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Revisions	Date	Description	By
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Local Infusion
Dress Barn Plaza - 132 Federal Road,
Danbury, CT 06811

Consultant

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Seal

Job Number 22759

Drawn By

App'd By

Sheet Title

Cover Sheet

Sheet Number

CS101

Local Infusion

RESPONSIBILITY SCHEDULE					
DESCRIPTION	EX	FURNISHED BY	INSTALLED BY	REMARKS	
STOREFRONT	L	O	C	L	O
STOREFRONT GLAZING AND MULLION SYSTEM	●				
STOREFRONT ENTRANCE DOOR AND GLAZING	●			G.C. TO INSTALL NEW LOCK CYLINDER	
STOREFRONT SIGNAGE		●		●	UNDER SEPARATE PERMIT
DOORS	L	O	C	L	O
REAR EXIT DOOR & HARDWARE	●				
INTERIOR DOORS		●		●	
DOOR HARDWARE/DOOR FRAMES		●		●	
LOCK CORES		●		●	
CEILING/SOFFITS	L	O	C	L	O
ACT CEILING TILES		●		●	
PAINT		●		●	
WALLS	L	O	C	L	O
DEMISING PARTITIONS GYP BD.	●		●		PATCH/REPAIR BY G.C.
EXPOSED STRUCTURAL COLUMN FINISH	●		●		
INTERIOR PARTITION FRAMING & GYP BD.		●		●	
WALL FINISH		●		●	
TILE/GROUT		●		●	
WALL BACKING/BLOCKING		●		●	
PAINT		●		●	
SOUND BATT WALL INSULATION		●		●	
FLOORING	L	O	C	L	O
LUXURY VINYL PLANK		●		●	
TILE FLOOR		●		●	
RUBBER BASE		●		●	
TILE BASE		●		●	
MILLWORK	L	O	C	L	O
LOBBY COUNTER		●		●	
CABINETS/SHELVES/HARDWARE		●		●	
FURNITURE/EQUIPMENT	L	O	C	L	O
FURNITURE		●		●	
REFRIGERATORS		●		●	
RESTROOM ACCESSORIES		●		●	REF: RESTROOM SCHEDULE, A201
TV AND WALL MOUNT	●			●	PLYWOOD BACKING BY G.C.
GENERAL	L	O	C	L	O
GENERAL CONDITIONS		●		●	
PERMITS, FEES, AND INSURANCE		●		●	
TEMPORARY UTILITIES		●		●	
PROFESSIONAL CLEANING		●		●	
CERTIFICATE OF OCCUPANCY		●		●	
PROTECTION		●		●	
MECHANICAL	L	O	C	L	O
MECHANICAL DIFFUSERS		●		●	
RTU		●		●	
HVAC CONTROL AND SENSOR		●		●	
MAIN DUCTWORK	●		●	●	
BRANCH DUCTWORK	●		●	●	
EXHAUST FAN		●		●	
ELECTRICAL	L	O	C	L	O
MAIN DISTRIBUTION PANEL	●				
TENANT LOW VOLTAGE ELECTRICAL PANEL	●				
LIGHT FIXTURES		●		●	
EXIT SIGNS		●		●	
EMERGENCY LIGHT(S)		●		●	
DATA CABLE ROUGH-IN		●		●	
DATA CABLE TERMINATION	●		●		
PLUMBING	L	O	C	L	O
TOILET ROOM FIXTURES		●		●	
WATER HEATER		●		●	
NURSE/BREAK SINKS		●		●	
SPRINKLER	L	O	C	L	O
SPRINKLER HEADS		●		●	
SPRINKLER MAIN LINE		●		●	
SPRINKLER BRANCH PIPING		●		●	

ABBREVIATIONS

AL.	ALUMINUM
A.P.	ACCESS PANEL
A.C.T.	ACOUSTIC CEILING TILE
A.D.A.	AMERICANS W/ DISABILITIES ACT
A.F.F.	ABOVE FINISH FLOOR
A.H.J.	AUTHORITY HAVING JURISDICTION
BD.	BOARD
BLDG.	BUILDING
BLKG.	BLOCKING
BOT.	BOTTOM
CLG.	CEILING
CONC.	CONCRETE
CLR.	CLEAR
CONT.	CONTINUOUS
CT.	CERAMIC TILE
DIA.	DIAMETER
DIAG.	DIAGONAL
D.P.B.	DENSE PARTICLE BOARD
EQ.	EQUAL
ELEV.	ELEVATION
EPS.	EXTERIOR INSUL. FINISH SYSTEM
EQUIP.	EQUIPMENT
EXIST. OR E	EXISTING
F.C.	Fixture Contractor
FIN.	FINISH
FL.	FLOOR
F.F.	FACE OF FINISH
F.S.	FACE OF STUD
F.V.	FIELD VERIFY
F.B.	FLOOR BUMPER
F.E.	FIRE EXTINGUISHER
F.R.T.	FIRE RETARDANT TREATED
G.A.	GAUGE
G.C.	GENERAL CONTRACTOR
G.W.B.	GYPSUM WALL BOARD
GYP.BD.	GYPSUM BOARD
GL.	GLASS
GDW	GYPSUM DRY WALL
GA	GAUGE
H.	HIGH
H.T.	HEIGHT
H.M.	HOLLOW METAL
H.L.	LANDLORD
INSUL.	INSULATION
KIT.	KITCHEN
LAM. PL.	LAMINATED PLASTIC
MATL.	MATERIAL
M.O.	MASONRY OPENING
MTD.	MOUNTED
MTL.	METAL
MFR.	MANUFACTURER
MIN.	MINIMUM
MIR.	MIRROR
MTL.	METAL
N.L.C.A.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
O.H.	OPPOSITE HAND
OPG.	OPENING
PLATE	PLATE
PLYWD.	PLYWOOD
REFL.	REFLECTED
REINF.	REINFORCING
REQ'D.	REQUIRED
R.O.	ROUGH OPENING
S.I.B.A.	SINGLE LINE BANKING
SSM	SOLID SURFACING MATERIAL
S.V.A.	SHEET VINYL
SST.	STAINLESS STEEL
STL.	STEEL
STRUCT.	STRUCTURE
SIM.	SIMILAR
SUSP.	SUSPENDED
T.B.D.	TO BE DETERMINED
TEMP.	TEMPORARY
THK.	THICK
T&G	TONGUE & GROOVE
TY.P.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
VERT.	VERTICAL
V.I.F.	VERIFY IN FIELD
V.C.T.	VINYL COMPOSITION TILE
V.W.C.	VINYL WALL COVERING
W/O'R	WITH
WDT	WALL BUMPER
WD.	WOOD

SEPARATE SUBMITTALS

THE FOLLOWING SHALL BE SUBMITTED BY THE APPROPRIATE VENDOR OR ENGINEER AND SHALL NOT BE REVIEWED AS A PART OF THIS SUBMISSION

- SIGNAGE
- FIRE SPRINKLER PLANS & SPECIFICATIONS

SCOPE OF WORK

INTERIOR TENANT FIT OUT FOR NEW IV INFUSION FACILITY. ALL STRUCTURAL COMPONENTS TO REMAIN. EXISTING STOREFRONT AND GLAZING SYSTEM TO REMAIN. EXISTING ELECTRICAL SERVICE TO REMAIN. EXISTING MECHANICAL EQUIPMENT AND DUCTWORK TO BE MODIFIED. NEW INTERNAL NON RATED PARTITIONS, LIGHTING LAYOUT, AND MILLWORK. NEW RESTROOM FIXTURES TO BE INSTALLED. NEW LIT EXTERNAL SIGNAGE TO BE INSTALLED.

OCCUPANT LOAD

USE GROUP	ROOM(S)	GROSS SQ. FT.	LOAD FACTOR	OCCUPANT LOAD
BUSINESS	LOBBY/TREATMENT ROOMS	1,617.3	150	10.8
STORAGE	STORAGE	105	300	0.4
UNOCCUPIED SPACE	RESTROOM	79.7		0
		1,778.8		12

CODE INFORMATION

BUILDING: 2021 VIRGINIA CONSTRUCTION CODE
ACCESSIBILITY: 2017 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (ICC/ANSI A117.1)
FIRE: 2021 VIRGINIA BUILDING AND FIRE CODE RELATED REGULATIONS
MECHANICAL: 2021 VIRGINIA MECHANICAL CODE
PLUMBING: 2021 VIRGINIA PLUMBING CODE
ELECTRICAL: 2020 NATIONAL ELECTRICAL CODE

TOTAL LEASE AREA: 2,008
OCCUPANCY GROUP: B BUSINESS
EXISTING OCCUPANCY GROUP: B BUSINESS
SPRINKLED: YES
FIRE ALARM: NO
NUMBER OF STORIES: 1

EGRESS REQUIREMENTS:
NUMBER OF EXITS REQUIRED(IBC TABLE 1006.3.2): 1
NUMBER OF EXITS PROVIDED: 2
MAXIMUM TRAVEL DISTANCE ALLOWED: 300' (200' if unsprinkled)
MAXIMUM TRAVEL DISTANCE PROVIDED: 119'-1"

DRAWING INDEX

NO.	DRAWING NAME
CS101	TITLE SHEET
G101	ARCHITECTURAL SPECIFICATIONS
G102	ACCESSIBILITY DETAILS
A101	DEMOLITION FLOOR PLAN
A102	DEMOLITION RCP
A121	FLOOR PLAN
A122	CONSTRUCTION DETAILS & DOOR SCHEDULE

DIVISION 1 - GENERAL REQUIREMENTS

Section 0100 - General Notes

- A. The "General Conditions" and "Supplementary General Conditions" form a part of the Contract and shall govern the work performed under each section of the Specifications.
- B. The following General Requirements Supplement supersedes the foregoing General and Supplementary Conditions for Contract work and are hereby considered a part of the Contract Documents.
- C. All work is to be accomplished in compliance with these plans and specifications. All changes must be approved in writing by Local Infusion or the owner's representative. All costs are the responsibility of the individual(s) making the change.

Section 01010 - Summary of the Work

- A. References and Definitions
 - 1. The Contractor: Is the person or entity identified as such in the Owner-Contractor Agreement, (and is referred to throughout the Contract Documents as if singular and masculine). The term Contractor means the Contractor or his authorized agent.

- 2. A Subcontractor: Is a person or entity who has a direct contract with the Contractor to perform any work at the site. The term Subcontractor is referred to throughout the Contract Documents as if singular in number and masculine in gender and means a subcontractor or his authorized representative. The Subcontractor does not include any separate contractor.
- 3. Installer: Is the person or entity engaged by the Contractor or his Subcontractor of subcontractor in the performance of a particular unit of work at the project site, including installation, erection, application and similar operations, as installer may be a Subcontractor.
- 4. In the Plans, Specifications, addenda, and other Contract Documents, the abbreviation "GCC" or "GC" or "GC" is used. These shall be taken to mean the Contractor.
- 5. The term "Owner's Representative" shall be taken to have the same meaning as Owner (as if singular and masculine). The term Owner means the Owner or his authorized agent.
- 6. Drawings and Specifications are complementary each to the other and what is called for hereon shall be as binding as it called for by both. However, the Drawings and Specifications shall be considered inseparable documents and Contractor shall consider both instruments in order to perform the work in accordance with their combined intent.

- 7. In case of discrepancies in the Contract Documents, Contractor shall first consult with the Owner for clarifications, revision, or further action, as may be required prior to starting work affected by the discrepancy.
- 8. Dimensions shall govern over scale sizes, large scale or full size details over small scale Drawings, and Specifications over Drawings.
- 9. The Contractor, Subcontractor and installers are cautioned not to scale drawings. Should a dimension not be known or shown, consult the Owner's Representative for advise.

B. Project/Work Summary

- 1. General: The work of this Contract involves and includes the construction of a new Local Infusion retail store in a leased space at the location specified in the title block. Local Infusion is referred to herein as, the Owner.
- 2. Contract Documents indicate the work of the Contract, and related provisions of project which may include but are not necessarily limited to the following:
 - a. Existing site conditions and restrictions:
 - (1) Survey and Layout of Work: Contractor shall check carefully all levels and conditions and shall call attention in writing to any discrepancies, before proceeding with the work. Any discrepancies in the information provided on the Drawings or found with the owner's survey shall be reported immediately to the Owner. Contractor will retain and file Landlord's construction requirements of additional costs on the bids.
 - b. Requirements for Owner occupancy at the established date of "Substantial Completion" and prior to final completion of work of Contract.
 - c. Other work to be performed concurrently by Owner.
 - d. Owner-purchased and furnished material/ equipment to be installed under the work of this Contract.
 - 3. This Contract may also include (but are not yet specifically stated herein):
 - a. Pre-negotiated material/equipment orders assigned as work of Contract.
 - b. Pre-purchased subcontracts for Contract, with subcontract amount included in sum.

- 4. Summary by Reference: Work of Contract can be summarized by reference to the Contract, Instructions to Bidders, Supplementary Conditions, Specification sections as listed in the bound herewith, Drawings as listed in "Schedule of Drawings" bound herewith, addenda and modifications to the Contract Document issued subsequent to the initial printing of this Project Manual, and including, but not necessarily limited to, printed reference by any of these. It is recognized that work of Contract is also unavoidably affected or influenced by governing regulations, natural phenomena including weather conditions, and other forces outside the Contract Documents.

- 5. Abbreviated Written Summary: Briefly, and without force and effect upon Contract Documents, work of Contract can be summarized as follows:

- a. The work includes construction of a retail store on the site as shown, doors, hardware, glazing interior finishes and furnishings including architectural, floor finishes, acoustical ceilings, and a portion of the signage.
- b. The work also includes: plumbing, fire protection, heating-ventilating-air conditioning, electrical systems, lighting, and security systems.

- 6. The Owner will furnish certain materials and equipment. However, the work of this Contract includes certain support systems to receive and service Owner's equipment. These items will be summarized in the Instructions to General Contractors, in limited fashion, but are also called out in detail under various sections of the work.

Section 01011 - Examination of Contract Documents

- A. Before submitting proposal, each Bidder should carefully examine all Drawings, Specifications, addenda (if any) and all other Contract Documents.
- B. Submission of proposal implies that Bidder is fully informed regarding all requirements of the Contract Documents, also all site conditions. No additional compensation will be paid to the Contractor due to this failure to be fully informed regarding requirements of the Contract Documents.

- C. Protection and the safety of persons using the site, parking areas and existing facilities shall be paramount, as well as the non-disruption of essential services.

Section 01016 - Owner Occupancy

- A. The Owner reserves the right to take initial occupancy of the building at the earliest possible time, particularly with regard to delivery and installation of store fixtures, and merchandise. Depending on the progress of the general contractor's work, this may or may not create some inconvenience. The general contractor should anticipate this possibility. Claims for time delays and/or extra costs due to such inconvenience will not be allowed.

Section 01017 - Pre-Negotiated Orders

- A. General: Prior to date of Contract, and for purpose of expediting delivery and for other purposes in Owner's interests, Owner may negotiate costs or make other commitments to be indicated with suppliers of materials/equipment that may be incorporated into the work by Contractor. Those orders and commitments will be assigned to Contractor, and costs place in Contract Sum. Contractor's responsibilities are same as if Contractor has negotiated purchase orders, including responsibility to renegotiate purchases if necessary and to execute final purchase order agreements. A "Schedule of Pre-Negotiated Prices" (if any) will be given to the Contractor or successful bidder, as the case may be.

Section 01041 - Supervision, Coordination and Layout

- A. All work included in the Contract shall be under the constant supervision of a qualified superintendent who has been employed directly by the General Contractor for a minimum of the preceding 6 (six) months. All work shall be in compliance with Landlord's rules and requirements and accomplished within the Bass Bid.
- B. The Contractor shall submit the name of all Subcontractors to the Owner's Representative for approval prior to awarding of the subcontract work. The Owner reserves the right to approve or disapprove of any Subcontractors.
- C. In order to maintain proper coordination and continuity of all branches of work, job superintendents or foremen shall not be changed during the course of the project without prior notice and approval of the Owner's Representative.

- D. The Contractor and Subcontractors shall carefully examine ALL Drawings and Specifications for the total project and coordinate his work with others to avoid delay and shall be responsible to ascertain that the work he installs does not interfere, or it shall be corrected at the installing Contractor's expense. Preoccupation of space by any Contractor or Subcontractor does not give him the right of priority to the space.

- E. When piping, conduits, ducts or other items are to run in the same general direction, elevation or location, the Subcontractors involved shall request the GC to arrange a conference to determine the proper allocation of the space or position.

- F. When work is to be installed above ceilings, adequate clearance must be maintained to allow for access, repairs, and removal of all devices. Each Subcontractor shall be responsible for protecting his/her installation from being blocked off by others. Should a conflict occur, he/she shall bring the matter to the attention of the General Contractor for resolution.

- G. Each Contractor shall be responsible for any layout associated with the performance of his work. Should a Subcontractor's work be subsequent to and contingent upon layout by another, he shall check said layout prior to proceeding with his work, reporting any discrepancies to the GC. Proceeding with the layout shall be considered as acceptance of the layout.

Section 01045 - Cutting and Patching

- A. Each Subcontractor shall be responsible for the condition and contents of the tenant space. Each Subcontractor shall be responsible to provide all cutting and patching required to perform and install their respective work. Cutting shall be in a neat, workmanlike manner, and shall be done with coring equipment whenever possible. Patching shall be performed carefully, and where necessary shall be done by skilled labor of the respective trade of work being patched. Each Subcontractor shall restore the work to "as new" condition.

- B. Sieves, inserts, boxes, etc., for plumbing and heating pipes and electrical conduits will be furnished and installed as specified under the various sections of that work. In case such sieves are not furnished in time, the Contractor shall form openings in the work after coordinating with the trades involved for proper location, and the Subcontractor shall be responsible for any cutting and patching thereafter in connection with same. All voids between pipes, conduits, etc., and sieves shall be sealed to comply with Fire Code requirements.

- C. Each Subcontractor shall do all cutting promptly and shall make all repairs necessary to leave the entire work herein mentioned in a proper condition.

- D. Portable Fire Extinguishers: Supplied by GC - during construction and supplied new at Project Completion – including mounting bracket and sign.

- E. One standard listed multipurpose dry chemical fire extinguisher, per local code, should be provided at locations for each 3,000 square feet of new construction floor or fraction thereof. Additional extinguishers shall be provided at locations as shown on the drawings, or as directed by Fire Marshal.

- F. NOTE: The above requirement is the maximum permitted area of coverage per fire extinguisher location. Depending on partition arrangements, amount and location of barricades, obstructions, and combustible materials, additional fire extinguishers may be required. Sound engineering judgment should be used to assure adequate coverage.

- G. All workers should be instructed in the proper use of fire extinguishing equipment.

- H. No Contractor or Subcontractor shall endanger and/or damage any work by cutting, drilling, digging or other actions. No Contractor or Subcontractor shall cut or alter the work of other Contractor or Subcontractors without prior written approval by the Owner's Representative.

- I. Any cost caused by defective and/or ill-timed work shall be borne by the Subcontractor responsible therefore.

- J. In no case shall any Contractor or Subcontractor cut into any base building components, structural element, beam or column without prior written approval from the Landlord and the Owner.

- K. Each Subcontractor shall be responsible to follow the progress of the project to assure that his portion of the work is installed at the appropriate time to avoid unnecessary cutting, patching modifications to his work and/or the work of other Contractors.

- L. In case any Contractor is required to cut existing work in order to install the work required under his portion of the contract, the Contractor requiring the cutting shall bear the expense of the cutting and all subsequent repairs, patching, and/or replacement. All cutting, patching, repairing, and/or replacing shall meet with the approval of the Owner's Representative.

- C. Any connections to or relocation of any existing utility line requiring temporary discontinuation of utilities which are in active use shall be scheduled and coordinated with the utility companies and/or the representatives of the Owner. All overtime required for the reconnection of any utility line shall be compensated by the Contractor.

- B. The location of the underground utilities, such as sewers, electrical power, water piping, conduits, etc., indicated on the Drawings is as exact as can be determined from available information but its accuracy or completeness cannot be guaranteed. Exact location of these utilities shall be verified by the Contractor prior to excavation. Contractor shall exercise special care when excavating at or near the general location of underground utilities for the safety of workers, as well as for the protection of the utility services.

- C. Any connections to or relocation of any existing utility line requiring temporary discontinuation of utilities which are in active use shall be scheduled and coordinated with the utility companies and/or the representatives of the Owner. All overtime required for the reconnection of any utility line shall be compensated by the Contractor.

- D. All work installed by the Contractors or Subcontractors shall be in compliance with governing Federal, State and Local Codes. All electrical work shall comply with the National Electrical Code (unless otherwise adopted by local jurisdiction), except where more stringent local or other codes must govern. If any portion of work called for in the Specifications or shown on the Drawings is deemed contrary to the codes and requirements, Subcontractor shall be required to bring the matter to the attention of the GC prior to roughing in so that same can be reviewed for clarification or revision. Installations made without regard to code requirements must be corrected by the Contractor or Contractors without an increase in the contract amount.

- E. This Contractor shall apply for, pay all fees and obtain the Certificate of Occupancy (C of O).

- F. Any "Standard" (ASTM, ASA, etc.) referenced in these Specifications shall be based on the edition and/or amendments of the Standard as specified herein. In cases where the edition or date of the "Standard" is not specified, the edition and/or amendments of the Standard which are current on the date the bids are submitted shall govern. Should a more current edition of a Standard become effective during construction, the Contractor may, with the approval of the Owner, apply the latest edition of the specified Standard.

Section 01060 - Permits, Regulations, Codes & Standards

- A. The Contractor shall secure and pay for all required permits necessary for the execution of his work, except as otherwise stated herein.

- B. The Contractor will file plans and pay all filing fee for the building permit. The Contractor shall obtain all building permits in all necessary documents as required by local custom. Subcontractors shall file for and pay all fees for their respective permits.

- C. Contractor shall give all notices and comply with all laws, ordinances, rules and regulations bearing on the conduct of the work as drawn or specified.

- D. All work installed by the Contractors or Subcontractors shall be in compliance with governing Federal, State and Local Codes. All electrical work shall comply with the National Electrical Code (unless otherwise adopted by local jurisdiction), except where more stringent local or other codes must govern. If any portion of work called for in the Specifications or shown on the Drawings is deemed contrary to the codes and requirements, Subcontractor shall be required to bring the matter to the attention of the GC prior to roughing in so that same can be reviewed for clarification or revision. Installations made without regard to code requirements must be corrected by the Contractor or Contractors without an increase in the contract amount.

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Section 01100 - Alternates/Alternatives

- A. Specified Manufacturer's Substitutions and Alternatives

- 1. The following provisions shall govern the bidding of all work. The provisions specified below shall not relieve the Contractor from meeting other requirements set forth elsewhere in the Bidder's Contract Documents.

- 2. Where a brand name is not specified:

- a. Product used shall meet the specified standards, such as ASTM, etc., if indicated, and shall be of the appropriate design, configuration, type and finish as required to meet the requirement of the intended service.

- b. Submit bid data for products in this category may be in the form of a typed List of Materials and/or Equipment. The list, if used, shall include the name of the item, the proposed manufacturer, the standard of compliance (ASTM, etc.), and a brief description of the pertinent features, as applicable. The Owner reserves the right to request and receive additional submittal data on any item prior to approval.

- 3. When two (2) or more brand names are specified without further qualifying stipulations:

- a. In all cases, the first named brand or manufacturer's equipment should be used for the basic design and to determine the space requirements.
- b. First named brand should be bid unless it will not fit or is not available.

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- B. Submission of proposal implies that Bidder is fully informed regarding all requirements of the Contract Documents, also all site conditions. No additional compensation will be paid to the Contractor due to this failure to be fully informed regarding requirements of the Contract Documents.

- C. Protection and the safety of persons using the site, parking areas and existing facilities shall be paramount, as well as the non-disruption of essential services.

Section 01016 - Owner Occupancy

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Section 01017 - Pre-Negotiated Orders

- A. General: Prior to date of Contract, and for purpose of expediting delivery and for other purposes in Owner's interests, Owner may negotiate costs or make other commitments to be indicated with suppliers of materials/equipment that may be incorporated into the work by Contractor. Those orders and commitments will be assigned to Contractor, and costs place in Contract Sum. Contractor's responsibilities are same as if Contractor has negotiated purchase orders, including responsibility to renegotiate purchases if necessary and to execute final purchase order agreements. A "Schedule of Pre-Negotiated Prices" (if any) will be given to the Contractor or successful bidder, as the case may be.

Section 01041 - Supervision, Coordination and Layout

- A. All work included in the Contract shall be under the constant supervision of a qualified superintendent who has been employed directly by the General Contractor for a minimum of the preceding 6 (six) months. All work shall be in compliance with Landlord's rules and requirements and accomplished within the Bass Bid.

