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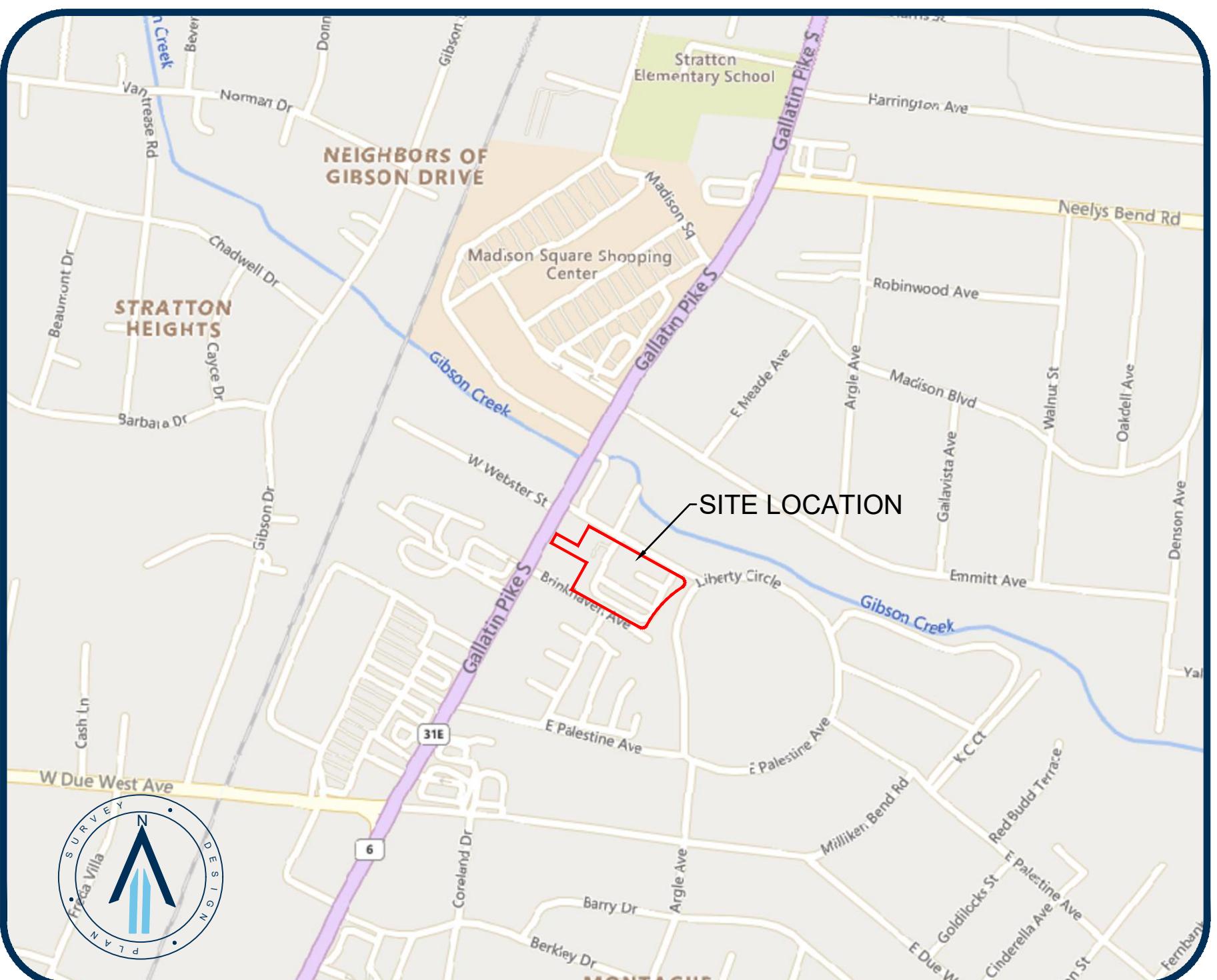


FINAL SITE PLAN FOR WINDLANDS EAST CHURCHILL WINDLANDS EAST LLC.

PLAN NOTES		
PURPOSE NOTE: THE PURPOSE OF THIS FINAL SITE PLAN IS TO PERMIT CHANGES TO PARKING AND OTHER EXISTING SITE CONDITIONS. ADDITIONAL BUILDINGS/FLOOR AREA IS NOT PROPOSED.		
GREENWAYS: EXCEPT AS AUTHORIZED BY APPROVED CONSTRUCTION PLANS, NO GRADING, CUTTING OF TREES, OR DISTURBANCE OF NATURAL FEATURES SHALL BE PERFORMED WITHIN THIS EASEMENT.		
METRO FIRE MARSHAL: THE REQUIRED FIRE FLOW SHALL BE DETERMINED BY THE METROPOLITAN FIRE MARSHAL'S OFFICE, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT.		
METRO PLANNING - ZONING: BUILDING SET BACKS SHALL BE PER THE METRO ZONING CODE.		
METRO PLANNING - CRITICAL LOTS: APPROVAL OF ANY PRELIMINARY OR FINAL PUD PLAN DOES NOT EXEMPT ANY LOT SHOWN ON THE PUD PLAN, OR ANY DEVELOPMENT ON SUCH LOT, FROM COMPLIANCE WITH ALL PROVISIONS OF THE METRO ZONING CODE WITH RESPECT TO FLOODPLAIN, STEEP SLOPES, UNSTABLE SOILS, SINKHOLES, ROCK OUTCROPPINGS, STREAM, SPRINGS, AND CRITICAL LOTS.		
PRIOR TO THE ISSUANCE OF ANY BUILDING PERMIT FOR A LOT DESIGNATED AS A CRITICAL LOT ON THIS PLAN, A GRADING PLAN, KNOWN AS "CRITICAL LOT PLAN", MUST BE SUBMITTED TO THE METRO PLANNING DEPARTMENT AS REQUIRED BY APPENDIX C OF THE METRO SUBDIVISION REGULATIONS. THE CRITICAL LOT PLAN WILL BE EVALUATED FOR CONSISTENCY WITH TEH REGULATIONS, INCLUDING, BUT NOT LIMITED TO, THE DEGREE TO WHICH GRADING IS MINIMIZED TO PRESERVE THE NATURAL FEATURES OF THE LOT AND THE AMOUNT OF CUT/FILL REQUIRED TO PREPARE THE LOT FOR CONSTRUCTION. IT IS EMPHASIZED THAT A TYPICAL HOUSE DESIGN MAY NOT BE SUITABLE FOR A CRITICAL LOT.		
METRO PLANNING - STREET SIGNS: NO BUILDING PERMIT MAY BE ISSUED ON ANY LOT UNTIL STREET NAME SIGNS ARE INSTALLED AND VERIFIED BY THE METROPOLITAN DEPARTMENT OF PUBLIC WORKS ON ALL STREETS WHICH THE LOT DEPENDS ON FOR ACCESS.		
METRO PLANNING - FEDERAL COMPLIANCE: ALL DEVELOPMENT WITHIN THE BOUNDARIES OF THIS PLAN MEETS THE REQUIREMENTS OF THE AMERICAN WITH DISABILITIES ACT AND THE FAIR HOUSING ACT. ADA: http://www.ada.gov/ U.S. Justice Dept.: http://www.justice.gov/crt/housing/fairhousing/about_fairhousingact.htm		
METRO PLANNING - STORMWATER (78-840): ANY EXCAVATION, FILL OR DISTURBANCE OF THE EXISTING GROUND ELEVATION MUST BE DONE IN ACCORDANCE WITH STORM WATER MANAGEMENT ORDINANCE NO. 78-840 AND APPROVED BY THE METROPOLITAN DEPARTMENT OF WATER SERVICES.		
METRO PLANNING - STORMWATER (WATERWAY BUFFER): THE BUFFER ALONG WATERWAYS WILL BE AN AREA WHERE THE SURFACE IS LEFT IN A NATURAL STATE AND IS NOT DISTURBED BY CONSTRUCTION ACTIVITY. THIS IS IN ACCORDANCE WITH THE STORMWATER MANAGEMENT MANUAL, VOLUME 1 REGULATIONS.		
METRO PLANNING - STORMWATER (CULVERT/DRIVEWAY): SIZE DRIVEWAY CULVERTS PER THE DESIGN CRITERIA SET FORTH BY THE METRO STORMWATER MANUAL. (MINIMUM DRIVEWAY CULVERT IN METRO ROW IS 15" CMP).		
METRO PLANNING - STORMWATER (PRELIMINARY PLAN/PLAN): THIS DRAWING IS FOR ILLUSTRATION PURPOSES TO INDICATE THE BASIC PREMISE OF THE DEVELOPMENT. THE FINAL LOT COUNT AND DETAILS OF THE PLAN SHALL BE GOVERNED BY THE APPROPRIATE REGULATIONS AT THE TIME OF FINAL APPLICATION.		
METRO PLANNING - STORMWATER (ACCESS): METRO WATER SERVICES SHALL BE PROVIDED SUFFICIENT AND UNENCUMBERED INGRESS AND EGRESS AT ALL TIMES IN ORDER TO MAINTAIN, REPAIR, REPLACE, AND INSPECT ANY STORMWATER FACILITIES WITHIN THE PROPERTY.		
METRO PLANNING - WATER & SEWER: NOTE TO PROSPECTIVE OWNERS: YOU ARE STRONGLY ADVISED TO CONTACT METRO WATER SERVICES ENGINEERING (DEVELOPMENT SERVICES) TO DETERMINE ADEQUACY OF PUBLIC WATER AND SEWER FACILITIES FOR INTENDED DEVELOPMENT PROPERTY.		
METRO PLANNING - WATER & SEWER: INDIVIDUAL WATER AND/OR SANITARY SEWER SERVICE LINES ARE REQUIRED FOR EACH PARCEL.		

CONSTRUCTION SCHEDULE		
	START DATE	END DATE
PERMITTING	6/14/2023	12/14/2023
CONSTRUCTION	12/15/2023	12/15/2024

NOTE: SCHEDULE IS SUBJECT TO CHANGE



LOCATION MAP
N.T.S.

7TH COUNCIL DISTRICT,
200 EAST WEBSTER STREET
MADISON
DAVIDSON COUNTY
TENNESSEE

TAX MAP: 51-08 PARCEL: 84

MWS #SWGR 2023046534
MWS PUD CASE #83P-83-001

METRO WATER SERVICES - NASHVILLE, TN	
APPROVED FOR CONSTRUCTION	
THIS DOCUMENT HAS BEEN REVIEWED BY THE DEPARTMENT OF WATER AND SEWERAGE SERVICES OR CONTRACTED PROFESSIONAL AND IS HEREBY APPROVED FOR CONSTRUCTION. THIS APPROVAL SHALL NOT BE CONSTRUED AS AN ASSURANCE THAT THE IMPROVEMENTS DEPICTED IN THE DOCUMENT BEARING THIS STAMP WILL FUNCTION AS INTENDED.	
Stormwater: 2023046534 - Approved as Marked	Site Utility: N/A
MWS Reviewer: <i>Benjamin Willis</i>	
Date: 11/28/2023	
APPROVAL EXPIRES ONE YEAR FROM THE DATE ABOVE	

CONTACTS

OWNER/DEVELOPER

AUBURY HOLMES
CHURCHILL WINDLANDS EAST LLC.
4500 DORR STREET
TOLEDO, OH 43615
(520) 230-0716
AHOLMES@WELLTOWER.COM

CIVIL

MATT LACKEY
RAGAN SMITH
315 WOODLAND STREET
NASHVILLE, TN 37206
(615) 244-8591
mlackey@ragansmith.com

INDEX OF SHEETS

SHEET	DESCRIPTION
C0.0	COVER SHEET
C0.1	CIVIL NOTES
C0.2	EXISTING CONDITIONS PLAN
C1.0	INITIAL EROSION CONTROL & DEMOLITION PLAN
C2.0	SITE LAYOUT PLAN
C3.0	GRADING AND DRAINAGE PLAN
C3.1	FINAL EROSION CONTROL PLAN
C4.1	CIVIL DETAILS
C4.2	CIVIL DETAILS
C4.3	CIVIL DETAILS
L1.0	TREE PRESERVATION PLAN
L1.1	LANDSCAPE PLAN
L1.2	LANDSCAPE NOTES AND DETAILS

SITE DATA TABLE :

PROPERTY INFORMATION		ZONING INFORMATION	
STREET ADDRESS:	200 E. WEBSTER STREET	CURRENT ZONING:	CL/OR20 (COMMERCIAL LIMITED)
PROPERTY OWNER:	CHURCHILL WINDLANDS EAST, LLC.	ZONING OVERLAY:	PUD
PARCEL ACREAGE:	3.22 AC (140,416 SF)	NUMBER OF LOTS:	1
LIMITS OF DISTURBANCE:	1.80 AC (78,495 SF)	FRONT SETBACK:	20'
PARCEL ID:	05108008400	REAR SETBACK:	20'
MAP:	51-8	MIN. SIDE SETBACK:	NONE
PARCEL:	84	ACREAGE:	BUILDING AREA: 15,528 SF ($\pm 11.1\%$) IMPERVIOUS: 91,324 SF ($\pm 65.0\%$) PERVIOUS: 33,564 SF ($\pm 23.9\%$)
COUNCIL DISTRICT NUMBER:	07	TOTAL: 140,416 SF ($\pm 100\%$)	TOTAL: 140,416 SF (TOTAL LOT: 106,852 SF)
DISTRICT COUNCIL MEMBER:	EMILY BENEDICT	FAR:	1.20 MAX. (4 PER PUD)
OVERLAY DISTRICT NAME:	PUD	ISR:	65 (MAX. 90)
EXISTING PUD NAME:	WILLOW BROOK APARTMENTS	DENSITY:	59.9 DU/ACRE
PROPOSED PUD NAME:	WINDLAWN APARTMENTS		
EXISTING PUD NUMBER:	83-83-G		
PUD CASE NUMBER:	83P-83-001		
EXISTING PUD		PROPOSED PUD	
EXISTING USE:	APARTMENT FACILITY FOR THE ELDERLY	PROPOSED USE:	APARTMENT FACILITY
BUILDING HEIGHTS:	19' - 12-STORY	BUILDING HEIGHT:	19'
HEIGHT:	22,960 S.F.	BUILDING AREA:	12-STORY $\pm 15,528$ S.F.
BUILDING AREA:		PARKING SPACES REQUIRED:	0 SPACES (UZO)
PARKING RATIO REQUIRED:	.5 SPACE / 1 ROOM	PARKING SPACES PROVIDED:	170 SPACES (STANDARD) 65 SPACES (COMPACT)
PARKING SPACES REQUIRED:	97 SPACES	PARKING SPACES PROVIDED:	8 ACCESSIBLE SPACES (2 VAN ACCESSIBLE)
PARKING SPACES PROVIDED:	123 SPACES (STANDARD) 15 ACCESSIBLE SPACES TOTAL SPACES = 138	TOTAL SPACES:	TOTAL SPACES = 243
FEMA DATA			
FEMA MAP NUMBER:	47037C0139H		
PANEL NUMBER:	0139, SUFFIX H		
MAP DATE:	APRIL 5, 2017		
FLOOD ZONE:	NONE		

FLOOD INFORMATION:

BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY. THIS PROPERTY LIES WITHIN THE FLOODPLAIN AS DEFINED BY THE NATIONAL FLOOD INSURANCE ADMINISTRATION. FLOODPLAIN AGENCY MAP NO. 47037C0139H, WITH AN EFFECTIVE DATE OF APRIL 5, 2017, WHICH MAKES UP A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT: METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY COMMUNITY NO. 4700040, PANEL NO. 0139, SUFFIX H, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED. SAID MAP DEFINES ZONE "X" UNDER "OTHER AREAS" AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

WINDLANDS EAST
FOR
CHURCHILL WINDLANDS EAST LLC.

Scale:
Date: 7/12/23
Approved By: M. LACKEY

Revisions:
- - -
- - -
- - -
- - -
- - -
- - -
- - -
Drawing Title: COVER SHEET

Drawing No.: C0.0
Project No.: 22-0382
Plotting by TYLER KORNBLUTH, CIVIL ENGINEER/REGISTERED PLANNER, STATE OF TENNESSEE, LICENSE #42174A
Notes DWG. C:\22-0382\COVER SHEET\51-08\COVER SHEET.DWG
Last Updated 04/27/2023
Drawing Date 04/27/2023
Drawing Number 22-0382





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WINDLANDS EAST

FOR

CHURCHILL WINDLANDS EAST LLC.

Scale: 1"=30'
Date: 7/12/23
Approved By: M. LACKEY

Revisions:
-
-
-
-
-
-
Drawing Title:

EXISTING CONDITIONS PLAN

MWS #SWGR 2023046534
MWS PUD CASE #83P-83-001



Know what's below.
Call before you dig.

Drawing No.

C0.2

Project No.
22-0382

LEGEND	
● 1/2" IRON ROD (NEW)	WATER LINE
● 1/2" IRON ROD W/ PLASTIC CAP MARKED "RAGAN-SMITH ASSOCIATES"	LIGHT STANDARD
○ IRON ROD (OLD)	GAS METER
◆ FIRE HYDRANT	M.B.S.L. MINIMUM BUILDING SETBACK LINE
✖ WATER VALVE	R.O.D.C.T. REGISTER'S OFFICE FOR DAVIDSON COUNTY TENNESSEE
■ WATER METER	SANITARY SEWER MANHOLE
■ CATCH BASIN	SANITARY SEWER LINE
● SANITARY SEWER MANHOLE	CONCRETE SURFACE
— SA SANITARY SEWER LINE	ASPHALT SURFACE
— P POWER LINE	

GENERAL NOTES

1. BEARINGS SHOWN HEREON ARE BASED ON THE TENNESSEE COORDINATE SYSTEM OF 1983. GPS EQUIPMENT WAS USED TO DETERMINE THE POSITION OF TWO (2) CONTROL POINTS FOR THE SURVEYED PROPERTY TO ESTABLISH AS BASIS FOR BEARING FOR THE SURVEY. THE GPS EQUIPMENT USED IS: TRIMBLE, MODEL R10, DUAL FREQUENCY RECEIVER, TYPE OF GPS SURVEY: TDOT NETWORK ADJUSTED REAL TIME KINETIC. THE AVERAGE POSITIONAL QUALITY IS 0.5".

2. ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88 CONTOURS ARE AT ONE FOOT INTERVALS AND ARE BASED ON A FIVE RUN SURVEY USING RANDOM SPOT ELEVATIONS. CONTOURS WERE DERIVED USING SURFACE MODELING TECHNIQUES.

