

SCHEDULE OF AREA, YARD, AND BULK REQUIREMENTS						
BLOCK 8, LOTS 1, 2, 3, 12, 16, 20, 28, 32.01, 39, 40, 41, 45, 46, 47, & 49						
BLOCK 15.14, LOTS 18, 19, 20, 22, & 75						
WEST WINDSOR TOWNSHIP, MERCER COUNTY, NEW JERSEY						
Design Details	Required/Allowable	Provided				
		Block 15.14 Proposed Lot 18.01	Block 15.14 Proposed Lot 18.02	Block 8 Proposed Lot 2.03	Block 8 Proposed Lot 2.04	
A. Use	Retail, service commercial, entertainment and hospitality uses located along Quakerbridge Road and US Route 1. Warehouse and distribution uses are encouraged within the remainder of the site.	Warehouse				
B. Design Criteria						
Minimum Lot Size (Acres)	N/A	225.48	56.83	188.99	67.99	
Minimum Lot Frontage (feet)	300	Quakerbridge Road: 201 Master Plan Road (N-S): 2,104 Master Plan Road (E-W): 1,261 Clarksville Road: 2,894	Clarksville Road: 1,108 Master Plan Road (N-S): 2,046 Master Plan Road (E-W): 1,120	Master Plan Road: 2,250 Clarksville Road: 2,386	US Route 1/Quakerbridge Road: 1,055 Master Plan Road: 2,405 Clarksville Road: 1,141	
Minimum Lot Width (feet)	300	Quakerbridge Road: 125 Master Plan Road (N-S): 2,044 Master Plan Road (E-W): 1,275 Clarksville Road: 2,981	Clarksville Road: 1,098 Master Plan Road (N-S): 1,890 Master Plan Road (E-W): 1,093	Master Plan Road: 2,149 Clarksville Road: 2,406	US Route 1/Quakerbridge Road: 1,248 ⁽²⁾ Master Plan Road: 2,308 Clarksville Road: 1,139	
Minimum Front Yard (Quakerbridge Road) (feet)	50	N/A	N/A	N/A	502 ⁽³⁾	
Minimum Front Yard (US Route 1) (feet)	100	N/A	N/A	N/A	300 ⁽³⁾	
Minimum Front Yard (Clarksville Road) (feet)	100	247.00	237	264	234	
Minimum Front Yard (Master Plan Road) (feet)	100	(N-S): 178 (E-W): 160	(N-S): 176 (E-W): 195	176	209	
Minimum Front Yard (other roads) (feet)	50	N/A	N/A	N/A	N/A	
Minimum Rear Yard (feet)	40	92	274	N/A	N/A	
Minimum Side Yard (feet)	For buildings less than or equal to 40 feet in height: 25 For buildings greater than 40 feet in height: 40	156	N/A	917	317	
Minimum Yards Abutting Residential Districts	Increase minimum by 25 feet	156 ⁽⁴⁾	N/A	N/A	N/A	
Minimum Distance Between Buildings (feet)	25	328	N/A	N/A	N/A	
Required Landscape Buffer From Quakerbridge Road and US Route 1 (feet)	50	>50	N/A	N/A	50	
Required Landscape Buffer From Master Plan Road (feet)	25	>25	>25	>25	>25	
Required Landscape Buffer From Clarksville Road (feet)	75	>75	>75	>75	>75	
Max Impervious Lot Coverage	70%	51%	69%	18%	70%	

MAXIMUM BUILDING HEIGHT CALCULATION							
	A1	B1	B2-1	B2-2	C1	D1	E1
FF El. (Note 1)	100.0	92.5	90.0	94.0	88.5	86.0	96.0
Max. Precast Ht (ft) (Note 2)	47.0	46.0	48.0	48.0	46.0	48.0	46.0
Max. Building El. (ft)	147.0	130.5	120.0	144.0	131.5	120.0	146.0

Max. Precast El.	147.0	138.5	138.0	142.0	134.5	134.0	142.0
EXISTING GRADE CALCULATION <small>(Note 1)</small>							
	A1	B1	B2-1	B2-2	C1	D1	E1
Corner 1 El.	97.7	90.0	76.0	87.0	86.4	69.0	78.5
Corner 2 El.	92.0	83.8	82.5	98.0	77.8	74.5	92.4
Corner 3 El.	98.0	83.7	89.0	81.0	73.3	81.5	105.0
Corner 4 El.	91.7	76.0	81.3	95.0	100.5	91.7	86.8
Corner 5 El.		71.9					85.8

