

4.2.3 R2 Exception Zones

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

In addition to the **uses** and regulations contained in Subsection 4.2.1 - R1 to R5 Permitted Uses and Zone Regulations, the regulations contained in Table 4.2.3 - R2 Infill Exception Regulations shall apply where specified by an R2 Exception Zone.

Table 4.2.3 - R2 Infill Exception Regulations

Column		A	B
Line			
1.0		MINIMUM INTERIOR SIDE YARD	
1.1		Interior lot	1.8 m + 0.61 m for each additional <b>storey</b> or portion thereof above one (1) <b>storey</b>
2.0		MINIMUM COMBINED WIDTH OF SIDE <b>YARDS</b> : interior lots having a <b>lot frontage</b> equal to or greater than 18.0 m	
2.1		One (1) <b>storey detached dwelling</b>	20% of the <b>lot frontage</b>
2.2		Dwelling having more than one (1) <b>storey</b>	27% of the <b>lot frontage</b>
3.0		MAXIMUM HEIGHT - <b>HIGHEST RIDGE</b> : lots having a <b>lot frontage</b> equal to or greater than 22.5 m  sloped roof	9.5 m
4.0		MAXIMUM HEIGHT - <b>HIGHEST RIDGE</b> : lots having a <b>lot frontage</b> less than 22.5 m  sloped roof	9.0 m
5.0		MAXIMUM HEIGHT:  flat roof	7.5 m
6.0		MAXIMUM HEIGHT OF EAVES:  from <b>average grade</b> to lower edge of the eaves	6.4 m
7.0		MAXIMUM GROSS FLOOR AREA - <b>INFILL RESIDENTIAL</b>	190 m <sup>2</sup> plus 0.20 times the <b>lot area</b>
8.0		<b>GARAGE PROJECTION</b> :  maximum projection of the <b>garage</b> beyond the <b>front wall</b> or <b>exterior side wall</b> of the <b>first storey</b> (0325-2008), (0308-2011)	0.0 m
9.0		MAXIMUM DWELLING UNIT DEPTH	20.0 m
10.0		deleted by 0190-2014	



4.2.3.1	Exception: R2-1	Map # 02, 03, 08, 09, 10	By-law:
In a R2-1 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulation</b>			
4.2.3.1.1	The regulations contained in Subsection 4.2.3 of this By-law shall apply		

4.2.3.2	Exception: R2-2	Map # 09	By-law:
In a R2-2 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.2.1	The regulations contained in Subsection 4.2.3 of this By-law shall apply		
4.2.3.2.2	Minimum <b>front yard</b>		7.5 m

4.2.3.3	Exception: R2-3	Map #	By-law: <i>deleted by LPAT Order 2019 August 20</i>

4.2.3.4	Exception: R2-4	Map # 02, 03, 07, 08, 09, 10	By-law: 0225-2017, LPAT Order 2020 June 01
In a R2-4 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.4.1	The regulations contained in Subsection 4.2.3 of this By-law shall apply		
4.2.3.4.2	Minimum <b>lot frontage</b>		22.5 m

4.2.3.5	Exception: R2-5	Map # 02, 03, 07, 08, 09, 10	By-law: 0247-2016
In a R2-5 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.5.1	The regulations contained in Subsection 4.2.3 of this By-law shall apply		
4.2.3.5.2	Minimum <b>lot frontage</b>		30.0 m

4.2.3.6	Exception: R2-6	Map # 07	By-law:
In a R2-6 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.6.1	The regulations contained in Subsection 4.2.3 of this By-law shall apply		
4.2.3.6.2	The regulations of Line 4.1 contained in Table 4.2.1 of this By-law shall not apply		
4.2.3.6.3	Access to all <b>lots</b> shall be via a common frontage on Carmen Drive		

4.2.3.7	Exception: R2-7	Map # 39E, 45W	By-law: 0325-2008, 0181-2018/LPAT Order 2019 February 15
In a R2-7 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.7.1	Minimum <b>front yard</b>	7.5 m	
4.2.3.7.2	Minimum <b>interior side yard</b>	1.2 m + 0.61 m for each additional <b>storey</b> or portion thereof above one <b>storey</b>	
4.2.3.7.3	Minimum setback to <b>garage face - interior lot</b>	7.5 m	

4.2.3.8	Exception: R2-8	Map # 38W, 39E	By-law:
In a R2-8 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.8.1	Maximum <b>lot coverage - detached dwelling</b> not exceeding one <b>storey</b>	40%	
4.2.3.8.2	Maximum <b>lot coverage - detached dwelling</b> more than one <b>storey</b>	35%	
4.2.3.8.3	Minimum <b>front yard</b>	7.5 m	
4.2.3.8.4	Minimum <b>interior side yard - interior lot</b>	1.5 m + 0.61 m for each additional <b>storey</b> or portion thereof above one <b>storey</b>	

4.2.3.9	Exception: R2-9	Map # 38W, 39E	By-law:
In a R2-9 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.9.1	Maximum <b>lot coverage - detached dwelling</b> not exceeding one <b>storey</b>	40%	
4.2.3.9.2	Maximum <b>lot coverage - detached dwelling</b> more than one <b>storey</b>	35%	
4.2.3.9.3	Minimum <b>interior side yard - interior lot</b>	1.5 m + 0.61 m for each additional <b>storey</b> or portion thereof above one <b>storey</b>	
4.2.3.9.4	Minimum number of <b>parking spaces per lot</b>	6	

4.2.3.10	Exception: R2-10	Map # 44W, 45E	By-law: 0308-2011
In a R2-10 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.10.1	Maximum <b>lot coverage</b>	25%	
4.2.3.10.2	A <b>flat roof</b> shall not be permitted		
4.2.3.10.3	Maximum <b>height - highest ridge: sloped roof</b>	9.5 m	
4.2.3.10.4	Maximum projection of the <b>garage</b> beyond any portion of the <b>front wall</b> or <b>exterior side wall</b> of the <b>first storey</b>	0.0 m	

4.2.3.11	Exception: R2-11	Map # 31	By-law: 0308-2011
In a R2-11 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.11.1	Maximum <b>lot coverage</b>	35%	
4.2.3.11.2	Minimum <b>front yard</b>	6.5 m	
4.2.3.11.3	Minimum <b>interior side yard</b>	1.5 m + 0.61 m for each additional <b>storey</b> or portion thereof above one (1) <b>storey</b>	
4.2.3.11.4	Minimum setback to the <b>rear lot line</b> where lands abut a G2-3 zone	30.0 m	
4.2.3.11.5	Notwithstanding Sentence 4.2.3.11.4, minimum setback of all <b>accessory buildings</b> and <b>structures</b> and <b>swimming pools</b> to the <b>rear lot line</b> where lands abut a G2-3 zone	15.0 m	

4.2.3.12	Exception: R2-12	Map # 31	By-law: 0325-2008
In a R2-12 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulation</b>			
4.2.3.12.1	Minimum setback of all <b>buildings</b> and <b>structures</b> and <b>swimming pools</b> to the <b>rear lot line</b> where lands abut a G1 zone	7.6 m	

4.2.3.13	Exception: R2-13	Map # 24	By-law:
In a R2-13 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.13.1	Minimum <b>front yard - interior lot</b>		7.5 m
4.2.3.13.2	Minimum <b>front yard - corner lot</b>		6.0 m
4.2.3.13.3	Minimum <b>exterior side yard</b>		6.0 m
4.2.3.13.4	Minimum <b>interior side yard</b>		1.2 m + 0.61 m for each additional <b>storey</b> or portion thereof above one (1) <b>storey</b>
4.2.3.13.5	Minimum <b>rear yard</b> where lands abut a PB1 zone		11.5 m
4.2.3.13.6	Minimum setback of a <b>swimming pool</b> to the <b>rear lot line</b> where lands abut a PB1 zone		5.5 m

4.2.3.14	Exception: R2-14	Map # 24	By-law:
In a R2-14 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.14.1	Minimum <b>lot area - interior lot</b>		665 m <sup>2</sup>
4.2.3.14.2	Minimum <b>front yard</b>		6.0 m
4.2.3.14.3	Minimum <b>interior side yard</b>		1.2 m + 0.61 m for each additional <b>storey</b> or portion thereof above one (1) <b>storey</b>

4.2.3.15	Exception: R2-15	Map # 31	By-law:
In a R2-15 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.15.1	Minimum <b>lot frontage - interior lot</b>		33.0 m
4.2.3.15.2	Minimum <b>front yard - interior lot</b>		7.5 m
4.2.3.15.3	Minimum <b>interior side yard - interior lot</b>		12.0 m on one side and 1.8 m + 0.61 m for each additional <b>storey</b> or portion thereof above one (1) <b>storey</b> on the other side
4.2.3.15.4	Minimum <b>rear yard - interior lot</b>		3.0 m
4.2.3.15.5	Every <b>lot</b> shall have a <b>circular driveway</b>		

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**Part 4 - Residential Zones**

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4.2.3.16	Exception: R2-16	Map # 38W	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
In a R2-16 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.16.1	Minimum <b>lot area</b>	620 m <sup>2</sup>	
4.2.3.16.2	Maximum <b>lot coverage</b>	40%	
4.2.3.16.3	Minimum <b>front yard</b>	4.5 m	
4.2.3.16.4	Minimum <b>interior side yard - interior lot</b>	1.5 m + 0.61 m for each additional <b>storey</b> or portion thereof above one <b>storey</b>	
4.2.3.16.5	Minimum setback of a <b>detached dwelling</b> to all lands zoned G2-3	15.0 m	
4.2.3.16.6	Minimum setback to <b>garage face</b>	6.0 m	

4.2.3.17	Exception: R2-17	Map # 38W	By-law:
In a R2-17 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.17.1	Maximum <b>lot coverage</b>	40%	
4.2.3.17.2	Minimum <b>interior side yard - interior lot</b>	1.5 m + 0.61 m for each additional <b>storey</b> or portion thereof above one <b>storey</b>	

4.2.3.18	Exception: R2-18	Map # 38W	By-law:
In a R2-18 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.18.1	Minimum <b>lot area - corner lot</b>	750 m <sup>2</sup>	
4.2.3.18.2	Minimum <b>lot frontage</b>	16.5 m	
4.2.3.18.3	Minimum setback of a <b>detached dwelling</b> to all lands zoned G2-3	15.0 m	

4.2.3.19	Exception: R2-19	Map # 24	By-law:
In a R2-19 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.19.1	Minimum <b>lot frontage - interior lot</b>	5.0 m	
4.2.3.19.2	Minimum setback of all <b>buildings</b> and <b>structures</b> and <b>swimming pools</b> to all lands zoned PB1	3.0 m	



