

4.2.3 R2 Exception Zones

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

In addition to the **uses** and regulations contained in Subsection 4.2.1 - R1 to R5 Permitted Uses and Zone Regulations, the regulations contained in Table 4.2.3 - R2 Infill Exception Regulations shall apply where specified by an R2 Exception Zone.

Table 4.2.3 - R2 Infill Exception Regulations

Column Line	A	B
1.0	MINIMUM INTERIOR SIDE YARD	
1.1	Interior lot	1.8 m + 0.61 m for each additional storey or portion thereof above one (1) storey
2.0	MINIMUM COMBINED WIDTH OF SIDE YARDS: interior lots having a lot frontage equal to or greater than 18.0 m	
2.1	One (1) storey detached dwelling	20% of the lot frontage
2.2	Dwelling having more than one (1) storey	27% of the lot frontage
3.0	MAXIMUM HEIGHT - HIGHEST RIDGE: lots having a lot frontage equal to or greater than 22.5 m sloped roof	9.5 m
4.0	MAXIMUM HEIGHT - HIGHEST RIDGE: lots having a lot frontage less than 22.5 m sloped roof	9.0 m
5.0	MAXIMUM HEIGHT: flat roof	7.5 m
6.0	MAXIMUM HEIGHT OF EAVES: from average grade to lower edge of the eaves	6.4 m
7.0	MAXIMUM GROSS FLOOR AREA - INFILL RESIDENTIAL	190 m ² plus 0.20 times the lot area
8.0	GARAGE PROJECTION: maximum projection of the garage beyond the front wall or exterior side wall of the first storey (0325-2008), (0308-2011)	0.0 m
9.0	MAXIMUM DWELLING UNIT DEPTH	20.0 m
10.0	<i>deleted by 0190-2014</i>	

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4.2.3.1	Exception: R2-1	Map # 02, 03, 08, 09, 10	By-law:
In a R2-1 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Regulation			
4.2.3.1.1	The regulations contained in Subsection 4.2.3 of this By-law shall apply		

4.2.3.2	Exception: R2-2	Map # 09	By-law:
In a R2-2 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.2.1	The regulations contained in Subsection 4.2.3 of this By-law shall apply		
4.2.3.2.2	Minimum front yard		7.5 m

4.2.3.3	Exception: R2-3	Map #	By-law: <i>deleted by LPAT Order 2019 August 20</i>

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4.2.3.4	Exception: R2-4	Map # 02, 03, 07, 08, 09, 10	By-law: 0225-2017, LPAT Order 2020 June 01
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In a R2-4 zone the permitted **uses** and applicable regulations shall be as specified for a R2 zone except that the following **uses/regulations** shall apply:

Regulations

4.2.3.4.1 The regulations contained in Subsection 4.2.3 of this By-law shall apply

4.2.3.4.2 Minimum **lot frontage** 22.5 m

4.2.3.5	Exception: R2-5	Map # 02, 03, 07, 08, 09, 10	By-law: 0247-2016
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In a R2-5 zone the permitted **uses** and applicable regulations shall be as specified for a R2 zone except that the following **uses/regulations** shall apply:

Regulations

4.2.3.5.1 The regulations contained in Subsection 4.2.3 of this By-law shall apply

4.2.3.5.2 Minimum **lot frontage** 30.0 m

4.2.3.6	Exception: R2-6	Map # 07	By-law:
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In a R2-6 zone the permitted **uses** and applicable regulations shall be as specified for a R2 zone except that the following **uses/regulations** shall apply:

Regulations

4.2.3.6.1 The regulations contained in Subsection 4.2.3 of this By-law shall apply

4.2.3.6.2 The regulations of Line 4.1 contained in Table 4.2.1 of this By-law shall not apply

4.2.3.6.3 Access to all **lots** shall be via a common frontage on Carmen Drive

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4.2.3.7	Exception: R2-7	Map # 39E, 45W	By-law: 0325-2008, 0181-2018/LPAT Order 2019 February 15
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In a R2-7 zone the permitted **uses** and applicable regulations shall be as specified for a R2 zone except that the following **uses/regulations** shall apply:

Regulations

4.2.3.7.1	Minimum front yard	7.5 m
4.2.3.7.2	Minimum interior side yard	1.2 m + 0.61 m for each additional storey or portion thereof above one storey
4.2.3.7.3	Minimum setback to garage face - interior lot	7.5 m

4.2.3.8	Exception: R2-8	Map # 38W, 39E	By-law:
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In a R2-8 zone the permitted **uses** and applicable regulations shall be as specified for a R2 zone except that the following **uses/regulations** shall apply:

Regulations

4.2.3.8.1	Maximum lot coverage - detached dwelling not exceeding one storey	40%
4.2.3.8.2	Maximum lot coverage - detached dwelling more than one storey	35%
4.2.3.8.3	Minimum front yard	7.5 m
4.2.3.8.4	Minimum interior side yard - interior lot	1.5 m + 0.61 m for each additional storey or portion thereof above one storey

4.2.3.9	Exception: R2-9	Map # 38W, 39E	By-law:
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In a R2-9 zone the permitted **uses** and applicable regulations shall be as specified for a R2 zone except that the following **uses/regulations** shall apply:

Regulations

4.2.3.9.1	Maximum lot coverage - detached dwelling not exceeding one storey	40%
4.2.3.9.2	Maximum lot coverage - detached dwelling more than one storey	35%
4.2.3.9.3	Minimum interior side yard - interior lot	1.5 m + 0.61 m for each additional storey or portion thereof above one storey
4.2.3.9.4	Minimum number of parking spaces per lot	6

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4.2.3.10	Exception: R2-10	Map # 44W, 45E	By-law: 0308-2011
In a R2-10 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.10.1	Maximum lot coverage	25%	
4.2.3.10.2	A flat roof shall not be permitted		
4.2.3.10.3	Maximum height - highest ridge: sloped roof	9.5 m	
4.2.3.10.4	Maximum projection of the garage beyond any portion of the front wall or exterior side wall of the first storey	0.0 m	

4.2.3.11	Exception: R2-11	Map # 31	By-law: 0308-2011
In a R2-11 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.11.1	Maximum lot coverage	35%	
4.2.3.11.2	Minimum front yard	6.5 m	
4.2.3.11.3	Minimum interior side yard	1.5 m + 0.61 m for each additional storey or portion thereof above one (1) storey	
4.2.3.11.4	Minimum setback to the rear lot line where lands abut a G2-3 zone	30.0 m	
4.2.3.11.5	Notwithstanding Sentence 4.2.3.11.4, minimum setback of all accessory buildings and structures and swimming pools to the rear lot line where lands abut a G2-3 zone	15.0 m	

4.2.3.12	Exception: R2-12	Map # 31	By-law: 0325-2008
In a R2-12 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Regulation			
4.2.3.12.1	Minimum setback of all buildings and structures and swimming pools to the rear lot line where lands abut a G1 zone	7.6 m	

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4.2.3.13	Exception: R2-13	Map # 24	By-law:
In a R2-13 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.13.1	Minimum front yard - interior lot	7.5 m	
4.2.3.13.2	Minimum front yard - corner lot	6.0 m	
4.2.3.13.3	Minimum exterior side yard	6.0 m	
4.2.3.13.4	Minimum interior side yard	1.2 m + 0.61 m for each additional storey or portion thereof above one (1) storey	
4.2.3.13.5	Minimum rear yard where lands abut a PB1 zone	11.5 m	
4.2.3.13.6	Minimum setback of a swimming pool to the rear lot line where lands abut a PB1 zone	5.5 m	

4.2.3.14	Exception: R2-14	Map # 24	By-law:
In a R2-14 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.14.1	Minimum lot area - interior lot	665 m ²	
4.2.3.14.2	Minimum front yard	6.0 m	
4.2.3.14.3	Minimum interior side yard	1.2 m + 0.61 m for each additional storey or portion thereof above one (1) storey	

4.2.3.15	Exception: R2-15	Map # 31	By-law:
In a R2-15 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.15.1	Minimum lot frontage - interior lot	33.0 m	
4.2.3.15.2	Minimum front yard - interior lot	7.5 m	
4.2.3.15.3	Minimum interior side yard - interior lot	12.0 m on one side and 1.8 m + 0.61 m for each additional storey or portion thereof above one (1) storey on the other side	
4.2.3.15.4	Minimum rear yard - interior lot	3.0 m	
4.2.3.15.5	Every lot shall have a circular driveway		

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4.2.3.16	Exception: R2-16	Map # 38W	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
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In a R2-16 zone the permitted **uses** and applicable regulations shall be as specified for a R2 zone except that the following **uses/regulations** shall apply:

Regulations

4.2.3.16.1	Minimum lot area	620 m ²
4.2.3.16.2	Maximum lot coverage	40%
4.2.3.16.3	Minimum front yard	4.5 m
4.2.3.16.4	Minimum interior side yard - interior lot	1.5 m + 0.61 m for each additional storey or portion thereof above one storey
4.2.3.16.5	Minimum setback of a detached dwelling to all lands zoned G2-3	15.0 m
4.2.3.16.6	Minimum setback to garage face	6.0 m

4.2.3.17	Exception: R2-17	Map # 38W	By-law:
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In a R2-17 zone the permitted **uses** and applicable regulations shall be as specified for a R2 zone except that the following **uses/regulations** shall apply:

Regulations

4.2.3.17.1	Maximum lot coverage	40%
4.2.3.17.2	Minimum interior side yard - interior lot	1.5 m + 0.61 m for each additional storey or portion thereof above one storey

4.2.3.18	Exception: R2-18	Map # 38W	By-law:
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In a R2-18 zone the permitted **uses** and applicable regulations shall be as specified for a R2 zone except that the following **uses/regulations** shall apply:

Regulations

4.2.3.18.1	Minimum lot area - corner lot	750 m ²
4.2.3.18.2	Minimum lot frontage	16.5 m
4.2.3.18.3	Minimum setback of a detached dwelling to all lands zoned G2-3	15.0 m

4.2.3.19	Exception: R2-19	Map # 24	By-law:
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In a R2-19 zone the permitted **uses** and applicable regulations shall be as specified for a R2 zone except that the following **uses/regulations** shall apply:

Regulations

4.2.3.19.1	Minimum lot frontage - interior lot	5.0 m
4.2.3.19.2	Minimum setback of all buildings and structures and swimming pools to all lands zoned PB1	3.0 m

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4.2.3.20	Exception: R2-20	Map # 45W	By-law:
In a R2-20 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.20.1	Minimum front yard - interior lot	7.5 m	
4.2.3.20.2	Minimum interior side yard - interior lot	1.5 m + 0.61 m for each additional storey or portion thereof above one (1) storey	
4.2.3.20.3	Minimum setback of all buildings and structures and swimming pools to all lands zoned G1	15.0 m	

