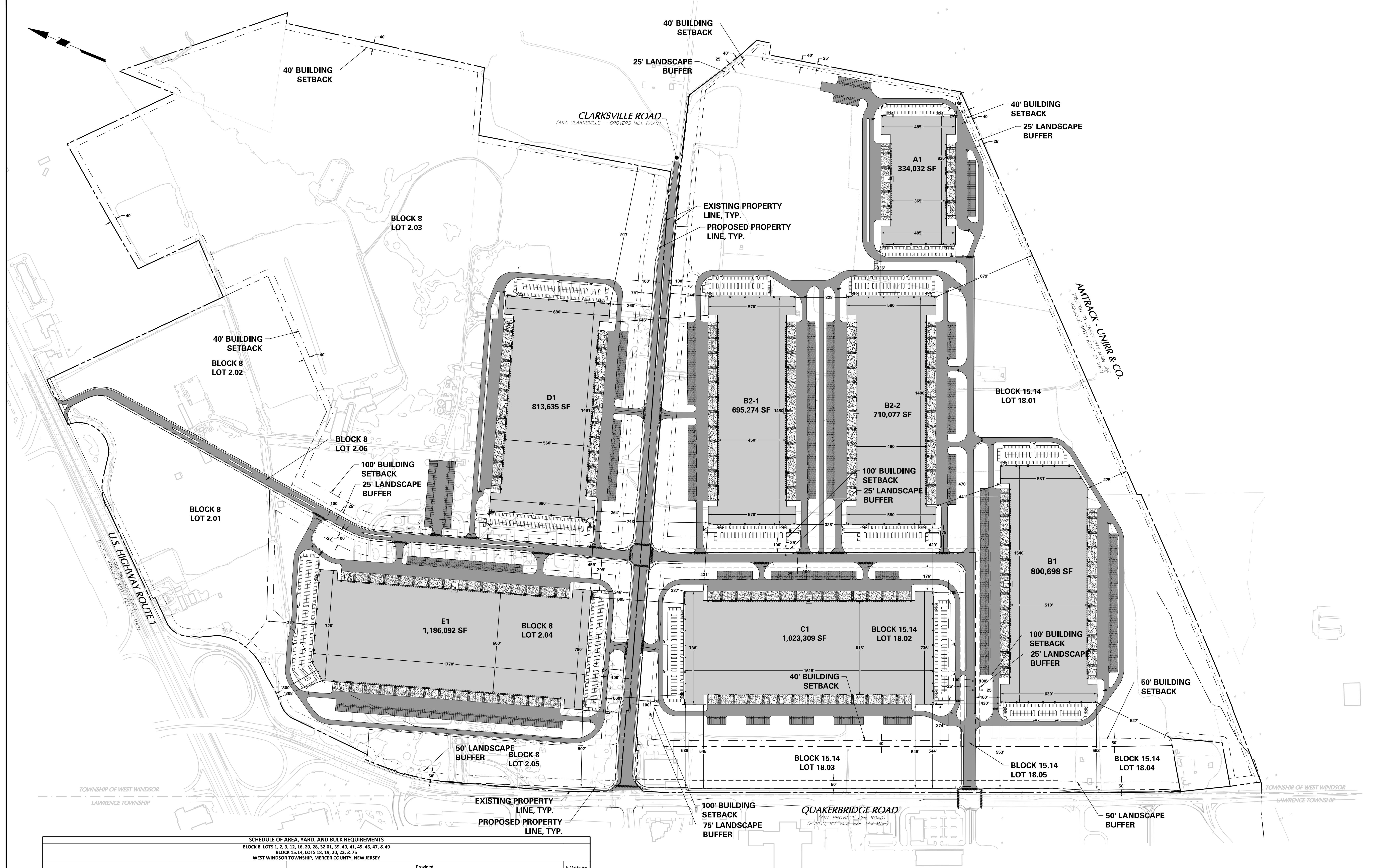


## SUBDIVISION AND SETBACK EXHIBIT

|                        |
|------------------------|
| BUILDING               |
| CONCRETE AREA/SIDEWALK |
| HEAVY DUTY ASPHALT     |
| STRIPPING              |
| RETAINING WALL         |
| CONCRETE CURB          |
| SUBDIVISION LINE       |
| PROPERTY LINE          |
| BUILDING SETBACK LINE  |
| LANDSCAPE BUFFER LINE  |
| FENCE                  |
| RIGHT-OF-WAY           |



|           |                               |     |
|-----------|-------------------------------|-----|
| 2/15/2022 | Revised per Township Comments | 2   |
| 12/3/2021 | Completeness Revisions 1      | 1   |
| Date      | Description                   | No. |