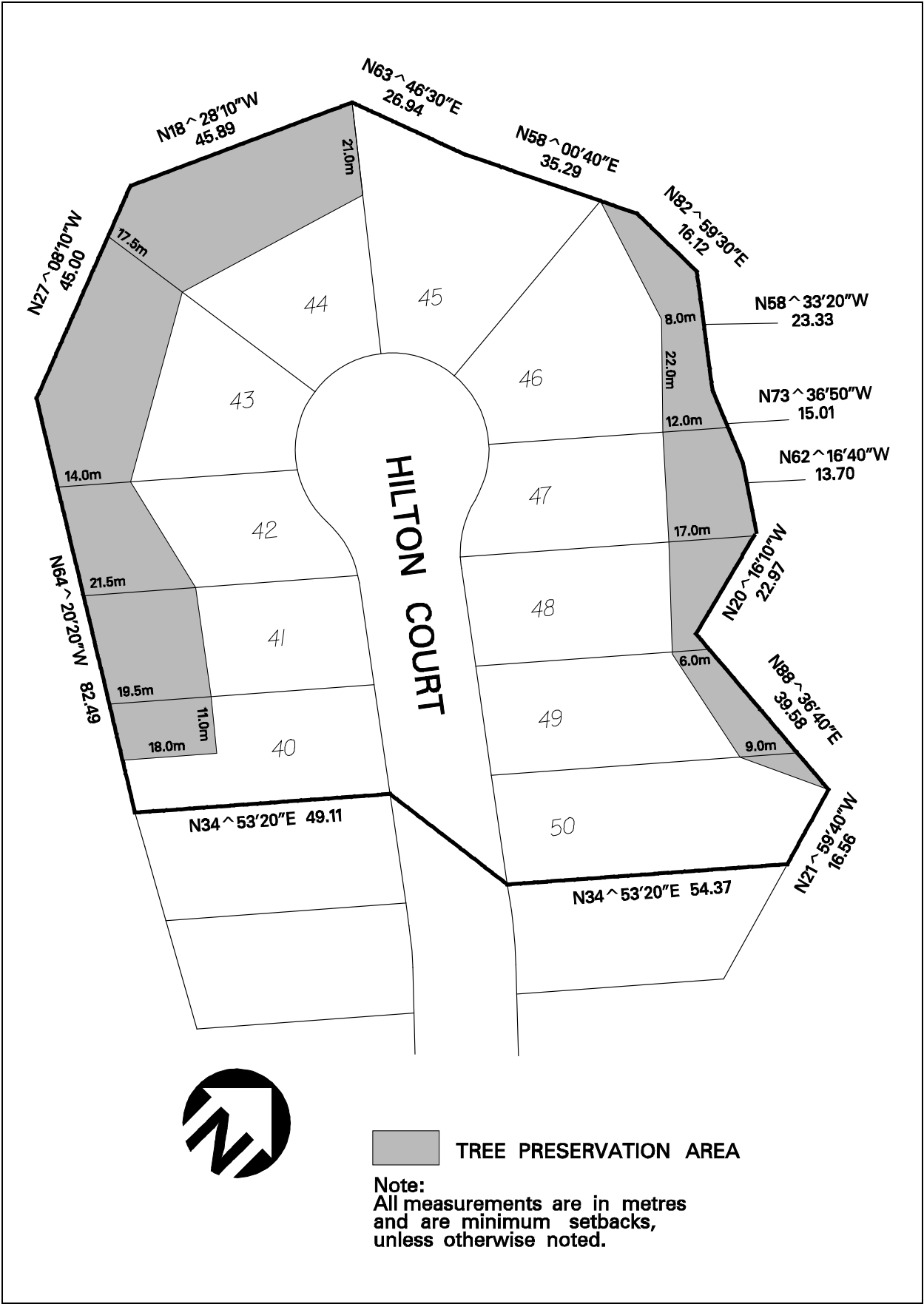
4.2.3.20	Exception: R2-20	Map # 45W	By-law:
In a R2-20 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.20.1	Minimum <b>front yard - interior lot</b>	7.5 m	
4.2.3.20.2	Minimum <b>interior side yard - interior lot</b>	1.5 m + 0.61 m for each additional <b>storey</b> or portion thereof above one (1) <b>storey</b>	
4.2.3.20.3	Minimum setback of all <b>buildings</b> and <b>structures</b> and <b>swimming pools</b> to all lands zoned G1	15.0 m	

4.2.3.21	Exception: R2-21	Map # 45W	By-law:
In a R2-21 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.21.1	Minimum <b>front yard</b>	6.5 m	
4.2.3.21.2	Minimum <b>interior side yard - interior lot</b>	1.2 m + 0.61 m for each additional <b>storey</b> or portion thereof above one (1) <b>storey</b>	
4.2.3.21.3	Minimum setback of a <b>detached dwelling</b> to all lands zoned G2-3	15.0 m	
4.2.3.21.4	Minimum setback of a <b>detached dwelling</b> to all lands zoned G1	17.5 m	

4.2.3.22	Exception: R2-22	Map # 17	By-law:
In a R2-22 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.22.1	Maximum <b>lot coverage</b>	35%	
4.2.3.22.2	Minimum <b>front yard - interior lot</b>	7.5 m	
4.2.3.22.3	Minimum <b>front yard - corner lot</b>	6.0 m	
4.2.3.22.4	Minimum <b>exterior side yard</b>	6.0 m	
4.2.3.22.5	Minimum <b>interior side yard</b>	1.2 m + 0.61 m for each additional <b>storey</b> or portion thereof above one (1) <b>storey</b>	

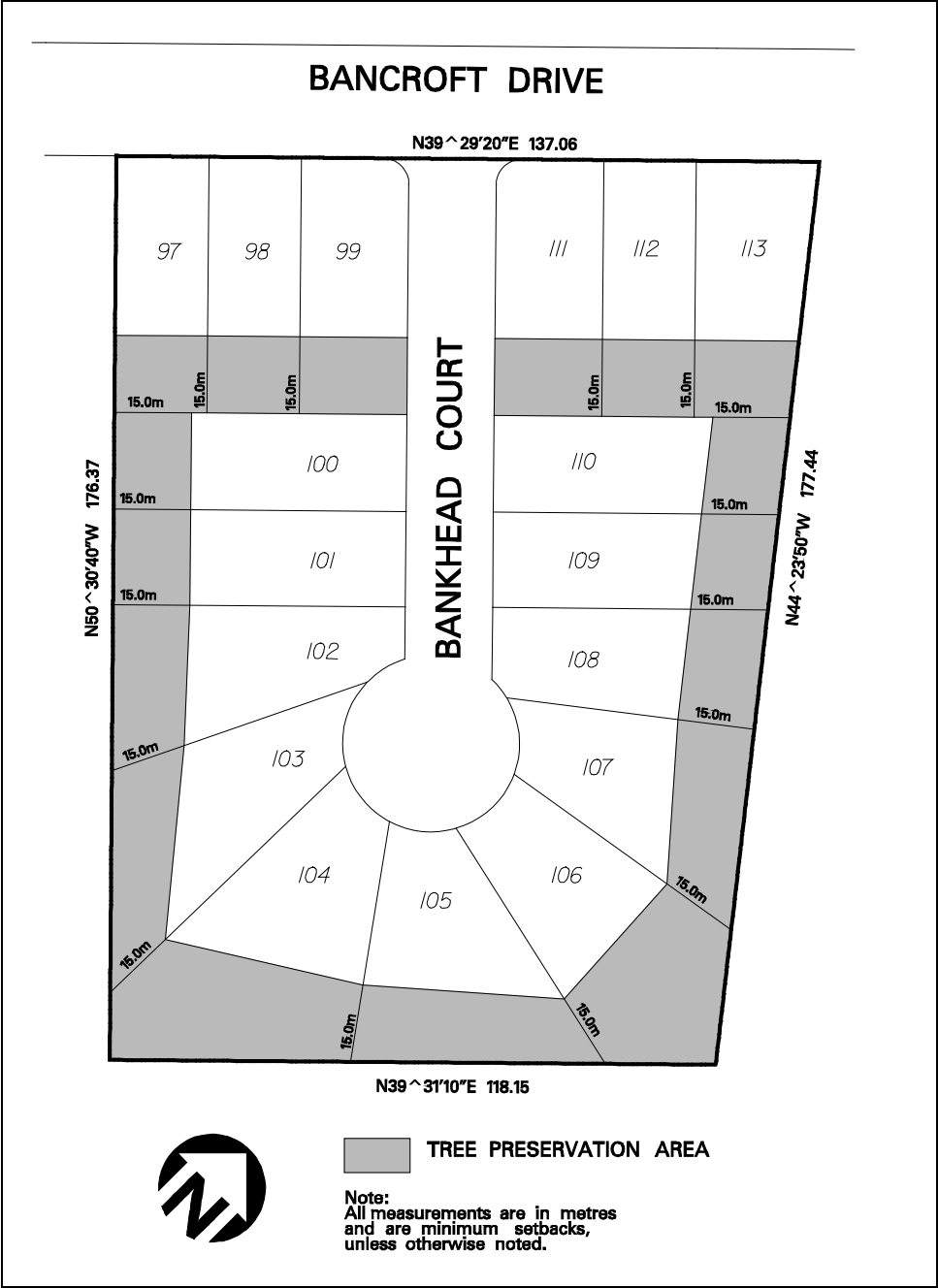
4.2.3.23	Exception: R2-23	Map # 24	By-law:
In a R2-23 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.23.1	Minimum <b>lot area - corner lot</b>	700 m <sup>2</sup>	
4.2.3.23.2	Minimum <b>lot frontage - corner lot</b>	20.0 m	
4.2.3.23.3	Minimum <b>front yard</b>	7.5 m	
4.2.3.23.4	Minimum setback of all <b>accessory buildings</b> and <b>structures</b> and <b>swimming pools</b> to all lands zoned PB1	3.0 m	

4.2.3.24	Exception: R2-24	Map # 39E	By-law:
In a R2-24 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.24.1	Maximum <b>lot coverage - detached dwelling</b> not exceeding one (1) <b>storey</b>	40%	
4.2.3.24.2	Maximum <b>lot coverage - detached dwelling</b> more than one (1) <b>storey</b>	35%	
4.2.3.24.3	Minimum <b>front yard</b>	7.5 m	
4.2.3.24.4	Minimum <b>interior side yard - interior lot</b>	1.5 m + 0.61 m for each additional <b>storey</b> or portion thereof above one (1) <b>storey</b>	
4.2.3.24.5	The areas identified on Schedule R2-24 of this Exception as a tree preservation area, shall only be used for conservation purposes, and no <b>buildings</b> or <b>structures, swimming pools</b> , tennis courts or any like recreational facilities, except for fences along the <b>lot lines</b> , shall be permitted		
4.2.3.24.6	Minimum <b>interior side yard - interior lot</b> that includes and/or abuts a tree preservation area, measured from the limit of the tree preservation area	3.0 m	
4.2.3.24.7	Minimum <b>rear yard - lot</b> that includes a tree preservation area, measured from the limit of the tree preservation area and not from the <b>rear lot line</b>	7.5 m	



Schedule R2-24  
Map 39E

4.2.3.25	Exception: R2-25	Map # 45E	By-law:
In a R2-25 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.25.1	Minimum <b>lot area - interior lot</b>		900 m <sup>2</sup>
4.2.3.25.2	Minimum <b>lot area - corner lot</b>		1 040 m <sup>2</sup>
4.2.3.25.3	Minimum <b>front yard</b>		7.5 m
4.2.3.25.4	The areas identified on Schedule R2-25 of this Exception as a tree preservation area, shall only be used for conservation purposes, and no <b>buildings</b> or <b>structures</b> , <b>swimming pools</b> , tennis courts or any like recreational facilities, except for fences along the <b>lot lines</b> , shall be permitted		
4.2.3.25.5	Minimum <b>interior side yard - interior lot</b> that includes and/or abuts a tree preservation area, measured from the limit of the tree preservation area		3.0 m
4.2.3.25.6	Minimum <b>rear yard - lot</b> that includes a tree preservation area, measured from the limit of the tree preservation area and not from the <b>rear lot line</b>		7.5 m



Schedule R2-25  
Map 45E

4.2.3.26	Exception: R2-26	Map # 45E	By-law:
In a R2-26 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.26.1	Minimum <b>front yard</b>	7.5 m	
4.2.3.26.2	Minimum setback of a dwelling to all lands zoned G2-4(9)	15.0 m	
4.2.3.26.3	Minimum setback of all <b>accessory buildings</b> and <b>structures</b> and <b>swimming pools</b> to all lands zoned G1	9.0 m	

4.2.3.27	Exception: R2-27	Map # 45E	By-law:
In a R2-27 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.27.1	Minimum <b>front yard</b>	7.5 m	
4.2.3.27.2	Minimum setback of a dwelling to all lands zoned G2-3	15.0 m	
4.2.3.27.3	Minimum setback of all <b>accessory buildings</b> and <b>structures</b> and <b>swimming pools</b> to all lands zoned G1	15.0 m	

4.2.3.28	Exception: R2-28	Map # 24	By-law:
In a R2-28 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.28.1	Minimum <b>front yard</b>	7.5 m	
4.2.3.28.2	Minimum <b>exterior side yard</b>	6.0 m	
4.2.3.28.3	Minimum setback to Mississauga Road	7.5 m	
4.2.3.28.4	Minimum <b>rear yard</b> where lands abut a G2-1 zone	8.5 m	

