

**4.2.4 R3 Exception Zones**

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

In addition to the **uses** and regulations of Table 4.2.1 - R1 to R5 Permitted Uses and Regulations, the regulations of Table 4.2.4 - R3 Infill Exception Regulations shall apply where specified by an R3 Exception Zone.

**Table 4.2.4 - R3 Infill Exception Regulations**  
(0325-2008), (0308-2011), (0111-2019/LPAT Order 2021 March 09)

Column	A	B
Line		
<b>1.0</b>	<b>MINIMUM INTERIOR SIDE YARD</b>	
1.1	<b>Interior lot - lot having a lot frontage less than 18.0 m</b>	1.2 m + 0.61 m for each additional <b>storey</b> or portion thereof above one <b>storey</b>
1.2	<b>Interior lot - lot having a lot frontage equal to or greater than 18.0 m</b>	1.8 m + 0.61 m for each additional <b>storey</b> or portion thereof above one <b>storey</b>
<b>2.0</b>	<b>MINIMUM COMBINED WIDTH OF SIDE YARDS</b>	
2.1	<b>One storey detached dwelling - interior lots having a lot frontage less than 18.0 m</b>	2.4 m + 0.2 m for each 0.5 m the <b>lot</b> exceeds 15.0 m
2.2	Dwelling having more than one <b>storey</b> - <b>interior lots</b> having a <b>lot frontage</b> less than 18.0 m	3.6 m + 0.2 m for each 0.5 m the <b>lot</b> exceeds 15.0 m
2.3	<b>One storey detached dwelling - interior lots having a lot frontage equal to or greater than 18.0 m</b>	20% of the <b>lot frontage</b>
2.4	Dwelling having more than one <b>storey</b> - <b>interior lots</b> having a <b>lot frontage</b> equal to or greater than 18.0 m	27% of the <b>lot frontage</b>
<b>3.0</b>	<b>MAXIMUM HEIGHT - HIGHEST RIDGE:</b> <b>lots having a lot frontage equal to or greater than 22.5 m sloped roof</b>	9.5 m
<b>4.0</b>	<b>MAXIMUM HEIGHT - HIGHEST RIDGE:</b> <b>lots having a lot frontage less than 22.5 m sloped roof</b>	9.0 m
<b>5.0</b>	<b>MAXIMUM HEIGHT:</b> <b>flat roof</b>	7.5 m
<b>6.0</b>	<b>MAXIMUM HEIGHT OF EAVES:</b> from <b>average grade</b> to lower edge of the eaves	6.4 m
<b>7.0</b>	<b>MAXIMUM GROSS FLOOR AREA - INFILL RESIDENTIAL</b>	190 m <sup>2</sup> plus 0.20 times the <b>lot area</b>
<b>8.0</b>	<b>GARAGE PROJECTION:</b> maximum projection of the <b>garage</b> beyond the <b>front wall</b> or <b>exterior side wall</b> of the <b>first storey</b>	0.0 m
<b>9.0</b>	<b>MAXIMUM DWELLING UNIT DEPTH</b>	20.0 m
<b>10.0</b>	<i>deleted by 0111-2019/LPAT Order 2021 March 09</i>	



## **Part 4 - Residential Zones**

4.2.4.1      Exception: R3-1      Map # 03, 07, 08, 09, 10      By-law: 0131-2019

In a R3-1 zone the permitted **uses** and applicable regulations shall be as specified for a R3 zone except that the following **uses/regulations** shall apply:

## Regulation

4.2.4.1.1 The regulations contained in Subsection 4.2.4 of this By-law shall apply

4.2.4.2	Exception: R3-2	Map # 03, 07, 08, 10	By-law:
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In a R3-2 zone the permitted **uses** and applicable regulations shall be as specified for a R3 zone except that the following **uses**/regulations shall apply:

## **Regulations**

4.2.4.2.1	The regulations contained in Subsection 4.2.4 of this By-law shall apply	
4.2.4.2.2	<b>Minimum lot frontage</b>	22.5 m

4.2.4.3	Exception: R3-3	Map # 03, 07, 08, 10	By-law:
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In a R3-3 zone the permitted **uses** and applicable regulations shall be as specified for a R3 zone except that the following **uses**/regulations shall apply:

## **Regulations**

4.2.4.3.1	The regulations contained in Subsection 4.2.4 of this By-law shall apply	
4.2.4.3.2	<b>Minimum lot frontage</b>	30.0 m

4.2.4.4      Exception: R3-4      Map # 09      By-law:

In a R3-4 zone the permitted **uses** and applicable regulations shall be as specified for a R3 zone except that the following **uses**/regulations shall apply:

## **Regulations**

4.2.4.4.1	The regulations contained in Subsection 4.2.4 of this By-law shall apply	
4.2.4.4.2	<b>Minimum lot area - interior lot</b>	420 m <sup>2</sup>
4.2.4.4.3	<b>Minimum lot area - corner lot</b>	585 m <sup>2</sup>
4.2.4.4.4	<b>Minimum lot frontage - interior lot</b>	14.0 m
4.2.4.4.5	<b>Minimum lot frontage - corner lot</b>	18.0 m

4.2.4.5      Exception: R3-5      Map # 13      By-law:

In a R3-5 zone the permitted **uses** and applicable regulations shall be as specified for a R3 zone except that the following **uses/regulations** shall apply:

## **Regulations**

4.2.4.5.1	Minimum front yard	10.5 m
4.2.4.5.2	Minimum exterior side yard	9.0 m

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4.2.4.6	Exception: R3-6	Map # 49E	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
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In a R3-6 zone the permitted **uses** and applicable regulations shall be as specified for a R3 zone except that the following **uses/regulations** shall apply:

### **Regulations**

4.2.4.6.1	Minimum <b>lot area</b>	425 m <sup>2</sup>
4.2.4.6.2	Minimum <b>lot frontage</b>	14.0 m
4.2.4.6.3	Minimum <b>front yard - interior lot</b>	6.0 m
4.2.4.6.4	Minimum <b>interior side yard</b>	0.95 m
4.2.4.6.5	Minimum <b>exterior side yard</b>	3.5 m
4.2.4.6.6	Minimum <b>exterior side yard</b> abutting Scarboro Street	4.5 m
4.2.4.6.7	Minimum setback to <b>garage face</b>	6.0 m

4.2.4.7	Exception: R3-7	Map # 32	By-law:
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In a R3-7 zone the permitted **uses** and applicable regulations shall be as specified for a R3 zone except that the following **uses/regulations** shall apply:

### **Regulations**

4.2.4.7.1	Minimum <b>lot area - interior lot</b>	440 m <sup>2</sup>
4.2.4.7.2	Minimum <b>lot frontage - interior lot</b>	6.0 m
4.2.4.7.3	Minimum <b>front yard</b>	1.5 m

4.2.4.8	Exception: R3-8	Map # 46W	By-law: 0181-2018/LPAT Order 2019 February 15
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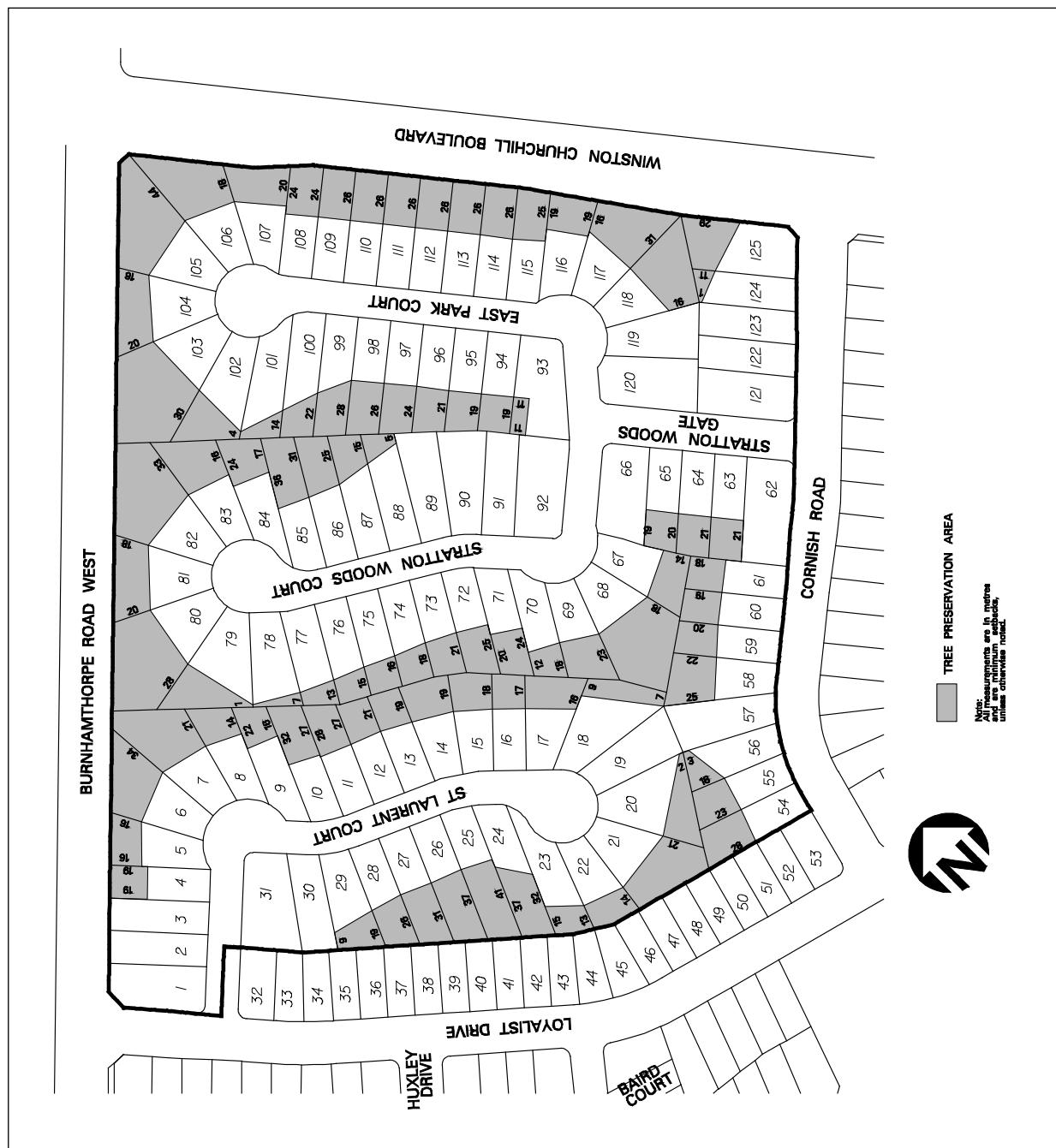
In a R3-8 zone the permitted **uses** and applicable regulations shall be as specified for a R3 zone except that the following **uses/regulations** shall apply:

### **Regulations**

4.2.4.8.1	The regulations of Lines 3.0 to 13.0 contained in Table 4.2.1 of this By-law shall not apply	
4.2.4.8.2	Maximum number of <b>dwelling units</b> per hectare on all lands zoned R3-8	19.8
4.2.4.8.3	Minimum setback to a <b>condominium road</b>	4.5 m
4.2.4.8.4	Minimum distance between <b>buildings</b>	3.0 m
4.2.4.8.5	Minimum setback of all <b>buildings</b> and <b>structures</b> to any <b>lot line</b>	7.5 m
4.2.4.8.6	Minimum setback of a <b>garage face</b> to a <b>condominium road</b>	6.0 m
4.2.4.8.7	Maximum <b>height</b>	10.7 m
4.2.4.8.8	<b>Height</b> of all <b>buildings</b> and <b>structures</b> shall be measured from <b>established grade</b>	

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4.2.4.9	Exception: R3-9	Map # 59	By-law:
In a R3-9 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.4.9.1	Minimum <b>interior side yard</b>	1.5 m	
4.2.4.9.2	Minimum <b>rear yard</b> measured from the limit of the tree preservation area for a <b>lot</b> that includes a tree preservation area, identified on Schedule R3-9 of this Exception	7.5 m	
4.2.4.9.3	Minimum setback between a <b>detached dwelling</b> and the tree preservation area for a <b>lot</b> that includes or abuts a tree preservation area, identified on Schedule R3-9 of this Exception	3.0 m	
4.2.4.9.4	The areas identified on Schedule R3-9 of this Exception as a tree preservation area, shall only be used for conservation purposes, and no <b>buildings or structures, swimming pools, tennis courts</b> or any like recreational facilities, except for fences along the <b>lot lines</b> , shall be permitted		



**Schedule R3-9**  
Map 59

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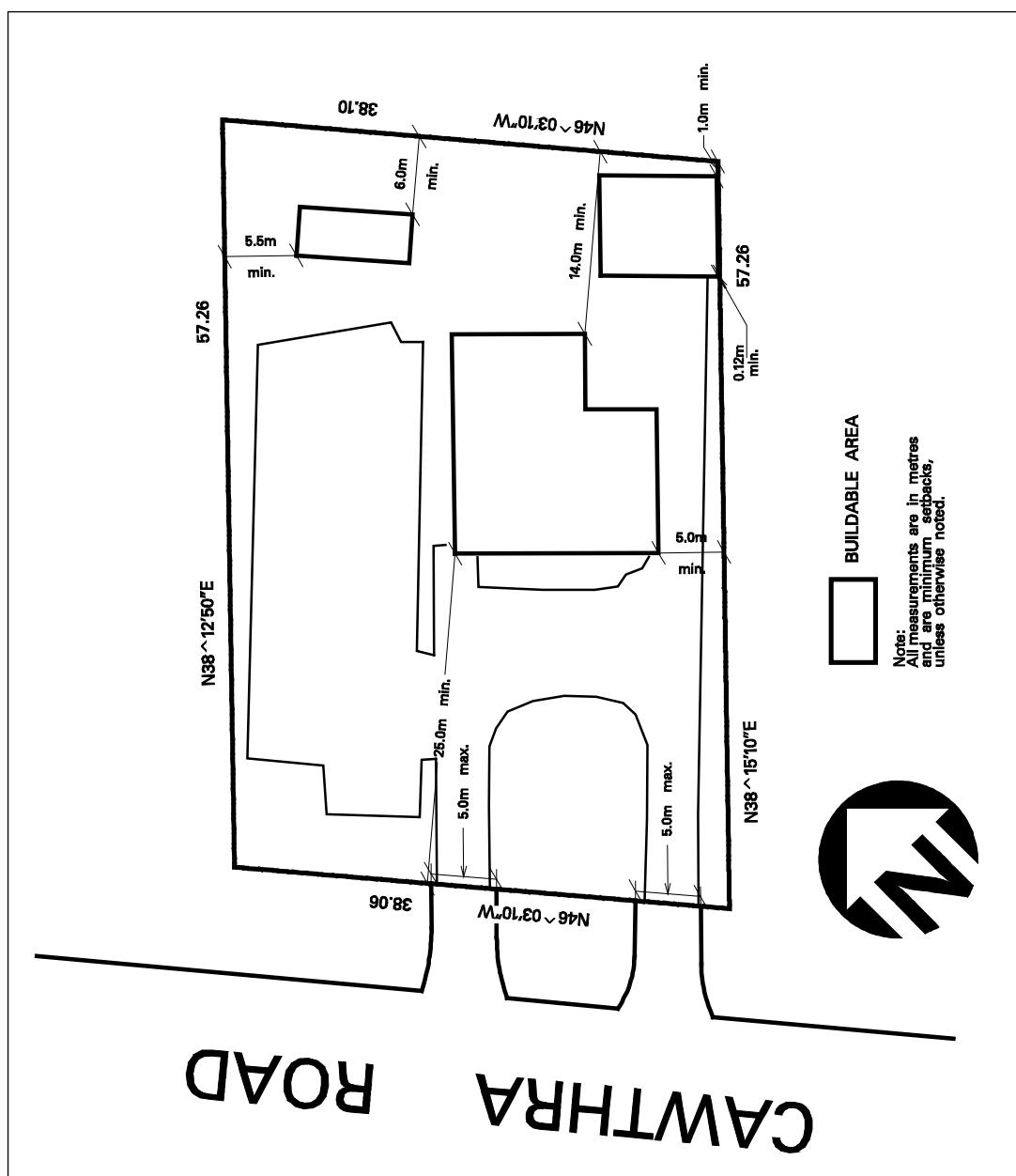
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4.2.4.10	Exception: R3-10	Map # 38W	By-law:
In a R3-10 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.4.10.1	Minimum <b>lot area</b>		500 m <sup>2</sup>
4.2.4.10.2	Maximum <b>lot coverage</b>		45%