- B. The Contractor shall submit the name of all Subcontractors to the Owner's Representative for approval prior to awarding of the subcontract work. The Owner reserves the right to approve or disapprove of any Subcontractors.

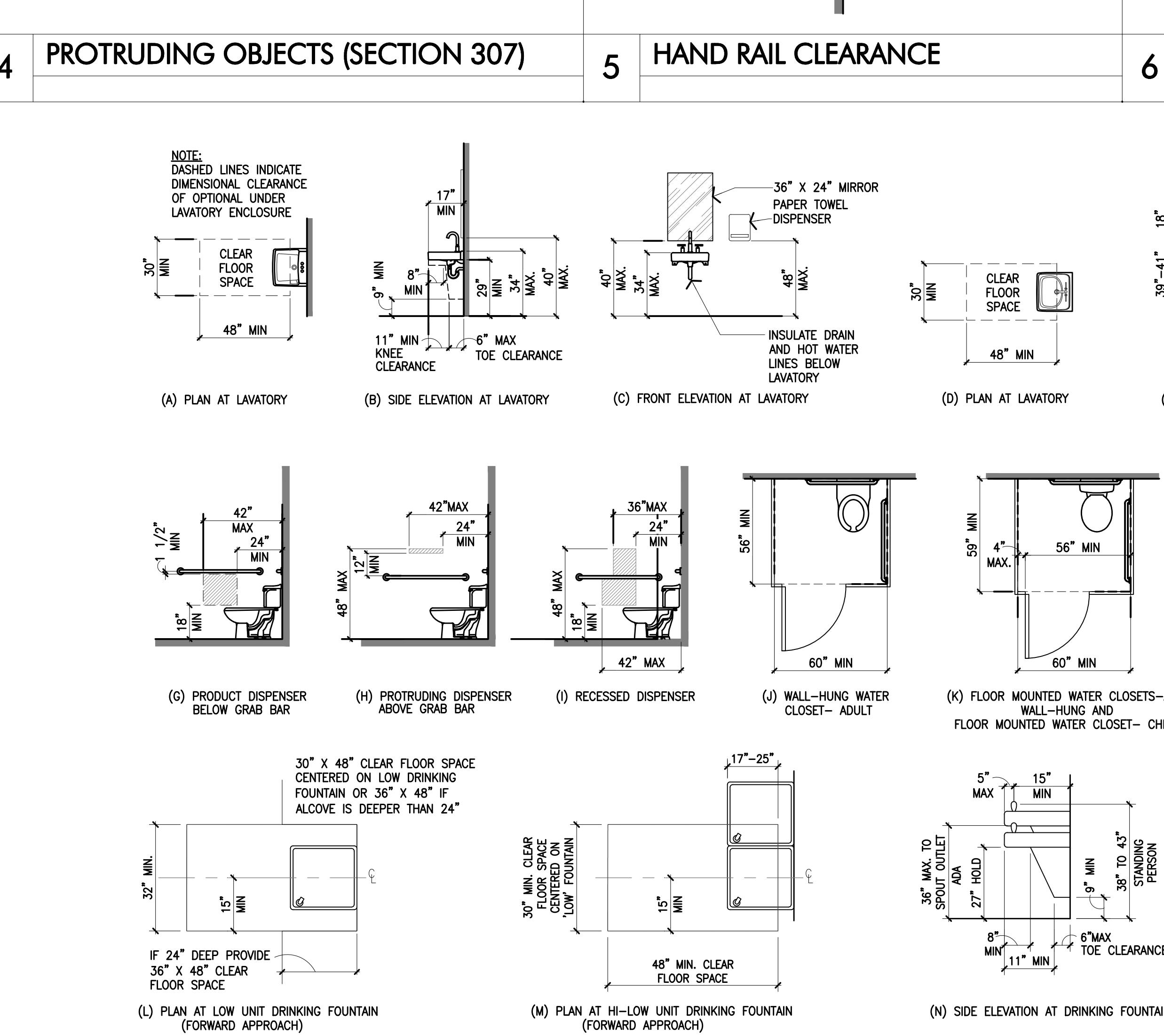
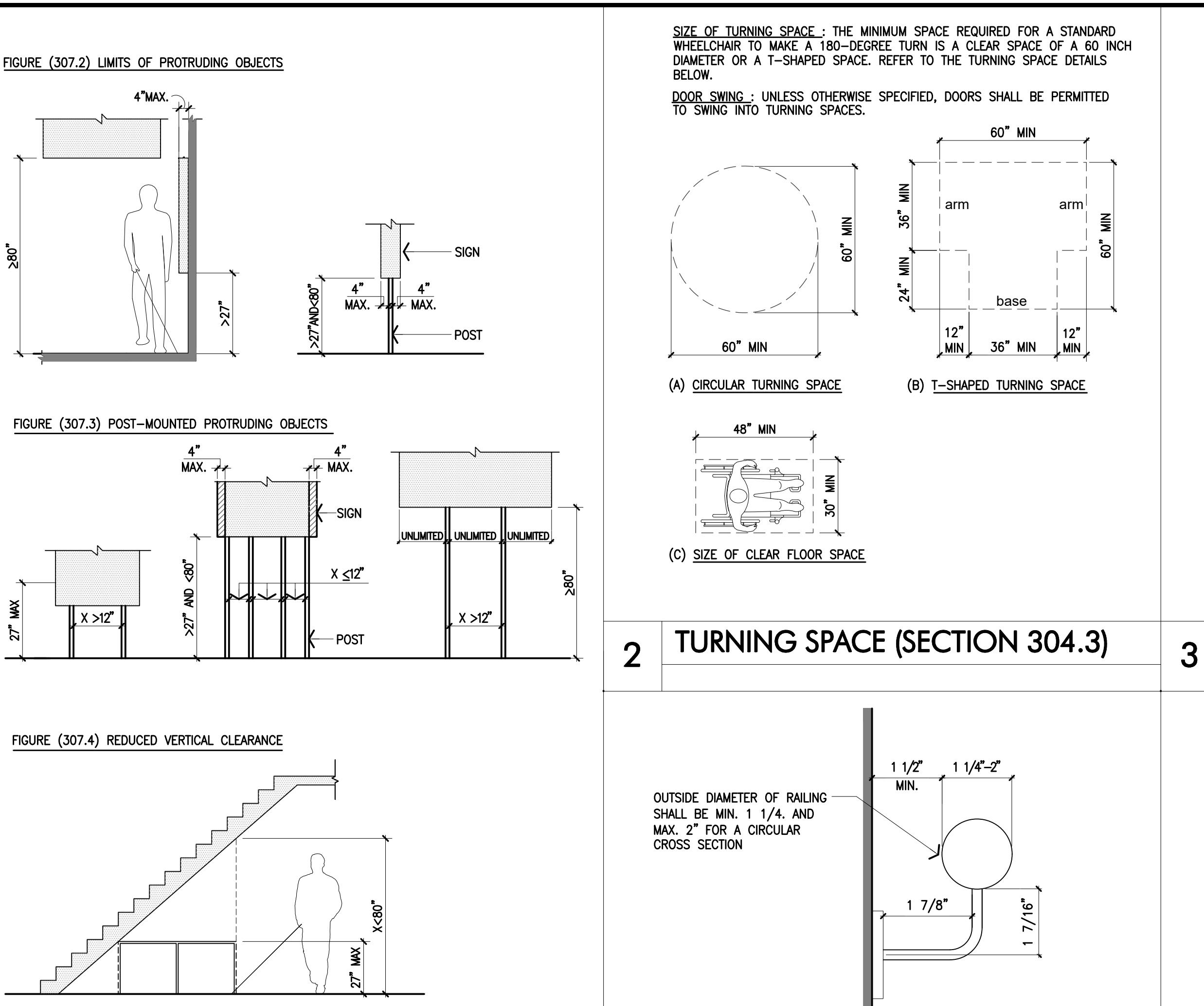
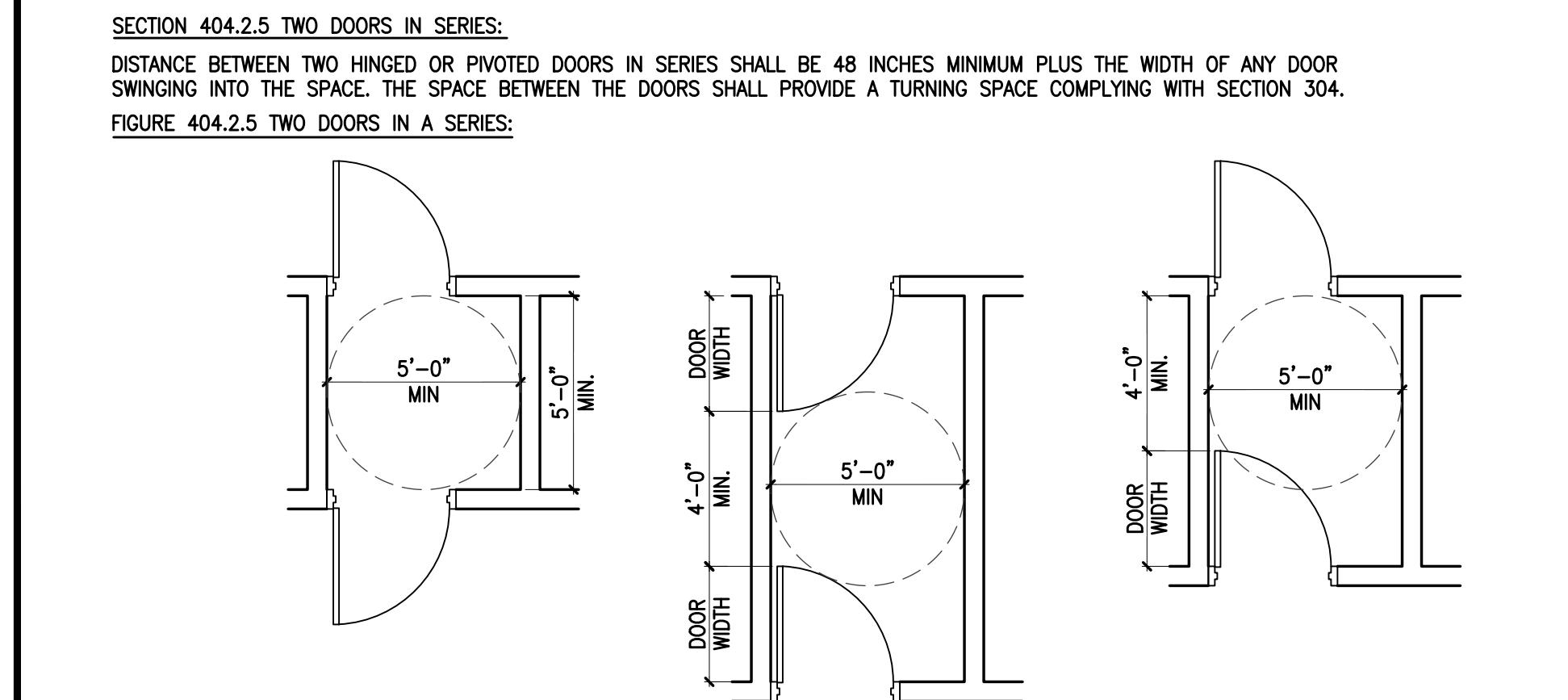
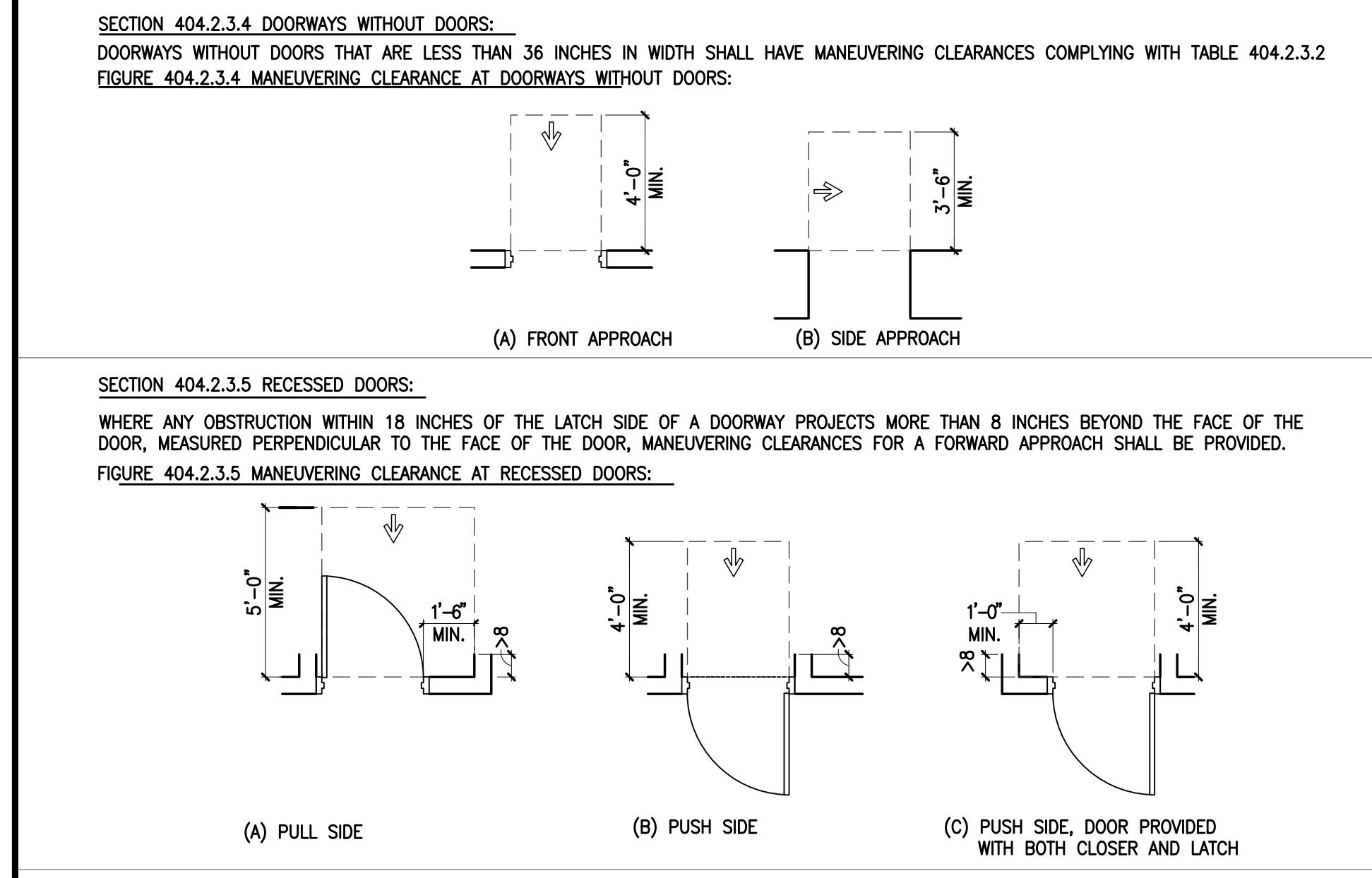
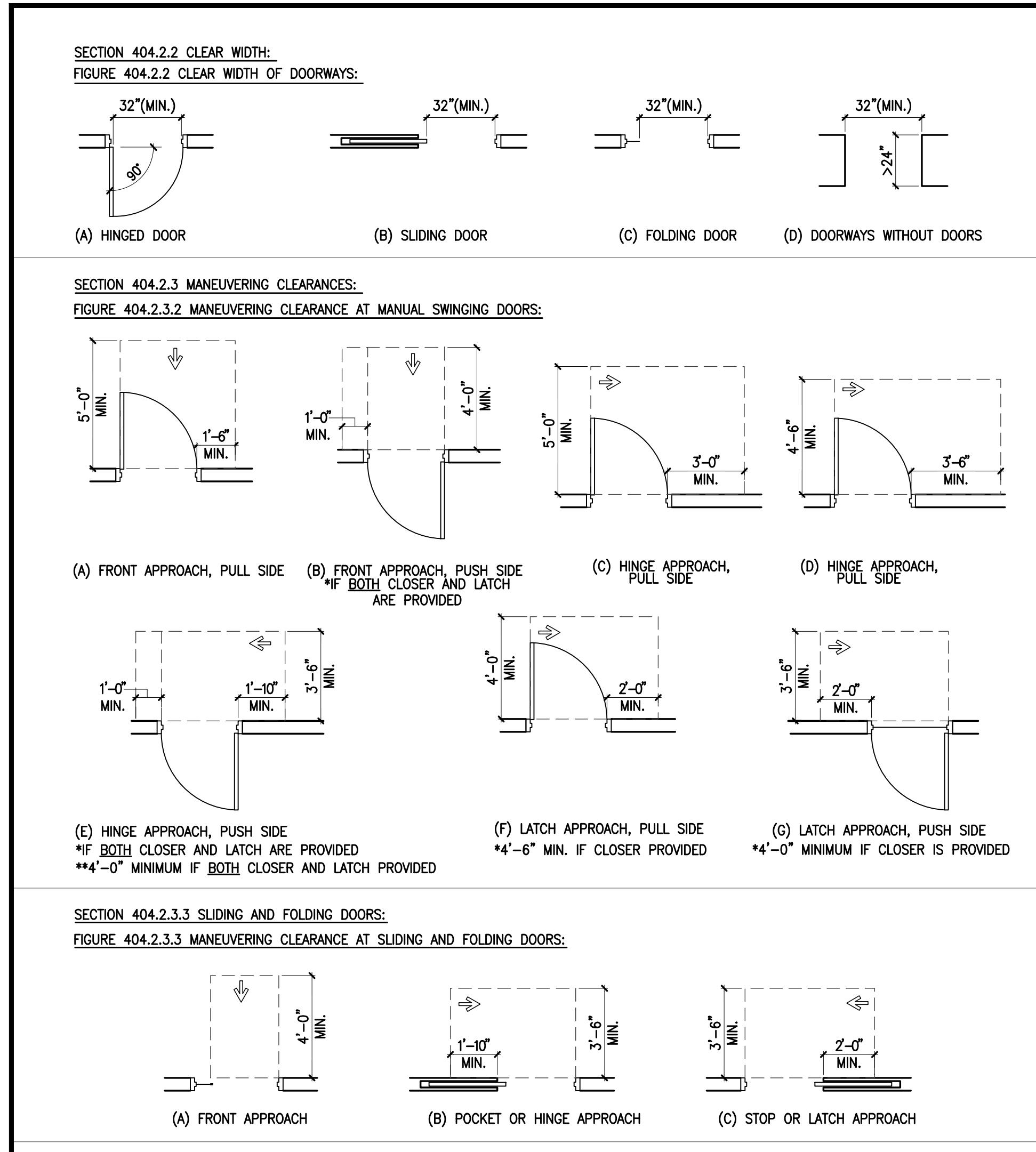
- C. In order to maintain proper coordination and continuity of all branches of work, job superintendents or foremen shall not be changed during the course of the project without prior notice and approval of the Owner's Representative.

- D. The Contractor and Subcontractors shall carefully examine ALL Drawings and Specifications for the total project and coordinate his work with others to avoid delay and shall be responsible to ascertain that the work he installs does not interfere, or it shall be corrected at the installing Contractor's expense.

- E. In all cases, the product used shall meet the requirements of the intended service, including specified optional accessories, performance, and basic features. The name of the manufacturer shall be clearly identified on all products.

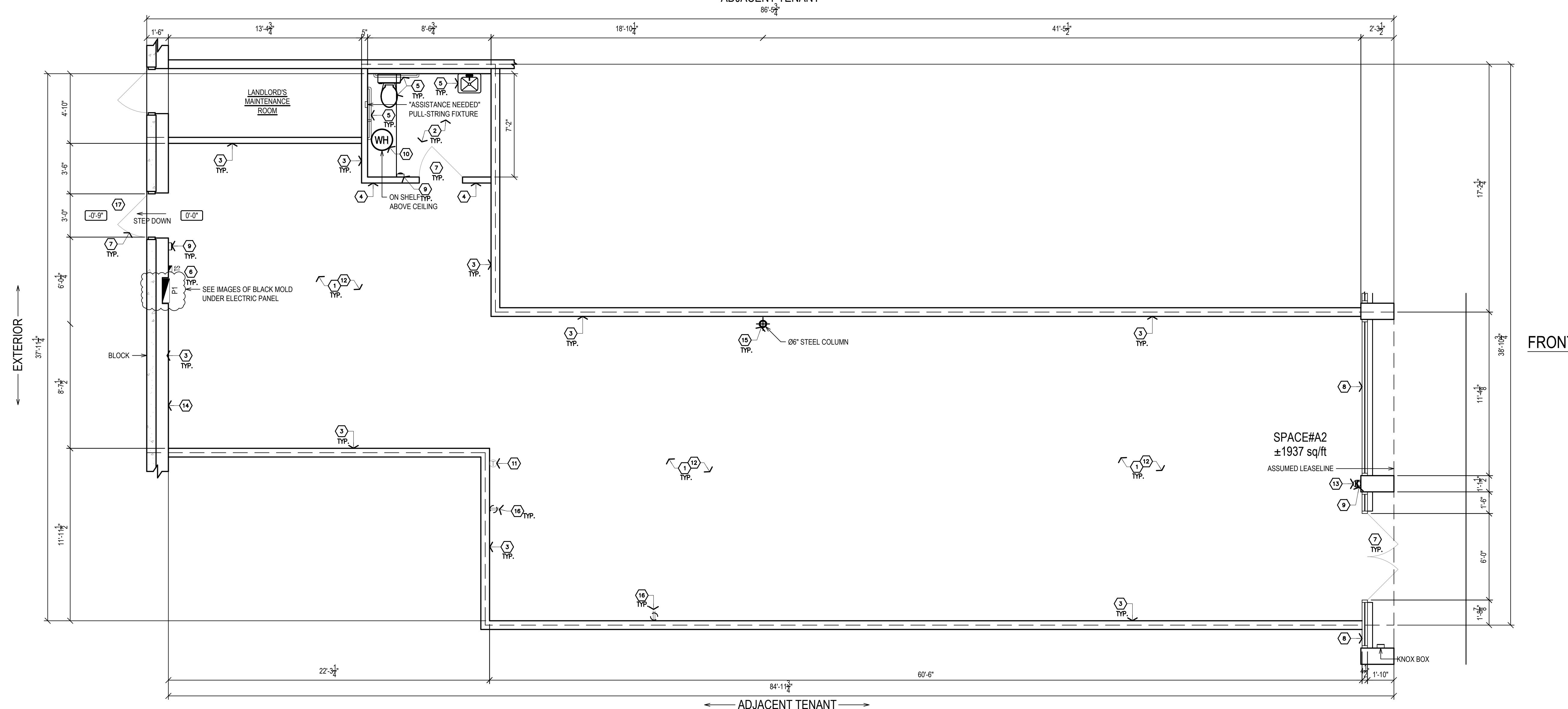
- F. Upon completion of the "punch list" the contractor shall submit the "as-built" to the Owner's Representative. The retainer will not be paid until the "as-built" are submitted and

Issue Date	06/11/24
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Seal



1 DEMOLITION PLAN

1/4" = 1'-0"

1. SCOPE OF WORK
THIS PORTION OF THE WORK INCLUDES ALL LABOR, MATERIALS, AND SERVICES NECESSARY FOR AND REASONABLY INCIDENTAL TO COMPLETE ALL DISMANTLING, DEMOLITION, AND SALVAGE AS SHOWN AND NOTED ON THE DRAWINGS AND SPECIFIED HEREIN. IN GENERAL, THE ITEMS TO BE PERFORMED UNDER THIS SECTION SHALL INCLUDE, BUT ARE NOT LIMITED TO: REMOVAL OF ALL EXISTING ACOUSTICS AND GYPSUM WALL BOARD, CEILING AND FRAMES, LIGHT FIXTURES, FLOORING, DOORS AND WALLS, FURRED OUT COLUMN ENCLOSURES, AND STOREFRONT AND AS SPECIFIED ON THE DRAWINGS.

2. CODES AND STANDARDS
DEMOLITION WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE APPLICABLE SAFETY REQUIREMENTS OF THE LANDLORD, CITY AND STATE OF THE PROJECT, THE ASSOCIATED GENERAL CONTRACTOR'S MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION, LATEST EDITION, THE APPLICABLE REQUIREMENTS OF THE GOVERNING CODE, AND O.S.H.A.

3. PERMITS AND LICENSES
THE GENERAL CONTRACTOR SHALL PRODUCE ALL CITY, AND STATE PERMITS AND LICENSES, AND PAY ALL CHARGES AND FEES FOR THE SAME, UNLESS OTHERWISE SPECIFIED BY OWNER. THE PLANS SHALL BE FILED WITH LOCAL BUILDING DEPARTMENT, BY THE OWNER.