4.2.3.29	Exception: R2-29	Map # 08, 09	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15
In a R2-29 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.29.1	Minimum <b>lot area - interior lot</b>	600 m <sup>2</sup>	
4.2.3.29.2	Minimum <b>lot area - corner lot</b>	700 m <sup>2</sup>	
4.2.3.29.3	Minimum <b>lot frontage - interior lot</b>	18.0 m	
4.2.3.29.4	Minimum <b>lot frontage - corner lot</b>	21.0 m	
4.2.3.29.5	Maximum <b>lot coverage</b> , excluding the area of a <b>porch</b> or <b>balcony</b> , or <b>breezeway</b>	35%	
4.2.3.29.6	Maximum <b>gross floor area - residential</b>	190 m <sup>2</sup> plus 0.33 times the <b>lot area</b>	
4.2.3.29.7	Minimum <b>front yard</b>	6.0 m	
4.2.3.29.8	Minimum <b>exterior side yard</b>	4.5 m	
4.2.3.29.9	Minimum <b>interior side yard</b>	1.8 m	
4.2.3.29.10	Minimum <b>rear yard</b>	7.5 m	
4.2.3.29.11	Minimum setback to a <b>sight triangle</b>	1.5 m	
4.2.3.29.12	Maximum <b>height - highest ridge: sloped roof</b>	9.5 m	
4.2.3.29.13	Maximum <b>height: flat roof</b>	7.5 m	
4.2.3.29.14	Maximum height of eaves: from <b>average grade</b> to lower edge of the eaves	6.4 m	
4.2.3.29.15	Maximum encroachment of a <b>porch</b> or <b>balcony</b> into the required <b>exterior side yard</b>	2.0 m	
4.2.3.29.16	Maximum encroachment of window projections and architectural elements, with or without a foundation, such as, but not limited to, <b>chimneys</b> , media niches, pilasters and corbels:		
	(1) into the required <b>front, rear</b> or <b>exterior side yard</b>	1.0 m	
	(2) into the required <b>interior side yard</b>	0.6 m	
4.2.3.29.17	Minimum setback to a <b>garage face</b>	6.0 m	
4.2.3.29.18	Maximum encroachment of a side wall of a <b>garage</b> into the required <b>front yard</b>	1.5 m	
4.2.3.29.19	Maximum projection of a <b>garage face</b> beyond any portion of the first floor <b>front wall</b> or <b>exterior side wall</b> of a <b>detached dwelling</b>	0.0 m	
4.2.3.29.20	Maximum projection of a <b>garage face</b> beyond any portion of the first floor <b>front wall</b> or <b>exterior side wall</b> of a <b>detached dwelling</b> , where a <b>main entry feature</b> is provided	2.5 m	
4.2.3.29.21	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	8.0 m	

Exception R2-29 continued on next page

4.2.3.29	Exception: R2-29	Map # 08, 09	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15
<b>Exception R2-29 continued from previous page</b>			
4.2.3.29.22	A detached <b>garage</b> shall only be permitted in a <b>rear yard</b> on <b>lots</b> with a minimum frontage of 19.5 m which do not abut lands zoned G2-2, subject to the following:		
(1)	minimum <b>interior side yard</b> on the side of the <b>detached dwelling</b> where the <b>driveway</b> is located	3.0 m	
(2)	minimum <b>interior side yard</b> on the side of the <b>detached dwelling</b> where the mutual <b>driveway</b> is located, where garages on two adjoining <b>lots</b> are located in their respective <b>rear yards</b> and accessed by a mutual <b>driveway</b> crossing the <b>front lot line</b>	2.4 m	
(3)	the <b>garage</b> may be attached to the <b>detached dwelling</b> by a <b>breezeway</b> which shall not be considered a component of the dwelling for the purposes of determining <b>building</b> setbacks		
(4)	minimum <b>exterior side yard</b>	3.0 m	
(5)	maximum <b>garage</b> width: measured from the inside face of each of the <b>garage</b> walls	8.5 m	
(6)	maximum <b>garage</b> depth: measured from the <b>garage face</b> to the inside face of the rear <b>garage</b> wall	7.5 m	
(7)	minimum slope of a <b>garage</b> roof shall have a ratio of the vertical rise to the horizontal run of at least one in three		
(8)	maximum <b>garage height - highest ridge: sloped roof</b> - excluding skylights, cupolas, or other ornamental features	6.6 m	
(9)	maximum height of eaves: from <b>established grade</b> to lower edge of the eaves	4.5 m	
(10)	maximum <b>floor area</b>	113 m <sup>2</sup>	
4.2.3.29.23	Minimum setback of all <b>buildings</b> and <b>structures, decks</b> and <b>swimming pools</b> to a G1 zone	3.0 m	

4.2.3.30	Exception: R2-30	Map # 08, 09	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15
In a R2-30 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.30.1	Minimum <b>lot area - interior lot</b>	830 m <sup>2</sup>	
4.2.3.30.2	Minimum <b>lot area - corner lot</b>	930 m <sup>2</sup>	
4.2.3.30.3	Minimum <b>lot frontage - interior lot</b>	22.5 m	
4.2.3.30.4	Minimum <b>lot frontage - corner lot</b>	25.0 m	
4.2.3.30.5	Maximum <b>lot coverage</b> excluding the area of a <b>porch</b> or <b>balcony</b> , or <b>breezeway</b>	35%	
4.2.3.30.6	Maximum <b>gross floor area - residential</b>	190 m <sup>2</sup> plus 0.33 times the <b>lot area</b>	
4.2.3.30.7	Minimum <b>front yard</b>	6.0 m	
4.2.3.30.8	Minimum <b>exterior side yard</b>	4.5 m	
4.2.3.30.9	Minimum <b>interior side yard</b>	2.1 m	
4.2.3.30.10	Minimum <b>rear yard</b>	7.5 m	
4.2.3.30.11	Minimum setback to a <b>sight triangle</b>	1.5 m	
4.2.3.30.12	Maximum <b>height - highest ridge</b> on <b>lots</b> which abut or contain a G1 or G2-2 zone: <b>sloped roof</b>	10.8 m	
4.2.3.30.13	Maximum <b>height - highest ridge</b> on all other <b>lots</b> : <b>sloped roof</b>	9.5 m	
4.2.3.30.14	Maximum <b>height</b> : <b>flat roof</b>	7.5 m	
4.2.3.30.15	Maximum height of eaves on <b>lots</b> which abut or contain a G1 or G2-2 zone: from <b>average grade</b> to lower edge of the eaves	7.7 m	
4.2.3.30.16	Maximum height of eaves on all other <b>lots</b> : from <b>average grade</b> to lower edge of the eaves	6.4 m	
4.2.3.30.17	Maximum encroachment of a <b>porch</b> or <b>balcony</b> into the required <b>exterior side yard</b>	2.0 m	
4.2.3.30.18	Maximum encroachment of window projections and architectural elements, with or without a foundation, such as, but not limited to, <b>chimneys</b> , media niches, pilasters and corbels:		
	(1) into the required <b>front, rear</b> or <b>exterior side yard</b>	1.0 m	
	(2) into the required <b>interior side yard</b>	0.6 m	
4.2.3.30.19	Minimum setback of a <b>garage face</b> to the <b>street line</b>	6.0 m	
4.2.3.30.20	Maximum encroachment of a side wall of a <b>garage</b> into the required <b>front yard</b>	1.5 m	
4.2.3.30.21	Maximum projection of a <b>garage face</b> beyond any portion of the first floor <b>front wall</b> or <b>exterior side wall</b> of a <b>detached dwelling</b>	0.0 m	
4.2.3.30.22	Maximum setback of the first floor <b>front wall</b> or <b>exterior side wall</b> of a <b>detached dwelling</b> from the <b>garage face</b> , where a <b>main entry feature</b> is provided	2.5 m	
4.2.3.30.23	Maximum <b>garage</b> width: from the inside face of the <b>garage</b> side walls	8.0 m	

Exception R2-30 continued on next page

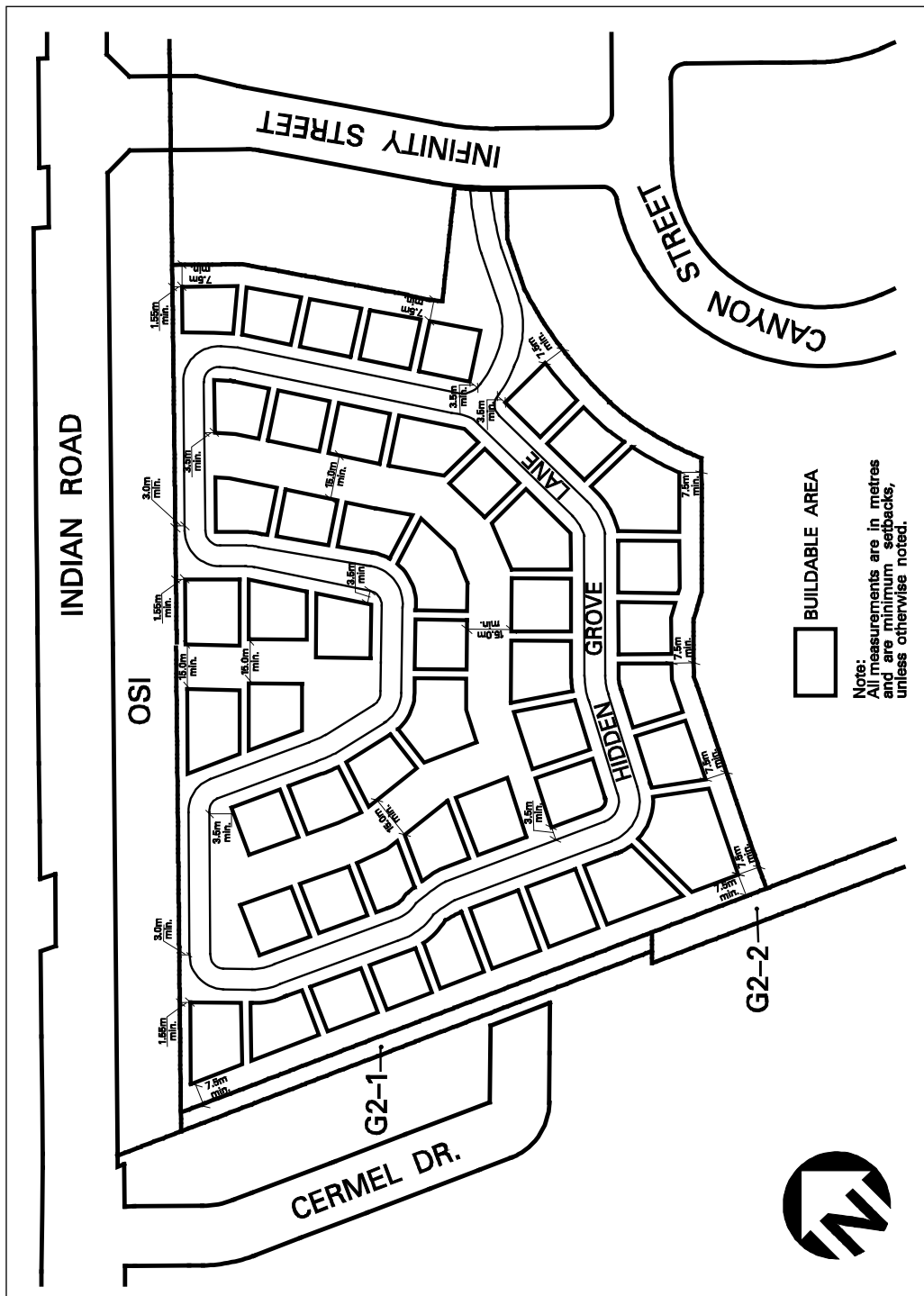


4.2.3.30	Exception: R2-30	Map # 08, 09	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15
<b>Exception R2-30 continued from previous page</b>			
4.2.3.30.24	A detached <b>garage</b> shall only be permitted in a <b>rear yard</b> on <b>lots</b> which do not abut lands zoned G2-2, subject to the following:		
(1)	minimum <b>interior side yard</b> on the side of the <b>detached dwelling</b> where the <b>driveway</b> is located	3.0 m	
(2)	minimum <b>interior side yard</b> on the side of the <b>detached dwelling</b> where the mutual <b>driveway</b> is located, where <b>garages</b> on two adjoining <b>lots</b> are located in their respective <b>rear yards</b> and accessed by a mutual <b>driveway</b> crossing the <b>front lot line</b>	2.4 m	
(3)	the <b>garage</b> may be attached to the <b>detached dwelling</b> by a <b>breezeway</b> which shall not be considered a component of the dwelling for the purposes of determining <b>building setbacks</b>		
(4)	minimum <b>exterior side yard</b>	3.0 m	
(5)	maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	11.0 m	
(6)	maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls, may be increased to 13.2 m, if the <b>garage</b> width in excess of 11.0 m is set back a minimum of 3.0 m from the <b>garage face</b>		
(7)	maximum <b>garage</b> depth: measured from the <b>garage face</b> to the inside face of the rear <b>garage</b> wall	7.5 m	
(8)	minimum slope of a <b>garage</b> roof shall have a ratio of the vertical rise to the horizontal run of at least one in three		
(9)	maximum <b>height - highest ridge:</b> <b>sloped roof</b> - excluding skylights, cupolas, or other ornamental features	6.6 m	
(10)	maximum height of eaves: from <b>established grade</b> to lower edge of the eaves	4.5 m	
(11)	maximum gross <b>floor area</b>	113 m <sup>2</sup>	
4.2.3.30.25	Minimum setback of all <b>buildings</b> or <b>structures, decks</b> and <b>swimming pools</b> to a G2 zone	3.0 m	