4.2.4.11	Exception: R3-11	Map # 10	By-law:
In a R3-11 zone the applicable regulations shall be as specified for a R3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Uses</b>			
4.2.4.11.1	Lands zoned R3-11 shall only be used for the following:		
(1)	A private swimming club and <b>accessory uses</b> such as swimming and wading pools, meeting and changing rooms and washroom facilities		
<b>Regulations</b>			
4.2.4.11.2	Minimum <b>front yard</b>		13.5 m
4.2.4.11.3	Minimum <b>interior side yard</b>		2.4 m
4.2.4.11.4	Minimum <b>rear yard</b>		12.0 m
4.2.4.11.5	Maximum <b>lot coverage</b>		20%
4.2.4.11.6	Maximum <b>height</b>		10.7 m
4.2.4.11.7	Minimum number of <b>parking spaces</b> per 10 m <sup>2</sup> of <b>swimming pool area</b>		1
4.2.4.11.8	Minimum setback from a <b>parking space</b> to an <b>interior lot line</b>		1.5 m

4.2.4.12	Exception: R3-12	Map # 08	By-law: 0171-2015/ OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30
In a R3-12 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.4.12.1	Minimum <b>lot area</b>		535 m <sup>2</sup>
4.2.4.12.2	Minimum <b>lot frontage - corner lot</b>		15.0 m
4.2.4.12.3	Minimum <b>front yard - interior lot</b>		6.0 m
4.2.4.12.4	Maximum <b>height - highest ridge: sloped roof</b>		9.5 m
4.2.4.12.5	Maximum <b>height: flat roof</b>		7.5 m
4.2.4.12.6	Maximum height of eaves: from <b>average grade</b> to lower edge of eaves		6.4 m
4.2.4.12.7	Maximum <b>dwelling unit depth</b>		20.0 m

4.2.4.13	Exception: R3-13	Map # 20	By-law:
In a R3-13 zone the applicable regulations shall be as specified for a R3 zone except that the following uses/regulations shall apply:			
<b>Permitted Use</b>			
4.2.4.13.1 Lands zoned R3-13 shall only be used for the following:			
<ul style="list-style-type: none"> <li>(1) <b>Detached Dwelling or</b></li> <li>(2) <b>Medical Office - Restricted</b></li> </ul>			
<b>Regulations</b>			
4.2.4.13.2 A <b>medical office - restricted</b> shall comply with the R3 zone regulations contained in Subsection 4.2.1 of this By-law except that:			
<ul style="list-style-type: none"> <li>(1) maximum <b>gross floor area - non-residential</b> used for a <b>medical office - restricted</b> <span style="float: right;"><math>433 \text{ m}^2</math></span></li> <li>(2) maximum number of <b>physicians, dentists, drugless practitioners or health professionals</b> permitted to practise <span style="float: right;">3</span></li> <li>(3) minimum number of <b>parking spaces</b> <span style="float: right;">15</span></li> <li>(4) all site development plans shall comply with Schedule R3-13 of this Exception</li> </ul>			



## Schedule R3-13

### Map 20

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4.2.4.14	Exception: R3-14	Map # 30	By-law:
In a R3-14 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.4.14.1	<b>Minimum lot area</b>		1 590 m <sup>2</sup>
4.2.4.14.2	<b>Minimum lot frontage</b>		30.0 m
4.2.4.14.3	<b>Minimum rear yard</b>		1.7 m

4.2.4.15	Exception: R3-15	Map # 22, 24, 38W, 44W, 45E	By-law:
In a R3-15 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.4.15.1	<b>Minimum lot area - interior lot</b>		450 m <sup>2</sup>
4.2.4.15.2	<b>Minimum lot area - corner lot</b>		550 m <sup>2</sup>
4.2.4.15.3	<b>Minimum lot frontage - interior lot</b>		14.0 m
4.2.4.15.4	<b>Minimum lot frontage - corner lot</b>		18.0 m
4.2.4.15.5	<b>Minimum front yard - interior lot</b>		6.0 m
4.2.4.15.6	(1) <b>Minimum interior side yard - interior lot</b>		1.2 m
	(2) <b>Minimum interior side yard - interior lot</b> , for that part of a <b>lot</b> that adjoins a one (1) <b>storey garage</b> or a wall of a main <b>building</b> containing no windows or doors into a <b>habitable room</b>		0.61 m
4.2.4.15.7	<b>Minimum combined width of side yards</b>		1.81 m
4.2.4.15.8	<b>Minimum exterior side yard</b>		4.5 m

4.2.4.16	Exception: R3-16	Map # 11	By-law:
In a R3-16 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.4.16.1	The provisions contained in Subsection 4.1.17 of this By-law shall not apply		
4.2.4.16.2	Access shall only be permitted from Thetford Court		

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4.2.4.17	Exception: R3-17	Map # 31, 37E	By-law: 0379-2009, 0171-2015/OMB Order 2016 April 04, 0181-2018/ LPAT Order 2019 February 15
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In a R3-17 zone the permitted **uses** and applicable regulations shall be as specified for a R3 zone except that the following **uses/regulations** shall apply:

### **Regulations**

4.2.4.17.1	Minimum <b>lot area</b> - interior lot	480 m <sup>2</sup>
4.2.4.17.2	Minimum <b>lot area</b> - corner lot	585 m <sup>2</sup>
4.2.4.17.3	Minimum <b>lot frontage</b> - corner lot	18.0 m
4.2.4.17.4	Maximum <b>lot coverage</b>	45%
4.2.4.17.5	Minimum <b>front yard</b> - interior lot	6.0 m
4.2.4.17.6	Minimum <b>interior side yard</b> - interior lot	1.2 m on side and 0.61 m on the other side
4.2.4.17.7	Minimum <b>interior side yard</b> - corner lot	1.2 m
4.2.4.17.8	Minimum <b>exterior side yard</b>	4.5 m
4.2.4.17.9	Minimum <b>exterior side yard</b> - lots abutting Cawthra Road	7.5 m
4.2.4.17.10	Minimum <b>rear yard</b> - corner lot	7.5 m
4.2.4.17.11	Minimum setback to a railway right-of-way	22.0 m
4.2.4.17.12	Minimum setback to <b>garage face</b>	6.0 m

4.2.4.18	Exception: R3-18	Map # 45W	By-law:
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In a R3-18 zone the permitted **uses** and applicable regulations shall be as specified for a R3 zone except that the following **uses/regulations** shall apply:

### **Regulations**

4.2.4.18.1	Minimum <b>front yard</b>	6.5 m
4.2.4.18.2	Minimum <b>rear yard</b>	30.0 m

4.2.4.19	Exception: R3-19	Map # 45W	By-law:
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In a R3-19 zone the permitted **uses** and applicable regulations shall be as specified for a R3 zone except that the following **uses/regulations** shall apply:

### **Regulations**

4.2.4.19.1	Minimum <b>front yard</b>	6.5 m
4.2.4.19.2	Minimum <b>rear yard</b> - lots abutting a G1 zone	17.5 m

4.2.4.20	Exception: R3-20	Map # 32, 39E	By-law:
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In a R3-20 zone the permitted **uses** and applicable regulations shall be as specified for a R3 zone except that the following **uses/regulations** shall apply:

### **Regulation**

4.2.4.20.1	Minimum <b>lot area</b> - interior lot	460 m <sup>2</sup>
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4.2.4.21	Exception: R3-21	Map # 38W	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
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In a R3-21 zone the permitted **uses** and applicable regulations shall be as specified for a R3 zone except that the following **uses/regulations** shall apply:

### **Regulations**

4.2.4.21.1	Maximum <b>lot coverage</b>	40%
4.2.4.21.2	Minimum <b>front yard</b>	4.5 m
4.2.4.21.3	Minimum <b>interior side yard</b>	1.2 m
4.2.4.21.4	Minimum setback to <b>garage face</b>	6.0 m

4.2.4.22	Exception: R3-22	Map # 38W	By-law:
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In a R3-22 zone the permitted **uses** and applicable regulations shall be as specified for a R3 zone except that the following **uses/regulations** shall apply:

### **Regulation**

4.2.4.22.1	Maximum <b>lot coverage</b>	40%
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4.2.4.23	Exception: R3-23	Map # 17, 30, 38W	By-law:
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In a R3-23 zone the permitted **uses** and applicable regulations shall be as specified for a R3 zone except that the following **uses/regulations** shall apply:

### **Regulations**

4.2.4.23.1	Maximum <b>lot coverage</b>	40%
4.2.4.23.2	Minimum <b>interior side yard - interior lot</b>	1.2 m

4.2.4.24	Exception: R3-24	Map # 30, 37W, 38E, 38W, 39W	By-law: 0181-2018/LPAT Order 2019 February 15
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In a R3-24 zone the permitted **uses** and applicable regulations shall be as specified for a R3 zone except that the following **uses/regulations** shall apply:

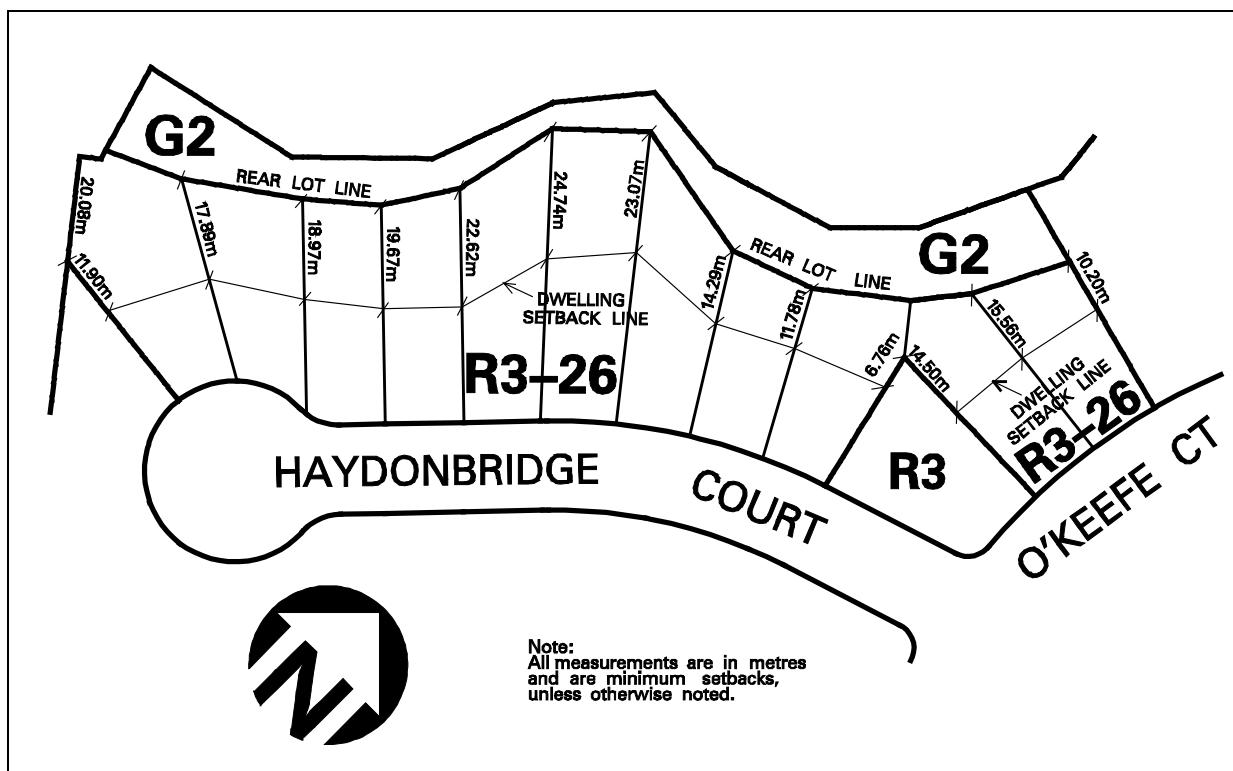
### **Regulations**

4.2.4.24.1	Minimum <b>lot area - interior lot</b>	560 m <sup>2</sup>
4.2.4.24.2	Minimum <b>lot area - corner lot</b>	700 m <sup>2</sup>
4.2.4.24.3	Minimum <b>lot frontage - interior lot</b>	14.0 m
4.2.4.24.4	Minimum <b>lot frontage - corner lot</b>	18.5 m
4.2.4.24.5	Maximum <b>lot coverage</b>	40%
4.2.4.24.6	Minimum <b>front yard - interior lot</b>	9.0 m
4.2.4.24.7	Minimum <b>interior side yard - interior lot</b>	1.2 m
4.2.4.24.8	Minimum setback to <b>garage face</b>	12.0 m

