

Charlotte Historic District Commission

Agenda Supplement

September 10, 2025

Applicant/Staff Provided Information

3. 3105, 3109, 3113, 3117, 3121 Colyer PI (PID 09506133, 09506134, 09506135, 09506136, & 09506137)

HDCRMA-[2024-00336](#)

Plaza Midwood

Panchali Sau & John Mang, Applicants

4. 1724 Wilmore Dr (PID 11909510)

HDCRMA-[2025-00247](#)

Wilmore

Hannah & Zach Leitner, Applicants

5. 700 Templeton Av (PID 12305619)

HDCRMAA-[2025-00109](#)

Dilworth

Jacqueline Bailey, Applicant

Information Submitted by the Public

3. 3105, 3109, 3113, 3117, 3121 Colyer PI (PID 09506133, 09506134, 09506135, 09506136, & 09506137)

HDCRMA-[2024-00336](#)

Plaza Midwood

Panchali Sau & John Mang, Applicants

Lamy, Elizabeth

From: John Mang <jmang@intecgroup.net>
Sent: Tuesday, September 9, 2025 11:26 AM
To: Lamy, Elizabeth; Panchali Sau; Harpst, Kristina; Russell Fergusson
Cc: Leite, Candice; Chantry, Erin; Edwards, Mandy; Drath, Marilyn
Subject: [EXT]Re: [EXT]Re: [EXT]Re: [EXT]Re: [EXT]Re: [EXT]Re: [EXT]Re: [EXT]Re: [EXT]CO hold VL Residences Building 3

Attachments: 250909_Van Landingham HDC-supplimental info.pdf

EXTERNAL EMAIL: This email originated from the Internet. Do not click any images, links or open any attachments unless you recognize and trust the sender and know the content is safe. Please click the Phish Alert button to forward the email to Bad.Mail.

Hi Elizabeth,

Please see attached additional items requested on page 6 of the staff analysis with our comments in Red. Revised Slides (not entire presentation) attached and supportive of the narratives below. Looking forward to connecting on this in the meeting tomorrow!

Staff Analysis

The initial application intake email is provided after the Staff comments.

Staff has the following comments about the proposal:

1. Doors and Window Changes, per Design Standard 6.15.

a. No changes are proposed to the plans submitted/reviewed at the July meeting. – The Request of the commission was to further study the window conditions. No Changes to the physical window locations or types due to code requirements and structural framing constraints are proposed in this presentation. Examples of windows not aligning and single over double window types stacked over each other within the district provided.

2. Cornices and Trim Changes per Design Standard 6.14.

a. No changes are proposed to the plans submitted/reviewed at the July meeting. – This is incorrect. Upon further study the inconsistent cornice and trim details, it has been observed that the trim detail is been installed in a consistent manner around the building. The gutter terminations are inconsistent. It is proposed to rework the gutters into a consistent termination point as shown in the before and after photoshop images.

3. Column details, per Design Standards for Masonry, 5.5 and Cornices and Trim, 6.14. – No Changes are proposed at the column capitals and trim. Examples of similar conditions in the district have been provided for precedent.

a. No changes are proposed to the plans submitted/reviewed at the July meeting.

4. Elevations Changes

- a. The addition of wood trellis with small brackets above the garage doors does not match the architectural style of the rest of the building. Trellis has been replaced with a small shed roof and brackets consistent with the detailing of the project. Lighting shall be changed to concealed/recessed soffit lights- exterior sconces where trellis is utilized will be omitted as there is not enough space in the brick and do not make architectural sense to be located above a solid roof. Relocating the sconces to the sides of the garage door is not an option
- b. The diagonal siding in the double panels under triple windows will be replaced with three smooth finish fiber cement panels that align with the triple windows.
- i. The change to smooth paneling is more contemporary and does not match the architectural style of the rest of the building. – Three panels added per COA Documents. Side panels shall have diagonal siding per COA Documents. Middle panel shall have Horizontal siding. Smooth panels have been omitted from proposal.
- ii. Trim detailing around the revised panels has not been specified. Trim shall be Painted fiber cement consistent with COA Documents with dimensions to match the window mullion and spacing of the windows above and below.
- iii. It is unclear if the remaining panels with diagonal siding will remain as-is or also switch to a smooth finish. -All diagonal trim panels shall remain per the approved COA documents
- c. The brick sill on above the front porch roof of Unit 3105 is still covered with flashing, and no alternative has been proposed. – As explained in the presentation, The depth of flashing at masonry walls is minimally sized in the vertical direction to provide adequate protection from water intrusion and is a typical detail seen throughout Historic Districts on chimneys (step flashing) and porches based on current building technologies, manufacturers installation requirements and general best practices.
- d. Light Fixtures:
- 6i. ii. No new location for light fixtures has been provided. – See response to item 4A above Lighting shall be changed to concealed/recessed soffit lights- exterior sconces where trellis is utilized will be omitted as there is not enough space in the brick and do not make architectural sense to be located above a solid roof. Relocating the sconces to the sides of the garage door is not an option
- The alternate style of light fixture is not incongruous with Standards for Lighting
8.12, numbers 4, 6, and 8. . – Alternate light Fixture omitted.
- Thank you,
John

ITEM 1: Door and window changes, per Design Standards 6.15



COA APPROVED DRAWING



AS-EXISTS PHOTOGRAPH



COA APPROVED DRAWING



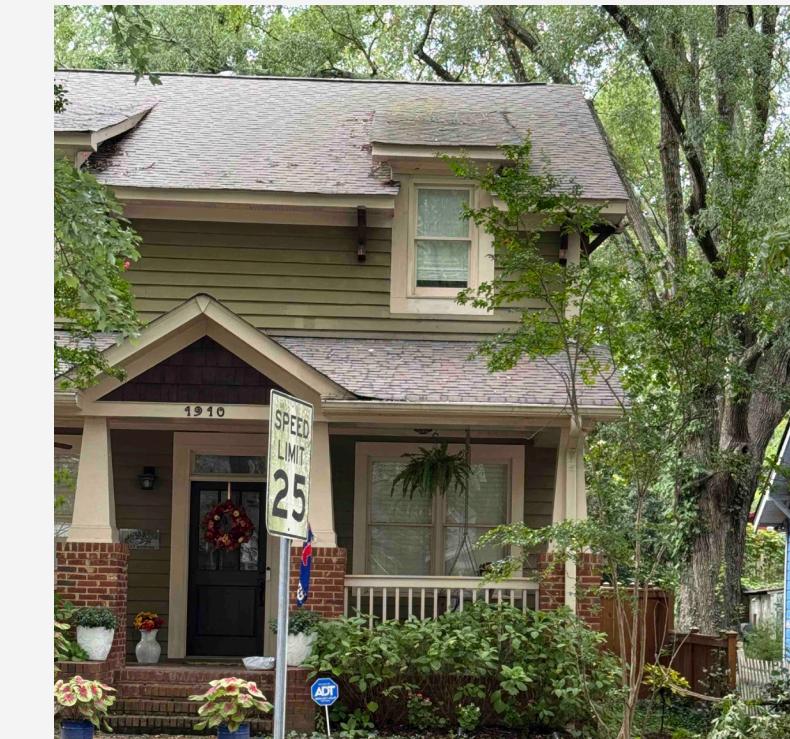
AS-EXISTS PHOTOGRAPH

SOUTH ELEVATION UNIT 3015

- A Windows align vertically between floors 2 and 3.
- B Overall proportions are similar to COA approved drawings.
- C Right hand stack of windows are justified approximately 8" further to the right in the as built condition.
- D Header soldier course was omitted to provide space for roof and soffit framing on both sides of the eave.
- E 3rd floor right hand window has different mullion condition to provide egress from bedroom. A true divided light double hung window to match the window below and provide adequate egress from bedroom.

NORTH ELEVATION UNIT 3015

- A Right hand windows align vertically between floors 2 and 3 and are per COA approved Drawings.
- B Left hand windows do not align vertically between floors 2 and 3. Third floor window is more narrow and generally aligned with the center of the 2nd floor window below.
- C Header soldier course was omitted to provide space for roof and soffit framing on both sides of the eave.
- D 3rd floor left hand window has different mullion condition to provide egress from bedroom. A true divided light double hung window to match the window below and provide adequate egress.