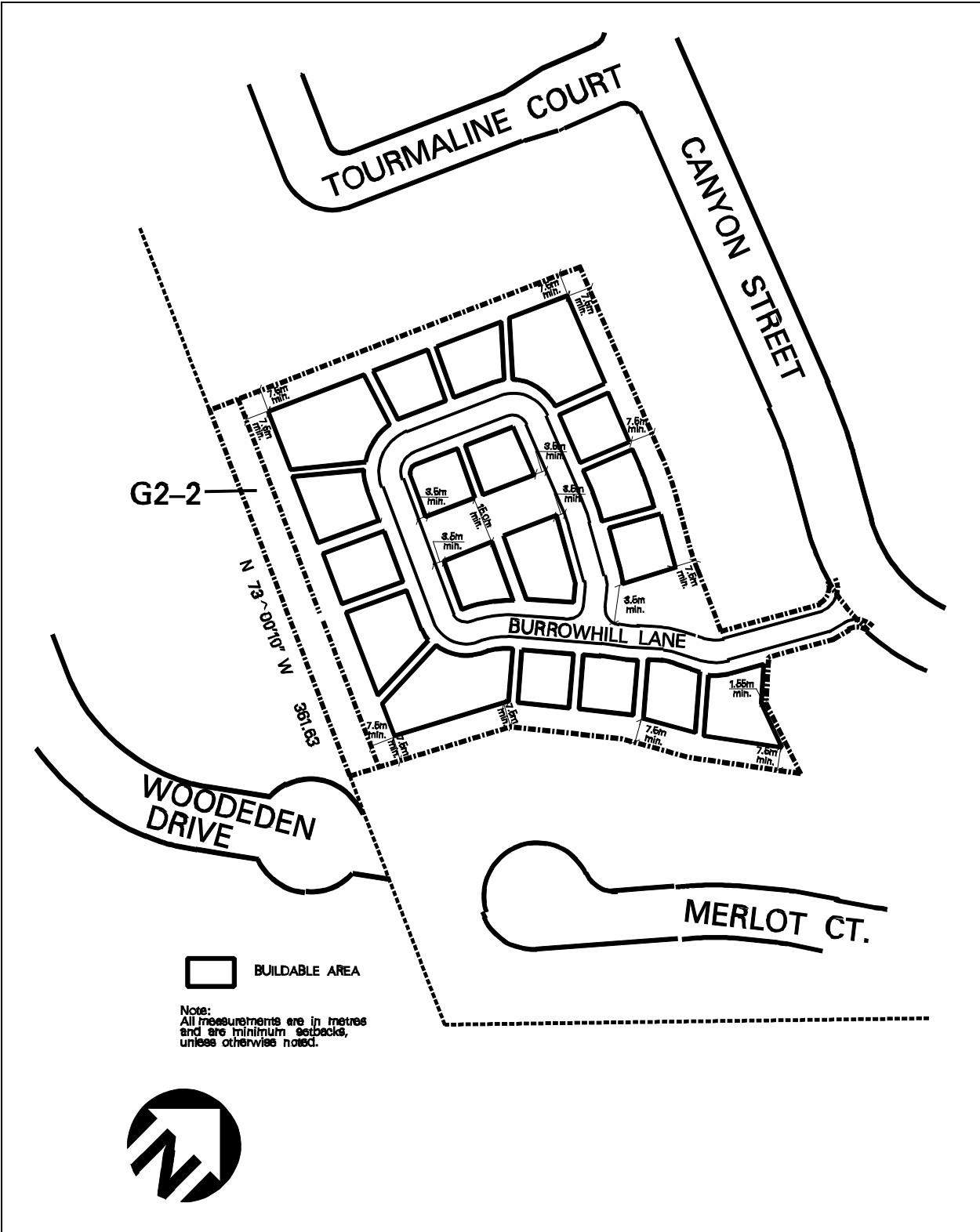
4.2.3.31	Exception: R2-31(1) and R2-31(2)	Map # 08, 09	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15
In a R2-31(1) and R2-31(2) zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.31.1	Maximum number of <b>dwelling units</b> on all lands zoned R2-31(1) and R2-31(2)	69	
4.2.3.31.2	Maximum <b>gross floor area - residential</b> per <b>detached dwelling</b>	400 m <sup>2</sup>	
4.2.3.31.3	Maximum <b>gross floor area - residential</b> , permitted on the second floor of a <b>detached dwelling</b>	60.3 m <sup>2</sup>	
4.2.3.31.4	Minimum setback to a <b>condominium road</b>	4.5 m	
4.2.3.31.5	Minimum <b>detached dwelling</b> separation	3.1 m	
4.2.3.31.6	Maximum <b>height - highest ridge</b> on <b>lots</b> which abut or contain a G2-1 or G2-2 zone: <b>sloped roof</b>	10.3 m	
4.2.3.31.7	Maximum <b>height - highest ridge</b> on all other <b>lots</b> : <b>sloped roof</b>	9.0 m	
4.2.3.31.8	Maximum <b>height</b> : <b>flat roof</b>	7.5 m	
4.2.3.31.9	Maximum height of eaves on <b>lots</b> which abut or contain a G2-1 or G2-2 zone: from <b>established grade</b> to lower edge of the eaves	5.8 m	
4.2.3.31.10	Maximum height of eaves on all other <b>lots</b> : from <b>established grade</b> to lower edge of the lowest eave	4.5 m	
4.2.3.31.11	<b>Height</b> of all <b>buildings</b> and <b>structures</b> shall be measured from <b>established grade</b>		
4.2.3.31.12	Maximum projection of a <b>porch</b> or <b>balcony</b> :		
	(1) outside of the buildable area identified on Schedules R2-31(1) and R2-31(2) of this Exception abutting a <b>front wall</b> of a <b>detached dwelling</b> , which includes a <b>garage face</b>	0.3 m	
	(2) outside of the buildable area identified on Schedules R2-31(1) and R2-31(2) of this Exception abutting a side wall of a <b>detached dwelling</b> not containing a <b>garage face</b> , which faces a <b>condominium road</b>	2.0 m	
4.2.3.31.13	Maximum projection of window and architectural elements, with or without a foundation, such as, but not limited to, <b>chimneys</b> , media niches, pilasters and corbels:		
	(1) outside of the buildable area identified on Schedules R2-31(1) and R2-31(2) of this Exception abutting a side wall of a <b>detached dwelling</b>	0.6 m	
	(2) outside of the buildable area identified on Schedules R2-31(1) and R2-31(2) of this Exception abutting a <b>front wall</b> of a <b>detached dwelling</b> , which includes a <b>garage face</b>	1.0 m	
	(3) outside of the buildable area identified on Schedules R2-31(1) and R2-31(2) of this Exception abutting a side wall of a <b>detached dwelling</b> not containing a <b>garage face</b> , which faces a <b>condominium road</b>	1.0 m	
	(4) outside of the buildable area identified on Schedules R2-31(1) and R2-31(2) of this Exception abutting a rear wall of a <b>detached dwelling</b>	1.0 m	

Exception R2-31(1) and R2-31(2) continued on next page

4.2.3.31	Exception: R2-31(1) and R2-31(2)	Map # 08, 09	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15
<b>Exception R2-31(1) and R2-31(2) continued from previous page</b>			
4.2.3.31.14	A detached <b>garage</b> shall not be permitted		
4.2.3.31.15	Minimum setback to <b>garage face</b> from a <b>condominium road</b>	5.5 m	
4.2.3.31.16	Maximum projection of a <b>garage face</b> beyond any portion of the first floor <b>front wall</b> or <b>exterior side wall</b> of a <b>detached dwelling</b>	0.0 m	
4.2.3.31.17	Maximum setback of the first floor <b>front wall</b> or <b>exterior side wall</b> of a <b>detached dwelling</b> from the <b>garage face</b> , where a <b>main entry feature</b> is provided	2.5 m	
4.2.3.31.18	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	8.0 m	
4.2.3.31.19	All site development plans shall comply with Schedules R2-31(1) and R2-31(2) of this Exception		