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4.2.4.25	Exception: R3-25	Map # 45E	By-law:
In a R3-25 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.4.25.1	Minimum setback of a dwelling to all lands zoned G2-3	15.0 m	
4.2.4.25.2	Minimum setback of all <b>accessory buildings and structures</b> and <b>swimming pools</b> to all lands zoned G1	15.0 m	

4.2.4.26	Exception: R3-26	Map # 45E	By-law:
In a R3-26 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulation</b>			
4.2.4.26.1	Minimum setback of a dwelling to all lands zoned G2	the dwelling setback line indicated on Schedule R3-26 of this Exception	



**Schedule R3-26**  
Map 45E

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4.2.4.27	Exception: R3-27	Map # 30	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
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In a R3-27 zone the permitted **uses** and applicable regulations shall be as specified for a R3 zone except that the following **uses/regulations** shall apply:

### Regulations

4.2.4.27.1	Minimum <b>lot area - interior lot</b>	540 m <sup>2</sup>
4.2.4.27.2	Minimum <b>lot area - corner lot</b>	680 m <sup>2</sup>
4.2.4.27.3	Minimum <b>lot frontage - corner lot</b>	19.0 m
4.2.4.27.4	Maximum <b>lot coverage</b>	40%
4.2.4.27.5	Minimum <b>front yard</b>	4.5 m
4.2.4.27.6	Minimum <b>interior side yard</b>	1.2 m
4.2.4.27.7	Minimum <b>exterior side yard</b>	4.5 m
4.2.4.27.8	Minimum <b>rear yard - corner lot</b>	7.5 m
4.2.4.27.9	Minimum setback to a <b>sight triangle</b>	0.0 m
4.2.4.27.10	Maximum <b>height</b>	11.0 m
4.2.4.27.11	Maximum encroachment of a <b>porch</b> or a <b>balcony</b> into the required <b>front yard</b> or <b>exterior side yard</b>	2.0 m
4.2.4.27.12	A detached <b>garage</b> shall not be permitted	
4.2.4.27.13	Minimum setback to <b>garage face</b>	6.0 m

4.2.4.28	Exception: R3-28	Map # 24	By-law:
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In a R3-28 zone the applicable regulations shall be as specified for a R3 zone except that the following **uses/regulations** shall apply:

### Permitted Use

4.2.4.28.1	Lands zoned R3-28 shall only be used for the following:
(1)	<b>Detached Dwelling</b> or
(2)	<b>Office</b>

4.2.4.29	Exception: R3-29	Map # 37W	By-law: 0137-2013, 0181-2018/LPAT Order 2019 February 15
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In a R3-29 zone the permitted **uses** and applicable regulations shall be as specified for a R3 zone except that the following **uses/regulations** shall apply:

### Regulations

4.2.4.29.1	Minimum <b>lot area - interior lot</b>	500 m <sup>2</sup>
4.2.4.29.2	Minimum <b>lot area - corner lot</b>	600 m <sup>2</sup>
4.2.4.29.3	Minimum <b>lot frontage - interior lot</b>	14.0 m
4.2.4.29.4	Minimum <b>lot frontage - corner lot</b>	17.0 m
4.2.4.29.5	Minimum <b>front yard - interior lot</b>	9.0 m
4.2.4.29.6	Minimum <b>interior side yard</b>	1.2 m
4.2.4.29.7	Minimum setback to <b>garage face</b>	12.0 m

## Part 4 - Residential Zones

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4.2.4.30	Exception: R3-30	Map # 32	By-law:
In a R3-30 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.4.30.1	Minimum <b>interior side yard - interior lot</b>	1.2 m + 0.3 m for each additional <b>storey</b> , or portion thereof, above one <b>storey</b>	
4.2.4.30.2	Minimum <b>interior side yard - corner lot</b>	1.2 m	

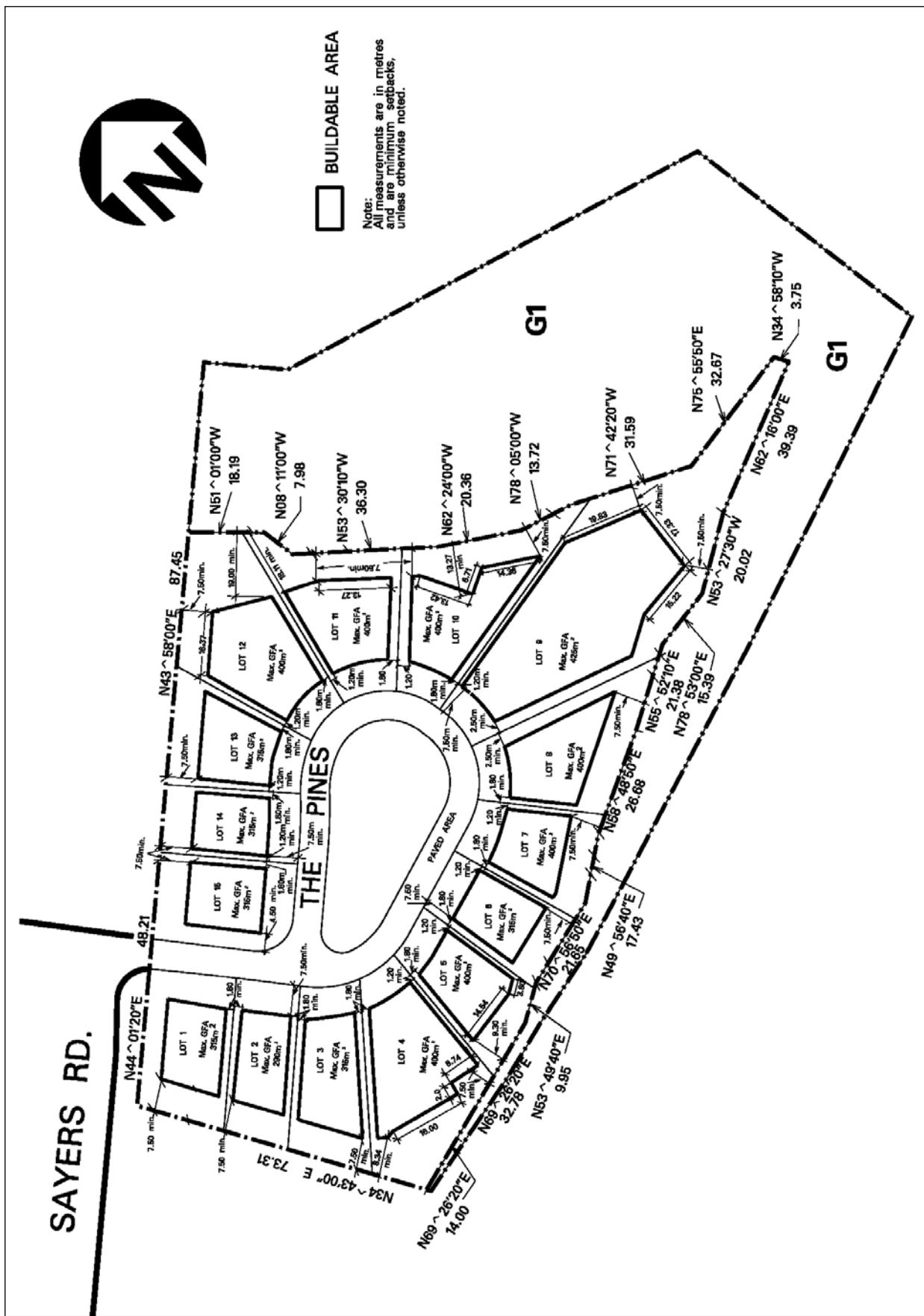
4.2.4.31	Exception: R3-31	Map # 45E	By-law:
In a R3-31 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.4.31.1	Maximum <b>gross floor area - infill residential</b>	190 m <sup>2</sup> plus 0.20 times the <b>lot area</b>	
4.2.4.31.2	Minimum setback to all lands zoned G1	3.0 m	

4.2.4.32	Exception: R3-32	Map # 36W	By-law: 0181-2018/LPAT Order 2019 February 15
In a R3-32 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.4.32.1	Minimum <b>lot area - interior lot</b>	525 m <sup>2</sup>	
4.2.4.32.2	Minimum <b>lot area - corner lot</b>	660 m <sup>2</sup>	
4.2.4.32.3	Minimum <b>lot frontage - interior lot</b>	14.0 m	
4.2.4.32.4	Minimum <b>lot frontage - corner lot</b>	18.5 m	
4.2.4.32.5	Minimum <b>front yard - interior lot</b>	10.4 m	
4.2.4.32.6	Minimum <b>interior side yard</b>	1.2 m	
4.2.4.32.7	Minimum setback to <b>garage face</b>	10.4 m	

## Part 4 - Residential Zones

4.2.4.33	Exception: R3-33	Map # 38W	By-law:																								
In a R3-33 zone the applicable regulations shall be as specified for a R3 zone except that the following uses/regulations shall apply:																											
<b>Permitted Use</b>																											
4.2.4.33.1 Lands zoned R3-33 shall only be used for the following:																											
<ul style="list-style-type: none"> <li>(1) <b>Detached Dwelling or</b></li> <li>(2) <b>Veterinary Clinic</b></li> </ul>																											
<b>Regulations</b>																											
4.2.4.33.2 A <b>veterinary clinic</b> shall comply with the R3 zone regulations contained in Subsection 4.2.1 of this By-law except that:																											
<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 15%;">(1)</td> <td>maximum number of veterinarians permitted to practise</td> <td style="width: 15%;">1</td> </tr> <tr> <td>(2)</td> <td>maximum <b>gross floor area - non-residential</b></td> <td>340 m<sup>2</sup></td> </tr> <tr> <td>(3)</td> <td>minimum <b>front yard - corner lot</b></td> <td>3.4 m</td> </tr> <tr> <td>(4)</td> <td>minimum <b>exterior side yard</b></td> <td>75.0 m</td> </tr> <tr> <td>(5)</td> <td>minimum <b>interior side yard - corner lot</b></td> <td>2.8 m</td> </tr> <tr> <td>(6)</td> <td>minimum <b>rear yard - corner lot</b></td> <td>2.5 m</td> </tr> <tr> <td>(7)</td> <td><b>outdoor storage</b> shall not be permitted</td> <td></td> </tr> <tr> <td>(8)</td> <td>a <b>veterinary clinic use</b> and all related activities shall be conducted wholly within the <b>existing building</b></td> <td></td> </tr> </table>				(1)	maximum number of veterinarians permitted to practise	1	(2)	maximum <b>gross floor area - non-residential</b>	340 m <sup>2</sup>	(3)	minimum <b>front yard - corner lot</b>	3.4 m	(4)	minimum <b>exterior side yard</b>	75.0 m	(5)	minimum <b>interior side yard - corner lot</b>	2.8 m	(6)	minimum <b>rear yard - corner lot</b>	2.5 m	(7)	<b>outdoor storage</b> shall not be permitted		(8)	a <b>veterinary clinic use</b> and all related activities shall be conducted wholly within the <b>existing building</b>	
(1)	maximum number of veterinarians permitted to practise	1																									
(2)	maximum <b>gross floor area - non-residential</b>	340 m <sup>2</sup>																									
(3)	minimum <b>front yard - corner lot</b>	3.4 m																									
(4)	minimum <b>exterior side yard</b>	75.0 m																									
(5)	minimum <b>interior side yard - corner lot</b>	2.8 m																									
(6)	minimum <b>rear yard - corner lot</b>	2.5 m																									
(7)	<b>outdoor storage</b> shall not be permitted																										
(8)	a <b>veterinary clinic use</b> and all related activities shall be conducted wholly within the <b>existing building</b>																										

4.2.4.34	Exception: R3-34	Map # 10	By-law:
In a R3-34 zone the permitted uses and applicable regulations shall be as specified for a R3 zone except that the following uses/regulations shall apply:			
<b>Regulations</b>			
4.2.4.34.1 Minimum <b>lot area</b> 523 m <sup>2</sup>			
4.2.4.34.2 Minimum <b>lot frontage</b> 14.5 m			
4.2.4.34.3 Maximum <b>lot coverage</b> 35%			
4.2.4.34.4 Maximum <b>gross floor area - infill residential</b> , identified on Schedule R3-34 of this Exception			
4.2.4.34.5 Minimum <b>front yard</b> 7.5 m			
4.2.4.34.6 Minimum <b>exterior side yard</b> 5.0 m			
4.2.4.34.7 Minimum <b>rear yard</b> 7.5 m			
4.2.4.34.8 No part of any <b>garage</b> shall be located closer to a <b>street</b> , private road or private lane than the first floor walls of the <b>detached dwellings</b> on Lots 1, 2, 3, 5 and 15 identified on Schedule R3-34 of this Exception			
4.2.4.34.9 Maximum <b>height - highest ridge: sloped roof</b> 9.0 m			
4.2.4.34.10 Maximum <b>height: flat roof</b> 7.5 m			
4.2.4.34.11 Minimum number of <b>parking spaces per dwelling unit</b> 4			
4.2.4.34.12 Maximum <b>driveway width</b> 6.0 m			
4.2.4.34.13 All site development plans shall comply with Schedule R3-34 of this Exception			



## Schedule R3-34

### Map 10

## Part 4 - Residential Zones

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4.2.4.35	Exception: R3-35	Map # 36E	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
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In a R3-35 zone the permitted **uses** and applicable regulations shall be as specified for a R3 zone except that the following **uses/regulations** shall apply:

### **Regulations**

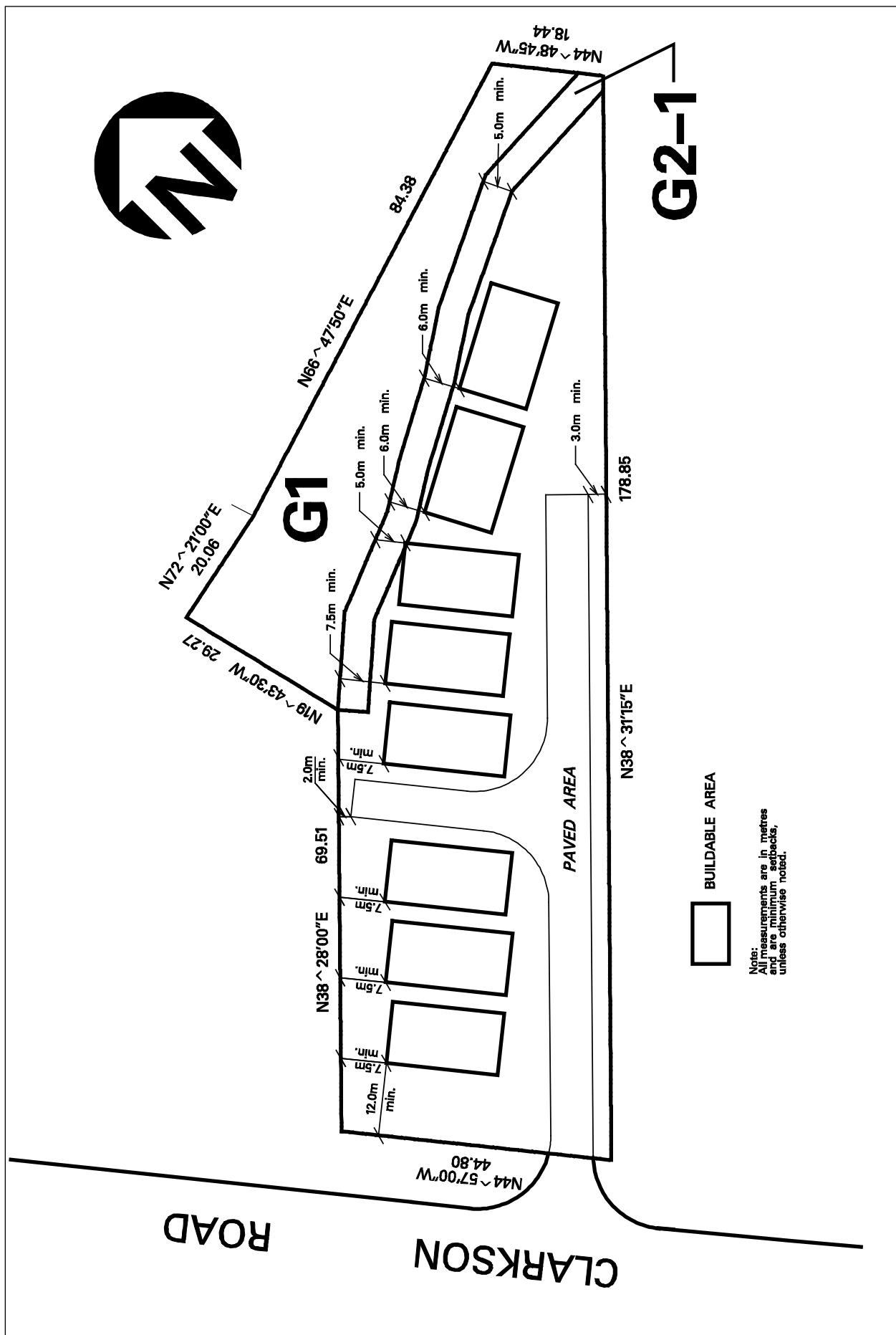
4.2.4.35.1	Minimum <b>lot area - interior lot</b>	470 m <sup>2</sup>
4.2.4.35.2	Minimum <b>lot area - corner lot</b>	600 m <sup>2</sup>
4.2.4.35.3	Maximum <b>lot coverage</b>	35%
4.2.4.35.4	Minimum <b>front yard</b>	4.5 m
4.2.4.35.5	Minimum <b>interior side yard</b>	1.2 m
4.2.4.35.6	Minimum <b>exterior side yard</b>	4.5 m
4.2.4.35.7	Minimum setback to <b>garage face</b>	6.0 m

4.2.4.36	Exception: R3-36	Map # 10	By-law: 0181-2018/LPAT Order 2019 February 15
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In a R3-36 zone the permitted **uses** and applicable regulations shall be as specified for a R3 zone except that the following **uses/regulations** shall apply:

### **Regulations**

4.2.4.36.1	The regulations contained in Article 3.1.1.8 of this By-law shall not apply	
4.2.4.36.2	Maximum number of <b>detached dwellings</b> on all lands zoned R3-36	8
4.2.4.36.3	Minimum <b>landscaped area</b>	50% of the <b>lot area</b>
4.2.4.36.4	Minimum setback to a <b>condominium road</b>	4.5 m
4.2.4.36.5	Minimum setback to <b>garage face</b> from a <b>condominium road</b>	5.2 m
4.2.4.36.6	Minimum separation between <b>detached dwellings</b>	3.0 m
4.2.4.36.7	Maximum <b>height</b>	7.5 m
4.2.4.36.8	<b>Height</b> of all <b>buildings</b> and <b>structures</b> shall be measured from <b>established grade</b>	
4.2.4.36.9	Maximum <b>driveway width</b>	8.5 m
4.2.4.36.10	Minimum number of <b>parking spaces</b> per <b>dwelling unit</b>	4
4.2.4.36.11	All site development plans shall comply with Schedule R3-36 of this Exception	



Schedule R3-36  
Map 10

## Part 4 - Residential Zones

4.2.4.37	Exception: R3-37	Map # 30	By-law: 0184-2008, 0181-2018/LPAT Order 2019 February 15
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In a R3-37 zone the permitted **uses** and applicable regulations shall be as specified for a R3 zone except that the following **uses/regulations** shall apply:

### **Regulations**

4.2.4.37.1	Minimum <b>lot area - interior lot</b>	480 m <sup>2</sup>
4.2.4.37.2	Maximum <b>lot coverage</b>	45%
4.2.4.37.3	Minimum <b>front yard - interior lot</b>	4.5 m
4.2.4.37.4	Minimum <b>interior side yard - interior lot</b>	1.2 m
4.2.4.37.5	Minimum <b>interior side yard - corner lot</b>	1.2 m
4.2.4.37.6	Minimum setback to <b>garage face - interior lot</b>	6.0 m
4.2.4.37.7	Minimum setback to a <b>sight triangle</b>	0.0 m
4.2.4.37.8	Maximum <b>height</b>	11.0 m
4.2.4.37.9	Maximum encroachment of a <b>porch</b> or a <b>balcony</b> into the required <b>front yard</b> or <b>exterior side yard</b>	2.0 m
4.2.4.37.10	Maximum area of a <b>balcony</b> on top of an attached <b>garage</b>	12 m <sup>2</sup>
4.2.4.37.11	A detached <b>garage</b> shall not be permitted	

4.2.4.38	Exception: R3-38	Map # 46W, 54W	By-law:
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In a R3-38 zone the applicable regulations shall be as specified for a R3 zone except that the following **uses/regulations** shall apply:

### **Permitted Use**

4.2.4.38.1	Lands zoned R3-38 shall only be used for the following:	
	(1) <b>Day Care</b>	

4.2.4.39	Exception: R3-39	Map # 11	By-law:
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In a R3-39 zone the applicable regulations shall be as specified for a R3 zone except that the following **uses/regulations** shall apply:

### **Permitted Use**

4.2.4.39.1	Lands zoned R3-39 shall only be used for the following:	
	(1) <b>Medical Office - Restricted</b>	

### **Regulation**

4.2.4.39.2	Maximum number of <b>physicians, dentists, drugless practitioners or health professionals</b> permitted to practise	2
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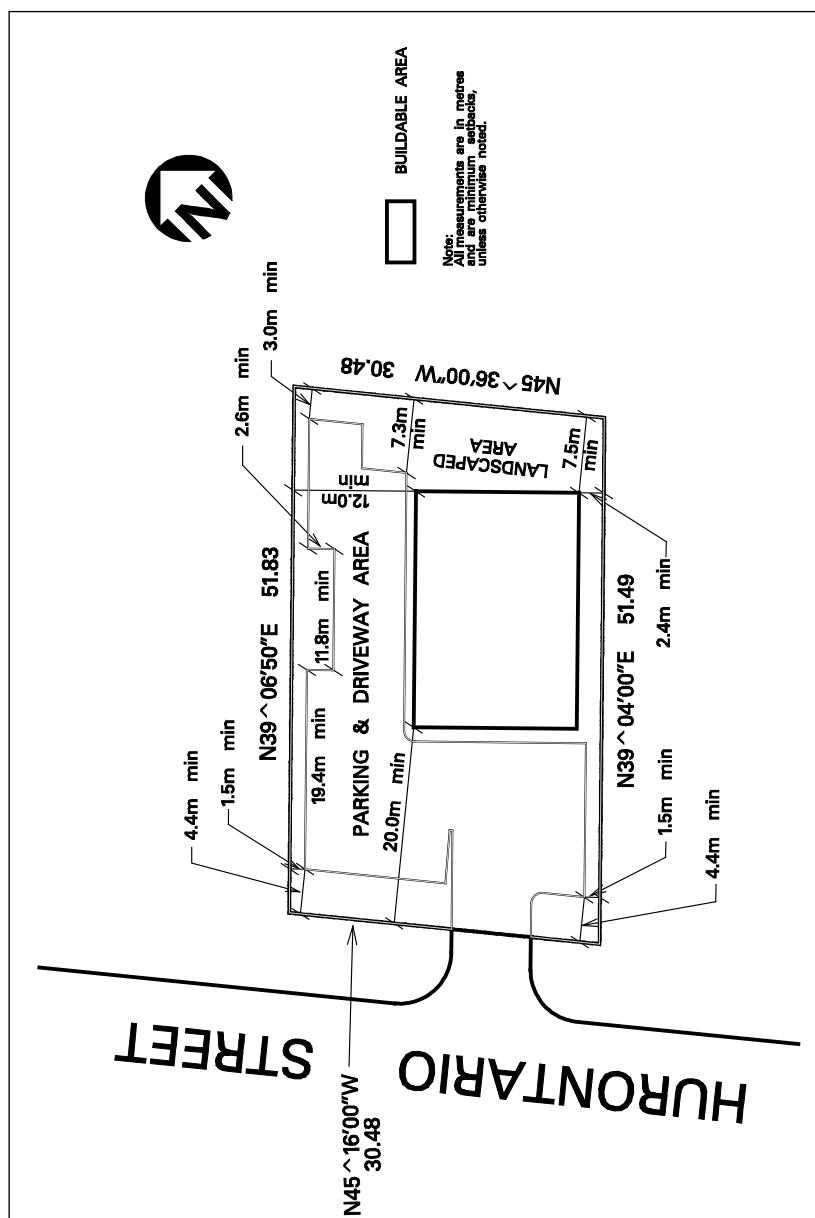
## Part 4 - Residential Zones

4.2.4.40	Exception: R3-40	Map # 11	By-law:
In a R3-40 zone the applicable regulations shall be as specified for a R3 zone except that the following uses/regulations shall apply:			
<b>Permitted Use</b>			
4.2.4.40.1 Lands zoned R3-40 shall only be used for the following:			
<ul style="list-style-type: none"> <li>(1) <b>Detached Dwelling or</b></li> <li>(2) <b>Medical office - restricted in a detached dwelling</b></li> </ul>			
<b>Regulations</b>			
4.2.4.40.2	Maximum <b>gross floor area - non-residential</b> used for a <b>medical office - restricted</b>	100 m <sup>2</sup>	
4.2.4.40.3	Maximum number of <b>physicians, dentists, drugless practitioners or health professionals</b> permitted to practise	1	
4.2.4.40.4	<b>A medical office - restricted</b> shall only be located in the <b>first storey</b>		

4.2.4.41	Exception: R3-41	Map # 07	By-law:
In a R3-41 zone the applicable regulations shall be as specified for a R3 zone except that the following uses/regulations shall apply:			
<b>Permitted Uses</b>			
4.2.4.41.1 Lands zoned R3-41 shall only be used for the following:			
<ul style="list-style-type: none"> <li>(1) <b>Detached Dwelling or</b></li> <li>(2) <b>Office</b></li> <li>(3) <b>Medical Office - Restricted</b></li> </ul>			
<b>Uses Not Permitted</b>			
4.2.4.41.2	(1) <b>Office and/or medical office - restricted</b> that requires more than fourteen (14) <b>parking spaces</b>		
<b>Regulations</b>			
4.2.4.41.3	<b>Detached Dwelling:</b>		
<ul style="list-style-type: none"> <li>(1) the regulations contained in Subsection 4.2.4 of this By-law shall apply</li> <li>(2) minimum <b>lot frontage</b> <span style="float: right;">30.0 m</span></li> <li>(3) maximum <b>height:</b> <span style="float: right;">9.0 m</span> <b>flat roof</b></li> </ul>			
4.2.4.41.4	An <b>office and medical office - restricted</b> shall comply with the R3 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
<ul style="list-style-type: none"> <li>(1) maximum <b>gross floor area - non-residential</b> <span style="float: right;">420 m<sup>2</sup></span></li> <li>(2) that part of the <b>building</b> located below <b>average grade</b> shall only be used for the following: <ul style="list-style-type: none"> <li>(2.1) climate control, electrical, energy generation and distribution, mechanical equipment related to the operation or maintenance of the <b>building</b>;</li> <li>(2.2) areas of stairwells, washrooms or elevators;</li> <li>(2.3) collection or storage of disposable or recyclable waste generated within the <b>building</b>;</li> <li>(2.4) storage incidental to permitted <b>uses</b> in the <b>building</b>; or</li> <li>(2.5) lunch rooms, lounges or fitness rooms for the personal needs of occupants of the <b>building</b>.</li> </ul> </li> </ul>			

Exception R3-41 continued on next page

4.2.4.41	Exception: R3-41	Map # 07	By-law:
<b>Exception R3-41 continued from previous page</b>			
4.2.4.41.4 (continued)	(3) maximum height - highest ridge: <b>sloped roof</b>	10.0 m	
	(4) maximum height: <b>flat roof</b>	9.0 m	
	(5) minimum number of <b>parking spaces</b> per 100 m <sup>2</sup> <b>gross floor area - non-residential</b> used for a plastic surgery clinic	3.2	
	(6) maximum encroachment of an awning outside the buildable area identified on Schedule R3-41 of this Exception into the required <b>front yard</b>	4.5 m	
	(7) maximum encroachment of an awning outside the buildable area identified on Schedule R3-41 of this Exception into the northerly required <b>interior side yard</b>	2.0 m	
	(8) "Plastic Surgery Clinic" means a <b>medical office - restricted</b> containing the office of a maximum of one (1) medical practitioner in which plastic, reconstructive and/or cosmetic procedures are undertaken		
	(9) maximum number of <b>parking spaces</b>	14	
	(10) all site development plans shall comply with Schedule R3-41 of this Exception		