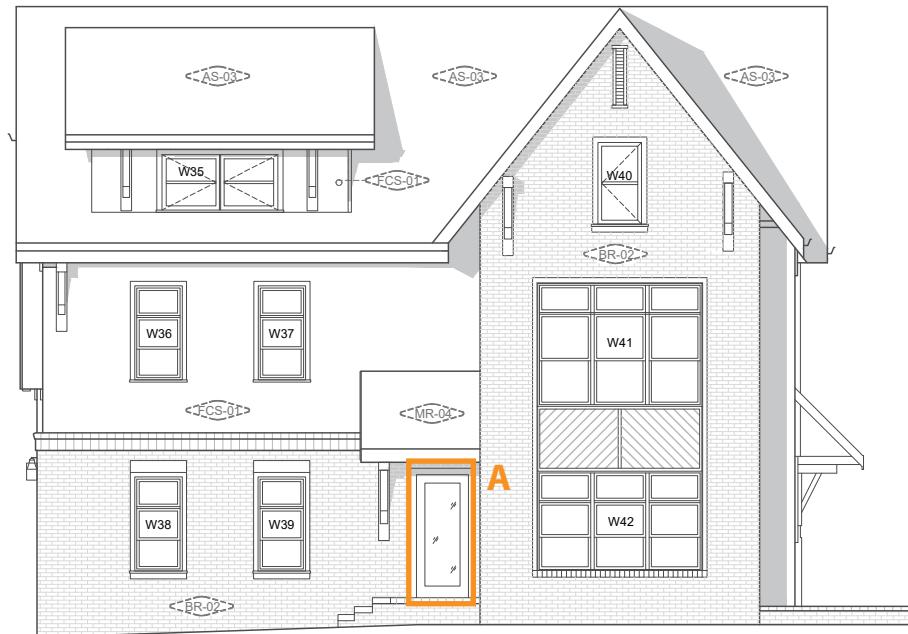


RESIDENCES AT VAN LANDINGHAM
Charlotte, NC 28205

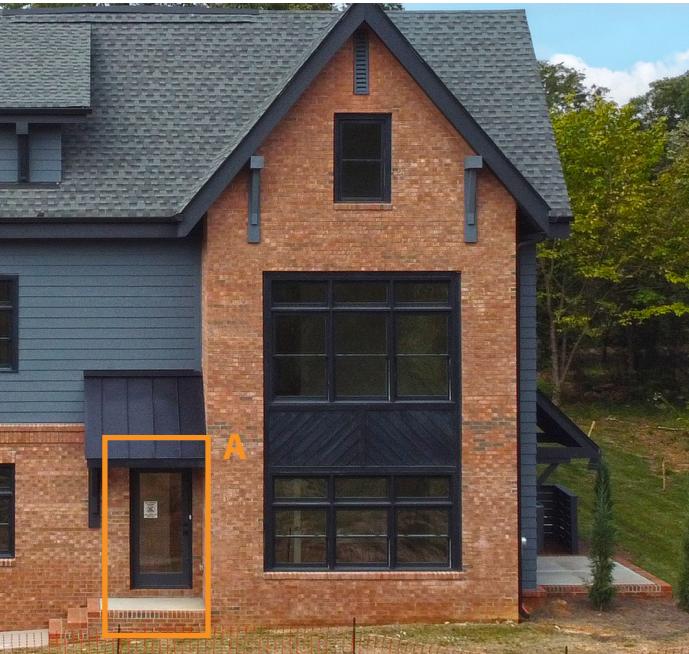
INTEC

INTEC Group, Inc.
2459 WILKINSON BLVD
SUITE 120 - C
CHARLOTTE, NC 28208
P: 704.372.7910
www.intecgroup.net

ITEM 1: Door and window changes, per Design Standards 6.15



AS BUILT DRAWING



AS-EXISTS PHOTOGRAPH



1409 THOMAS AVE.



1801 THOMAS AVE.

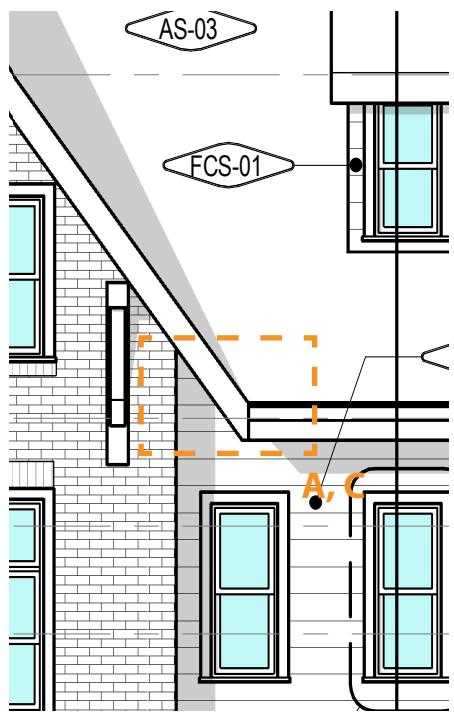
FRONT ENTRANCE / PUBLIC FACING SINGLE LITE GLASS DOORS

- A** A restudy of the public facing single lite doors has been conducted per the commissions request. Upon canvassing the immediate surrounding area in the District, there are multiple instances of single lite entrance doors on historic structures.

Most notably 1409 and 1801 Thomas Avenue. It should be noted that these are single lite entry doors, not all glass storm doors with a multi lite door behind. This is evidenced by the full entrance hardware and deadbolts that can be seen in the photographs.

This condition is noted on primary public street facing porch conditions and main entrances to the residences.

ITEM 2: Cornice and trim changes, per Design Standards 6.14



COA APPROVED
DRAWING



SIMILAR COA APPROVED DETAIL
AS BUILT PHOTOGRAPH



PHOTOSHOP PROPOSED



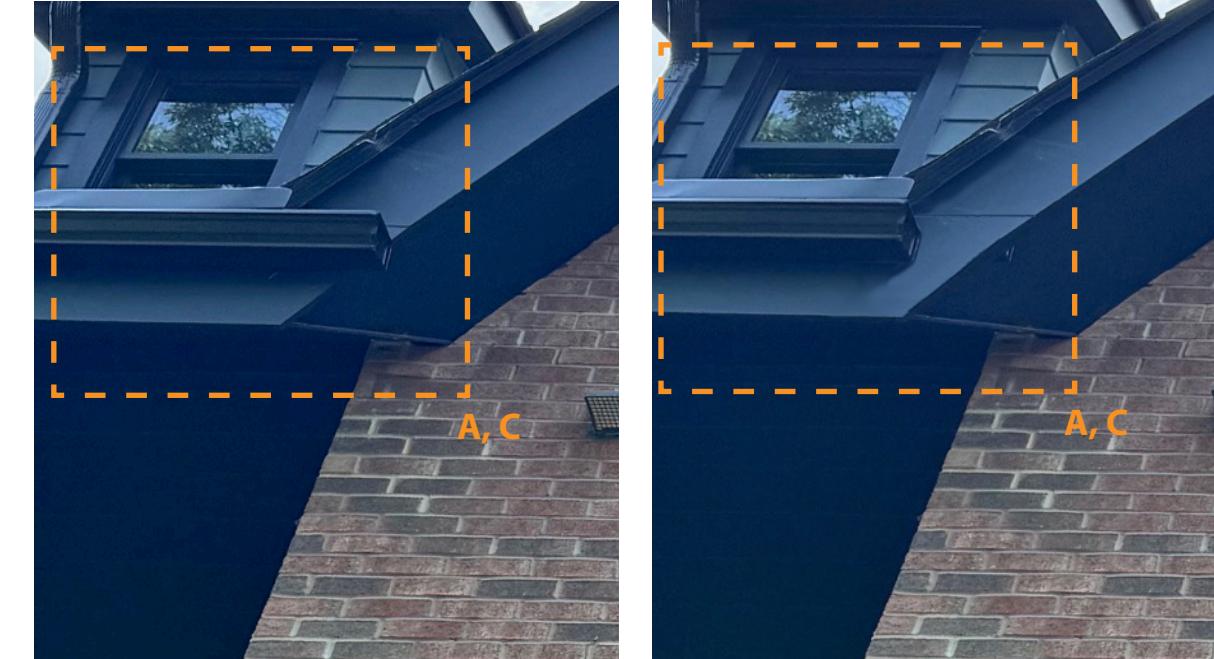
AS-EXISTS PHOTOGRAPH



PHOTOSHOP PROPOSED



AS-EXISTS PHOTOGRAPH



PHOTOSHOP PROPOSED

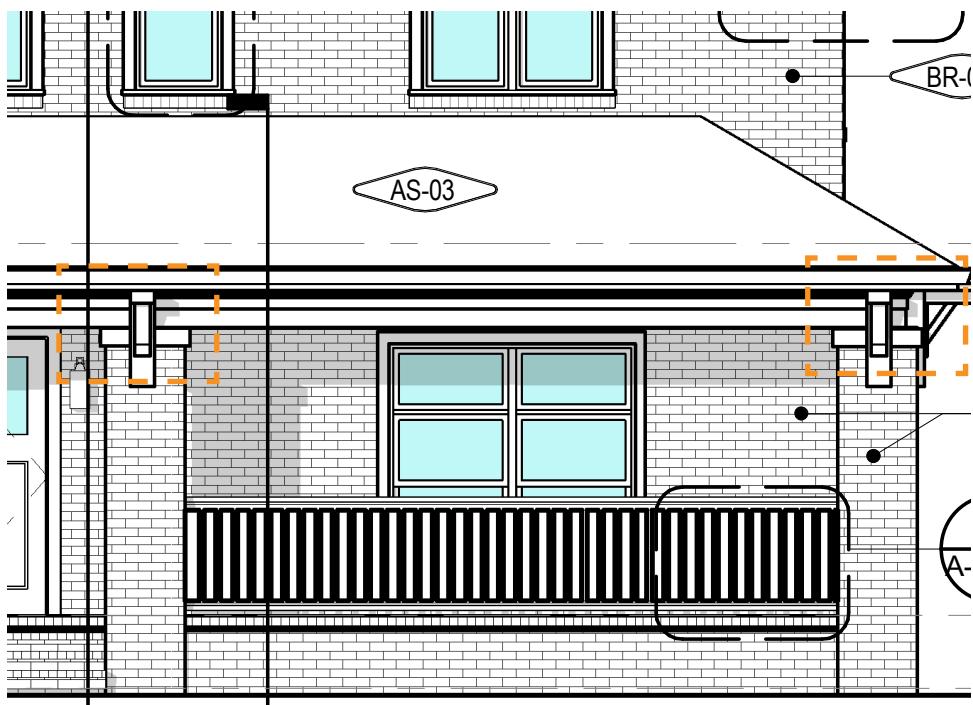
CORNICE DETAILS

A Current cornice and trim details utilize the "flat boards with simple trim to define exterior elements such as eaves, corners, and windows" approach as defined in Design Standards 6.14.