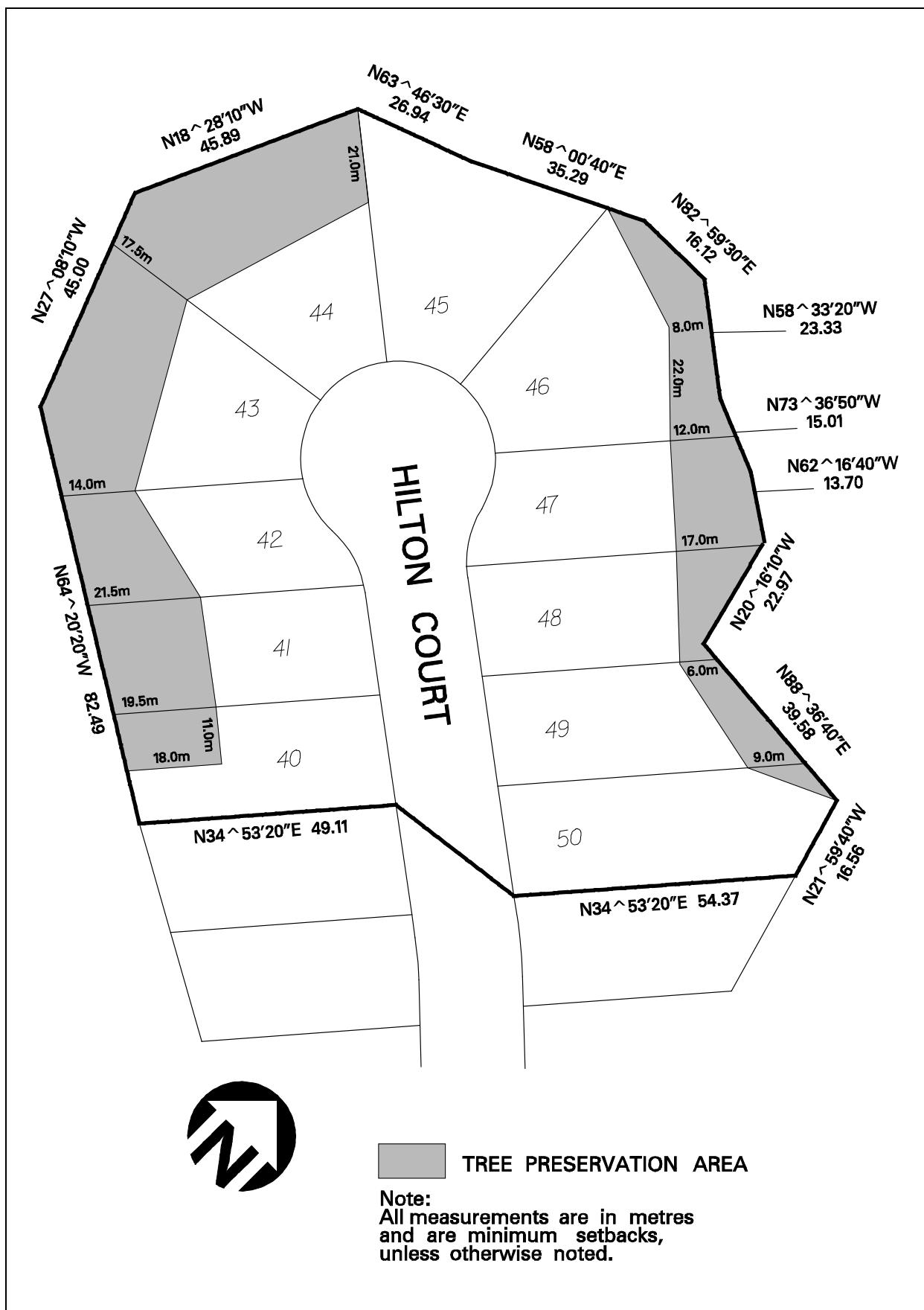
4.2.3.21	Exception: R2-21	Map # 45W	By-law:
In a R2-21 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.21.1	Minimum front yard	6.5 m	
4.2.3.21.2	Minimum interior side yard - interior lot	1.2 m + 0.61 m for each additional storey or portion thereof above one (1) storey	
4.2.3.21.3	Minimum setback of a detached dwelling to all lands zoned G2-3	15.0 m	
4.2.3.21.4	Minimum setback of a detached dwelling to all lands zoned G1	17.5 m	

4.2.3.22	Exception: R2-22	Map # 17	By-law:
In a R2-22 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.22.1	Maximum lot coverage	35%	
4.2.3.22.2	Minimum front yard - interior lot	7.5 m	
4.2.3.22.3	Minimum front yard - corner lot	6.0 m	
4.2.3.22.4	Minimum exterior side yard	6.0 m	
4.2.3.22.5	Minimum interior side yard	1.2 m + 0.61 m for each additional storey or portion thereof above one (1) storey	

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4.2.3.23	Exception: R2-23	Map # 24	By-law:
In a R2-23 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.23.1	Minimum lot area - corner lot	700 m ²	
4.2.3.23.2	Minimum lot frontage - corner lot	20.0 m	
4.2.3.23.3	Minimum front yard	7.5 m	
4.2.3.23.4	Minimum setback of all accessory buildings and structures and swimming pools to all lands zoned PB1	3.0 m	

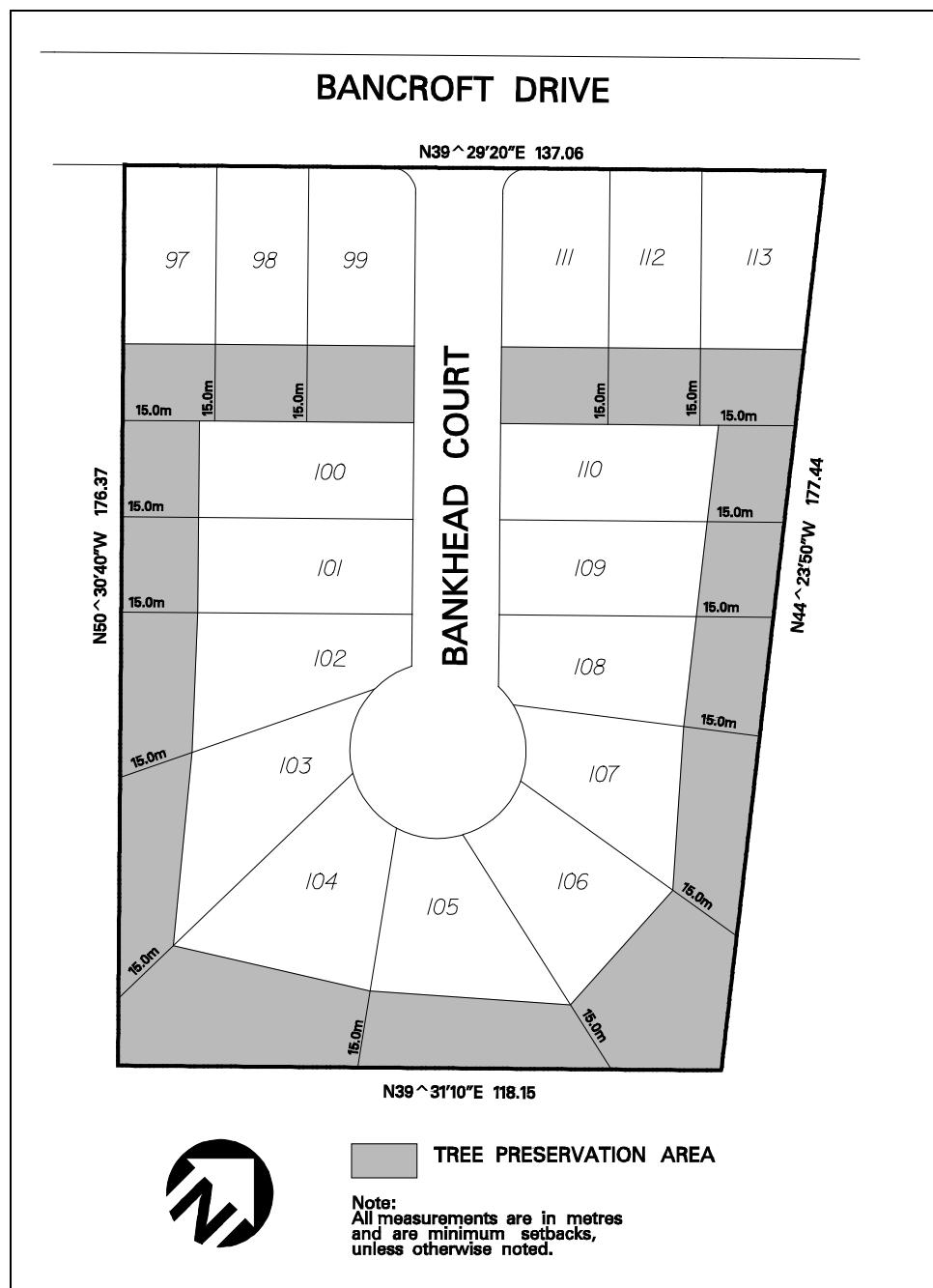
4.2.3.24	Exception: R2-24	Map # 39E	By-law:
In a R2-24 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.24.1	Maximum lot coverage - detached dwelling not exceeding one (1) storey	40%	
4.2.3.24.2	Maximum lot coverage - detached dwelling more than one (1) storey	35%	
4.2.3.24.3	Minimum front yard	7.5 m	
4.2.3.24.4	Minimum interior side yard - interior lot	1.5 m + 0.61 m for each additional storey or portion thereof above one (1) storey	
4.2.3.24.5	The areas identified on Schedule R2-24 of this Exception as a tree preservation area, shall only be used for conservation purposes, and no buildings or structures, swimming pools, tennis courts or any like recreational facilities, except for fences along the lot lines , shall be permitted		
4.2.3.24.6	Minimum interior side yard - interior lot that includes and/or abuts a tree preservation area, measured from the limit of the tree preservation area	3.0 m	
4.2.3.24.7	Minimum rear yard - lot that includes a tree preservation area, measured from the limit of the tree preservation area and not from the rear lot line	7.5 m	



Schedule R2-24
Map 39E

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4.2.3.25	Exception: R2-25	Map # 45E	By-law:
In a R2-25 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.25.1	Minimum lot area - interior lot		900 m ²
4.2.3.25.2	Minimum lot area - corner lot		1 040 m ²
4.2.3.25.3	Minimum front yard		7.5 m
4.2.3.25.4	The areas identified on Schedule R2-25 of this Exception as a tree preservation area, shall only be used for conservation purposes, and no buildings or structures , swimming pools , tennis courts or any like recreational facilities, except for fences along the lot lines , shall be permitted		
4.2.3.25.5	Minimum interior side yard - interior lot that includes and/or abuts a tree preservation area, measured from the limit of the tree preservation area		3.0 m
4.2.3.25.6	Minimum rear yard - lot that includes a tree preservation area, measured from the limit of the tree preservation area and not from the rear lot line		7.5 m



Schedule R2-25

Map 45E

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4.2.3.26	Exception: R2-26	Map # 45E	By-law:
In a R2-26 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.26.1	Minimum front yard	7.5 m	
4.2.3.26.2	Minimum setback of a dwelling to all lands zoned G2-4(9)	15.0 m	
4.2.3.26.3	Minimum setback of all accessory buildings and structures and swimming pools to all lands zoned G1	9.0 m	

4.2.3.27	Exception: R2-27	Map # 45E	By-law:
In a R2-27 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.27.1	Minimum front yard	7.5 m	
4.2.3.27.2	Minimum setback of a dwelling to all lands zoned G2-3	15.0 m	
4.2.3.27.3	Minimum setback of all accessory buildings and structures and swimming pools to all lands zoned G1	15.0 m	

4.2.3.28	Exception: R2-28	Map # 24	By-law:
In a R2-28 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.28.1	Minimum front yard	7.5 m	
4.2.3.28.2	Minimum exterior side yard	6.0 m	
4.2.3.28.3	Minimum setback to Mississauga Road	7.5 m	
4.2.3.28.4	Minimum rear yard where lands abut a G2-1 zone	8.5 m	

4.2.3.29	Exception: R2-29	Map # 08, 09	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15
In a R2-29 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.29.1	Minimum lot area - interior lot		600 m ²
4.2.3.29.2	Minimum lot area - corner lot		700 m ²
4.2.3.29.3	Minimum lot frontage - interior lot		18.0 m
4.2.3.29.4	Minimum lot frontage - corner lot		21.0 m
4.2.3.29.5	Maximum lot coverage , excluding the area of a porch or balcony , or breezeway		35%
4.2.3.29.6	Maximum gross floor area - residential	190 m ² plus 0.33 times the lot area	
4.2.3.29.7	Minimum front yard		6.0 m
4.2.3.29.8	Minimum exterior side yard		4.5 m
4.2.3.29.9	Minimum interior side yard		1.8 m
4.2.3.29.10	Minimum rear yard		7.5 m
4.2.3.29.11	Minimum setback to a sight triangle		1.5 m
4.2.3.29.12	Maximum height - highest ridge: sloped roof		9.5 m
4.2.3.29.13	Maximum height: flat roof		7.5 m
4.2.3.29.14	Maximum height of eaves: from average grade to lower edge of the eaves		6.4 m
4.2.3.29.15	Maximum encroachment of a porch or balcony into the required exterior side yard		2.0 m
4.2.3.29.16	Maximum encroachment of window projections and architectural elements, with or without a foundation, such as, but not limited to, chimneys , media niches, pilasters and corbels: (1) into the required front, rear or exterior side yard	1.0 m	
	(2) into the required interior side yard	0.6 m	
4.2.3.29.17	Minimum setback to a garage face		6.0 m
4.2.3.29.18	Maximum encroachment of a side wall of a garage into the required front yard		1.5 m
4.2.3.29.19	Maximum projection of a garage face beyond any portion of the first floor front wall or exterior side wall of a detached dwelling		0.0 m
4.2.3.29.20	Maximum projection of a garage face beyond any portion of the first floor front wall or exterior side wall of a detached dwelling , where a main entry feature is provided		2.5 m
4.2.3.29.21	Maximum garage width: measured from the inside face of the garage side walls		8.0 m