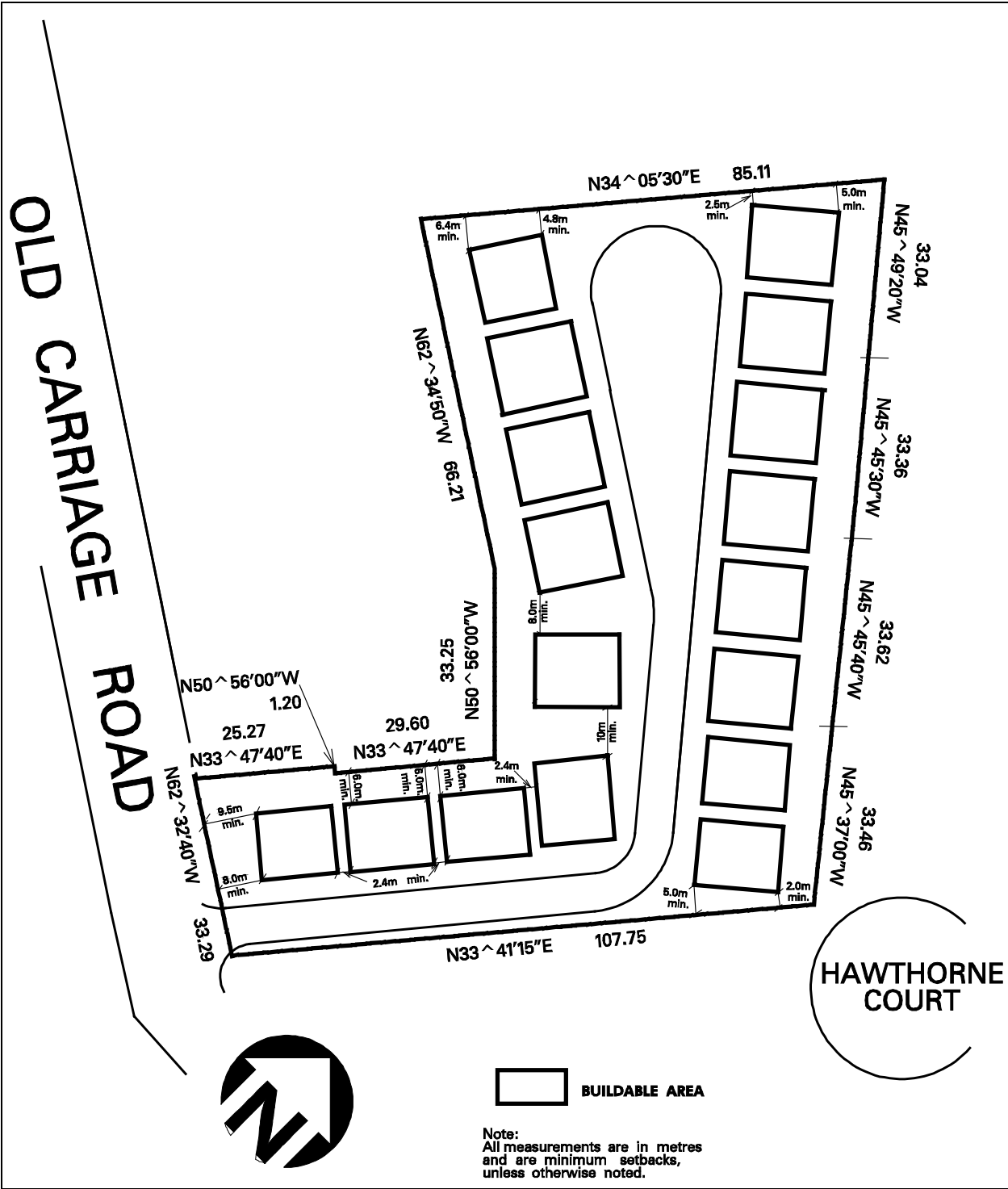


**Schedule R2-31(1)**  
Maps 08 and 09



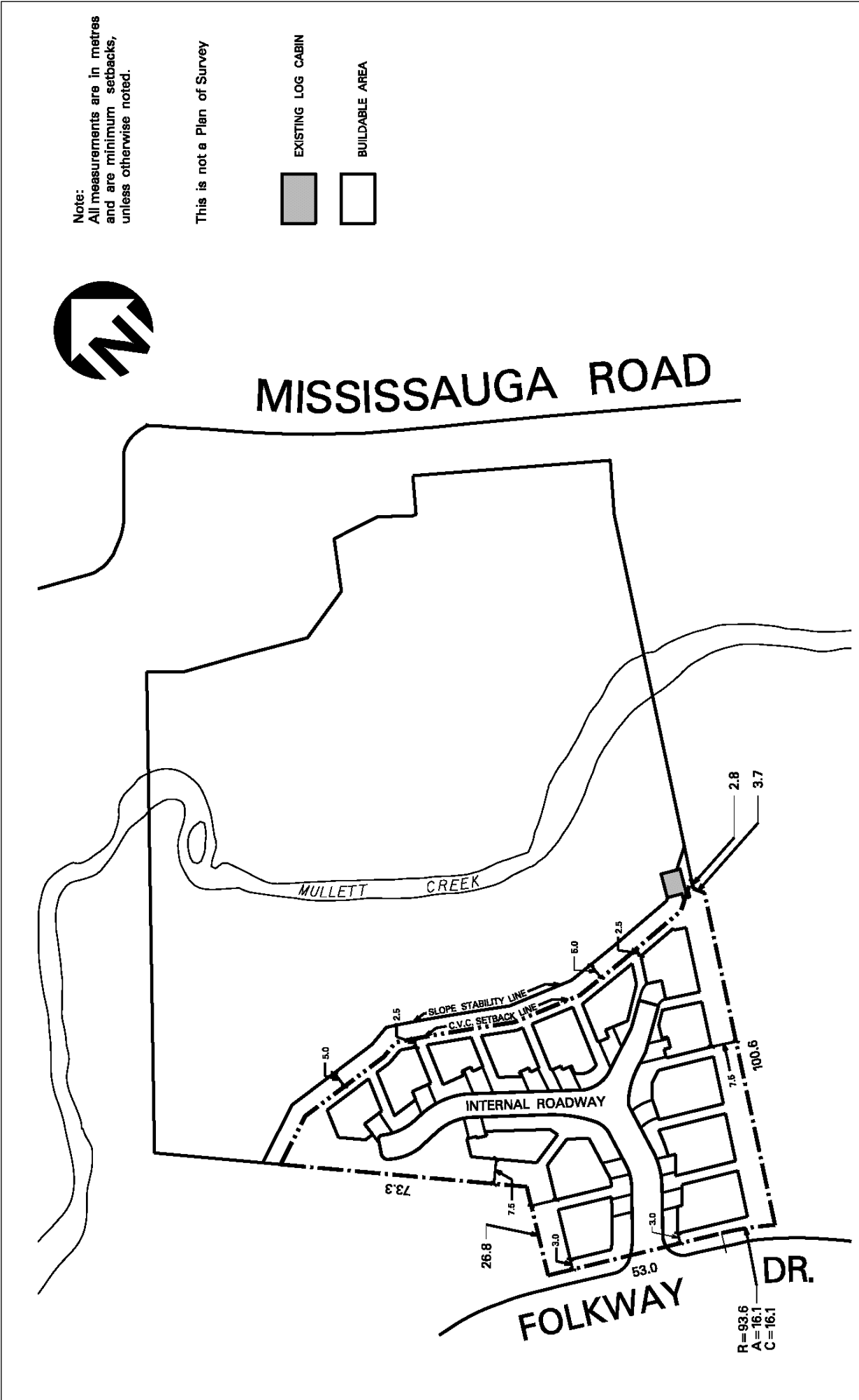
Schedule R2-31(2)  
Map 09

4.2.3.32	Exception: R2-32	Map # 16	By-law: 0181-2018/LPAT Order 2019 February 15
In a R2-32 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.32.1	Maximum number of <b>dwelling units</b> on all lands zoned R2-32	17	
4.2.3.32.2	Maximum <b>gross floor area - residential</b> per <b>detached dwelling</b>	275 m <sup>2</sup>	
4.2.3.32.3	Maximum <b>gross floor area - residential</b> , permitted on the second <b>storey</b> of a <b>detached dwelling</b>	75 m <sup>2</sup>	
4.2.3.32.4	Minimum setback to a <b>condominium road</b>	4.5 m	
4.2.3.32.5	Minimum setback to any <b>lot line</b>	7.5 m	
4.2.3.32.6	Minimum <b>detached dwelling</b> separation	3.0 m	
4.2.3.32.7	Maximum <b>height - highest ridge: sloped roof</b>	8.0 m	
4.3.2.32.8	Maximum <b>height: flat roof</b>	4.5 m	
4.3.2.32.9	<b>Height</b> of all <b>buildings</b> and <b>structures</b> shall be measured from <b>established grade</b>		
4.3.2.32.10	Maximum projection of a <b>porch</b> outside of the buildable area identified on Schedule R2-32 of this Exception	2.0 m	
4.3.2.32.11	Maximum projection of a <b>deck</b> , outside of the buildable area identified on Schedule R2-32 of this Exception, abutting the rear wall of a <b>detached dwelling</b>	3.8 m	
4.3.2.32.12	Maximum projection of window and architectural elements, with or without a foundation, such as, but not limited to, <b>chimneys</b> , pilasters, corbels, and awnings outside of the buildable area identified on Schedule R2-32 of this Exception	0.6 m	
4.3.2.32.13	Minimum setback to <b>garage face</b> from a <b>condominium road</b>	6.0 m	
4.3.2.32.14	Minimum number of <b>parking spaces</b> per <b>dwelling unit</b>	4	
4.3.2.32.15	All site development plans shall comply with Schedule R2-32 of this Exception		



Schedule R2-32  
Map 16

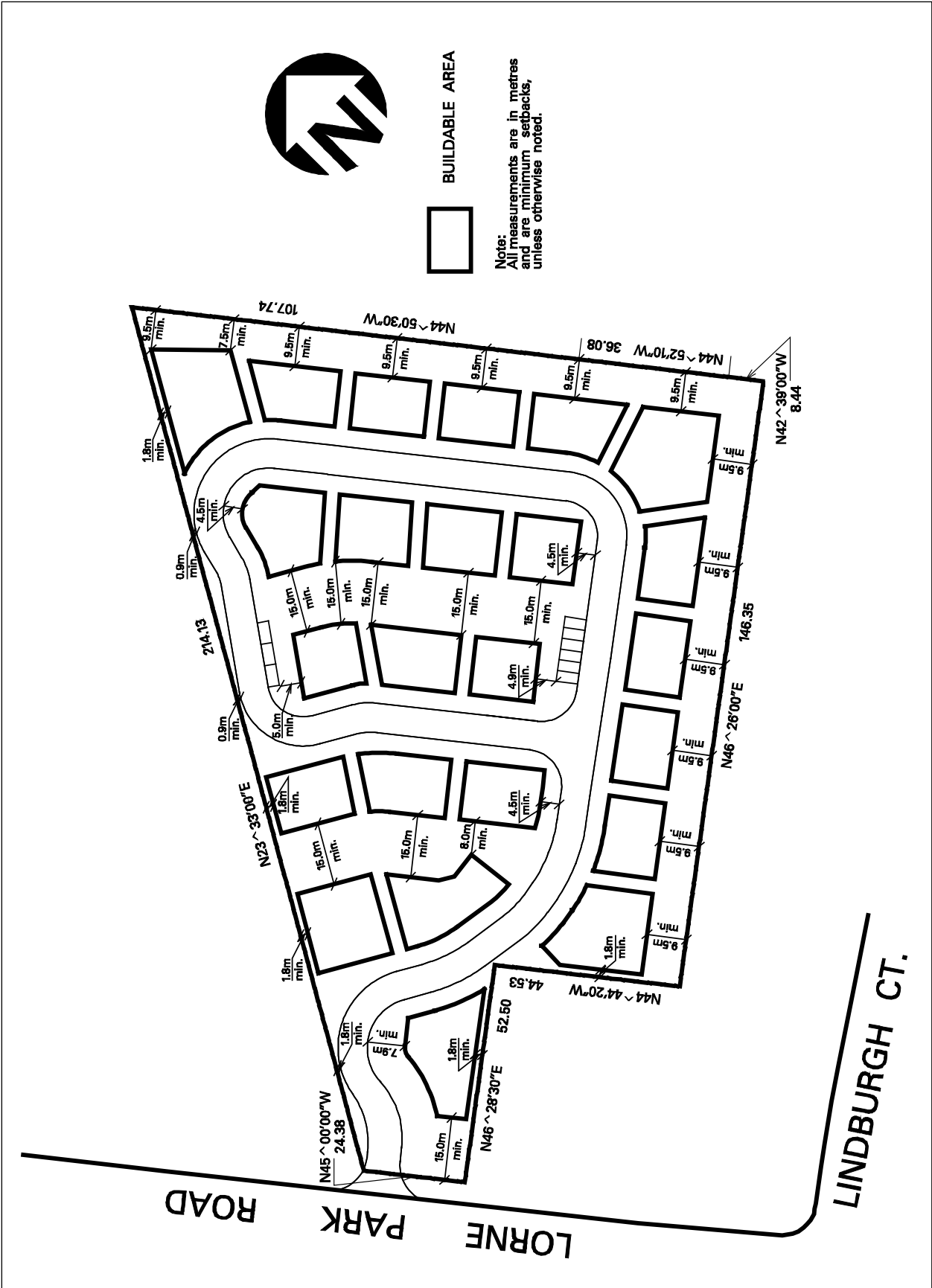
4.2.3.33	Exception: R2-33	Map # 31	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a R2-33 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.33.1	Maximum number of <b>dwelling units</b> on all lands zoned R2-33	14	
4.2.3.33.2	Maximum coverage of a <b>detached dwelling</b> within each buildable area identified on Schedule R2-33 of this Exception	288 m <sup>2</sup>	
4.2.3.33.3	Maximum <b>gross floor area - residential</b> per <b>detached dwelling</b>	372 m <sup>2</sup>	
4.2.3.33.4	Minimum setback to a <b>condominium road</b>	4.5 m	
4.2.3.33.5	Minimum <b>detached dwelling</b> separation	3.0 m	
4.2.3.33.6	Minimum setback between a <b>detached dwelling</b> and the CVC Setback Line identified on Schedule R2-33 of this Exception	2.5 m	
4.2.3.33.7	Minimum setback between a <b>detached dwelling</b> and the Slope Stability Line identified on Schedule R2-33 of this Exception	7.5 m	
4.2.3.33.8	Minimum setback from a <b>garage face</b> to a <b>condominium road</b>	6.0 m	
4.2.3.33.9	Maximum <b>height - highest ridge: sloped roof</b>	9.5 m	
4.2.3.33.10	<b>Height</b> of all <b>buildings</b> and <b>structures</b> shall be measured from <b>established grade</b>		
4.2.3.33.11	Minimum number of <b>parking spaces</b> per <b>dwelling unit</b>	4	
4.2.3.33.12	Minimum number of visitor <b>parking spaces</b>	10	
4.2.3.33.13	Maximum <b>driveway</b> width	8.5 m	
4.2.3.33.14	All site development plans shall comply with Schedule R2-33 of this Exception		
<b>Holding Provision</b>			
<p>The holding symbol H is to be removed from the whole or any part of the lands zoned H-R2-33 by further amendment to Map 31 of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements:</p> <ol style="list-style-type: none"> <li>(1) arrangements being made to the satisfaction of the City of Mississauga Planning and Building Department for additional visitor parking on the west block of lands abutting Folkway Drive;</li> <li>(2) arrangements being made to the satisfaction of the City of Mississauga Planning and Building Department and the Community Services Department for a pathway in the Mullett Creek watershed to allow for pedestrian linkage to the north and south of the site with the applicant to bear the responsibility for construction, including all associated costs thereof;</li> <li>(3) that the applicant has fulfilled all other requirements of the City, including the lease agreement, and requirements of any other official agency concerned with the development.</li> </ol>			



