-03 MASALA MOURNING DOVE	MASALA NOT USED	VARIES NOT USED	NOT USED MOURNING DOVE	N/A N/A	NOT USED N/A	GC GC	GC GC	PROVIDE VELCRO ATTACHMENT TO TOP OF BENCHES	
WD-1	FLEXIBLE REEDED PANEL	ART FOR EVERYDAY	FTP-109	FLEXIBLE REEDED PANEL	1" HALF CIRCLE	PAINTED P-4	PAINT GRADE	N/A	GC	GC	SHOP PAINTED, PROVIDED/INSTALLED BY MILLWORKER	
MISC												
WP-1	WATERPROOF MEMBRANE	MAPEI	N/A	MAPAPLASTIC AQUA DEFENSE	N/A	N/A	N/A	GC	GC	18" ABV FLR ON OUTER SURF. OF WALL SHEATHING & UNDER FINISHES, AND ENTIRE FLOOR OF ROOM UNDER FLOOR FINISH. USE 2" FIBERGLASS MESH TAPE ON ALL CORNERS, COVES & JNTS. SEE SPEC FOR MORE INFO.		
G-1	MIRROR	GC SUPPLIED	N/A	1/4" THICK MIRROR GLASS	SEE ELEVATIONS	MIRROR	N/A	N/A	GC	GC		
M-1	TILE TRIM	SCHLUTER	QUADEC	END TRIM	N/A	BLACK	N/A	N/A	GC	GC		
TILE												
T-1	PORCELAIN TILE	FLOOR & DÉCOR	100572437	TAULETO BIANCO POLISHED PORCELAIN TILE	12X24	WHITE	PORCELAIN	GR-2	GC	GC	RESTROOM FLOORS; STACK BOND	
T-2	PORCELAIN TILE	NEMO TILE	METBLACK	METRO ABSOLUTE BLACK MATTE	2.125X8.5	ABSOLUTE BLACK MATTE	PORCELAIN	GR-1	GC	GC	BEAUTY BAR VENITY WALL AND RESTROOM WALLS; VERTICAL STACK BOND	
WALLS												
WC-1	WALL COVERING NOT USED	ASTEK NOT USED	N/A NOT USED	PUJ NOT USED	53" WIDE NOT USED	WHITE	TYPE II NOT USED	N/A	GC	GC	ALTERNATE TO BE USED ON WALL BEHIND FRONT DESK ABOVE COUNTER WHEN SPECIFIED. SEE FINISH PLAN FOR MORE INFO.	
ASP-1	ACOUSTIC SLAT PANEL	AKUPANEL	RECON MAPLE	AKUPANEL RECON MAPLE	N/A	RECON MAPLE/BLACK FELT	N/A	N/A	GC	GC	STUDIO WALL; SEE ELEVATIONS AND FINISH PLAN FOR MORE INFORMATION.	
PAINT												
P-1	BLACK PAINT - DOORS & SIGNAGE	BENJAMIN MOORE	2132-10	EGGSHELL SHEEN	N/A	BLACK	LATEX	N/A	GC	GC	DOORS, ACCENT, AND SIGNAGE PAINT; PROVIDE 1 COAT PRIMER, 2 COATS FINISH PAINT	
P-2	DUNE PAINT - SIGNAGE	BENJAMIN MOORE	HC-107	EGGSHELL SHEEN	N/A	GETTYSBURG GREY	LATEX	N/A	GC	GC	ACCENT AND SIGNAGE PAINT, SEE ELEVATIONS AND FINISH PLAN FOR MORE INFO; PROVIDE 1 COAT PRIMER, 2 COATS FINISH PAINT	
P-3	WHITE PAINT - WALLS	BENJAMIN MOORE	OC-65	EGGSHELL SHEEN	N/A	CHANTILLY LACE	LATEX	N/A	GC	GC	GENERAL WALL AND CEILING PAINT; PROVIDE 1 COAT PRIMER, 2 COATS FINISH PAINT	
P-4	TAN PAINT - STUDIO WALLS AND ACCENTS	BENJAMIN MOORE	OC-6	EGGSHELL SHEEN	N/A	FEATHER DOWN	LATEX	N/A	GC	GC	STUDIO WALL PAINT, AND CHECK IN NOOK PAINT; PROVIDE 1 COAT PRIMER, 2 COATS FINISH PAINT	
P-5	MYWALL MILLWORK PAINT	BY MANUFACTURER		EGGSHELL SHEEN	N/A	WHITE	LATEX	N/A	GC	GC	MYWALL MANUFACTURER WHITE PAINT	
P-6	BRIGHT WHITE PAINT - UPPER WALLS AND CEILINGS	SHERWIN WILLIAMS	SW 7005	SEMI-GLOSS	N/A	PURE WHITE	LATEX	N/A	GC	GC	EXPOSED CEILINGS AND WALLS ABOVE 11'-0" PROVIDE 1 COAT PRIMER, 2 COATS FINISH PAINT	

CHECK THE NEED FOR WHICH KIND OF FLOOR!