Exception R2-29 continued on next page

4.2.3.29	Exception: R2-29	Map # 08, 09	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15
Exception R2-29 continued from previous page			
4.2.3.29.22	A detached garage shall only be permitted in a rear yard on lots with a minimum frontage of 19.5 m which do not abut lands zoned G2-2, subject to the following:		
(1)	minimum interior side yard on the side of the detached dwelling where the driveway is located	3.0 m	
(2)	minimum interior side yard on the side of the detached dwelling where the mutual driveway is located, where garages on two adjoining lots are located in their respective rear yards and accessed by a mutual driveway crossing the front lot line	2.4 m	
(3)	the garage may be attached to the detached dwelling by a breezeway which shall not be considered a component of the dwelling for the purposes of determining building setbacks		
(4)	minimum exterior side yard	3.0 m	
(5)	maximum garage width : measured from the inside face of each of the garage walls	8.5 m	
(6)	maximum garage depth : measured from the garage face to the inside face of the rear garage wall	7.5 m	
(7)	minimum slope of a garage roof shall have a ratio of the vertical rise to the horizontal run of at least one in three		
(8)	maximum garage height - highest ridge : sloped roof - excluding skylights, cupolas, or other ornamental features	6.6 m	
(9)	maximum height of eaves: from established grade to lower edge of the eaves	4.5 m	
(10)	maximum floor area	113 m ²	
4.2.3.29.23	Minimum setback of all buildings and structures , decks and swimming pools to a G1 zone	3.0 m	

4.2.3.30	Exception: R2-30	Map # 08, 09	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15
In a R2-30 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.30.1	Minimum lot area - interior lot		830 m ²
4.2.3.30.2	Minimum lot area - corner lot		930 m ²
4.2.3.30.3	Minimum lot frontage - interior lot		22.5 m
4.2.3.30.4	Minimum lot frontage - corner lot		25.0 m
4.2.3.30.5	Maximum lot coverage excluding the area of a porch or balcony , or breezeway		35%
4.2.3.30.6	Maximum gross floor area - residential	190 m ² plus 0.33 times the lot area	
4.2.3.30.7	Minimum front yard		6.0 m
4.2.3.30.8	Minimum exterior side yard		4.5 m
4.2.3.30.9	Minimum interior side yard		2.1 m
4.2.3.30.10	Minimum rear yard		7.5 m
4.2.3.30.11	Minimum setback to a sight triangle		1.5 m
4.2.3.30.12	Maximum height - highest ridge on lots which abut or contain a G1 or G2-2 zone: sloped roof		10.8 m
4.2.3.30.13	Maximum height - highest ridge on all other lots : sloped roof		9.5 m
4.2.3.30.14	Maximum height: flat roof		7.5 m
4.2.3.30.15	Maximum height of eaves on lots which abut or contain a G1 or G2-2 zone: from average grade to lower edge of the eaves		7.7 m
4.2.3.30.16	Maximum height of eaves on all other lots : from average grade to lower edge of the eaves		6.4 m
4.2.3.30.17	Maximum encroachment of a porch or balcony into the required exterior side yard		2.0 m
4.2.3.30.18	Maximum encroachment of window projections and architectural elements, with or without a foundation, such as, but not limited to, chimneys , media niches, pilasters and corbels: (1) into the required front, rear or exterior side yard (2) into the required interior side yard		1.0 m 0.6 m
4.2.3.30.19	Minimum setback of a garage face to the street line		6.0 m
4.2.3.30.20	Maximum encroachment of a side wall of a garage into the required front yard		1.5 m
4.2.3.30.21	Maximum projection of a garage face beyond any portion of the first floor front wall or exterior side wall of a detached dwelling		0.0 m
4.2.3.30.22	Maximum setback of the first floor front wall or exterior side wall of a detached dwelling from the garage face , where a main entry feature is provided		2.5 m
4.2.3.30.23	Maximum garage width : from the inside face of the garage side walls		8.0 m

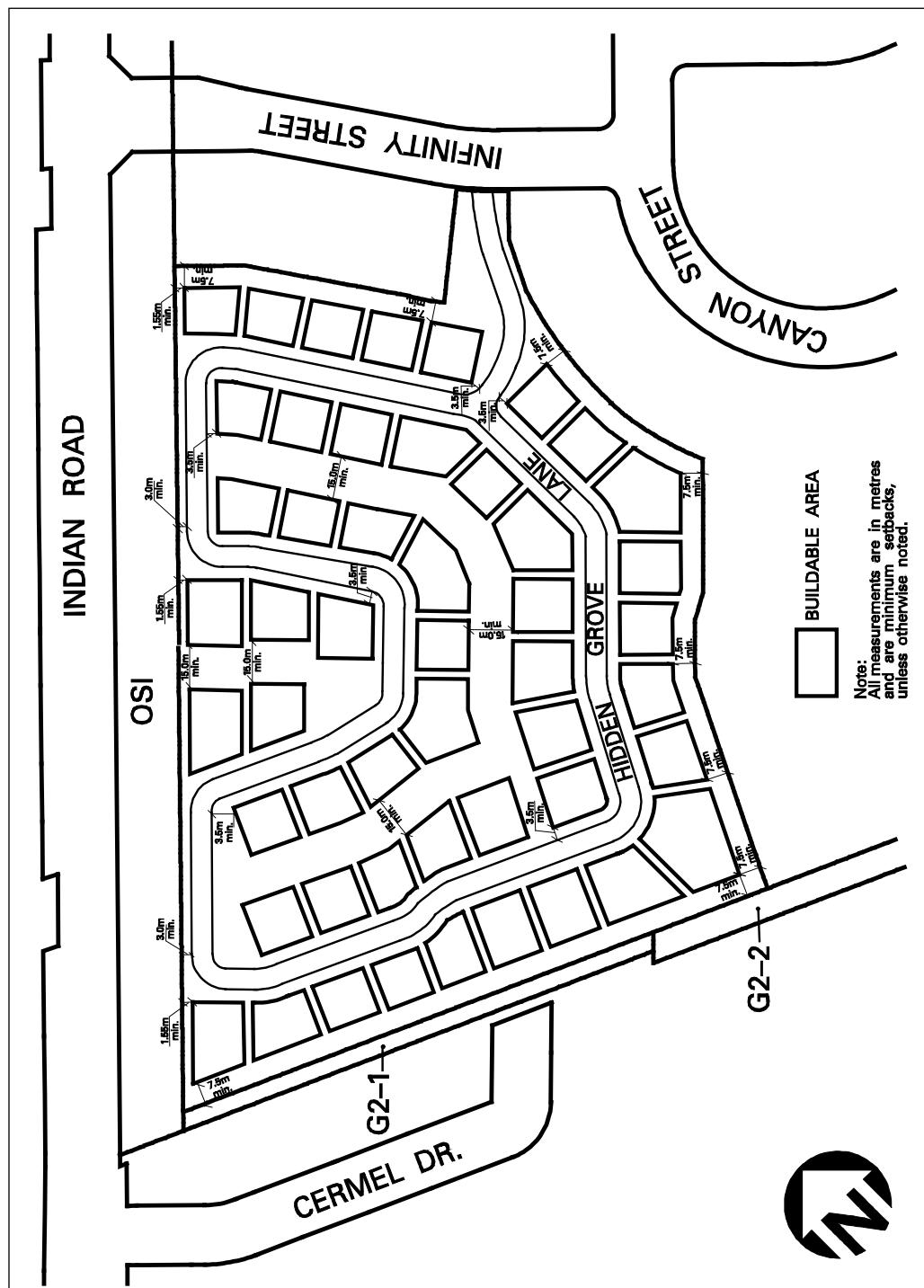
Exception R2-30 continued on next page

4.2.3.30	Exception: R2-30	Map # 08, 09	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15
Exception R2-30 continued from previous page			
4.2.3.30.24	A detached garage shall only be permitted in a rear yard on lots which do not abut lands zoned G2-2, subject to the following:		
(1)	minimum interior side yard on the side of the detached dwelling where the driveway is located	3.0 m	
(2)	minimum interior side yard on the side of the detached dwelling where the mutual driveway is located, where garages on two adjoining lots are located in their respective rear yards and accessed by a mutual driveway crossing the front lot line	2.4 m	
(3)	the garage may be attached to the detached dwelling by a breezeway which shall not be considered a component of the dwelling for the purposes of determining building setbacks		
(4)	minimum exterior side yard	3.0 m	
(5)	maximum garage width: measured from the inside face of the garage side walls	11.0 m	
(6)	maximum garage width: measured from the inside face of the garage side walls, may be increased to 13.2 m, if the garage width in excess of 11.0 m is set back a minimum of 3.0 m from the garage face		
(7)	maximum garage depth: measured from the garage face to the inside face of the rear garage wall	7.5 m	
(8)	minimum slope of a garage roof shall have a ratio of the vertical rise to the horizontal run of at least one in three		
(9)	maximum height - highest ridge : sloped roof - excluding skylights, cupolas, or other ornamental features	6.6 m	
(10)	maximum height of eaves: from established grade to lower edge of the eaves	4.5 m	
(11)	maximum gross floor area	113 m ²	
4.2.3.30.25	Minimum setback of all buildings or structures , decks and swimming pools to a G2 zone		3.0 m

4.2.3.31	Exception: R2-31(1) and R2-31(2)	Map # 08, 09	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15
In a R2-31(1) and R2-31(2) zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.31.1	Maximum number of dwelling units on all lands zoned R2-31(1) and R2-31(2)		69
4.2.3.31.2	Maximum gross floor area - residential per detached dwelling		400 m ²
4.2.3.31.3	Maximum gross floor area - residential , permitted on the second floor of a detached dwelling		60.3 m ²
4.2.3.31.4	Minimum setback to a condominium road		4.5 m
4.2.3.31.5	Minimum detached dwelling separation		3.1 m
4.2.3.31.6	Maximum height - highest ridge on lots which abut or contain a G2-1 or G2-2 zone: sloped roof		10.3 m
4.2.3.31.7	Maximum height - highest ridge on all other lots : sloped roof		9.0 m
4.2.3.31.8	Maximum height : flat roof		7.5 m
4.2.3.31.9	Maximum height of eaves on lots which abut or contain a G2-1 or G2-2 zone: from established grade to lower edge of the eaves		5.8 m
4.2.3.31.10	Maximum height of eaves on all other lots : from established grade to lower edge of the lowest eave		4.5 m
4.2.3.31.11	Height of all buildings and structures shall be measured from established grade		
4.2.3.31.12	Maximum projection of a porch or balcony :		
	(1) outside of the buildable area identified on Schedules R2-31(1) and R2-31(2) of this Exception abutting a front wall of a detached dwelling , which includes a garage face		0.3 m
	(2) outside of the buildable area identified on Schedules R2-31(1) and R2-31(2) of this Exception abutting a side wall of a detached dwelling not containing a garage face , which faces a condominium road		2.0 m
4.2.3.31.13	Maximum projection of window and architectural elements, with or without a foundation, such as, but not limited to, chimneys , media niches, pilasters and corbels:		
	(1) outside of the buildable area identified on Schedules R2-31(1) and R2-31(2) of this Exception abutting a side wall of a detached dwelling		0.6 m
	(2) outside of the buildable area identified on Schedules R2-31(1) and R2-31(2) of this Exception abutting a front wall of a detached dwelling , which includes a garage face		1.0 m
	(3) outside of the buildable area identified on Schedules R2-31(1) and R2-31(2) of this Exception abutting a side wall of a detached dwelling not containing a garage face , which faces a condominium road		1.0 m
	(4) outside of the buildable area identified on Schedules R2-31(1) and R2-31(2) of this Exception abutting a rear wall of a detached dwelling		1.0 m

