

4.12RM6 ZONE
(TOWNHOUSES ON A CEC - ROAD)

4.12.1RM6 Permitted Uses and Zone Regulations

All **buildings** and **structures** shall comply with the provisions contained in Parts 1 to 3 and Section 4.1 of this By-law, and the **uses** and zone regulations specified within the applicable zone column contained in Table 4.12.1 - RM6 Permitted Uses and Zone Regulations.

Table 4.12.1 - RM6 Permitted Uses and Zone Regulations
(0325-2008), (0379-2009), (0297-2013), (0190-2014), (0144-2016), (0174-2017), (0181-2018/LPAT Order 2019 February 15), (0018-2021)

Column A		B
Line 1.0	ZONES	RM6
PERMITTED USES		
2.0	RESIDENTIAL	
2.1	Townhouses on a CEC - road	✓
ZONE REGULATIONS		
3.0	MINIMUM LOT AREA	
3.1	Interior lot	115 m ²
3.2	CEC - corner lot	190 m ²
4.0	MINIMUM LOT FRONTAGE	
4.1	Interior lot	5.0 m
4.2	CEC - corner lot	8.3 m
5.0	MINIMUM DWELLING UNIT WIDTH	5.0 m
6.0	MINIMUM FRONT YARD	
6.1	Interior lot/CEC - corner lot	4.5 m ⁽³⁾
6.2	Minimum setback from a garage face to a street, CEC - road or CEC - sidewalk	6.0 m
7.0	MINIMUM EXTERIOR SIDE YARD	
7.1	Lot with an exterior side lot line that is a street line of a designated right-of-way 20.0 m or greater identified in Subsection 2.1.14 of this By-law	7.5 m ⁽³⁾
7.2	Lot with an exterior side lot line abutting a street	4.5 m ⁽³⁾
7.3	Lot with an exterior side lot line abutting a CEC - road	4.5 m
7.4	Lot with an exterior side lot line abutting a CEC - sidewalk	3.3 m
7.5	Minimum setback from a garage face to a street, CEC - road or CEC - sidewalk	6.0 m
8.0	MINIMUM INTERIOR SIDE YARD	
8.1	Attached side	0.0 m
8.2	Unattached side	1.5 m ⁽³⁾
8.3	Where interior side lot line is the rear lot line of an abutting parcel	2.5 m
9.0	MINIMUM REAR YARD	
9.1	Interior lot/CEC - corner lot	7.5 m ⁽³⁾
9.2	Wing wall	3.0 m
10.0	MAXIMUM HEIGHT	10.7 m and 3 storeys

Table 4.12.1 continued on next page

Column A		B
Line 1.0	ZONES	RM6
Table 4.12.1 continued from previous page		
11.0	MINIMUM LANDSCAPED AREA	25% of the lot area
12.0	ENCROACHMENTS, PROJECTIONS AND SETBACKS	
12.1	Maximum encroachment of a porch or deck inclusive of stairs located at and accessible from the first storey or below the first storey into the required front and exterior side yards	1.5 m ⁽³⁾
12.2	Maximum encroachment of an awning, window, chimney, pilaster or corbel, window well, and stairs with a maximum of three risers, into the required front and exterior side yards	0.6 m ⁽³⁾
12.3	Maximum encroachment of a porch or deck inclusive of stairs located at and accessible from the first storey or below the first storey, or awning into the required rear yard	5.0 m ⁽³⁾
12.4	For a lot with a townhouse requiring a 0.0 m interior side yard, the setback to the interior side yard lot line from a porch or deck inclusive of stairs permitted in the rear yard, shall also be 0.0 m	✓
12.5	Maximum encroachment of a balcony, window, chimney, pilaster or corbel, window well, and stairs with a maximum of three risers, into the required rear yard	1.0 m ⁽³⁾
12.6	Minimum setback of a townhouse to a CEC - visitor parking space	3.3 m
12.7	Minimum setback of a townhouse to a CEC - amenity area	1.5 m
13.0	ATTACHED GARAGE, PARKING AND DRIVEWAY	
13.1	Attached garage	Required ⁽⁴⁾
13.2	<i>deleted by 0379-2009</i>	
13.3	Minimum parking spaces	✓ ⁽⁵⁾
13.4	Minimum visitor parking spaces	✓ ⁽⁵⁾⁽⁶⁾
13.5	Maximum driveway width	3.0 m ⁽⁷⁾
14.0	CEC - ROAD, AISLES AND SIDEWALKS	
14.1	Minimum width of a CEC - road	7.0 m ⁽⁸⁾
14.2	Minimum width of a CEC - road with an abutting parallel visitor parking space	6.0 m ⁽⁸⁾
14.3	CEC - roads and aisles are permitted to be shared with abutting lands with the same Base Zone and/or Exception Zone	✓
14.4	Minimum width of a sidewalk	2.0 m
15.0	ACCESSORY BUILDINGS AND STRUCTURES	✓ ⁽⁹⁾