Schedule R3-41  
Map 07

## Part 4 - Residential Zones

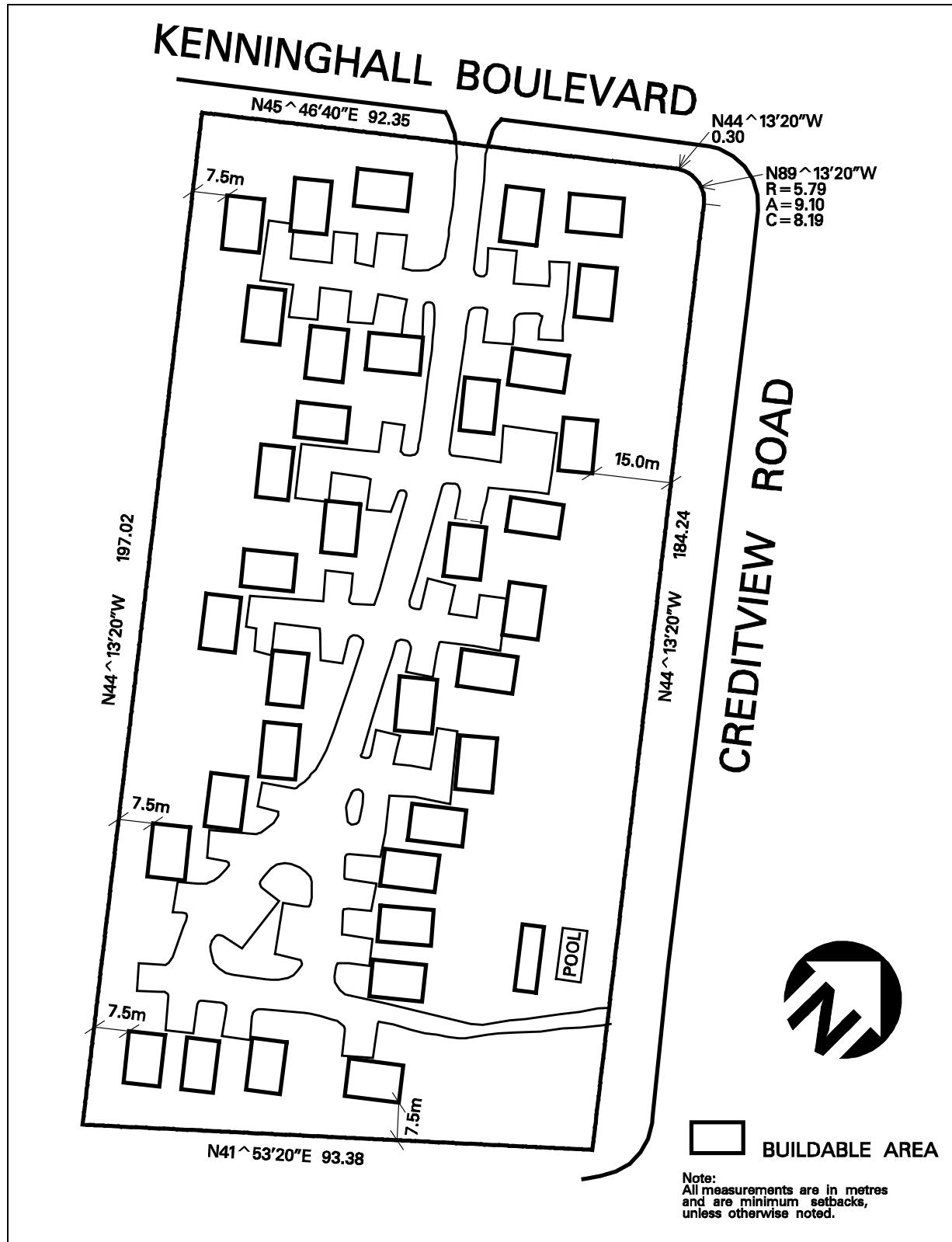
4.2.4.42	Exception: R3-42	Map # 15	By-law:
In a R3-42 zone the applicable regulations shall be as specified for a R3 zone except that the following uses/regulations shall apply:			
<b>Permitted Uses</b>			
4.2.4.42.1 Lands zoned R3-42 shall only be used for the following:			
	(1) <b>Detached Dwelling or</b> (2) <b>Office</b> (3) <b>Medical Office - Restricted</b>		
<b>Regulation</b>			
4.2.4.42.2	An <b>office and medical office - restricted</b> shall comply with the R3 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) maximum <b>gross floor area - non-residential</b>		125 m <sup>2</sup>

4.2.4.43	Exception: R3-43	Map # 07	By-law: 0171-2015/ OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30
In a R3-43 zone the applicable regulations shall be as specified for a R3 zone except that the following uses/regulations shall apply:			
<b>Permitted Uses</b>			
4.2.4.43.1	Lands zoned R3-43 shall only be used for the following:		
	(1) <b>Detached Dwelling or</b> (2) <b>Office</b> (3) <b>Medical Office - Restricted</b>		
<b>Regulations</b>			
4.2.4.43.2	<b>Minimum lot frontage</b>		30.0 m
4.2.4.43.3	<b>Maximum height - highest ridge of a detached dwelling: sloped roof</b>		9.5 m
4.2.4.43.4	<b>Maximum height of a detached dwelling: flat roof</b>		7.5 m
4.2.4.43.5	<b>Maximum height of eaves of a detached dwelling:</b> from <b>average grade</b> to lower edge of eaves		6.4 m
4.2.4.43.6	<b>Maximum dwelling unit depth</b>		20.0 m
4.2.4.43.7	An <b>office and medical office - restricted</b> shall comply with the R3 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) maximum <b>gross floor area - non-residential</b>		190 m <sup>2</sup>

## **Part 4 - Residential Zones**

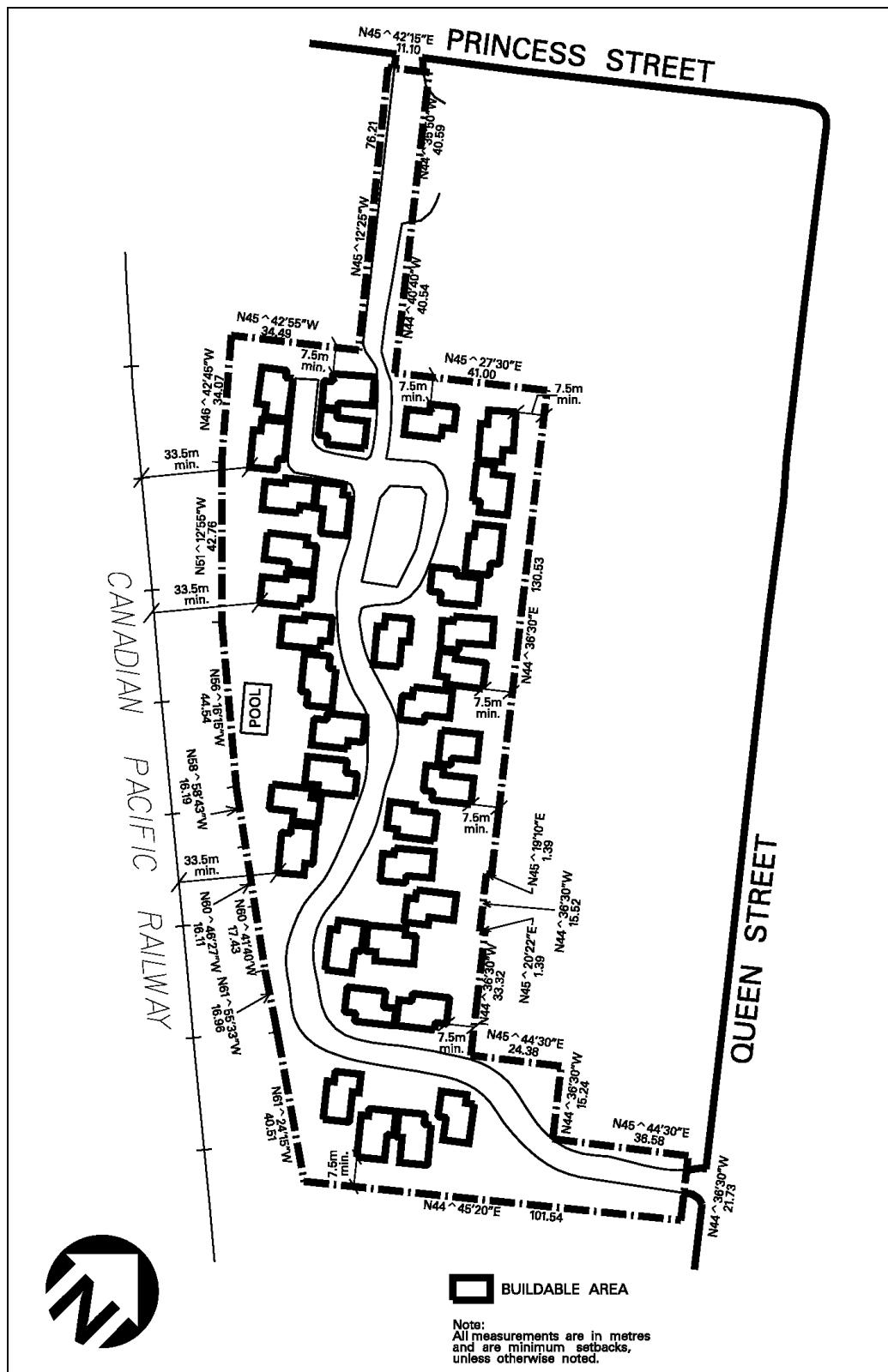
4.2.4.45	Exception: R3-45	Map # 07	By-law: 0171-2015/ OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30
In a R3-45 zone the applicable regulations shall be as specified for a R3 zone except that the following uses/regulations shall apply:			
<b>Permitted Uses</b>			
4.2.4.45.1 Lands zoned R3-45 shall only be used for the following:			
<ul style="list-style-type: none"> <li>(1) <b>Detached Dwelling</b> or</li> <li>(2) <b>Office</b></li> <li>(3) <b>Medical Office - Restricted</b></li> </ul>			
<b>Regulations</b>			
4.2.4.45.2	Maximum height - highest ridge of a <b>detached dwelling</b> : <b>sloped roof</b>		9.5 m
4.2.4.45.3	Maximum height of a <b>detached dwelling</b> : <b>flat roof</b>		7.5 m
4.2.4.45.4	Maximum height of eaves of a <b>detached dwelling</b> : from <b>average grade</b> to lower edge of eaves		6.4 m
4.2.4.45.5	Maximum <b>dwelling unit depth</b>		20.0 m
4.2.4.45.6	An <b>office</b> and <b>medical office - restricted</b> shall comply with the R3 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) maximum <b>gross floor area - non-residential</b>		210 m <sup>2</sup>
	(2) minimum <b>rear yard</b>		12.0 m

4.2.4.46	Exception: R3-46	Map # 45W	By-law:
In a R3-46 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.4.46.1	Maximum number of <b>detached dwellings</b>	35	
4.2.4.46.2	<b>Height</b> of all <b>buildings</b> and <b>structures</b> shall be measured from <b>established grade</b>		
4.2.4.46.3	All site development plans shall comply with Schedule R3-46 of this Exception		



Schedule R3-46  
Map 38W

4.2.4.47	Exception: R3-47	Map # 39E	By-law:
In a R3-47 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.4.47.1	Maximum number of <b>detached dwellings</b>	36	
4.2.4.47.2	Minimum separation distance between <b>detached dwellings</b>	3.6 m	
4.2.4.47.3	Minimum separation distance between <b>garages</b>	1.2 m	
4.2.4.47.4	<b>Height</b> of all buildings and <b>structures</b> shall be measured from <b>established grade</b>		
4.2.4.47.5	All site development plans shall comply with Schedule R3-47 of this Exception		



Schedule R3-47  
Map 39E

## Part 4 - Residential Zones

4.2.4.48	Exception: R3-48	Map # 13	By-law: 0308-2011, 0171-2015/OMB Order 2016 April 04, 0193-2016/ OMB Order 2017 May 30, 0111-2019/LPAT Order 2021 March 09
In a R3-48 zone the applicable regulations shall be as specified for a R3 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Permitted Uses</b>			
4.2.4.48.1      Lands zoned R3-48 shall only be used for the following:			
(1) <b>Detached Dwelling or</b> (2) <b>Service Establishment</b> (3) <b>Office</b>			
<b>Regulations</b>			
4.2.4.48.2	Maximum <b>height - highest ridge</b> of a <b>detached dwelling</b> :	9.5 m	
	<b>sloped roof</b>		
4.2.4.48.3	Maximum <b>height</b> of a <b>detached dwelling</b> :	7.5 m	
	<b>flat roof</b>		
4.2.4.48.4	Maximum height of eaves of a <b>detached dwelling</b> :	6.4 m	
	from <b>average grade</b> to lower edge of eaves		
4.2.4.48.5	Maximum <b>dwelling unit depth</b>	20.0 m	
4.2.4.48.6	A <b>service establishment</b> and/or <b>office</b> shall comply with the R3 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)    maximum <b>gross floor area - non-residential</b> on all lands zoned R3-48	350 m <sup>2</sup>	
	(2)    maximum <b>gross floor area - non-residential</b> used for a <b>service establishment</b> on all lands zoned R3-48	200 m <sup>2</sup>	
	(3)    a <b>service establishment</b> shall only be permitted on the ground floor		
	(4)    minimum <b>lot frontage</b> for lands fronting onto Baldwin Road	12.0 m	
	(5)    minimum <b>landscaped area</b>	30% of the <b>lot area</b>	
	(6)    maximum <b>height</b>	10.7 m and 2 <b>storeys</b>	
	(7)    minimum depth of a <b>landscaped buffer</b> required along the entire length of the Stanfield Road <b>lot frontage</b>	4.5 m	

4.2.4.49	Exception: R3-49	Map # 15	By-law: 0181-2018/LPAT Order 2019 February 15
In a R3-49 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R3 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.4.49.1      Minimum <b>lot area - interior lot</b>			
515 m <sup>2</sup>			
4.2.4.49.2	Minimum <b>lot frontage - interior lot</b>	14.7 m	
4.2.4.49.3	Maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided	2.5 m	
4.2.4.49.4	Where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>	5.0 m	
4.2.4.49.5	For a <b>detached dwelling</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>		

## Part 4 - Residential Zones

4.2.4.50	Exception: R3-50	Map # 45W	By-law:
In a R3-50 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.4.50.1	Maximum number of <b>detached dwellings</b>	48	
4.2.4.50.2	<b>Height</b> of all <b>buildings</b> and <b>structures</b> shall be measured from <b>established grade</b>		
4.2.4.50.3	All site development plans shall comply with Schedule R3-50 of this Exception		