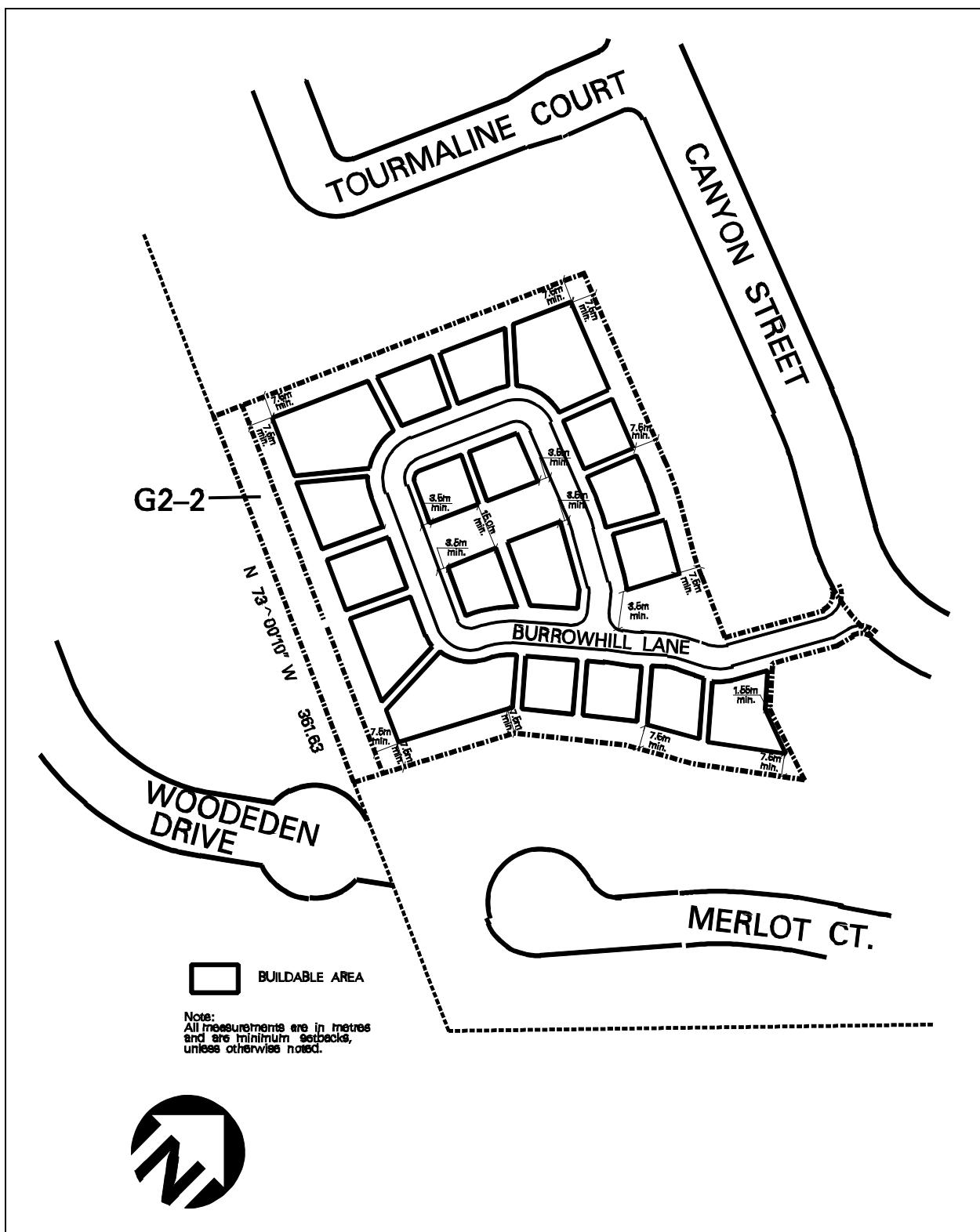
Exception R2-31(1) and R2-31(2) continued on next page

4.2.3.31	Exception: R2-31(1) and R2-31(2)	Map # 08, 09	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15
Exception R2-31(1) and R2-31(2) continued from previous page			
4.2.3.31.14	A detached garage shall not be permitted		
4.2.3.31.15	Minimum setback to garage face from a condominium road	5.5 m	
4.2.3.31.16	Maximum projection of a garage face beyond any portion of the first floor front wall or exterior side wall of a detached dwelling	0.0 m	
4.2.3.31.17	Maximum setback of the first floor front wall or exterior side wall of a detached dwelling from the garage face , where a main entry feature is provided	2.5 m	
4.2.3.31.18	Maximum garage width: measured from the inside face of the garage side walls	8.0 m	
4.2.3.31.19	All site development plans shall comply with Schedules R2-31(1) and R2-31(2) of this Exception		



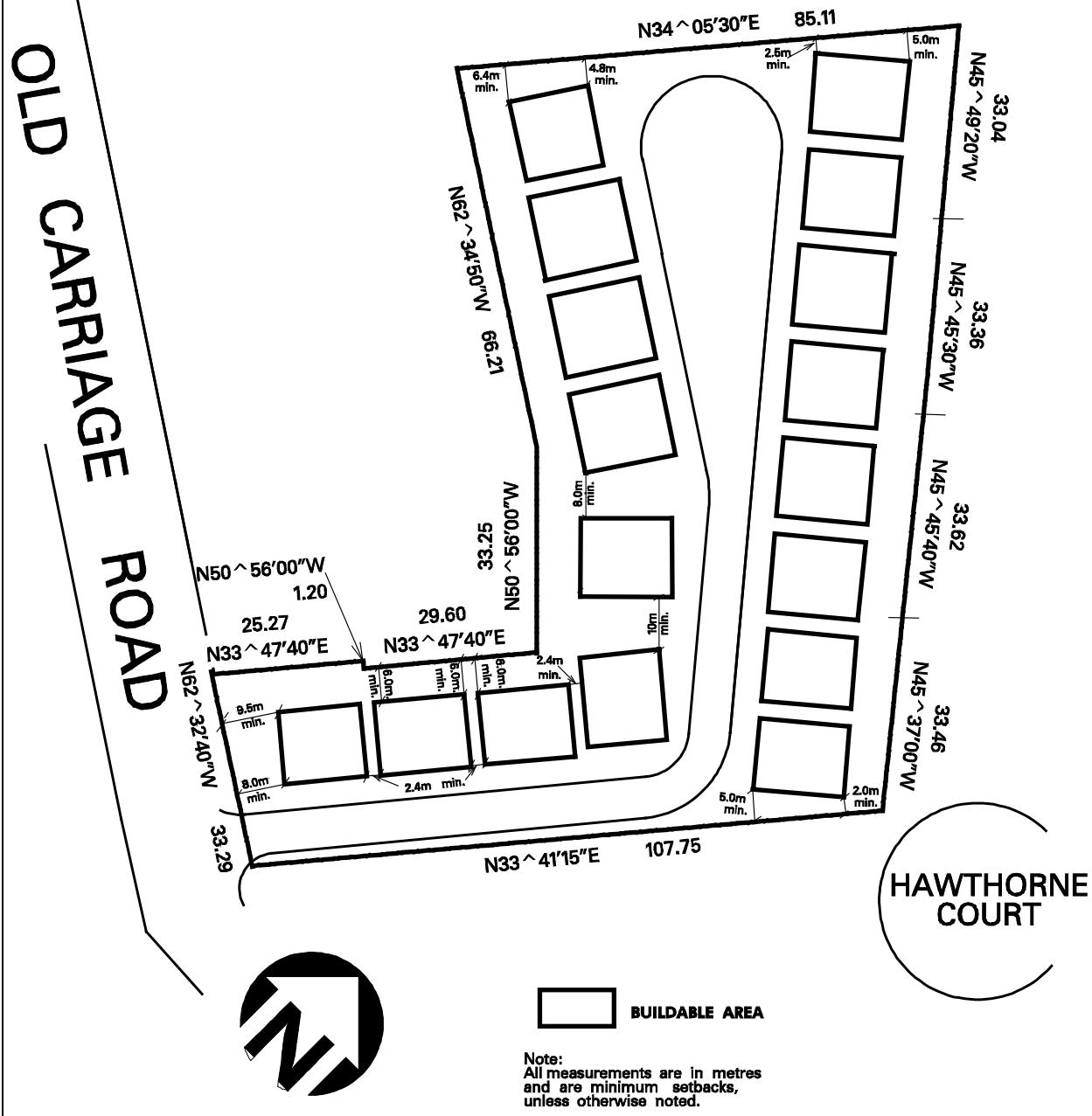
Schedule R2-31(1)

Maps 08 and 09



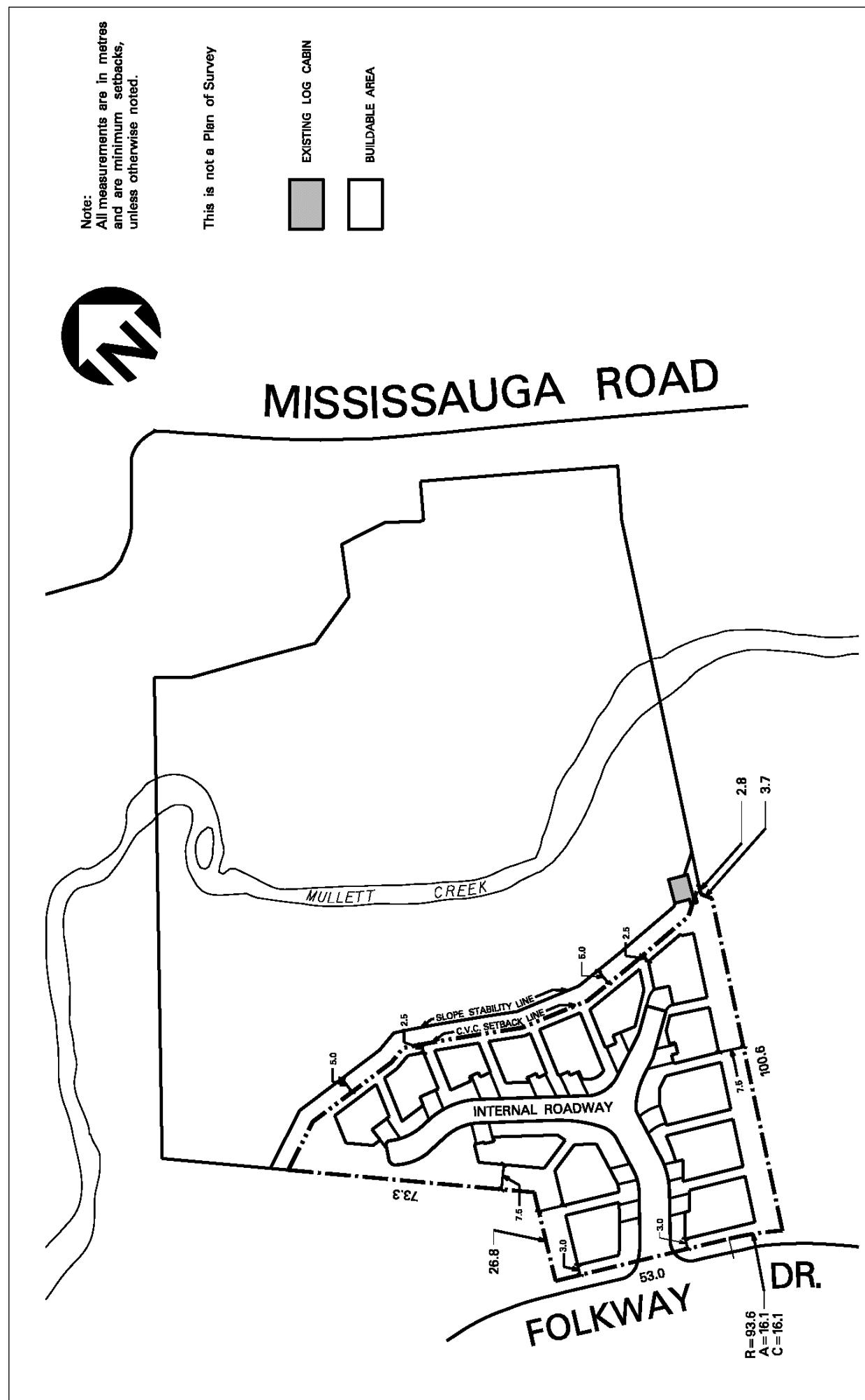
Schedule R2-31(2)
Map 09

4.2.3.32	Exception: R2-32	Map # 16	By-law: 0181-2018/LPAT Order 2019 February 15
In a R2-32 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.32.1	Maximum number of dwelling units on all lands zoned R2-32	17	
4.2.3.32.2	Maximum gross floor area - residential per detached dwelling	275 m ²	
4.2.3.32.3	Maximum gross floor area - residential , permitted on the second storey of a detached dwelling	75 m ²	
4.2.3.32.4	Minimum setback to a condominium road	4.5 m	
4.2.3.32.5	Minimum setback to any lot line	7.5 m	
4.2.3.32.6	Minimum detached dwelling separation	3.0 m	
4.2.3.32.7	Maximum height - highest ridge: sloped roof	8.0 m	
4.3.2.32.8	Maximum height: flat roof	4.5 m	
4.3.2.32.9	Height of all buildings and structures shall be measured from established grade		
4.3.2.32.10	Maximum projection of a porch outside of the buildable area identified on Schedule R2-32 of this Exception	2.0 m	
4.3.2.32.11	Maximum projection of a deck , outside of the buildable area identified on Schedule R2-32 of this Exception, abutting the rear wall of a detached dwelling	3.8 m	
4.3.2.32.12	Maximum projection of window and architectural elements, with or without a foundation, such as, but not limited to, chimneys , pilasters, corbels, and awnings outside of the buildable area identified on Schedule R2-32 of this Exception	0.6 m	
4.3.2.32.13	Minimum setback to garage face from a condominium road	6.0 m	
4.3.2.32.14	Minimum number of parking spaces per dwelling unit	4	
4.3.2.32.15	All site development plans shall comply with Schedule R2-32 of this Exception		