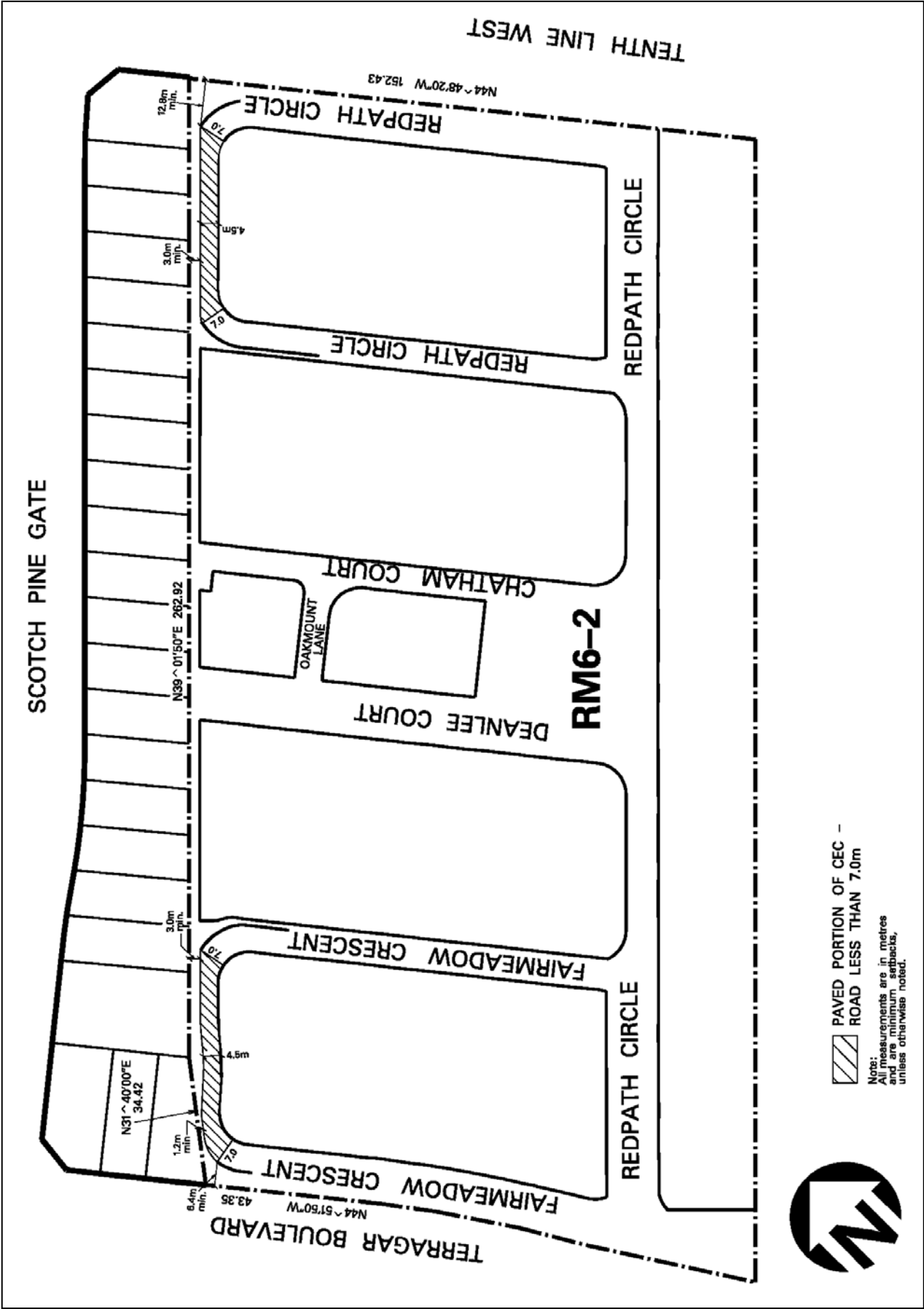
- NOTES:
- (1) *deleted by 0018-2021.*
 - (2) *deleted by 0018-2021.*
 - (3) See also Subsections 4.1.7 and 4.1.8 of this By-law.
 - (4) See also Subsection 4.1.12 of this By-law.
 - (5) See also Part 3 of this By-law.
 - (6) See also Article 4.1.14.1 of this By-law.
 - (7) See also Article 4.1.9.1 of this By-law.
 - (8) See also Article 4.1.14.2 of this By-law.
 - (9) See Subsection 4.1.2 of this By-law.