Avg. Existing El.	94.9	81.1	82.2	90.3	84.5	79.2	89.7
MAXIMUM BUILDING HEIGHT CALCULATION <small>(Note 3)</small> (Max. Precast El.) - (Avg. Existing El.)							
	A1	B1	B2-1	B2-2	C1	D1	E1
Building Height (ft)	52.2	57.4	55.8	51.8	50.0	54.8	52.3

BUILDING PERIMETER TABLE

BUILDING	PERIMETER FRONTING STREET (FT)	TOTAL PERIMETER (FT)	% PERIMETER FRONTING STREET
E1	2,689	5,197	52%
G1	2,224	4,070	55%

C1	3,234	4,979	65%
B1	1,669	4,432	38%

D1	2,219	4,439		50%
B2-1	2,189	4,378		50%

B2-1				
B2-2	2,198	4,398		50%
A1	496	2,920		17%

Notes:
The "Perimeter Fronting Street" was calculated for each building as follows:

- E1: Along Clarksville Road to the South and the proposed roadway to the East.
- C1: Along Clarksville Road to the North and the proposed roadway to the East and South.

C1: Along Clarksville Road to the North and the proposed roadway to the East and South.
B1: Along the proposed roadway to the North.
D1: Along Clarksville Road to the South and the proposed roadway to the West.

D1: Along Clarksville Road to the South and the proposed roadway to the West.
B2-1: Along Clarksville Road to the North and the proposed roadway to the West.
B2-2: Along the proposed roadway to the West and South.

B2-2: Along the proposed roadway to the West and South.
A1: Along the proposed driveway to the West.

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NET TO TOTAL PERIMETER											
Building	Total (SF)	Office (SF)	Warehouse (SF)	Warehouse Parking (Spaces)	Office Parking (Spaces)	Total Required (Spaces)	Total Proposed (Spaces)	Total Proposed Trailer Stalls	Total Proposed Banked (Spaces)	Required / Propos EV Parking	
E1	1,186,092	35,583	1,150,509	230	142	372	440	186	67	18	
C1	1,023,309	30,699	992,610	199	123	322	353	145	0	15	
B1	800,698	24,021	776,677	155	96	251	288	292	0	12	
D1	813,635	24,409	789,226	158	98	256	302	352	46	13	
B2-1	695,274	20,858	674,416	135	83	218	258	265	7	11	
B2-2	710,077	21,302	688,775	138	85	223	263	314	51	11	
A1	334,032	10,021	324,011	65	40	105	124	62	29	4	

4) The Total Building Areas shown are for the entire building footprint (area within the outside building edge).
5) 1 EV parking space must be ADA.

**REQUIRED PARKING CALCULATIONS
HAVE BEEN ROUNDED UP**

HAVE BEEN ROUNDED UP

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Date	Description	No.
2/15/2022	Revised per Township Comments	2
12/3/2021	Completeness Revisions 1	1