LIGHTING SCHEDULE												Rev 01-31-2024
ITEM #	DESCRIPTION	MANUFACTURER	MODEL	COLOR TEMPERATURE	FINISH	VOLTAGE	WATTS	MOUNTING HT	SUPPLIED BY	INSTALLED BY	REMARKS	
L1	SPECIALTY LIGHTING GROUP	SPECIALTY LIGHTING GROUP	CR4T-790L-30K-12-E26GU24)	3000 K	WHITE 4" LED RECESSED DOWNLIGHT 3000K, ELV DIMMING	120V	10W	RECESSED	GC	GC	HALLWAYS/INCLUDES NEW CONSTRUCTION HOUSING	
L6	SPECIALTY LIGHTING GROUP	CEDAR & MOSS LIGHTING	VENUS	3000 K	BRASS DECORATIVE WALL MOUNTED SCONCE TRIAC DIMMING, (2)E26 MEDIUM BASE 10W MAX, SEE NOTE 3 BELOW	120V	10W	SURFACE MOUNT, SEE DETAILS	GC	GC		
L7	SPECIALTY LIGHTING GROUP	CEDAR & MOSS LIGHTING	MOSS 6"	3000 K	BRASS WALL MOUNTED DECORATIVE SCONCE TRIAC DIMMING, (1)E26 MEDIUM BASE, SEE NOTE 3 BELOW	120V	5W	SURFACE MOUNT, SEE DETAILS	GC	GC		
L8	SPECIALTY LIGHTING GROUP	ELEMENTAL DIODE	RGB 60 (4)10W, (1)60W, (7)35W	3000 K	COLOR CHANGING LED TAPE LIGHT 0-10V DIMMING, DRIVERS+35W, 60W, 90W	120V	4.9W/FT	WALL MOUNT, SEE ELEVATIONS	GC	GC	MAY BE SUBSTITUTED FOR SOLID WHITE COLOR FOR COST SAVINGS, CONTACT ANUSH KAZARIAN FOR PRICING AND ALTERNATE SPEC	
L9	SPECIALTY LIGHTING GROUP	ATTAIN LIGHTING	TRACK HEADS	3000 K	WHITE SMALL DIRECTIONAL TRACK HEADS	120V	10W	10' A.F.F. OR SURFACE MOUNT	GC	GC	TRACK HEADS EACH	
L12	SPECIALTY LIGHTING GROUP	ATTAIN LIGHTING	48"LED/35K	3500 K	48" LED SUSPENDED LINEAR 0-10V DIMMING	120V/277V	35W	10'	GC	GC		
L13	SPECIALTY LIGHTING GROUP	ATTAIN LIGHTING	2X2 SELECTABLE COLOR TEMP	3000 K	WHITE INTERGRATED FLAT FLAT PANEL LIGHT	120V/277V	SELECTABLE	IN A.C.T.	GC	GC	2X2 SELECTABLE/WHITE FRAME	
EM	SPECIALTY LIGHTING GROUP	SPECIALTY LIGHTING GROUP	BS7LEDR-1		CEILING/WALL MOUNTED DUAL ADJUSTABLE HEAD LED EMERGENCY LIGHT W/90(MIN) MINUTE EMERGENCY BATTERY BACKUP	120V	1W	10' A.F.F. WALL MOUNT	GC	GC		
EX1	SPECIALTY LIGHTING GROUP	SPECIALTY LIGHTING GROUP	BS7LEDCXTEU2RW		CEILING MOUNTED SINGLE/DIDOUBLE FACE LED EXIT SIGN W/2 EM HEADS W/90(MIN) MINUTE EMERGENCY BATTERY BACKUP	120V	4W	10' A.F.F. WALL MOUNT	GC	GC		
EX2	SPECIALTY LIGHTING GROUP	SPECIALTY LIGHTING GROUP	BS7LEDCXTEU2RWRC		CEILING MOUNTED SINGLE/DIDOUBLE FACE LED EXIT SIGN W/2 EM HEADS W/90(MIN) MINUTE EMERGENCY BATTERY BACKUP	120V	4W	10' A.F.F. WALL MOUNT	GC	GC		
ER	SPECIALTY LIGHTING GROUP	SPECIALTY LIGHTING GROUP	RHLED2PWPV		DOUBLE LED OUTDOOR REMOTE EM LIGHT W/90(MIN) MINUTE EMERGENCY BATTERY BACKUP	120V	1W	10' A.F.F. WALL MOUNT	GC	GC		