4.12.2 RM6 Exception Zones

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

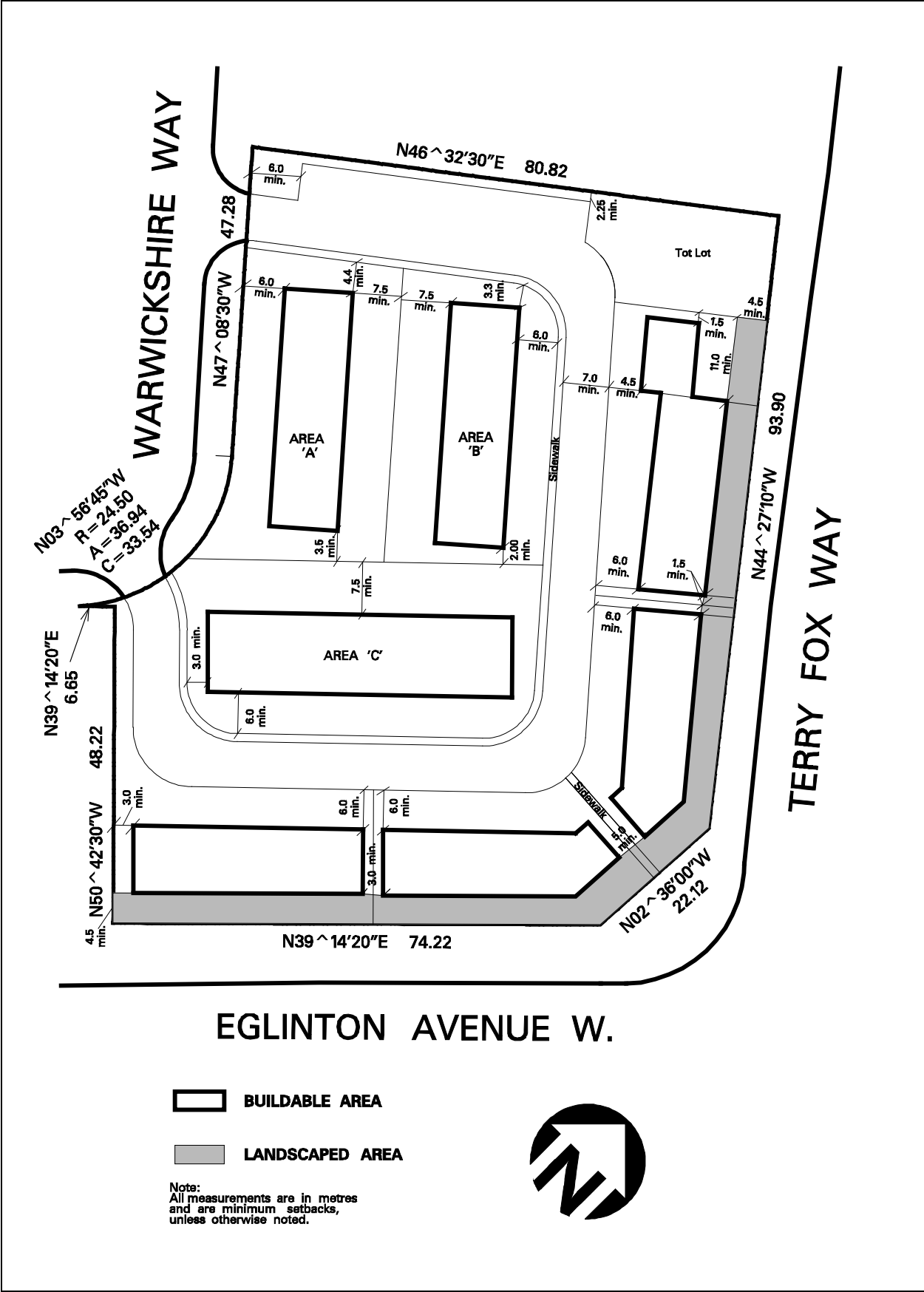
4.12.2.1	Exception: RM6-1	Map # 37W	By-law:
In a RM6-1 zone the permitted uses and applicable regulations shall be as specified for a RM6 zone except that the following uses/regulations shall apply:			
Regulations			
4.12.2.1.1	Maximum number of dwelling units on all lands zoned RM6-1		133
4.12.2.1.2	Trailer and recreational vehicle parking shall not be permitted		
4.12.2.1.3	Maximum driveway width		3.8 m