REVISIONS

PROFESSIONAL ENGINEER NJ Lic. No.
24GE04988100

LANGAN

Langan Engineering and

Environmental Services, Inc.
989 Lenox Drive, Suite 124
Lawrenceville, NJ 08648

Project

BRIDGE POINT 8

INDUSTRIAL PARK

WEST WINDSOR TOWNSHIP

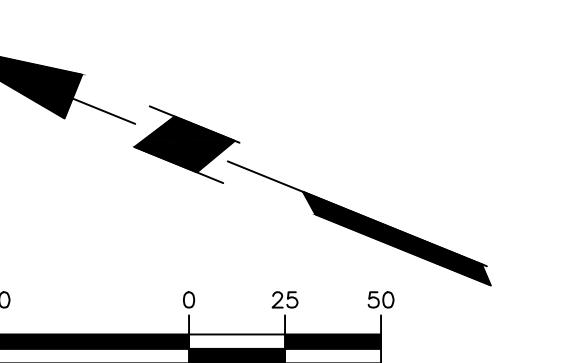
MERCER COUNTY **NEW JERSEY**

Drawing Title

OVERALL SITE PLAN

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Date	CS100 10/10/2024

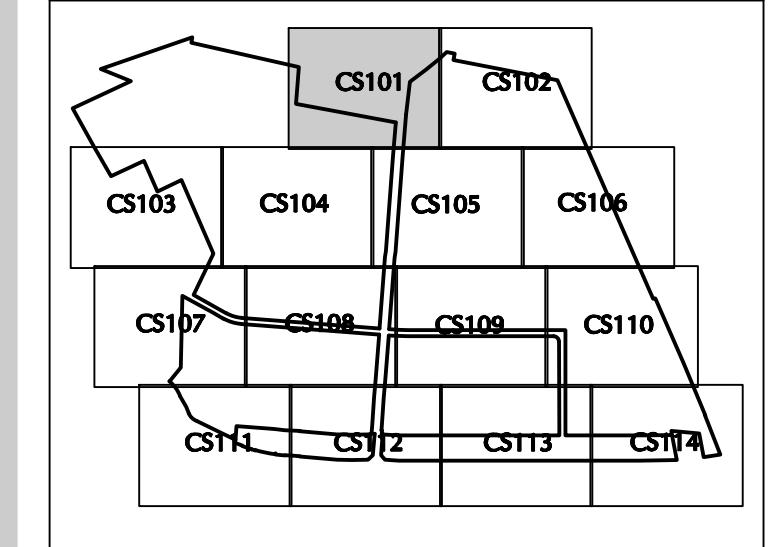
12/03/2021
Drawn By
WRB
Checked By
CMR



LANGAN

PROJECT NO. 130172801

SHEET LEGEND



SITE PLAN LEGEND

REINFORCED TURF
WAREHOUSE BUILDING
CONCRETE AREA/SIDEWALK
STONE STRIP
GRAVEL BASIN ENTRANCE
CONCRETE CURB
BUILDING OVERHANG
RETAINING WALL
DOOR
PROPERTY LINE
BUILDING SETBACK LINE
LANDSCAPE BUFFER LINE
FENCE
HANCOCK RIGHT-OF-WAY
DEPRESSED CURB
ADA RAMP WITH DETECTABLE WARNING SURFACE
PARKING STALL COUNT
ADA PARKING STALL
STRIPING
SIGN
BOLLARDS
DOCK DOOR
DIRECTIONAL ARROWS
CURB STOP
STOP BAR
INFILTRATION BASIN
MONUMENT SIGN
OUNDWALL
STAIRS
FIRE LANE STRIPING

2/15/2022	Revised per Township Comments	2
12/3/2021	Completeness Revisions 1	1
Date	Description	No.

REVISIONS

*Christian Roche*SIGNATURE CHRISTIAN ROCHE 11/12/2021
PROFESSIONAL ENGINEER NJ Lic. No.
240E04989100**LANGAN**
Langan Engineering and
Environmental Services, Inc.
989 Lenox Drive, Suite 124
Lawrenceville, NJ 08648T: 609-282-8000 E: 609-282-0001 www.langan.com
NJ CERTIFICATE OF AUTHORIZATION No. 24G03799640

Project

**BRIDGE POINT 8
INDUSTRIAL PARK**WEST WINDSOR TOWNSHIP
MERCER COUNTY Drawing Title NEW JERSEY**SITE PLAN I**

Project No.	130172801	Drawing No.
Date		
Drawn By	WRB	
Checked By	CMR	

CS101

MATCHLINE: CS101
MATCHLINE: CS105

CS105

MATCHLINE: CS101
MATCHLINE: CS104

Filename: c:\bms\langan-pw-01\dm\932541\30172801-0501-CS101-0102.DWG Date: 2/14/2022 Time: 15:04 User: eboska Style: Langan.stb Layout: CS101