3. THIS PROPERTY IS CURRENTLY ZONED CL - (COMMERCIAL LIMITED) & OR20 (OFFICE AND RESIDENTIAL).

4. BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES WITHIN FLOOD ZONE "X", AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 47037C0139H, WITH AN EFFECTIVE DATE OF APRIL 5, 2017, WHICH MAKES UP A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT: METROPOLITAN GOVERNMENT OF NASHVILLE AND DAVIDSON COUNTY COMMUNITY NO. 7000, FIRM NO. 0139, SUFFIX H, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED. SAID MAP DEFINES ZONE "X" UNDER "OTHER AREAS" AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

DEED REFERENCE

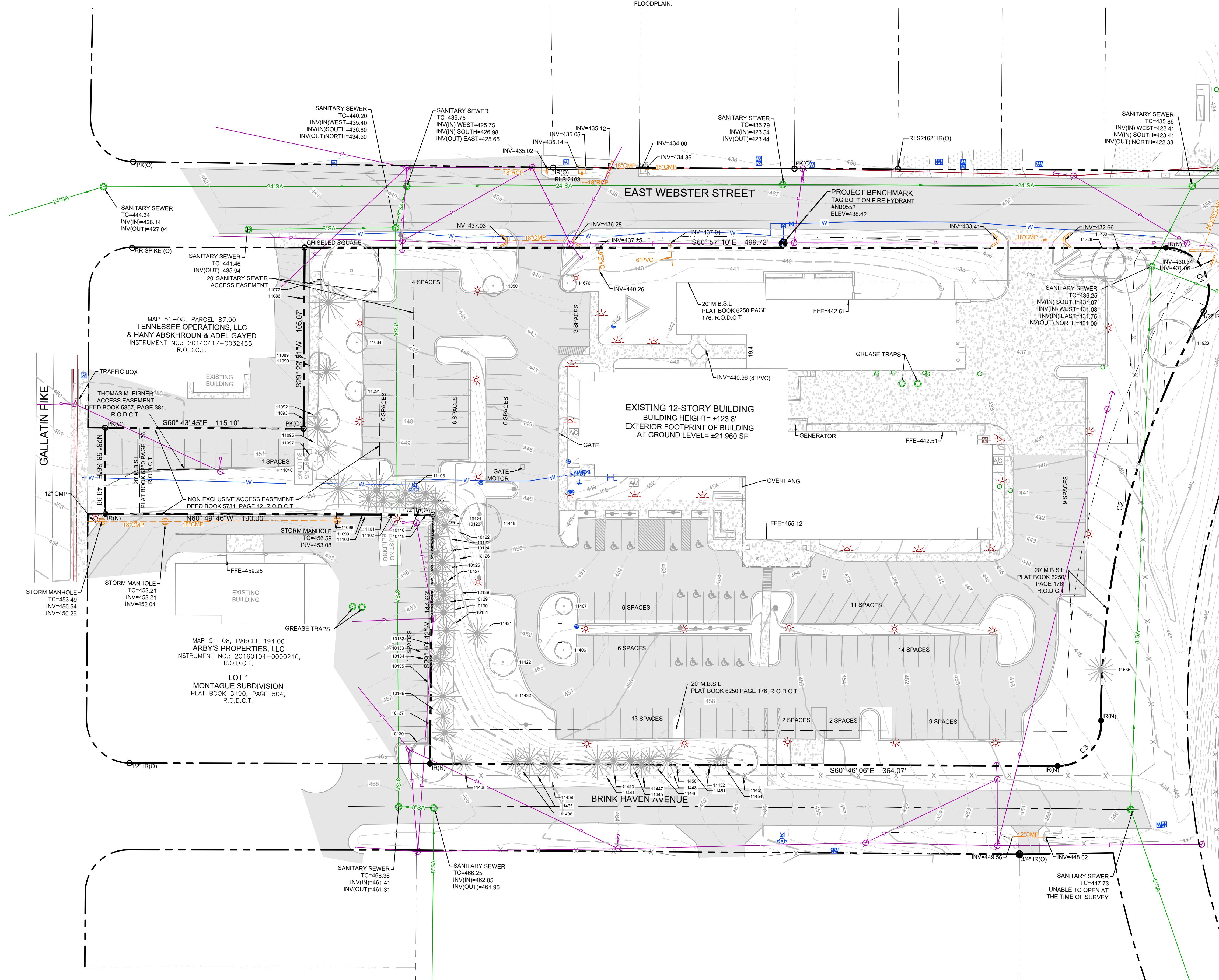
BEING THE SAME PROPERTY AS CONVEYED TO HARVEST WINDLANDS - EAST RETIREMENT COMMUNITY LLC FROM CHURCHILL WINDLANDS EAST LLC BY WARRANTY DEED OF RECORD AS INSTRUMENT 20210806-0106359, REGISTER'S OFFICE FOR DAVIDSON COUNTY, TENNESSEE.

PLAT REFERENCE

BEING LOT 1 AS SHOWN ON THE FINAL PLAT ENTITLED OF RESIDENTIAL PLANNED UNIT DEVELOPMENT WILLOW BROOK TOWERS OF RECORD IN PLAT BOOK 6250, PAGE 176 REGISTER'S OFFICE FOR DAVIDSON COUNTY, TENNESSEE.

PROPERTY MAP REFERENCE

BEING PARCEL NUMBER 84.00 AS SHOWN ON DAVIDSON COUNTY PROPERTY MAP NUMBER 51-08.



LEGEND

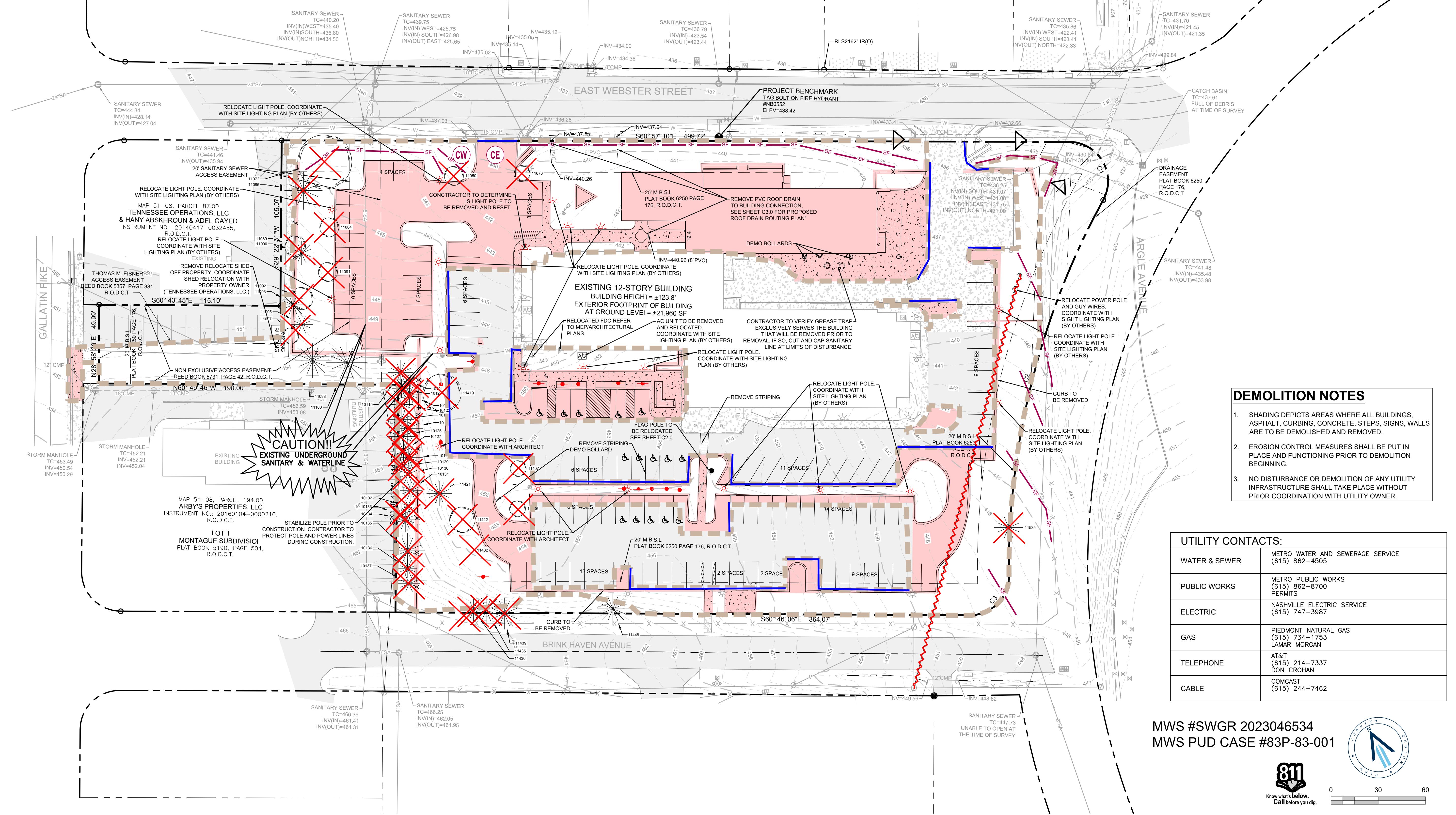
LIMIT OF DISTURBANCE & PERIMETER MEASURES
SITE AREA = 3.22 AC
L.O.D. & EROSION CONTROL PERIMETER MEASURES = +/- 1.80 AC
****NOTE**
ALL EROSION CONTROL AND LAND DISTURBANCE TO REMAIN ON-SITE. LINework SHOWN AT OUTSIDE LIMITS OF SITE FOR GRAPHICAL CLARITY ONLY.

- DEMOLITION SHADING**
- UTILITY TO BE DEMOLISHED**
- SILT FENCE**
(SEE DETAIL, C4.2)
- WEIGHTED SILTATION TUBE**
(SEE DETAIL, C4.2)

"Stabilize any portions of the site where work ceases for 14 days and within 7 days if slope is 33% or greater."

- TEMPORARY CONSTRUCTION ENTRANCE**
(SEE DETAIL, C4.2)
- CONCRETE WASHOUT**
(SEE DETAIL, C4.2)
- TEMPORARY CONSTRUCTION STORAGE TRAILERS**

- TREES TO BE REMOVED (42 TREES)**
- SIGN TO BE REMOVED**
- CHECK DAM**



EPSC NOTES

1. ALL PERIMETER EPSC MEASURES MUST BE IN PLACE BEFORE CONSTRUCTION.
2. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 7 DAYS WITH SLOPES GREATER THAN OR EQUAL TO 3:1 SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.

CONCRETE WASHOUT NOTE

CONTRACTOR TO PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH METRO CP-10 AND CP-13, RESPECTIVELY. CONTRACTOR TO COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT DURING PRECONSTRUCTION MEETING. GRADING PERMITTEE TO INCLUDE BMP'S DESIGNED TO CONTROL SITE WASTES SUCH AS DISCARDED BUILDING MATERIALS, CHEMICALS, LITTER, AND SANITARY WASTES THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY. THE LOCATION OF AND/OR NOTES REFERRING TO SAID BMP'S SHALL BE SHOWN ON THE EPSC PLAN.

NOTE:

EXISTING PARKING STRIPING TO BE REMOVED AND RESTRIPIED IN ACCORDANCE TO THE SITE LAYOUT PLAN.

Tennessee Construction General Permit Notice of Coverage (NOC) Certification

The project associated with these submitted plans is covered under Tennessee Construction General Permit TNRxxxxx.
The Total Disturbed Area is: **1.80 acres**
TNR247114
Check all that apply: This site discharges into waters identified by TDEC as:
 Impaired for siltation Impaired for habitat alteration Exceptional
Signature - Date _____
Circle one: Developer Project Engineer Other _____
Please attach a copy of the Notice of Coverage under the Construction General Permit.
NOTE: A project will not be scheduled for a Pre-Construction Meeting until the State Construction General Permit NOC letter is submitted.

NOTE: NOC WAS SUBMITTED TO TDEC AND IS PENDING APPROVAL.

WINDLANDS EAST
FOR
CHURCHILL WINDLANDS EAST LLC.

Scale: 1"=30'
Date: 7/12/23
Approved By: M. LACKEY

Revisions: -

Drawing Title: INITIAL EROSION CONTROL & DEMOLITION PLAN

DEMOLITION NOTES

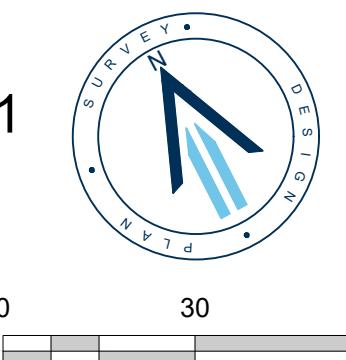
1. SHADING DEPICTS AREAS WHERE ALL BUILDINGS, ASPHALT, CURBING, CONCRETE, STEPS, SIGNS, WALLS ARE TO BE DEMOLISHED AND REMOVED.
2. EROSION CONTROL MEASURES SHALL BE PUT IN PLACE AND FUNCTIONING PRIOR TO DEMOLITION BEGINNING.
3. NO DISTURBANCE OR DEMOLITION OF ANY UTILITY INFRASTRUCTURE SHALL TAKE PLACE WITHOUT PRIOR COORDINATION WITH UTILITY OWNER.

UTILITY CONTACTS:	
WATER & SEWER	METRO WATER AND SEWERAGE SERVICE (615) 862-4505
PUBLIC WORKS	METRO PUBLIC WORKS (615) 862-8700 PERMITS
ELECTRIC	NASHVILLE ELECTRIC SERVICE (615) 747-3987
GAS	PIEDMONT NATURAL GAS (615) 734-1753 LAMAR MORGAN
TELEPHONE	AT&T (615) 214-7337 DON CROHAN
CABLE	COMCAST (615) 244-7462

MWS #SWGR 2023046534
MWS PUD CASE #83P-83-001



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0 30 60

Drawing No. C1.0
Project No. 22-0382



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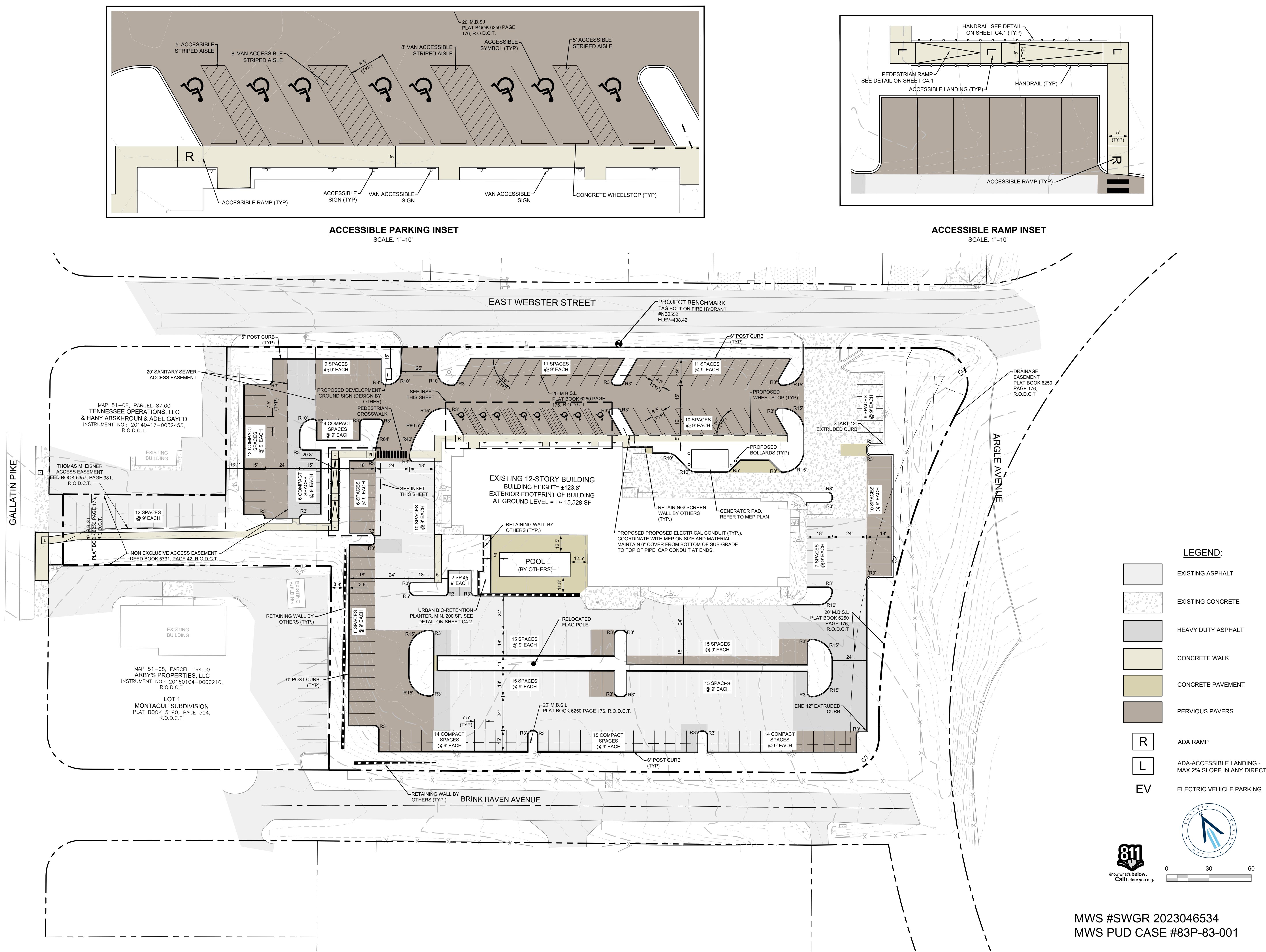


WINDLANDS EAST

FOR

CHURCHILL WINDLANDS EAST LLC.

7TH COUNCIL DISTRICT, 200 EAST WEBSTER STREET, MADISON, DAVIDSON COUNTY, TENNESSEE





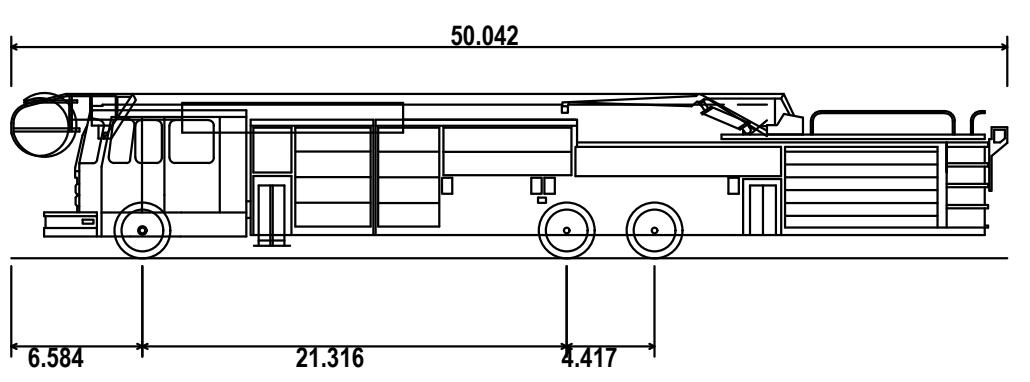
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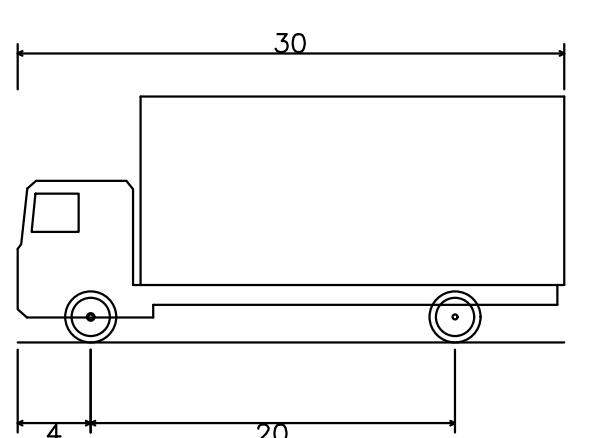
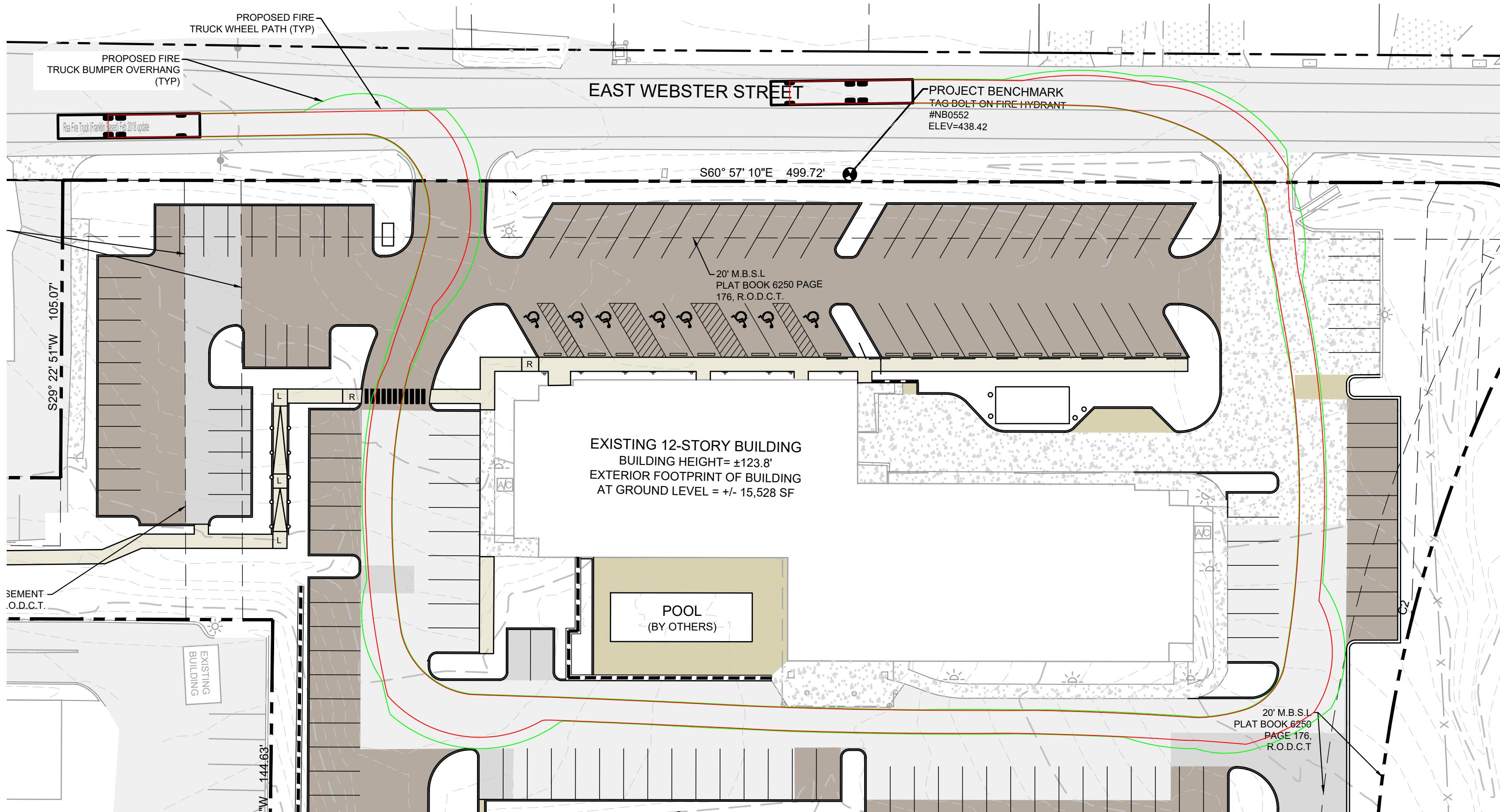


WINDLANDS EAST FOR CHURCHILL WINDLANDS EAST LLC.