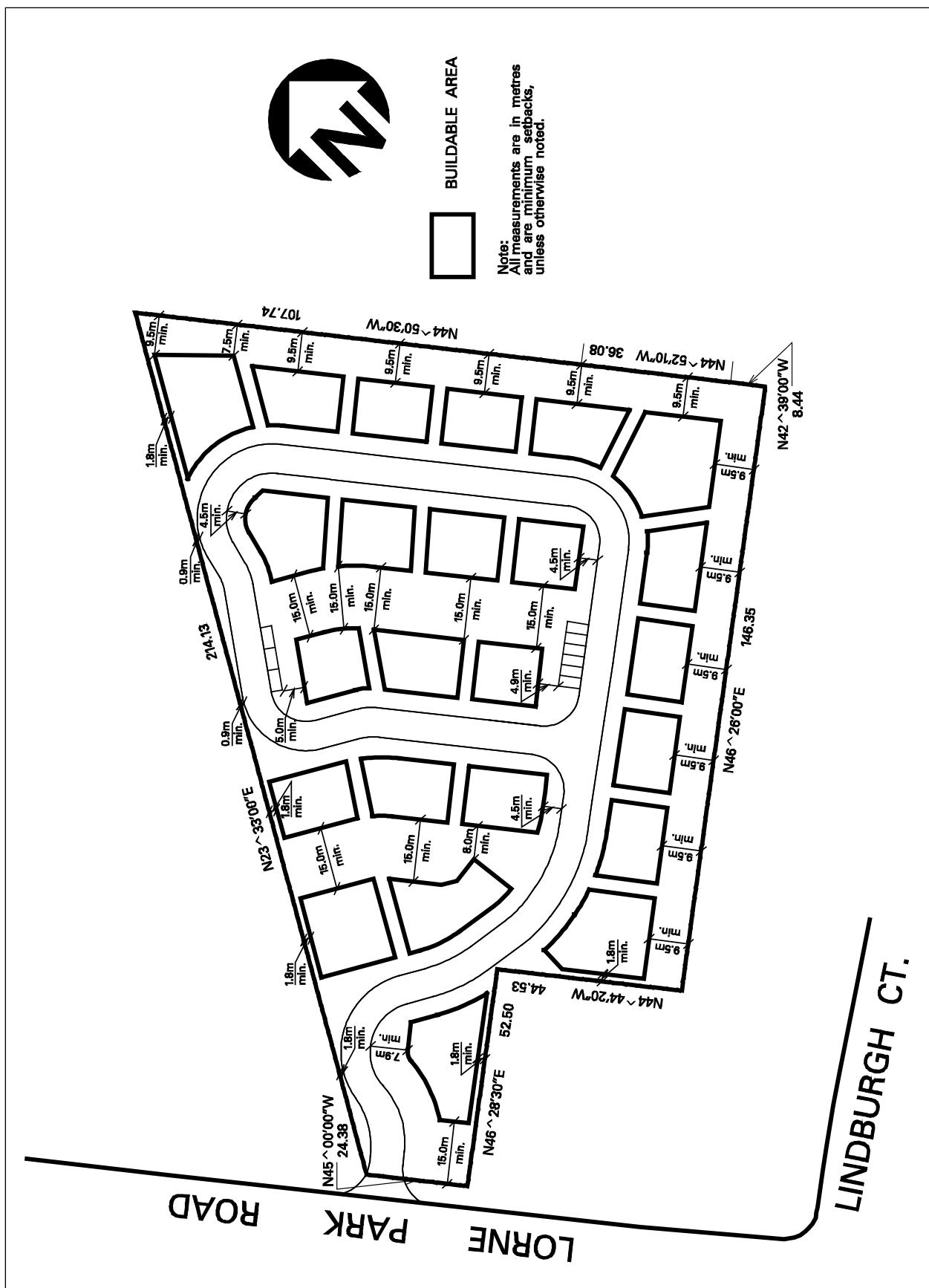
Schedule R2-32
Map 16

4.2.3.33	Exception: R2-33	Map # 31	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a R2-33 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.33.1	Maximum number of dwelling units on all lands zoned R2-33	14	
4.2.3.33.2	Maximum coverage of a detached dwelling within each buildable area identified on Schedule R2-33 of this Exception	288 m ²	
4.2.3.33.3	Maximum gross floor area - residential per detached dwelling	372 m ²	
4.2.3.33.4	Minimum setback to a condominium road	4.5 m	
4.2.3.33.5	Minimum detached dwelling separation	3.0 m	
4.2.3.33.6	Minimum setback between a detached dwelling and the CVC Setback Line identified on Schedule R2-33 of this Exception	2.5 m	
4.2.3.33.7	Minimum setback between a detached dwelling and the Slope Stability Line identified on Schedule R2-33 of this Exception	7.5 m	
4.2.3.33.8	Minimum setback from a garage face to a condominium road	6.0 m	
4.2.3.33.9	Maximum height - highest ridge: sloped roof	9.5 m	
4.2.3.33.10	Height of all buildings and structures shall be measured from established grade		
4.2.3.33.11	Minimum number of parking spaces per dwelling unit	4	
4.2.3.33.12	Minimum number of visitor parking spaces	10	
4.2.3.33.13	Maximum driveway width	8.5 m	
4.2.3.33.14	All site development plans shall comply with Schedule R2-33 of this Exception		
Holding Provision			
<p>The holding symbol H is to be removed from the whole or any part of the lands zoned H-R2-33 by further amendment to Map 31 of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements:</p> <ul style="list-style-type: none"> (1) arrangements being made to the satisfaction of the City of Mississauga Planning and Building Department for additional visitor parking on the west block of lands abutting Folkway Drive; (2) arrangements being made to the satisfaction of the City of Mississauga Planning and Building Department and the Community Services Department for a pathway in the Mullett Creek watershed to allow for pedestrian linkage to the north and south of the site with the applicant to bear the responsibility for construction, including all associated costs thereof; (3) that the applicant has fulfilled all other requirements of the City, including the lease agreement, and requirements of any other official agency concerned with the development. 			



Schedule R2-33
Map 31

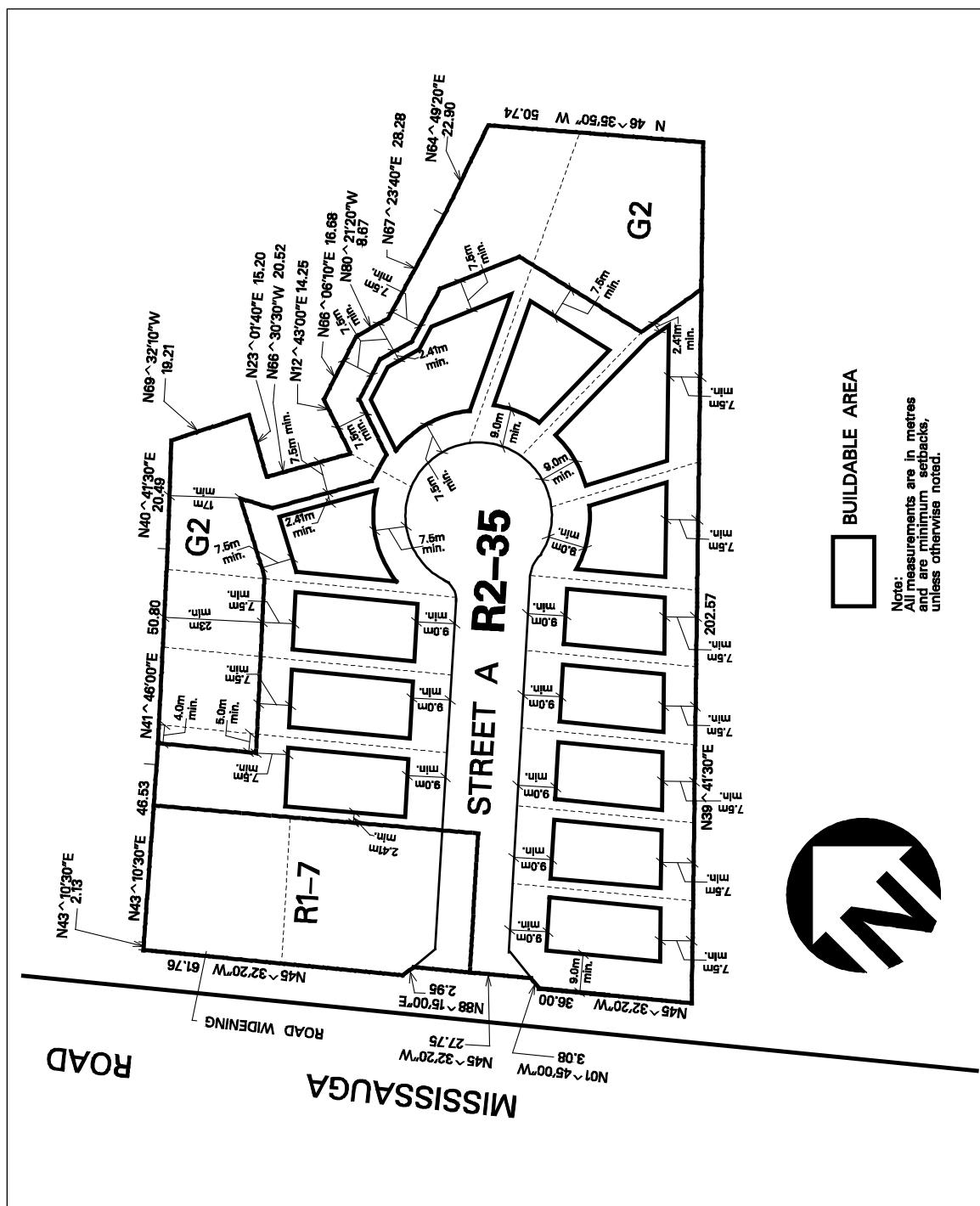
4.2.3.34	Exception: R2-34	Map # 09	By-law: 0181-2018/LPAT Order 2019 February 15
In a R2-34 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.34.1	Maximum number of dwelling units on all lands zoned R2-34	24	
4.2.3.34.2	Maximum coverage of a detached dwelling within each buildable area identified on Schedule R2-34 of this Exception	195 m ²	
4.2.3.34.3	Maximum gross floor area - residential per detached dwelling	260 m ²	
4.2.3.34.4	Maximum gross floor area - residential , permitted on the second storey of a detached dwelling	65 m ²	
4.2.3.34.5	Minimum setback to a condominium road	4.5 m	
4.2.3.34.6	Minimum detached dwelling separation	3.6 m	
4.2.3.34.7	Minimum setback from a garage face to a condominium road	6.0 m	
4.2.3.34.8	Maximum height - highest ridge: sloped roof	7.5 m	
4.2.3.34.9	Height of all buildings and structures shall be measured from established grade		
4.2.3.34.10	Minimum number of parking spaces per dwelling unit	4	
4.2.3.34.11	Maximum driveway width	8.5 m	
4.2.3.34.12	Minimum number of visitor parking spaces	9	
4.2.3.34.13	All site development plans shall comply with Schedule R2-34 of this Exception		