MATCHLINE: CS101 **MATCHLINE: CS102**

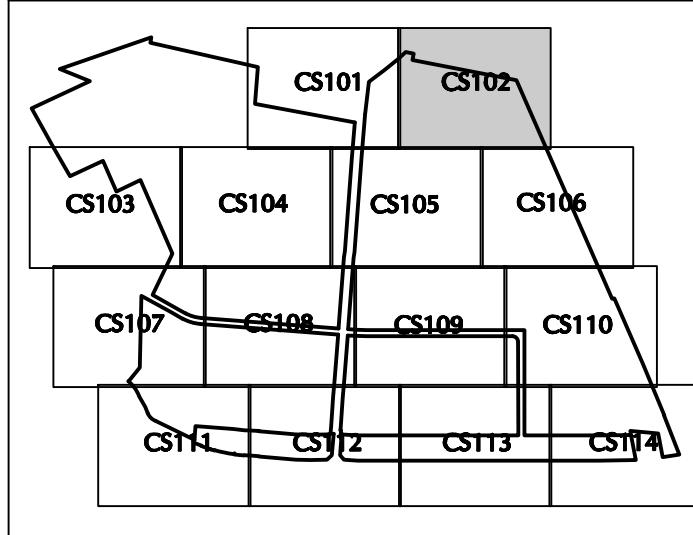
MATCHLINE: CS102

MATCHLINE: CS105

MATCHLINE: CS105

SCALE IN FEET

SHEET LEGEND



SITE PLAN LEGEND

	BUILDING
	CONCRETE AREA/SIDEWALK
	HEAVY DUTY ASPHALT
	CONCRETE CURB
	SUBDIVISION LINE
	RETAINING WALL
	DOOR
	PROPERTY LINE
	BUILDING SETBACK LINE
	LANDSCAPE BUFFER LINE
	FENCE
	RIGHT-OF-WAY
	DEPRESSED CURB
	ADA RAMP WITH DETECTABLE WARNING SURFACE
	PARKING STALL COUNT
	ADA PARKING STALL
	STRIPING
	SIGN
	BOLLARDS
	DOCK DOOR
	DIRECTIONAL ARROWS
	CURB STOP
	STOP BAR
	INFILTRATION BASIN
	STORMWATER QUALITY BASIN
	STAIRS

Date	Description	Notes
2/15/2022	Revised per Township Comments	
12/3/2021	Completeness Revisions 1	
Date	Description	N

SIGNATURE CHRISTIAN ROCHE 11/12/2021
PROFESSIONAL ENGINEER NJ Lic. No.

24GE04988100

LANGAN

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Environmental Services, Inc.

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
T: 609 282 8000 E: 609 282 8001 www.langan.com


BRIDGE POINT 8 INDUSTRIAL PARK


SITE PLAN II

Project No.	Drawing No.
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Date	12/03/2021
Drawn By	CS102
WRB	
Checked By	
CMR	












10 of 10










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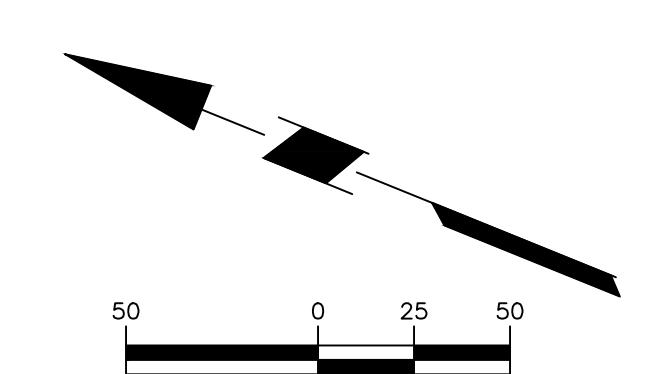
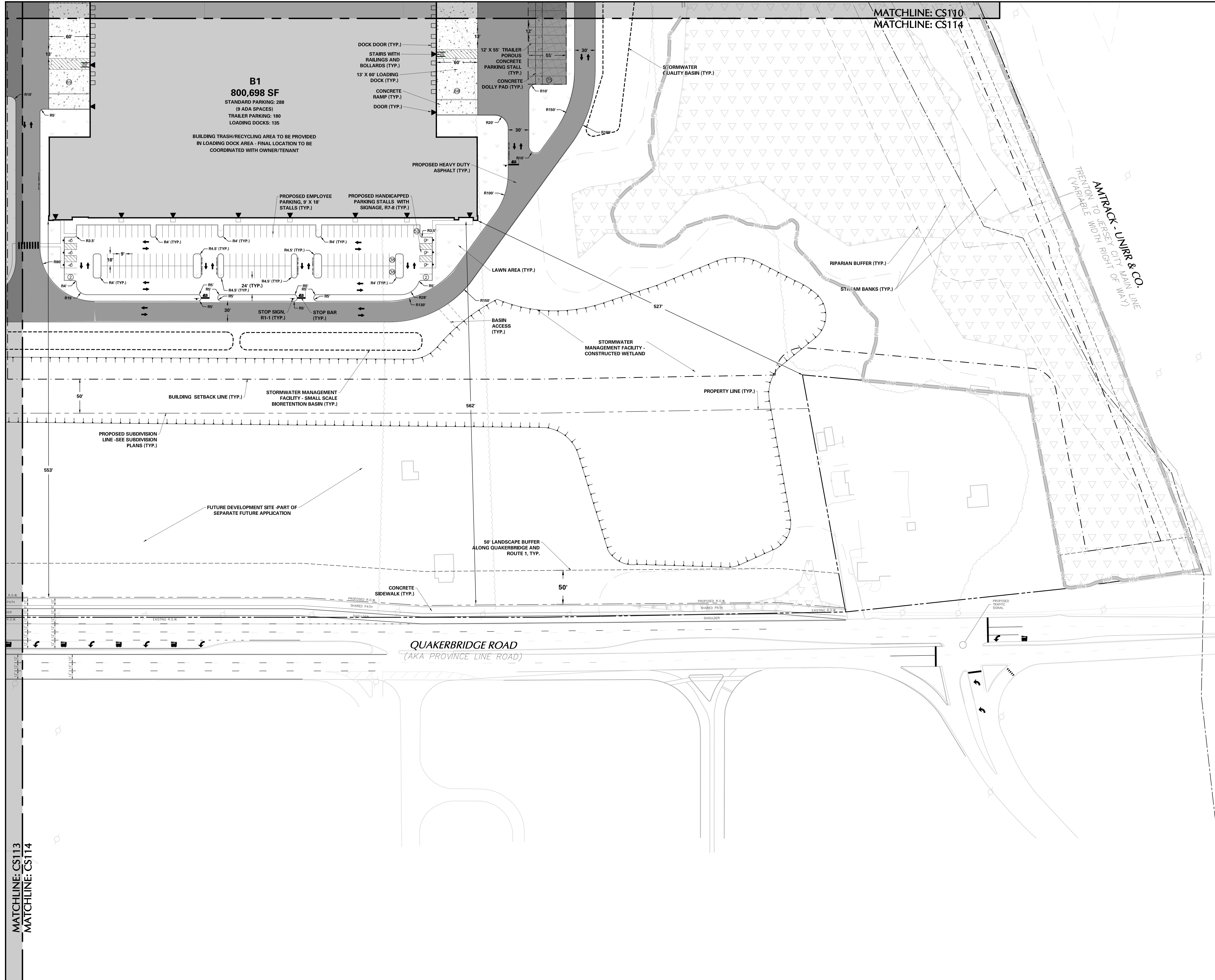
PROJECT NO. 130172801