NOTE: NO SUBSTITUTIONS ARE ALLOWED
1. FIXTURES USED FOR EXIT AND/OR EMERGENCY LIGHTING TO BE ON LOCKOUT CIRCUIT AND HAVE 90 MINUTE BATTERY BACKUP.
2. GC TO ORDER LIGHTING FIXTURES THROUGH ANUSH KAZARIAN OF SPECIALTY LIGHTING GROUP 860-767-0110 EX 252.
3. PER TITLE 24 ARTICLE 30.0(C), LUMINAIRE LABELING, LUMINAIRE WATTAGE SHALL BE LABELED AS FOLLOWS: THE MAXIMUM RELAMPING RATED WATTAGE OF A LUMINAIRE SHALL BE LISTED ON A PERMANENT, PREPRINTED, FACTORY-INSTALLED LABEL, AS SPECIFIED BY UL 1574, 1598, 2108, OR 8750, AS APPLICABLE; AND THE FACTORY-INSTALLED MAXIMUM RELAMPING RATED WATTAGE LABEL SHALL NOT CONSIST OF PEEL-OFF OR PEEL-DOWN LAYERS OR OTHER METHODS THAT ALLOW THE RATED WATTAGE TO BE CHANGED AFTER THE LUMINAIRE HAS BEEN SHIPPED FROM THE MANUFACTURER.
SWITCHING AND CONTROLS NOTES
1. ONLY SIMILAR FIXTURES SHALL BE WIRED TO A SHARED CONTROL/SWITCH. DISIMILAR FIXTURES SHALL BE CONTROLLED BY SEPARATE CONTROLS FOR EACH FIXTURE TYPE.
2. ELECTRICIAN SHALL VERIFY DIMMING CONTROL SCHEME OF FIXTURES MATCH THE DIMMING CONTROL SCHEME OF THE CONTROLS/SWITCHES THAT CONTROL EACH FIXTURE.
3. ELECTRICAL DRAWINGS THAT SHOW DISIMILAR FIXTURES ON A SHARED BREAKER CIRCUIT MAY REMAIN ON THAT SHARED CIRCUIT, PROVIDED THE CONTROLS/SWITCHING SCHEME CONFORMS WITH NOTES 1 AND 2 ABOVE.
4. ELECTRICAL COVER PLATES, SWITCHES, AND SWITCHPLATES WHICH ARE ON LIGHT COLORED SURFACES SHALL BE WHITE. WHEN ON DARK COLOR OR WOOD SURFACES, THEY SHALL BE BLACK.