Schedule R2-33  
Map 31



4.2.3.34	Exception: R2-34	Map # 09	By-law: 0181-2018/LPAT Order 2019 February 15
In a R2-34 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.34.1	Maximum number of <b>dwelling units</b> on all lands zoned R2-34	24	
4.2.3.34.2	Maximum coverage of a <b>detached dwelling</b> within each buildable area identified on Schedule R2-34 of this Exception	195 m <sup>2</sup>	
4.2.3.34.3	Maximum <b>gross floor area - residential</b> per <b>detached dwelling</b>	260 m <sup>2</sup>	
4.2.3.34.4	Maximum <b>gross floor area - residential</b> , permitted on the second <b>storey</b> of a <b>detached dwelling</b>	65 m <sup>2</sup>	
4.2.3.34.5	Minimum setback to a <b>condominium road</b>	4.5 m	
4.2.3.34.6	Minimum <b>detached dwelling</b> separation	3.6 m	
4.2.3.34.7	Minimum setback from a <b>garage face</b> to a <b>condominium road</b>	6.0 m	
4.2.3.34.8	Maximum <b>height - highest ridge: sloped roof</b>	7.5 m	
4.2.3.34.9	<b>Height</b> of all <b>buildings</b> and <b>structures</b> shall be measured from <b>established grade</b>		
4.2.3.34.10	Minimum number of <b>parking spaces</b> per <b>dwelling unit</b>	4	
4.2.3.34.11	Maximum <b>driveway</b> width	8.5 m	
4.2.3.34.12	Minimum number of visitor <b>parking spaces</b>	9	
4.2.3.34.13	All site development plans shall comply with Schedule R2-34 of this Exception		



Schedule R2-34  
Map 09

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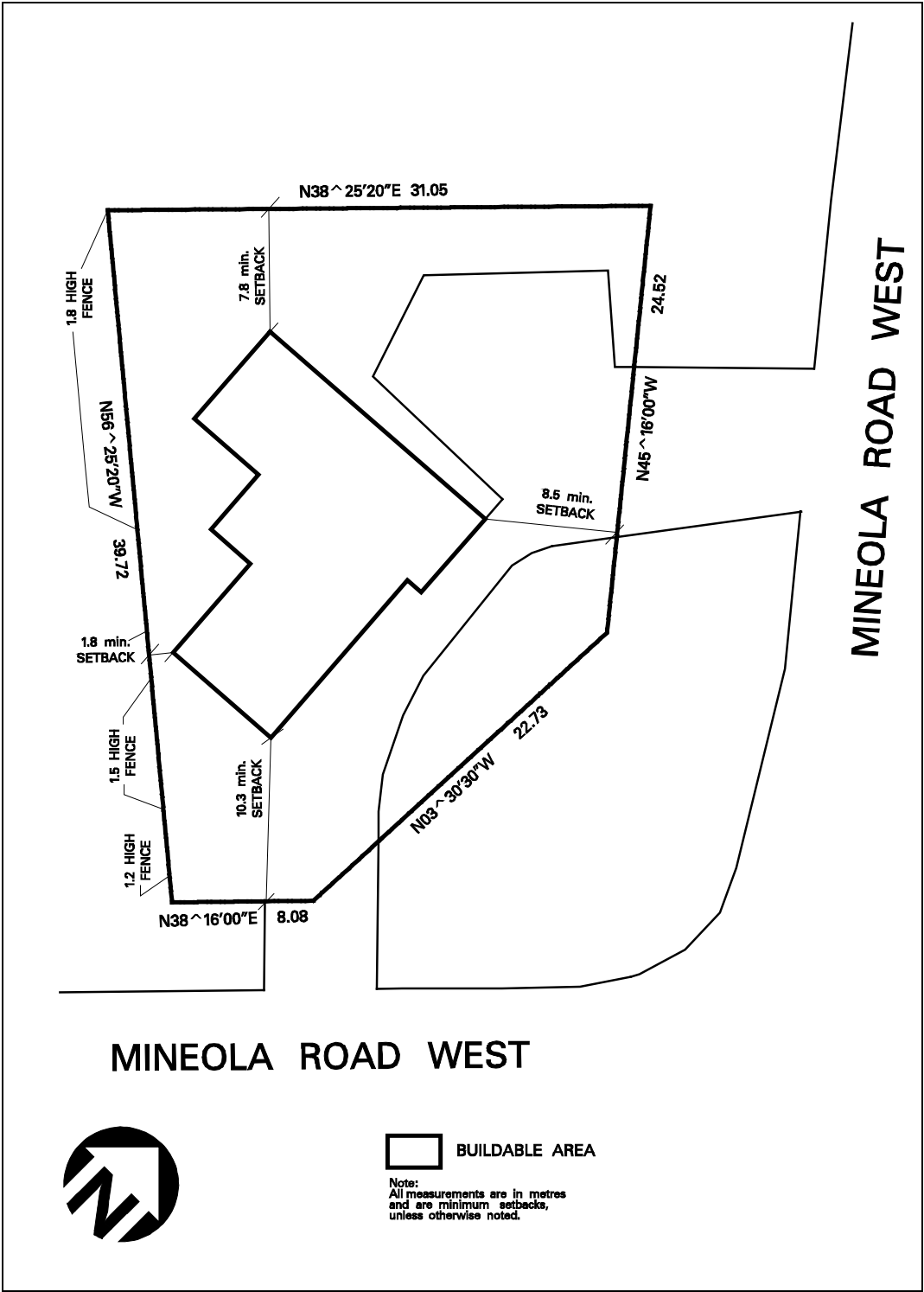


4.2.3.36	Exception: R2-36	Map # 31	By-law:
In a R2-36 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.36.1	Minimum <b>lot area - interior lot</b>	600 m <sup>2</sup>	
4.2.3.36.2	Minimum <b>lot area - corner lot</b>	700 m <sup>2</sup>	
4.2.3.36.3	Maximum <b>lot coverage</b>	43%	
4.2.3.36.4	Minimum <b>front yard</b>	6.5 m	
4.2.3.36.5	Minimum <b>exterior side yard</b>	4.5 m	
4.2.3.36.6	Minimum <b>interior side yard - interior lot</b>	1.2 m on one side and 0.61 m on the other side	
4.2.3.36.7	Minimum <b>interior side yard - corner lot</b>	1.2 m	

4.2.3.37	Exception: R2-37	Map # 31	By-law:
In a R2-37 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.37.1	Minimum <b>interior side yard - detached dwelling</b>	2.4 m	
4.2.3.37.2	Minimum <b>interior side yard - attached garage</b>	1.8 m	
4.2.3.37.3	Minimum <b>rear yard - interior lot</b>	16.0 m	
4.2.3.37.4	Minimum setback of all <b>buildings</b> and <b>structures</b> and <b>swimming pools</b> to the <b>rear lot line</b>	16.0 m	

4.2.3.38	Exception: R2-38	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30
In a R2-38 zone the applicable regulations shall be as specified for a R2 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Permitted Uses</b>			
4.2.3.38.1	Lands zoned R2-38 shall only be used for the following:		
	(1)	<b>Detached Dwelling</b> or	
	(2)	<b>Office</b>	
	(3)	<b>Medical Office - Restricted</b>	
<b>Regulations</b>			
4.2.3.38.2	Minimum <b>lot frontage - interior lot</b>		22.5 m
4.2.3.38.3	Maximum <b>height - highest ridge</b> of a <b>detached dwelling:</b> <b>sloped roof</b>		9.5 m
4.2.3.38.4	Maximum <b>height</b> of a <b>detached dwelling:</b> <b>flat roof</b>		7.5 m
4.2.3.38.5	Maximum height of eaves of a <b>detached dwelling:</b> from <b>average grade</b> to lower edge of eaves		6.4 m
4.2.3.38.6	Maximum <b>dwelling unit depth</b>		20.0 m
4.2.3.38.7	An <b>office</b> and <b>medical office - restricted</b> shall comply with the R2 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum <b>lot frontage - interior lot</b>	22.5 m
	(2)	maximum <b>gross floor area - non-residential</b>	131 m <sup>2</sup>

4.2.3.39	Exception: R2-39	Map # 08	By-law:
In a R2-39 zone the applicable regulations shall be as specified for a R2 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Permitted Uses</b>			
4.2.3.39.1	Lands zoned R2-39 shall only be used for the following:		
	(1)	<b>Detached Dwelling</b> or	
	(2)	<b>Office</b>	
	(3)	<b>Medical Office - Restricted</b>	
<b>Regulations</b>			
4.2.3.39.2	An <b>office</b> and <b>medical office - restricted</b> shall comply with the R2 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum <b>gross floor area - non-residential</b>	195 m <sup>2</sup>
	(2)	all site development plans shall comply with Schedule R2-39 of this Exception	



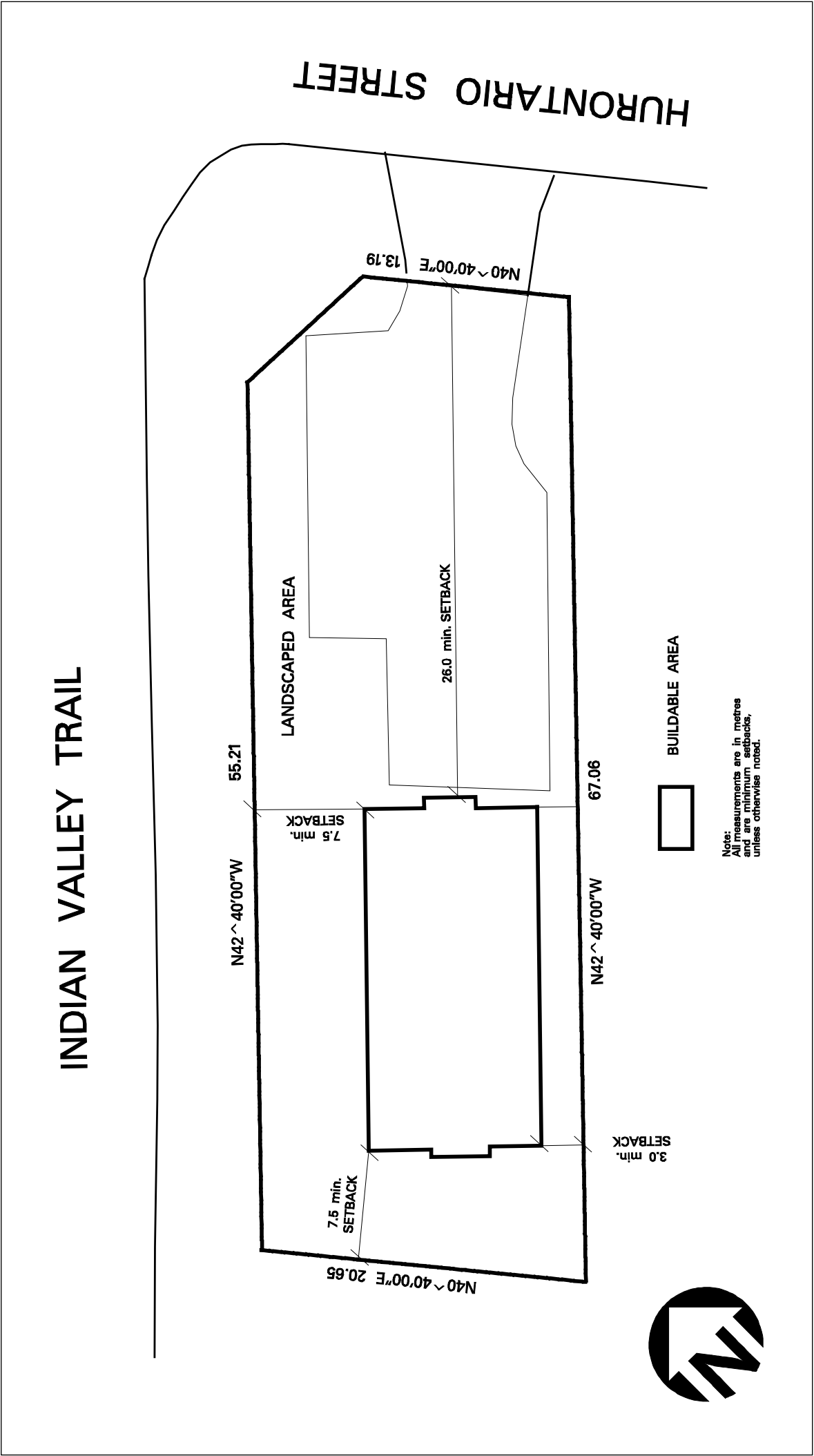
Schedule R2-39  
Map 08

4.2.3.40	Exception: R2-40	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30
In a R2-40 zone the applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.3.40.1	Lands zoned R2-40 shall only be used for the following:		
	(1)	Detached Dwelling or	
	(2)	Office	
	(3)	Medical Office - Restricted	
Regulations			
4.2.3.40.2	Minimum lot frontage - interior lot		30.0 m
4.2.3.40.3	Maximum height - highest ridge of a detached dwelling: sloped roof		9.5 m
4.2.3.40.4	Maximum height of a detached dwelling: flat roof		7.5 m
4.2.3.40.5	Maximum height of eaves of a detached dwelling: from average grade to lower edge of eaves		6.4 m
4.2.3.40.6	Maximum dwelling unit depth		20.0 m
4.2.3.40.7	An office and medical office - restricted shall comply with the R2 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot frontage - interior lot	30.0 m
	(2)	maximum gross floor area - non-residential	465 m²
	(3)	maximum number of parking spaces that may be tandem parking spaces	2