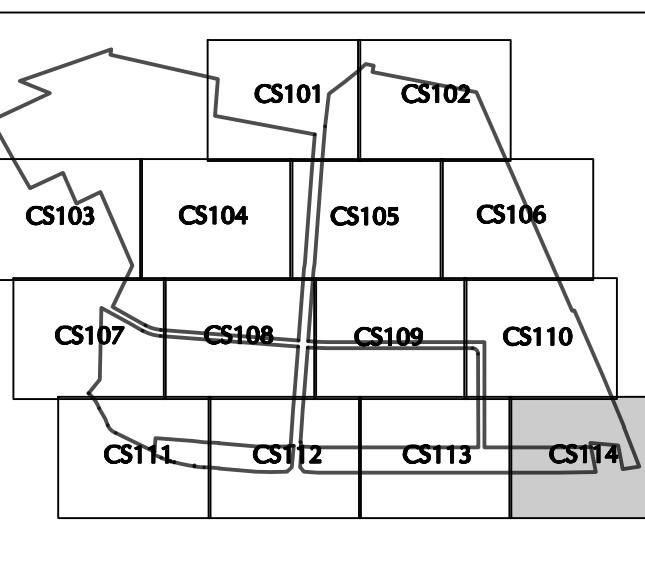
PROJECT NO. 130172801







SHEET LEGEND



SITE PLAN LEGEND

	BUILDING
	CONCRETE AREA/SIDEWALK
	HEAVY DUTY ASPHALT
	CONCRETE CURB
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	CURB STOP
	STOP BAR
	INFILTRATION BASIN
	STORMWATER QUALITY BASIN
	STAIRS

Date	Description	Comments
2/15/2022	Revised per Township Comments	
12/3/2021	Completeness Revisions 1	
Date	Description	Comments

REVISIONS

Signature: Christian Roche

24GE04988100

Lawrenceville, NJ 08648

BRIDGE POINT 8 INDUSTRIAL PARK

WEST WINDSOR TOWNSHIP

SITE PLAN XIV

ject No.	Drawing No.
130172801	
e	
12/03/2021	
wn By	CS114
WRB	
cked By	