Schedule R2-34
Map 09

Part 4 - Residential Zones

4.2.3.35	Exception: R2-35	Map # 24	By-law:
In a R2-35 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.35.1	Minimum lot area	730 m ²	
4.2.3.35.2	Minimum lot frontage	18.3 m	
4.2.3.35.3	Minimum interior side yard	1.8 m + 0.61 m for each additional storey or portion thereof above one (1) storey	
4.2.3.35.4	Accessory buildings and structures shall only be located in a rear yard		
4.2.3.35.5	Porches and decks shall be located within the buildable area identified on Schedule R2-35 of this Exception		
4.2.3.35.6	All site development plans shall comply with Schedule R2-35 of this Exception		



Schedule R2-35
Map 24

Part 4 - Residential Zones

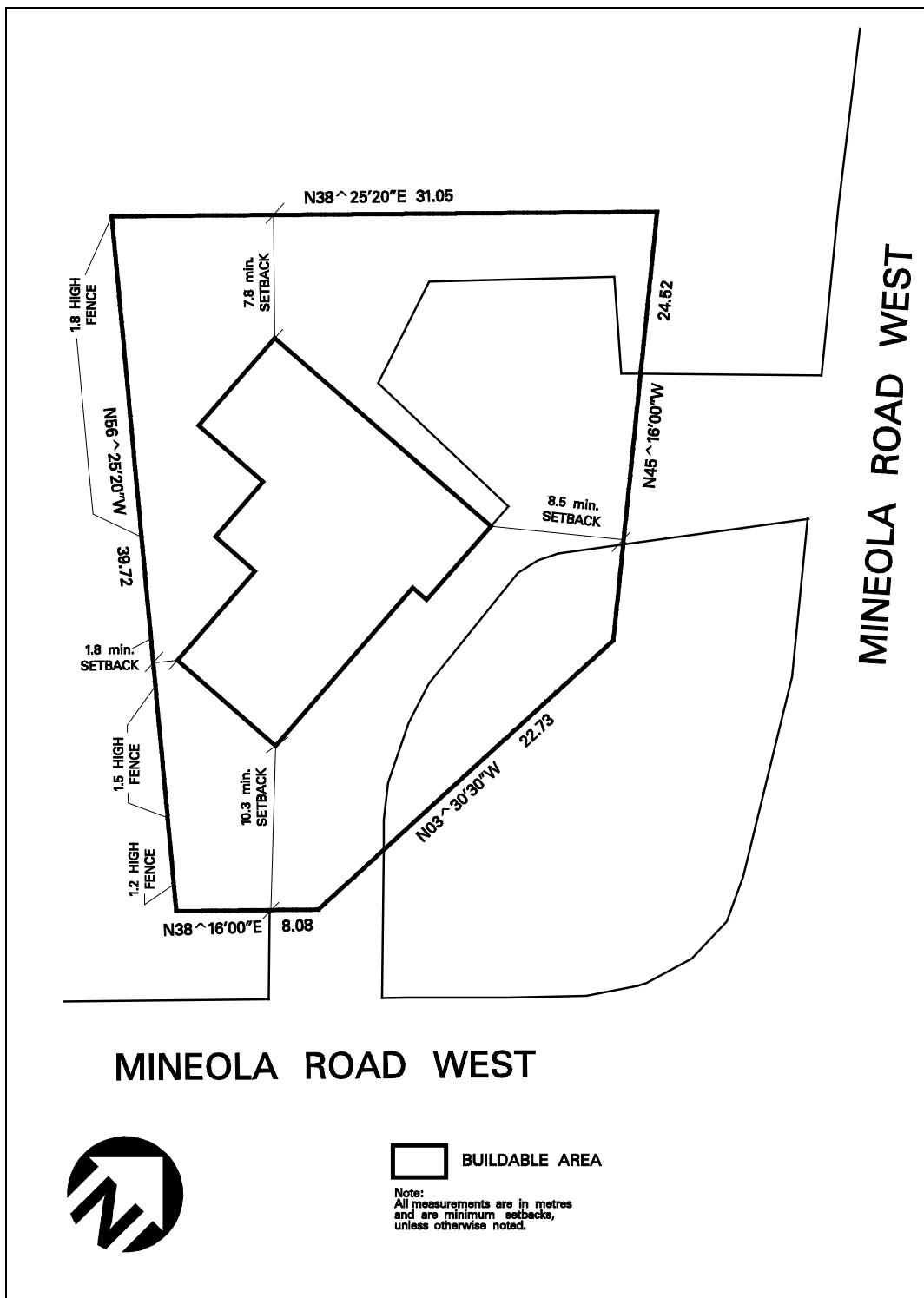
4.2.3.36	Exception: R2-36	Map # 31	By-law:
In a R2-36 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.36.1	Minimum lot area - interior lot		600 m ²
4.2.3.36.2	Minimum lot area - corner lot		700 m ²
4.2.3.36.3	Maximum lot coverage		43%
4.2.3.36.4	Minimum front yard		6.5 m
4.2.3.36.5	Minimum exterior side yard		4.5 m
4.2.3.36.6	Minimum interior side yard - interior lot		1.2 m on one side and 0.61 m on the other side
4.2.3.36.7	Minimum interior side yard - corner lot		1.2 m

4.2.3.37	Exception: R2-37	Map # 31	By-law:
In a R2-37 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.37.1	Minimum interior side yard - detached dwelling	2.4 m	
4.2.3.37.2	Minimum interior side yard - attached garage	1.8 m	
4.2.3.37.3	Minimum rear yard - interior lot	16.0 m	
4.2.3.37.4	Minimum setback of all buildings and structures and swimming pools to the rear lot line	16.0 m	

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4.2.3.38	Exception: R2-38	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30
In a R2-38 zone the applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.3.38.1 Lands zoned R2-38 shall only be used for the following:			
<ul style="list-style-type: none"> (1) Detached Dwelling or (2) Office (3) Medical Office - Restricted 			
Regulations			
4.2.3.38.2	Minimum lot frontage - interior lot		22.5 m
4.2.3.38.3	Maximum height - highest ridge of a detached dwelling: sloped roof		9.5 m
4.2.3.38.4	Maximum height of a detached dwelling: flat roof		7.5 m
4.2.3.38.5	Maximum height of eaves of a detached dwelling: from average grade to lower edge of eaves		6.4 m
4.2.3.38.6	Maximum dwelling unit depth		20.0 m
4.2.3.38.7	An office and medical office - restricted shall comply with the R2 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	<ul style="list-style-type: none"> (1) minimum lot frontage - interior lot (2) maximum gross floor area - non-residential 		<ul style="list-style-type: none"> 22.5 m 131 m²

4.2.3.39	Exception: R2-39	Map # 08	By-law:
In a R2-39 zone the applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.3.39.1 Lands zoned R2-39 shall only be used for the following:			
<ul style="list-style-type: none"> (1) Detached Dwelling or (2) Office (3) Medical Office - Restricted 			
Regulations			
4.2.3.39.2	An office and medical office - restricted shall comply with the R2 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	<ul style="list-style-type: none"> (1) maximum gross floor area - non-residential (2) all site development plans shall comply with Schedule R2-39 of this Exception 		<ul style="list-style-type: none"> 195 m²



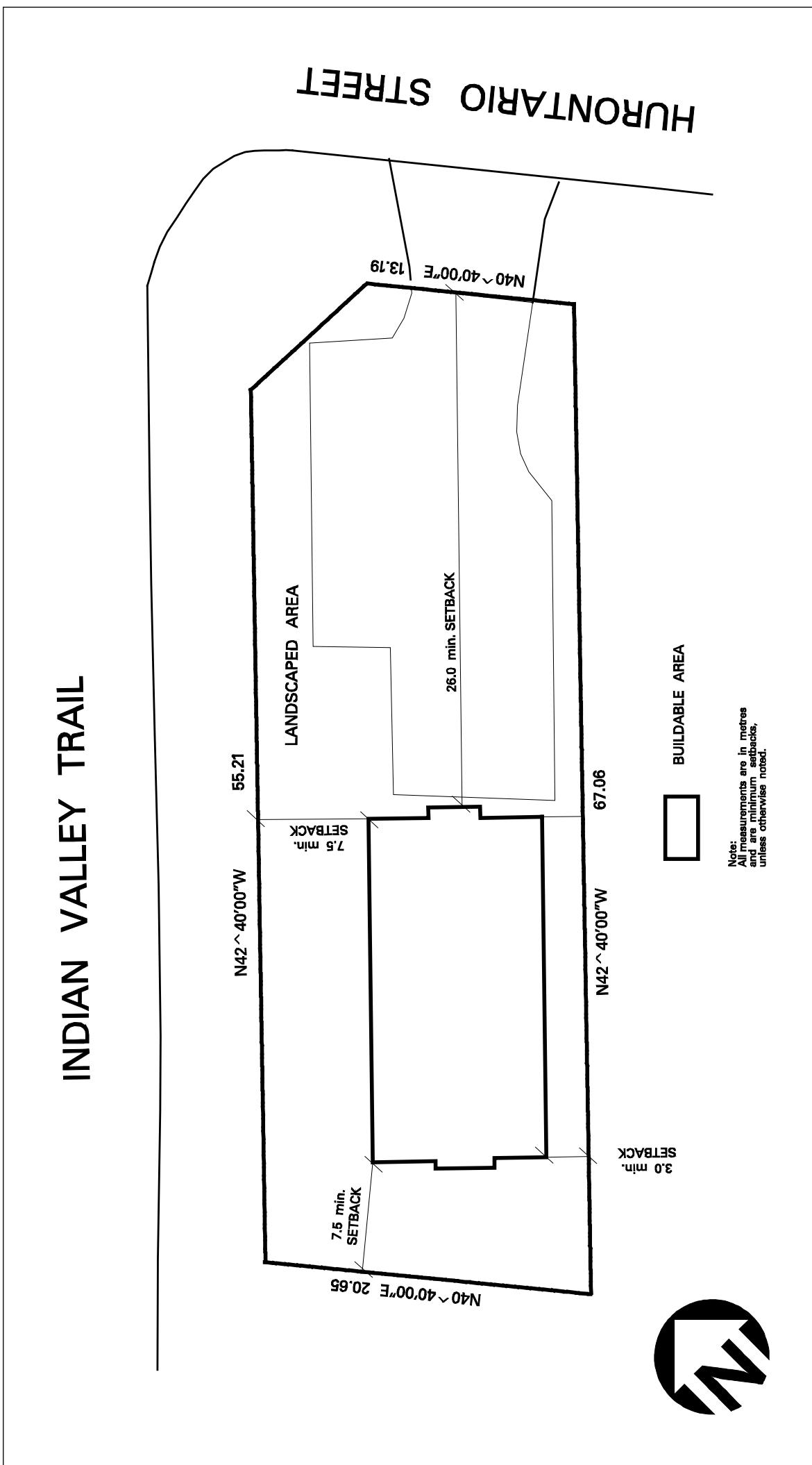
Schedule R2-39
Map 08

Part 4 - Residential Zones

4.2.3.40	Exception: R2-40	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30
In a R2-40 zone the applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.3.40.1 Lands zoned R2-40 shall only be used for the following: (1) Detached Dwelling or (2) Office (3) Medical Office - Restricted			
Regulations			
4.2.3.40.2	Minimum lot frontage - interior lot	30.0 m	
4.2.3.40.3	Maximum height - highest ridge of a detached dwelling: sloped roof	9.5 m	
4.2.3.40.4	Maximum height of a detached dwelling: flat roof	7.5 m	
4.2.3.40.5	Maximum height of eaves of a detached dwelling: from average grade to lower edge of eaves	6.4 m	
4.2.3.40.6	Maximum dwelling unit depth	20.0 m	
4.2.3.40.7	An office and medical office - restricted shall comply with the R2 zone regulations contained in Subsection 4.2.1 of this By-law except that: (1) minimum lot frontage - interior lot (2) maximum gross floor area - non-residential (3) maximum number of parking spaces that may be tandem parking spaces	30.0 m 465 m ² 2	