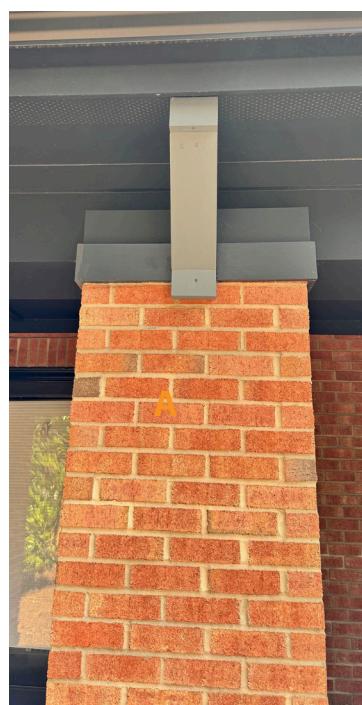
B In general, the trim work is consistent with the elevations in the approved COA drawings. The inconsistent appearance between different locations around the building appear to be a result of inconsistent gutter installations.

IT IS PROPOSED that Inconsistent detailing to be normalized throughout the property by trimming the gutters back to a consistent length in relation to the termination of the cornice / eave detail. Examples of this are provided on this page as "before and after" images. The "before" images consist of as built photographs. The "after" images are those same photographs, altered in photoshop to provide the commission with the most accurate visual representation of the desired outcome of the proposed changes

ITEM 3: Column Details, per Design Standards for Masonry 5.5 and Trim 6.14



COA APPROVED DRAWING



BUILT PER APPROVED COA DRAWINGS



1801 THOMAS AVE.
**ADDITIONAL EXAMPLE OF WOOD COLUMN
CAPITAL AND ALL GLASS FRONT DOOR**

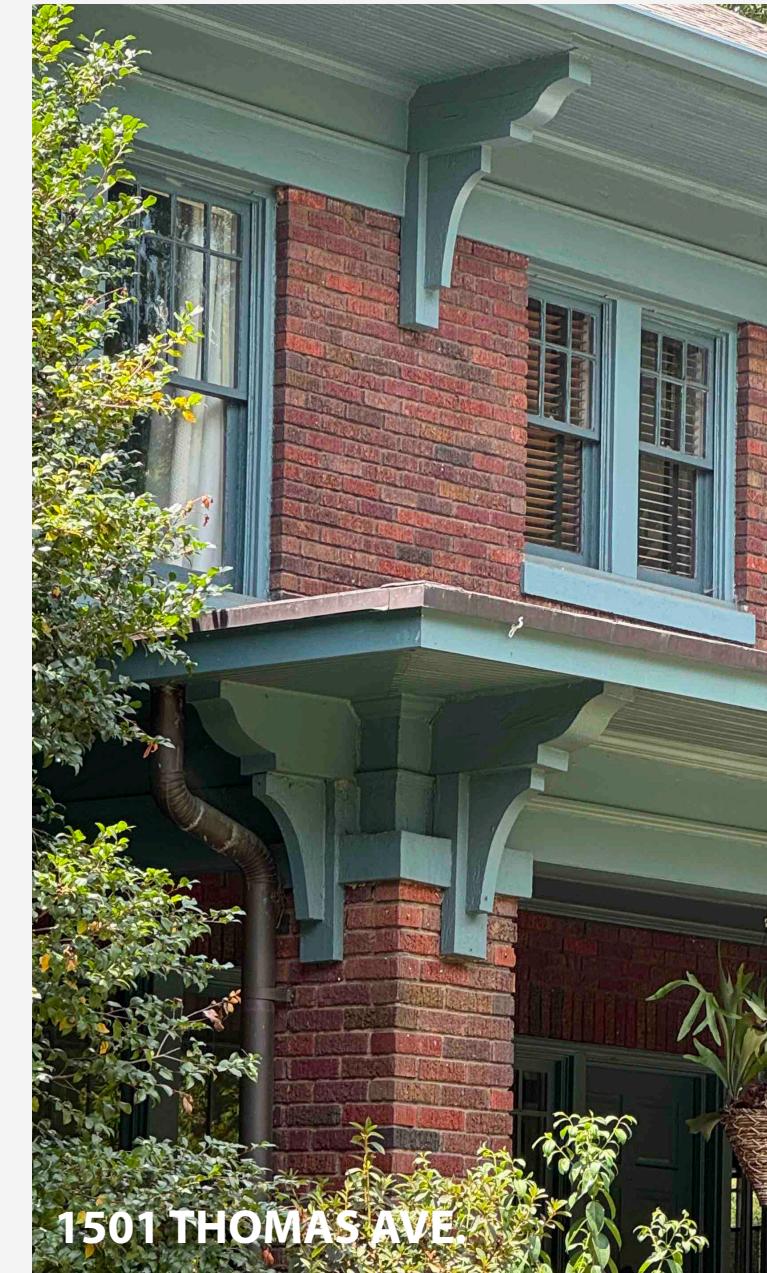


Front Porch Column Details

A A re-study of the front porch columns reveal they are built as drawn and approved COA Drawings. In addition, there are multiple examples of masonry wood capped structures in the immediate surrounding district on historic structures.

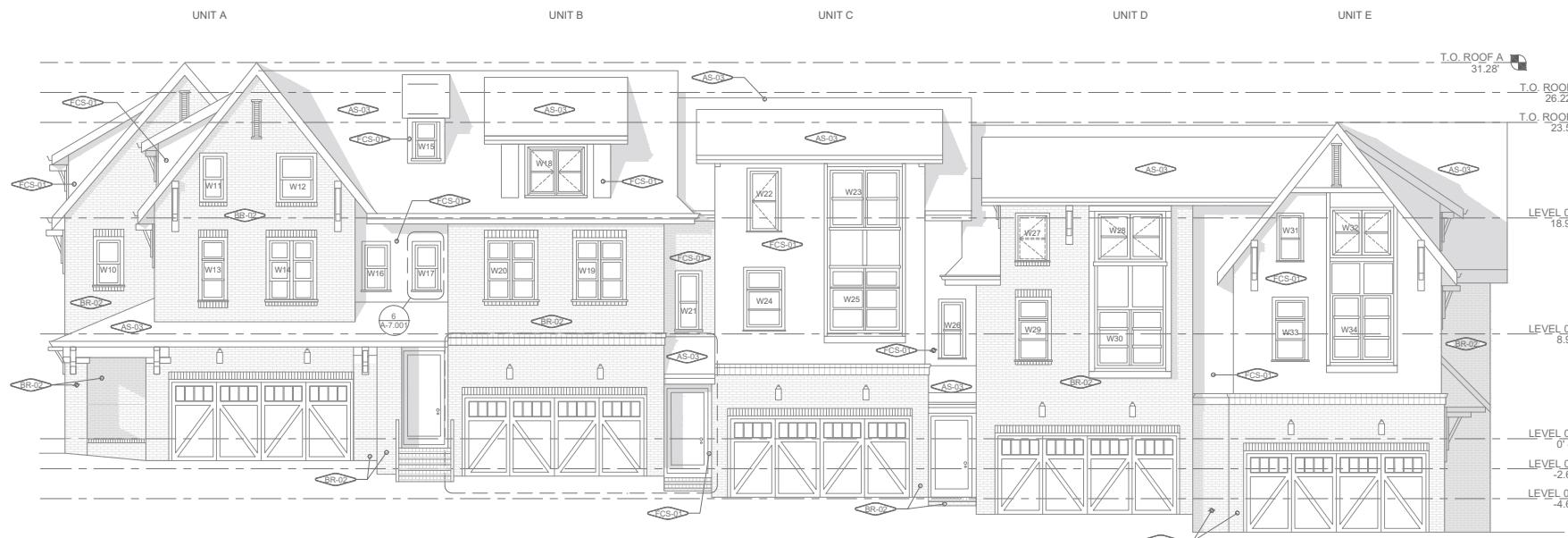
Most notably, 1501 Thomas Avenue has a very similar condition incorporating the eave bracket design into the column capital design and relationship with horizontal beam/soffit trim work.

VDL columns appear to be constructed consistently with the approved COA drawings and contextually relevant historic precedents within the district. - There are no proposed changes as the comments received question the contextual relevance not the as-built condition.