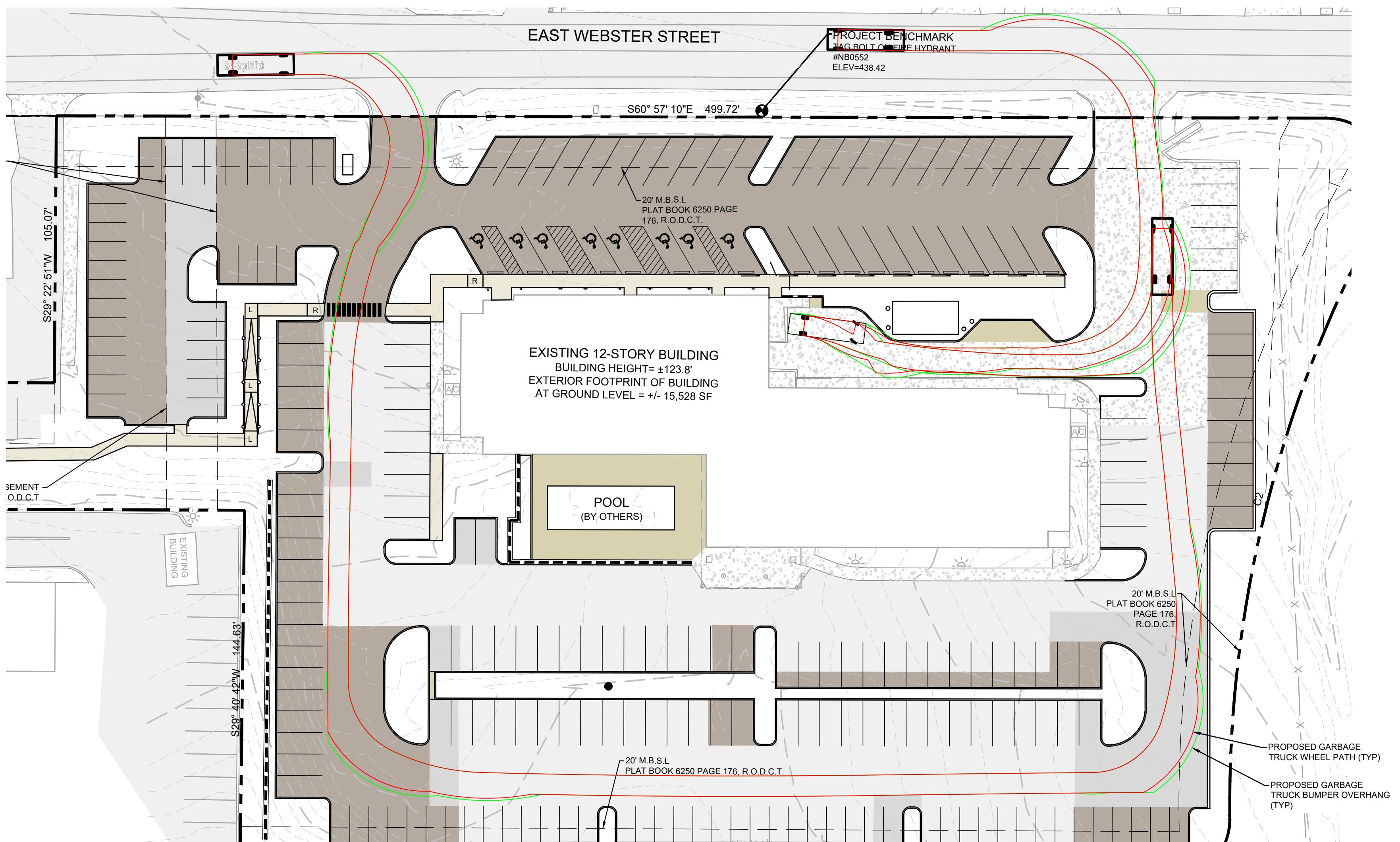
7TH COUNCIL DISTRICT, 200 EAST WEBSTER STREET, MADISON, DAVIDSON COUNTY, TENNESSEE



Rsa Fire Truck	
Overall Length	50.042ft
Overall Width	8.333ft
Overall Body Height	8.303ft
Min Body Ground Clearance	0.627ft
Track Width	8.000ft
Lock-to-lock time	6.00s
Wall to Wall Turning Radius	42.000ft



SU-30 - Single Unit Truck	
Overall Length	30.000ft
Overall Width	8.000ft
Overall Body Height	13.500ft
Min Body Ground Clearance	1.367ft
Track Width	8.000ft
Lock-to-lock time	5.00s
Max Steering Angle (Virtual)	31.80°



LEGEND:	
EXISTING ASPHALT	
EXISTING CONCRETE	
HEAVY DUTY ASPHALT	
CONCRETE WALK	
CONCRETE PAVEMENT	
PERVIOUS PAVERS	
R	ADA RAMP
L	ADA-ACCESSIBLE LANDING - MAX 2% SLOPE IN ANY DIRECTION
EV	ELECTRIC VEHICLE PARKING

Scale: 1"=30'
Date: 7/12/23
Approved By: M. LACKEY
Revisions:
Drawing Title: TRUCK TURN MOVEMENT PLAN
Drawing No. 81
Know what's below.
Call before you dig.
0 30 60

MWS #SWGR 2023046534
MWS PUD CASE #83P-83-001

C2.1

Project No.
22-0382



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GIP CONSTRUCTION SEQUENCING

- AS-BUILT NOTE**
- IN ACCORDANCE WITH THE METRO STORMWATER MANAGEMENT MANUAL, VOLUME 1, SECTION 3.9. AS-BUILT CERTIFICATIONS, MWS STORMWATER DIVISION MUST APPROVE THE FOLLOWING AS-BUILTS PRIOR TO ISSUANCE OF THE USE & OCCUPANCY PERMIT:
- A CERTIFICATION LETTER FROM TN REGISTERED P.E. STATING THAT THE SITE HAS BEEN INSPECTED AND THAT THE STORMWATER MANAGEMENT SYSTEM AND STORMWATER CONTROLS MEASURES (BOTH STRUCTURAL AND NON-STRUCTURAL) ARE COMPLETE AND FUNCTIONAL IN ACCORDANCE WITH THE PLANS APPROVED BY MWS.
 - AN AS-BUILT LID SPREADSHEET.
 - HYDROLOGIC AND HYDRAULIC CALCULATIONS FOR THE AS-BUILT CONDITIONS AS REQUIRED.
 - AS-BUILT DRAWINGS SHOWING FINAL TOPOGRAPHIC FEATURES OF ALL THESE FACILITIES. THIS SHALL INCLUDE INVERT ELEVATIONS OF OUTLET CONTROL STRUCTURES.
 - ANY DEVIATIONS FROM THE APPROVED PLANS SHALL BE NOTED ON AS-BUILT DRAWINGS SUBMITTED.
 - COPY OF AS-BUILT PLAN CAD FILE ON A CD AND SHOULD BE REGISTERED TO THE TN STATE PLANE COORDINATE SYSTEM, NORTH AMERICAN DATUM 1983 (NAD83). DATA SHOULD BE PLACED IN SEPARATE LAYER AND SHOULD BE LABELED/ NAMED FOR EASY IDENTIFICATION.
 - CUT AND FILL BALANCE CERTIFICATION FOR FLOODPLAIN AND SINKHOLE OPERATIONS.
 - WATER QUALITY BUFFERS SHALL BE SURVEYED AND INCLUDED IN THE AS-BUILT SUBMITTAL. ANY PUBLIC TO BECOME THE RESPONSIBILITY OF METRO TO MAINTAIN STORMWATER INFRASTRUCTURE SHALL BE VIDEO INSPECTED TO VERIFY PROPER INSTALLATION WITH THE VIDEO RECORDING AND ANY ASSOCIATED INSPECTION REPORT SUBMITTED AS PART OF AS-BUILT RECORDS.
 - ADDITIONAL TESTING MAY BE REQUIRED AS/ IF WARRANTED BY VIDEO INSPECTION.
- THE ENGINEER SHALL CONTACT STORMWATER DEVELOPMENT REVIEW STAFF FOR SUBMITTAL REQUIREMENTS.

LEGEND

LIMIT OF DISTURBANCE & PERIMETER MEASURES

SITE AREA = 3.22 AC

L.O.D. = 1.80

****NOTE**
ALL EROSION CONTROL AND LAND DISTURBANCE TO REMAIN ON-SITE. LINework SHOWN AT OUTSIDE LIMITS OF SITE FOR GRAPHICAL CLARITY ONLY.

6" PVC
6" PERFORATED PIPE

EXISTING ASPHALT

EXISTING CONCRETE

HEAVY DUTY ASPHALT

CONCRETE WALK

CONCRETE PAVEMENT

PERVIOUS PAVERS

R ADA RAMP

L ADA-ACCESSIBLE LANDING - MAX 2% SLOPE IN ANY DIRECTION

EV ELECTRIC VEHICLE PARKING

WINDLANDS EAST

FOR

CHURCHILL WINDLANDS EAST LLC.

7TH COUNCIL DISTRICT, 200 EAST WEBSTER STREET, MADISON, DAVIDSON COUNTY, TENNESSEE

SPOT ELEVATION LEGEND

100.00	SPOT IS LOCATED AT FLOWLINE UNLESS NOTED OTHERWISE
TC:100.00	SPOT INDICATES TOP OF CURB
BC:100.00	SPOT INDICATES BOTTOM OF CURB
TG:100.00	SPOT INDICATES TOP OF GRADE AT WALL
BG:100.00	SPOT INDICATES BOTTOM OF GRADE AT WALL
F:100.00	SPOT INDICATES FLUSH CONDITION
DOOR:100.00	SPOT INDICATES A DOOR LOCATION
EG:100.00	SPOT INDICATES EXISTING GRADE
BC/EG:100.00	TWO DENOTATIONS IN SPOT CALL OUT INDICATES BOTH

Scale:
1"=30'
Date:
7/12/23
Approved By:
M. LACKEY

Revisions:
- - -

Drawing Title:
GRADING AND DRAINAGE PLAN

WATER QUALITY / BMP NOTES

- WATER QUALITY BMPs SHALL NOT BE INSTALLED UNTIL BUILD OUT IS NEAR COMPLETION TO PREVENT CONSTRUCTION SEDIMENT FROM ENTERING WATER QUALITY BMPs. WATER QUALITY AREAS SHALL NOT BE USED AS SEDIMENT BASINS DURING CONSTRUCTION. INSTALLERS OF WATER QUALITY BMPs SHOULD FOLLOW ALL INSTALLATION GUIDELINES SET FORTH IN THE METRO NASHVILLE BMP MANUAL LOCATED ON THE CITY'S WEBSITE.
- WATER QUALITY SINS SHALL BE PLACED ON THE WATER QUALITY AREAS. THE SIGHTS, TIE-IN, AND LABOR TO INSTALL WILL BE PROVIDED BY CITY STAFF.
- THE BIORETENTION AREA HAS BEEN DESIGNED TO THE WORST CASE CONDITIONS (TYPE D SOLS) WITH ACCORDANCE WITH METRO NASHVILLE INFILTRATION TESTING REQUIREMENTS.
- IF THE DEVELOPER WISHES TO CONDUCT INFILTRATION TESTING ONCE MASS GRADING OF THE SITE HAS BEEN COMPLETED AND THE BOTTOM ELEVATION OF THE BMPs ARE ACCESSIBLE, METRO NASHVILLE ENGINEERING STAFF WILL TAKE THE TEST RESULTS INTO ACCOUNT AND ALLOW FOR DESIGN MODIFICATIONS TO REFLECT THE ACTUAL FIELD CONDITIONS.

CONCRETE WASHOUT

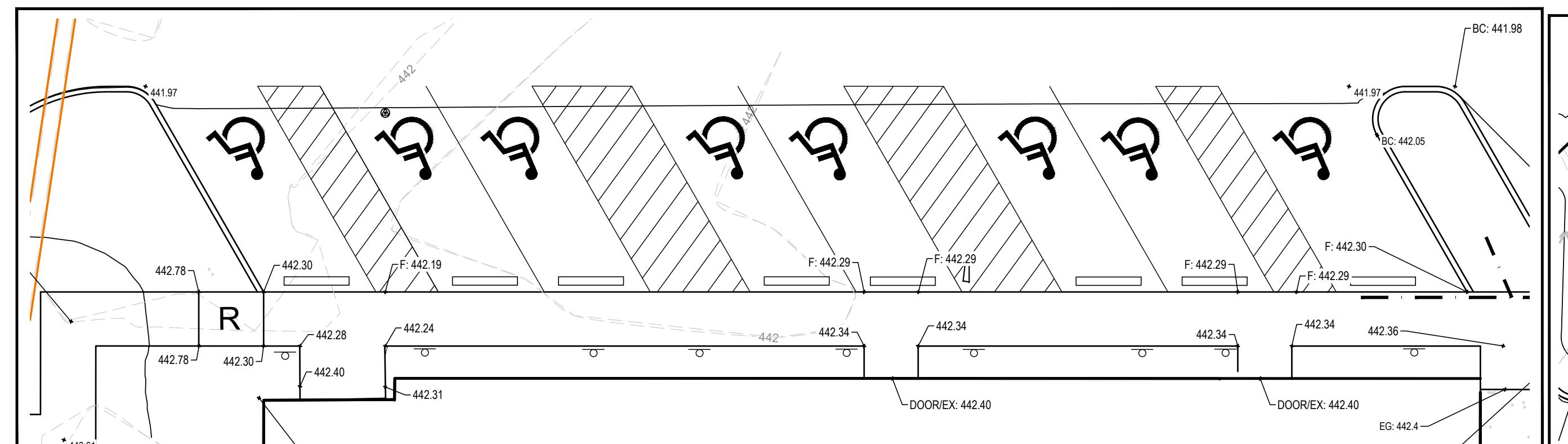
CONTRACTOR SHALL PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING IN ACCORDANCE WITH METRO CP-10 AND CP-13, RESPECTIVELY. CONTRACTOR TO COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT DURING PRECONSTRUCTION MEETING. CONTROL OF OTHER SITE WASTES SUCH AS DISCARDED BUILDING MATERIALS, CHEMICALS, LITTER, AND SANITARY WASTES THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY IS ALSO REQUIRED BY THE GRADING PERMITTEE.