4. ORDINANCES AND PROTECTION
A CONTRACTOR SHALL CONFORM TO ALL FEDERAL, STATE, AND LOCAL ORDINANCES AND WITH LANDLORD REQUIREMENTS REFERRING TO THE PROTECTION OF THE PUBLIC AND CONTRACTOR'S PERSONNEL AND PROVIDE PROTECTION FOR PERSONS AND ADJACENT TENANTS THROUGHOUT THE PROGRESS OF THE WORK.

B. THE LIMITS OF THE WORK ARE INDICATED ON THE DRAWINGS. UNLESS OTHERWISE NOTED, CONTRACTOR SHALL CONFINE THEIR OPERATIONS WITHIN THE LIMITS OF THE WORK AS INDICATED.

C. DEMOLITION WORK SHALL PROCEED IN SUCH A MANNER AS TO MINIMIZE THE SPREAD OF DUST AND FLYING PARTICLES AND TO PROVIDE SAFE WORKING CONDITIONS.

D. FIRES, EXPLOSIVES, AND OPEN FLAMES WILL NOT BE PERMITTED, UNLESS PERMITTED BY THE CITY.

E. ANY AND ALL EXISTING CONDITIONS, ADJACENT TENANT PROPERTIES, HVAC AND UTILITY LINES, AND OTHER ITEMS NOT SPECIFIED ON THE DRAWINGS, ETC., DAMAGED BY THE CONTRACTOR IN THE EXECUTION OF THIS CONTRACT SHALL BE RESTORED TO FORMER CONDITION BY CONTRACTOR TO THE SATISFACTION OF THE LANDLORD AT NO CHANGE IN THE CONTRACT PRICE.

F. ALL ITEMS INDICATED AS EXISTING TO REMAIN SHALL BE PROPERLY PROTECTED FROM ANY DAMAGES. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PRESERVE THE EXISTING TO REMAIN ITEMS.

G. DEMOLITION WORK SHALL NOT COMMENCE UNTIL TEMPORARY WORK SUCH AS FENCES AND BARRICADES AND ANY REQUIRED WARNING LIGHTS AND APPARATUS ARE FURNISHED AND INSTALLED.

5. SITE INVESTIGATION
CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE FULL EXTENT OF THE DEMOLITION WORK AND ANY OTHER MATTERS THAT IN ANY WAY AFFECT THE WORK. FAILURE OF CONTRACTOR TO ACQUAINT THEMSELVES WITH AVAILABLE INFORMATION CONCERNING THE PROPERTY, OR NOT RELIEVE THEM FROM RESPONSIBILITY FOR ESTIMATING THE DIFFICULTY OR THE COST OF THE WORK, CONTRACTOR SHALL NOTIFY LANDLORD AT THE COMPLETION OF DEMOLITION TO ALLOW LANDLORD'S STRUCTURAL ENGINEER TO INSPECT STRUCTURAL FLOOR SLAB AND STOREFRONT FRAMING AS MAY BE REQUIRED.

6. DISCONNECTION OF SERVICES
A. EXISTING SERVICES THAT WILL BE DISRUPTED BY CONSTRUCTION WORK SHALL BE RE-Routed AS NECESSARY TO PROVIDE TEMPORARY CONTINUATION OF SERVICE.
B. DISCONNECTED SERVICES SHALL BE PLUGGED AND SEALED IN AN APPROVED MANNER.

C. SPRINKLER SHUT-DOWN SHALL BE COORDINATED WITH THE FIRE MARSHAL, LANDLORD, AND BUILDING PRIOR TO EXECUTION OF WORK.

7. ABANDONED ELECTRICAL WIRING
CONDUITS ENCOUNTERED IN THE PROCESS OF THE DEMOLITION THAT ARE TO BE ABANDONED SHALL BE DISCONNECTED AND THE ENDS PLUGGED IN AN APPROVED MANNER. ANY ABANDONED CONDUITS INTERFERING WITH WORK UNDER THIS CONTRACT SHALL BE REMOVED ONLY TO THE EXTENT THAT THEY INTERFERE WITH NEW CONSTRUCTION.

8. DEMOLITION
DEMOLITION PROCEDURES SHALL BE OPTIONAL WITH CONTRACTOR. IN-SOFAR THAT PROCEDURES DO NOT INFECTIVE ON THE APPROVED WORK SCHEDULE OR SALVAGE REQUIREMENTS, WHERE SALVAGING IS REQUIRED, PROCEDURES SHALL BE SUCH THAT THE MAXIMUM AMOUNT OF SALVAGE WILL RESULT. MATERIALS AND EQUIPMENT TO BE SALVAGED, IF ANY, ARE LISTED BELOW.

9. DISPOSITION OF MATERIALS, EQUIPMENT, AND DEBRIS
MATERIALS AND EQUIPMENT TO BE SALVAGED ARE LISTED ON THE DEMOLITION PLANS. CONTRACTOR SHALL COORDINATE WITH LANDLORD TO DETERMINE THE ITEMS TO BE SALVAGED. ALL ITEMS NOTED FOR SALVAGE SHALL BE REMOVED AS CAREFULLY AS POSSIBLE SO THAT A MINIMUM AMOUNT OF RECONDITIONING WILL BE REQUIRED FOR REUSING. ITEMS RECONDITIONING AND INSTALLING OF SUCH ITEMS ARE SPECIFIED IN THE DRAWINGS AND APPLICABLE SECTIONS OF THESE SPECIFICATIONS. ANY SUCH ITEMS SHALL BE PACKAGED AND PROPERLY STORED AND PROTECTED UNTIL TIME FOR THEIR USE.

10. MATERIALS AND EQUIPMENT NOT TO BE SALVAGED:
ALL MATERIALS AND EQUIPMENT NOT SCHEDULED TO BE SALVAGED, INCLUDING DEBRIS, SHALL BECOME THE PROPERTY OF CONTRACTOR AND SHALL BE DISPOSED OF OUTSIDE THE LIMITS OF THE PROPERTY IN A LEGAL MANNER. LOCATION OF DUMP AND LENGTH OF HAUL SHALL BE CONTRACTOR'S RESPONSIBILITY.

11. SALES OF SALVAGED MATERIALS
SALES OF SALVAGED MATERIALS SHALL NOT BE CONDUCTED AT THE PREMISES.

12. CLEAN UP
UPON COMPLETION OF ALL DEMOLITION WORK, CONTRACTOR SHALL PROMPTLY REMOVE OF ALL DEBRIS RESULTING FROM DEMOLITION OPERATIONS. THE CONTRACTOR SHALL LEAVE THE PROPERTY, THE ADJACENT TENANT SPACES AND THE BUILDING IN A CLEAN CONDITION, SATISFACTORY TO LOCAL AUTHORITIES AND THE LANDLORD. THE CONTRACTOR SHALL REPAIR ANY ADJACENT TENANT WALL, LOBBY FLOORING, ETC. TO THE SATISFACTION OF INVOLVED PARTIES DAMAGED BY THE DEMOLITION PROCESS.

13. PRIORITY OF DEMOLITION
PRIORITY OF DEMOLITION IS TO BE DETERMINED BY THE CONTRACTOR. CONTRACTOR SHALL DETERMINE WHICH SPACES ARE TO BE DEMOLISHED FIRST. CONTRACTOR SHALL NOT DAMAGE ANY ADJACENT TENANT SPACES AND THE BUILDING IN A CLEAN CONDITION, SATISFACTORY TO LOCAL AUTHORITIES AND THE LANDLORD. THE CONTRACTOR SHALL REPAIR ANY ADJACENT TENANT WALL, LOBBY FLOORING, ETC. TO THE SATISFACTION OF INVOLVED PARTIES DAMAGED BY THE DEMOLITION PROCESS.

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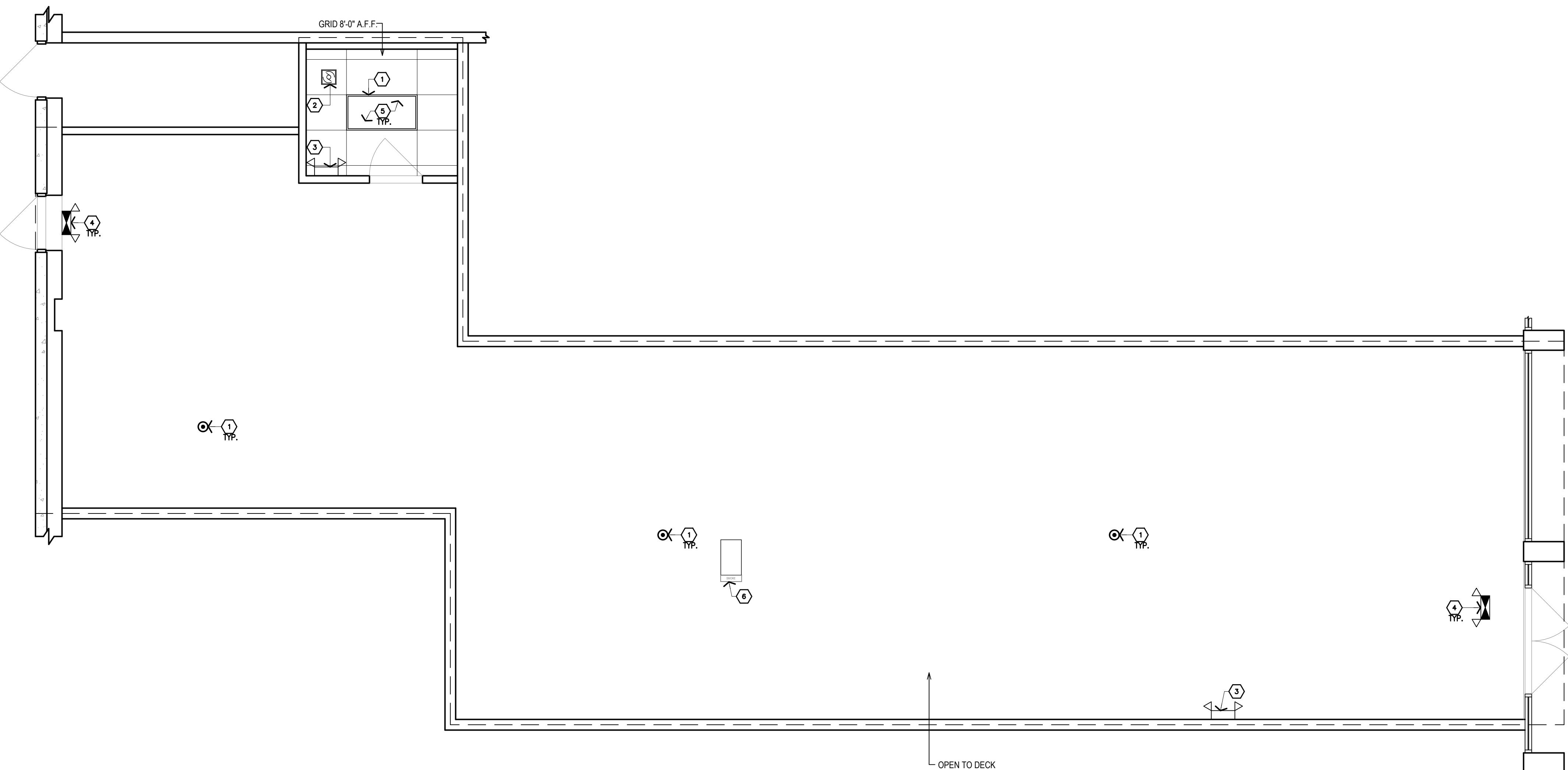
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1 DEMOLITION RCP

1/4" = 1'-0"

1. SCOPE OF WORK
THE PORTION OF THE WORK INCLUDES ALL LABOR, MATERIALS AND SERVICES NECESSARY FOR AND REASONABLY INCIDENT TO COMPLETE ALL DISMANTLING, DEMOLITION, AND SALVAGE AS SHOWN AND NOTED ON THE DRAWINGS AND SPECIFIED HEREIN. IN GENERAL, THE ITEMS TO BE PERFORMED UNDER THIS SECTION SHALL INCLUDE, BUT ARE NOT LIMITED TO: REMOVAL OF ALL EXISTING ACOUSTICS AND GYPSUM WALL BOARD, CEILING AND FRAMES, LIGHT FIXTURES, FLOORING, DOORS AND WALLS, FURRED OUT ROOM ENCLOSURES, AND STOREFRONT AND AS SPECIFIED ON THE DRAWINGS.

F. ALL ITEMS INDICATED AS EXISTING TO REMAIN SHALL BE PROPERLY PROTECTED FROM ANY DAMAGES. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PRESERVE THE EXISTING TO REMAIN ITEMS.

G. DEMOLITION WORK SHALL NOT COMMENCE UNTIL TEMPORARY WORK SUCH AS FENCES AND BARRICADES AND ANY REQUIRED WARNING LIGHTS AND APPARATUS ARE FURNISHED AND INSTALLED.

H. REVIEW THE DRAWINGS TO DETERMINE THE ITEMS TO BE SALVAGED. ALL ITEMS NOTED FOR SALVAGE SHALL BE REMOVED AS CAREFULLY AS POSSIBLE SO THAT A MINIMUM AMOUNT OF RECONDITIONING WILL BE REQUIRED FOR REUSING OF SUCH ITEMS. RECONDITIONING AND INSTALLING OF SUCH ITEMS ARE SPECIFIED IN THE DRAWINGS AND APPLICABLE SECTIONS OF THESE SPECIFICATIONS. ANY SUCH ITEMS SHALL BE PACKAGED AND PROPERLY STORED AND PROTECTED UNTIL TIME FOR THEIR USE.

I. MATERIALS AND EQUIPMENT NOT TO BE SALVAGED:
ALL MATERIALS AND EQUIPMENT NOT SCHEDULED TO BE SALVAGED INCLUDING DEBRIS, SHALL BECOME THE PROPERTY OF CONTRACTOR AND SHALL BE DISPOSED OF OUTSIDE THE LIMITS OF THE PROPERTY IN A LEGAL MANNER. LOCATION OF DUMP AND LENGTH OF HAUL SHALL BE CONTRACTOR'S RESPONSIBILITY.

J. SALES OF SALVAGED MATERIALS SHALL NOT BE CONDUCTED AT THE PREMISES.

K. NO ALTERATION TO THE EXISTING STRUCTURAL MEMBERS ARE ALLOWED.

L. COORDINATE WITH THE LANDLORD OR REPRESENTATIVE FOR AN AND ALL DEMOLITION AT ALL TIMES.

M. FIRE SEPARATIONS BETWEEN TENANT SPACES ARE TO BE RETAINED DURING DEMOLITION AT ALL TIMES.

N. THE GENERAL CONTRACTOR WILL RESTORE ANY DAMAGE DURING DEMOLITION TO THE ORIGINAL STATE BEFORE DEMOLITION STARTED.

O. THE CONSTRUCTION SITE IS TO BE SEALED TIGHTLY AND ANY CONSTRUCTION BARRICADES SHALL BE REVIEWED WITH THE LANDLORD, IF REQUIRED.

P. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE LANDLORD IF ANY RELOCATION OF EXISTING SERVICE UNITS, PLUMBING, ELECTRICAL, DOMESTIC WATER, SEWER LINE, GAS LINE, ETC. IS REQUIRED TO ACCOMMODATE THE NEW WORK.

Q. THE ADJACENT TENANT PROPERTY IS TO BE MAINTAINED DURING DEMOLITION AND IF ANYTHING IS DAMAGED DURING THE WORK, IT IS TO BE REPAIRED OR REPLACED AT THE GENERAL CONTRACTOR'S COST. THIS INCLUDES PROPERTY WITHIN THE LEASE OUTLINE DIMENSIONS WHICH PASSED THROUGH THE SPACE.

R. ANY ABANDONED SERVICES OR UTILITIES SHALL BE REMOVED TO THE SOURCE AFTER REVIEW WITH THE LANDLORD AND/OR LOCAL AUTHORITIES.

S. G.C. TO REMOVE AND CAP PLUMBING LINES LOCATED IN WALL AS REQUIRED.

T. CONSTRUCTION SITE IS TO BE SEALED TIGHTLY, CONSTRUCTION BARRICADES SHALL BE AS PER THE LANDLORD'S REQUIREMENTS, UNLESS PROVIDED BY LANDLORD, IF REQUIRED.

U. REFER TO SCOPE OF NEW WORK IN ELECTRICAL DRAWINGS FOR ELECTRICAL FIXTURES LINES, ETC. ANY ABANDONED AND/OR NOT USED EQUIPMENT, FIXTURES, WIRES, ETC., ENCOUNTERED DURING DEMOLITION SHALL BE REMOVED FROM THE JOB SITE.

2. CODES AND STANDARDS
DEMOLITION WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE APPLICABLE SAFETY REQUIREMENTS OF THE LANDLORD, CITY AND STATE OF THE PROJECT, THE ASSOCIATED GENERAL CONTRACTOR'S MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION, LATEST EDITION, THE APPLICABLE REQUIREMENTS OF THE GOVERNING CODE, AND O.S.H.A.

3. PERMITS AND LICENSES
THE GENERAL CONTRACTOR SHALL PURCHASE ALL CITY, AND STATE PERMITS AND LICENSES, AND PAY ALL CHARGES AND FEES FOR THE SAME, UNLESS OTHERWISE SPECIFIED BY OWNER. THE PLANS SHALL BE FILED WITH LOCAL BUILDING DEPARTMENT, BY THE OWNER.

4. ORDINANCES AND PROTECTION
A CONTRACTOR SHALL CONFORM TO ALL FEDERAL, STATE, AND LOCAL ORDINANCES AND WITH LANDLORD REQUIREMENTS REFERRING TO THE PROTECTION OF THE PUBLIC AND CONTRACTOR'S PERSONNEL AND PROVIDE PROTECTION FOR PERSONS AND ADJACENT TENANTS THROUGHOUT THE PROGRESS OF THE WORK.

B. DISCONNECTED SERVICES
A. EXISTING SERVICES THAT WILL BE DISRUPTED BY CONSTRUCTION WORK SHALL BE RE-Routed AS NECESSARY TO PROVIDE TEMPORARY SERVICE OF SERVICE.

B. DISCONNECTED SERVICES SHALL BE PLUGGED AND SEALED IN AN APPROVED MANNER.

C. SPRINKLER SHUT-DOWN SHALL BE COORDINATED WITH THE FIRE MARSHAL, LANDLORD, AND BUILDING PRIOR TO EXECUTION OF WORK.

7. ABANDONED ELECTRICAL WIRING
CONDUITS ENCOUNTERED IN THE PROGRESS OF THE DEMOLITION THAT ARE TO BE ABANDONED SHALL BE DISCONNECTED AND THE ENDS PLUGGED IN AN APPROVED MANNER. ANY ABANDONED CONDUITS INTERFERING WITH WORK UNDER THIS CONTRACT SHALL BE REMOVED ONLY TO THE EXTENT THAT THEY INTERFERE WITH NEW CONSTRUCTION.

8. DEMOLITION
OPERATIONAL PROCEDURES SHALL BE OPTIONAL WITH CONTRACTOR INSOFA THAT PROCEDURES DO NOT INFRINGE ON THE APPROVED WORK SCHEDULE OR SALVAGE REQUIREMENTS. WHERE SALVAGING IS REQUIRED, PROCEDURES SHALL BE SUCH THAT THE MAXIMUM AMOUNT OF SALVAGE WILL RESULT. MATERIALS AND EQUIPMENT TO BE SALVAGED, IF ANY, ARE LISTED BELOW.

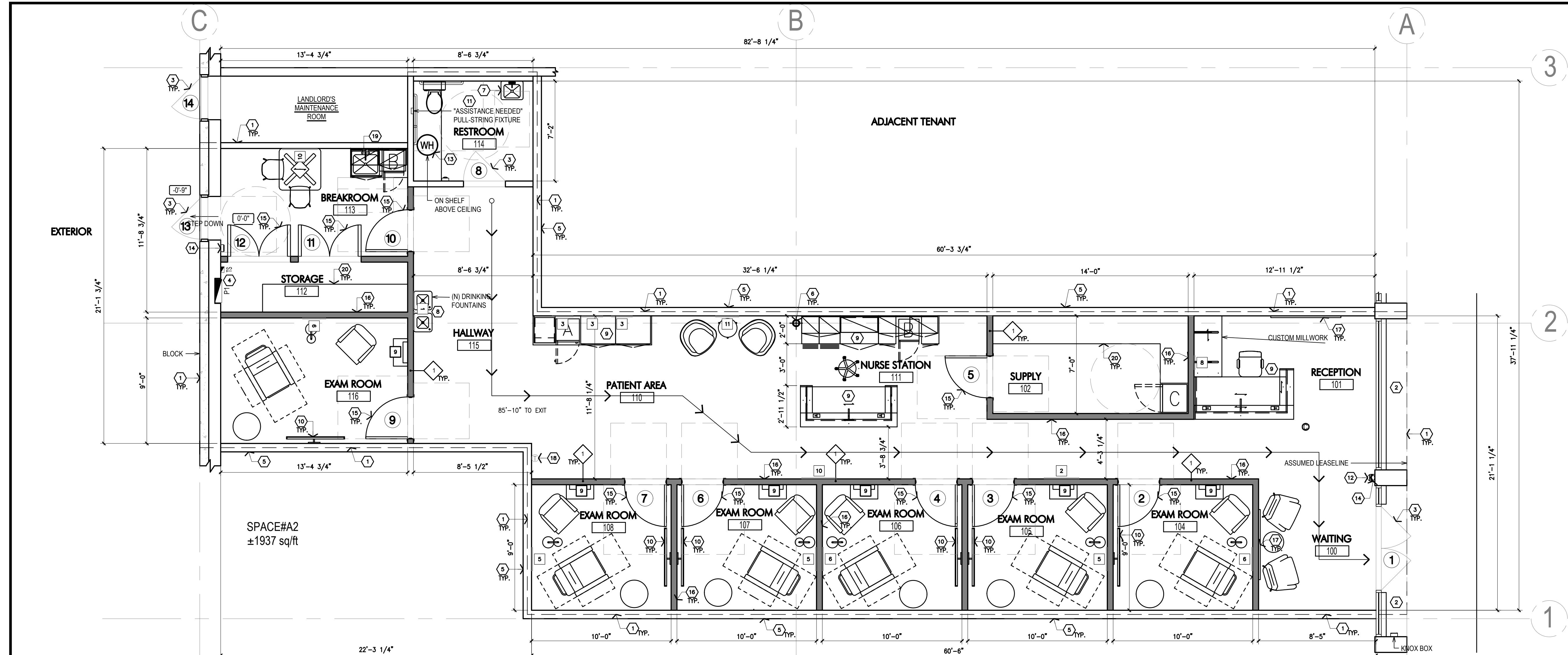
9. DISPOSITION OF MATERIALS, EQUIPMENT, AND DEBRIS
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MATERIAL AND EQUIPMENT TO BE SALVAGED ARE LISTED ON THE DEMOLITION PLANS. CONTRACTOR SHALL CONSULT WITH TENANT

DEMOLITION SPECIFICATIONS

DEMOLITION GENERAL NOTES

DEMOLITION RCP KEY NOTES



- SEE FIXTURE PLAN FOR FIXTURE INFORMATION.
- SEE REFLECTED CEILING PLAN FOR LIGHTING INFORMATION.
- NOTIFY ARCHITECT IMMEDIATELY OF ANY INCONSISTENCIES OR DISCREPANCIES WITH PLANS RELATING TO EXISTING FIELD CONDITIONS.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE ON THE CONSTRUCTION DOCUMENTS. DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE FROM THE FACE OF FINISHED WALL (GWF) TO FACE OF FINISHED WALL (GWF) UNLESS OTHERWISE NOTED ON PLANS.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED AND CONDITIONED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS OR INSTRUCTIONS.
- ALL WORK SHALL BE EXECUTED IN A MANNER ACCEPTABLE TO THE OWNER.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE FINAL CLEAN UP OF THE ENTIRE PREMISES TO INCLUDE BY NOT LIMITED TO FLOORS, MILLWORK, FIXTURES, ETC. FOLLOWING THE INSTALLATION OF THE MILLWORK.
- G.C. SHALL SUPPLY & INSTALL PROPER AND ADEQUATE WOOD BLOCKING TO SUPPORT ALL OWNER SUPPLIED G.C. ARTICLES INSTALLED IN THE PREMISES. SQUARE INSIDE OUT. 1" X 4" X 12" COLUMNS. ETC. G.C. SHALL COORDINATE WITH OWNERS FIXTURE SUPPLIER FOR REQUIRED LOCATIONS AND ADEQUACY OF BLOCKING REQUIREMENT AND PROVIDE ALL SUCH BLOCKING PRIOR TO CLOSING UP ANY AND ALL WALLS, COLUMNS, ETC. IF REQUIRED BY CODE AND LOCAL BUILDING OFFICIAL, SUCH BLOCKING SHALL BE FIRE RETARDANT TREATED TO MEET SUCH REQUIREMENT.
- ALL DOOR LANDINGS & CLEARANCE SHALL BE LEVELED TO HAVE A SLOPE NO GREATER THAN 1:48
- LANDINGS ON EITHER SIDE OF A DOOR SHALL BE AT THE SAME LEVEL WITH A MAX ELEVATION CHANGE OF 1/2". REFER TO SHEET A-151 FOR DETAILS.
- ALL BLOCKING FOR ALL WALL MOUNTED CABINETS, FIXTURES, ETC. SHALL BE FRI PLYWOOD. G.C. TO COORDINATE ALL BLOCKING LOCATIONS WITH CLIENT AS REQUIRED.
- AT FRAMED GYP BD WALLS ALL POWER MUST BE CONCEALED IN THE WALL IF NOT POSSIBLE TO HIDE IN EXISTING WALL, THERE MUST BE ADDED A HAT CHANNEL AND A LAYER OF 5/8" GYP. BD.
- G.C. MUST FINISH NEW AND EXISTING GYP. BD. PARTITION AS FOLLOWS: INTERIOR WALLS IN SHOWROOM AND IN VESTIBULE MUST BE LEVEL 5 FINISH; INTERIOR WALLS IN BACK OF HOUSE, TOILET ROOM AND CEILINGS TO RECENT LEVEL 4 FINISH.
- UPON POSSESSION OF PREMISES, ENTIRE SPACE DIMENSIONS SHALL BE VERIFIED AND NOTED OF ANY DISCREPANCIES BY G.C.'S FIELD SUPERVISOR USING SITE VERIFICATION PLAW SHEET. G.C. SHALL RESUBMIT THAT SHEET WITHIN (3) THREE DAYS FROM START OF CONSTRUCTION TO 155 AND ARCHITECT.
- ALL DIMENSIONS ARE FROM FACE OF GYP BD OR CEMENTITIOUS WALL BOARDS OR BRICK WALLS.
- G.C. SHALL VISIT SITE PRIOR TO BID. NO CHANGE ORDERS WILL BE ACCEPTED FOR EXISTING CONDITIONS.