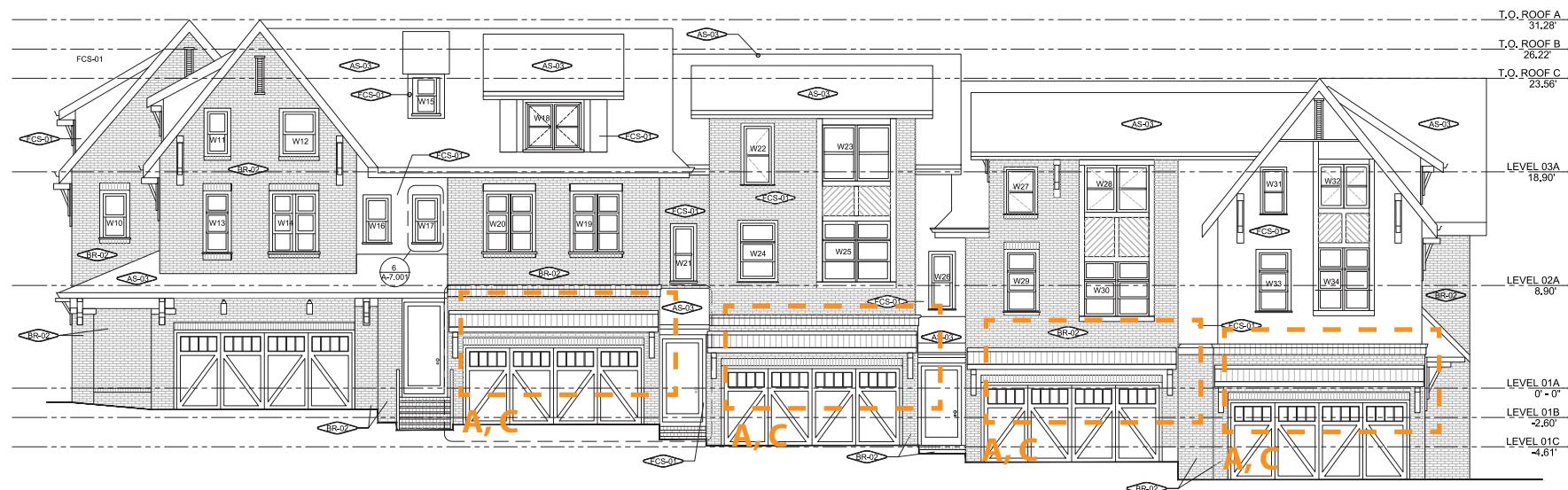


1501 THOMAS AVE.

ITEM 4: ELEVATION CHANGES



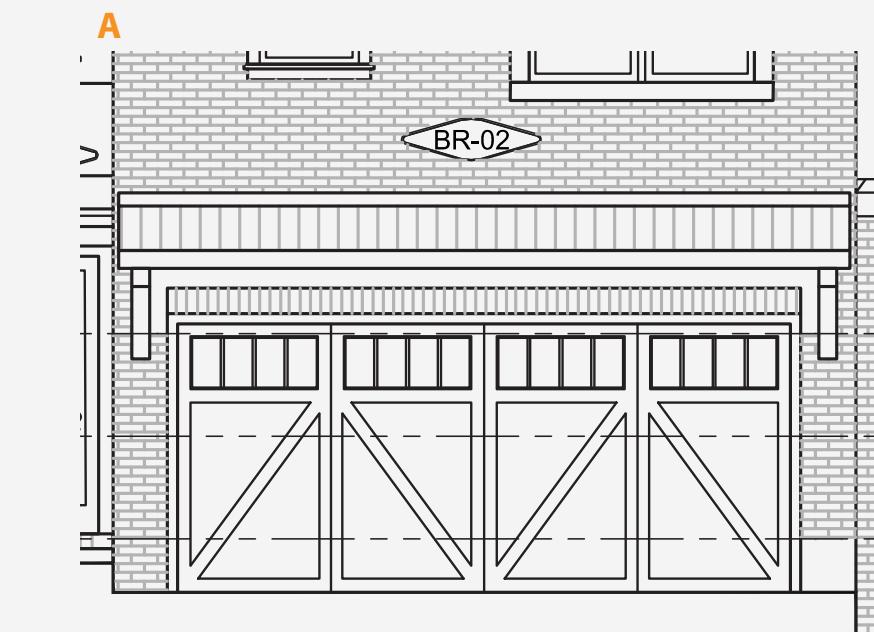
AS BUILT SOUTH ELEVATION



PROPOSED POST CONSTRUCTION CHANGES - SOUTH ELEVATION

ELEVATION CHANGES

- A** To reduce the visual proportions of brick above garage doors we are proposing adding a wood trellis designed and built consistent with the corner bracket details approved in the COA Documents. The dimensions of the brackets will match the "small brackets" at the porch column capitals for consistency and to bring a pedestrian level scale to the garage door openings and alley way.
- B** It is proposed to omit the diagonal siding at these locations requiring three panels to align with window mullions. A third panel will be added to align with the mullions of the windows above and below with a smooth fiber cement panel painted to match the trim color.
- C** Due to structural posts and headers surrounding the doors, the lights cannot be relocated to the side of the doors per the approved COA drawings. We are proposing an alternative light fixture that is an appropriate appearance and use for above door applications. Additionally, this will carry more visual weight than the current fixtures further minimizing the amount of noticeable brick between the first and second floors
- D** Evaluating the brick flashing detail reveals the design initially presented and approved in the COA is not adequate to provide adequate water intrusion measures. The depth of flashing at masonry walls as installed is minimally sized in the vertical direction to provide adequate protection from water intrusion and is a typical detail seen throughout Historic Districts on chimneys (step flashing) and porches based on current building technologies, manufacturers installation requirements and



RESIDENCES AT VAN LANDINGHAM
Charlotte, NC 28205

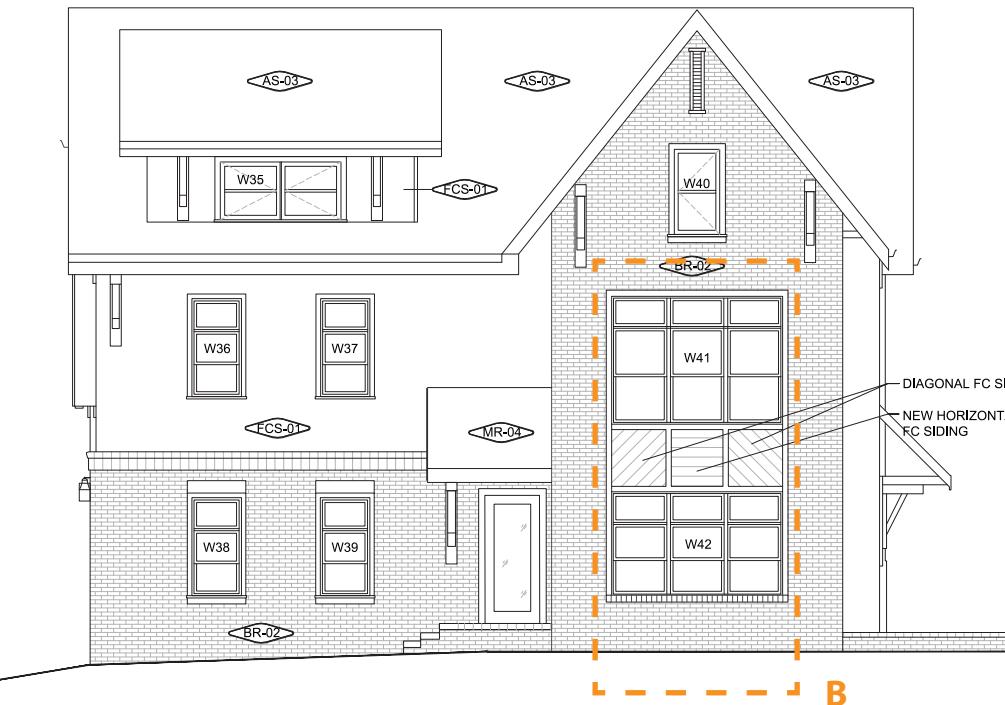
INTEC

INTEC Group, Inc.
2459 WILKINSON BLVD
SUITE 120 - C
CHARLOTTE, NC 28208
P: 704.372.7910
www.intecgroup.net

ITEM 4: ELEVATION CHANGES



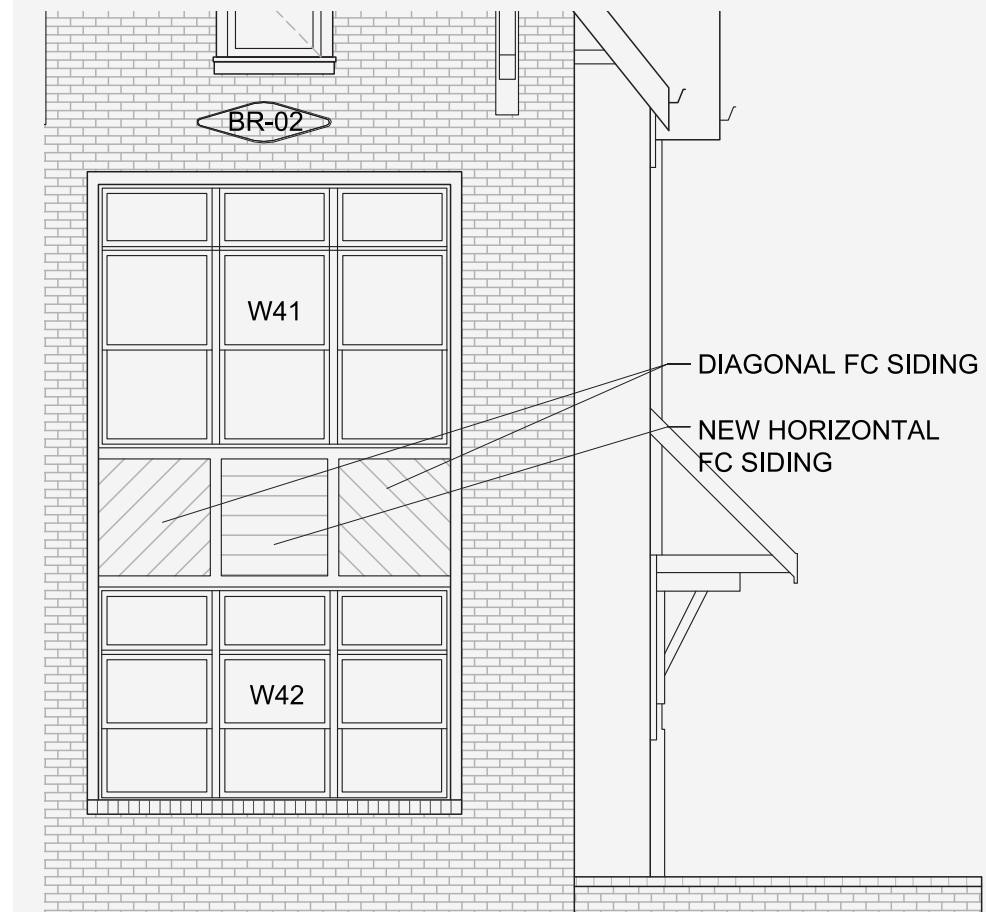
AS BUILT EAST ELEVATION



PROPOSED POST CONSTRUCTION CHANGES
EAST ELEVATION

ELEVATION CHANGES

B It is proposed to modify the diagonal siding at these locations to allow for the three panel design approved in the COA documents. The three panels shall align with window mullions. The two outer panels shall have diagonal siding to match the COA approved design intend and the new middle panel shall be infilled with a horizontally run siding to mathch the horizontal siding of the townhomes. The exposeddimensipoon of the siding dshall be consistent between the diagonal and horizontal panels.