MWS #SWGR 2023046534
MWS PUD CASE #83P-83-001

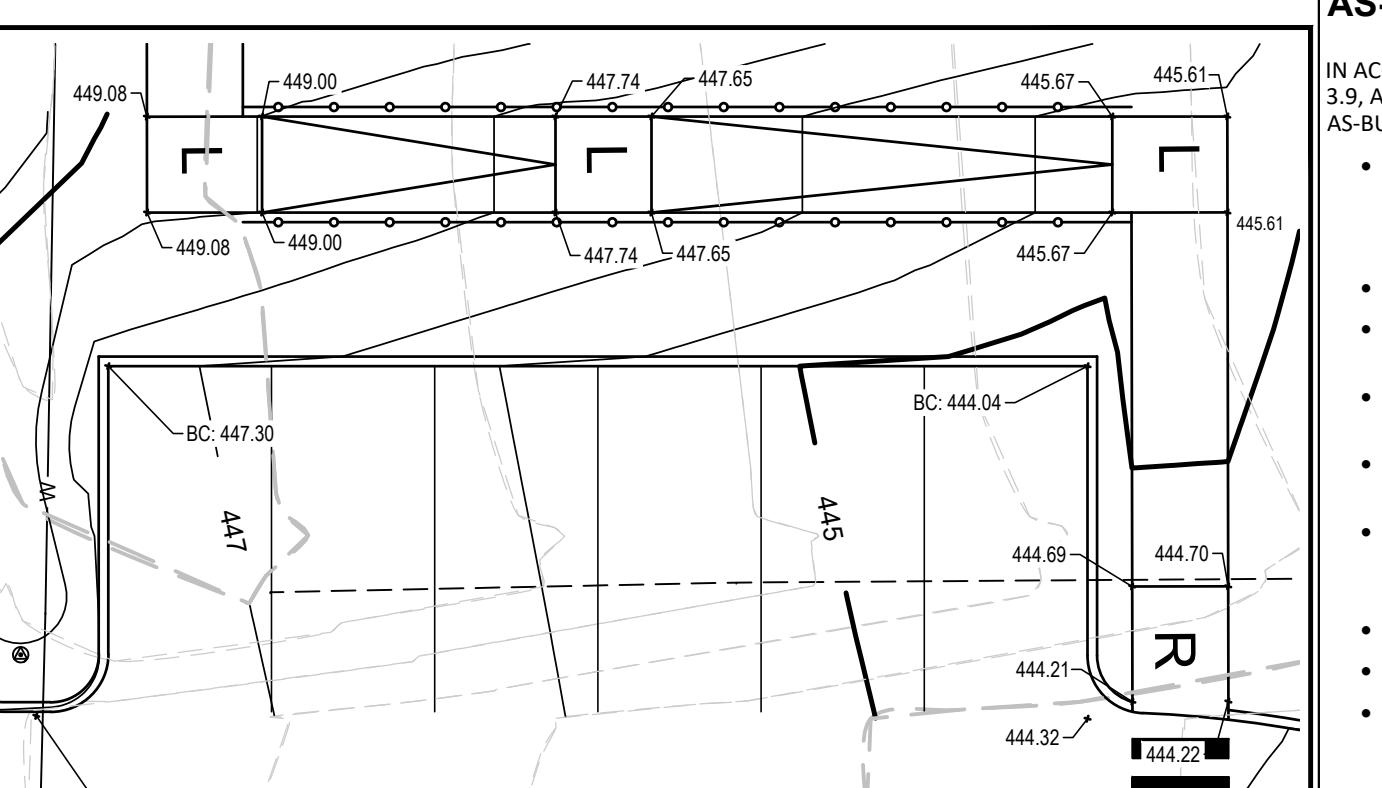
Drawing No.
C3.0

Project No.
22-0382



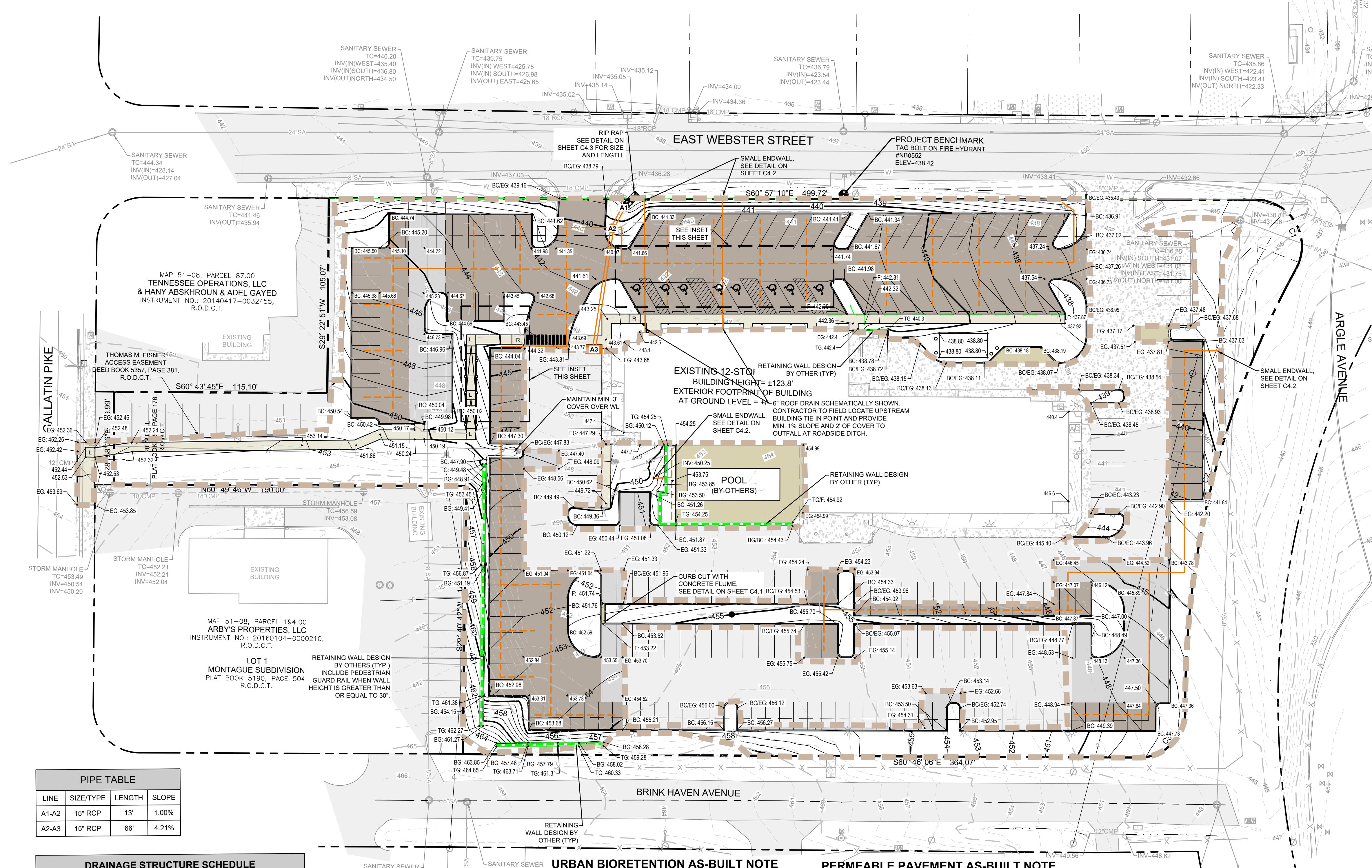
ACCESSIBLE PARKING INSET

SCALE: 1"=10'



ACCESSIBLE RAMP INSET

SCALE: 1"=10'



PIPE TABLE

LINE	SIZE/TYPE	LENGTH	SLOPE
A1-A2	15" RCP	13'	1.00%
A2-A3	15" RCP	66'	4.21%

DRAINAGE STRUCTURE SCHEDULE

NO.	TYPE*	CASTING	RIM	INVERTS
A1	HEADWALL	---	439.21	437.00 (A2)
A2	48 INCH CYLINDRICAL STRUCTURE	1111	440.54	437.13 (A1) 437.23 (A3)
A3	DOUBLE CURB INLET	3300	443.37	440.00 (A2)

URBAN BIORETENTION AS-BUILT NOTE

AFTER THE URBAN BIORETENTION AREA HAS BEEN CONSTRUCTED, OWNER/DEVELOPER MUST HAVE AN AS-BUILT CERTIFICATION OF THE URBAN BIORETENTION AREA CONDUCTED BY A REGISTERED PROFESSIONAL ENGINEER. THE FOLLOWING ITEMS SHALL BE PROVIDED BY THE CONTRACTOR:

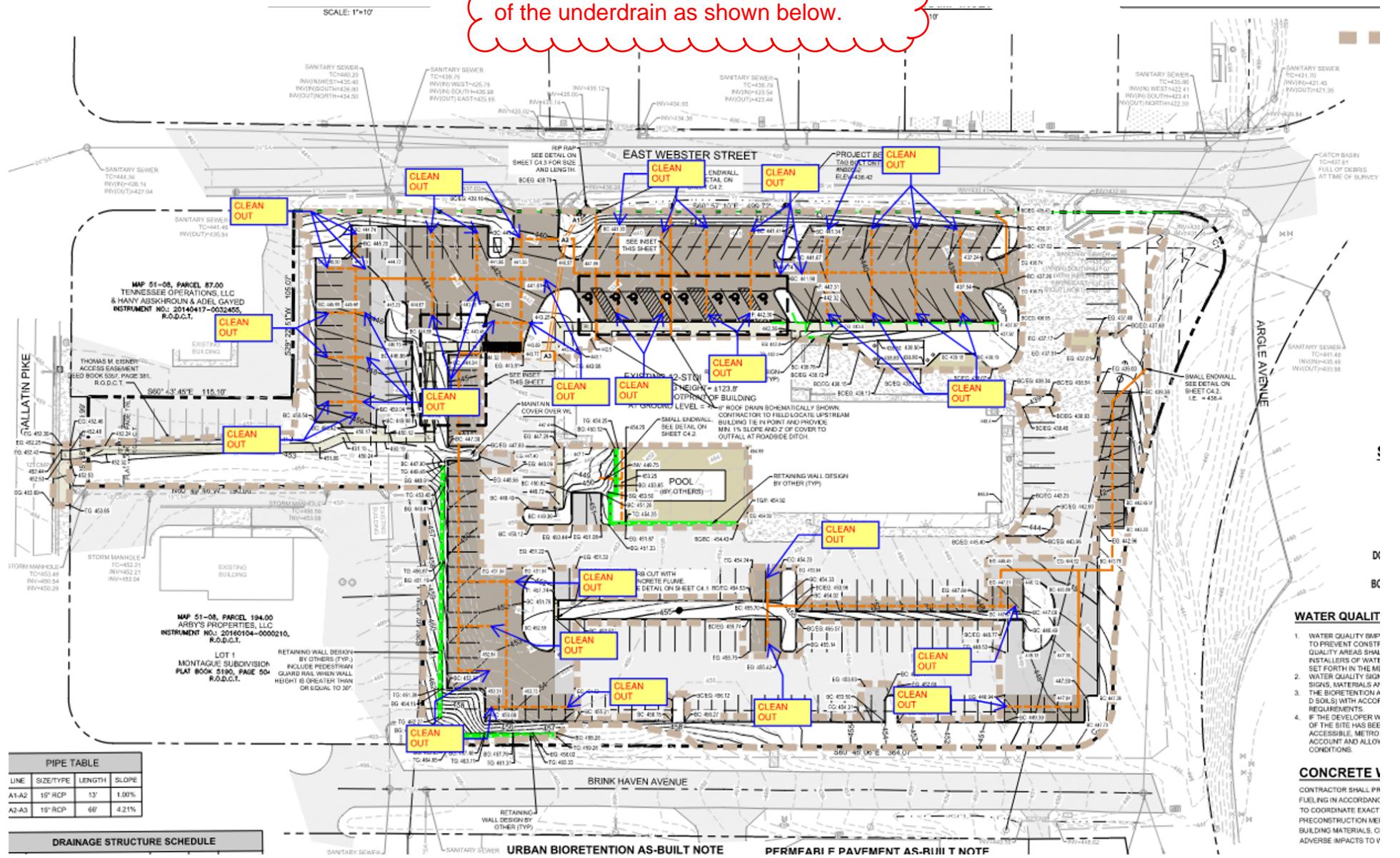
- LANDSCAPE ARCHITECT CERTIFICATION LETTER THAT SCM PLANTINGS HAVE BEEN INSTALLED IN GENERAL CONFORMANCE WITH APPROVED GRADING PLANS AND, WITH PROPER MAINTENANCE, SHOULD ACHIEVE 75% COVERAGE WITHIN FIRST TWO YEARS.
- MEDIA TEST RESULTS CONDUCTED DURING THE CONSTRUCTION OF THE URBAN BIORETENTION.

PERMEABLE PAVEMENT AS-BUILT NOTE

AFTER THE PERMEABLE PAVEMENT AREA HAS BEEN CONSTRUCTED, OWNER/DEVELOPER MUST HAVE AN AS-BUILT CERTIFICATION OF THE PERMEABLE PAVEMENT AREA CONDUCTED BY A REGISTERED PROFESSIONAL ENGINEER. THE FOLLOWING ITEMS SHALL BE PROVIDED BY THE CONTRACTOR:

- TOPOGRAPHIC SURVEY OF THE SUBGRADE WHEN BENCHING OR SUBSURFACE TERRACING IS USED.
- ADDITIONAL SUPPORTING DOCUMENTS AS REQUIRED BY THE ENGINEER.

Include cleanouts on the upstream limits of the underdrain as shown below.



Cleanout Exhibit



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WINDLANDS EAST

FOR

CHURCHILL WINDLANDS EAST LLC.

7TH COUNCIL DISTRICT, 200 EAST WEBSTER STREET, MADISON, DAVIDSON COUNTY, TENNESSEE

Scale: 1"=30'

Date: 7/12/23

Approved By: M. LACKEY

Revisions:

Drawing Title:

FINAL EROSION CONTROL PLAN

LEGEND

ALL SLOPES 3:1 OR GREATER TO RECEIVE NAG SC150 EROSION STABILIZATION SEE DETAIL ON SHEET C4.2 (TYP.)

LIMIT OF DISTURBANCE & PERIMETER MEASURES

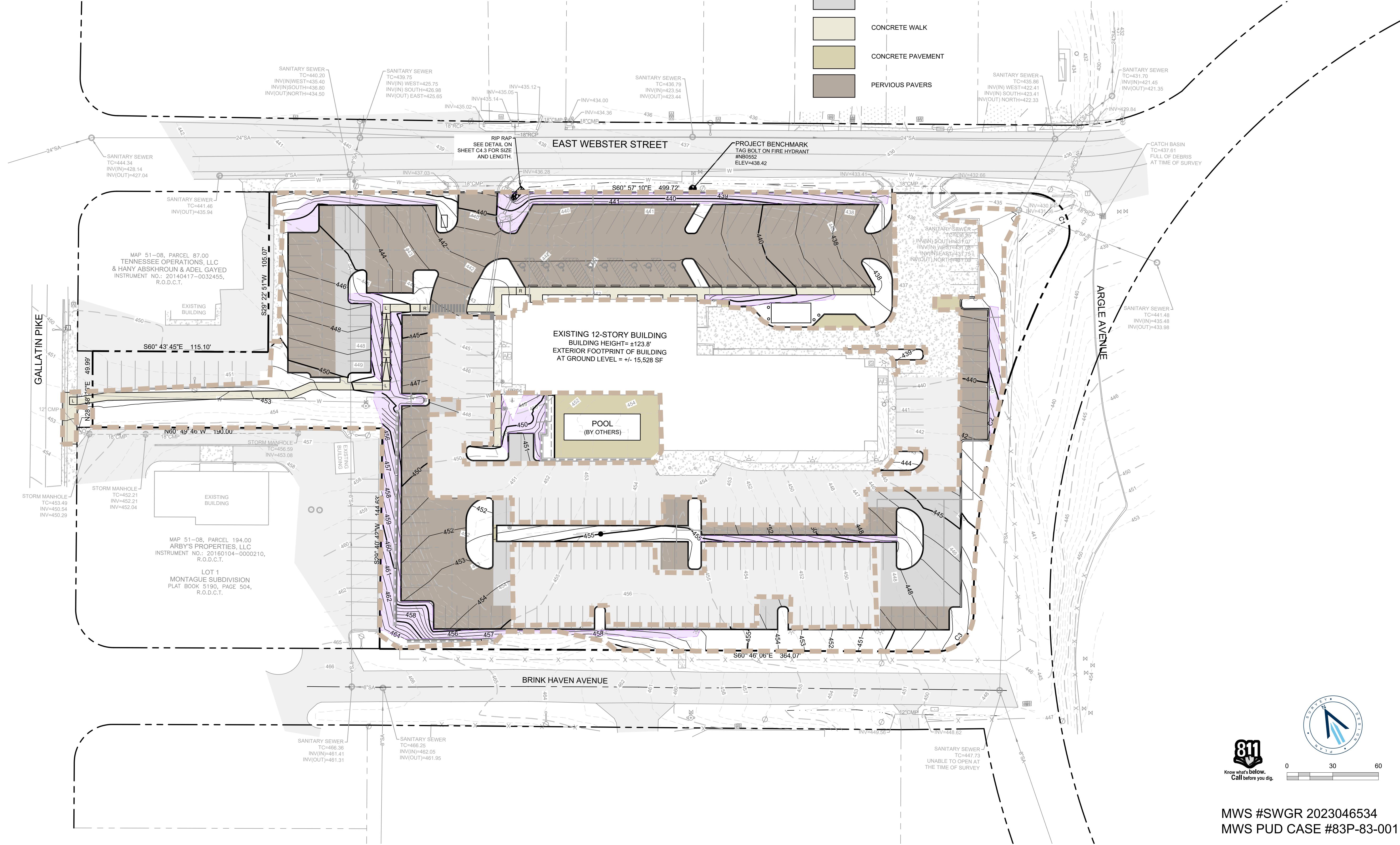
SITE AREA = 3.22 AC
L.O.D. & EROSION CONTROL PERIMETER MEASURES = +/- 1.80 AC

EXISTING ASPHALT
EXISTING CONCRETE
HEAVY DUTY ASPHALT
CONCRETE WALK
CONCRETE PAVEMENT
PERVIOUS PAVERS

FINAL STABILIZATION NOTES

UPON COMPLETION THE FOLLOWING METHODS SHALL BE USED AS FINAL STABILIZATION FOR EROSION CONTROL.

1. ALL TEMPORARY OR "DURING CONSTRUCTION" EROSION CONTROL MEASURES SHALL BE REMOVED. (I.E. SILT FENCE, CONSTRUCTION ENTRANCE, INLET PROTECTION, EXCESSIVE RIPRAP, ETC.)
2. SEDIMENT ACCUMULATION SHALL BE REMOVED FROM DETENTION POND, SWALES, DITCHES, INLETS, AND OUTFALLS.
3. SEDIMENT AND DEBRIS REMOVED SHALL BE DISPOSED OF PROPERLY. IF CONTAMINATION OF MATERIALS SUSPECTED, CONTACT TDEC OR LOCAL WASTE MANAGEMENT FOR PROPER DISPOSAL.
4. ALL AREAS OF EXPOSED SOILS SHALL RECEIVE SEED/STRAW, SODDING, EROSION CONTROL MATTING, AND/OR MULCH.
5. ALL SWALES AND DITCHES SHALL HAVE A HEALTHY STAND OF GRASS.
6. ALL OUTFALLS SHALL POSSESS AN APPROPRIATE AMOUNT OF RIPRAP OR OTHER APPROVE MEANS TO PREVENT SCOURING.





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WINDLANDS EAST

FOR

CHURCHILL WINDLANDS EAST LLC.

7TH COUNCIL DISTRICT, 200 EAST WEBSTER STREET, MADISON, DAVIDSON COUNTY, TENNESSEE

-

Scale:

Date:

7/12/23

Approved By:

M. LACKEY

Revisions:

-

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-

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Drawing Title:

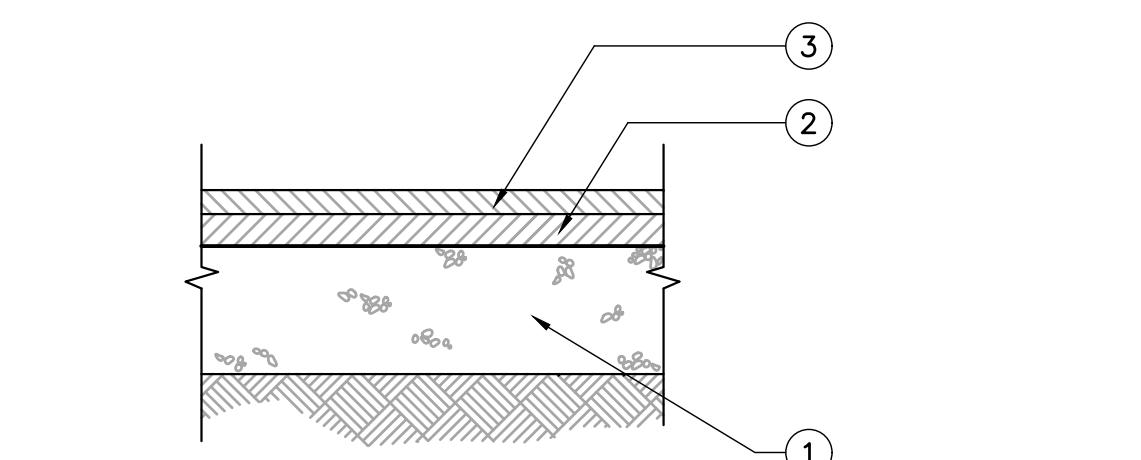
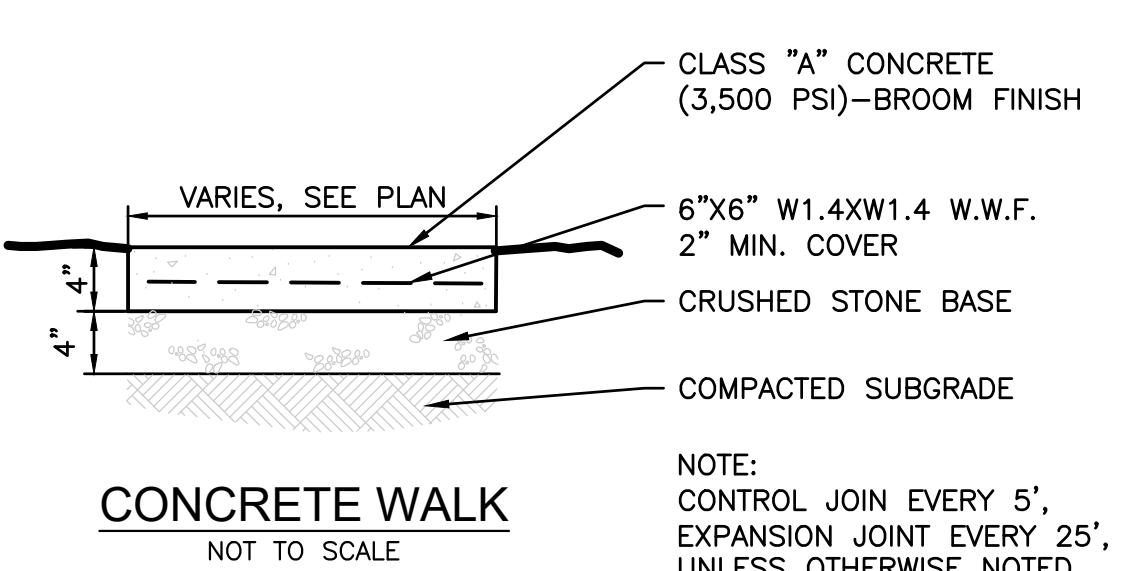
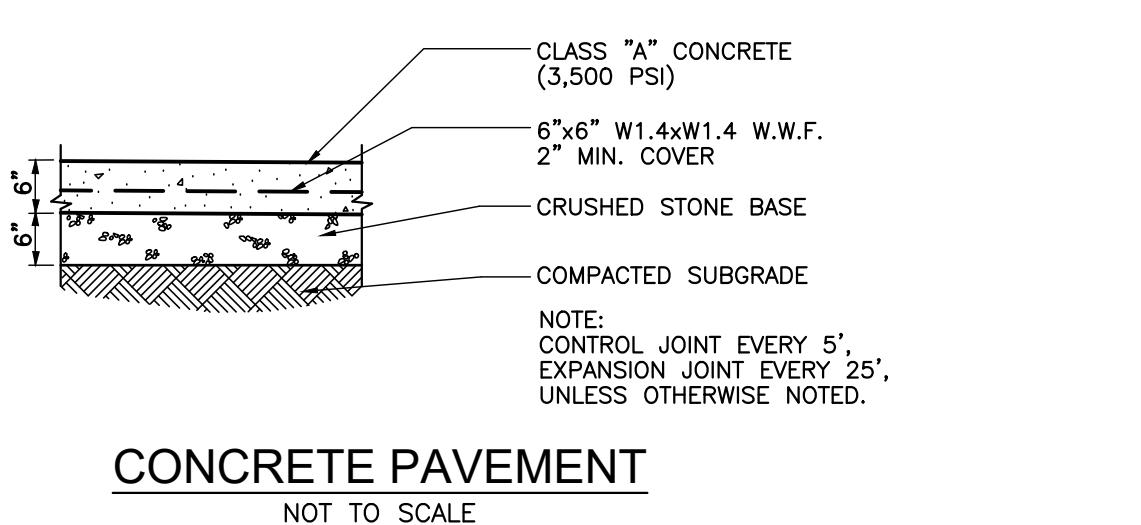
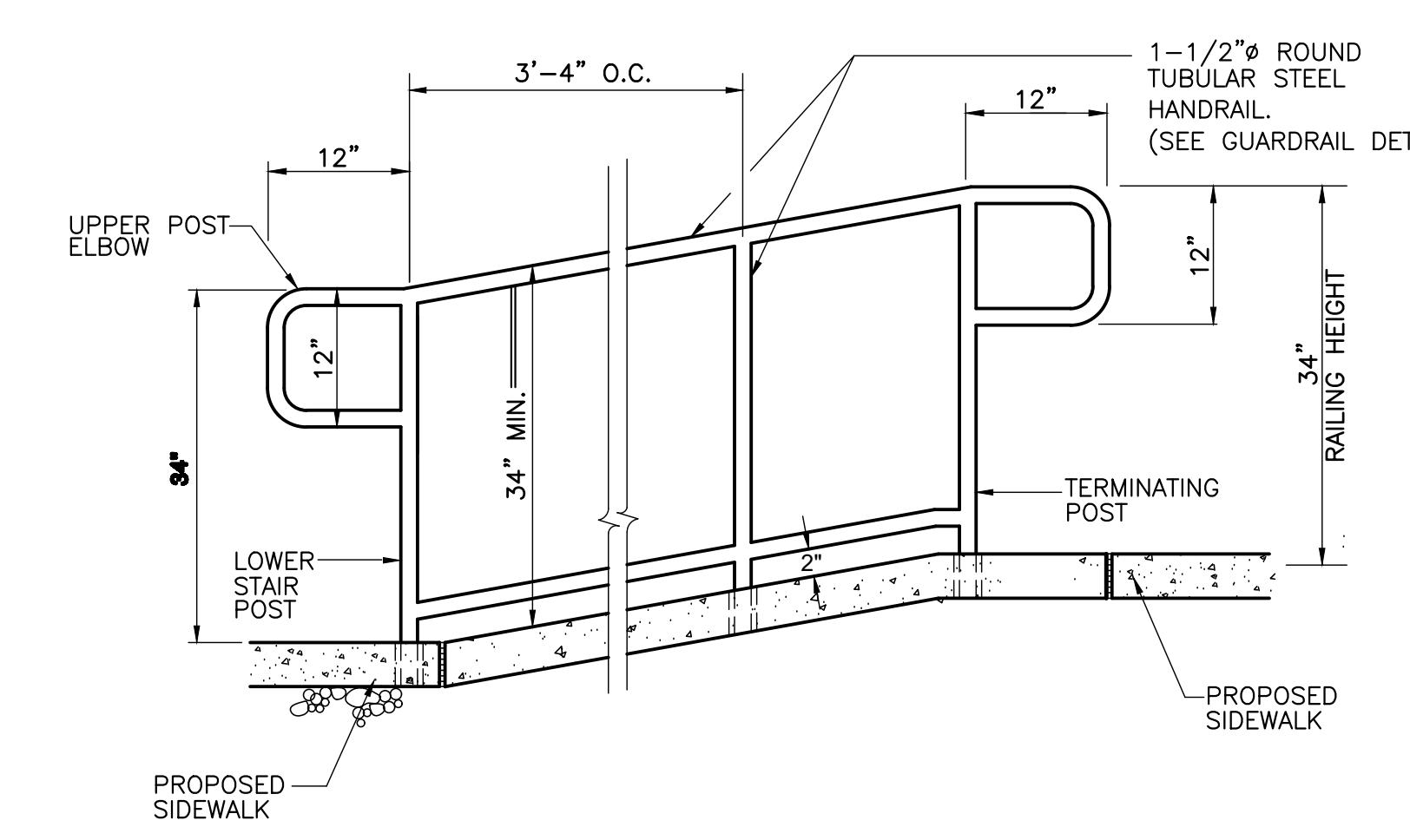
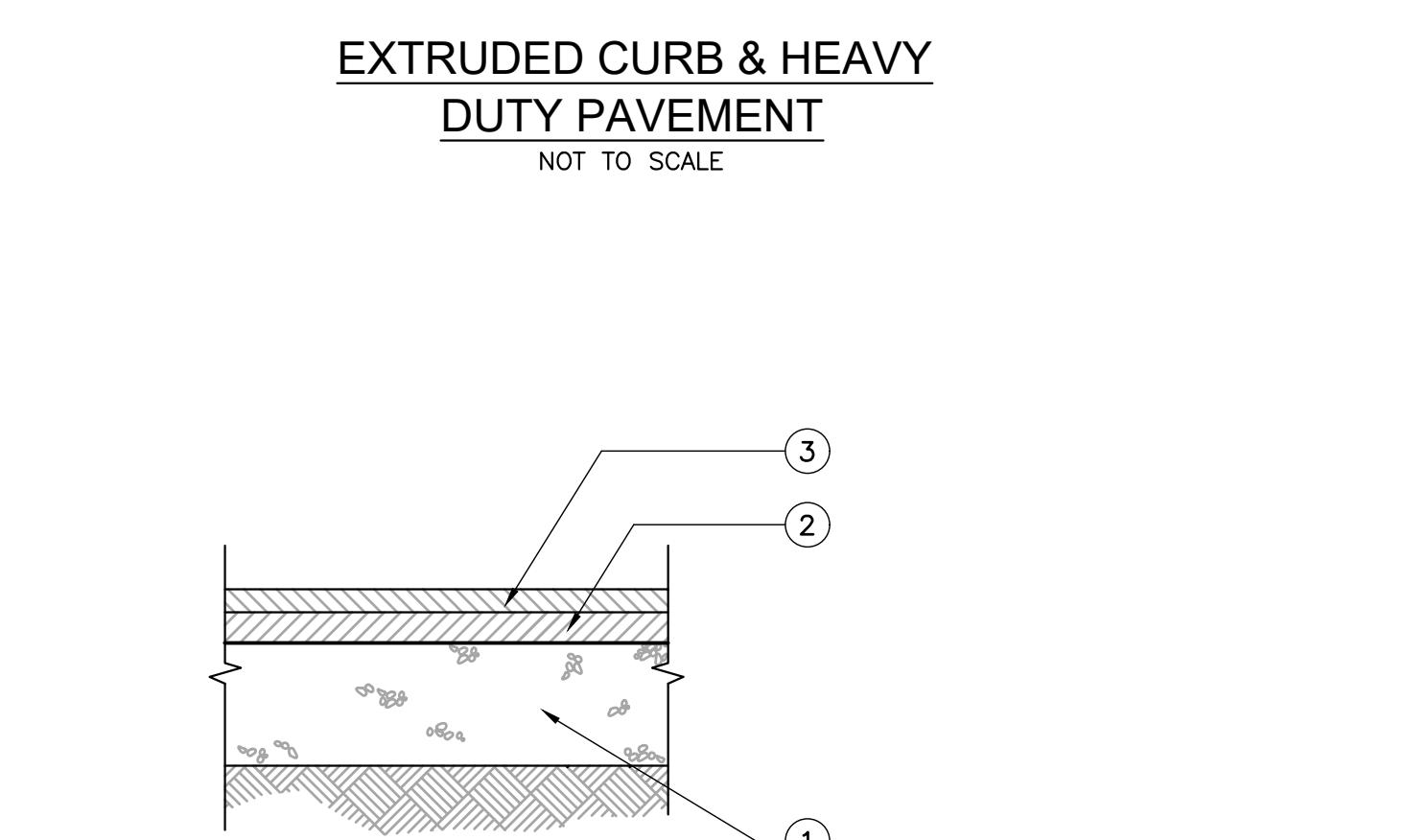
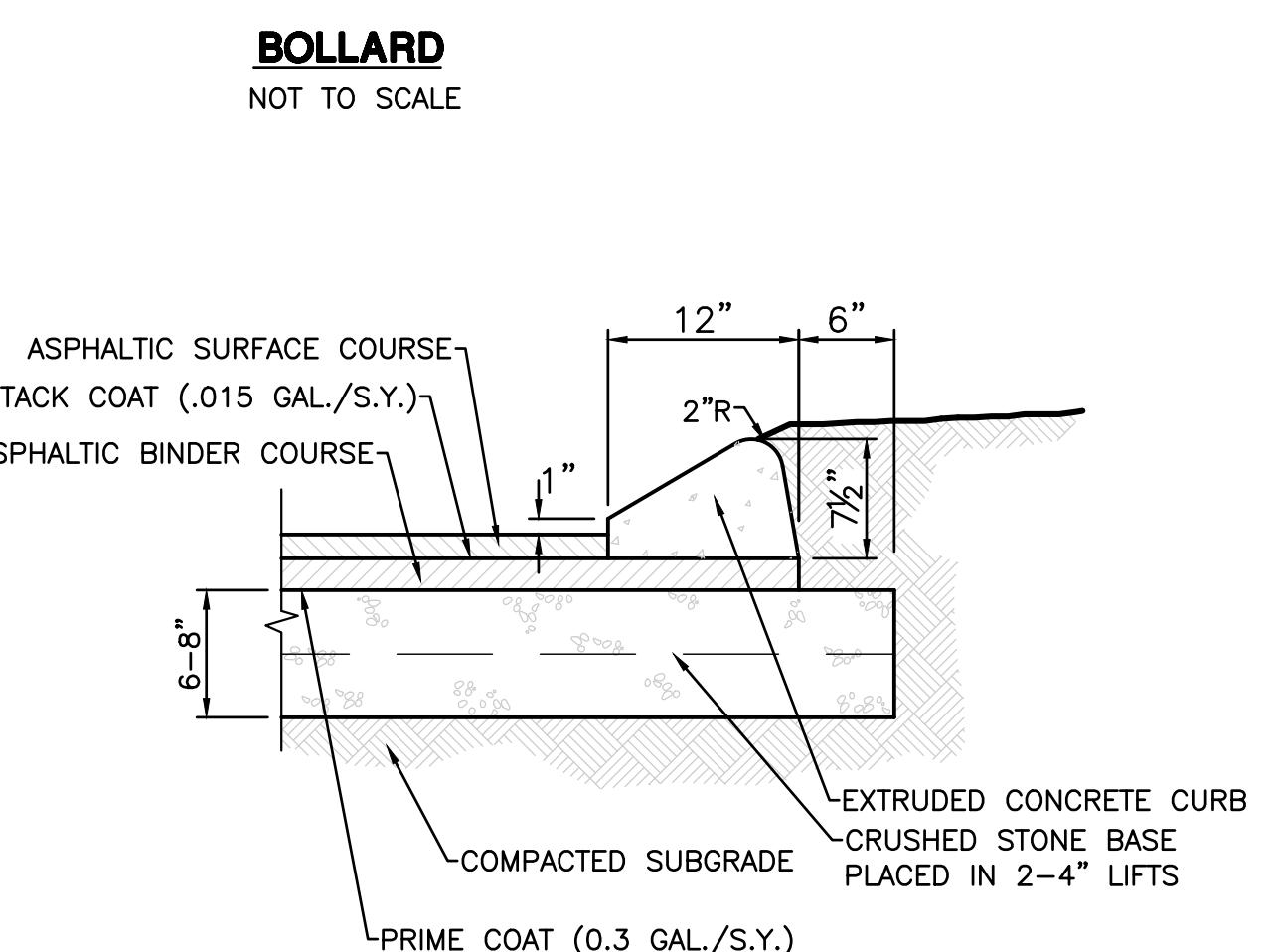
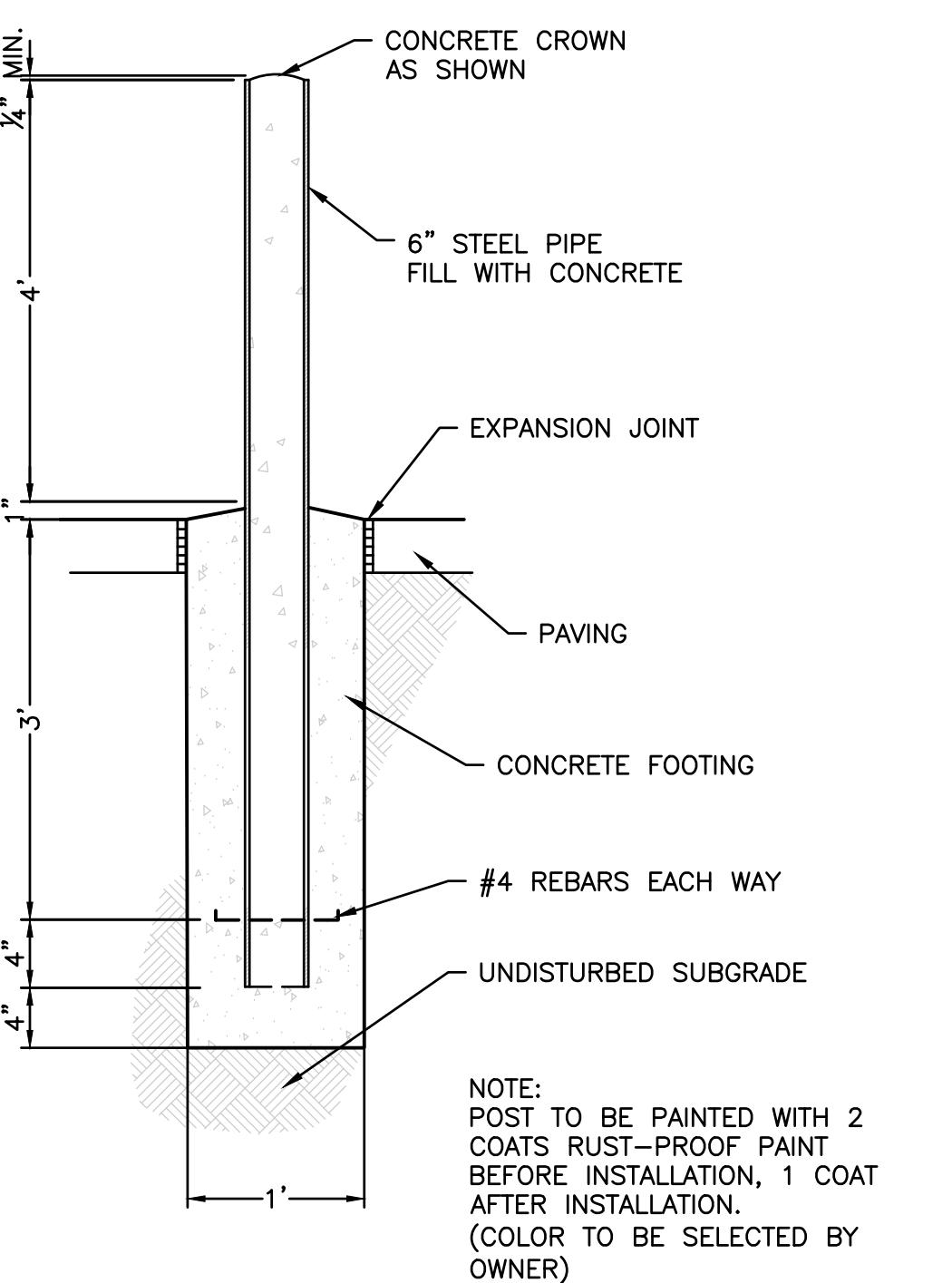
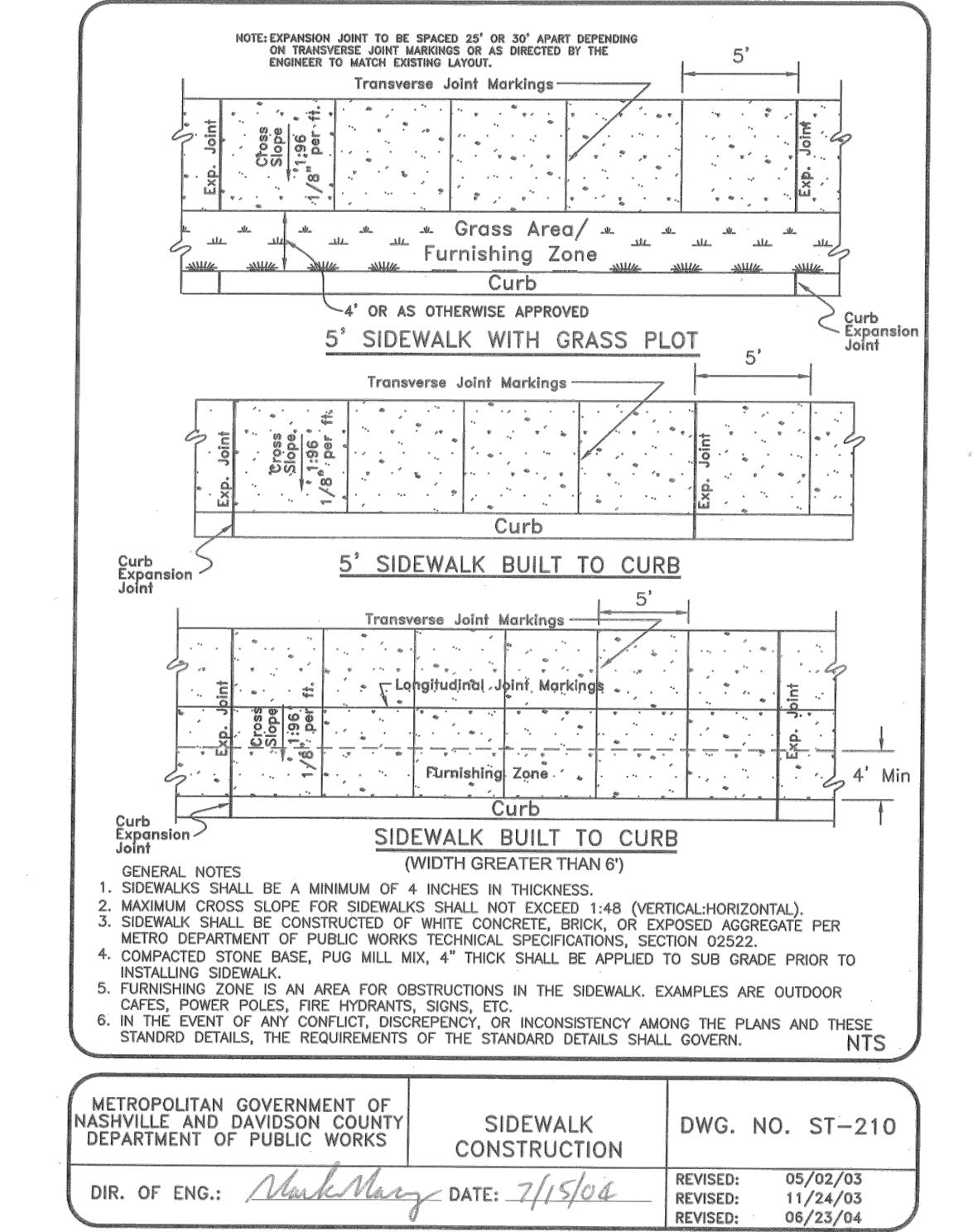
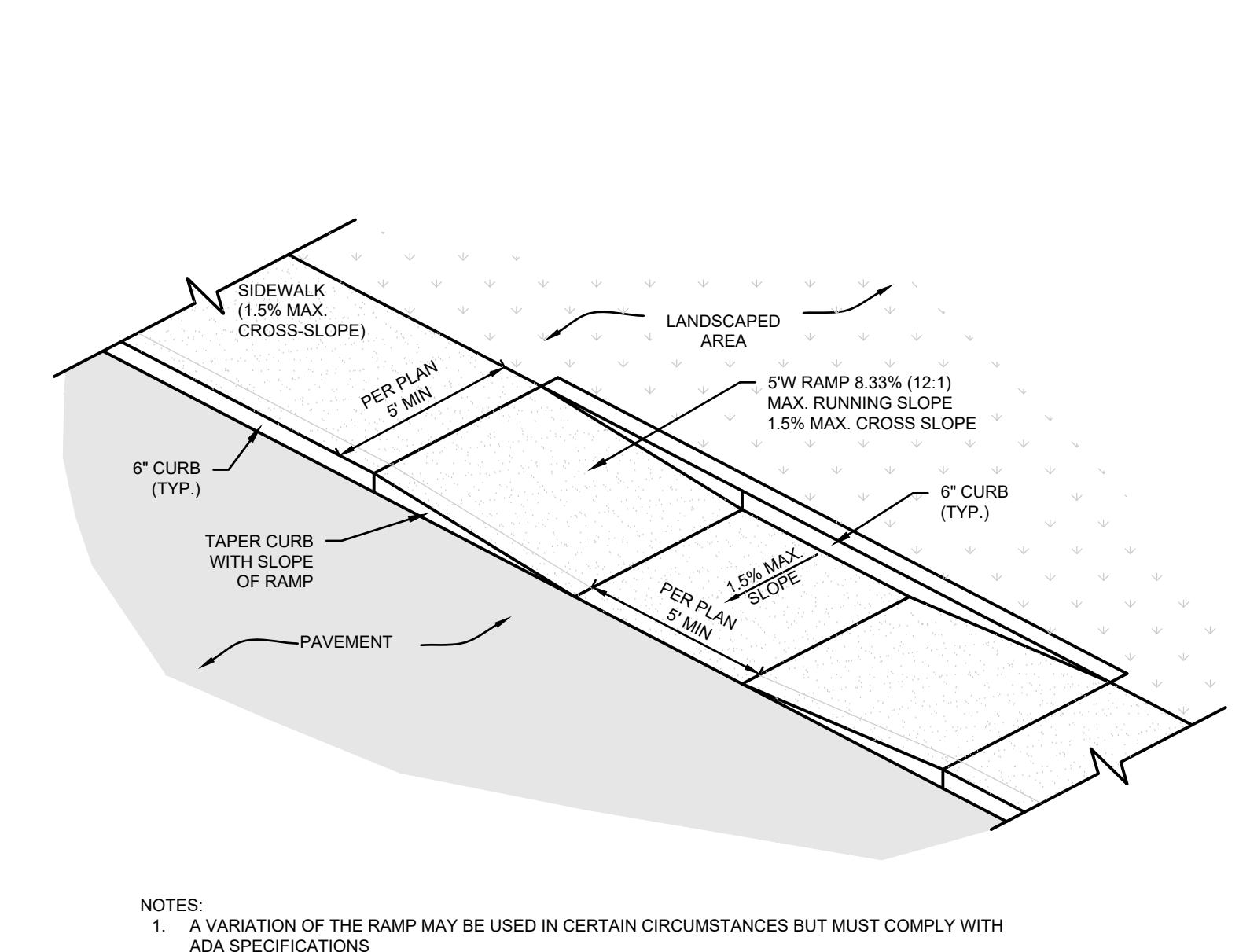
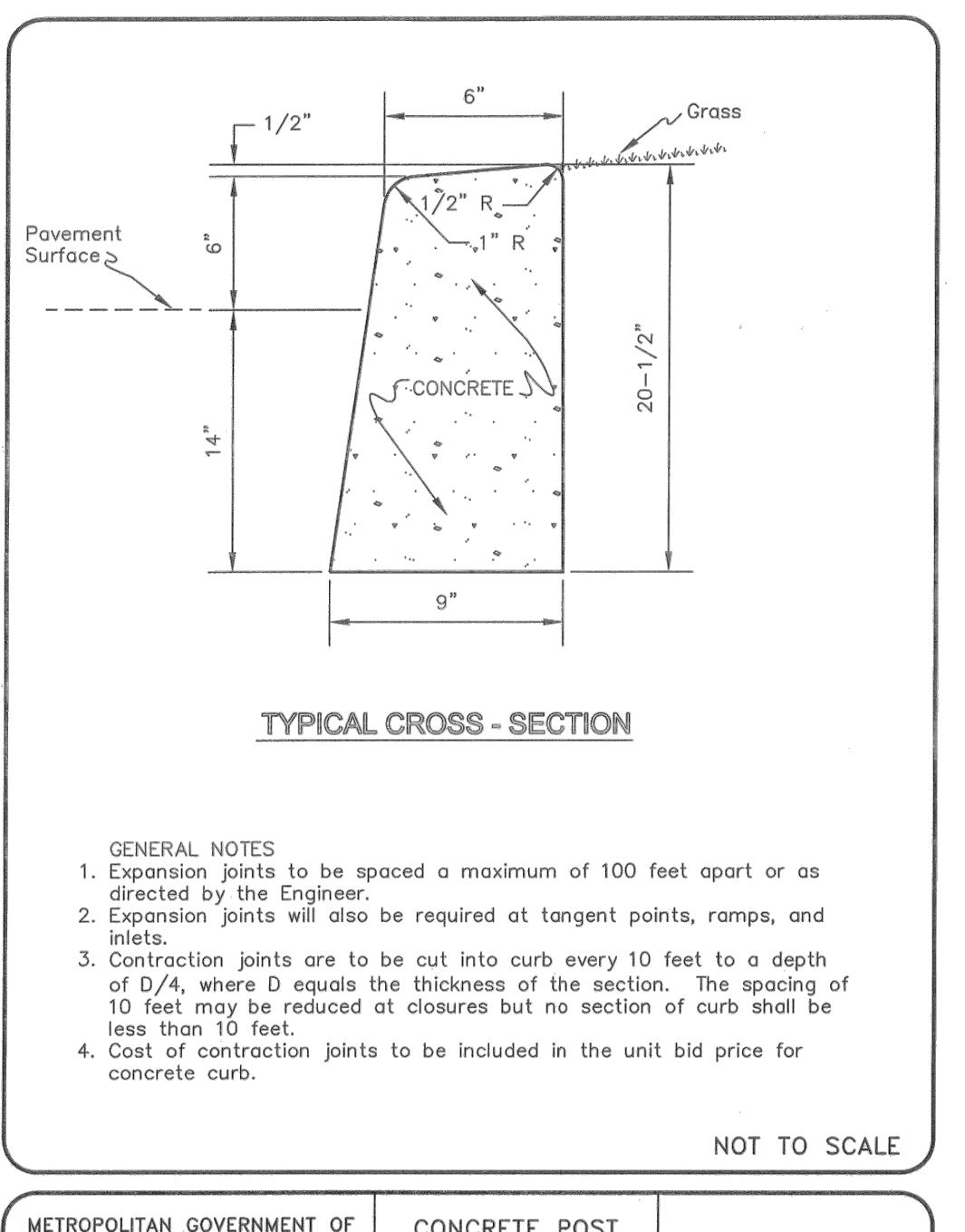
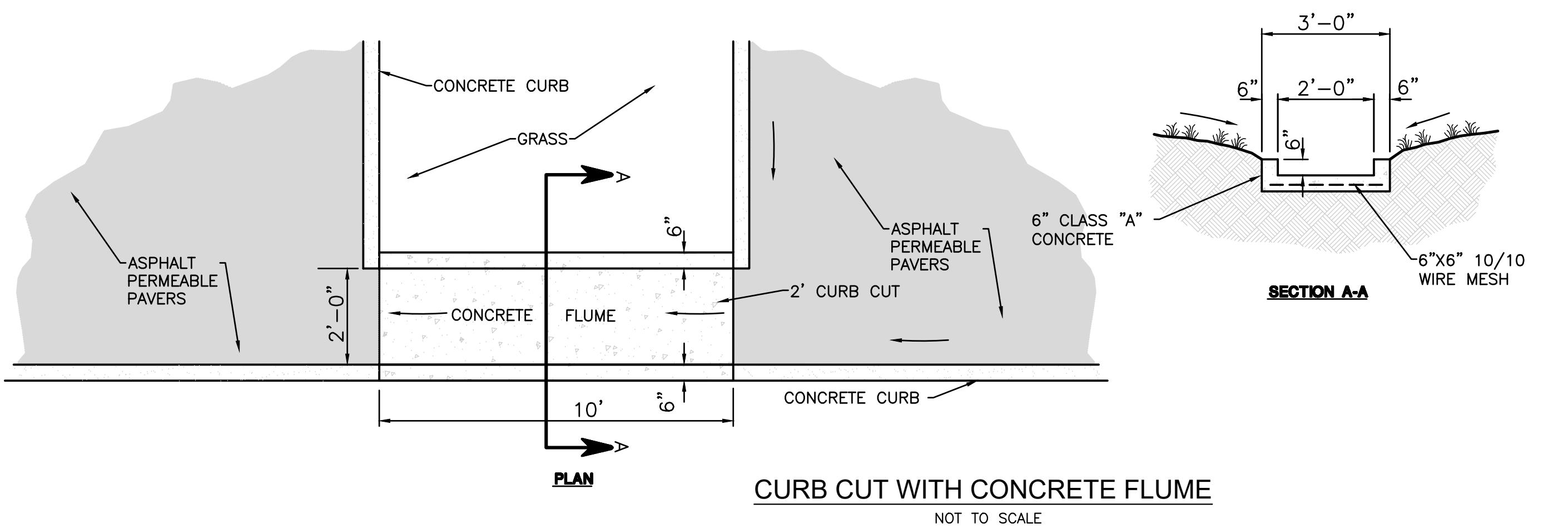
CIVIL DETAILS