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
[A]	TASK CHAIR	[B]	WALL MOUNTED TV WITH AMAZON BASICS ARTICULATING WALL MOUNT
[C]	ARMCHAIR	[D]	24" UNDER COUNTER BEVERAGE REFRIGERATOR
[E]	SIDE CHAIR	[F]	LOUNGE CHAIR
[G]	ARMCHAIR	[H]	20" MINI FRIDGE
[I]	RECLINER	[J]	MEDICAL REFRIGERATOR
[K]	SIDE TABLE	[L]	20"
[M]	SIDE TABLE	[N]	WATER CLOSET, LAVATORY, AND RESTROOM ACCESSORIES. REF: A201/PLUMBING DRAWINGS.
[O]	BR	[P]	KEYPAD. G.C. TO VERIFY CONDITION AND REPLACE IF DAMAGED.
[Q]	BREAK RM TABLE	[R]	(N) WATER HEATER (ABOVE CEILING). REF: PLUMBING DRAWINGS.
[S]	SHOE RACK WITH MIRROR & HOOKS ABOVE	[T]	(E) FIRE EXTINGUISHER. COORDINATE FINAL PLACEMENT WITH FIRE MARSHALL, IF RELOCATION IS REQUIRED PATCH/REPAIR WALL.
[U]	LAMP	[V]	15. G.C. TO INSTALL (N) DOORS AND FRAME.

- ASSUMED LEASE LINE, V.I.F.
 - (E) STOREFRONT GLAZING SYSTEM TO REMAIN.
 - (E) STOREFRONT ENTRY/EXIT DOOR TO REMAIN.
 - (E) POWER DISTRIBUTION EQUIPMENT TO BE REMOVED. REMOVE ANY UNUSED EQUIPMENT, SWITCHES, ETC. INSTALL NEW EQUIPMENT, SWITCHES, CONTRACTORS, ETC. TO MOUNT AS TIGHT AS POSSIBLE TO REDUCE OVERALL WIDTH OF EQUIPMENT.
 - EXISTING DEMISING PARTITION - G.C. TO VERIFY CONDITION OF WALL AND REPLACE OR REPAIR DAMAGED GYP. BD. TO MAINTAIN ANY EXISTING FIRE RATING. TYPICAL FOR ALL DEMISING WALLS, TENANT SIDE ONLY. U.A.O. SEE KEY NOTE #19.
 - (E) COLUMN.
 - (E) UTILITY SINK. REF: PLUMBING DRAWINGS TO REMAIN.
 - (N) HIGH-LOW WATER FOUNTAIN. REF: PLUMBING DRAWINGS.
 - (N) MILLWORK. G.C. TO PROVIDE IN-WALL BLOCKING. REF: A151
 - (N) WALL MOUNTED TV. G.C. TO PROVIDE IN-WALL BLOCKING. REF: ELECTRICAL DRAWINGS.
 - (N) WATER CLOSET, LAVATORY, AND RESTROOM ACCESSORIES. REF: A201/PLUMBING DRAWINGS.
 - (E) KEYPAD. G.C. TO VERIFY CONDITION AND REPLACE IF DAMAGED.
 - (N) WATER HEATER (ABOVE CEILING). REF: PLUMBING DRAWINGS.
 - (E) FIRE EXTINGUISHER. COORDINATE FINAL PLACEMENT WITH FIRE MARSHALL, IF RELOCATION IS REQUIRED PATCH/REPAIR WALL.
 - G.C. TO INSTALL (N) DOORS AND FRAME.
 - G.C. TO INSTALL (N) PARTITION WALLS.
 - (N) WALL MOUNTED SIGNAGE BY OWNER. G.C. TO PROVIDE IN-WALL BLOCKING. REF: A151.
 - (N) THERMOSTAT AT 48° A.F.F.
 - (N) MOP/FLOOR SINK. REF: PLUMBING DRAWINGS.
 - (N) 14" DEEP SOLID WALL MOUNTED SHELVING WITH SLOTTED STANDARDS MOUNTED TO STUDS. G.C. TO PROVIDE IN-WALL BLOCKING.
- KEY NOTES**
- ALL WOOD MEMBERS REQUIRED BY CODE TO BE FIRE-RETARDANT TREATED, PROVIDE PRESSURE IMPREGNATION WITH FIRE RETARDANT CHEMICALS TO PROVIDE UL PRS FIRE HAZARD CLASSIFICATION. ALL SUCH WOOD SHALL BE IDENTIFIED BY A UL LABEL CERTIFYING THIS CLASSIFICATION AND FM DIAMOND.
 - APPROVED FIRE EXTINGUISHERS SHALL BE INSTALLED AS REQUIRED BY LOCAL AUTHORITY.
 - ALL PENETRATIONS OF FIRE RESISTIVE FLOOR OR SHAFT WALLS SHALL BE PROTECTED BY MATERIALS AND INSTALLATION DETAILS THAT CONFORM TO THE REQUIREMENTS OF THE APPROPRIATE FIRE RESISTANCE SYSTEMS. THE CONTRACTOR SHALL SUBMIT SPECIFIC DETAILS WHICH SHOW COMPLETE COORDINATION WITH THE UL LISTED TO THE ARCHITECT. SUCH DRAWINGS SHALL BE AVAILABLE TO ANY CITY INSPECTOR. THE DRAWINGS SHALL BE SPECIFIC FOR EACH PENETRATION WITH ALL VARIABLES DEFINED.
 - THE CONTRACTOR IS TO REPLACE ANY FIREPROOFING REMOVED FROM THE BUILDING STRUCTURE DURING DEMOLITION/CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTAINING INTEGRITY OF RATED PARTITIONS & STRUCTURE PARTICULARLY WHERE PENETRATED BY VARIOUS TRADES AND SERVICES.
 - G.C. SHALL INSTALL FIRE EXTINGUISHERS CONSPICUOUSLY AS NOTED ON THE DRAWING AND TO BE READILY ACCESSIBLE AND SHALL BE INSTALLED IN A WAY THAT THE TOP OF THE EXTINGUISHER SHALL NOT BE MORE THAN 4"-0" AND NOT LESS THAN 4" ABOVE FLOOR. ALL FIRE EXTINGUISHERS SHALL BE INSTALLED IN ACCORDANCE WITH CLASSIFICATION, RATING, AND DISTRIBUTION REQUIREMENTS OF NFPA 10. (NFPA 10: 13.6.1.1) SUGGESTED SPEC OR APPROVED EQUAL SPECIFICATION TO BE USED.

CONSTRUCTION NOTES

EQUIPMENT LEGEND

LIFE SAFETY GENERAL NOTES

Job Number 22759

Drawn By

App'd By

Sheet Title

Floor Plan

Sheet Number

Revisions	Date	Description	By
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HARDWARE GROUP #1 (ENTRY)	
LOCKSET	EXISTING TO REMAIN, RE-KEY
PULL	EXISTING TO REMAIN
CLOSER	EXISTING TO REMAIN
HARDWARE GROUP #2 (REAR ENTRY DOOR)	
LOCKSET	EXISTING TO REMAIN, RE-KEY
PULL	EXISTING TO REMAIN
PANIC BAR	EXISTING TO REMAIN
CLOSER	EXISTING TO REMAIN
HARDWARE GROUP #3 (EXAM ROOM)	
LEVER SET	FALCON W101S Q (PASSAGE) OR EQUAL FINISH: 626 SATIN CHROME
HINGE	FINISH: 626 SATIN CHROME
WALL BUMPERS (WB)	FINISH: 626 SATIN CHROME
HARDWARE GROUP #4 (BREAK ROOM)	
LEVER SET	FALCON W101S Q (PASSAGE) OR EQUAL FINISH: 626 SATIN CHROME
HINGE	FINISH: 626 SATIN CHROME
WALL BUMPERS (WB)	FINISH: 626 SATIN CHROME
HARDWARE GROUP #5 (RESTROOM)	
LEVER SET	FALCON W301S Q (PRIVACY) OR EQUAL FINISH: 626 SATIN CHROME
HINGE	FINISH: 626 SATIN CHROME
WALL BUMPERS (WB)	FINISH: 626 SATIN CHROME
HARDWARE GROUP #6 (SUPPLY CLOSETS, STORAGE, ELECTRIC ROOM)	
LEVER SET	FALCON W12S Q (DUMMY LEVER) OR EQUAL FINISH: 626 SATIN CHROME
HINGE	FINISH: 626 SATIN CHROME
WALL BUMPERS (WB)	FINISH: 626 SATIN CHROME
LATCH	DIB1: ADJUSTABLE DRIVE-IN BALL CATCH, PACKED WITH FULL LIPSTRIKE, ROUND CORNER, POLY BAGGED WITH SCREWS: STRIKE SIZE: 1 1/8" X 2 1/4", RC

NO.	ROOM NO.	LOCATION	SIZE	DOOR		FRAME		HARDWARE GROUP	FIRE RATING	REMARKS
				TYPE	MATERIAL	FINISH	MATERIAL			
①	101	RECEPTION	(E)3'-0" x 7'-0"	A	EXISTING	-	EXISTING	-	1	-
②	103	EXAM ROOM	3'-0" x 7'-0"	B	WD	[P-3]	MTL	[P-3]	3	-
③	104	EXAM ROOM	3'-0" x 7'-0"	B	WD	[P-3]	MTL	[P-3]	3	-
④	105	EXAM ROOM	3'-0" x 7'-0"	B	WD	[P-3]	MTL	[P-3]	3	-
⑤	102	SUPPLY	3'-0" x 7'-0"	C	WD	[P-1]	MTL	[P-1]	6	-
⑥	106	EXAM ROOM	3'-0" x 7'-0"	B	WD	[P-3]	MTL	[P-3]	3	-
⑦	107	EXAM ROOM	3'-0" x 7'-0"	B	WD	[P-3]	MTL	[P-3]	3	-
⑧	114	RESTROOM	(E)3'-0" x 7'-0"	B	WD	[P-1]	MTL	[P-1]	5	-
⑨	116	EXAM ROOM	3'-0" x 7'-0"	B	WD	[P-3]	MTL	[P-3]	3	-
⑩	113	BREAK ROOM	3'-0" x 7'-0"	B	WD	[P-1]	MTL	[P-1]	4	-
⑪	112	STORAGE	(2)3'-0" x 7'-0"	C	WD	[P-1]	MTL	[P-1]	6	-
⑫	113	BREAK ROOM	3'-0" x 7'-0"	B	WD	[P-1]	MTL	[P-1]	4	-
⑬	113	ELECTRIC ROOM	(2)18" x 7'-0"	C	WD	[P-1]	MTL	[P-1]	6	-
⑭	113	ELECTRIC ROOM	(2)18" x 7'-0"	C	WD	[P-1]	MTL	[P-1]	6	-
⑯	113	BREAK ROOM (EXIT ROOM)	(E)3'-0" x 7'-0"	-	EXISTING	-	EXISTING	-	2	-
										EXISTING TO REMAIN, G.C. VERIFY PROPER WORKING ORDER, RE KEY, AND REPLACE ANY MISSING/DAMAGED HARDWARE

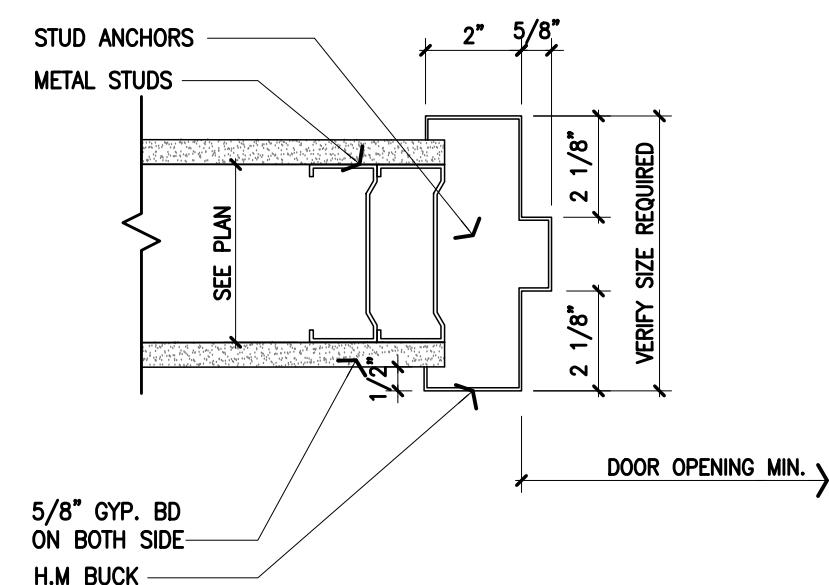
HARDWARE GROUP	DOOR SCHEDULE

- FOR ALL WOOD MEMBERS REQUIRED BY CODE TO BE FIRE-RETARDANT TREATED, PROVIDE PRESSURE IMPREGNATION WITH FIRE RETARDANT CHEMICALS TO PROVIDE UL PRS FIRE HAZARD CLASSIFICATION. ALL SUCH WOOD SHALL BE IDENTIFIED WITH A UL LABEL CERTIFYING THIS CLASSIFICATION AND FM DIAMOND.
- APPROVED FIRE EXTINGUISHERS SHALL BE INSTALLED AS REQUIRED BY LOCAL AUTHORITY.
- ALL PENETRATIONS OF FIRE RESISTIVE FLOOR OR SHAFT WALLS SHALL BE PROTECTED BY MATERIALS AND INSTALLATION DETAILS THAT CONFORM TO UL STANDARDS FOR THROUGH PENETRATION FIRESTOP SYSTEMS. THE CONTRACTOR SHALL SUBMIT SHOP DRAWING DETAILS WHICH SHOW COMPLETE CONFORMANCE TO THE UL LISTING TO THE ARCHITECT. SUCH DRAWINGS SHALL BE AVAILABLE TO ANY CITY INSPECTOR. THE DRAWINGS SHALL BE SPECIFIC FOR EACH PENETRATION WITH ALL VARIABLES DEFINED.
- THE CONTRACTOR IS TO REPLACE ANY FIREPROOFING REMOVED FROM THE BUILDING STRUCTURE DURING DEMOLITION/CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING INTEGRITY OF RATED PARTITIONS & STRUCTURE PARTICULARLY WHERE PENETRATED BY VARIOUS TRADES AND SERVICES.
- G.C. SHALL INSTALL FIRE EXTINGUISHERS CONSPICUOUSLY AS NOTED ON THE DRAWING AND TO BE READILY ACCESSIBLE AND SHALL BE INSTALLED IN A WAY THAT THE TOP OF THE EXTINGUISHER SHALL NOT BE MORE THAN 4'-0" AND NOT LESS THAN 4" ABOVE FLOOR. ALL FIRE EXTINGUISHERS SHALL BE INSTALLED IN ACCORDANCE WITH CLASSIFICATION, RATING, AND DISTRIBUTION REQUIREMENTS OF NFPA 10. (NFPA 10: 13.6.1.1) SUGGESTED SPEC OR APPROVED EQUAL SPECIFICATION TO BE USED.

CONSTRUCTION NOTES

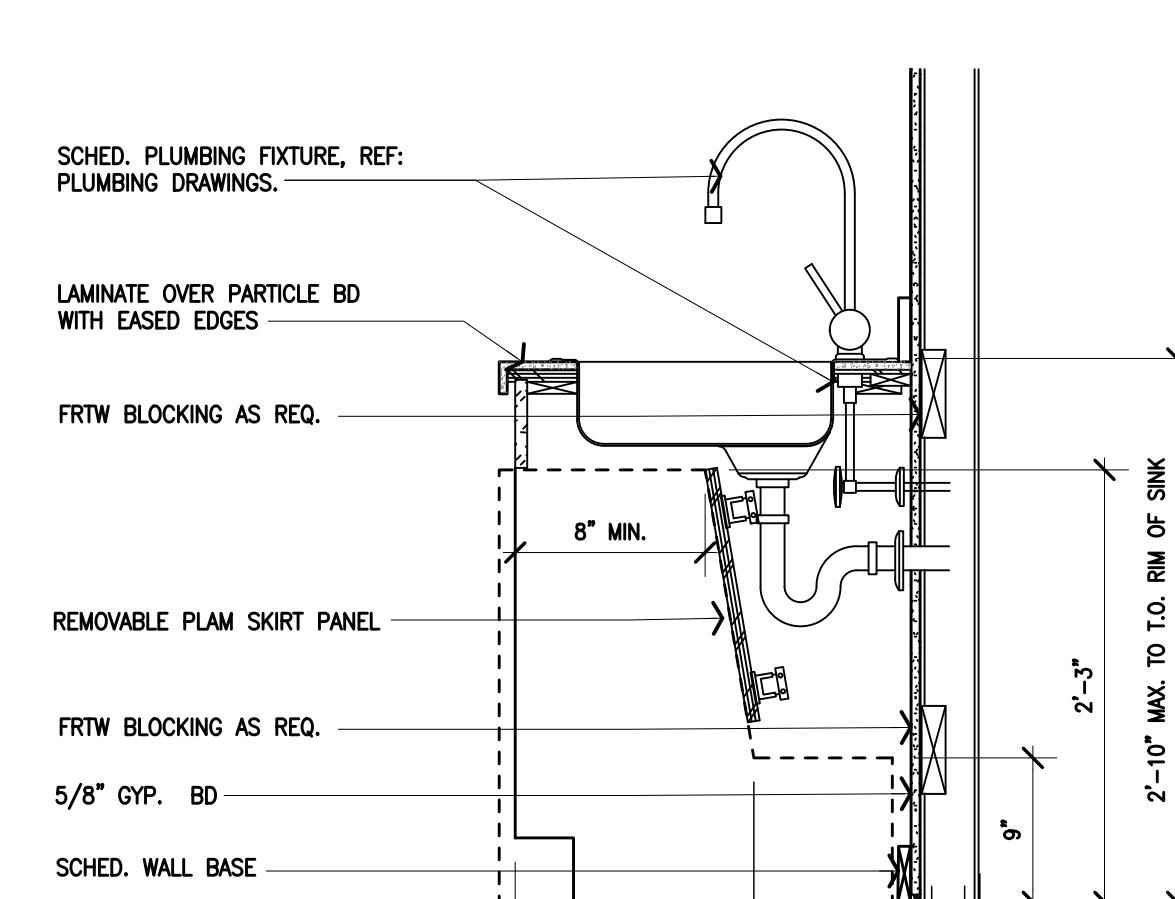
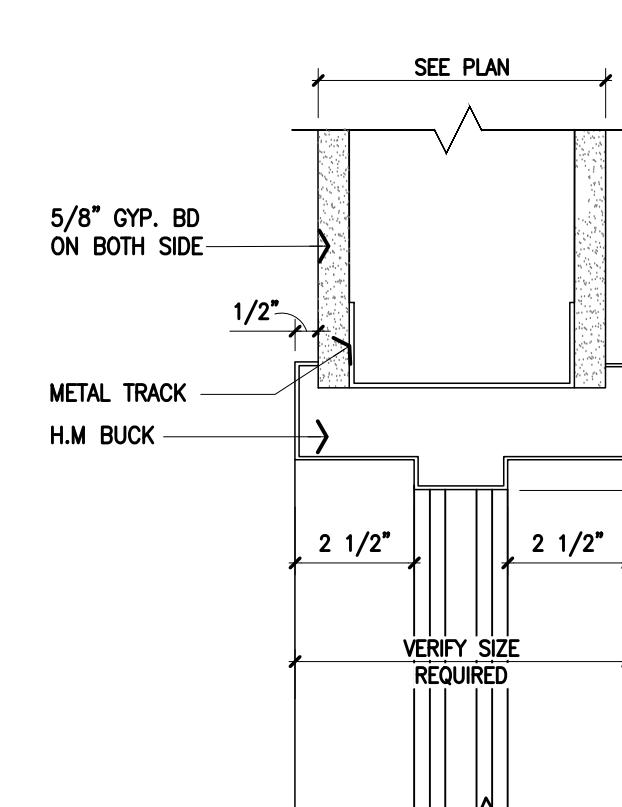
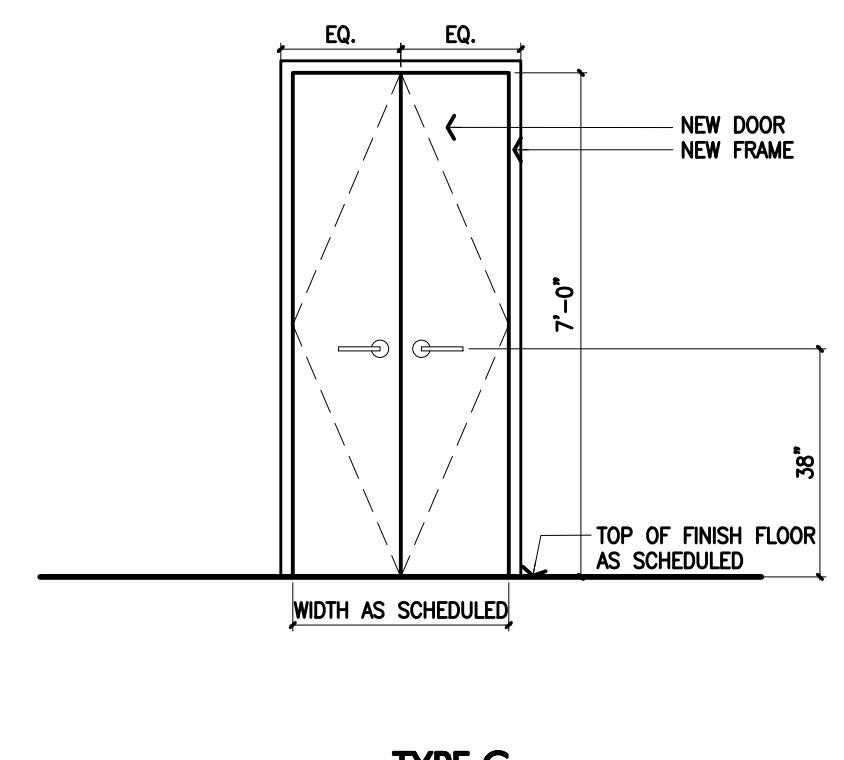
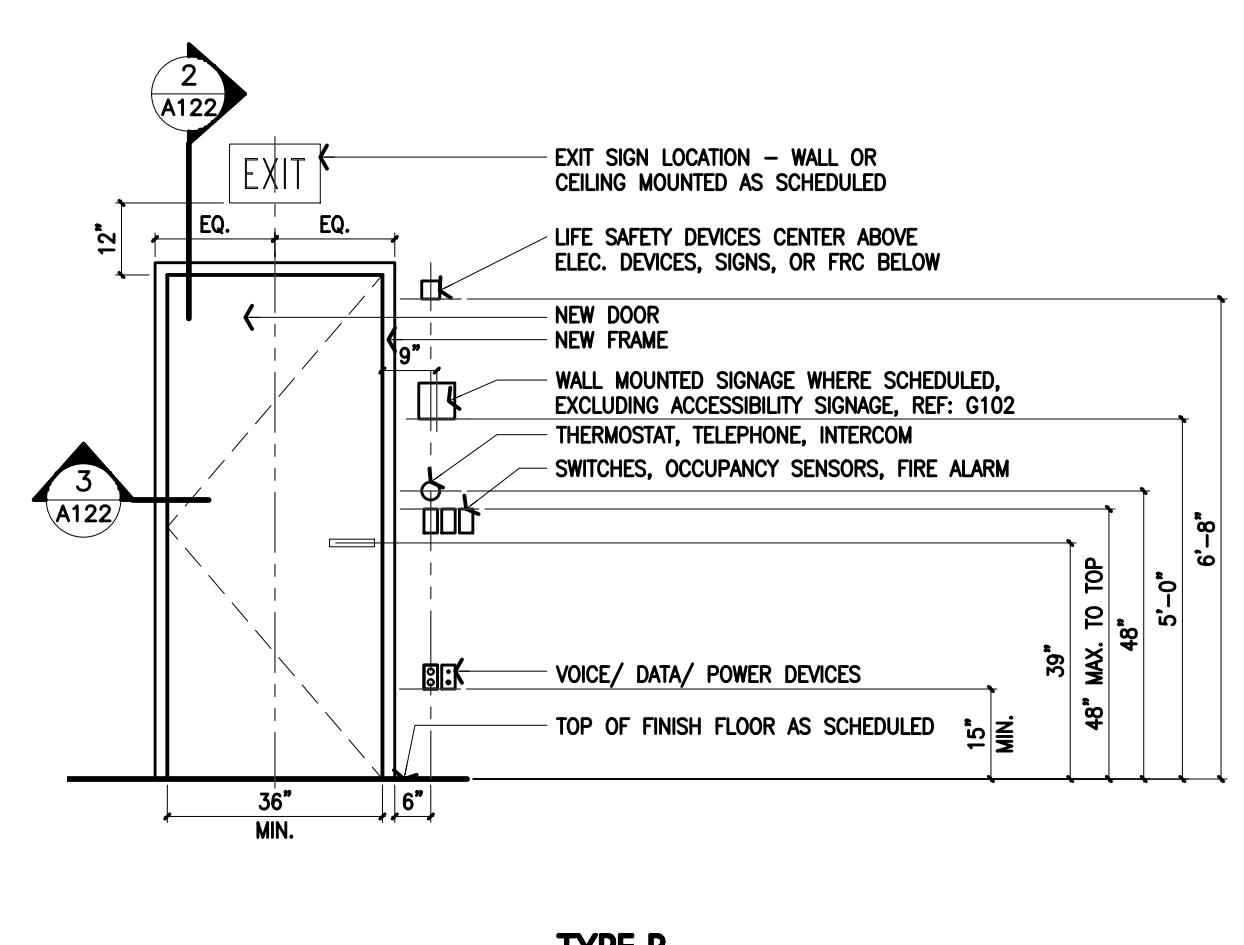
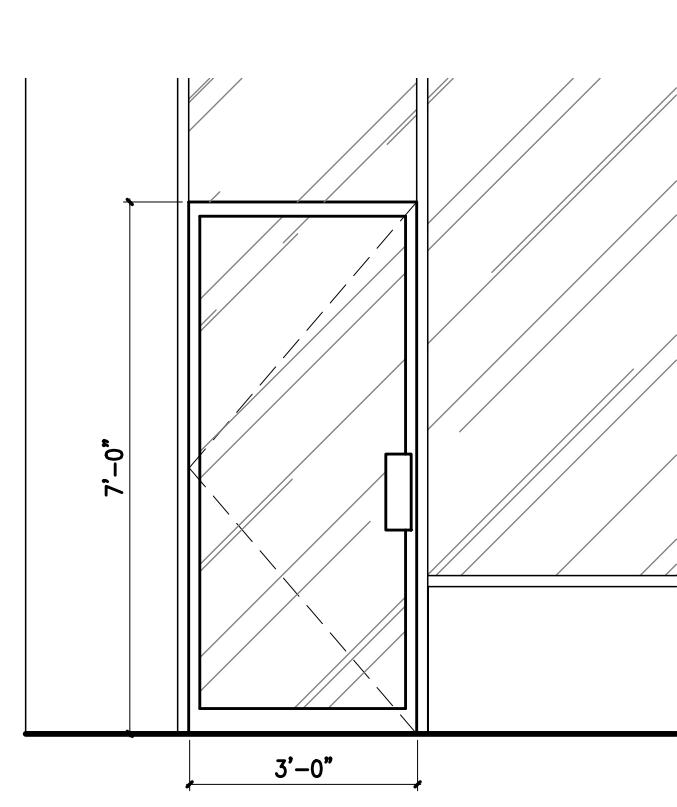
- ALL DOORS MUST BE OPERABLE WITHOUT SPECIAL KNOWLEDGE OR EFFORT W/ LEVER TYPE HARDWARE IN COMPLIANCE WITH STATE & LOCAL CODES.
- ALL EGRESS DOORS MUST BE READILY OPERABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. DOORS SHALL BE OPENABLE WITH NOT MORE THAN ONE ROTATING OPERATION. IN ADDITION, DOOR HARDWARE SHALL HAVE A SHAPE THAT IS EASY TO GRASP WITH ONE HAND AND DOES NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE.
- ALL LOCK SETS TO BE RE-KEYED BY G.C. AFTER STORE TURNOVER.
- ALL HANDLES AND PULLS TO BE INSTALLED AT 39° A.F.F. TO CENTERLINE, U.N.O.
- ALL DOORS TO BE SINGLE ACTION U.O.N.
- PROVIDE THRESHOLDS 1:2 MIN. WITH A MAXIMUM HEIGHT OF 1/2" PER ADA REQUIREMENTS
- HINGES FOR OUT SWINGING EXTERIOR DOORS SHALL BE EQUIPPED WITH NON-REMOVABLE HINGE PINS IN COMPLIANCE WITH STATE & LOCAL CODES.
- BOTH THE LATCHING AND DEAD BOLT DEVICES ON EXTERIOR DOORS SHALL RELEASE WITH A SINGLE ACTION OF THE INSIDE LEVER PER CODE REQUIREMENTS.
- THE MAXIMUM DOOR OPENING FORCE FOR INTERIOR DOORS SHALL BE 5 LBS. PER ANSI 4.13.11.
- ALL HARDWARE SHALL COMPLY WITH ALL CURRENT LOCAL AND NATIONAL CODES.
- ALL INTERIOR DOOR HARDWARE SHALL BE LEVER TYPE WHERE APPLICABLE AND MEET ALL CURRENT ADA STANDARDS.
- PUSH SIDE OF ALL DOORS TO HAVE A 10" CLEAR KICK PLATE FROM THE BOTTOM OF THE DOOR UP
- ALL DOOR CLEARANCES TO COMPLY WITH LOCAL BUILDING CODES.