4.12.2.2	Exception: RM6-2	Map # 55	By-law: 0325-2008, 0181-2018/LPAT Order 2019 February 15
In a RM6-2 zone the permitted uses and applicable regulations shall be as specified for a RM6 zone except that the following uses/regulations shall apply:			
Regulations			
4.12.2.2.1	Maximum number of dwelling units on all lands zoned RM6-2		236
4.12.2.2.2	Minimum lot area - interior lot		109 m ²
4.12.2.2.3	Minimum lot area - corner lot		170 m ²
4.12.2.2.4	Minimum lot frontage - interior lot		4.27 m
4.12.2.2.5	Minimum lot frontage - corner lot		6.63 m
4.12.2.2.6	Minimum exterior side yard		1.8 m
4.12.2.2.7	Minimum setback to Tenth Line West		4.5 m
4.12.2.2.8	Minimum setback to Terragar Boulevard		16.0 m
4.12.2.2.9	Maximum encroachment of a porch including stairs into a required yard that abuts a CEC - amenity area		1.1 m
4.12.2.2.10	Trailer and recreational vehicle parking shall not be permitted		
4.12.2.2.11	Maximum driveway width		3.8 m
4.12.2.2.12	Minimum width of the paved portion of a CEC - road may be reduced as identified on Schedule RM6-2 of this Exception		
4.12.2.2.13	Maximum projection of a balcony or deck into a required rear yard		2.5 m
4.12.2.2.14	All site development plans shall comply with Schedule RM6-2 of this Exception		