RESIDENCES AT VAN LANDINGHAM
Charlotte, NC 28205

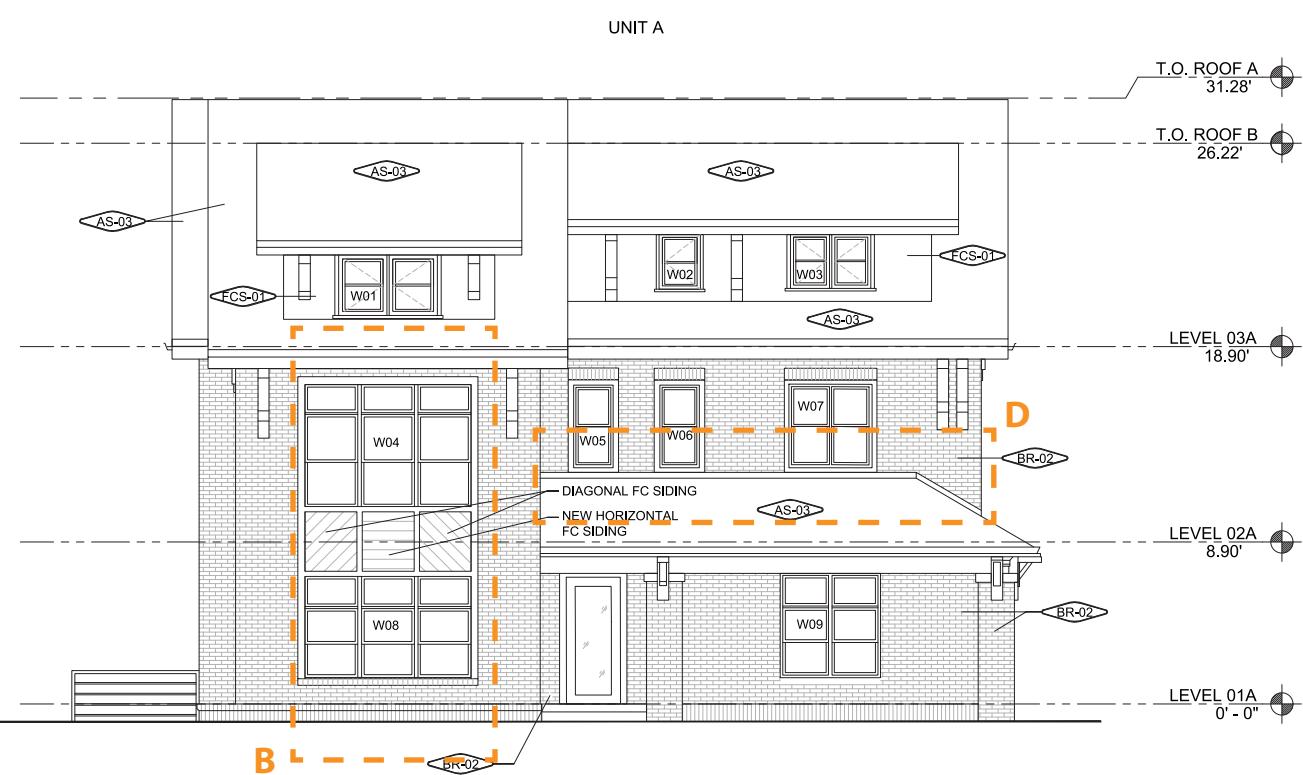
INTEC

INTEC Group, Inc.
2459 WILKINSON BLVD
SUITE 120 - C
CHARLOTTE, NC 28208
P: 704.372.7910
www.intecgroup.net

ITEM 4: ELEVATION CHANGES



AS BUILT WEST ELEVATION



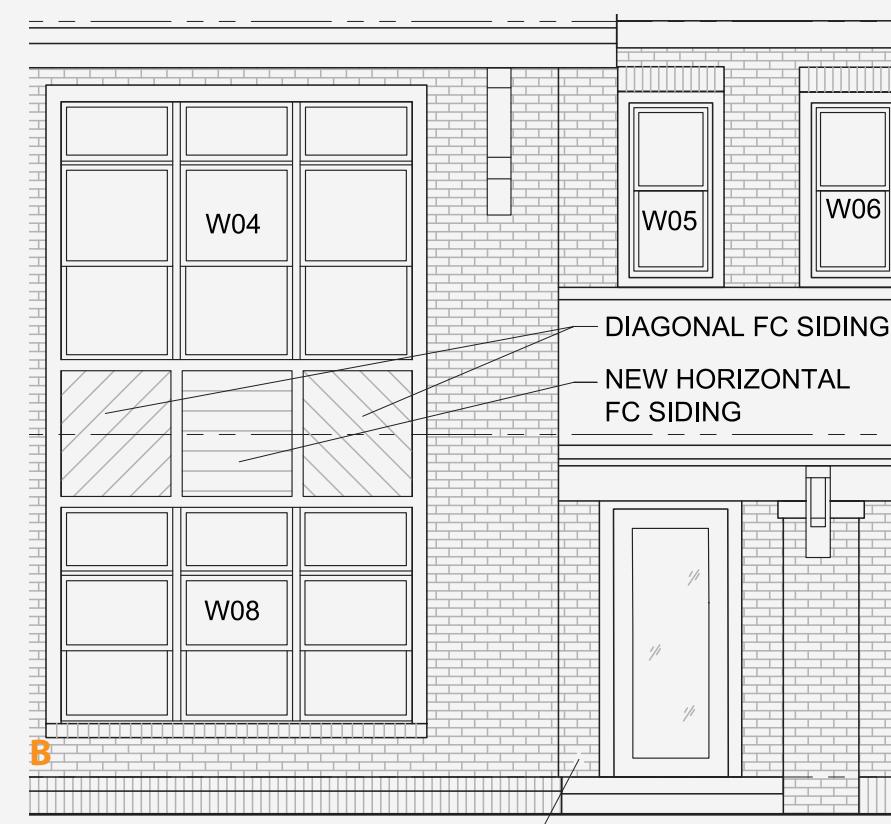
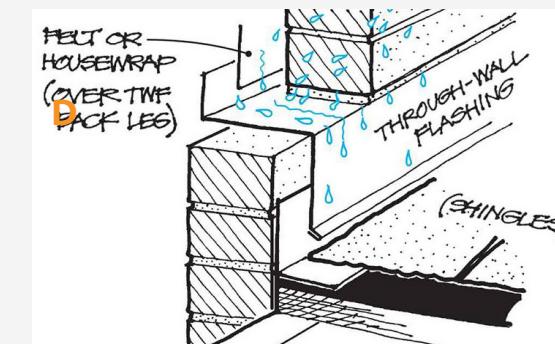
PROPOSED POST CONSTRUCTION CHANGES WEST ELEVATION

EL ELEVATION CHANGES

- B** **It is proposed** to modify the diagonal siding at these locations to allow for the three panel design approved in the COA documents. The three panels shall align with window mullions. The two outer panerls shall have diagonal siding to match the COA approved design intend and the new middle panel shall be infilled with a horizontally run siding to mathch the horizontal siding of the townhomes. The exposeddimensipoon of the siding dshall be consistent between the diagonal and horizontal panels.

- D Evaluating the brick flashing detail reveals the design initially presented and approved in the COA is not adequate to provide adequate water intrusion measures. The depth of flashing at masonry walls as installed is minimally sized in the vertical direction to provide adequate protection from water intrusion and is a typical detail seen throughout Historic Districts on chimneys (step flashing) and porches based on current building technologies, manufacturers installation requirements and general best practices. This detail will not be changed.

NOTE: a minimum of two brick courses are required to provide proper flashing and counter flashing from a brick head wall to a shingle roof.



Information Submitted by the Public

Mitchell T. Gregory

2049 Thurmond Place

(VLE Townhomes Building 4, corner of Belvedere and Thurmond)

Mitchell T. Gregory
2049 Thurmond Place
Charlotte, NC 28205
Mitchell@GregoryFam.Net

September 3rd, 2025

Subject: Vanlandingham Townhomes Building 1 and 4 – Changes to an Approved Certificate of Appropriateness – after-the-fact (HDCRMA-2024-00336)

To the Charlotte Historic District Commission:

I am the owner of the above-referenced townhome located within the VanLandingham Residences development, in Building 4, which is included in the ongoing enforcement proceedings in HDCRMA-2024-00336. I am writing as a concerned homeowner regarding these proceedings and the significant variances identified in the as-built conditions compared to the originally approved design plans.