DOOR AND HARDWARE NOTES



3 DOOR JAMB

4" = 1'-0"



1 DOOR TYPES

2 DOOR HEAD

4 SECTION - SINK

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Seal

Job Number 22759

Drawn By

App'd By

Sheet Title

Construction Details & Door Schedule
Sheet Number

A122

Issue Date 06/11/24			
Revisions	Date	Description	By
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Job Number 22759

Drawn By

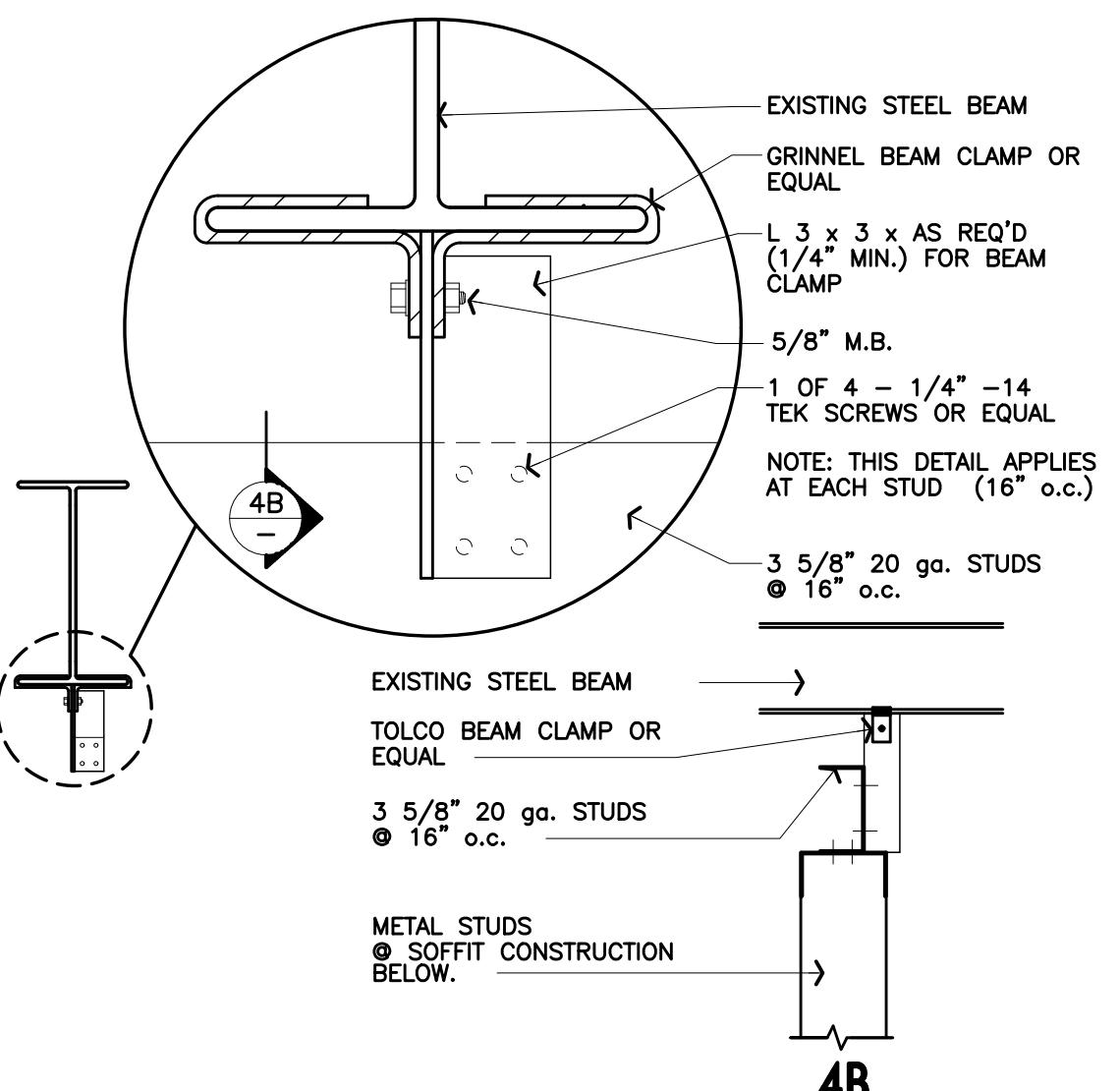
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Sheet Title

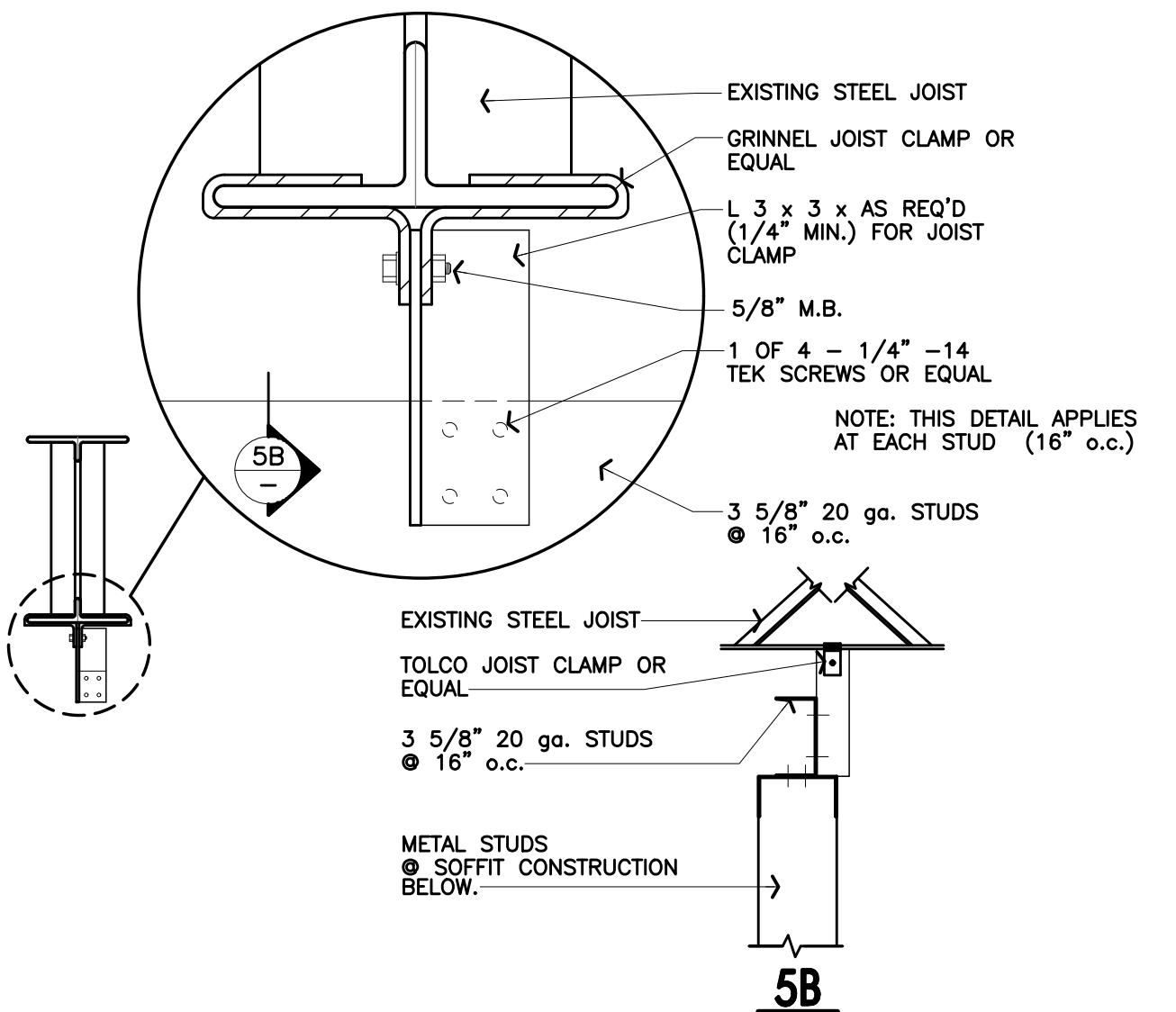
**Partition Types
and Details**

Sheet Number

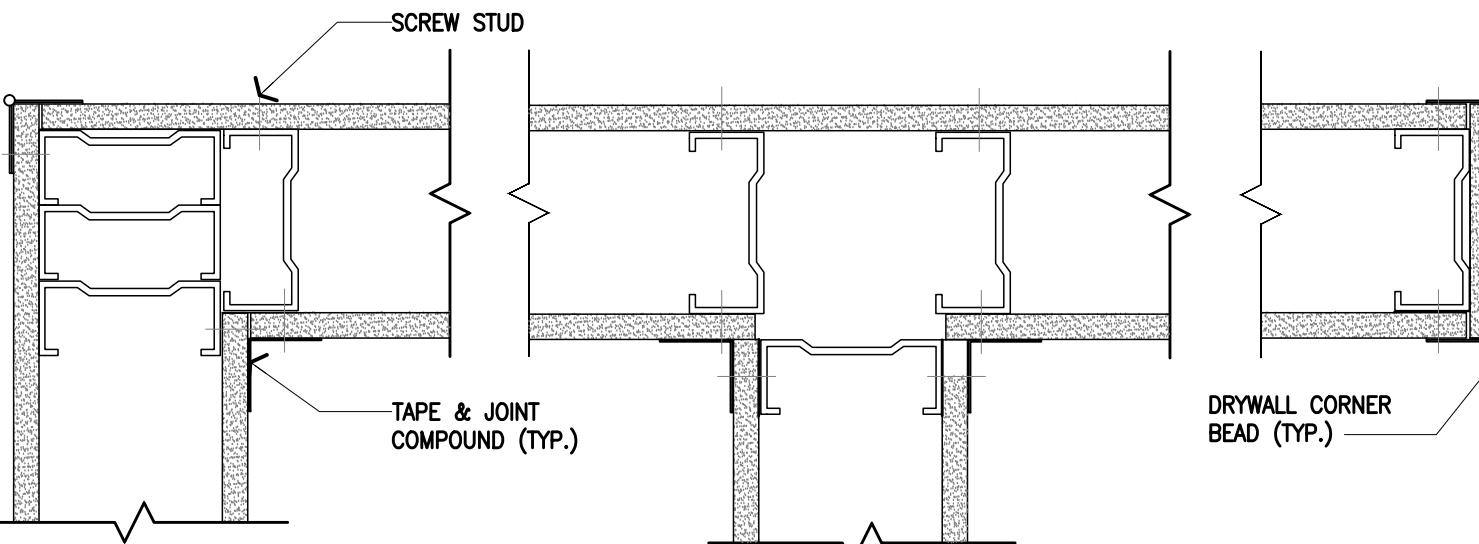
A123



4 BEAM CLAMP

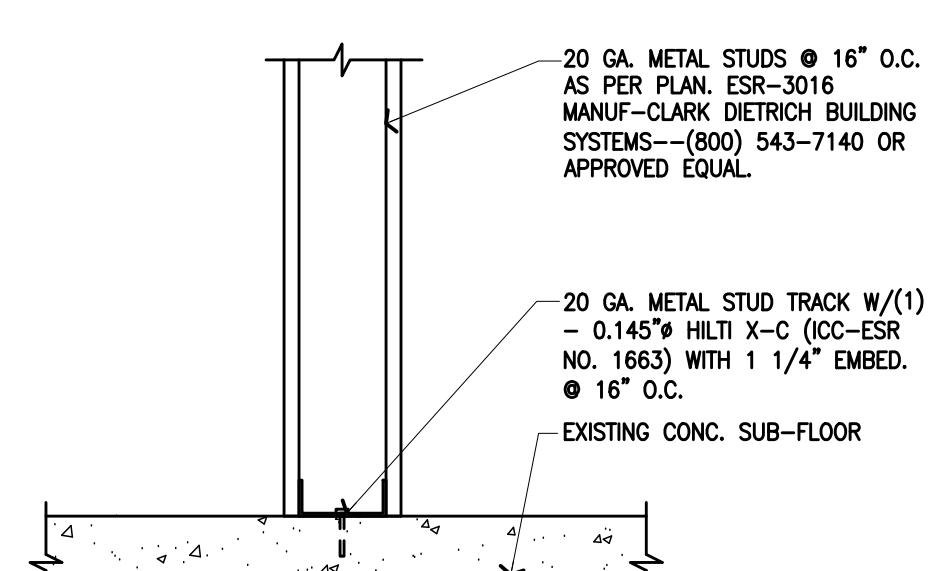


5 BEAM CLAMP

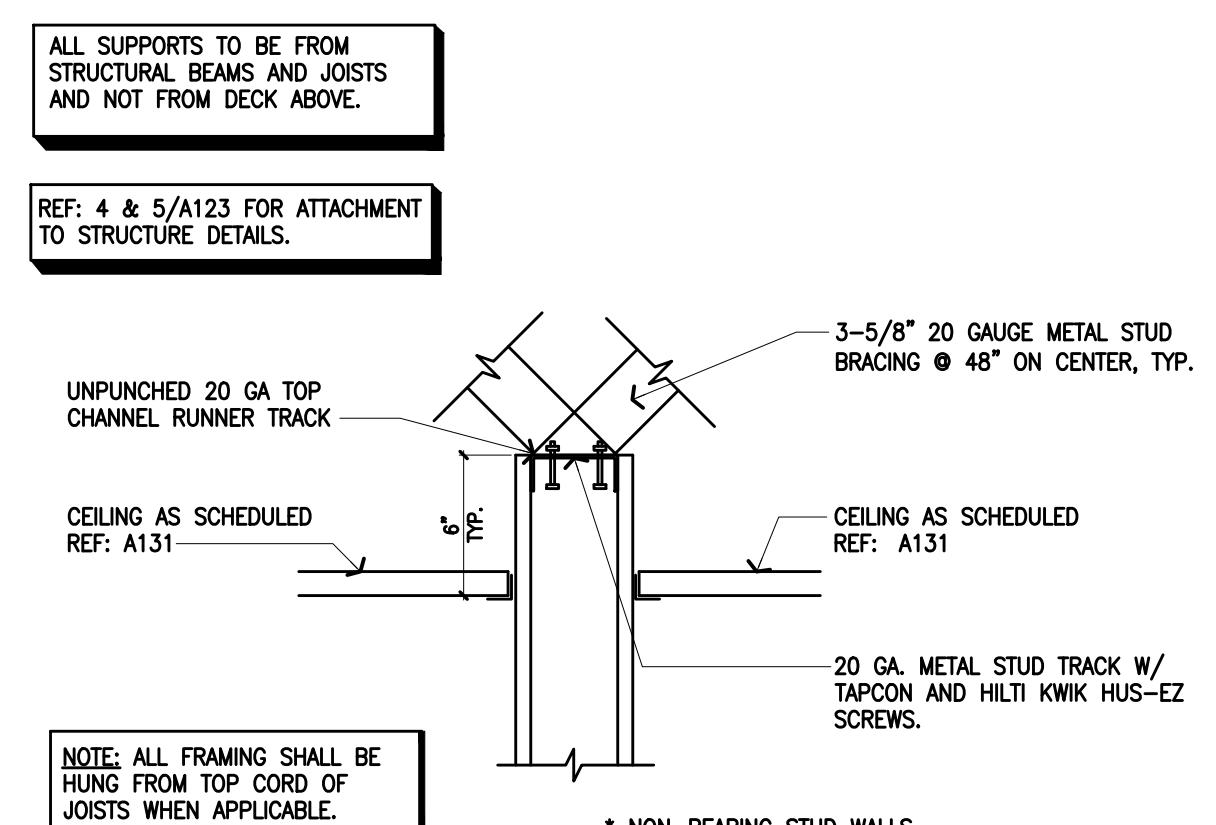


7 TYPICAL GYP. BD. DETAILS

1. NO MECHANICAL FASTENING TO LANDLORD STRUCTURE.
2. ALL PENETRATIONS IN RATED WALLS ARE TO BE CAULKED TO ENSURE RATING IS MAINTAINED.
3. ALL BLOCKING AND PLYWOOD INSTALLED SHALL BE FRFT.
4. G.C TO VERIFY DECK HEIGHT AND CONFIRM MAX STUD HEIGHT FOR THE SPECIFIED IS ACCEPTABLE. NOTIFY ARCHITECT IF NEW STUD SPECS ARE REQUIRED.