**Schedule R3-50**  
Map 45W

4.2.4.51	Exception: R3-51	Map # 08	By-law: 0181-2018/LPAT Order 2019 February 15
In a R3-51 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.4.51.1	Minimum <b>lot area - interior lot</b>	375 m <sup>2</sup>	
4.2.4.51.2	Minimum <b>lot area - corner lot</b>	425 m <sup>2</sup>	
4.2.4.51.3	Minimum <b>lot frontage - interior lot</b>	13.5 m	
4.2.4.51.4	Minimum <b>lot frontage - corner lot</b>	15.5 m	
4.2.4.51.5	Maximum <b>lot coverage</b> of all <b>buildings</b> and <b>structures</b> excluding the area of a <b>porch</b> or <b>balcony</b>	50%	
4.2.4.51.6	Maximum <b>gross floor area - infill residential</b>	190 m <sup>2</sup> plus 0.33 times the <b>lot area</b>	
4.2.4.51.7	Minimum <b>front yard - corner lot</b>	4.5 m	
4.2.4.51.8	Minimum <b>exterior side yard</b>	3.5 m	
4.2.4.51.9	Minimum <b>interior side yard - corner lot</b>	1.2 m	
4.2.4.51.10	Minimum <b>interior side yard - interior lot</b>	1.2 m on one side and 2.4 m on the other side	
4.2.4.51.11	Minimum <b>rear yard</b>	6.5 m to <b>first storey</b>	
4.2.4.51.12	Minimum <b>rear yard</b>	0.6 m to detached or attached <b>garage</b> and <b>second storey</b>	
4.2.4.51.13	Minimum setback to a <b>sight triangle</b>	0.0 m	
4.2.4.51.14	Maximum <b>height - highest ridge: sloped roof</b>	9.5 m	
4.2.4.51.15	Maximum <b>height: flat roof</b>	7.5 m	
4.2.4.51.16	Maximum height of eaves: from <b>average grade</b> to lower edge of the eaves	6.4 m	
4.2.4.51.17	Maximum encroachment of a <b>porch</b> or <b>balcony</b> into the required <b>exterior side yard</b>	2.0 m	
4.2.4.51.18	Maximum encroachment of window projections and architectural elements, with or without a foundation, such as, but not limited to, <b>chimneys</b> , media niches, pilasters and corbels:  (1) into the required <b>front yard</b> (2) into the required <b>interior or exterior side yard</b>	1.0 m 0.6 m	
4.2.4.51.19	The <b>lot line</b> abutting a <b>street</b> with a width of 18.0 m or greater shall be deemed to be the <b>front lot line</b>		
4.2.4.51.20	No parking of <b>motor vehicles</b> or <b>driveways</b> shall be permitted in any part of a <b>front or exterior side yard</b>		
4.2.4.51.21	Setback to <b>garage face</b> from the <b>rear lot line</b>	less than 1.0 m; or between 1.8 m and 2.0 m; or greater than 4.5 m	
4.2.4.51.22	Minimum number of <b>parking spaces per lot</b>	2	
4.2.4.51.23	Where the <b>garage face</b> is set back less than 1.0 m from the <b>rear lot line</b> , an unobstructed area measuring 2.6 m by 5.2 m shall be provided between the <b>garage</b> and one side <b>lot line</b>		
4.2.4.51.24	Maximum <b>garage width:</b> measured from the inside face of the <b>garage</b> side walls	11.0 m	

4.2.4.52	Exception: R3-52	Map # 08, 09	By-law: 0379-2009, 0308-2011, 0181-2018/LPAT Order 2019 February 15
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In a R3-52 zone the permitted **uses** and applicable regulations shall be as specified for a R3 zone except that the following **uses/regulations** shall apply:

**Regulations**

4.2.4.52.1	Minimum <b>lot area - interior lot</b>	500 m <sup>2</sup>
4.2.4.52.2	Minimum <b>lot area - corner lot</b>	600 m <sup>2</sup>
4.2.4.52.3	Minimum <b>lot frontage - corner lot</b>	18.0 m
4.2.4.52.4	Maximum <b>lot coverage</b> of all <b>buildings and structures</b> , excluding the area of a <b>porch or balcony</b>	40%
4.2.4.52.5	Maximum <b>gross floor area - infill residential</b>	190 m <sup>2</sup> plus 0.33 times the <b>lot area</b>
4.2.4.52.6	Minimum <b>front yard - corner lot</b>	6.0 m
4.2.4.52.7	Minimum <b>exterior side yard</b>	4.5 m
4.2.4.52.8	Minimum <b>interior side yard</b>	1.5 m
4.2.4.52.9	Minimum <b>rear yard - corner lot</b>	7.5 m
4.2.4.52.10	Minimum setback to a <b>sight triangle</b>	1.5 m
4.2.4.52.11	Maximum <b>height - highest ridge: sloped roof</b>	9.5 m
4.2.4.52.12	Maximum <b>height: flat roof</b>	7.5 m
4.2.4.52.13	Maximum height of eaves: from <b>average grade</b> to lower edge of the eaves	6.4 m
4.2.4.52.14	Maximum encroachment of a <b>porch or balcony</b> into the required <b>exterior side yard</b>	2.0 m
4.2.4.52.15	Maximum encroachment of window projections and architectural elements, with or without a foundation, such as, but not limited to, <b>chimneys</b> , media niches, pilasters and corbels:  (1) into the required <b>front, rear or exterior side yard</b> (2) into the required <b>interior side yard</b>	1.0 m 0.6 m
4.2.4.52.16	Maximum encroachment of a side wall of a <b>garage</b> into the required <b>front yard</b>	1.5 m
4.2.4.52.17	Maximum projection of a <b>garage face</b> beyond any portion of the first floor <b>front wall or exterior side wall</b> of a <b>detached dwelling</b>	0.0 m
4.2.4.52.18	Maximum projection of a <b>garage face</b> beyond any portion of the first floor <b>front wall or exterior side wall</b> of a <b>detached dwelling</b> , where a <b>main entry feature</b> is provided	2.5 m
4.2.4.52.19	A detached <b>garage</b> shall not be permitted	
4.2.4.52.20	Maximum <b>garage width</b> : measured from the inside face of the <b>garage</b> side walls	8.0 m
4.2.4.52.21	Minimum setback to <b>garage face</b>	6.0 m

4.2.4.53	Exception: R3-53	Map # 09	By-law: 0379-2009, 0308-2011, 0181-2018/LPAT Order 2019 February 15
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In a R3-53 zone the permitted **uses** and applicable regulations shall be as specified for a R3 zone except that the following **uses/regulations** shall apply:

**Regulations**

4.2.4.53.1	Minimum <b>lot area - interior lot</b>	500 m <sup>2</sup>
4.2.4.53.2	Minimum <b>lot area - corner lot</b>	600 m <sup>2</sup>
4.2.4.53.3	Minimum <b>lot frontage - corner lot</b>	18.0 m
4.2.4.53.4	Maximum <b>lot coverage</b> of all <b>buildings and structures</b> , excluding the area of a <b>porch or balcony</b>	40%
4.2.4.53.5	Maximum <b>gross floor area - infill residential</b>	190 m <sup>2</sup> plus 0.33 times the <b>lot area</b>
4.2.4.53.6	Minimum <b>front yard - corner lot</b>	6.0 m
4.2.4.53.7	Minimum <b>exterior side yard</b>	4.5 m
4.2.4.53.8	Minimum <b>interior side yard</b>	1.5 m
4.2.4.53.9	Minimum <b>rear yard - corner lot</b>	7.5 m
4.2.4.53.10	Minimum setback to a <b>sight triangle</b>	1.5 m
4.2.4.53.11	Maximum <b>height - highest ridge: sloped roof</b>	10.8 m
4.2.4.53.12	Maximum <b>height: flat roof</b>	7.5 m
4.2.4.53.13	Maximum height of eaves: from <b>average grade</b> to lower edge of the eaves	7.7 m
4.2.4.53.14	Maximum encroachment of a <b>porch or balcony</b> into the required <b>exterior side yard</b>	2.0 m
4.2.4.53.15	Maximum encroachment of window projections and architectural elements, with or without a foundation, such as, but not limited to, <b>chimneys</b> , media niches, pilasters and corbels:  (1) into the required <b>front, rear or exterior side yard</b> (2) into the required <b>interior side yard</b>	1.0 m 0.6 m
4.2.4.53.16	Maximum encroachment of a side wall of a <b>garage</b> into the required <b>front yard</b>	1.5 m
4.2.4.53.17	Maximum projection of a <b>garage face</b> beyond any portion of the first floor <b>front wall or exterior side wall</b> of a <b>detached dwelling</b>	0.0 m
4.2.4.53.18	Maximum projection of a <b>garage face</b> beyond any portion of the first floor <b>front wall or exterior side wall</b> of a <b>detached dwelling</b> where a <b>main entry feature</b> is provided	2.5 m
4.2.4.53.19	A detached <b>garage</b> shall not be permitted	
4.2.4.53.20	Maximum <b>garage width</b> : measured from the inside face of the <b>garage</b> side walls	8.0 m
4.2.4.53.21	Minimum setback to <b>garage face</b>	6.0 m

## Part 4 - Residential Zones

4.2.4.54	Exception: R3-54	Map # 14	By-law:
In a R3-54 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulation</b>			
4.2.4.54.1      The provisions contained in Subsection 2.1.24 of this By-law shall apply			
<b>Holding Provision</b>			
The holding symbol H is to be removed from the whole or any part of the lands zoned H-R3-54 by further amendment to Map 14 of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements:			
(1)      a letter from a Registered Professional Engineer in the Province of Ontario certifying that the <b>building</b> meets the requirements for flood proofing to the satisfaction of the City and Credit Valley Conservation;			
(2)      confirmation in writing from Credit Valley Conservation that safe access to the site has been provided.			

4.2.4.55	Exception: R3-55	Map # 20	By-law:
In a R3-55 zone the applicable regulations shall be as specified for a R3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Use</b>			
4.2.4.55.1      Lands zoned R3-55 shall only be used for the following:			
(1) <b>Day Care</b>			
<b>Regulation</b>			
4.2.4.55.2	Minimum number of <b>parking spaces</b>		22

## Part 4 - Residential Zones

4.2.4.56	Exception: R3-56	Map # 08	By-law: 0171-2015/ OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30
In a R3-56 zone the applicable regulations shall be as specified for a R3 zone except that the following uses/regulations shall apply:			
<b>Permitted Uses</b>			
4.2.4.56.1 Lands zoned R3-56 shall only be used for the following:			
<ul style="list-style-type: none"> <li>(1) <b>Detached Dwelling or</b></li> <li>(2) <b>Office</b></li> <li>(3) <b>Medical Office - Restricted</b></li> </ul>			
<b>Regulations</b>			
4.2.4.56.2	Maximum <b>height - highest ridge of a detached dwelling: sloped roof</b>		9.5 m
4.2.4.56.3	Maximum <b>height of a detached dwelling: flat roof</b>		7.5 m
4.2.4.56.4	Maximum height of eaves of a <b>detached dwelling:</b> from <b>average grade</b> to lower edge of eaves		6.4 m
4.2.4.56.5	Maximum <b>dwelling unit depth</b>		20.0 m
4.2.4.56.6	An <b>office</b> and <b>medical office - restricted</b> shall comply with the R3 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) <b>minimum lot frontage - interior lot</b>		22.5 m
	(2) <b>maximum gross floor area - non-residential</b>		355 m <sup>2</sup>

4.2.4.57	Exception: R3-57	Map # 48W	By-law:
In a R3-57 zone the applicable regulations shall be as specified for a R3 zone except that the following uses/regulations shall apply:			
<b>Permitted Uses</b>			
4.2.4.57.1 Lands zoned R3-57 shall only be used for the following:			
<ul style="list-style-type: none"> <li>(1) <b>A Place of Religious Assembly</b></li> <li>(2) A funeral preparation room accessory to a <b>place of religious assembly</b></li> </ul>			
<b>Regulations</b>			
4.2.4.57.2	The regulations of Articles 2.1.13.1 and 2.1.9.3 of this By-law shall not apply		
4.2.4.57.3	Maximum <b>gross floor area</b>		1600 m <sup>2</sup>
4.2.4.57.4	Maximum <b>gross floor area - non-residential</b> of the worship area		184 m <sup>2</sup>
4.2.4.57.5	Maximum <b>gross floor area - non-residential</b> of the multi-use rooms		183 m <sup>2</sup>
4.2.4.57.6	Minimum side <b>yard</b>		6.0 m
4.2.4.57.7	Maximum <b>height</b>		12.5 m
4.2.4.57.8	Maximum <b>height:</b> spire, ornamental dome, cupola, minaret or other like feature		25.0 m
4.2.4.57.9	"Multi-Use Room" means any room or rooms located within a <b>place of religious assembly</b> that are used or intended to be used as a place of conduct of social, recreational and charitable activities, and any rooms deemed accessory to such a room or rooms.		