First, I want to thank the Commission for its attention to detail and continued efforts to hold the Applicant accountable to the design standards established for this development. I share the Commission's concerns expressed during the July meeting about the Applicant's persistent lack of communication and apparent disregard for the HDC's processes and requirements. My own experience with the Applicant has been similarly challenging, particularly in addressing post-occupancy warranty issues, including a serious water pressure code deficiency that affects substantially all homeowners in the development. The standards set forth by the HDC are critical to preserving the character, nature, and historic value of our neighborhood, and I appreciate the Commission's continued commitment to upholding them.

In reviewing [the materials for this enforcement case](#), I would like to raise the following items for further discussion to ensure the Applicant fully complies with HDC requirements across all buildings in the development:

1. **As-built review across all buildings:** Given the large number of variances identified in Building One, how will the HDC ensure compliance with design standards in all four buildings? As an owner in Building 4, I believe it is important that an as-built review be completed for each building individually, especially given the Applicant's history of poor communication and our proximity to the VanLandingham Estate historic landmark.
2. **Design Standard 6.15 – Temporary muntins:** On the east elevation of Building 4, the Applicant installed temporary muntins on entry doors, claiming they were required by the HDC. After reviewing [the standards](#), this does not appear correct, and these doors do not meet HDC requirements. Photos are enclosed for reference.
3. **Design Standard 6.14 – Bracket finishes:** In Building One (3105–3121 Colyer Place), many of the brackets identified in enforcement discussions are inconsistently finished—some are painted black while others remain gray and mismatched. Photos are enclosed. This inconsistency reflects a lack of attention to detail by the Applicant and further evidence of noncompliance with HDC standards.

I respectfully request that the Commission continue its diligent oversight of this project to ensure that all four buildings within the VanLandingham Residences are held to the same standards of compliance as Building One, and that all identified deviations from approved plans are corrected in full alignment with the Commission's design standards.

Thank you for your time and continued dedication to preserving the historic character of our community.

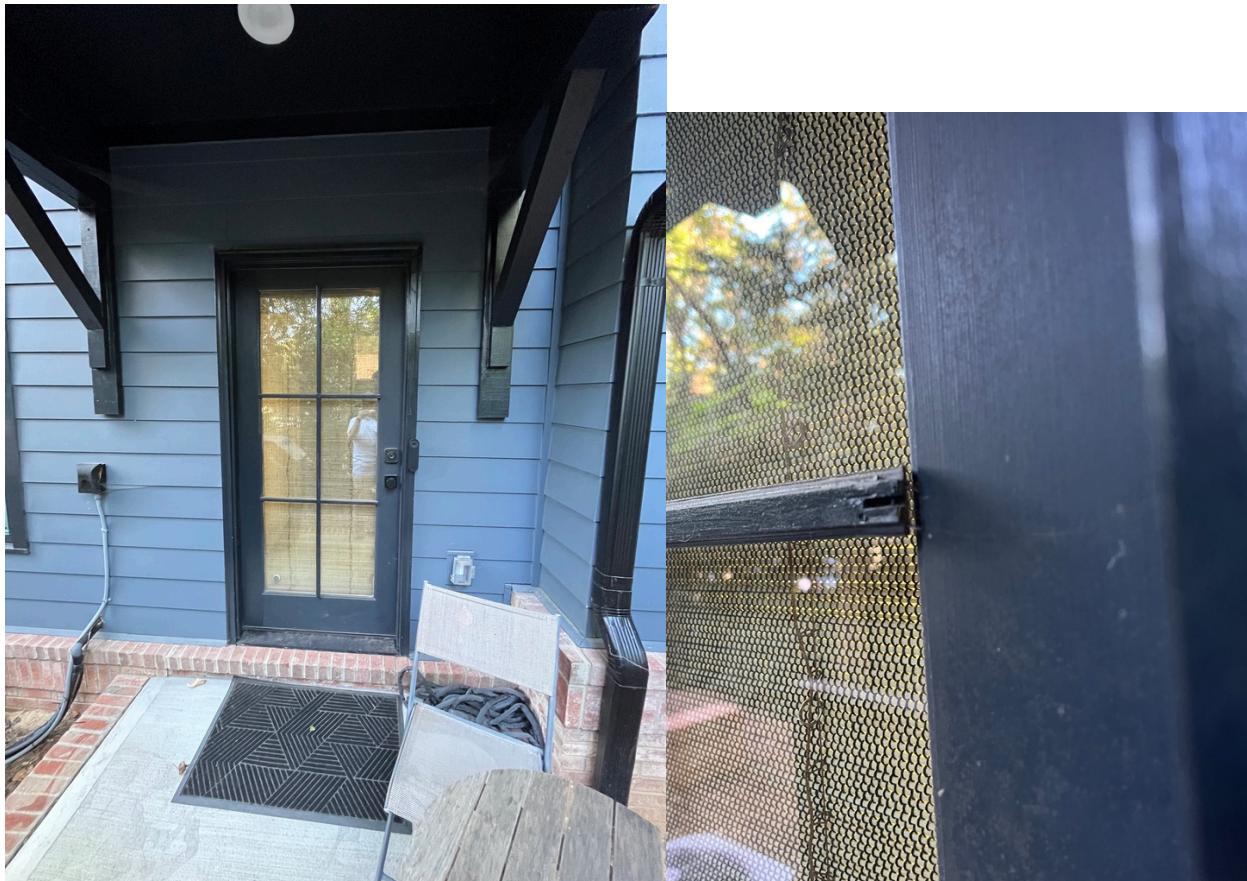
Sincerely,

Mitchell T. Gregory

Mitchell T. Gregory
2049 Thurmond Place
Charlotte, NC 28205
Mitchell@GregoryFam.Net

Enclosed Photos

1) Temporary Muntin, Design Standard 6.15



Mitchell T. Gregory
2049 Thurmond Place
Charlotte, NC 28205
Mitchell@GregoryFam.Net



Mitchell T. Gregory
2049 Thurmond Place
Charlotte, NC 28205
Mitchell@GregoryFam.Net

Enclosed Photos

- 2) **Inconsistent Bracket Finishing, Design Standard 6.14.** Blue denotes the properly finished, black painted brackets. Red denotes gray un-finished brackets



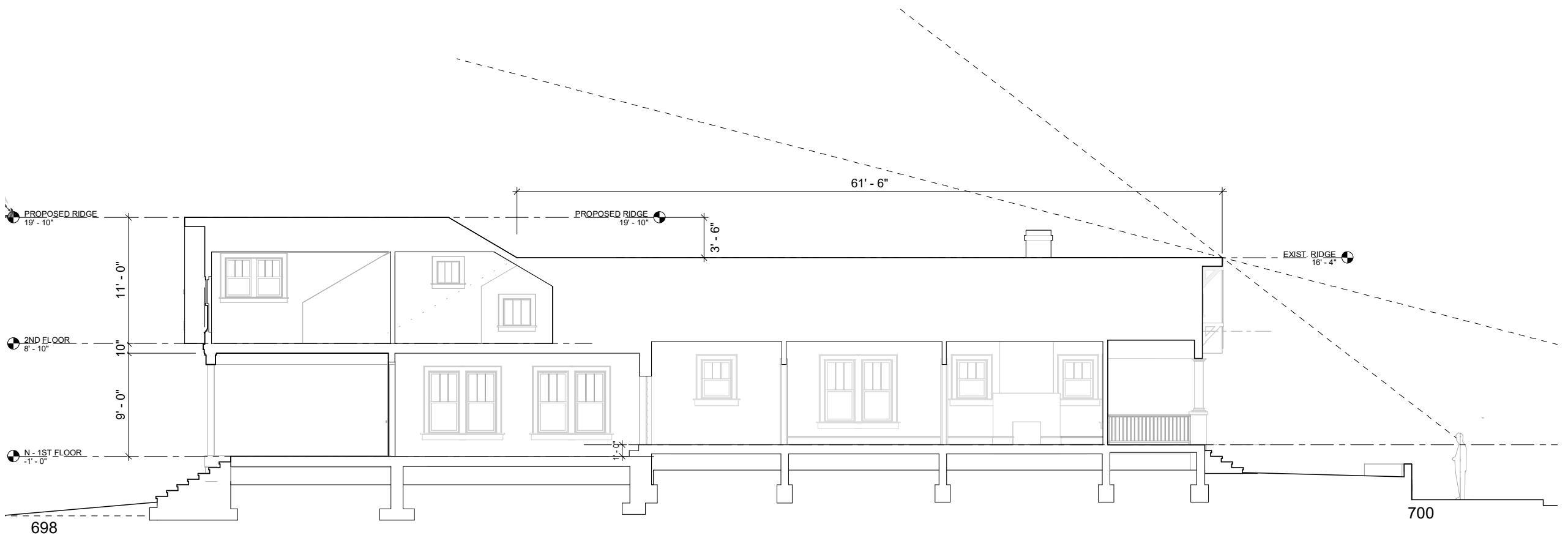
Mitchell T. Gregory
2049 Thurmond Place
Charlotte, NC 28205
Mitchell@GregoryFam.Net