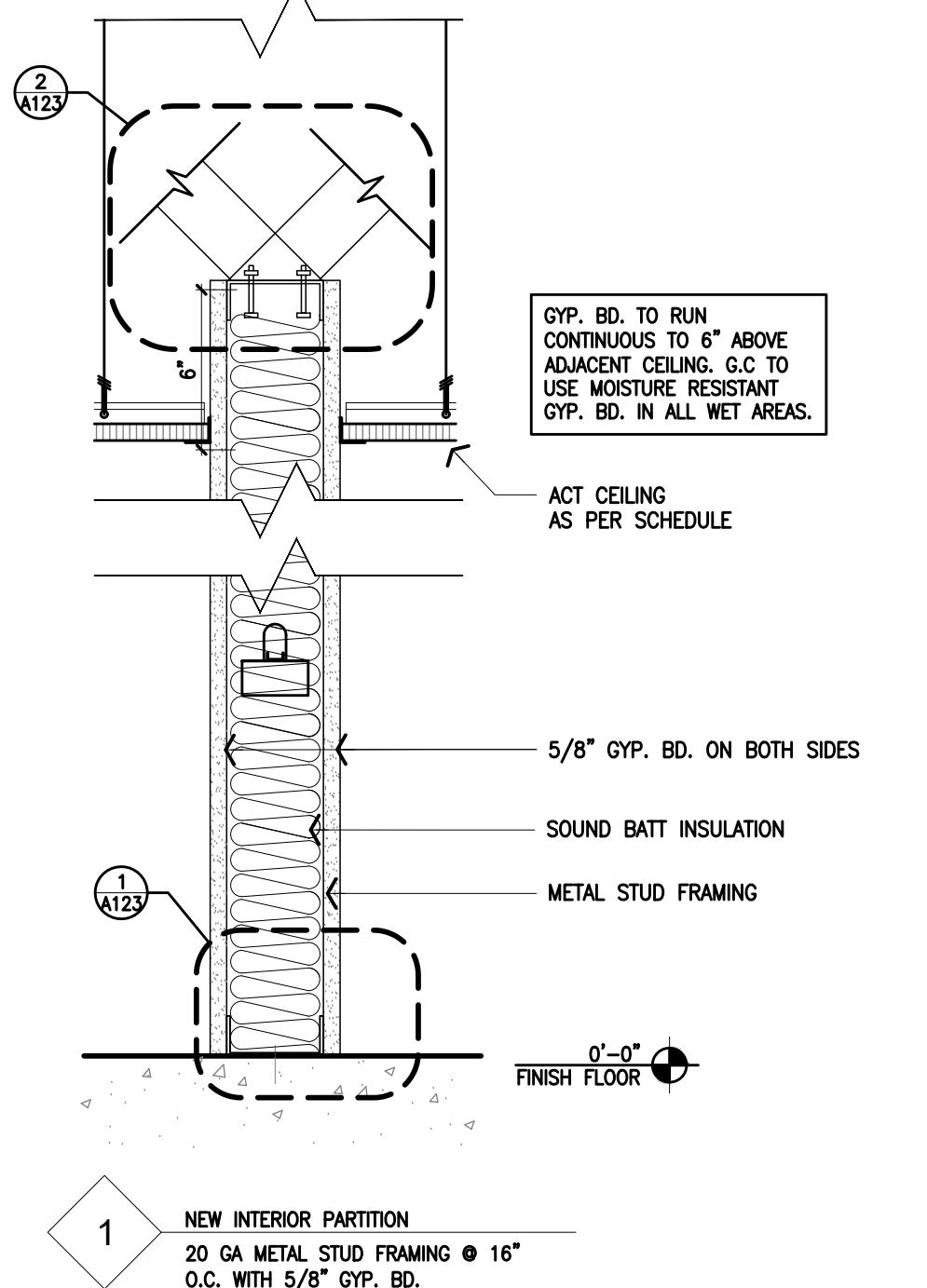


3 Non-Bearing Wall Detail
Scale 1 1/2" = 1'-0"

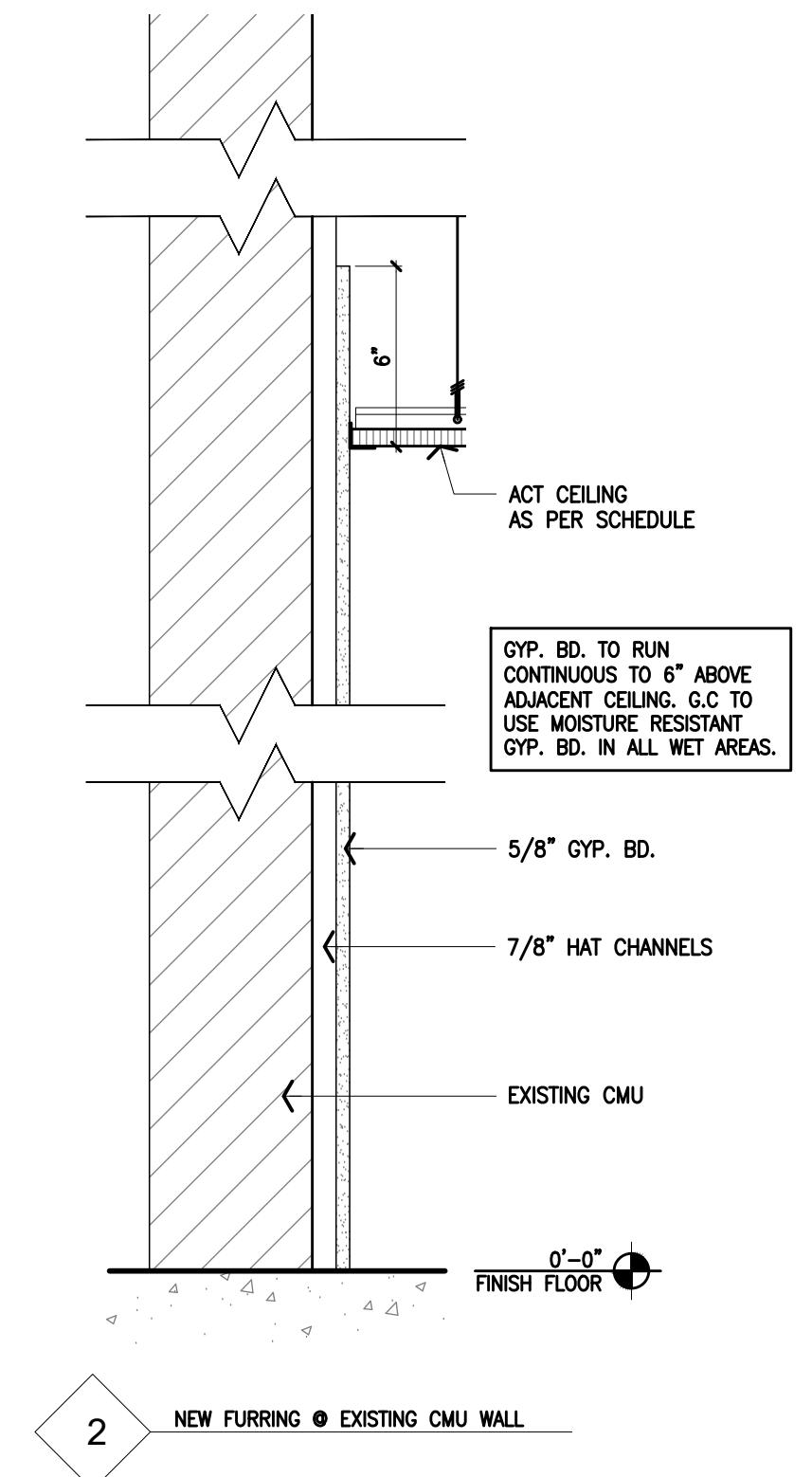


1 NON-BEARING WALL DETAILS
N.T.S.

2 NON-BEARING WALL DETAILS



3 PARTITION TYPES



Sheet Number

Issue Date 06/11/24

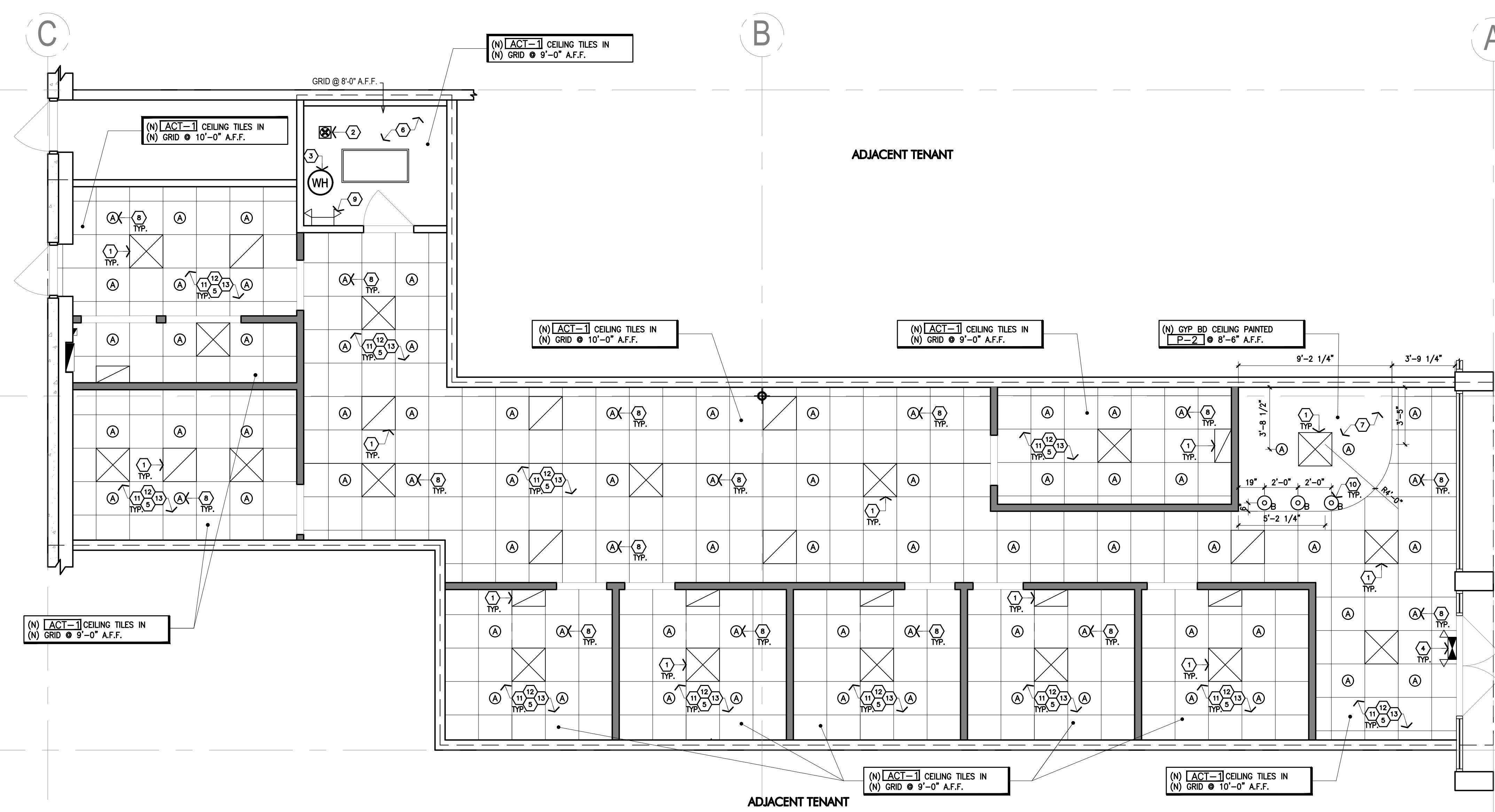
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Local Infusion
Dress Barn Plaza - 132 Federal Road,
Danbury, CT 06811

EXTERIOR

ADJACENT TENANT

3

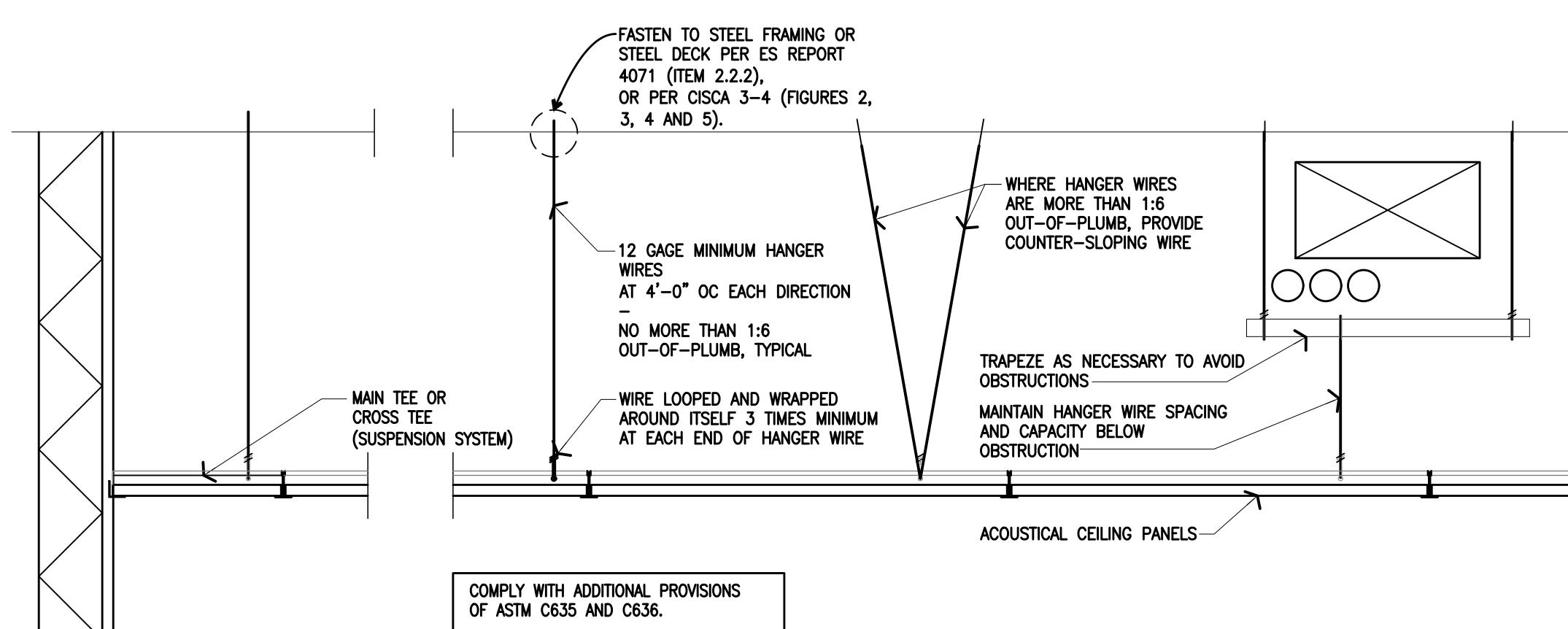
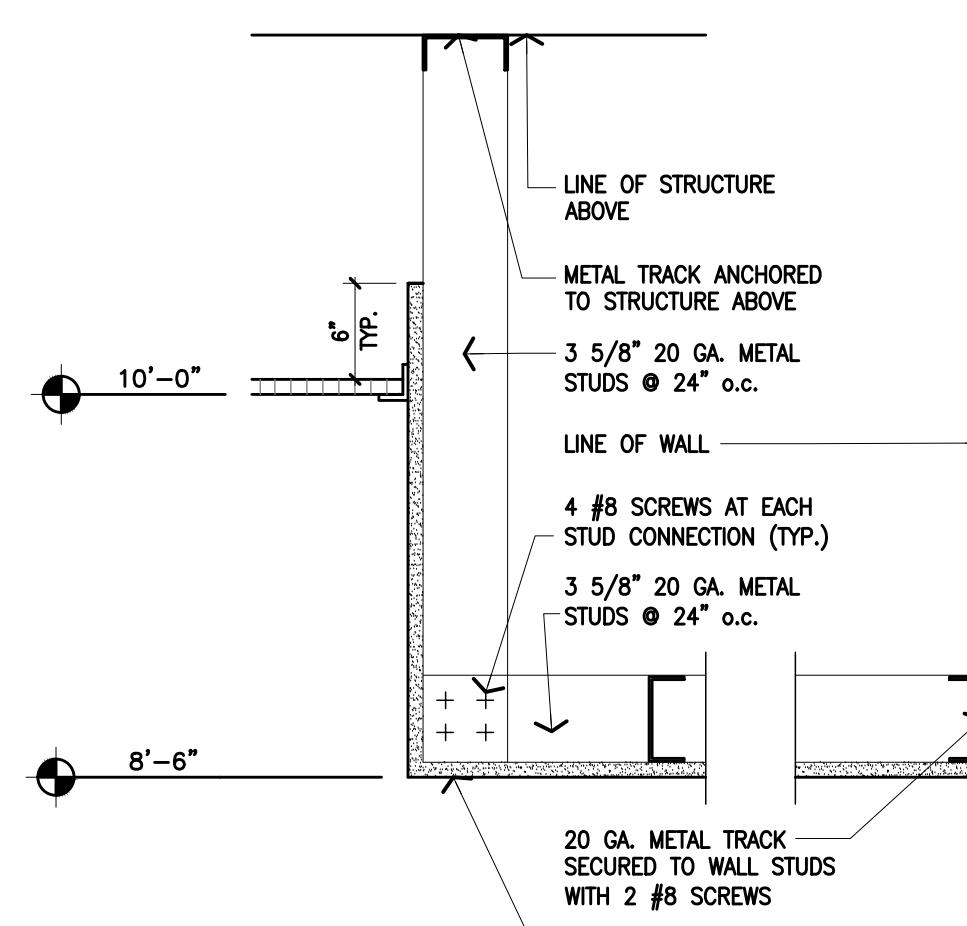


1 REFLECTED CEILING PLAN

1/4" = 1'-0"

ALL SUPPORTS TO BE FROM
STRUCTURAL BEAMS AND JOISTS
AND NOT FROM DECK ABOVE.

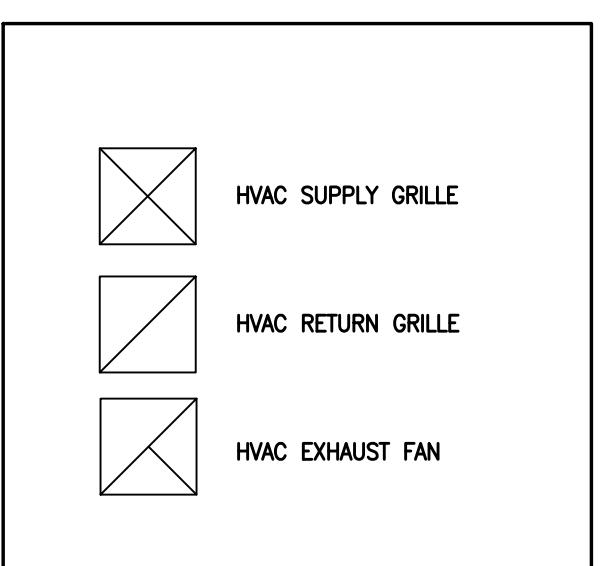
REF: 4-4: 5/123 FOR ATTACHMENT
TO STRUCTURE DETAILS.



Perimeter Support
SUSPENDED ACOUSTICAL CEILING

General Support
SUSPENDED ACOUSTICAL CEILING

1. (N) DIFFUSER & RETURN GRILLE. SEE MECHANICAL DRAWINGS FOR EXACT LOCATIONS AND ADDITIONAL INFORMATION.
2. (N) EXHAUST FAN REF: MECHANICAL DRAWINGS.
3. (N) WATER HEATER LOCATED ABOVE CEILING, REF 1/A122 & PLUMBING DRAWINGS.
4. (N) EXIT/EMER. LIGHT. REF: ELECTRICAL DRAWINGS.
5. (N) CEILING GRID & TILES, TYPICAL. REF: 3/A131 AND FINISH SCHEDULE FOR PAINT SPEC.
6. (E) CEILING GRID AND (N) ACT-1 CEILING TILES.
7. (N) GYPSUM BD. SOFFIT ON METAL STUD FRAMING, REF: 2/A131.
8. (N) RECESS CAN LIGHTS, REF: ELECTRICAL DRAWINGS.
9. (N) EMERGENCY LIGHT, REF: ELECTRICAL DRAWINGS.
10. (N) SUSPENDED LIGHTING, REF: ELECTRICAL DRAWINGS.
11. CEILING GRID TO BE CENTERED IN ROOMS.
12. FIRE SPRINKLER HEADS TO BE RELOCATED AS REQUIRED, UNDER SEPARATE PERMIT BY G.C.
13. DECK HEIGHT @ 14'-7" TO 13'-11" A.F.F. FRONT TO BACK.



CEILING LEGEND

1. G.C. SHALL VISIT SITE PRIOR TO SUBMITTING BID, NO CHANGE ORDERS WILL BE ACCEPTED FOR EXISTING CONDITIONS.
2. EMERGENCY LIGHTS TO BE INSTALLED ON SEPARATE CIRCUIT.
3. ELECTRICAL CONTRACTOR TO VERIFY THAT EXISTING SERVICE IS ADEQUATE FOR DESIGN LOADS. IF NOT, NOTIFY ARCHITECT IMMEDIATELY.
4. ALL EQUIPMENT SHALL BEAR UL LABELS.
5. FIXTURES IN ACT TO BE MOUNTED IN CENTER OF TILE, UNLESS OTHERWISE NOTED.
6. SPRINKLER VENDOR, TO SUBMIT DRAWINGS TO THE AHU FOR ALL WORK BEING DONE.
7. COORDINATE WITH ENGINEERING DRAWINGS FOR ALL MECHANICAL DUCT ROUTING.
8. THE LOCATION FOR ACCESS PANEL(S) AS MAY BE REQUIRED IN CEILING SHALL BE COORDINATED WITH OWNER, ARCHITECT AND ENGINEER. LOCATION(S) SHALL BE SYMMETRICAL WITH CEILING DESIGN (AS MUCH AS POSSIBLE). G.C. TO VERIFY EXACT LOCATION IN FIELD, COORDINATE WITH ENGINEER DRAWINGS AND OWNER.

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Seal

Job Number 22759

Drawn By

App'd By

Sheet Title

Reflected
Ceiling Plan

Sheet Number

A131

2 CEILING TRANSITION DETAIL

3 SUSPENDED CEILING DETAIL

RCP KEY NOTES

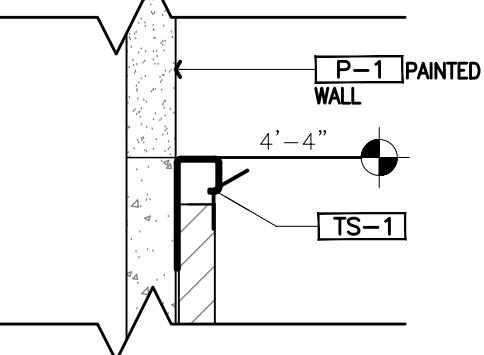
RCP GENERAL NOTES

- ALL INTERIOR WALL AND CEILING FINISHES ARE TO BE OF A CLASS C RATING OR BETTER PER TABLE 803.13.
- ALL FLOOR FINISHES SHALL COMPLY WITH 804.2.
- ALL MATERIALS REQUIRED TO HAVE A CERTAIN RATING SHALL HAVE DOCUMENTATION SHOWING COMPLIANCE WITH ALL OF THE APPROPRIATE CODES.
- CONTRACTOR REQUIRED TO PURCHASE PAINT THROUGH BENJAMIN MOORE NATIONAL ACCOUNTS PROGRAM. (SHOPNATIONALACCOUNTS.BENJAMINMOORE.COM) COORDINATE WITH OWNER.
- G.C. TO VERIFY ANY LEVEL CHANGE IN EXISTING CONDITION SLAB PRIOR TO FLOORING INSTALL. G.C. TO ENSURE A LEVEL SURFACE PROVIDED PER THE FLOORING MANUFACTURER SPECIFICATIONS PRIOR TO FLOORING INSTALLATION.

FINISH GENERAL NOTES

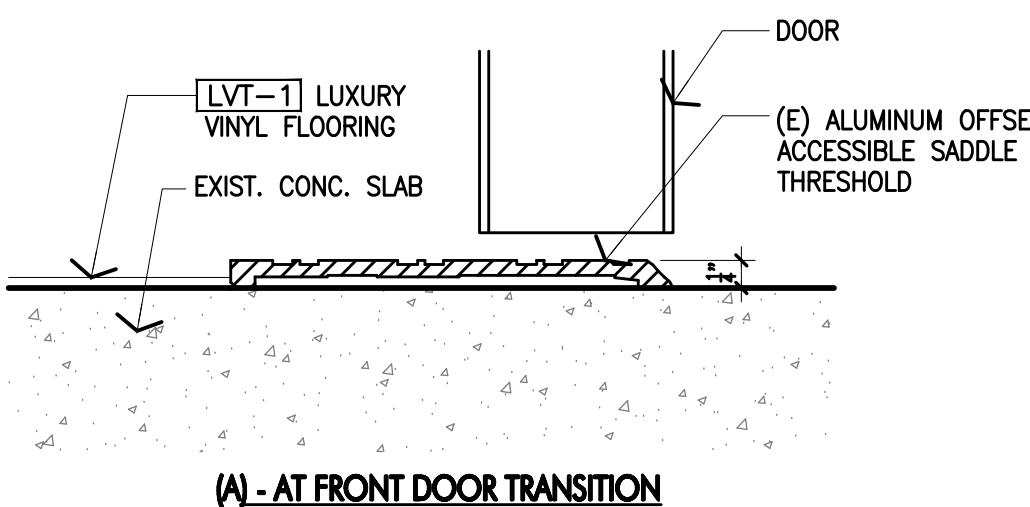
- G.C. TO INSTALL 3/4" WIDE WHITE VINYL CORNER GUARD FOR THE FULL HEIGHT OF THE CORNER BETWEEN WALL COVERING AND PAINT FINISH.