4.2.3.41	Exception: R2-41	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30
In a R2-41 zone the applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.3.41.1 Lands zoned R2-41 shall only be used for the following:			
<ul style="list-style-type: none"> (1) Detached Dwelling or (2) Office (3) Medical Office - Restricted 			
Regulations			
4.2.3.41.2	Minimum lot frontage - interior lot	30.0 m	
4.2.3.41.3	Maximum height - highest ridge of a detached dwelling: sloped roof	9.5 m	
4.2.3.41.4	Maximum height of a detached dwelling: flat roof	7.5 m	
4.2.3.41.5	Maximum height of eaves of a detached dwelling: from average grade to lower edge of eaves	6.4 m	
4.2.3.41.6	Maximum dwelling unit depth	20.0 m	
4.2.3.41.7	An office and medical office -restricted shall comply with the R2 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum lot frontage - interior lot	30.0 m	
	(2) maximum gross floor area - non-residential	225 m ²	
	(3) maximum number of parking spaces that may be tandem parking spaces	2	
	(4) minimum aisle width	4.0 m	

4.2.3.42	Exception: R2-42	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30
In a R2-42 zone the applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.3.42.1 Lands zoned R2-42 shall only be used for the following:			
<ul style="list-style-type: none"> (1) Detached Dwelling or (2) Office (3) Medical Office - Restricted 			
Regulations			
4.2.3.42.2	Minimum lot frontage - corner lot	20.0 m	
4.2.3.42.3	Maximum height - highest ridge of a detached dwelling: sloped roof	9.5 m	
4.2.3.42.4	Maximum height of a detached dwelling: flat roof	7.5 m	
4.2.3.42.5	Maximum height of eaves of a detached dwelling: from average grade to lower edge of eaves	6.4 m	
4.2.3.42.6	Maximum dwelling unit depth	20.0 m	
4.2.3.42.7	An office and medical office - restricted shall comply with the R2 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum lot frontage - corner lot	20.0 m	
	(2) maximum gross floor area - non-residential	420 m ²	
	(3) maximum number of parking spaces that may be tandem parking spaces	4	
	(4) all site development plans shall comply with Schedule R2-42 of this Exception		



Schedule R2-42
Map 08

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4.2.3.43	Exception: R2-43	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30
In a R2-43 zone the applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.3.43.1 Lands zoned R2-43 shall only be used for the following:			
<ul style="list-style-type: none"> (1) Detached Dwelling or (2) Office (3) Medical Office - Restricted 			
Regulations			
4.2.3.43.2	Minimum lot frontage - interior lot	30.0 m	
4.2.3.43.3	Maximum height - highest ridge of a detached dwelling: sloped roof	9.5 m	
4.2.3.43.4	Maximum height of a detached dwelling: flat roof	7.5 m	
4.2.3.43.5	Maximum height of eaves of a detached dwelling: from average grade to lower edge of eaves	6.4 m	
4.2.3.43.6	Maximum dwelling unit depth	20.0 m	
4.2.3.43.7	An office and medical office - restricted shall comply with the R2 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum lot frontage - interior lot	30.0 m	
	(2) maximum gross floor area - non-residential	180 m ²	

4.2.3.44	Exception: R2-44	Map # 08	By-law: 0193-2016/ OMB Order 2017 May 30
In a R2-44 zone the applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.3.44.1 Lands zoned R2-44 shall only be used for the following:			
<ul style="list-style-type: none"> (1) Detached Dwelling or (2) Office (3) Medical Office - Restricted 			
Regulations			
4.2.3.44.2	Minimum lot frontage - interior lot	30.0 m	
4.2.3.44.3	Maximum height - highest ridge of a detached dwelling: sloped roof	9.5 m	
4.2.3.44.4	Maximum height of a detached dwelling: flat roof	7.5 m	
4.2.3.44.5	Maximum height of eaves of a detached dwelling: from average grade to lower edge of eaves	6.4 m	
4.2.3.44.6	Maximum dwelling unit depth	20.0 m	
4.2.3.44.7	An office and medical office - restricted shall comply with the R2 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum lot frontage - interior lot	30.0 m	
	(2) maximum total gross floor area - non-residential	420 m ²	
	(3) minimum rear yard for an office and medical office - restricted	12.0 m	

Part 4 - Residential Zones

4.2.3.45	Exception: R2-45	Map # 44W	By-law:
In a R2-45 zone the applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.3.45.1 Lands zoned R2-45 shall only be used for the following:			
<ul style="list-style-type: none"> (1) Detached Dwelling or (2) Restaurant (3) Office (4) Medical Office - Restricted (5) Day Care 			
Regulations			
4.2.3.45.2 A restaurant, office, medical office - restricted and day care shall comply with the R2 zone regulations contained in Subsection 4.2.1 of this By-law except that:			
<ul style="list-style-type: none"> (1) a restaurant, office and medical office - restricted shall be contained within the existing detached dwelling, being the Brown-Vooro house, and its existing accessory structure (2) a day care shall only be permitted within the existing detached dwelling, being the Brown-Vooro house (3) notwithstanding Clauses 4.2.3.45.2(1) and (2) of this Exception, the gross floor area - non-residential existing at the time of passing of this By-law may be increased by a maximum of 3 m² 			
4.2.3.45.3 Play equipment accessory to a day care may be located in a front yard			

4.2.3.46	Exception: R2-46	Map # 08	By-law: 0193-2016/ OMB Order 2018 February 15															
In a R2-46 zone the applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:																		
Permitted Uses																		
4.2.3.46.1 Lands zoned R2-46 shall only be used for the following:																		
<ul style="list-style-type: none"> (1) Detached Dwelling or (2) Office (3) Medical Office - Restricted 																		
Regulations																		
4.2.3.46.2 An office and medical office - restricted shall comply with the R2 zone regulations contained in Subsection 4.2.1 of this By-law except that:																		
<table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 25%;">(1)</td> <td style="width: 50%;">maximum gross floor area - non-residential</td> <td style="width: 25%; text-align: right;">200 m²</td> </tr> <tr> <td>(2)</td> <td>minimum front yard - interior lot</td> <td style="text-align: right;">7.0 m</td> </tr> <tr> <td>(3)</td> <td>minimum interior side yard - interior lot</td> <td style="text-align: right;">2.5 m</td> </tr> <tr> <td>(4)</td> <td>minimum rear yard - interior lot</td> <td style="text-align: right;">61.8 m</td> </tr> <tr> <td>(5)</td> <td>minimum number of parking spaces per 100 m² of gross floor area - non-residential used for an office</td> <td style="text-align: right;">4</td> </tr> </table>				(1)	maximum gross floor area - non-residential	200 m ²	(2)	minimum front yard - interior lot	7.0 m	(3)	minimum interior side yard - interior lot	2.5 m	(4)	minimum rear yard - interior lot	61.8 m	(5)	minimum number of parking spaces per 100 m² of gross floor area - non-residential used for an office	4
(1)	maximum gross floor area - non-residential	200 m ²																
(2)	minimum front yard - interior lot	7.0 m																
(3)	minimum interior side yard - interior lot	2.5 m																
(4)	minimum rear yard - interior lot	61.8 m																
(5)	minimum number of parking spaces per 100 m² of gross floor area - non-residential used for an office	4																

4.2.3.47	Exception: R2-47	Map # 08	By-law:
In a R2-47 zone the applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.3.47.1 Lands zoned R2-47 shall only be used for the following:			
<ul style="list-style-type: none"> (1) Detached Dwelling or (2) Veterinary clinic in a detached dwelling (3) Office in a detached dwelling (4) Medical office - restricted in a detached dwelling 			
Regulations			
4.2.3.47.2 A veterinary clinic, office, medical office - restricted or any combination thereof within a detached dwelling shall comply with the R2 zone regulations contained in Subsection 4.2.1 of this By-law except that:			
<ul style="list-style-type: none"> (1) a veterinary clinic, office, medical office - restricted or any combination thereof, shall be contained within the existing detached dwelling (2) minimum lot frontage - interior lot 30.0 m (3) maximum total gross floor area 460 m² (4) maximum gross floor area - non-residential used for a veterinary clinic, office, medical office - restricted or any combination thereof 250 m² (5) minimum front yard - interior lot 9.0 m (6) minimum interior side yard - interior lot 3.5 m (7) minimum rear yard - interior lot 7.5 m (8) maximum height - highest ridge: sloped roof 9.5 m (9) maximum height: flat roof 7.5 m (10) maximum height of eaves: from average grade to lower edge of the eaves 6.4 m (11) parking shall only be permitted in the front yard (12) minimum setback of the parking to the front lot line 4.5 m (13) maximum number of parking spaces 10 			

Part 4 - Residential Zones

4.2.3.48	Exception: R2-48	Map # 31	By-law:
In a R2-48 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.48.1	Minimum lot area - interior lot	610 m ²	
4.2.3.48.2	Minimum lot area - corner lot	760 m ²	
4.2.3.48.3	Minimum lot frontage - interior lot that abuts a G1 zone	17.0 m	
4.2.3.48.4	Minimum lot frontage - corner lot that abuts a G1 zone	20.0 m	
4.2.3.48.5	Minimum front yard	7.5 m	
4.2.3.48.6	Minimum exterior side yard	6.0 m	
4.2.3.48.7	Minimum interior side yard	1.2 m + 0.61 m for each additional storey or portion thereof above one storey	

4.2.3.49	Exception: R2-49	Map # 25	By-law:
In a R2-49 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.49.1	The regulations of Line 4.1 contained in Table 4.2.1 of this By-law shall not apply		
4.2.3.49.2	Access to all lots shall be via a common frontage on Council Ring Road		

4.2.3.50	Exception: R2-50	Map # 38W, 39E, 45W	By-law: 0380-2009/OMB Order 2010 September 13, 0308-2011, 0181-2018/LPAT Order 2019 February 15
In a R2-50 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.3.50.1	Maximum lot coverage	25%	
4.2.3.50.2	Maximum gross floor area - infill residential	150 m ² plus 0.2 times the lot area	
4.2.3.50.3	Minimum front yard	7.5 m	
4.2.3.50.4	Minimum interior side yard	1.2 m + 0.61 m for each additional storey or portion thereof above one storey	
4.2.3.50.5	Minimum setback to garage face - interior lot	7.5 m	
4.2.3.50.6	Maximum height - highest ridge: sloped roof	9.0 m	
4.2.3.50.7	Maximum height: flat roof	7.5 m	
4.2.3.50.8	Maximum height of eaves: from average grade to lower edge of the eaves	6.4 m	

Exception R2-50 continued on next page

4.2.3.50	Exception: R2-50	Map # 38W, 39E, 45W	By-law: 0380-2009/OMB Order 2010 September 13, 0308-2011, 0181-2018/LPAT Order 2019 February 15
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Exception R2-50 continued from previous page