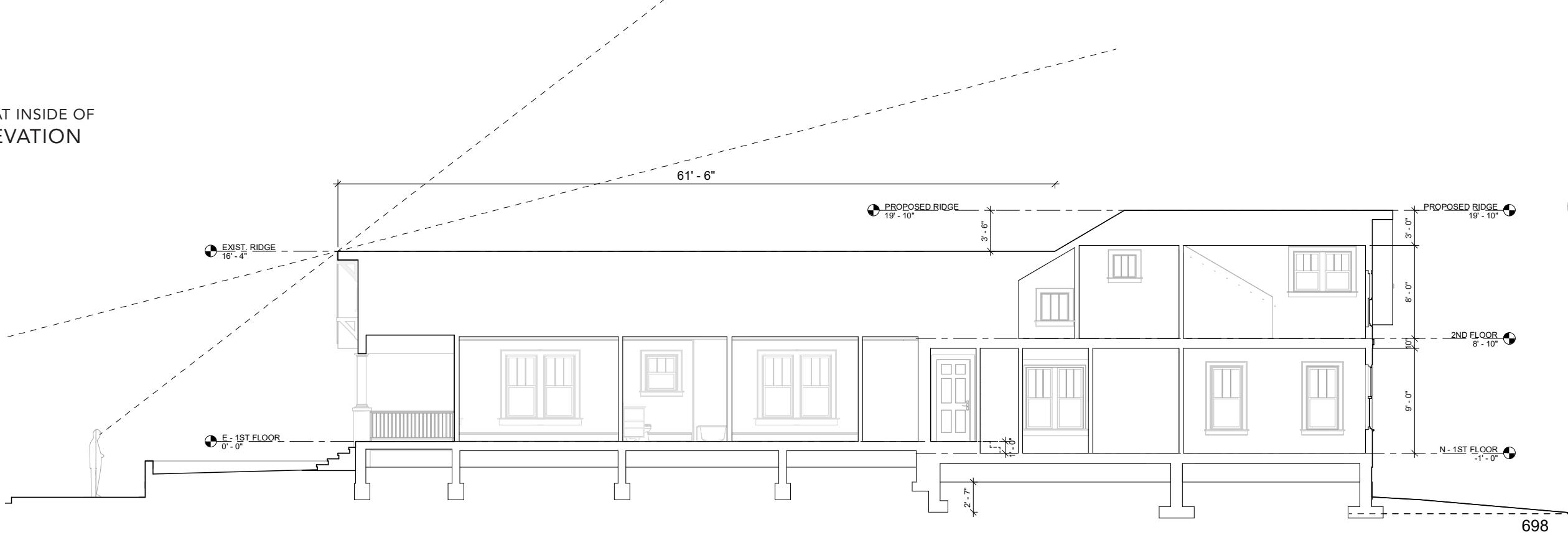
4. 1724 Wilmore Dr (PID 11909510)
HDCRMA-2025-00247
Wilmore
Hannah & Zach Leitner, Applicants

HOUSE SECTIONS

LOOKING AT INSIDE OF
RIGHT ELEVATION



LOOKING AT INSIDE OF
LEFT ELEVATION



PRELIMINARY BRICK STUDY

All new brick and mortar used in the project will match the brick and mortar of the existing house.

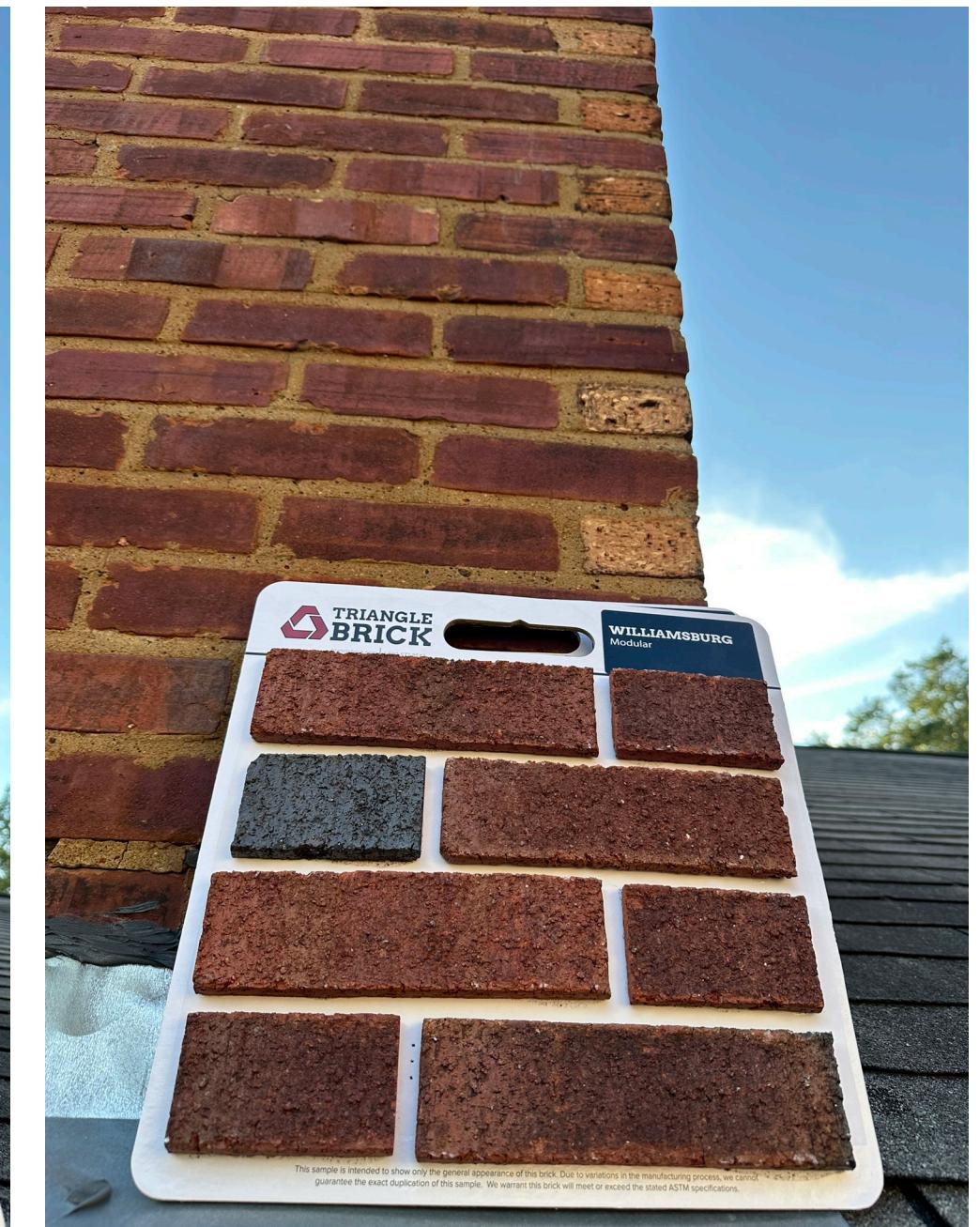
The only exposed (non-painted) brick on the current house is on the upper part of the chimney (*brick was painted prior to Wilmore being an established historic district*).



NOTE: We will work closely with staff to finalize our brick and mortar selection, if that is the best path forward.



FLASHED WIRECUT | Triangle Brick



WILLIAMSBURG | Triangle Brick

5. 700 Templeton Av (PID 12305619)
HDCRMAA-[2025-00109](#)
Dilworth
Jacqueline Bailey, Applicant

Exhibit B – Currently Installed Brick



Exhibit A – Color Similar to 816 Mt Vernon Av



BRICK/MORTAR SAMPLE



700 TEMPLETON AVE EXISITING BRICK/MORTAR

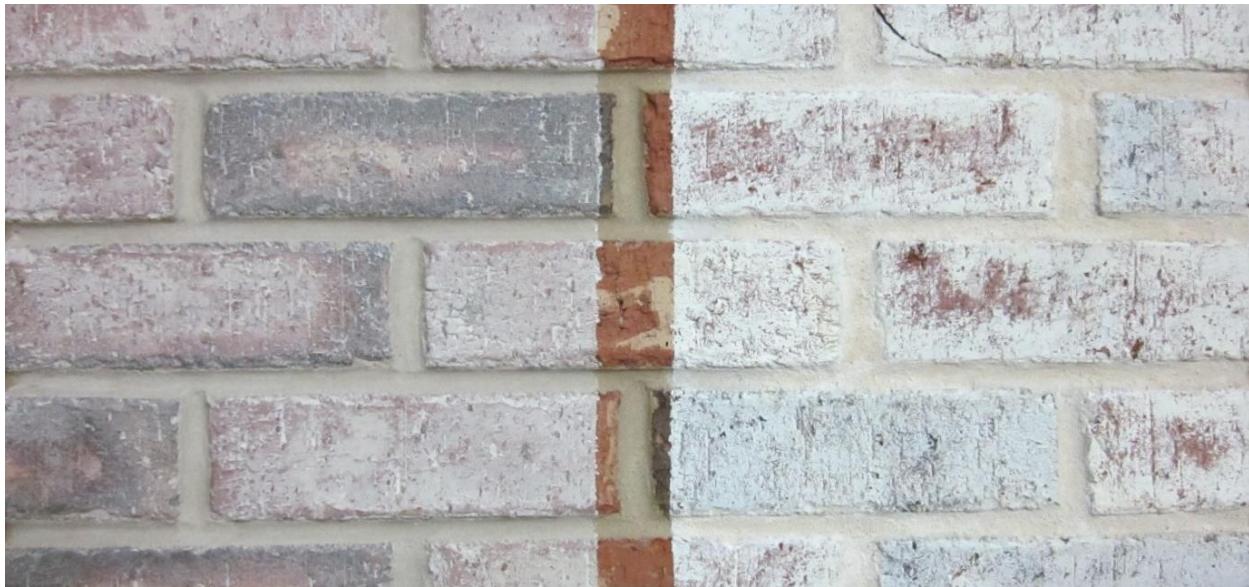


801 MT. VERNON PLACE EXISTING BRICK/MORTER APPROVED ON 5/11/2022



Staining Bricks with BEECK Concrete/Stone Glaze

The C/S Glaze can be applied as an overall wash with a limitless level of translucency in any color or it can be applied as an opaque coating. As an Opaque coating it can be artificially weathered to reveal areas of the brick face giving you a long-lasting appearance of a weathered old lime wash finish.