FINISH KEY NOTES



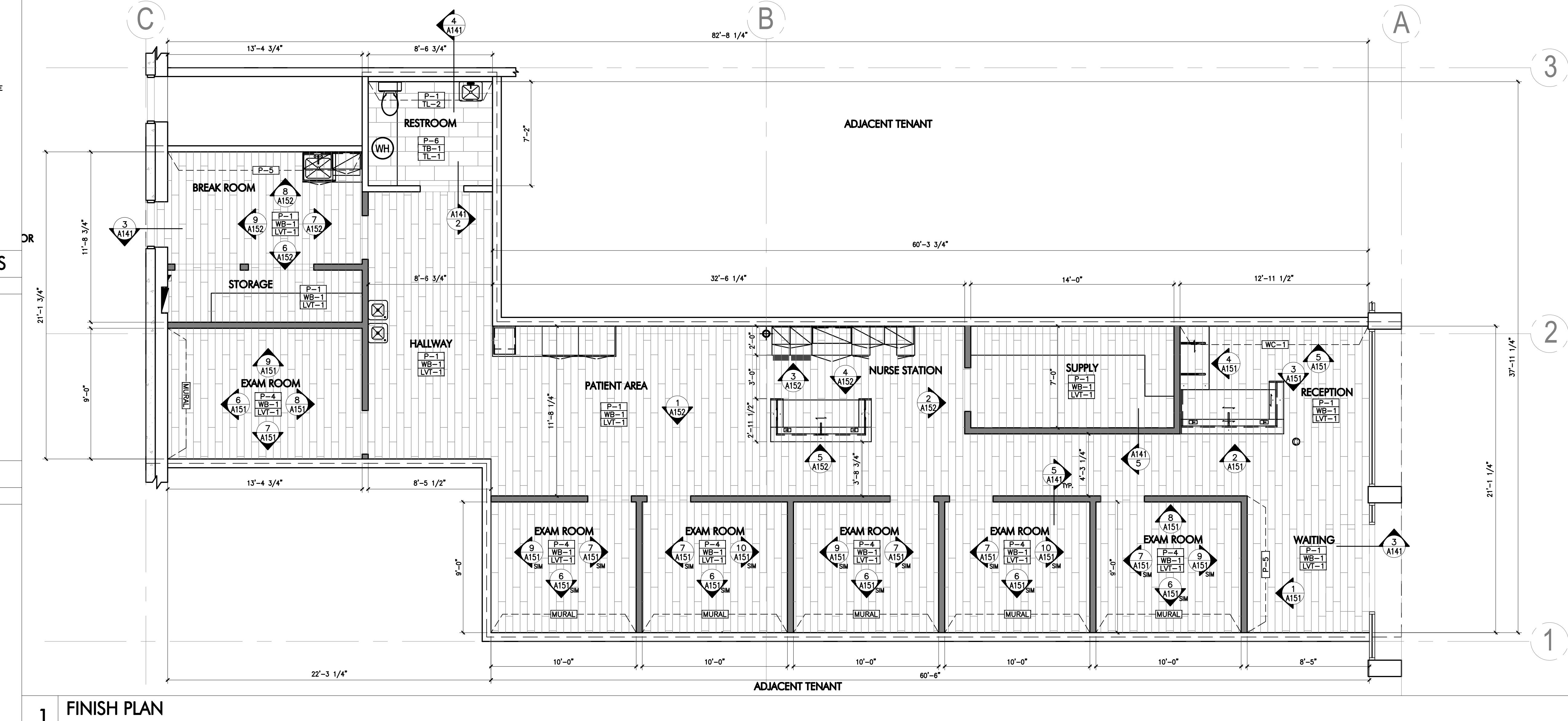
4 BASE DETAILS

6' = 1'-0"



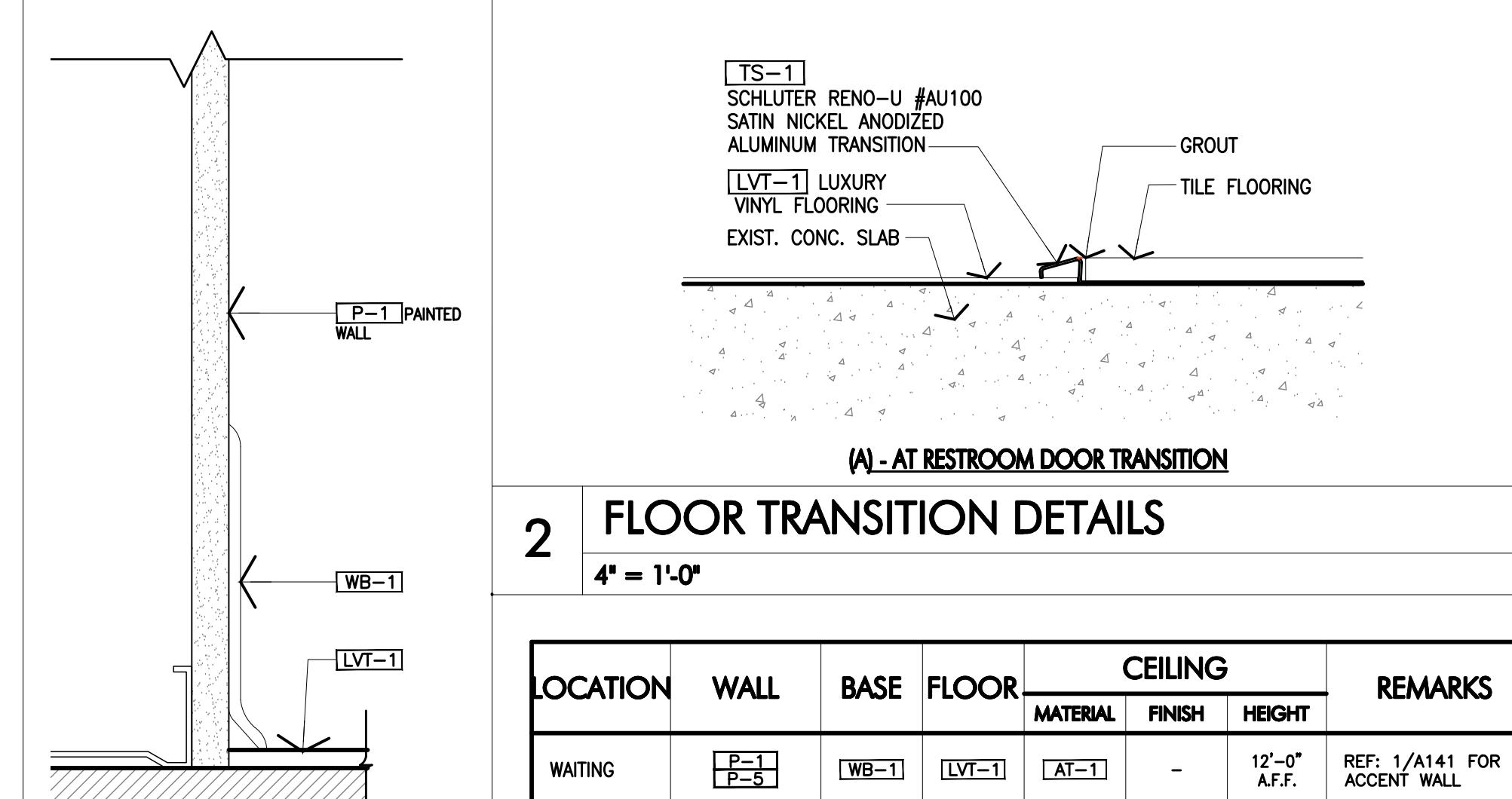
3 FLOOR TRANSITION DETAILS

4' = 1'-0"



1 FINISH PLAN

N.T.S



2 FLOOR TRANSITION DETAILS

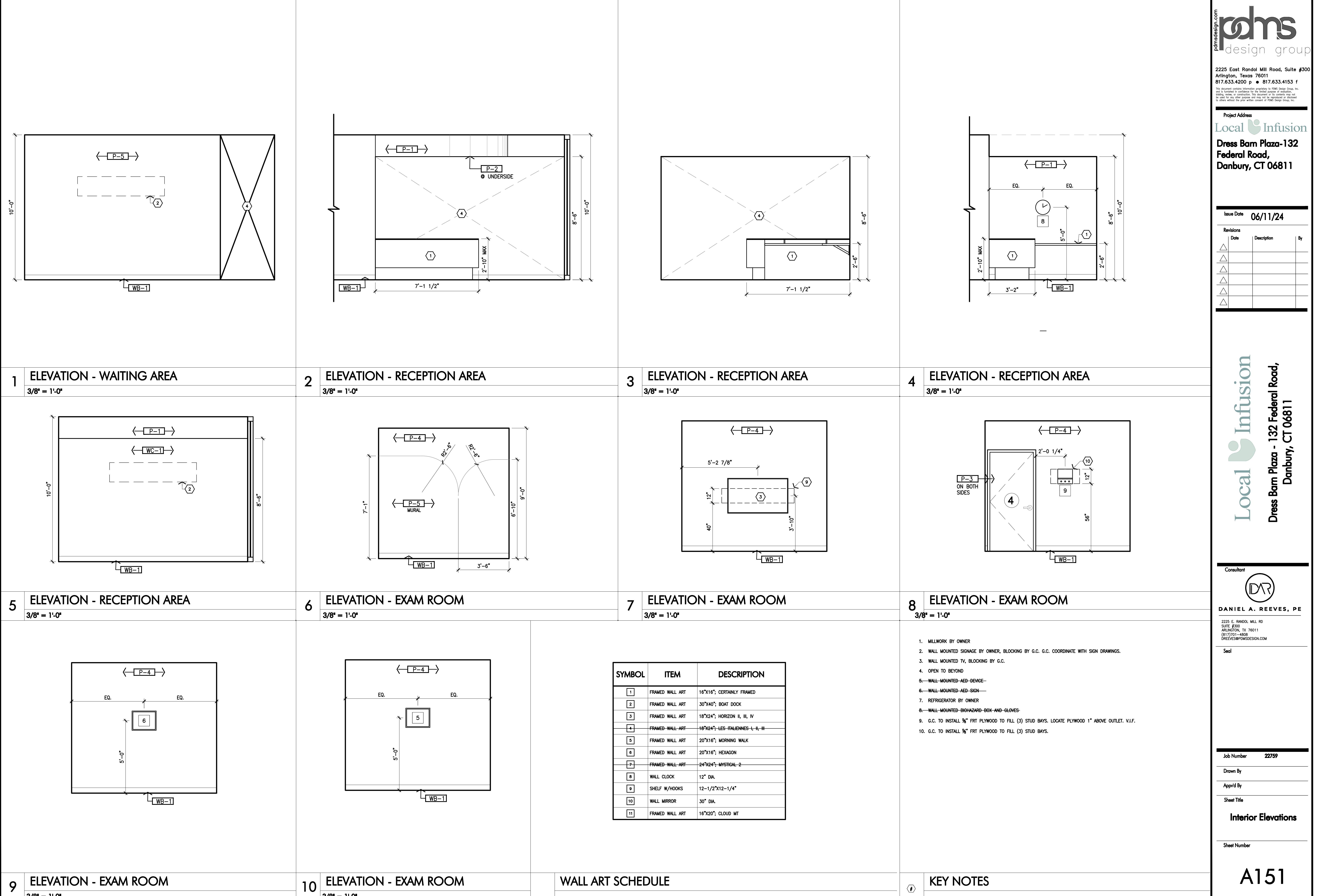
4' = 1'-0"

LOCATION	WALL	BASE	FLOOR	CEILING			REMARKS
				MATERIAL	FINISH	HEIGHT	
WAITING	P-1 P-5	WB-1 LVT-1	AT-1	-	12'-0" A.F.F.	REF: 1/A141 FOR ACCENT WALL	
RECEPTION	P-1 WC-1	WB-1 LVT-1	GYP. BD. P-2	-	8'-6" A.F.F.	REF: 1/A141 FOR ACCENT WALL	
EXAM ROOMS	P-4	WB-1 LVT-1	AT-1	-	9'-0" A.F.F.	REF: 1/A141	
PATIENT AREA	P-1	WB-1 LVT-1	AT-1	-	10'-0" A.F.F.	REF: 1/A141 FOR ACCENT WALL	
NURSE STATION	P-1	WB-1 LVT-1	AT-1	-	10'-0" A.F.F.		
BREAK RM	P-1 P-5	WB-1 LVT-1	AT-1	-	10'-0" A.F.F.	REF: 1/A141 FOR ACCENT WALL	
RESTROOM	P-6 P-1 TL-2	WB-1 LVT-1 TL-1	AT-1	-	9'-0" A.F.F.	SEE INTERIOR ELEVATIONS A201	
STORAGE	P-1	WB-1 LVT-1	AT-1	-	9'-0" A.F.F.		
SUPPLY	P-1	WB-1 LVT-1	AT-1	-	9'-0" A.F.F.		

SYMBOL	DESCRIPTION	MANUFACTURER	FINISH	COLOR	PRODUCT	LOCATION	COMMENTS
WALL FINISH							
P-1	INTERIOR PAINT	BENJAMIN MOORE	EGGSHELL SEMI-GLOSS	OC-145, ATRIUM WHITE	OFF WHITE COLLECTION	WALLS, TRIM WORK, DOORS	DOORS, CASING, & WINDOW SILLS TO RECEIVE SEMI-GLOSS PAINT; WALLS TO RECEIVE EGGSHELL
P-2	INTERIOR PAINT	BENJAMIN MOORE	FLAT SEMI-GLOSS	CC-20, DECORATORS WHITE	DESIGNER CLASSICS	GYB. BD. CEILING	
P-3	INTERIOR PAINT	BENJAMIN MOORE	SEMI-GLOSS	624, BATH SALTS	CLASSIC COLOR	DOOR	
P-4	INTERIOR PAINT	BENJAMIN MOORE	EGGSHELL SEMI-GLOSS	2050-40, FLORIDA MIST	COLOR PREVIEW	EXAM ROOMS	TRIM TO RECEIVE SEMI-GLOSS PAINT; WALLS TO RECEIVE EGGSHELL
P-5	INTERIOR PAINT	BENJAMIN MOORE	SEMI-GLOSS	2050-30, NEWPORT GREEN	COLOR PREVIEW	EXAM ROOM MURAL, ACCENT	
P-6	INTERIOR PAINT	BENJAMIN MOORE	SEMI-GLOSS	2070-60, LAVENDER MIST	COLOR PREVIEW	RESTROOMS	RESTROOM WALLS TO RECEIVE ANTI-MICROBIAL PAINT
WC-1	WALL COVERING	DESIGNTEX		CUSTOM DESIGN, MINT		RECEPTION	PROVIDE LEVEL 5 WALL FINISH
TL-2	WALL TILE	DALTILE	GLOSSY	1467, WOOD VIOLET	COLOR WHEEL, 3X6 TILE	RESTROOM	INSTALL ON WALL WITH SINK 4' A.F.F. GROUT: LATCERITE 88 SILVER SHADOW
BASE							
WB-1	RUBBER WALL BASE	JOHNSONITE		MW-08-H, ICICLE 08	MANDALAY		4.5" H
IB-1	COVE TILE BASE	DALTILE		PF-02, WHITE	PORTFOLIO, PF02P36C9TB1P2		
FLOOR FINISH							
LVT-1	LUXURY VINYL TILE	MOHAWK		838 CUMBERLAND	LARGE AND LOCAL RESTORATION		NO SUBSTITUTION
TL-1	PORCELAIN TILE	DAL TILE		PF-02, WHITE	PORTFOLIO, PF02RCT1224MT	RESTROOM	GROUT: LATCERITE 88 SILVER SHADOW
CEILING FINISH							
AT-1	24" X 24" SUSPENDED ACoustical PANELS, ECHO GUARD FIBERGLASS TEGULAR/FLAT EDGE	ARMSTRONG	SMOOTH	1410 WHITE	OPTIMA LAY-IN AND TEGULAR, 3251		ARMSTRONG 15/16" PRELUDE XL SUSPENSION GRID AS REQUIRED.
WALK OFF MATT							
WD-1	WALK OFF MAT	MATS INC	STERLING	SUPER NOP 52		BREAK RM MILLWORK	MAT INSTALLED OVER FLOOR FINISH
TRANSITION STRIP							
IS-1	METAL TRANSITION STRIP	SCHULTER	ANODIZED ALUMINUM	BRUSHED NICKEL	SCHIENE	T.O. TILE WAINGR	NO SUBSTITUTION

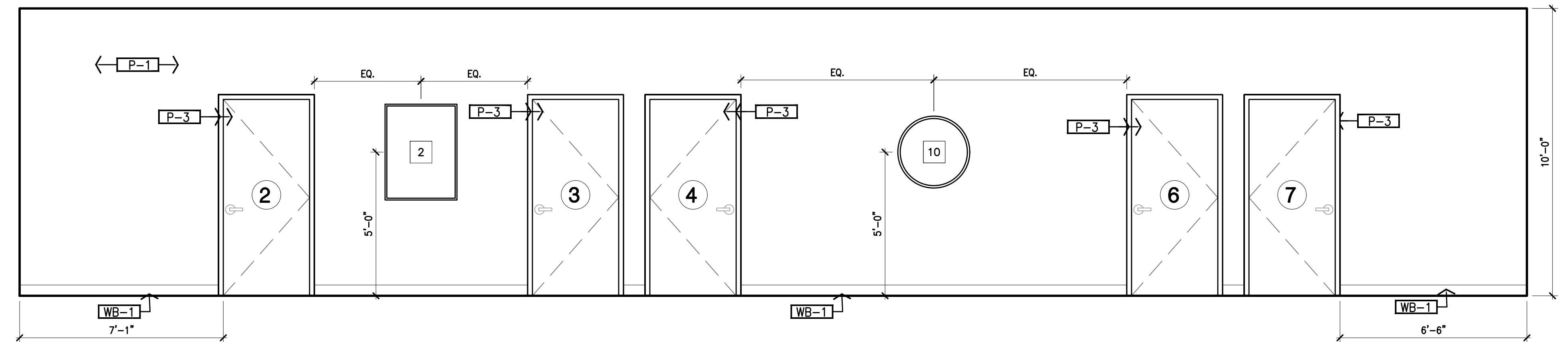
FINISH SCHEDULE

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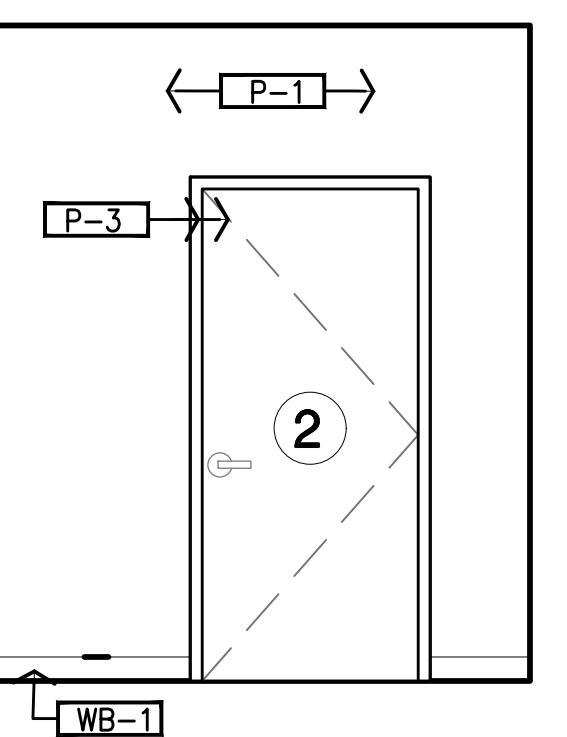
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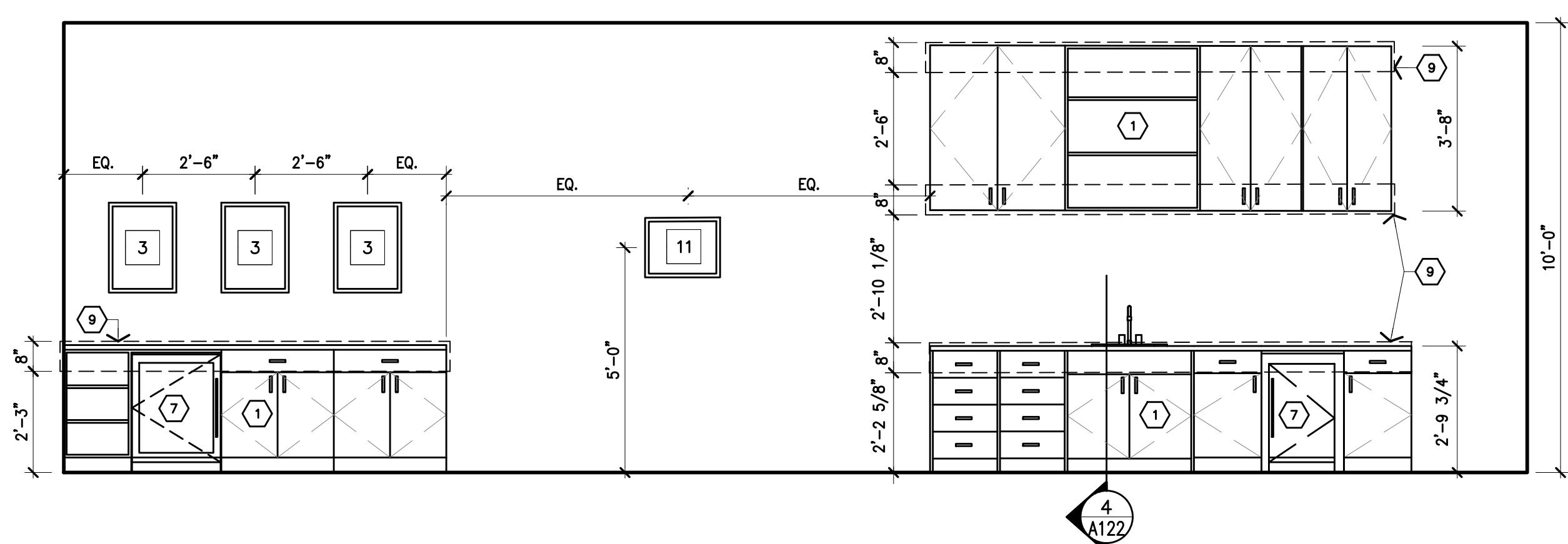
1 ELEVATION - HALLWAY

3/8" = 1'-0"



2 ELEVATION - NURSE STATION

3/8" = 1'-0"



3 ELEVATION - NURSE STATION

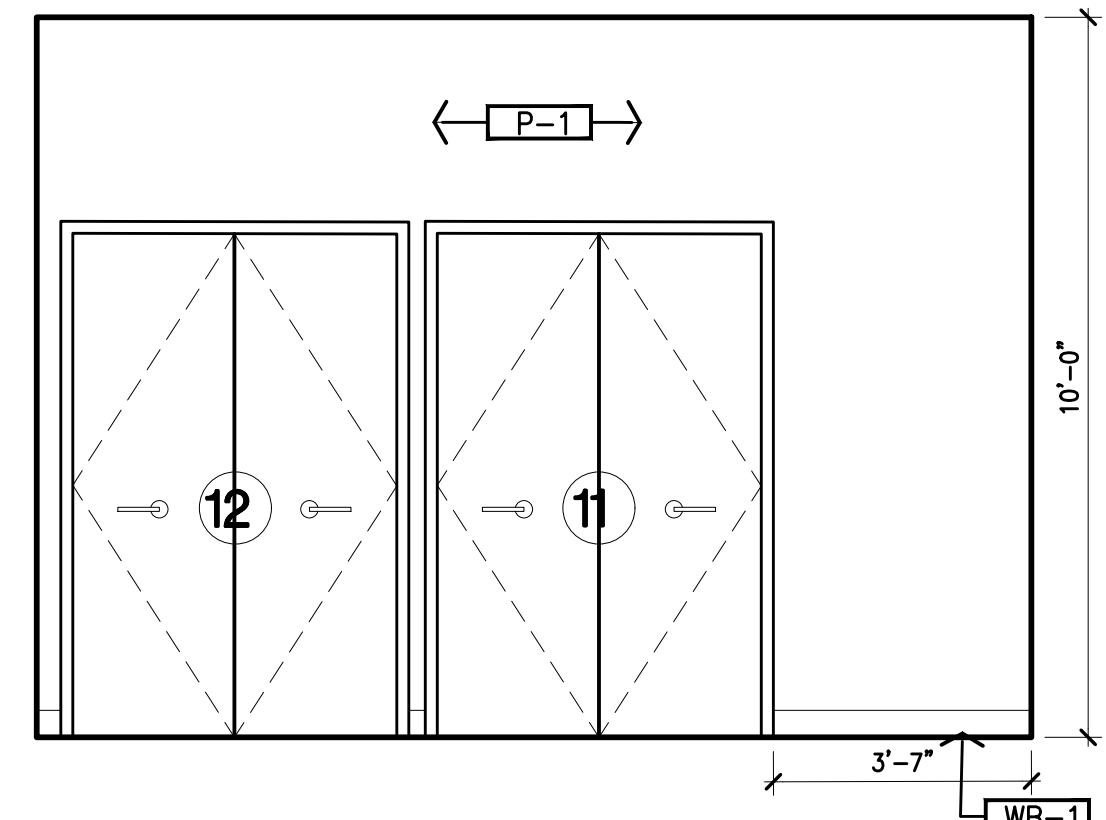
3/8" = 1'-0"