UPDATE THE SCHEDULES EVERY TIME. REMEMBER TO SET THEM TO HIGH GRAPHICS PHOTOGRAPH

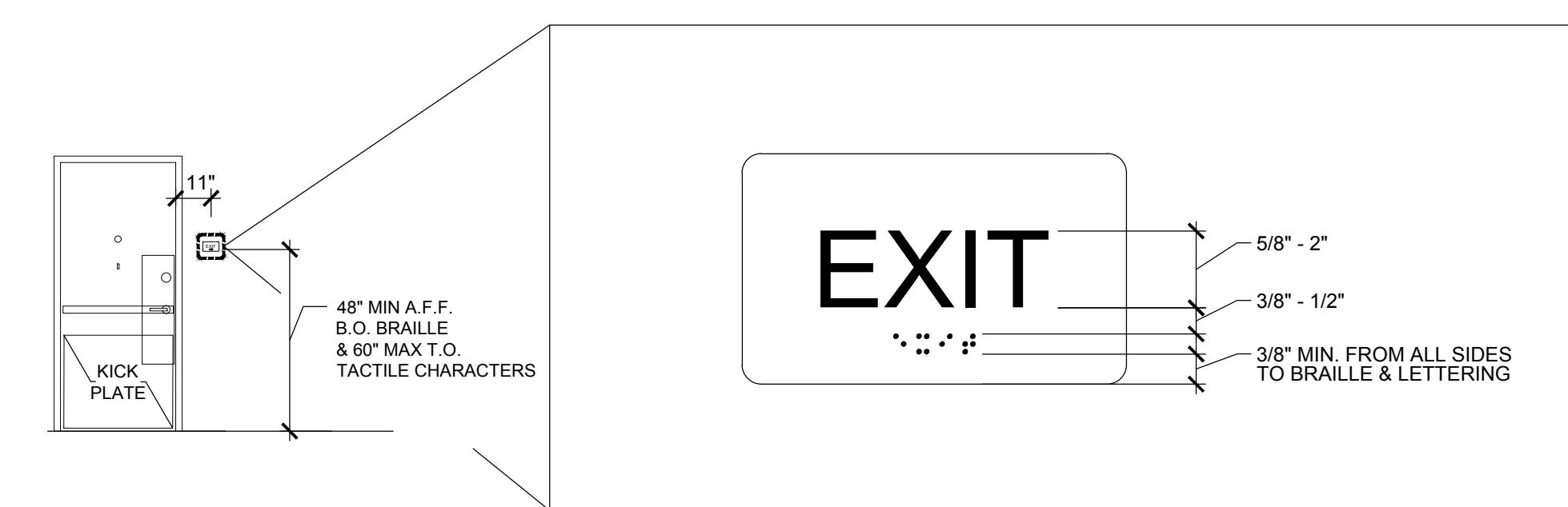
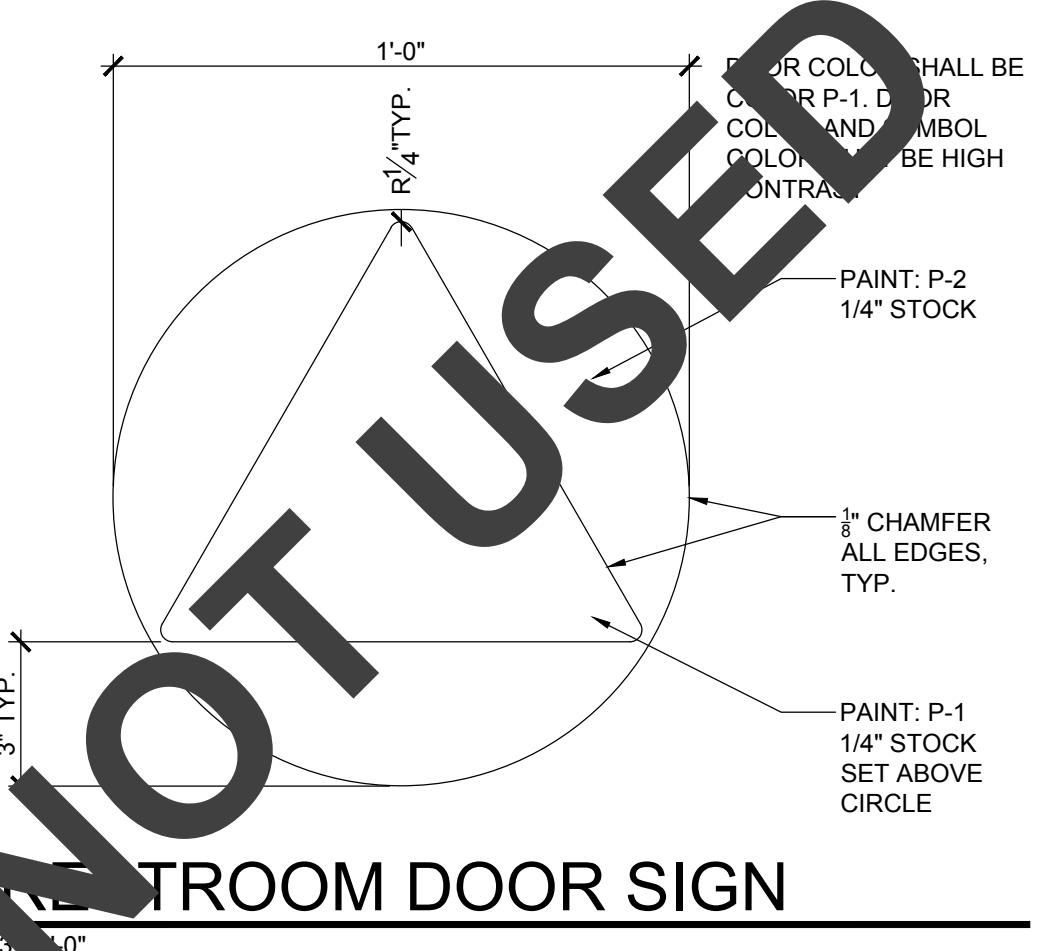
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PLOTTED BY: STRUCTURAL 02/07/2024 05:52 PM
SHEET TITLE & NUMBER: LIGHTING & FINISH SCHEDULES
A8-3
PROJECT: PVOLVE - CYPRESS, TX
PLOT DATE: 02/07/2024 05:52 PM
PLOT TIME: 02:00
PLOT SCALE: 1:100
PLOT AREA: 10' x 10'
PLOT ID: 10611 FRY RD #250 CYPRESS, TX 77433
PLOT NUMBER: 10611 FRY RD #250 CYPRESS, TX 77433
PLOT ADDRESS: 10611 FRY RD #250 CYPRESS, TX 77433
PLOT CITY: CYPRESS
PLOT STATE: TX
PLOT ZIP: 77433
PLOT COUNTY: BROWNSVILLE
PLOT TAX ID: 10611 FRY RD #250 CYPRESS, TX 77433
PLOT TAX NUMBER: 10611 FRY RD #250 CYPRESS, TX 77433
PLOT TAX ADDRESS: 10611 FRY RD #250 CYPRESS, TX 77433
PLOT TAX CITY: CYPRESS
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PLOT TAX ADDRESS: 10611 FRY RD #250 CYPRESS, TX 77433
PLOT TAX CITY: CYPRESS
PLOT TAX