Translucent Stain Applied to entire façade

Opaque application applied and power washed off in areas to artificially weather the brick faces before the stain can fully dry.

The Concrete/Stone Glaze can be made in all 200 Beeck Standard colors. Custom color matching is also available. Contact Beeck Mineral Paints for Pricing.

Leite, Candice

From: John Bogert <john.bogert@beeckmineralpaints.com>
Sent: Thursday, June 5, 2025 2:08 PM
To: Leite, Candice
Cc: Matt Bogert
Subject: [EXT]RE: Brick Stain _ Non Historic Brick
Attachments: Concrete-Stone Glaze_US_English 2021-02-01.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

EXTERNAL EMAIL: This email originated from the Internet. Do not click any images, links or open any attachments unless you recognize and trust the sender and know the content is safe. Please click the Phish Alert button to forward the email to Bad.Mail.

Hello Leite,

Thank you for reaching out.

Based on your description this should be a good fit for our BEECK Concrete/Stone Glaze.

I have attached information on the product. It is more breathable than the brick masonry so it would not trap any moisture in the masonry.

It can be used for both the Brick and the mortar.

Color is very difficult to pick from a photo, but I would suggest that they try our C-660 color thinned at a ratio of 1 part Beeck Concrete/Stone Glaze to 6 parts Beeck Base V Mixture.

If the example house in the photo the mortar is coated the same as the bricks. If they would like to go with a different mortar color, I would suggest they get one of our color charts and take it onsite to make the color selection.

For this product it is important that the bricks being glazed are absorbent and not water repellent. To test for this you simply spray or splash water on the brick face and it should turn dark immediately. If the color does not change the bricks are water repellent.

Feel Free to give me a call if you have questions or whoever would be doing the application we can explain the process.

Best regards,

John Bogert

COO

BEECK Mineral Paints

North America

8161 Regent Parkway, #101

Fort Mill, SC 29715

Tel: +1 704-940-3603 (x102)

Mobile: +1 704-763-9575

Website: www.BEECKMineralPaints.com

Connect on [LinkedIn](#)

From: Leite, Candice <Candice.Leite@charlottenc.gov>

Sent: Wednesday, June 4, 2025 5:10 PM

To: John Bogert (John.Bogert@BeeckMineralPaints.com) <John.Bogert@BeeckMineralPaints.com>

Subject: Brick Stain _ Non Historic Brick

Hi John,

It's been a while since we last spoke. Hope you are well!

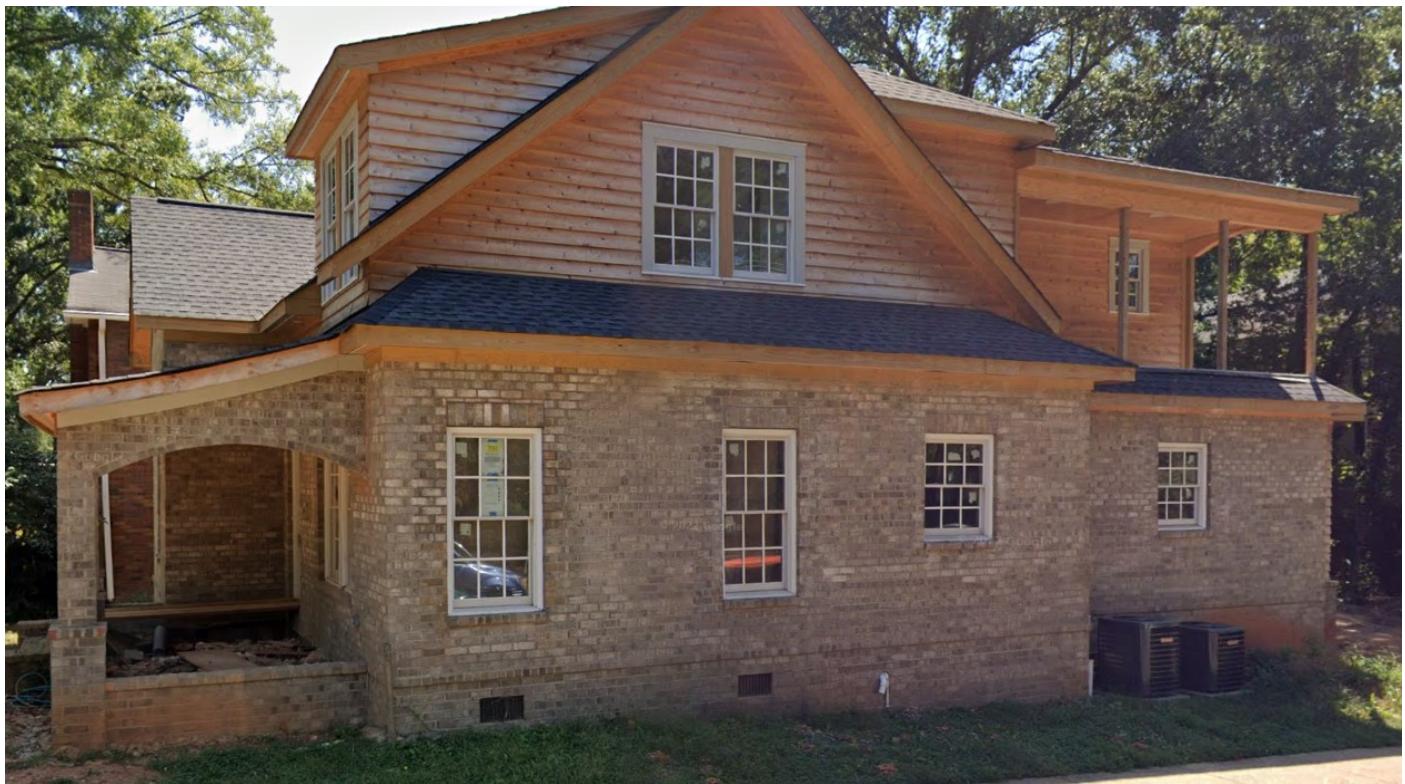
We have an applicant that is requesting to stain their brick house. Image of existing brick below.

In terms of "stain", we are looking for the most translucent product, i.e. red water.

My questions are,

- What is the best Beeck product to stain/tint brick (red) and mortar (tan/light gray)?
- What is the vapor porosity of suggested product (stain/tint)?
 - Looking for the most breathable product.
- Does the color C-142 come in the suggested product (stain/tint)? (applicant's requested color)
- Does color C-142 best match the red brick house in the image below?
- What color would you suggest for mortar?

House proposed to be stain/tinted. Existing brick.



Brick house color to match.



PROPOSED BRICK STEIN



Thank You.
Candice

Candice R. Leite

Project Manager, Charlotte Historic Preservation
Charlotte Planning, Design + Development
600 East 4th Street | 8th Floor | Charlotte, NC 28002
candice.leite@charlottenc.gov | charlottenc.gov/planning



Building Permit Timeline

From plan review initiation in 2017 through September 2025

Address: 700 Templeton Avenue

PID# 12305619

Property Owner: NICKS HOLDINGS LLC

Researched and compiled by: Elizabeth Lamy, HDC staff

Garage demolition started plan review: August 8, 2017.

- Plan review complete: September 27, 2017.
- Permit B3197849 for garage demo issued: September 27, 2017.

Changes to the house (renovation, addition) started plan review: June 12, 2017.

- Plan review complete: July 3, 2017.
- Building permit B3162490 issued July 3, 2017.
 - First inspection called for footing inspection on December 29, 2017 (failed).
 - Footing inspection passed October 3, 2018.
 - Foundation inspection failed October 11, 2018.
 - Foundation passed October 19, 2018.
 - Plumbing permit had first inspection on October 19, 2018 (passed).
 - Slab failed October 25, 2018.
 - Foundation failed November 5, 2018.
 - Slab passed November 8, 2018.
 - Sheathing inspection failed May 22, 2019.
 - Mechanical permit had first inspection on July 22, 2019 (failed).
 - Electrical permit had first inspection on August 30, 2019 (passed).
 - Framing inspection failed July 27, 2021.
 - Framing and insulation failed on August 4, 2021.
- Final building inspection was called in on July 5, 2022 and it failed.

- Inspector notes at final inspection: no notes to access lock box, final grade not correct, front porch not finished, hand rails missing, Job not ready.
 - Plumbing permit was finalized on November 30, 2022.
 - Mechanical permit was finalized on February 7, 2023.
 - Electrical permit was finalized on February 8, 2023.
- Another final Building inspection was called in by the County (not the Applicant or Contractor) on February 6, 2024, with a note that the inspection was made to keep the permit active. Building permits expire when work is discontinued for a period of 12 months. An actual inspection was not conducted at this time.
- The permit's current status is: "Project Expired" as no activity has transpired since February 2024.
- As of September 9, 2027, no new permits have been applied for by the Applicant.