4 ELEVATION - NURSE STATION

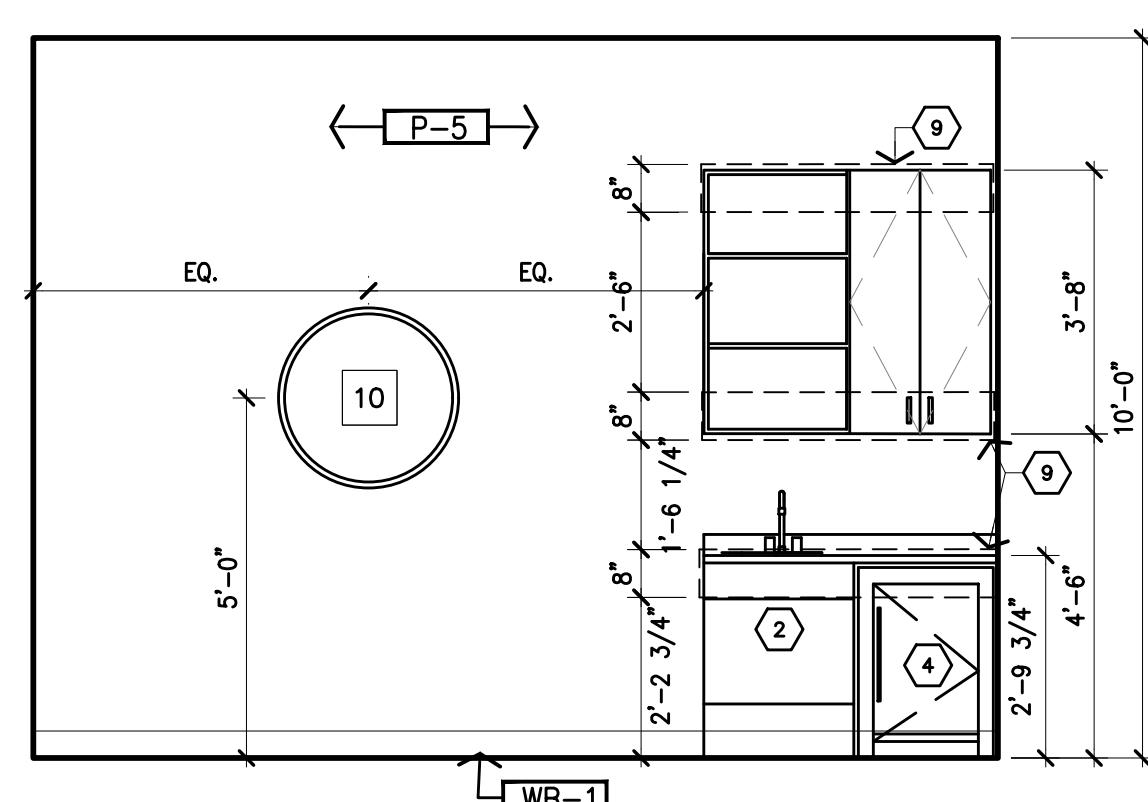
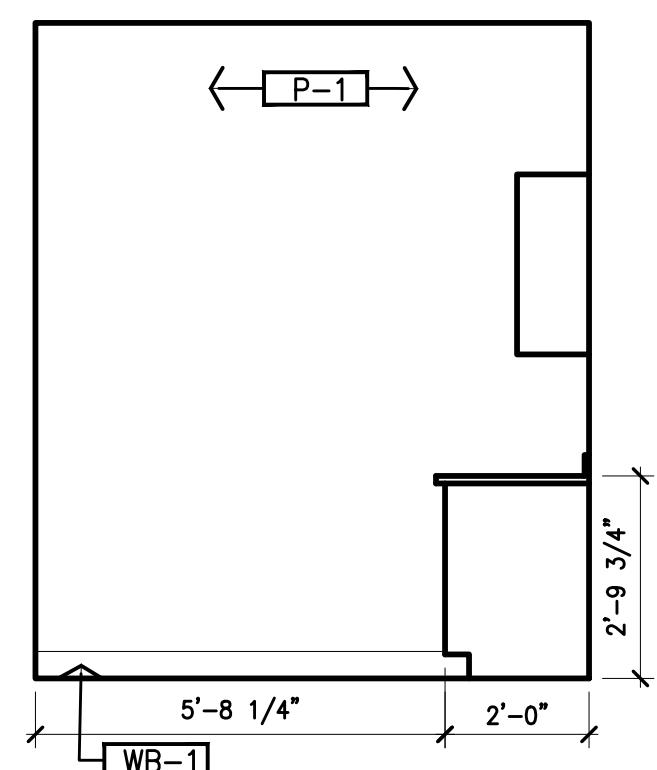
3/8" = 1'-0"

5 ELEVATION - BREAK ROOM

3/8" = 1'-0"



6 NOT USED



7 NOT USED

8 ELEVATION - BREAK RM

3/8" = 1'-0"

SYMBOL	ITEM	DESCRIPTION
1	FRAMED WALL ART	16"x16"; CERTAINLY FRAMED
2	FRAMED WALL ART	30"x40"; BOAT DOCK
3	FRAMED WALL ART	18"x24"; HORIZON II, III, IV
4	FRAMED WALL ART	18"x24"; LES ITALIENNES I, II, III
5	FRAMED WALL ART	20"x16"; MORNING WALK
6	FRAMED WALL ART	20"x16"; HEXAGON
7	FRAMED WALL ART	24"x24"; MYSTICAL-2
8	WALL CLOCK	12" DIA.
9	SHELF W/HOOKS	12-1/2"x12-1/4"
10	WALL MIRROR	30" DIA.
11	FRAMED WALL ART	16"x20"; CLOUD MT

- MILLWORK BY OWNER
- WALL-MOUNTED SIGNAGE BY OWNER-BLOCKING-BY-G.C.
G.C. TO COORDINATE WITH SIGN SHOP DRAWINGS.
- WALL-MOUNTED TV, BLOCKING-BY-G.C.
- OPEN-TO-BEYOND-
- WALL MOUNTED AED DEVICE
- WALL MOUNTED AED SIGN
- REFRIGERATOR BY OWNER
- WALL-MOUNTED BIOHAZARD BOX AND GLOVES.
- G.C. TO INSTALL 5/8" FRT PLYWOOD TO FILL (3) STUD BAYS. LOCATE PLYWOOD 1" ABOVE OUTLET. V.I.F.
- G.C. TO INSTALL 5/8" FRT PLYWOOD TO FILL (3) STUD BAYS.

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Drawn By _____
App'd By _____
Sheet Title _____
Interior Elevations

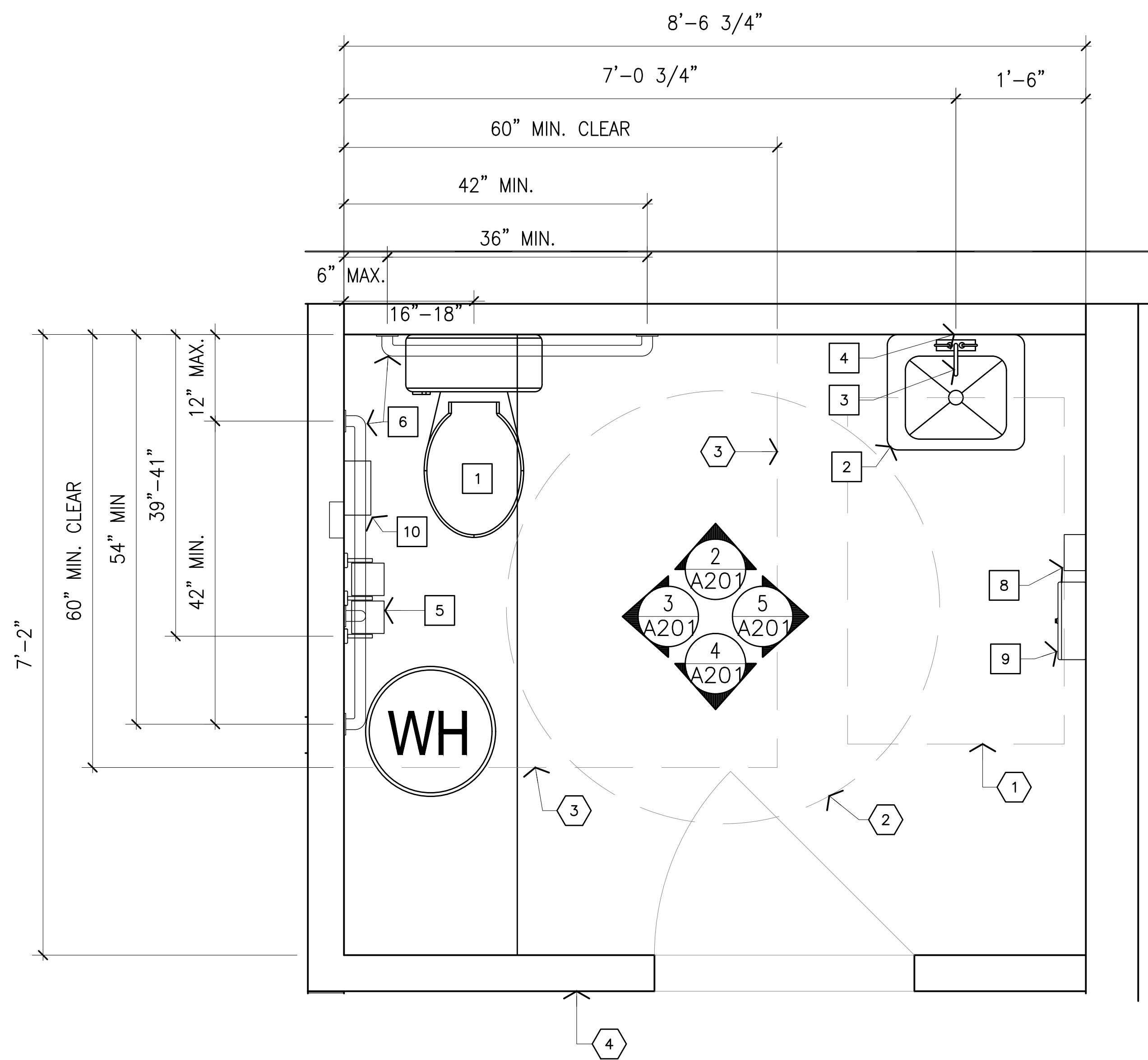
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WALL ART SCHEDULE

KEY NOTES

Issue Date 06/11/24

Revisions	Date	Description	By
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1 ENLARGED RESTROOM PLAN

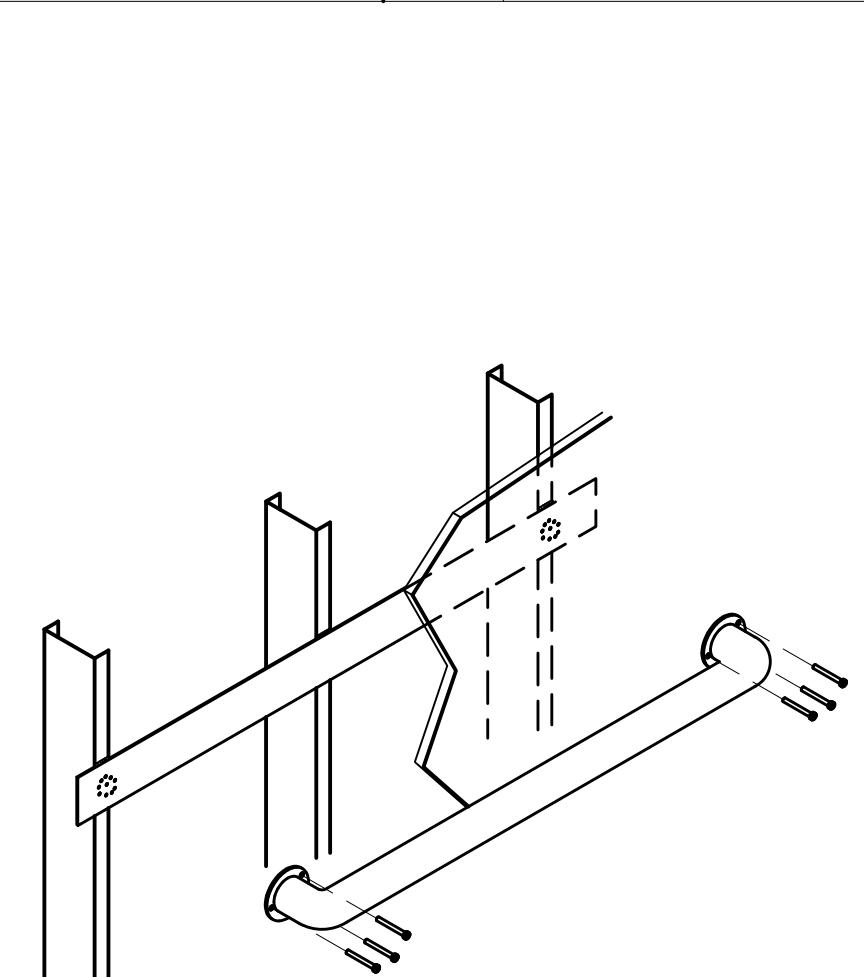
1' = 1'-0"

SYMBOL	ITEM	SPECIFICATION	VENDOR	PART #	ACCESSORIES	SUPPLY	INSTALL
1	ADA FLOOR MOUNTED TOILET	KOHLER HIGHLINE COMFORT HEIGHT TWO PIECE ELONGATED 1.28 GPF CHAIR HEIGHT TOILET, WHITE, KOHLER WELLWORTH, HIGHLINE TOILET TRIP LEVER, MATTE BLACK, KOHLER LUSTRA ELONGATED TOILET SEAT K-4650, WHITE	KOHLER	K-3999-0 OR K-3999-RA-0	TRIP LEVER-K-937 9-BL TOILET SEAT-K-4850	G.C. TO SUPPLY	G.C. TO INSTALL
2	ADA LAVATORY	ME BY STARCK COMPACT, FINISH: WHITE	DURAVIT	23436000	[3]	G.C. TO SUPPLY	G.C. TO INSTALL
3	FAUCET	TRISIC SINGLE HANDLE HIGH-ARC BATHROOM FAUCET, FINISH: STAINLESS	DELTA	559HA-SS-DST	-	G.C. TO SUPPLY	G.C. TO INSTALL
4	MIRROR	24"x36" MIRROR WITH STAINLESS STEEL ANGLE FRAME	BOBRICK	B-290	-	G.C. TO SUPPLY	G.C. TO INSTALL
5	TOILET PAPER HOLDER	SURFACE-MOUNTED TOILET TISSUE DISPENSER AND UTILITY SHELF	BOBRICK	B-2840	-	G.C. TO SUPPLY	G.C. TO INSTALL
6	ADA GRAB BAR	42", 36" AND 18". FINISH: BRUSHED NICKEL	KARTNERS	8289536-81 / 8289542	-	G.C. TO SUPPLY	G.C. TO INSTALL
7	HOOK	SURFACE-MOUNTED, FINISH: SATIN STAINLESS STEEL	BOBRICK	B-76717	-	G.C. TO SUPPLY	G.C. TO INSTALL
8	SOAP DISPENSER	SURFACE-MOUNTED, FINISH: SATIN STAINLESS STEEL	BOBRICK	B-2112	-	G.C. TO SUPPLY	G.C. TO INSTALL
9	PAPER TOWEL DISPENSER	SURFACE-MOUNTED, FINISH: SATIN STAINLESS STEEL	BOBRICK	B-2620	-	G.C. TO SUPPLY	G.C. TO INSTALL
10	SANITARY NAPKIN DISPOSAL	SURFACE-MOUNTED, FINISH: SATIN STAINLESS STEEL	BOBRICK	B-270	-	G.C. TO SUPPLY	G.C. TO INSTALL

RESTROOM FIXTURES AND ACCESSORIES

4 ENLARGED RESTROOM PLAN

1/2" = 1'-0"



ANCHOR PLATES ARE 12 GAUGE STEEL AND 3" WIDE (LENGTH VARIES). FURNISHED WITH STAINLESS STEEL MACHINE SCREWS TO ACCOMMODATE WALL FINISHES TO 1 1/2" THICK ANCHOR PLATES SECURED TO STUDS BY WELDING, WIRING OR SELF THREADING SCREWS.

WATER CLOSET:
THE HEIGHT IS REQUIRED TO BE A MINIMUM OF 17 INCHES AND A MAXIMUM OF 19 INCHES MEASURED TO THE TOP OF THE SEAT. FLUSH CONTROLS ARE TO BE OPERABLE BY AN OSCILLATING HANDLE WITH A MAXIMUM OPERATING FORCE OF 3 lbs. OR BY A REMOTE LOW VOLTAGE BUTTON. THE HANDLE OR BUTTON SHALL BE LOCATED ON THE OPEN SIDE OF THE WATER CLOSET.
THE REQUIREMENTS FOR TOILET COMPARTMENTS DEPEND ON THE SIZE OF THE WATER CLOSET, SO IT IS IMPORTANT TO KNOW WHAT TYPE ONE IS USE WHEN DESIGNING THE ROOM. THE REQUIREMENTS FOR THE ADA WATER CLOSET AND COMPETITIVE BIDDING MAY CAUSE LATER CHANGES IN THE WATER CLOSET USED. THE FOLLOWING TABLE IS A GENERALIZATION OF THE TYPICAL SIZES AVAILABLE IN THE COMMONLY USED TYPES OF WATER CLOSETS. IF THERE IS ANY DOUBT, DESIGN FOR THE LARGEST TYPE THAT MIGHT BE USED.

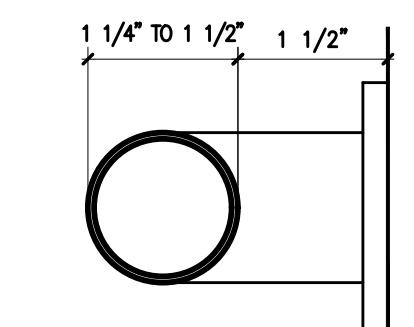
LAVATORY:
PROVIDE A CLEARANCE OF AT LEAST 20 INCHES FROM THE FLOOR TO THE BOTTOM OF THE APPARATUS. CLEARANCE DEPTH IS TO BE UP TO A MAXIMUM OF 30 INCHES WIDE WITH 8 INCHES MINIMUM DEPTH AT THE TOE. PROVIDE THE CLEARANCE AT LEAST 30 INCHES WIDE, TO 9 INCHES ABOVE THE FLOOR AND 17 INCHES DEEP FROM THE FRONT OF THE LAVATORY.

PROVIDE A CLEAR FLOOR SPACE 30 INCHES BY 48 INCHES IN FRONT OF THE LAVATORY. THE CLEAR SPACE MAY EXTEND INTO KNEE AND TOE SPACE UNDERNEATH THE LAVATORY.

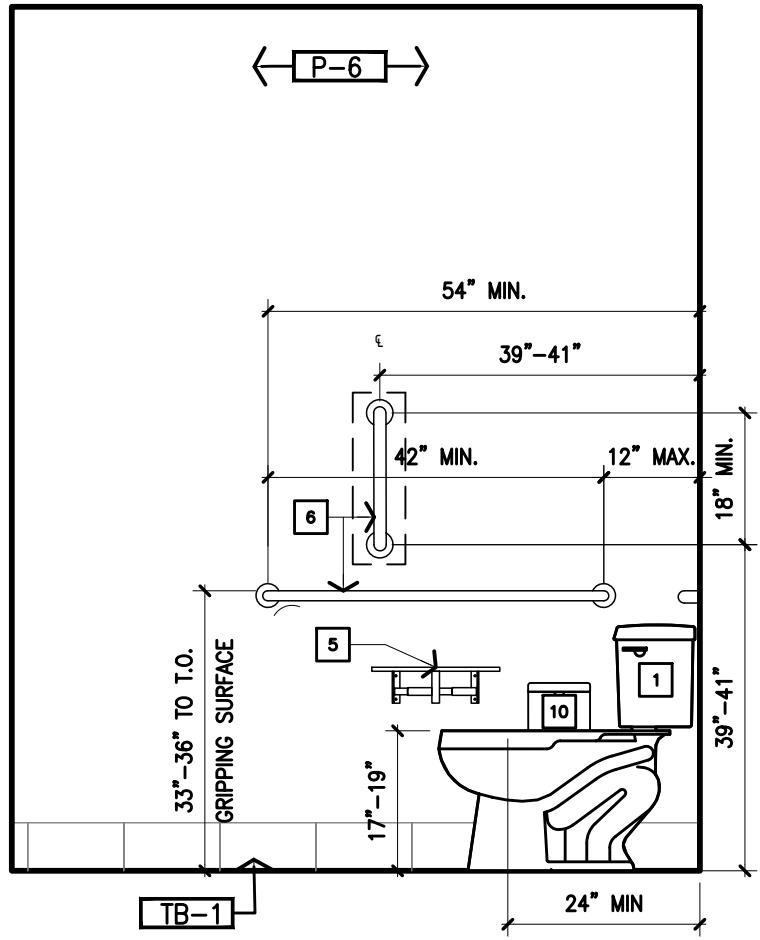
INSULATE OR COVER HOT WATER AND DRAIN PIPES UNDER LAVATORIES.

NO SHARP OR ABRASIVE SURFACES ARE ALLOWED UNDER LAVATORIES.
FAUCET CONTROLS AND OPERATING MECHANISMS ARE REQUIRED TO BE OPERABLE WITH ONE HAND AND CAN NOT REQUIRE GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS IS NOT TO EXCEED 5 lbs. LEVER-OPERATED, ASPIRATION, ELECTRONICALLY CONTROLLED MECHANISMS ARE EXEMPT. FAUCET DESIGN WITH SELF-CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 10 SECONDS.

ACCESSORIES:
WHERE SANITARY NAPKIN AND WASTE RECEPACES AND SIMILAR DISPENSING AND DISPOSAL FIXTURES ARE PROVIDED, AT LEAST ONE OF EACH TYPE IS TO BE LOCATED WITH ALL OPERABLE PARTS, INCLUDING COIN SLOTS, WITHIN 40 INCHES FROM THE FLOOR.

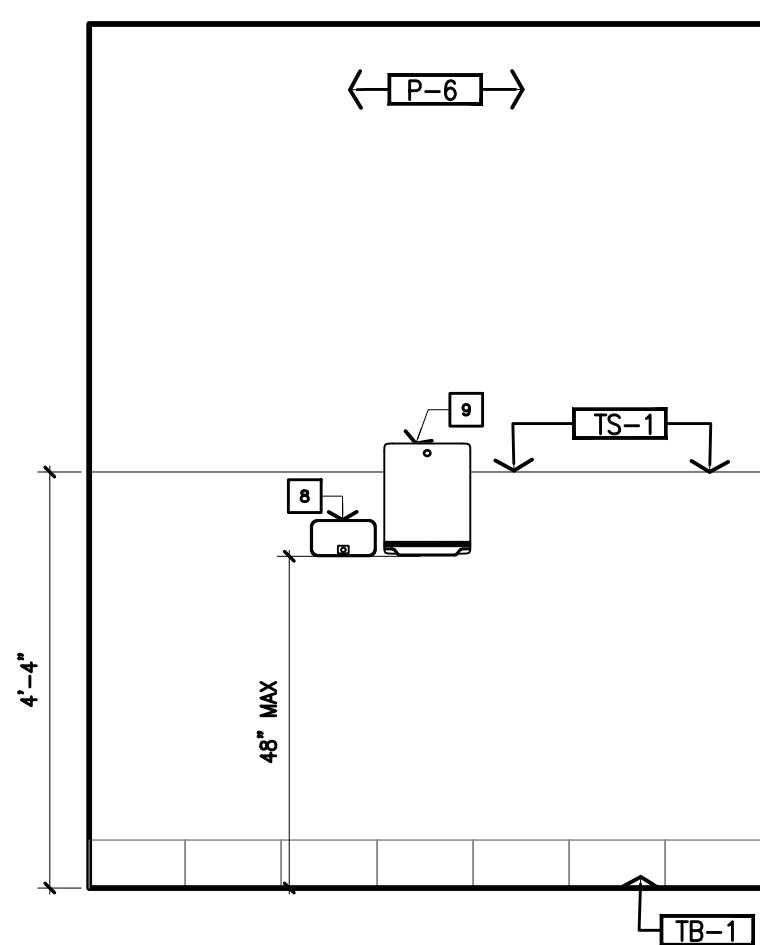


RESTROOM NOTES



3 ENLARGED RESTROOM PLAN

1/2" = 1'-0"



5 ENLARGED RESTROOM PLAN

1/2" = 1'-0"

- 30" X 48" CLEARANCE @ SINK
- 5"-0" TURNING RADIUS
- 60" X 60" CLEARANCE @ ADA WATER CLOSET
- (N) ADA RESTROOM SIGNAGE, REF: 3/G102
- (N) WALL-MOUNTED ILLUMINATED WALL SCONCE, REF: ELECTRICAL DRAWINGS.

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Job Number 22759

Drawn By

App'd By

Sheet Title

Enlarged Restroom Plan & Elevations

Sheet Number

A201

KEY NOTES