4.2.3.41	Exception: R2-41	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30
In a R2-41 zone the applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.3.41.1	Lands zoned R2-41 shall only be used for the following:		
	(1)	Detached Dwelling or	
	(2)	Office	
	(3)	Medical Office - Restricted	
Regulations			
4.2.3.41.2	Minimum lot frontage - interior lot		30.0 m
4.2.3.41.3	Maximum height - highest ridge of a detached dwelling: sloped roof		9.5 m
4.2.3.41.4	Maximum height of a detached dwelling: flat roof		7.5 m
4.2.3.41.5	Maximum height of eaves of a detached dwelling: from average grade to lower edge of eaves		6.4 m
4.2.3.41.6	Maximum dwelling unit depth		20.0 m
4.2.3.41.7	An office and medical office -restricted shall comply with the R2 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot frontage - interior lot	30.0 m
	(2)	maximum gross floor area - non-residential	225 m²
	(3)	maximum number of parking spaces that may be tandem parking spaces	2
	(4)	minimum aisle width	4.0 m







Schedule R2-42  
Map 08

4.2.3.43	Exception: R2-43	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30
In a R2-43 zone the applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.3.43.1	Lands zoned R2-43 shall only be used for the following:		
	(1) Detached Dwelling or		
	(2) Office		
	(3) Medical Office - Restricted		
Regulations			
4.2.3.43.2	Minimum lot frontage - interior lot		30.0 m
4.2.3.43.3	Maximum height - highest ridge of a detached dwelling: sloped roof		9.5 m
4.2.3.43.4	Maximum height of a detached dwelling: flat roof		7.5 m
4.2.3.43.5	Maximum height of eaves of a detached dwelling: from average grade to lower edge of eaves		6.4 m
4.2.3.43.6	Maximum dwelling unit depth		20.0 m
4.2.3.43.7	An office and medical office - restricted shall comply with the R2 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum lot frontage - interior lot	30.0 m
	(2)	maximum gross floor area - non-residential	180 m <sup>2</sup>

4.2.3.44	Exception: R2-44	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30
In a R2-44 zone the applicable regulations shall be as specified for a R2 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Uses</b>			
4.2.3.44.1	Lands zoned R2-44 shall only be used for the following:		
	(1)	<b>Detached Dwelling</b> or	
	(2)	<b>Office</b>	
	(3)	<b>Medical Office - Restricted</b>	
<b>Regulations</b>			
4.2.3.44.2	Minimum <b>lot frontage - interior lot</b>		30.0 m
4.2.3.44.3	Maximum <b>height - highest ridge</b> of a <b>detached dwelling:</b> <b>sloped roof</b>		9.5 m
4.2.3.44.4	Maximum <b>height</b> of a <b>detached dwelling:</b> <b>flat roof</b>		7.5 m
4.2.3.44.5	Maximum height of eaves of a <b>detached dwelling:</b> from <b>average grade</b> to lower edge of eaves		6.4 m
4.2.3.44.6	Maximum <b>dwelling unit depth</b>		20.0 m
4.2.3.44.7	An <b>office</b> and <b>medical office - restricted</b> shall comply with the R2 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum <b>lot frontage - interior lot</b>	30.0 m
	(2)	maximum total <b>gross floor area - non-residential</b>	420 m <sup>2</sup>
	(3)	minimum <b>rear yard</b> for an <b>office</b> and <b>medical office - restricted</b>	12.0 m

4.2.3.45	Exception: R2-45	Map # 44W	By-law:
In a R2-45 zone the applicable regulations shall be as specified for a R2 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Permitted Uses</b>			
4.2.3.45.1	Lands zoned R2-45 shall only be used for the following:		
	<div><div>(1)</div><div><b>Detached Dwelling</b> or</div></div> <div><div>(2)</div><div><b>Restaurant</b></div></div> <div><div>(3)</div><div><b>Office</b></div></div> <div><div>(4)</div><div><b>Medical Office - Restricted</b></div></div> <div><div>(5)</div><div><b>Day Care</b></div></div>		
<b>Regulations</b>			
4.2.3.45.2	A <b>restaurant, office, medical office - restricted</b> and <b>day care</b> shall comply with the R2 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	<div><div>(1)</div><div>a <b>restaurant, office</b> and <b>medical office - restricted</b> shall be contained within the <b>existing detached dwelling</b>, being the Brown-Vooro house, and its <b>existing</b> accessory <b>structure</b></div></div> <div><div>(2)</div><div>a <b>day care</b> shall only be permitted within the <b>existing detached dwelling</b>, being the Brown-Vooro house</div></div> <div><div>(3)</div><div>notwithstanding Clauses 4.2.3.45.2(1) and (2) of this Exception, the <b>gross floor area - non-residential existing</b> at the time of passing of this By-law may be increased by a maximum of 3 m<sup>2</sup></div></div>		
4.2.3.45.3	<b>Play equipment</b> accessory to a <b>day care</b> may be located in a <b>front yard</b>		

4.2.3.46	Exception: R2-46	Map # 08	By-law: 0193-2016/ OMB Order 2018 February 15
In a R2-46 zone the applicable regulations shall be as specified for a R2 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Permitted Uses</b>			
4.2.3.46.1	Lands zoned R2-46 shall only be used for the following:		
	(1) <b>Detached Dwelling</b> or (2) <b>Office</b> (3) <b>Medical Office - Restricted</b>		
<b>Regulations</b>			
4.2.3.46.2	An <b>office</b> and <b>medical office - restricted</b> shall comply with the R2 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum <b>gross floor area - non-residential</b>	200 m <sup>2</sup>
	(2)	minimum <b>front yard - interior lot</b>	7.0 m
	(3)	minimum <b>interior side yard - interior lot</b>	2.5 m
	(4)	minimum <b>rear yard - interior lot</b>	61.8 m
	(5)	minimum number of <b>parking spaces</b> per 100 m <sup>2</sup> of <b>gross floor area - non-residential</b> used for an <b>office</b>	4

4.2.3.47	Exception: R2-47	Map # 08	By-law:
In a R2-47 zone the applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.3.47.1	Lands zoned R2-47 shall only be used for the following:		
	(1) Detached Dwelling or		
	(2) Veterinary clinic in a detached dwelling		
	(3) Office in a detached dwelling		
	(4) Medical office - restricted in a detached dwelling		
Regulations			
4.2.3.47.2	A veterinary clinic, office, medical office - restricted or any combination thereof within a detached dwelling shall comply with the R2 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) a veterinary clinic, office, medical office - restricted or any combination thereof, shall be contained within the existing detached dwelling		
	(2) minimum lot frontage - interior lot	30.0 m	
	(3) maximum total gross floor area	460 m²	
	(4) maximum gross floor area - non-residential used for a veterinary clinic, office, medical office - restricted or any combination thereof	250 m²	
	(5) minimum front yard - interior lot	9.0 m	
	(6) minimum interior side yard - interior lot	3.5 m	
	(7) minimum rear yard - interior lot	7.5 m	
	(8) maximum height - highest ridge: sloped roof	9.5 m	
	(9) maximum height: flat roof	7.5 m	
	(10) maximum height of eaves: from average grade to lower edge of the eaves	6.4 m	
	(11) parking shall only be permitted in the front yard		
	(12) minimum setback of the parking to the front lot line	4.5 m	
	(13) maximum number of parking spaces	10	

4.2.3.48	Exception: R2-48	Map # 31	By-law:
In a R2-48 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.48.1	Minimum <b>lot area</b> - <b>interior lot</b>		610 m <sup>2</sup>
4.2.3.48.2	Minimum <b>lot area</b> - <b>corner lot</b>		760 m <sup>2</sup>
4.2.3.48.3	Minimum <b>lot frontage</b> - <b>interior lot</b> that abuts a G1 zone		17.0 m
4.2.3.48.4	Minimum <b>lot frontage</b> - <b>corner lot</b> that abuts a G1 zone		20.0 m
4.2.3.48.5	Minimum <b>front yard</b>		7.5 m
4.2.3.48.6	Minimum <b>exterior side yard</b>		6.0 m
4.2.3.48.7	Minimum <b>interior side yard</b>		1.2 m + 0.61 m for each additional <b>storey</b> or portion thereof above one <b>storey</b>

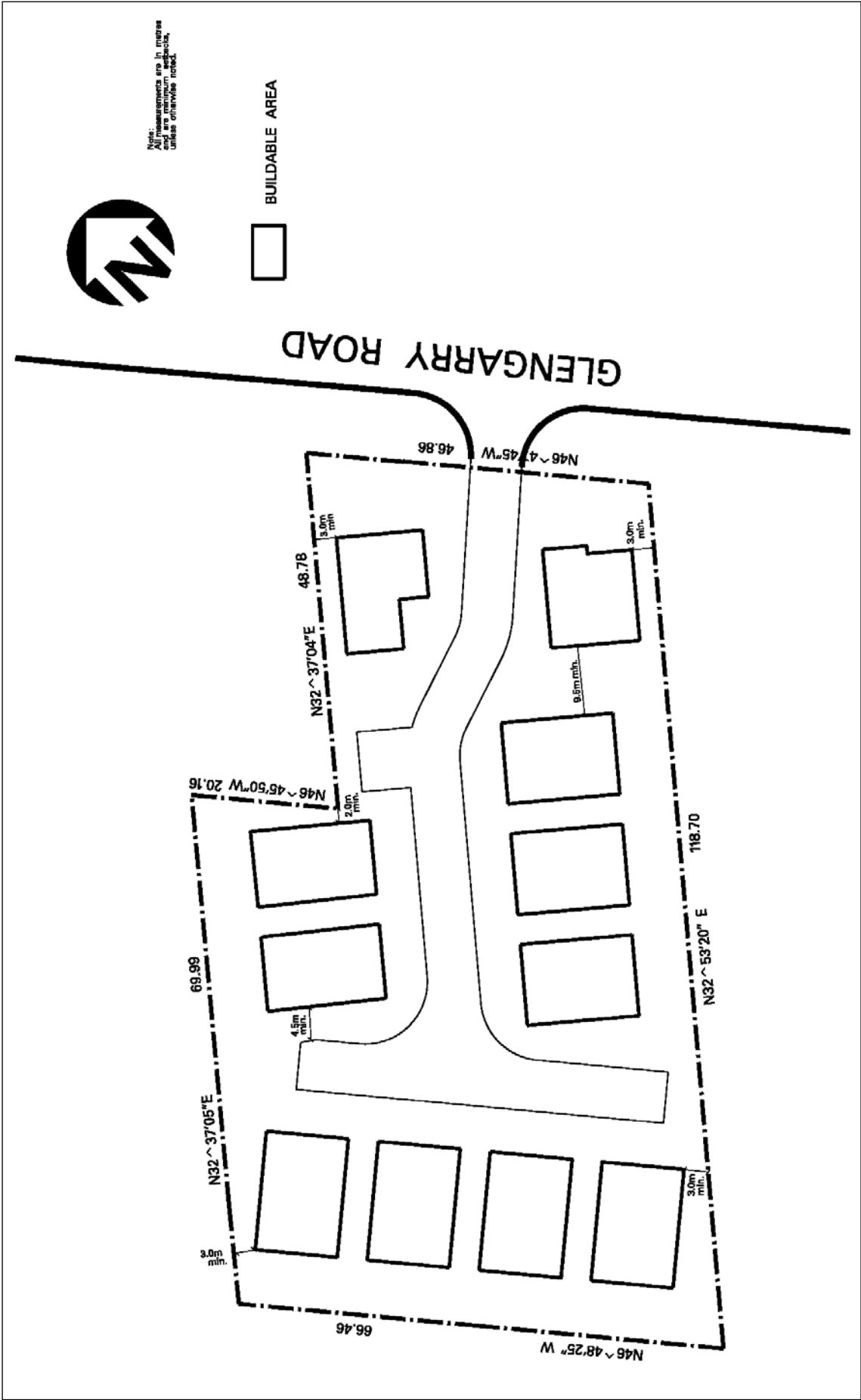
4.2.3.49	Exception: R2-49	Map # 25	By-law:
In a R2-49 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.49.1	The regulations of Line 4.1 contained in Table 4.2.1 of this By-law shall not apply		
4.2.3.49.2	Access to all <b>lots</b> shall be via a common frontage on Council Ring Road		