## Part 4 - Residential Zones

4.2.4.58	Exception: R3-58	Map # 20	By-law:												
In a R3-58 zone the applicable regulations shall be as specified for a R3 zone except that the following uses/regulations shall apply:															
<b>Permitted Use</b>															
4.2.4.58.1 Lands zoned R3-58 shall only be used for the following:															
<ul style="list-style-type: none"> <li>(1) <b>Detached Dwelling</b> or</li> <li>(2) Showroom for the retail display of windows and doors and accessory <b>office</b></li> </ul>															
<b>Regulations</b>															
4.2.4.58.2 A showroom for the retail display of windows and doors and accessory office shall comply with the R3 zone regulations contained in Subsection 4.2.1 of this By-law except that:															
<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 25%;">(1)</td> <td style="width: 50%;">maximum <b>gross floor area - non-residential</b> used for a showroom for the retail display of windows and doors and accessory <b>office</b></td> <td style="width: 25%; text-align: right;">150 m<sup>2</sup></td> </tr> <tr> <td>(2)</td> <td>minimum <b>landscaped area</b></td> <td style="text-align: right;">50% of the <b>lot area</b></td> </tr> <tr> <td>(3)</td> <td>maximum <b>lot coverage</b></td> <td style="text-align: right;">15%</td> </tr> <tr> <td>(4)</td> <td>minimum setback of all <b>buildings, structures</b> and <b>parking areas</b> to the <b>rear lot line</b></td> <td style="text-align: right;">9.0 m</td> </tr> </table>				(1)	maximum <b>gross floor area - non-residential</b> used for a showroom for the retail display of windows and doors and accessory <b>office</b>	150 m <sup>2</sup>	(2)	minimum <b>landscaped area</b>	50% of the <b>lot area</b>	(3)	maximum <b>lot coverage</b>	15%	(4)	minimum setback of all <b>buildings, structures</b> and <b>parking areas</b> to the <b>rear lot line</b>	9.0 m
(1)	maximum <b>gross floor area - non-residential</b> used for a showroom for the retail display of windows and doors and accessory <b>office</b>	150 m <sup>2</sup>													
(2)	minimum <b>landscaped area</b>	50% of the <b>lot area</b>													
(3)	maximum <b>lot coverage</b>	15%													
(4)	minimum setback of all <b>buildings, structures</b> and <b>parking areas</b> to the <b>rear lot line</b>	9.0 m													

4.2.4.59	Exception: R3-59	Map # 06	By-law:
In a R3-59 zone the applicable regulations shall be as specified for a R3 zone except that the following uses/regulations shall apply:			
<b>Permitted Use</b>			
4.2.4.59.1 Lands zoned R3-59 shall only be used for the following:			
<ul style="list-style-type: none"> <li>(1) <b>Detached Dwelling</b> or</li> <li>(2) <b>Private Club</b></li> </ul>			

4.2.4.60	Exception: R3-60	Map # 19	By-law:
In a R3-60 zone the applicable regulations shall be as specified for a R3 zone except that the following uses/regulations shall apply:			
<b>Permitted Uses</b>			
4.2.4.60.1 Lands zoned R3-60 shall only be used for the following:			
<ul style="list-style-type: none"> <li>(1) <b>Detached dwelling</b> legally <b>existing</b> on the date of passing of this By-law</li> <li>(2) Accessory <b>veterinary clinic</b> within the <b>existing detached dwelling</b></li> </ul>			
<b>Regulations</b>			
4.2.4.60.2 The <b>detached dwelling</b> shall be the principal private residence of the veterinarian and the veterinarian must not be an occasional or casual resident thereof			
4.2.4.60.3 Maximum <b>gross floor area - non-residential</b> used for a <b>veterinary clinic</b>			
150 m <sup>2</sup>			
4.2.4.60.4 <b>Outdoor storage</b> shall not be permitted			
4.2.4.60.5 A <b>veterinary clinic</b> and all related activities shall be conducted wholly within the <b>existing detached dwelling</b>			

## Part 4 - Residential Zones

4.2.4.61	Exception: R3-61	Map # 25	By-law:
In a R3-61 zone the applicable regulations shall be as specified for a R3 zone except that the following uses/regulations shall apply:			
<b>Permitted Uses</b>			
4.2.4.61.1 Lands zoned R3-61 shall only be used for the following:			
(1) <b>Detached Dwelling</b> (2) <b>Garden Centre</b>			
<b>Regulation</b>			
4.2.4.61.2	Minimum <b>lot area - garden centre</b>		0.3 ha

4.2.4.62	Exception: R3-62	Map #	By-law: <i>deleted by 0131-2019</i>

4.2.4.63	Exception: R3-63	Map # 15	By-law: 0174-2015
In a R3-63 zone the applicable regulations shall be as specified for a R3 zone except that the following uses/regulations shall apply:			
<b>Permitted Use</b>			
4.2.4.63.1 Lands zoned R3-63 shall only be used for the following:			
(1) <b>Detached Dwelling</b>			
<b>Regulations</b>			
4.2.4.63.2	Minimum <b>lot frontage</b>		13.0 m
4.2.4.63.3	Maximum <b>height</b>		9.5 m
4.2.4.63.4	<i>deleted</i>		

## **Part 4 - Residential Zones**

4.2.4.64	Exception: R3-64	Map # 39E	By-law:
In a R3-64 zone the applicable regulations shall be as specified for a R3 zone except that the following uses/regulations shall apply:			
<b>Permitted Uses</b>			
4.2.4.64.1      Lands zoned R3-64 shall only be used for the following:  (1) <b>Detached Dwelling</b> or (2)    Dental <b>Office</b>			
<b>Regulations</b>			
4.2.4.64.2	A dental <b>office</b> shall comply with the R3 zone regulations contained in Subsection 4.2.1 of this By-law except that:  (1)    maximum <b>lot coverage</b>		14%

4.2.4.65	Exception: R3-65	Map # 07	By-law: 0019-2008
In a R3-65 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Uses</b>			
4.2.4.65.1 (1) <b>Detached Dwelling</b> or (2) <b>Office</b> (3) <b>Medical Office - Restricted</b>			
<b>Uses Not Permitted</b>			
4.2.4.65.2	(1)	<b>Office</b> and/or <b>medical office – restricted</b> that requires more than thirteen (13) <b>parking spaces</b>	
<b>Regulations</b>			
4.2.4.65.3	<b>Detached Dwelling:</b>		
	(1)	the regulations contained in Subsection 4.2.4 of this By-law shall apply	
	(2)	minimum <b>interior side yard</b>	4.27 m on one side of the <b>lot</b> and 0.31 m on the other side
	(3)	minimum combined width of side yards - one (1) <b>storey detached dwelling</b>	4.58 m
	(4)	maximum <b>dwelling unit depth</b>	22.0 m
4.2.4.65.4	An <b>office</b> and <b>medical office - restricted</b> shall comply with the R3 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	the regulations contained in Subsection 4.2.4 of this By-law shall apply	
	(2)	maximum number of <b>physicians, dentists, drugless practitioners, or health professionals</b> permitted to practise at one time	1
	(3)	maximum total <b>gross floor area - non-residential</b>	230 m <sup>2</sup>
	(4)	maximum <b>gross floor area - non-residential</b> used for a <b>medical office - restricted</b>	170 m <sup>2</sup>
	(5)	minimum <b>interior side yard</b>	4.27 m on one side of the <b>lot</b> and 0.31 m on the other side

**Exception R3-65 continued on next page**

## Part 4 - Residential Zones

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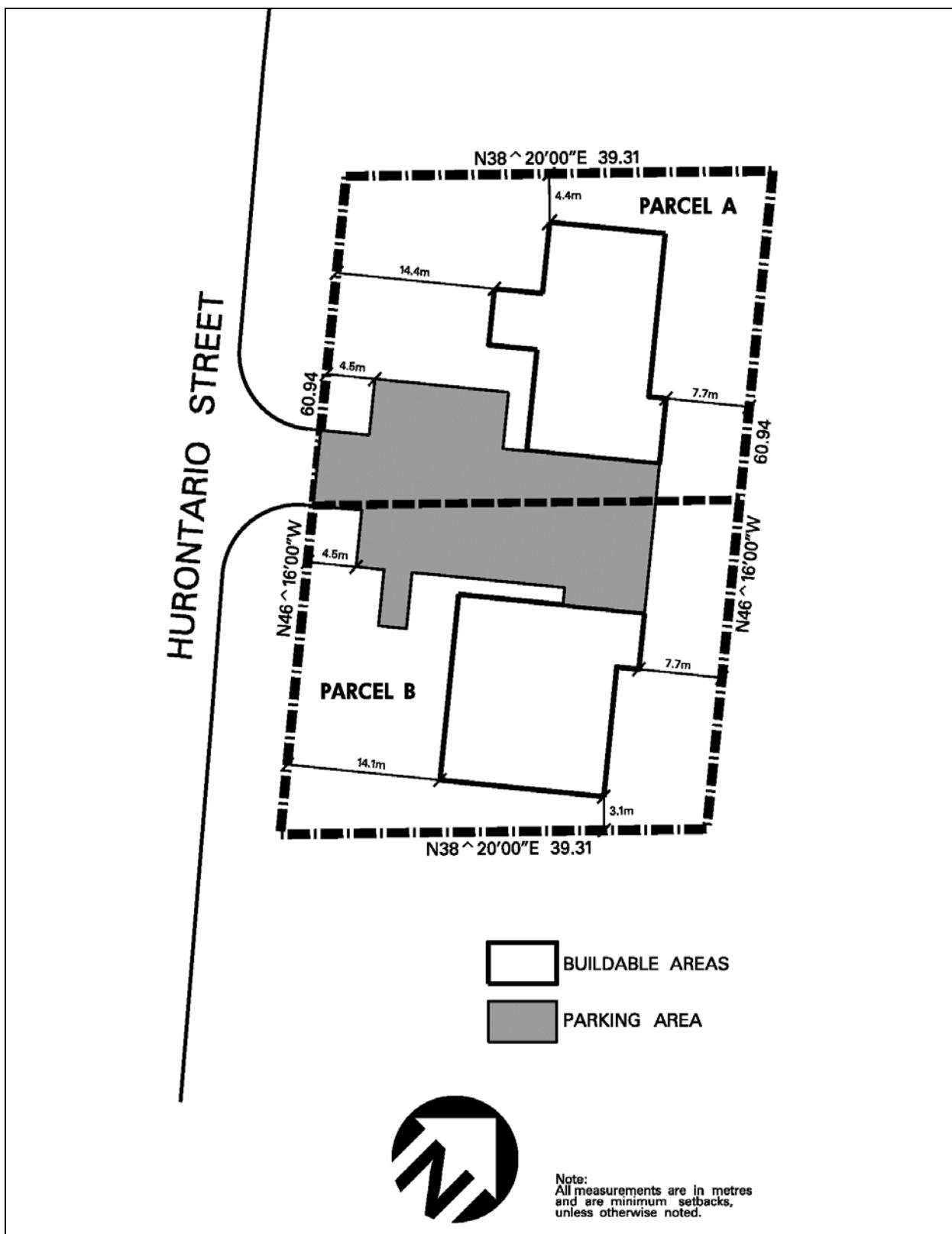
4.2.4.65	Exception: R3-65	Map # 07	By-law: 0019-2008
<b>Exception R3-65 continued from previous page</b>			
4.2.4.65.4 (continued)	(6) minimum combined width of side yards - one (1) <b>storey building</b>	4.58 m	
	(7) maximum <b>building</b> depth	22.0 m	
	(8) maximum number of <b>parking spaces</b>	13	
	(9) maximum number of <b>tandem parking spaces</b>	6	
	(10) minimum <b>aisle</b> width	4.24 m	

4.2.4.66	Exception: R3-66	Map # 15	By-law: 0112-2008
In a R3-66 zone the applicable regulations shall be as specified for a R3 zone except that the following uses/regulations shall apply:			
<b>Permitted Uses</b>			
4.2.4.66.1 Lands zoned R3-66 shall only be used for the following:			
	(1) <b>Detached Dwelling</b> or (2) <b>Office</b>		
<b>Regulations</b>			
4.2.4.66.2	An <b>office</b> shall comply with the R3 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) the provisions contained in Article 3.1.3.1 of this By-law shall not apply		
	(2) the <b>office</b> use and all related activities shall be conducted wholly within the <b>detached dwelling</b> legally <b>existing</b> on the date of passing of this By-law		
	(3) maximum number of persons employed on the site	2	
	(4) minimum <b>landscaped area</b>	40% of the <b>lot area</b>	
	(5) minimum number of <b>parking spaces</b>	4	

## Part 4 - Residential Zones

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4.2.4.67	Exception: R3-67	Map # 07	By-law: 0079-2010, 0111-2019/LPAT Order 2021 March 09
In a R3-67 zone the applicable regulations shall be as specified for a R3 zone except that the following uses/regulations shall apply:			
<b>Permitted Use</b>			
4.2.4.67.1 Lands zoned R3-67 shall only be used for the following:			
(1) <b>Office</b>			
<b>Use Not Permitted</b>			
4.2.4.67.2 (1) <i>deleted</i>			
<b>Regulations</b>			
4.2.4.67.3	Maximum <b>lot coverage</b> for Parcel 'A' and Parcel 'B', respectively, identified on Schedule R3-67 of this Exception		25% of the parcel area
4.2.4.67.4	Maximum <b>gross floor area - non-residential</b> in Parcel 'A' identified on Schedule R3-67 of this Exception		315 m <sup>2</sup>
4.2.4.67.5	Maximum <b>gross floor area - non-residential</b> in Parcel 'B' identified on Schedule R3-67 of this Exception		350 m <sup>2</sup>
4.2.4.67.6	Minimum number of <b>parking spaces</b> per 100 m <sup>2</sup> <b>gross floor area - non-residential</b> in Parcel 'A' identified on Schedule R3-67 of this Exception		2.2
4.2.4.67.7	<b>Tandem parking spaces</b> are permitted in Parcel 'B' identified on Schedule R3-67 of this Exception		
4.2.4.67.8	Maximum number of <b>tandem parking spaces</b> permitted in Parcel 'B' identified on Schedule R3-67 of this Exception		6
4.2.4.67.9	<b>Parking areas</b> may be constructed of a permeable type of material		
4.2.4.67.10	Parcel 'A' and Parcel 'B' identified on Schedule R3-67 of this Exception may share <b>driveways</b> and <b>aisles</b>		
4.2.4.67.11	All site development plans shall comply with Schedule R3-67 of this Exception		



Schedule R3-67  
Map 07

## Part 4 - Residential Zones

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4.2.4.68	Exception: R3-68	Map # 10	By-law: 0084-2009, 0111-2019/LPAT Order 2021 March 09
In a R3-68 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.2.4.68.1 (1) <b>Office</b>			
<b>Use Not Permitted</b>			
4.2.4.68.2 (1) <i>deleted</i>			
<b>Regulations</b>			
4.2.4.68.3	The provisions of Line 3.4 contained in Table 2.1.9.4 of this By-law shall not apply		
4.2.4.68.4	The regulations of Line 12.3 contained in Table 4.2.1 of this By-law shall not apply		
4.2.4.68.5	The regulations contained in Subsection 4.2.4 of this By-law shall apply except that:		
	(1) minimum combined width of side <b>yards</b> for a <b>building or structure</b> having more than one <b>storey</b> - <b>interior lots</b> having a <b>lot frontage</b> equal to or greater than 18.0 m		20% of the <b>lot frontage</b>
4.2.4.68.6	<b>Maximum gross floor area - non-residential</b> 320 m <sup>2</sup>		
4.2.4.68.7	<b>Maximum amount of parking area</b> 64% of the <b>front yard</b>		
4.2.4.68.8	<b>Minimum setback of a parking area to an interior side lot line</b> abutting a Residential Zone 3.5 m		

4.2.4.69	Exception: R3-69	Map # 38W, 39E, 45W	By-law: 0380-2009/ OMB Order 2010 September 13, 0308-2011
In a R3-69 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.4.69.1	<b>Maximum lot coverage</b> 30%		
4.2.4.69.2	<b>Maximum gross floor area - infill residential</b> 150 m <sup>2</sup> plus 0.2 times the <b>lot area</b>		
4.2.4.69.3	<b>Maximum height - highest ridge: sloped roof</b> 9.0 m		
4.2.4.69.4	<b>Maximum height: flat roof</b> 7.5 m		
4.2.4.69.5	<b>Maximum height of eaves:</b> from <b>average grade</b> to lower edge of the eaves 6.4 m		
4.2.4.69.6	<b>Garage projection:</b> maximum projection of the <b>garage</b> beyond the <b>front wall</b> or <b>exterior side wall</b> of the <b>first storey</b> 2.0 m		
4.2.4.69.7	<b>Maximum dwelling unit depth</b> 20.0 m		