Drawing No.

C4.1

Project No.
22-0382

MWS #SWGR 2023046534
MWS PUD CASE #83P-83-001





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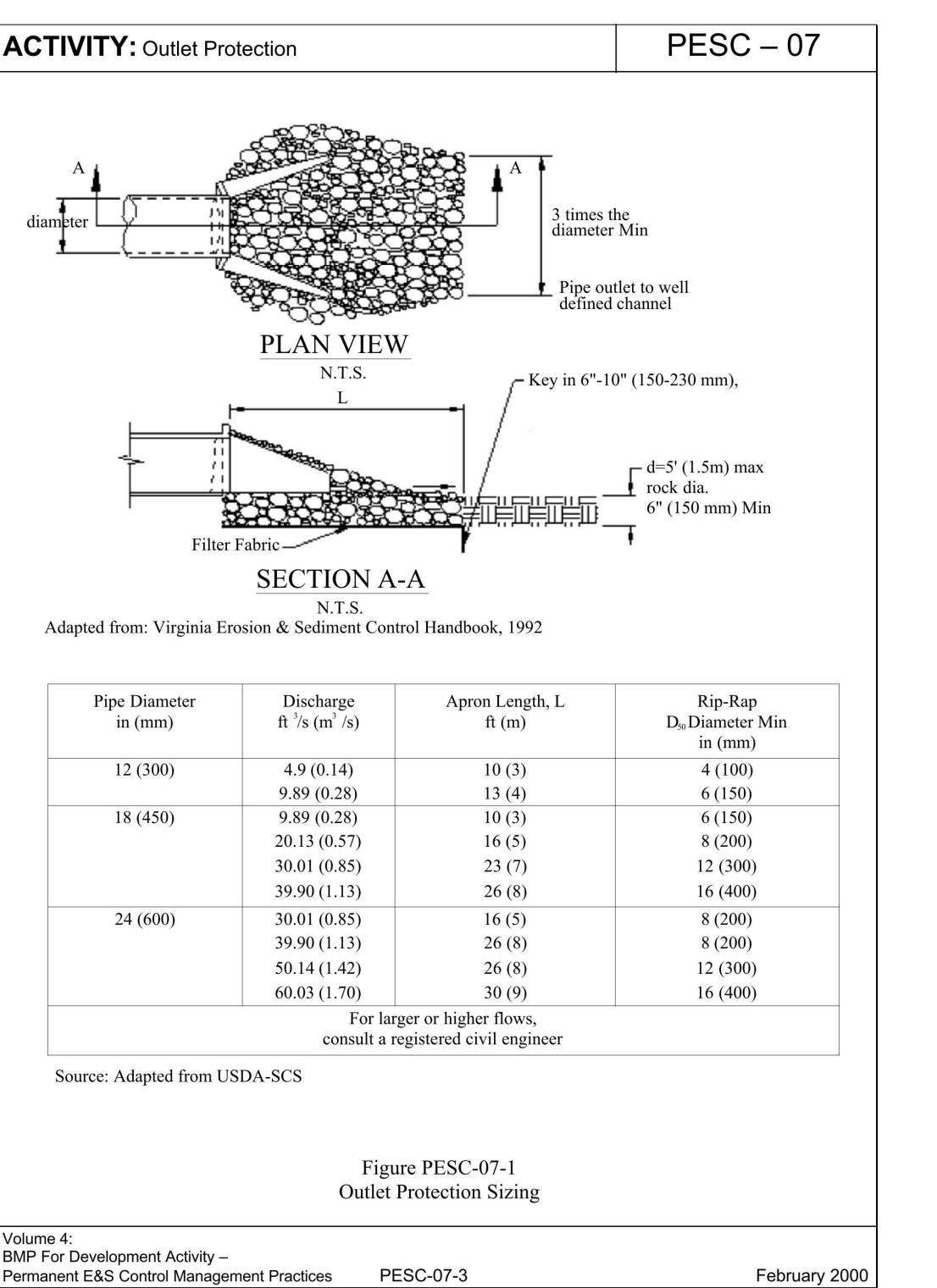


WINDLANDS EAST

FOR

CHURCHILL WINDLANDS EAST LLC.

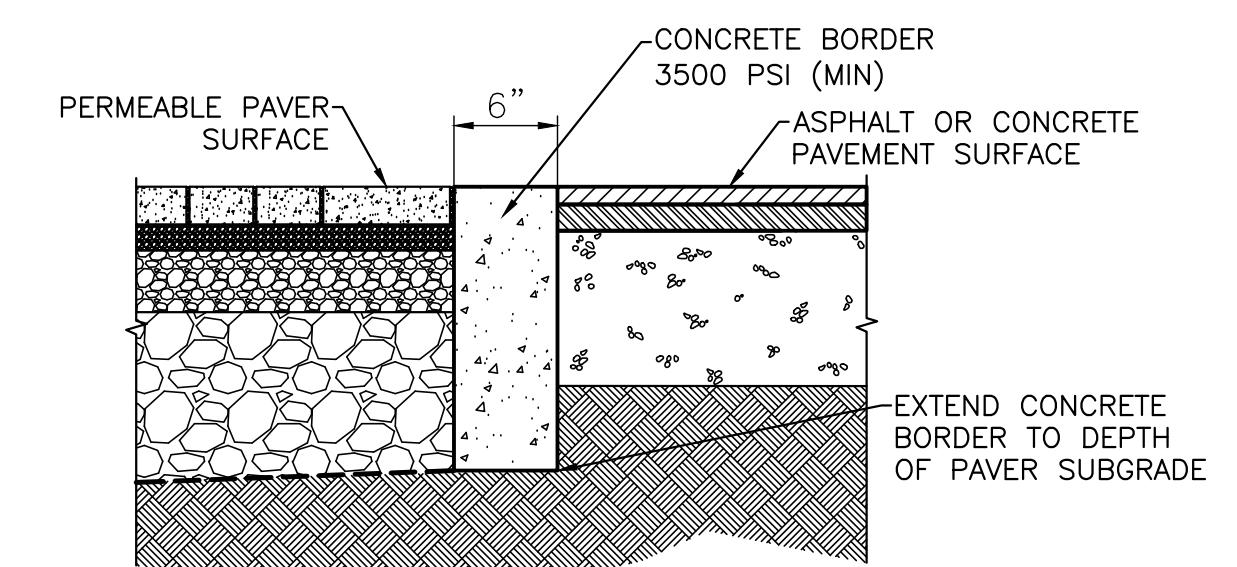
7TH COUNCIL DISTRICT, 200 EAST WEBSTER STREET, MADISON, DAVIDSON COUNTY, TENNESSEE