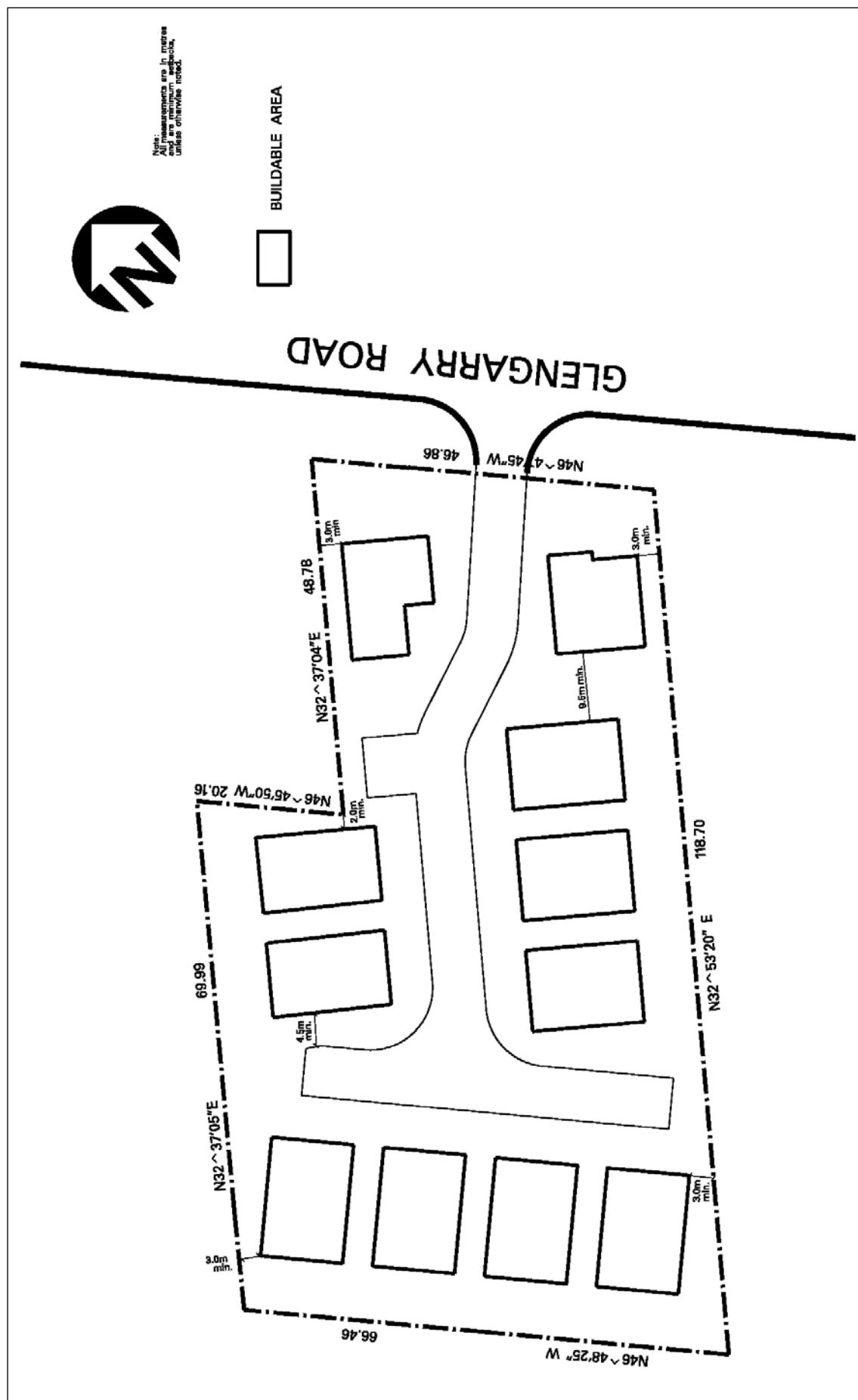
4.2.3.50.9	Garage projection: maximum projection of the garage beyond the front wall or exterior side wall of the first storey	2.0 m
4.2.3.50.10	Maximum dwelling unit depth	20.0 m

4.2.3.51	Exception: R2-51	Map # 16	By-law: 0206-2008, 0181-2018/LPAT Order 2019 February 15
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In a R2-51 zone the permitted **uses** and applicable regulations shall be as specified for a R2 zone except that the following **uses/regulations** shall apply:

Regulations

4.2.3.51.1	Maximum number of dwelling units on all lands zoned R2-51	11
4.2.3.51.2	Maximum gross floor area - residential per detached dwelling	297 m ²
4.2.3.51.3	Minimum interior side yard unless otherwise identified on Schedule R2-51 of this Exception	7.5 m
4.2.3.51.4	Minimum setback of a detached dwelling to a condominium road or sidewalk unless otherwise identified on Schedule R2-51 of this Exception	3.3 m
4.2.3.51.5	Minimum setback from a garage face to a condominium road	6.0 m
4.2.3.51.6	Minimum detached dwelling separation unless otherwise identified on Schedule R2-51 of this Exception	4.0 m
4.2.3.51.7	Maximum projection of a porch , inclusive of stairs, outside of the buildable area identified on Schedule R2-51 of this Exception	1.8 m
4.2.3.51.8	Maximum projection of a deck outside of the buildable area identified on Schedule R2-51 of this Exception	1.8 m
4.2.3.51.9	Maximum projection of an awning, window projection, chimney , pilaster or corbel outside of the buildable area identified on Schedule R2-51 of this Exception	0.6 m
4.2.3.51.10	Height of all buildings and structures shall be measured from established grade	
4.2.3.51.11	All site development plans shall comply with Schedule R2-51 of this Exception	



Schedule R2-51
Map 16

Part 4 - Residential Zones

4.2.3.52	Exception: R2-52	Map # 08	By-law: 0166-2015, 0111-2019/LPAT Order 2021 March 09
In a R2-52 zone the applicable regulations shall be as specified for a R2 zone except that the following uses /regulations shall apply:			
Permitted Uses			
4.2.3.52.1 Lands zoned R2-52 shall only be used for the following:			
(1) Detached Dwelling or (2) Office with one dwelling unit			
Use Not Permitted			
4.2.3.52.2	(1) <i>deleted</i>		
Regulations			
4.2.3.52.3	Minimum lot frontage - interior lot	30.0 m	
4.2.3.52.4	Maximum gross floor area	467 m ²	
4.2.3.52.5	Maximum gross floor area - non-residential	365 m ²	
4.2.3.52.6	Minimum interior side yard - interior lot	1.2 m + 0.61 m for each additional storey , or portion thereof above one storey	
4.2.3.52.7	Minimum depth of a landscaped buffer measured from a lot line that is a street line	7.5 m	

4.2.3.53	Exception: R2-53	Map # 44W	By-law: 0199-2010, 0308-2011
In a R2-53 zone the permitted uses and applicable regulations shall be as specified for a R2 zone except that the following uses /regulations shall apply:			
Regulations			
4.2.3.53.1	Minimum lot area - interior lot	660 m ²	
4.2.3.53.2	Minimum lot area - corner lot	730 m ²	
4.2.3.53.3	Minimum exterior side yard	7.0 m	
4.2.3.53.4	Maximum projection of the garage beyond any portion of the front wall or exterior side wall of the first storey	0.0 m	

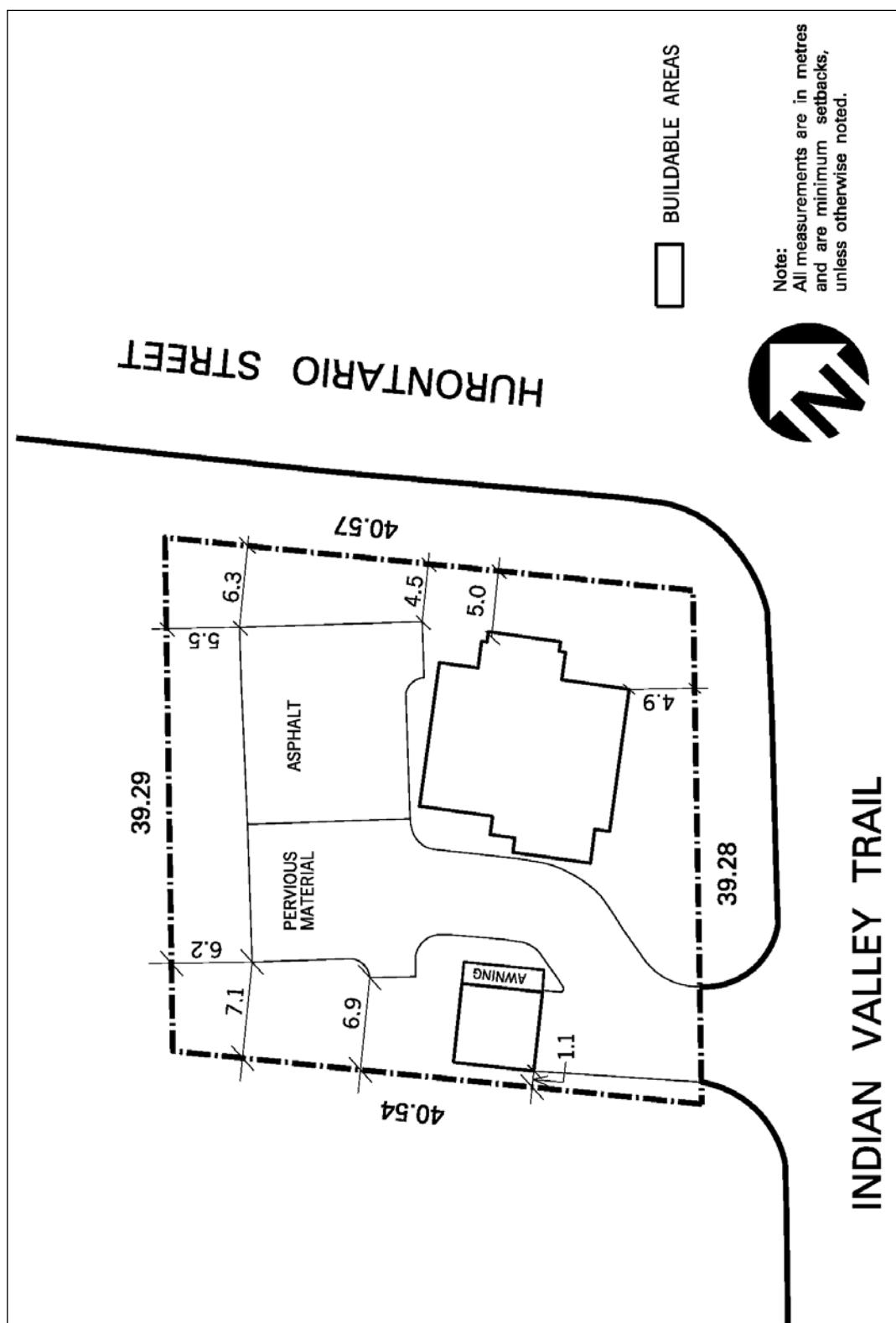
4.2.3.54	Exception: R2-54	Map # 39E	By-law: 0380-2009/OMB Order 2010 October 13, 0308-2011, 0181-2018/LPAT Order 2019 February 15
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In a R2-54 zone the permitted **uses** and applicable regulations shall be as specified for a R2 zone except that the following **uses/regulations** shall apply:

Regulations

4.2.3.54.1	Maximum lot coverage	30%
4.2.3.54.2	Maximum gross floor area - infill residential	190 m ² plus 0.2 times the lot area
4.2.3.54.3	Minimum front yard	7.5 m
4.2.3.54.4	Minimum interior side yard	1.2 m + 0.61 m for each additional storey or portion thereof above one storey
4.2.3.54.5	Minimum setback to garage face - interior lot	7.5 m
4.2.3.54.6	Maximum height - highest ridge: sloped roof	9.0 m
4.2.3.54.7	Maximum height: flat roof	7.5 m
4.2.3.54.8	Maximum height of eaves: from average grade to lower edge of the eaves	6.4 m
4.2.3.54.9	Garage projection: maximum projection of the garage beyond the front wall or exterior side wall of the first storey	2.0 m
4.2.3.54.10	Maximum dwelling unit depth	20.0 m

4.2.3.55	Exception: R2-55	Map # 08	By-law: OMB Order 2014 March 18, 0193-2016/ OMB Order 2017 May 30
In a R2-55 zone the applicable regulations shall be as specified for a R2 zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.3.55.1 Lands zoned R2-55 shall only be used for the following:			
(1) Detached Dwelling or (2) Office with one (1) dwelling unit or (3) Medical office - restricted with one (1) dwelling unit			
Regulations			
4.2.3.55.2	Minimum lot frontage - corner lot		35.0 m
4.2.3.55.3	Minimum centre line setback from Hurontario Street		19.0 m
4.2.3.55.4	Maximum height - highest ridge of a detached dwelling: sloped roof		9.5 m
4.2.3.55.5	Maximum height of a detached dwelling: flat roof		7.5 m
4.2.3.55.6	Maximum height of eaves of a detached dwelling: from average grade to lower edge of eaves		6.4 m
4.2.3.55.7	Maximum dwelling unit depth		20.0 m
4.2.3.55.8	An office and medical office - restricted shall comply with the R2 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) maximum gross floor area - non-residential		175 m ²
	(2) maximum lot coverage		15%
	(3) maximum number of parking spaces that may be tandem parking spaces		2
4.2.3.55.9	All site development plans shall comply with Schedule R2-55 of this Exception		



Schedule R2-55
Map 08