## Part 4 - Residential Zones

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4.2.4.70	Exception: R3-70	Map # 37W	By-law: 0024-2011, 0181-2018/LPAT Order 2019 February 15
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In a R3-70 zone the permitted **uses** and applicable regulations shall be as specified for a R3 zone except that the following **uses/regulations** shall apply:

### Regulations

4.2.4.70.1	Minimum <b>lot area - interior lot</b>	435 m <sup>2</sup>
4.2.4.70.2	Minimum <b>lot area - corner lot</b>	550 m <sup>2</sup>
4.2.4.70.3	Minimum <b>lot frontage - interior lot</b>	14.0 m
4.2.4.70.4	Minimum <b>lot frontage - corner lot</b>	17.0 m
4.2.4.70.5	Maximum <b>lot coverage</b>	40%
4.2.4.70.6	Minimum <b>front yard</b>	9.0 m
4.2.4.70.7	Minimum setback to <b>garage face</b>	12.0 m
4.2.4.70.8	Minimum <b>exterior side yard</b>	4.5 m
4.2.4.70.9	Minimum <b>interior side yard - interior lot</b>	1.2 m on one side of the <b>lot</b> and 0.61 m on the other side
4.2.4.70.10	Minimum <b>interior side yard - corner lot</b>	1.2 m
4.2.4.70.11	Minimum <b>rear yard</b>	7.0 m
4.2.4.70.12	Maximum encroachment of a <b>porch</b> or a <b>deck</b> , located at and accessible from the <b>first storey</b> or below the <b>first storey</b> of the dwelling, inclusive of stairs, into a required <b>front</b> and/or <b>exterior side yard</b>	2.0 m
4.2.4.70.13	A <b>hammerhead</b> shall be permitted on a <b>lot</b> with a <b>lot frontage</b> greater than or equal to 14.0 m	

4.2.4.71	Exception: R3-71	Map # 39E	By-law: 0014-2012
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In a R3-71 zone the applicable regulations shall be as specified for a R3 zone except that the following **uses/regulations** shall apply:

### Permitted Uses

4.2.4.71.1	Lands zoned R3-71 shall only be used for the following:	
	(1) <b>Detached Dwelling</b> and/or	
	(2) <b>Office</b>	

### Regulations

4.2.4.71.2	Minimum <b>front yard</b>	4.2 m
4.2.4.71.3	Minimum <b>interior side yard</b>	1.6 m
4.2.4.71.4	Parking for an <b>office</b> shall only be permitted in the <b>rear yard</b>	

## Part 4 - Residential Zones

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4.2.4.72	Exception: R3-72	Map #	By-law:

4.2.4.73	Exception: R3-73	Map # 39E	By-law: 0139-2014

In a R3-73 zone the applicable regulations shall be as specified for a R3 zone except that the following **uses/regulations** shall apply:

### Permitted Uses

4.2.4.73.1 Lands zoned R3-73 shall only be used for the following:

- (1) **Detached Dwelling** or
- (2) **Office** or
- (3) **Office** with one (1) **dwelling unit**

### Regulations

4.2.4.73.2	Minimum <b>parking space</b> width	2.45 m
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4.2.4.73.3 An **office** shall comply with the R3 zone regulations contained in Subsection 4.2.1 of this By-law except that:

- |     |   |                      |
|-----|---|----------------------|
| (1) | maximum <b>gross floor area - non-residential</b>                       | 138.5 m <sup>2</sup> |
| (2) | maximum number of <b>tandem parking spaces</b>                          | 3                    |
| (3) | minimum depth of a <b>landscaped buffer</b> abutting Queen Street South | 7.5 m                |
| (4) | minimum <b>aisle</b> width  | 6.0 m                |

4.2.4.74	Exception: R3-74	Map # 38W	By-law: 0246-2014

In a R3-74 zone the permitted **uses** and applicable regulations shall be as specified for a R3 zone except that the following **uses/regulations** shall apply:

### Regulations

4.2.4.74.1 An **office** of a **physician, dentist, drugless practitioner or health professional** shall comply with the R3 zone regulations contained in Subsection 4.2.1 of this By-law except that:

- |     |  |                    |
|-----|--|--------------------|
| (1) | the provisions of Articles 4.1.17.2 and 4.1.17.8 shall not apply   |                    |
| (2) | one (1) resident <b>physician, dentist, drugless practitioner or health professional</b> , one (1) non-resident <b>physician, dentist, drugless practitioner or health professional</b> and three (3) employees shall be permitted |                    |
| (3) | maximum <b>gross floor area - non-residential</b>  | 136 m <sup>2</sup> |
| (4) | minimum <b>rear yard</b>   | 6.7 m              |
| (5) | minimum <b>aisle</b> width   | 6.0 m              |
| (6) | minimum <b>landscaped buffer</b> between a <b>parking space</b> and the <b>front lot line</b>  | 2.8 m              |
| (7) | minimum number of <b>parking spaces</b> per 100 m <sup>2</sup> <b>gross floor area - non-residential</b>   | 5.8                |
| (8) | required number of <b>parking spaces</b> for residential use   | 2                  |
| (9) | an access ramp for persons with disabilities shall be permitted to encroach into the required <b>front yard</b>  |                    |

## Part 4 - Residential Zones

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4.2.4.75	Exception: R3-75	Map # 01, 05, 06, 07, 12, 13	By-law: 0171-2015/ OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30/2018 January 10, 0198-2019
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In a R3-75 zone the permitted **uses** and applicable regulations shall be as specified for a R3 zone except that the following **uses/regulations** shall apply:

### **Regulations**

4.2.4.75.1	Maximum <b>height - highest ridge: sloped roof</b>	9.5 m
4.2.4.75.2	Maximum <b>height: flat roof</b>	7.5 m
4.2.4.75.3	Maximum height of eaves: from <b>average grade</b> to lower edge of eaves	6.4 m
4.2.4.75.4	Maximum <b>dwelling unit depth</b>	20.0 m

4.2.4.76	Exception: R3-76	Map # 07	By-law: 0171-2015/ OMB Order 2016 April 04, 0193-2016/OMB Order 2017 May 30, 0181-2018/ LPAT Order 2019 February 15
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In a R3-76 zone the permitted **uses** and applicable regulations shall be as specified for a R3 zone except that the following **uses/regulations** shall apply:

### **Regulations**

4.2.4.76.1	Minimum <b>lot area - interior lot</b>	480 m <sup>2</sup>
4.2.4.76.2	Minimum <b>lot area - corner lot</b>	585 m <sup>2</sup>
4.2.4.76.3	Minimum <b>lot frontage - corner lot</b>	18.0 m
4.2.4.76.4	Maximum <b>lot coverage</b>	45%
4.2.4.76.5	Minimum <b>front yard - interior lot</b>	6.0 m
4.2.4.76.6	Minimum <b>exterior side yard</b>	4.5 m
4.2.4.76.7	Minimum <b>exterior side yard - lots abutting Cawthra Road</b>	7.5 m
4.2.4.76.8	Minimum setback to <b>garage face</b>	6.0 m
4.2.4.76.9	Minimum <b>interior side yard - interior lot</b>	1.2 m on side and 0.61 m on the other side
4.2.4.76.10	Minimum <b>interior side yard - corner lot</b>	1.2 m
4.2.4.76.11	Minimum <b>rear yard - corner lot</b>	7.5 m
4.2.4.76.12	Minimum setback to a railway right-of-way	22.0 m
4.2.4.76.13	Maximum <b>height - highest ridge: sloped roof</b>	9.5 m
4.2.4.76.14	Maximum <b>height: flat roof</b>	7.5 m
4.2.4.76.15	Maximum height of eaves: from <b>average grade</b> to lower edge of eaves	6.4 m
4.2.4.76.16	Maximum <b>dwelling unit depth</b>	20.0 m

## Part 4 - Residential Zones

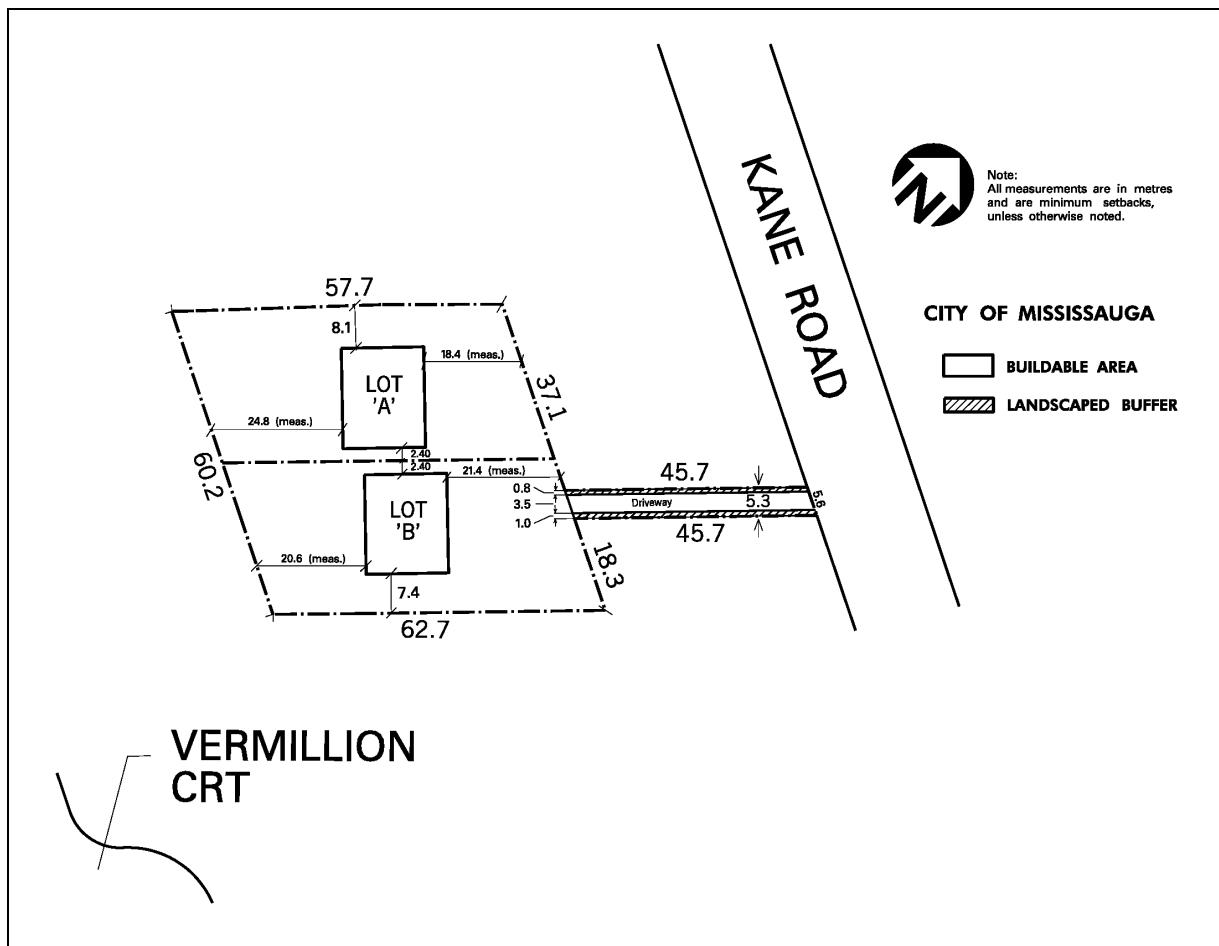
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4.2.4.77	Exception: R3-77	Map # 01	By-law: 0193-2016/OMB Order 2018 January 10
In a R3-77 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.4.77.1	Maximum <b>height - highest ridge: sloped roof</b>	10.0 m	
4.2.4.77.2	Maximum <b>height: flat roof</b>	7.5 m	
4.2.4.77.3	Maximum height of eaves: from <b>average grade</b> to lower edge of eaves	7.4 m	
4.2.4.77.4	Maximum <b>dwelling unit depth</b>	20.0 m	

4.2.4.78	Exception: R3-78	Map # 07	By-law: 0193-2016/OMB Order 2018 January 10
In a R3-78 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.4.78.1	Maximum <b>height - highest ridge: sloped roof</b>	9.5 m	
4.2.4.78.2	Maximum <b>height: flat roof</b>	7.5 m	
4.2.4.78.3	Maximum height of eaves: from <b>average grade</b> to lower edge of eaves	7.4 m	
4.2.4.78.4	Maximum <b>dwelling unit depth</b>	20.0 m	

4.2.4.79	Exception: R3-79	Map # 07	By-law: 0193-2016/OMB Order 2018 January 10
In a R3-79 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.4.79.1	Maximum <b>height - highest ridge: sloped roof</b>	9.5 m	
4.2.4.79.2	Maximum <b>height: flat roof</b>	7.5 m	
4.2.4.79.3	Maximum height of eaves: from <b>average grade</b> to lower edge of eaves	8.5 m	
4.2.4.79.4	Maximum <b>dwelling unit depth</b>	20.0 m	

4.2.4.80	Exception: R3-80	Map # 08	By-law: LPAT Order 2019 August 20
In a R3-80 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.4.80.1	The regulations contained in Subsection 4.2.4 of this By-law shall apply		
4.2.4.80.2	The regulations of Lines 8.0 and 9.0 in Table 4.2.4 contained in Subsection 4.2.4 of this By-law shall not apply		
4.2.4.80.3	The provisions contained in Article 2.1.3.1 of this By-law shall not apply to Lot 'A'		
4.2.4.80.4	Minimum <b>lot frontage - interior lot</b> for Lot 'B'	5.5 m	
4.2.4.80.5	Minimum setback of <b>accessory buildings and structures</b> to a <b>rear lot line</b>	7.5 m	
4.2.4.80.6	<b>Accessory buildings and structures and swimming pools</b> are permitted outside of the buildable area identified in Schedule R3-80 of this Exception, but shall only be located in the <b>rear yard</b> , and shall not include a detached <b>garage</b>		
4.2.4.80.7	For Lot 'A', the most easterly property line parallel to Kane Road shall be deemed to be the <b>front lot line</b>		
4.2.4.80.8	All site development plans shall comply with Schedule R3-80 of this Exception		



Schedule R3-80  
Map 08