DOOR SCHEDULE				
DESCRIPTION	MARK	REMARKS	FINISH	TYPE
ENTRY DOOR (EXIST)	01	3'-0" x 7'-0" STOREFRONT DOOR WITH TEMPERED GLASS LITES. INTEGRAL STOREFRONT FRAME.	PUSH: EXISTING PULL: EXISTING FRAME: EXISTING	TYPE 4
MULTI-SLIDE DOOR	NOT USED	(6) PANEL MULTI-SLIDE BOTTOM ROLLING DOOR. 4 ACTIVE PANELS. OVERALL DIM: 3'-0" x 10'-0"	PUSH: BLACK ANODIZED PULL: BLACK ANODIZED NOT USED NOT USED	TYPE 5
PRIVATE TRAINING	02	0'-1 3/4" x 3'-0" x 7'-0" SOLID CORE DOOR. HOLLOW METAL FRAME. FRAME: P-1	PUSH: P-1 PULL: P-1 FRAME: P-1	TYPE 1
LAUNDRY ROOM DOOR	03	0'-1 3/4" x 3'-0" x 7'-0" SOLID CORE DOOR. HOLLOW METAL FRAME. FRAME: P-1	PUSH: P-1 PULL: P-1 FRAME: P-1	TYPE 2
STORAGE DOOR	04	0'-1 3/4" x 3'-0" x 7'-0" SOLID CORE DOOR. HOLLOW METAL FRAME. FRAME: P-1	PUSH: P-1 PULL: P-1 FRAME: P-1	TYPE 2 (SIM)
STUDIO DOOR	05	0'-1 3/4" x 3'-0" x 7'-0" SOLID CORE DOOR W/ 2'-8"x6" LITE. HOLLOW METAL FRAME.	PUSH: P-1 PULL: P-1 FRAME: P-1	TYPE 1
REAR EXIT DOOR (EXIST)	06	0'-1 3/4" x 3'-0" x 7'-0" EXISTING FIRE RATED DOOR WITH INTEGRAL METAL FRAME.	PUSH: P-1 PULL: EXISTING FRAME: P-1	TYPE 3
RESTROOM DOOR	07	0'-1 3/4" x 3'-0" x 7'-0" SOLID CORE DOOR. HOLLOW METAL FRAME. FRAME: P-1	PUSH: P-1 PULL: P-1 FRAME: P-1	TYPE 2
RESTROOM DOOR	08	0'-1 3/4" x 3'-0" x 7'-0" SOLID CORE DOOR. HOLLOW METAL FRAME. FRAME: P-1	PUSH: P-1 PULL: P-1 FRAME: P-1	TYPE 2
NOTE:				
- ALL DOOR HARDWARE AND ACCESSORIES SHALL BE MATT BLACK U.N.O.				
- ALL HARDWARE TO BE BEARING TYPE. HARDWARE TO BE EVERLASTING. USING AN OBVIOUS METHOD OF OPERATION UNDER ALL LIGHTING CONDITIONS. THE RELEASING MECHANISM SHALL OPEN THE DOOR WHEN PULLED ON ONE SIDE OF THE DOOR. PER NFPA 101 7.2.1.5.9.2.				
- ANY DOOR IN A REQUIRED MEANS OF EGRESS FROM AN AREA HAVING AN OCCUPANT LOAD OF 50 OR MORE PERSONS SHALL BE PERMITTED TO BE PROVIDED WITH A LATCH OR LOCK ONLY IF THE LATCH OR LOCK IS PANIC HARDWARE OR FIRE EXIT HARDWARE PER NFPA 101 12.2.2.3. PANIC HARDWARE SHALL CONTAIN A MINIMUM OF TWO (2) LOCKING POINTS ON EACH DOOR, ONE LOCATED AT THE HEADER, THE OTHER AT THE THRESHOLD OF THE DOOR. ON SINGLE DOORS, PANIC HARDWARE MAY HAVE ONE LOCKING POINT WHICH IS NOT LOCATED AT EITHER THE TOP OR BOTTOM RAILS OF THE DOOR FRAME, THE DOOR SHALL HAVE AN ASTRAGAL CONSTRUCTED OF STEEL 0.125" THICK WHICH SHALL BE ATTACHED WITH NON-REMOVEABLE BOLTS TO THE OUTSIDE OF THE DOOR. THE ASTRAGAL SHALL EXTEND A MINIMUM OF SIX (6) INCHES VERTICALLY ABOVE AND BELOW THE LATCH OF THE PANIC HARDWARE. THE ASTRAGAL SHALL BE A MINIMUM OF TWO (2) INCHES WIDE AND EXTEND A MINIMUM OF ONE (1) INCH BEYOND THE EDGE OF THE DOOR TO WHICH IT IS ATTACHED. DOUBLE DOORS CONTAINING PANIC HARDWARE SHALL HAVE A FULL ASTRAGAL CONSTRUCTED OF STEEL, ATTACHED TO THE DOORS AT THEIR MEETING POINT WHICH WILL CLOSE THE OPENING BETWEEN THEM, BUT NOT INTERFERE WITH THE OPERATION OF EITHER DOOR.				
- DOOR LOCKING BAR - VON DUPRIN MORTISE LOCK DEVICE, 9975-NL-03-3-US32D, ALARM - THE MONITOR, MODEL 4000AKS WITH STROBE AND BEST LOCK CYLINDER				