4.2.3.50	Exception: R2-50	Map # 38W, 39E, 45W	By-law: 0380-2009/OMB Order 2010 September 13, 0308-2011, 0181-2018/LPAT Order 2019 February 15
In a R2-50 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.50.1	Maximum <b>lot coverage</b>		25%
4.2.3.50.2	Maximum <b>gross floor area</b> - <b>infill residential</b>		150 m <sup>2</sup> plus 0.2 times the <b>lot area</b>
4.2.3.50.3	Minimum <b>front yard</b>		7.5 m
4.2.3.50.4	Minimum <b>interior side yard</b>		1.2 m + 0.61 m for each additional <b>storey</b> or portion thereof above one <b>storey</b>
4.2.3.50.5	Minimum setback to <b>garage face</b> - <b>interior lot</b>		7.5 m
4.2.3.50.6	Maximum <b>height</b> - <b>highest ridge: sloped roof</b>		9.0 m
4.2.3.50.7	Maximum <b>height: flat roof</b>		7.5 m
4.2.3.50.8	Maximum height of eaves: from <b>average grade</b> to lower edge of the eaves		6.4 m

Exception R2-50 continued on next page

4.2.3.50	Exception: R2-50	Map # 38W, 39E, 45W	By-law: 0380-2009/OMB Order 2010 September 13, 0308-2011, 0181-2018/LPAT Order 2019 February 15
<b>Exception R2-50 continued from previous page</b>			
4.2.3.50.9	<b>Garage</b> projection: maximum projection of the <b>garage</b> beyond the <b>front wall</b> or <b>exterior side wall</b> of the <b>first storey</b>		2.0 m
4.2.3.50.10	Maximum <b>dwelling unit depth</b>		20.0 m

4.2.3.51	Exception: R2-51	Map # 16	By-law: 0206-2008, 0181-2018/LPAT Order 2019 February 15
In a R2-51 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.51.1	Maximum number of <b>dwelling units</b> on all lands zoned R2-51		11
4.2.3.51.2	Maximum <b>gross floor area - residential</b> per <b>detached dwelling</b>		297 m <sup>2</sup>
4.2.3.51.3	Minimum <b>interior side yard</b> unless otherwise identified on Schedule R2-51 of this Exception		7.5 m
4.2.3.51.4	Minimum setback of a <b>detached dwelling</b> to a <b>condominium road</b> or sidewalk unless otherwise identified on Schedule R2-51 of this Exception		3.3 m
4.2.3.51.5	Minimum setback from a <b>garage face</b> to a <b>condominium road</b>		6.0 m
4.2.3.51.6	Minimum <b>detached dwelling</b> separation unless otherwise identified on Schedule R2-51 of this Exception		4.0 m
4.2.3.51.7	Maximum projection of a <b>porch</b> , inclusive of stairs, outside of the buildable area identified on Schedule R2-51 of this Exception		1.8 m
4.2.3.51.8	Maximum projection of a <b>deck</b> outside of the buildable area identified on Schedule R2-51 of this Exception		1.8 m
4.2.3.51.9	Maximum projection of an awning, window projection, <b>chimney</b> , pilaster or corbel outside of the buildable area identified on Schedule R2-51 of this Exception		0.6 m
4.2.3.51.10	<b>Height</b> of all <b>buildings</b> and <b>structures</b> shall be measured from <b>established grade</b>		
4.2.3.51.11	All site development plans shall comply with Schedule R2-51 of this Exception		



Schedule R2-51  
Map 16

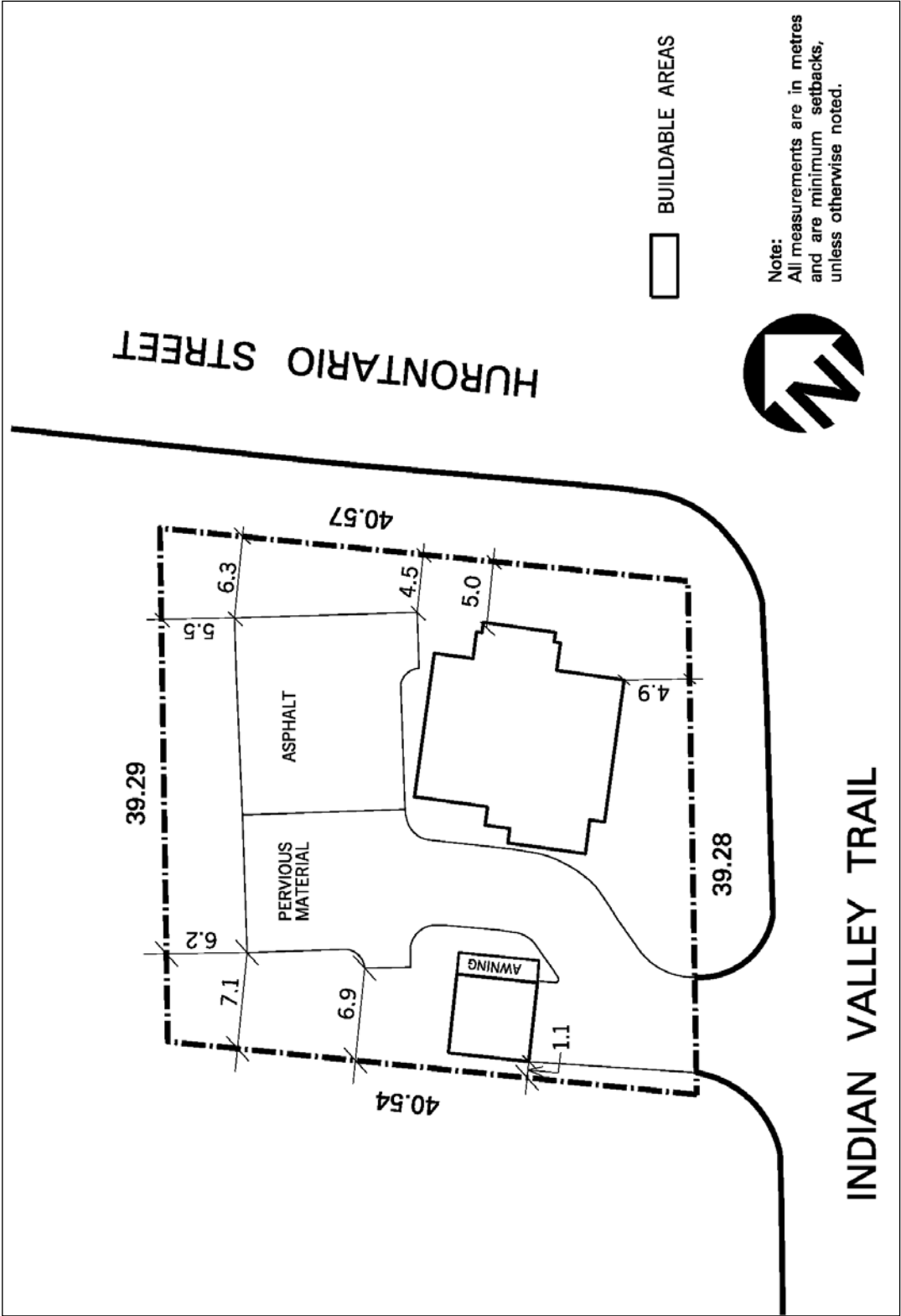


4.2.3.52	Exception: R2-52	Map # 08	By-law: 0166-2015, 0111-2019/LPAT Order 2021 March 09
In a R2-52 zone the applicable regulations shall be as specified for a R2 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Permitted Uses</b>			
4.2.3.52.1	Lands zoned R2-52 shall only be used for the following:		
	(1)	<b>Detached Dwelling</b> or	
	(2)	<b>Office</b> with one <b>dwelling unit</b>	
<b>Use Not Permitted</b>			
4.2.3.52.2	(1)	<i>deleted</i>	
<b>Regulations</b>			
4.2.3.52.3	Minimum <b>lot frontage - interior lot</b>		30.0 m
4.2.3.52.4	Maximum <b>gross floor area</b>		467 m <sup>2</sup>
4.2.3.52.5	Maximum <b>gross floor area - non-residential</b>		365 m <sup>2</sup>
4.2.3.52.6	Minimum <b>interior side yard - interior lot</b>		1.2 m + 0.61 m for each additional <b>storey</b> , or portion thereof above one <b>storey</b>
4.2.3.52.7	Minimum depth of a <b>landscaped buffer</b> measured from a <b>lot line</b> that is a <b>street line</b>		7.5 m

4.2.3.53	Exception: R2-53	Map # 44W	By-law: 0199-2010, 0308-2011
In a R2-53 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.3.53.1	Minimum <b>lot area - interior lot</b>		660 m <sup>2</sup>
4.2.3.53.2	Minimum <b>lot area - corner lot</b>		730 m <sup>2</sup>
4.2.3.53.3	Minimum <b>exterior side yard</b>		7.0 m
4.2.3.53.4	Maximum projection of the <b>garage</b> beyond any portion of the <b>front wall</b> or <b>exterior side wall</b> of the <b>first storey</b>		0.0 m

4.2.3.54	Exception: R2-54	Map # 39E	By-law: 0380-2009/OMB Order 2010 October 13, 0308-2011, 0181-2018/LPAT Order 2019 February 15
In a R2-54 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R2 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.3.54.1	Maximum <b>lot coverage</b>	30%	
4.2.3.54.2	Maximum <b>gross floor area - infill residential</b>	190 m <sup>2</sup> plus 0.2 times the <b>lot area</b>	
4.2.3.54.3	Minimum <b>front yard</b>	7.5 m	
4.2.3.54.4	Minimum <b>interior side yard</b>	1.2 m + 0.61 m for each additional <b>storey</b> or portion thereof above one <b>storey</b>	
4.2.3.54.5	Minimum setback to <b>garage face - interior lot</b>	7.5 m	
4.2.3.54.6	Maximum <b>height - highest ridge: sloped roof</b>	9.0 m	
4.2.3.54.7	Maximum <b>height: flat roof</b>	7.5 m	
4.2.3.54.8	Maximum height of eaves: from <b>average grade</b> to lower edge of the eaves	6.4 m	
4.2.3.54.9	<b>Garage</b> projection: maximum projection of the <b>garage</b> beyond the <b>front wall</b> or <b>exterior side wall</b> of the <b>first storey</b>	2.0 m	
4.2.3.54.10	Maximum <b>dwelling unit depth</b>	20.0 m	

4.2.3.55	Exception: R2-55	Map # 08	By-law: OMB Order 2014 March 18, 0193-2016/ OMB Order 2017 May 30
In a R2-55 zone the applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
<b>Permitted Use</b>			
4.2.3.55.1	Lands zoned R2-55 shall only be used for the following:		
	(1) <b>Detached Dwelling</b> or (2) <b>Office</b> with one (1) <b>dwelling unit</b> or (3) <b>Medical office - restricted</b> with one (1) <b>dwelling unit</b>		
<b>Regulations</b>			
4.2.3.55.2	Minimum <b>lot frontage - corner lot</b>		35.0 m
4.2.3.55.3	Minimum centre line setback from Hurontario Street		19.0 m
4.2.3.55.4	Maximum <b>height - highest ridge</b> of a <b>detached dwelling:</b> <b>sloped roof</b>		9.5 m
4.2.3.55.5	Maximum <b>height</b> of a <b>detached dwelling:</b> <b>flat roof</b>		7.5 m
4.2.3.55.6	Maximum height of eaves of a <b>detached dwelling:</b> from <b>average grade</b> to lower edge of eaves		6.4 m
4.2.3.55.7	Maximum <b>dwelling unit depth</b>		20.0 m
4.2.3.55.8	An <b>office</b> and <b>medical office - restricted</b> shall comply with the R2 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum <b>gross floor area - non-residential</b>	175 m <sup>2</sup>
	(2)	maximum <b>lot coverage</b>	15%
	(3)	maximum number of <b>parking spaces</b> that may be <b>tandem parking spaces</b>	2
4.2.3.55.9	All site development plans shall comply with Schedule R2-55 of this Exception		



Schedule R2-55  
Map 08