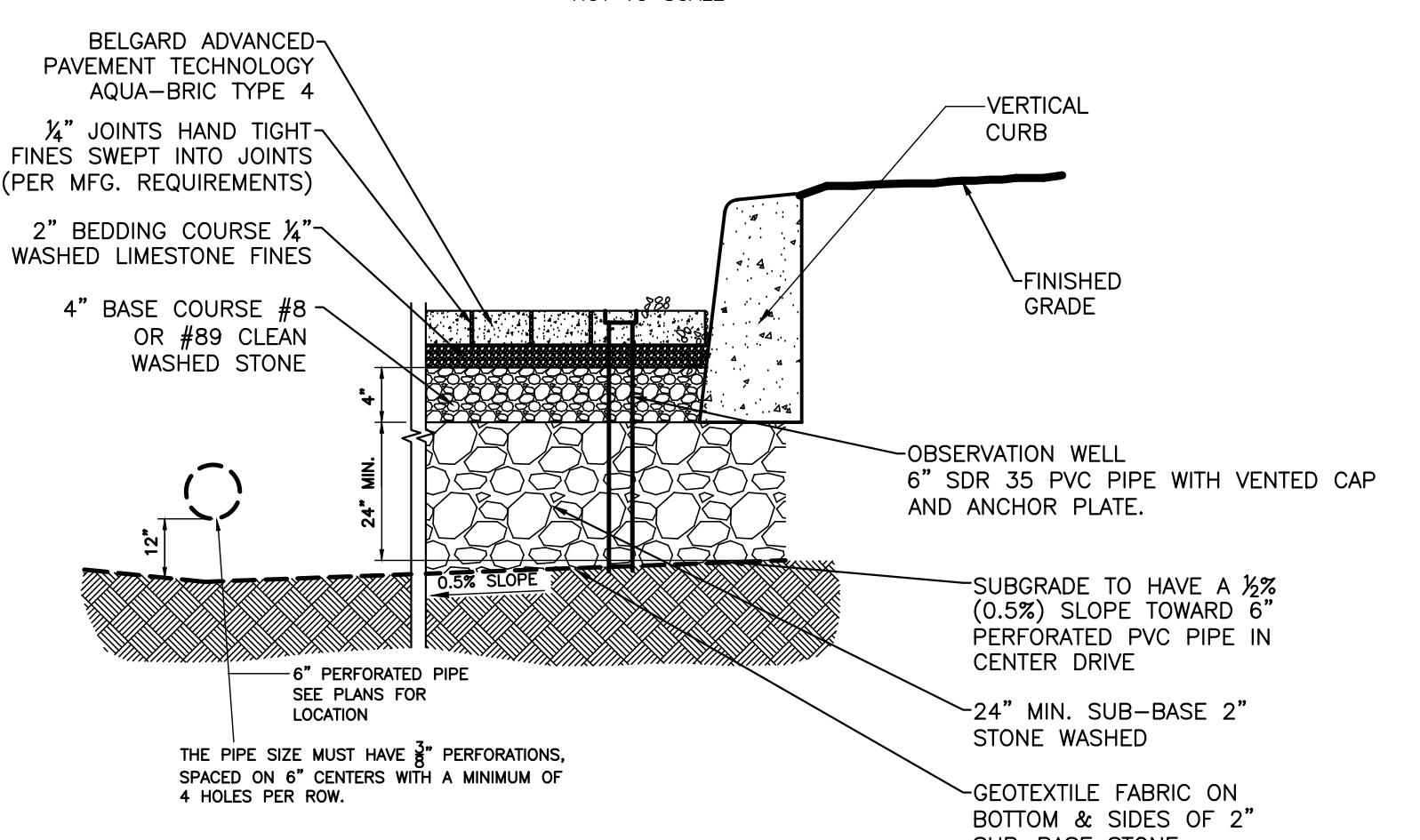
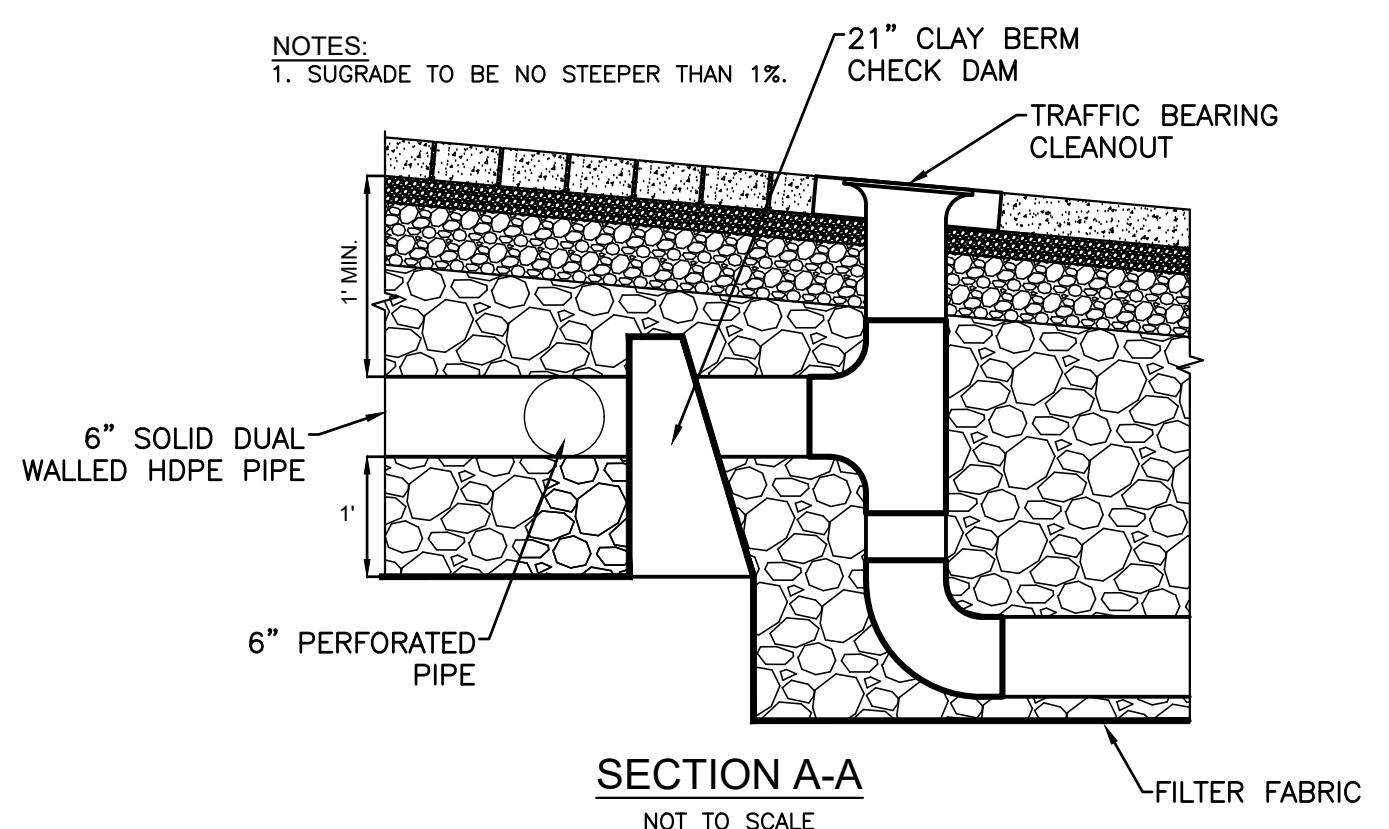
SITE OUTLET PROTECTION		
OUTLET STRUCTURE ID	APRON LENGTH(FT)	D _{min} MIN DIAMETER(IN)
HW1	10	6

OUTLET PROTECTION (PESC-07-03)

NOT TO SCALE



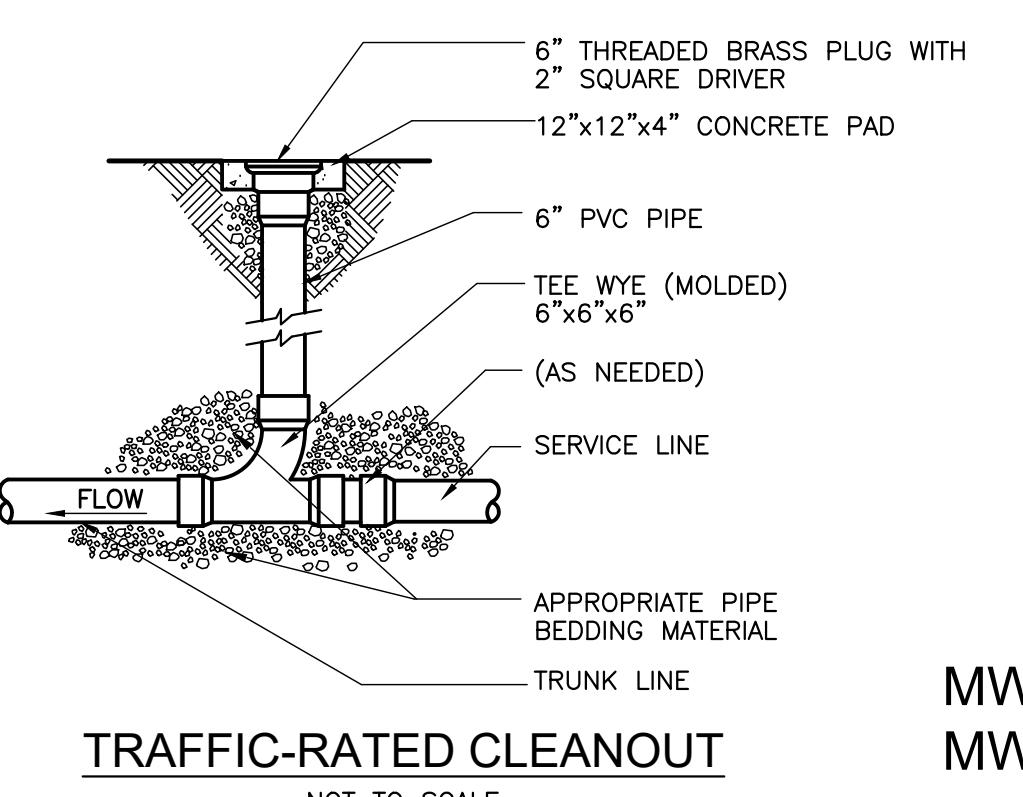
PERMEABLE PAVER RIBBON CURB BORDER
NOT TO SCALE



- NOTES:
- NO "CRUSH AND RUN" STONE TO BE USED IN THE INSTALLATION OF THESE PAVERS.
 - NO SAND TO BE USED IN THE INSTALLATION OF THESE PAVERS.
 - THIS DETAIL MUST BE VERIFIED WITH THE PROJECT GEOTECHNICAL ENGINEER FOR CONFORMITY WITH THE GEOTECH REPORT PRIOR TO INSTALLATION.
 - THE PERMEABLE PAVER INSTALLER SHALL BE AN INTERLOCKING CONCRETE PAVEMENT INSTITUTE (ICPI) CERTIFIED INSTALLER. SHALL PROVIDE APPROVED EQUAL CERTIFICATION.
 - CONTRACTOR SHALL INSTALL CATCH BASINS AND LEAMOUTS ON UPSTREAM END OF THE UNDERDRAINS.
 - STONE TO MEET TOOTON CONSTRUCTION SPECIFICATIONS.
 - CONTRACTOR TO USE TRAFFIC RATED CASTINGS FOR THE OBSERVATION WELLS WHERE REQUIRED. NUMBER OF WELLS EQUALS THE NUMBER OF TEST PITS REQUIRED FOR INFILTRATION TESTING. (SEE MWS STORMWATER MANUAL VOL. 5, APPENDIX 3-A).
 - VEHICULAR TRAFFIC SHALL BE PROHIBITED ON THE PERVIOUS PAVEMENT UNTIL THE SITE IS STABLE TO PREVENT SEDIMENT FROM BEING DEPOSITED BY VEHICLES.
 - CONTRACTOR, ENGINEER, OR OWNERS REPRESENTATIVE SHALL NOTIFY MWS NPDES STAFF AT LEAST 48 HOURS PRIOR TO THE INSTALLATION OF THE PERVIOUS LAYER TO OBSERVE THE SUB-BASE MATERIAL.

VERTICAL CURB WITH PERMEABLE PAVERS

NOT TO SCALE



TRAFFIC-RATED CLEANOUT
NOT TO SCALE

MWS #SWGR 2023046534
MWS PUD CASE #83P-83-001

Scale: _____ #="##"

Date: 7/12/23

Approved By: M. LACKEY

Revisions: _____

Drawing Title: CIVIL DETAILS

Drawing No. C4.3

Project No. 22-0382



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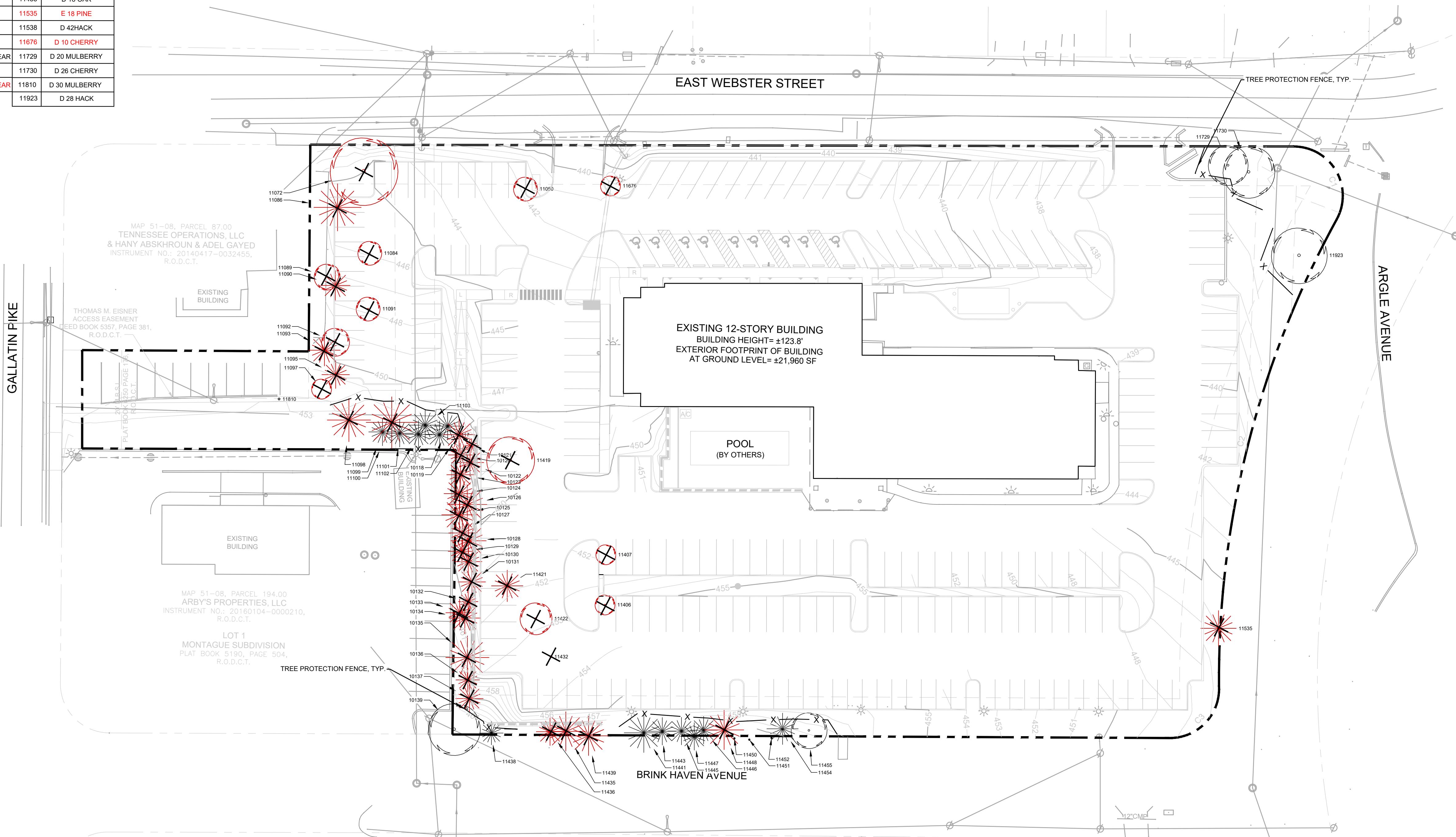
WINDLANDS EAST FOR CHURCHILL WINDLANDS EAST L

FOR

CLOUD HILL WINDLANDS LLC

EXISTING TREE INVENTORY					
POINT	DESCRIPTION	POINT	DESCRIPTION	POINT	DESCRIPTION
10117	E 14 PINE	11050	D 12 CHERRY	11432	D OAK 34
10118	E 14 PINE	11072	D 34 COTTONWOOD	11435	E 20 PINE DEAD
10119	E 16 PINE	11084	D 12 SWEETGUM	11436	E 14 PINE DEAD
10120	E 12 PINE	11086	E 24 PINE	11438	E 12 PINE
10121	E 7 PINE	11089	D 13 HACK	11439	E 20 PINE DEAD
10122	E 14 PINE	11090	E 15 PINE	11441	E 20 PINE
10123	E 14 PINE	11091	D 12 SWEETGUM	11443	E 14 PINE
10124	E 16 PINE	11092	D 14 DEADPINE	11445	E 14 PINE
10125	E 18 PINE	11093	E 16 PINE	11446	E 14 PINE
10126	E 20 PINE	11095	E 14 PINE	11447	E 14 PINE
10127	E 14 PINE	11097	D 10 CHERRY	11448	E 20 PINE
10128	E 18 PINE	11098	E 22 PINE	11450	E PINE 18
10129	E 14 PINE	11099	E 14 PINE	11451	E PINE 20
10130	E 14 PINE	11100	E 26 PINE	11452	E PINE 14
10131	E 14 PINE	11101	E 14 PINE	11454	E 16 PINE
10132	E 10 PINE	11102	E 14 PINE	11455	D 18 OAK
10133	E 14 PINE	11103	E 16 PINE	11535	E 18 PINE
10134	E 16 PINE	11406	D 10 CHERRY	11538	D 42HACK
10135	E 22 PINE	11407	D 10 CHERRY	11676	D 10 CHERRY
10136	E 12 PINE	11419	D 24 BRADFORPEAR	11729	D 20 MULBERRY
10137	E 14 PINE	11421	E 16 PINE	11730	D 26 CHERRY
10139	D 26 MAPLE	11422	D 16 BRADFORPEAR	11810	D 30 MULBERRY
				11923	D 28 HACK

TREES TO BE REMOVED:
TREES TO BE PRESERVED:



Scale: 1"=30'

Date: 7/12/23

Approved By: T. GARDNER

Revisions:

Drawing Title:

TREE PRESERVATION PLAN

Drawing No.

L1.0

Project No.
22-0382



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WINDLANDS EAST

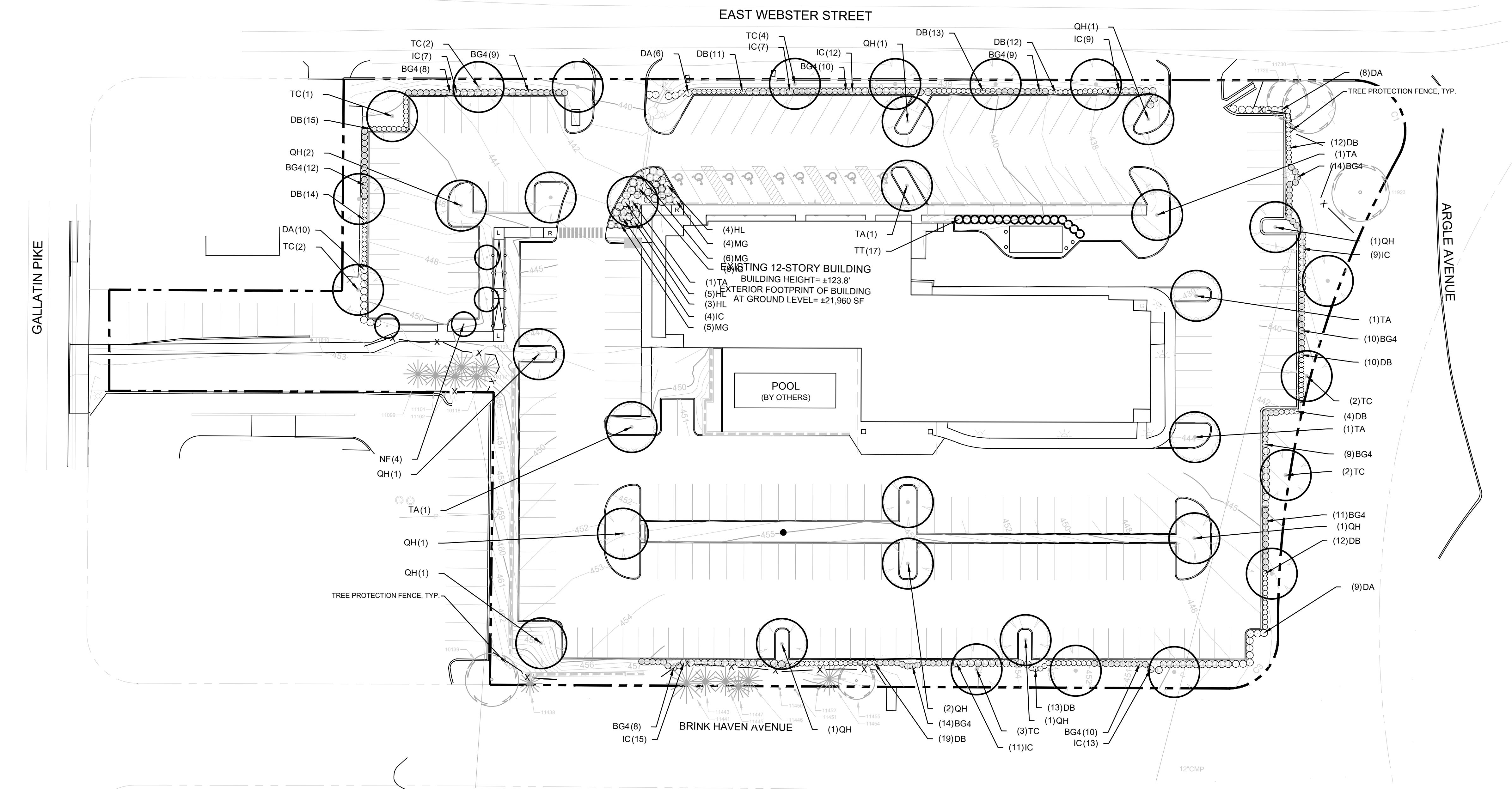
FOR

CHURCHILL WINDLANDS EAST LLC.