NOT USED

UPDATE DOOR SCHEDULE EVERY TIME



ALL TACTILE SIGN SPECIFICATIONS MUST FOLLOW CBC 11B-703 AND BE MOUNTED IN ACCORDANCE WITH CBC 1013.4 AT EACH EXIT AND EXIT ACCESS DOOR

GRADE 2 BRAILLE EXIT SIGN**ACCESSIBLE RESTROOM SIGN**

TEST FIT	Project Number: 24-442	Approved By: JD
	Drawn By: AS	Date:
No.	Issue	07-29-2024
	FOR PERMIT	
SHEET TITLE & NUMBER		
DOOR SCHEDULE		

A8-4

HATCHED ITEMS ARE NOT USED

PVOLVE

10611 FRY RD #250
CYPRESS, TX 77433CLIENT
PROJECT

SEA

LICENSE EXPIRES ON:
DATE OF SIGNATURE:

ARCHITECT

DxU
ARCHITECTS
 4123 West Street • Cypress, TX 77429
 P. 281.953.3334 • F. 281.953.3334

CONSULTANTS

TEST FIT

SHEET TITLE & NUMBER	
Project Number: 24-442	Approved By: JD
Drawn By: AS	Date
No.	07-29-2024
Issue FOR PERMIT	

ILLINOIS PROFESSIONAL DESIGN REGISTRATION: 184.006688 EXPIRES: 4/30/2026

EQUIPMENT PLAN

A9-11

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1 EQUIPMENT PLAN
1/4" = 1'-0"