REVISIONS

*Chris Roche*

SIGNATURE CHRISTIAN ROCHE 11/12/2021  
PROFESSIONAL ENGINEER NJ Lic. No.  
24G04988100

**LANGAN**  
Langan Engineering and  
Environmental Services, Inc.  
989 Lenox Drive, Suite 124  
Lawrenceville, NJ 08648

T: 609.282.8000 F: 609.282.8001 www.langan.com

NJ CERTIFICATE OF AUTHORIZATION No. 24G03998400

|                       |                                |
|-----------------------|--------------------------------|
| Project               | BRIDGE POINT 8 INDUSTRIAL PARK |
| WEST WINDSOR TOWNSHIP | MERCER COUNTY NEW JERSEY       |
| Drawing Title         | SCALE: 1 INCH = 250 FEET       |

| SCHEDULE OF AREA, YARD, AND BULK REQUIREMENTS           |   |                                   |                                   |                              |                              |  |                                    |
|---|---|-----------------------------------|-----------------------------------|------------------------------|------------------------------|--|------------------------------------|
| Design Details  | Required/Allowable  | Provided                          |                                   |                              |                              |  | Is Variance Requested? (Yes or No) |
|   |   | Block 15.14<br>Proposed Lot 18.01 | Block 15.14<br>Proposed Lot 18.02 | Block 8<br>Proposed Lot 2.03 | Block 8<br>Proposed Lot 2.04 |  |                                    |
| A. Use  | Retail, service commercial, entertainment and hospitality uses located along Quakerbridge Road and US Route 1. Warehouse and distribution uses are encouraged within the remainder of the site. |                                   |                                   |                              |                              |  | No                                 |
| B. Design Criteria                                      |   |                                   |                                   |                              |                              |  |                                    |
| Minimum Lot Size (Acres)                                | N/A   | 225.48                            | 56.83                             | 188.99                       | 67.99                        |  | No                                 |
| Minimum Lot Frontage (feet)                             | 300   |                                   |                                   |                              |                              |  | No                                 |
| Minimum Lot Width (feet)                                | 300   |                                   |                                   |                              |                              |  | No                                 |
| Minimum Front Yard (Quakerbridge Road) (feet)           | 50  | N/A                               | N/A                               | N/A                          | 50 <sup>(1)</sup>            |  | No                                 |
| Minimum Front Yard (U.S. Route 1) (feet)                | 100   | N/A                               | N/A                               | N/A                          | 300 <sup>(2)</sup>           |  | No                                 |
| Minimum Front Yard (Clarksville Road) (feet)            | 100   | 243.00                            | 237                               | 264                          | 234                          |  | No                                 |
| Minimum Front Yard (Master Plan Road) (feet)            | 100   | 1,175                             | (E-W): 1,044                      | 176                          | 209                          |  | No                                 |
| Minimum Front Yard (other roads) (feet)                 | 50  | 1,275                             | (E-W): 1,044                      | N/A                          | N/A                          |  | No                                 |
| Minimum Side Yard (feet)                                | 20  | 92                                | 274                               | N/A                          | N/A                          |  | No                                 |
| Minimum Yards Above Residential Districts               | For buildings less than or equal to 40 feet in height: 25<br>For buildings greater than 40 feet in height: 40   | 156                               | N/A                               | 917                          | 317                          |  | No                                 |
| Minimum Distance Between Buildings (feet)               | Increase minimum by 25 feet   | 156                               | N/A                               | N/A                          | N/A                          |  | No                                 |
| Required Landscape Buffer                               | 50  | >50                               | N/A                               | N/A                          | 50                           |  | No                                 |
| From Quakerbridge Road and US Route 1                   |   |                                   |                                   |                              |                              |  |                                    |
| Required Landscape Buffer From Quakerbridge Road (feet) | 25  | >25                               | >25                               | >35                          | >35                          |  | No                                 |
| Required Landscape Buffer From Clarksville Road (feet)  | 75  | >75                               | >75                               | >75                          | >75                          |  | No                                 |
| Max Impervious Lot Coverage                             |   | 51%                               | 69%                               | 18%                          | 70%                          |  | No                                 |

(1) Zoning requirements obtained from Township of West Windsor "ORDINANCE 2020-25" dated 11/18/2020.  
(2) Lot width taken at 300-ft setback from US Route 1 and Quakerbridge Road.

(3) Minimum side yard requirement for warehouse and distribution facilities is 300-ft.

(4) Side Yard East of Building A1 abuts a residential district, therefore the minimum yard is 65-ft.

|             |            |
|-------------|------------|
| Project No. | 130172801  |
| Date        | 12/03/2021 |
| Drawn By    | AMG        |
| Checked By  | CMR        |
| Drawing No. | CS004      |