7TH COUNCIL DISTRICT, 200 EAST WEBSTER STREET, MADISON, DAVIDSON COUNTY, TENNESSEE

NOTES:

- LANDSCAPING AND TREE DENSITY REQUIREMENTS PER METRO ZONING ORDINANCE.
- THE FINAL SITE PLAN BUILDING PERMIT SITE PLAN SHALL DEPICT ANY REQUIRED PUBLIC SIDEWALKS, ANY REQUIRED GRASS STRIP OR FRONTAGE ZONE AND THE LOCATION OF ALL EXISTING AND PROPOSED VERTICAL OBSTRUCTIONS WITHIN THE REQUIRED SIDEWALK AND GRASS STRIP OR FRONTAGE ZONE. PRIOR TO THE ISSUANCE OF USE AND OCCUPANCY PERMITS, EXISTING VERTICAL OBSTRUCTIONS SHALL BE RELOCATED OUTSIDE OF THE REQUIRED SIDEWALK. VERTICAL OBSTRUCTIONS ARE ONLY PERMITTED WITHIN THE REQUIRED GRASS STRIP OR FRONTAGE ZONE.



Scale: 1" = 30'

Date: 7/12/23

Approved By: T. GARDNER

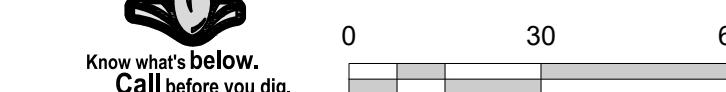
Revisions: -

Drawing Title: LANDSCAPE PLAN

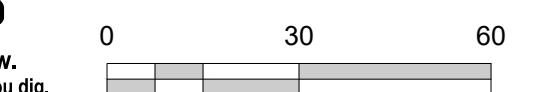
Drawing No. L1.1

Project No. 22-0382

CASE NUMBER: 83P-83-001



Know what's below.
Call before you dig.





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Troy
Patrick
Gardner
Landscape Architect
9/21/23

FOR

WINDLANDS EAST

CHURCHILL WINDLANDS EAST LLC.

7TH COUNCIL DISTRICT, 200 EAST WEBSTER STREET, MADISON, DAVIDSON COUNTY, TENNESSEE

N/A

Scale: _____

Date: 7/12/23

Approved By: T. GARDNER

Revisions: _____

Drawing Title:

LANDSCAPE NOTES & DETAILS

Drawing No.

L1.2

Project No.

22-0382

TREE DENSITY WORKSHEET (ORDINANCE 94-1104)							
DATE: JUNE 14, 2023	PARCEL: 05108008400						
MAP: 70-12							
APPLICATION NUMBER:							
PROJECT NAME: WELLTOWER WINDLANDS							
ADDRESS: 200 E WEBSTER STREET							
1. ACREAGE (AREA OF BUILDING SITE)	3.24						
2. MINUS BUILDING COVERAGE AREA	0.3500						
3. EQUALS ADJUSTED ACREAGE =	2.89						
4. MULTIPLIED BY REQUIRED DENSITY UNITS PER ACRE	x 22						
5. EQUALS REQUIRED TREE DENSIITY UNITS FOR PROJECT =	63.58						
HERITAGE TREES: REFER TO METRO ZONING ORDINANCE FOR LIST OF HERITAGE TREES							
DBH	# OF TREES	VALUE	UNITS	DBH	# OF TREES	VALUE	UNITS
8	0	x 3.2 =	0.0	22	1	x 8.8 =	8.8
10	4	x 4.0 =	16.0	24	2	x 9.6 =	19.2
12	4	x 4.8 =	19.2	26	2	x 10.6 =	21.2
14	20	x 5.6 =	112.0	28	1	x 0.5 per inch	14.0
16	8	x 6.4 =	51.2	34	1	x 0.5 per inch	17.0
18	4	x 7.2 =	28.8	42	1	x 0.5 per inch	21.0
20	2	x 8.0 =	16.0				
RETAINED TREES: (EXISTING TREES 6" DBH OR LARGER) DBH (DIAMETER AT 4 1/2") EXAMPLE: 3 TREES 6" DBH x 1.8 = 5.4 DENSITY UNITS							
DBH	# OF TREES	VALUE	UNITS	DBH	# OF TREES	VALUE	UNITS
6	0	x 1.8 =	0.0	20	2	x 6.0 =	12.0
8	0	x 2.4 =	0.0	22	1	x 6.6 =	6.6
10	0	x 3.0 =	0.0	24	1	x 8.4 =	8.4
12	1	x 3.6 =	3.6	26	3	x 9.1 =	27.3
14	10	x 4.2 =	42.0	28	1	x 9.8 =	9.8
16	2	x 4.8 =	9.6	30	0	x 10.5 =	0.0
18	2	x 5.4 =	10.8	32	0	x 11.2 =	0.0
DBH	# OF TREES	VALUE	UNITS	DBH	# OF TREES	VALUE	UNITS
34	1	x 11.9 =	11.9	48	0	x 28.8 =	0.0
36	0	x 12.6 =	0.0	50	1	x 30.0 =	30.0
38	0	x 13.3 =	0.0	52	0	x 31.2 =	0.0
40	0	x 20.0 =	0.0	54	0	x 35.1 =	0.0
42	1	x 23.1 =	23.1	56	0	x 36.4 =	0.0
44	0	x 26.1 =	0.0	58	0	x 37.7 =	0.0
46	0	x 27.6 =	0.0	60	0	x 42.0 =	0.0
REPLACEMENT TREE SCHEDULE (LARGE & MEDIUM CANOPY TREES): UNITS REPRESENTS BASAL AREA CAL REPRESENTS CALIPER INCHES AT PLANTING							
CAL	# OF TREES	VALUE	UNITS	CAL	# OF TREES	VALUE	UNITS
2	40	x 0.5 =	20.0	6	0	x 1.0 =	0.0
3	0	x 0.6 =	0.0	7	0	x 1.2 =	0.0
4	0	x 0.7 =	0.0	8	0	x 1.3 =	0.0
5	0	x 0.9 =	0.0				
REPLACEMENT TREE SCHEDULE (LARGE & MEDIUM COLUMNAR, SMALL UNDERSTORY, & STREET TREES): UNITS REPRESENTS BASAL AREA CAL REPRESENTS CALIPER INCHES AT PLANTING							
CAL	# OF TREES	VALUE	UNITS	CAL	# OF TREES	VALUE	UNITS
2	17	x 0.25 =	4.3	6	0	x 0.5 =	0.0
3	0	x 0.3 =	0.0	7	0	x 0.6 =	0.0
4	0	x 0.4 =	0.0	8	0	x 0.7 =	0.0
5	0	x 0.5 =	0.0				
DENSITY UNITS PROVIDED ON ABOVE SCHEDULES.							
TOTAL DENSITY UNITS FOR HERITAGE TREES 344.40							
TOTAL DENSITY UNITS FOR RETAINED TREES 195.10							
TOTAL DENSITY UNITS FOR REPLACEMENT TREES (LARGE & MEDIUM CANOPY TREES) 20.00							
TOTAL DENSITY UNITS FOR REPLACEMENT TREES (LARGE & MEDIUM COLUMNAR, SMALL UNDERSTORY, & STREET TREES) 4.25							
TOTAL CREDIT PAID TO TREE MITIGATION BANK (1 CREDIT = 1 TDU = \$725) \$0 (= 0 TDU)							
TOTAL DENSITY UNITS PROVIDED 563.75							
NOTE: THE TOTAL DENSITY UNITS PROVIDED MUST EQUAL OR EXCEED THE REQUIREMENTS OF #5 ABOVE. ALL PROTECTED AND REPLACEMENT TREES MUST BE SHOWN ON SITE PLAN.							

PLANT SCHEDULE								
TREES	QTY	BOTANICAL NAME	COMMON NAME	TYPE	SIZE	HEIGHT	SPACING	REMARKS
NF	4	NYSSA SYLVATICA 'DAVID ODOM'	AFTERBURNER® TUPELO	DECIDUOUS	2" CAL.		AS SHOWN	B&B, STRONG CENTRAL LEADER; 6' CLEAR TRUNK.
QH	13	QUERCUS PHELLOS 'HIGHTOWER'	WILLOW OAK	DECIDUOUS	2" CAL.		AS SHOWN	B&B, STRONG CENTRAL LEADER; 6' CLEAR TRUNK
TA	6	TAXODIUM DISTICHUM	Bald Cypress	DECIDUOUS	2" CAL.		AS SHOWN	B&B, STRONG CENTRAL LEADER; 6' CLEAR TRUNK
TT	17	THUJA OCCIDENTALIS 'EMERALD GREEN'	EMERALD GREEN ARBORVITAE	EVERGREEN	2" CAL.	6-8' HT		B&B, FULL TO BASE.
TC	17	TILIA CORDATA	LITTLELEAF LINDEN	DECIDUOUS	2" CAL.		AS SHOWN	B&B, STRONG CENTRAL LEADER; 6' CLEAR TRUNK
SHRUBS								
BG4	124	BUXUS X 'GREEN GEM'	GREEN GEM BOXWOOD	EVERGREEN	24" HT	3' O.C.	FULL CONTAINER	
DB	135	DAPHNE TRANSALANTICA BLAFRA	ETERNAL FRAGRANCE DAPHNE	EVERGREEN	24" HT	30" O.C.	FULL CONTAINER	
DA	33	DISTYLIUM X 'PIDIST-II'	BLUE CASCADE® DISTYLIUM	EVERGREEN	24" HT.	4' O.C.	FULL CONTAINER	
HL	11	HYDRANGEA PANICULATA 'LITTLE LIME'	LITTLE LIME HARDY HYDRANGEA	DECIDUOUS	24" HT	4' O.C.	FULL CONTAINER.	
IC	107	ILEX CORNUTA 'CARISSA'	CARISSA CHINESE HOLLY	EVERGREEN	24" HT	36" O.C.	FULL CONTAINER	
MG	15	MISCANTHUS SINENSIS 'GRACILLIMUS'	MAIDEN GRASS	ORNAMENTAL GRASS	3 GAL	42" O.C.	FULL CONTAINER.	

PLANTING NOTES:

- ANY SERIES OF TREES TO BE PLACED IN A PARTICULAR ARRANGEMENT WILL BE FIELD CHECKED FOR ACCURACY. ANY PLANTS MISARRANGED WILL BE RELOCATED.
- SOIL USED IN BACKFILLING PLANTING PITS SHALL BE TOPSOIL AND MIXED WITH 25% PEAT BY VOLUME. EXCEPT FOR ERICACEOUS PLANTS, VERY ACID OR SOUR SOIL (SOIL HAVING A pH less than 6) SHALL BE MIXED WITH SUFFICIENT LIME TO PRODUCE A SLIGHTLY ACID REACTION (A pH of 6.0 to 6.5). ADD 10-10-10 COMMERCIAL FERTILIZER AT THE RATE OF 2 POUNDS PER CUBIC YARD. MIX BOTH FERTILIZER AND PEAT THOROUGHLY BY HAND OR ROTARY TILLER.
- SOIL USED IN BACKFILLING ERICACEOUS PLANTS SHALL BE TOPSOIL MIXED WITH 50% PEAT BY VOLUME. ADD 5-10-5 COMMERCIAL FERTILIZER AT THE RATE OF 5 POUNDS PER CUBIC YARD. MIX BOTH FERTILIZER AND PEAT THOROUGHLY BY HAND OR ROTARY TILLER.
- UPON SECURING PLANT MATERIAL AND BEFORE INSTALLATION, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE FOR A PRE-INSTALLATION INSPECTION TO VERIFY ALL PLANT MATERIAL MEETS SPECIFICATION. MATCH TREES OF SAME SPECIES IN GROWTH CHARACTER AND UNIFORMITY.
- APPLY HERBICIDE (TREFLAN OR EQUIVALENT) TO ALL PLANT BEDS PRIOR TO PLANTING FOR NOXIOUS WEED CONTROL AT A RATE OF 2 POUNDS PER 1,000 SQUARE FEET.
- CONTRACTOR SHALL SUBMIT A 10 OUNCE SAMPLE OF THE TOPSOIL PROPOSED TO A TESTING LABORATORY FOR ANALYSIS. SUBMIT TEST RESULTS WITH RECOMMENDATIONS FOR SUITABILITY TO THE OWNER'S REPRESENTATIVE FOR APPROVAL.
- PLANTS SHALL BE ORIENTED FOR BEST APPEARANCE AND VERTICAL. ALL NON-Biodegradable ROOT CONTAINERS SHALL BE REMOVED.
- SELECTIVELY PRUNE TREE BRANCHES BY 25%, MAINTAINING NATURAL SHAPE. PRUNE ALL DEAD AND BROKEN BRANCHES IN TREES AND SHRUBS. REMOVE TAGS, TWINE OR OTHER NON-Biodegradable MATERIAL.
- SCARIFY SUBSOIL IN PLANTING BEDS TO A DEPTH OF 3 INCHES. ALL PLANTING BEDS SHALL RECEIVE A MINIMUM OF 6 INCHES OF TOPSOIL.
- CONTRACTOR SHALL PROVIDE SMOOTH, NEATLY TRENCHED (3 INCH DEEP) BED EDGES.
- ALL PLANTING BEDS TO HAVE A MINIMUM 4 INCH DEEP PINE BARK MULCH, PINE STRAW MULCH OR OTHER MULCH AS SPECIFIED.
- DIMENSIONS FOR TRUNK CALIPER, HEIGHTS, AND SPREAD SPECIFIED ON THE MATERIAL SCHEDULE ARE A GENERAL GUIDE FOR THE MINIMUM REQUIRED SIZE OF EACH PLANT. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH A.N.S.I. Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK" (CURRENT EDITION) AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
- TREES OF THE SAME SPECIES SHALL HAVE THE FOLLOWING CHARACTERISTICS: MATCHED BY BRANCHING HEIGHT, CALIPER, HEIGHT OF TREE, SPREAD OF BRANCHES AND BRANCHING STRUCTURE, AND OVERALL CANOPY SHAPE.
- THE QUANTITIES INDICATED ON THE MATERIAL SCHEDULE ARE PROVIDED FOR THE BENEFIT OF THE CONTRACTOR, BUT SHOULD NOT BE ASSUMED TO ALWAYS BE CORRECT. IN THE EVENT OF A DISCREPANCY, THE PLANTING PLAN (PLANT SYMBOLS) WILL TAKE PRECEDENCE OVER THE MATERIAL SCHEDULE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS/HER OWN QUANTITY CALCULATIONS AND THE LIABILITY PERTAINING TO THOSE QUANTITIES AND ANY RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS.
- CONTRACTOR TO WARRANTY ALL MATERIAL FOR ONE YEAR AFTER DATE OF FINAL ACCEPTANCE.

SEEDING NOTES:

- SEED ALL DISTURBED AREAS WITH TURF-TYPE TALL FESCUE. THE SEED SHALL BE A BLEND OF 3-5 VARIETIES (ADDRESSING BOTH COLD HARDINESS AND DROUGHT TOLERANCE) FROM THE TOP 10% SELECTIONS IN THE NATIONAL TURFGRASS EVALUATION PROGRAM (N.T.E.P.) TALL FESCUE TRIALS, MOST RECENT EVALUATION YEAR (WWW.NTEP.ORG). THE SEED SHALL BE CROP AND WEED FREE. SEED AT THE RATE OF 5 POUNDS PER 1,000 S.F. ALL SEED TO BE 98% PURE WITH 85% GERMINATION AND CONFORM TO ALL STATE REQUIREMENTS FOR GRASS SEED. THE FERTILIZER TO BE 6-12-12 COMMERCIAL TYPE WITH 50% OF ITS ELEMENTS DERIVED FROM ORGANIC SOURCES.
- PLACE STRAW MULCH ON SEDED AREAS. STRAW TO BE OATS OR WHEAT STRAW, FREE FROM WEEDS, FOREIGN MATTER DENTRAL TO PLANT LIFE, AND DRY. HAY OR CHOPPED CORNSTALKS ARE NOT ACCEPTABLE.
- THE CONTRACTOR SHALL VERIFY THAT THE PREPARED SOIL BASE IS READY TO RECEIVE WORK. CULTIVATE THE TOPSOIL TO A DEPTH OF 4 INCHES WITH A MECHANICAL TILLER AND SUBSEQUENTLY RAKE UNTIL SMOOTH. REMOVE FOREIGN MATERIALS COLLECTED DURING CULTIVATION AND RAKING OPERATIONS.
- APPLY FERTILIZER ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. LIMESTONE MAY BE APPLIED WITH THE FERTILIZER. APPLY FERTILIZER AFTER SMOOTH RAKING AND PRIOR TO ROLLER COMPACTION AND MIX THOROUGHLY IN THE UPPER 2 INCHES OF TOPSOIL.
- APPLY SEED EVENLY IN TWO INTERSECTING DIRECTIONS AND RAKE IN LIGHTLY. WATER TOPSOIL LIGHTLY PRIOR TO APPLYING SEED. DO NOT SEED AREA IN EXCESS OF THAT WHICH CAN BE MULCHED ON THE SAME DAY.
- ROLL SEDED AREA WITH ROLLER NOT EXCEEDING 112 POUNDS.
- IMMEDIATELY FOLLOWING SEEDING AND COMPACTING, APPLY STRAW MULCH AT THE RATE OF ONE AND ONE HALF BALES PER 1,000 SQUARE FEET, IMMEDIATELY AFTER MULCHING, APPLY WATER WITH A FINE SPRAY AND SATURATE THE GROUND TO A DEPTH OF 4 INCHES.
- CONTRACTOR IS RESPONSIBLE FOR WATERING SEDED AREAS TO PREVENT GRASS AND SOIL FROM DRYING OUT UNTIL THE INSTALLATION IS INSPECTED AND ACCEPTED BY THE OWNER'S REPRESENTATIVE.
- CONTRACTOR IS RESPONSIBLE FOR RESEEDING BARE SPOTS FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE OF INSTALLATION.

IRRIGATION NOTES:

- ALL PROPOSED PLANTED AREAS ARE TO BE IRRIGATED UTILIZING FULL COVERAGE DESIGN.
- SUBMIT PROPOSED IRRIGATION PLAN TO THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE FOR GENERAL REVIEW AND ACCEPTANCE.
- PROPOSED IRRIGATION SYSTEM SHOULD UTILIZE ANY RECLAIMED/REUSED/GRAY WATER PUBLIC SYSTEMS IF ACCESSIBLE.
- SHOULD RECLAIMED/REUSED/GRAY WATER NOT BE AVAILABLE, BELOW GRADE CISTERNS OR ON-SITE RETENTION PONDS SHOULD BE CONSIDERED FOR AN IRRIGATION WATER SOURCE. USE OF PUBLIC POTABLE WATER SOURCE SHOULD BE A LAST CASE RESORT AND DESIGNED AS A TEMPORARY IRRIGATION SYSTEM UTILIZED TO ESTABLISH PROPOSED PLANT MATERIAL THROUGH ITS FIRST TWO YEARS OF GROWTH.
- PROPOSED IRRIGATION DESIGN SHOULD UTILIZE WATER EFFICIENT DESIGN TECHNIQUES SUCH AS THE USE OF DRIP IRRIGATION, MOISTURE SENSORS AND RAIN SENSORS TO MAXIMIZE WATER EFFICIENCY.
- IRRIGATION CONTRACTOR IS RESPONSIBLE FOR INSTALLING AN IRRIGATION SYSTEM THAT FUNCTIONS PROPERLY PER THE INTENT OF THE DESIGN. SHOULD THE IRRIGATION CONTRACTOR SEE A FLAW IN THE PROPOSED DESIGN AND/OR FINDS A PROBLEM IN THE FIELD THAT WILL NEGATIVELY AFFECT THE PERFORMANCE OF THE PROPOSED IRRIGATION SYSTEM, THE SAID CONTRACTOR IS RESPONSIBLE FOR INFORMING THE LANDSCAPE ARCHITECT/OWNER'S REPRESENTATIVE PRIOR TO INSTALLING OR ORDERING MATERIAL FOR THE PROPOSED IRRIGATION SYSTEM.
- IRRIGATION PLANS TO BE SUBMITTED TO BRAD BARBEE AS PART OF THE SUBMITTAL, PRIOR TO ISSUANCE OF PERMITS.</