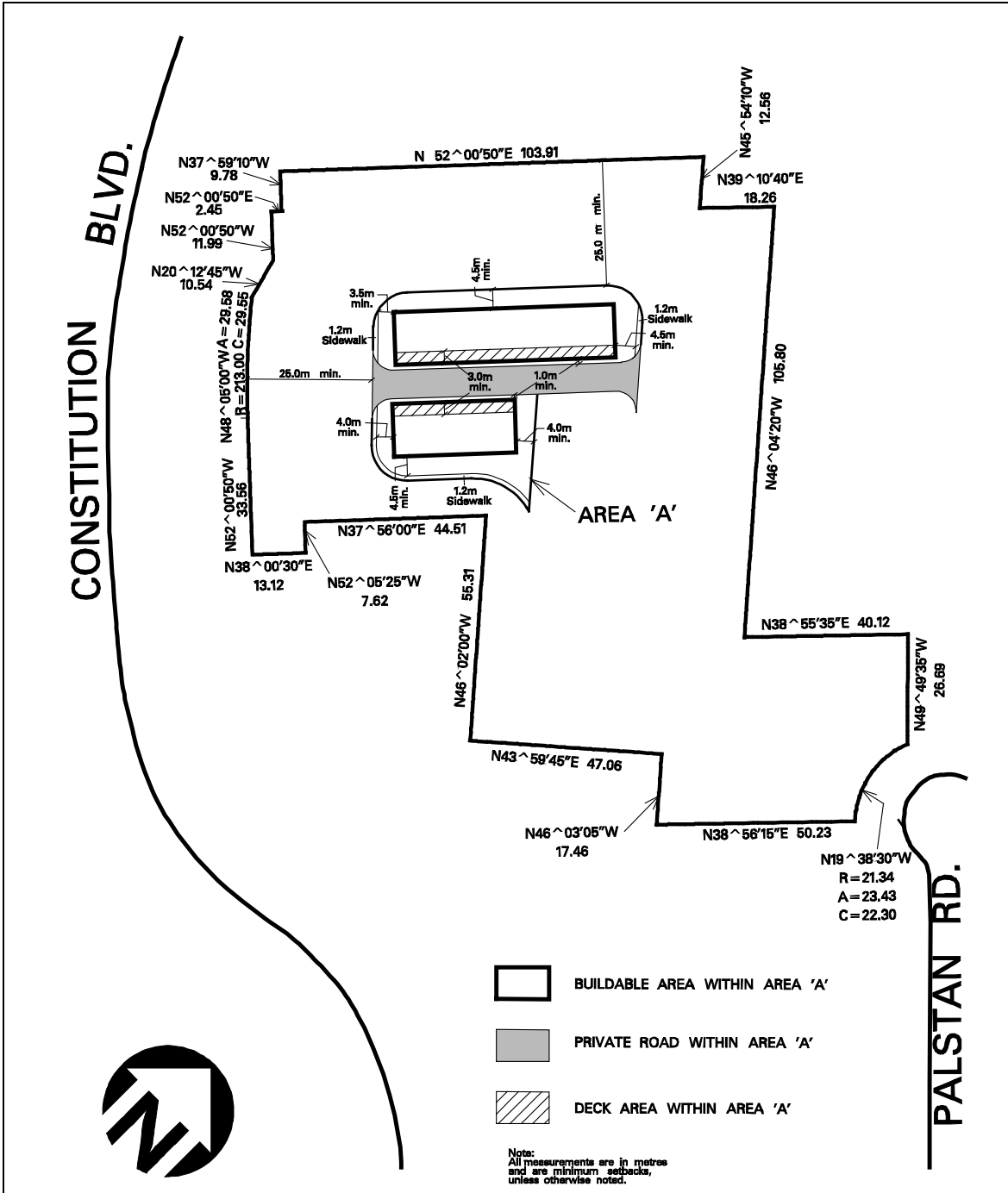
Schedule RM6-2
Map 55

4.12.2.3	Exception: RM6-3	Map # 38E	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM6-3 zone the permitted uses and applicable regulations shall be as specified for a RM6 zone except that the following uses/regulations shall apply:			
Regulations			
4.12.2.3.1	Maximum number of dwelling units on all lands zoned RM6-3	42	
4.12.2.3.2	Maximum gross floor area - residential	0.75 times the lot area	
4.12.2.3.3	Minimum landscaped area	39.6% of the lot area	
4.12.2.3.4	Maximum encroachment of awnings, window projections with or without a foundation and architectural features, such as, but not limited to, chimneys , pilasters and corbels outside the buildable area identified on Schedule RM6-3 of this Exception, into required front and rear yards	0.6 m	
4.12.2.3.5	Maximum encroachment of awnings, window projections with or without a foundation and architectural features, such as, but not limited to, chimneys , pilasters and corbels outside the buildable area identified on Schedule RM6-3 of this Exception, into required interior and exterior side yards	0.3 m	
4.12.2.3.6	Maximum encroachment of a porch , exclusive of stairs, outside Buildable Areas 'A', 'B' and 'C' identified on Schedule RM6-3 of this Exception into the required front yard	1.5 m	
4.12.2.3.7	Maximum encroachment of a balcony/deck outside the buildable area identified on Schedule RM6-3 of this Exception, into the required rear yard	2.5 m	
4.12.2.3.8	Trailer and recreational vehicle parking shall not be permitted		
4.12.2.3.9	Minimum number of additional CEC - visitor parking spaces to be provided within the common element area	6	
4.12.2.3.10	All lot lines abutting Eglinton Avenue West and Terry Fox Way shall be deemed to be the front lot line		
4.12.2.3.11	Maximum driveway width	3.8 m	
4.12.2.3.12	"Front Lot Line" means the line that divides a lot from a CEC - road or a street		
4.12.2.3.13	All site development plans shall comply with Schedule RM6-3 of this Exception		



Schedule RM6-3
Map 38E

4.12.2.4	Exception: RM6-4	Map # 20	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM6-4 zone the permitted uses and applicable regulations shall be as specified for a RM6 zone except that the following uses/regulations shall apply:			
Regulations			
4.12.2.4.1	Maximum number of dwelling units on all lands zoned RM6-4	71	
4.12.2.4.2	Minimum rear yard - lot that abuts Palstan Road	4.5 m	
4.12.2.4.3	Minimum setback to a CEC - road sight triangle	3.3 m	
4.12.2.4.4	Trailer and recreational vehicle parking shall not be permitted		
4.12.2.4.5	Maximum driveway width	3.8 m	
4.12.2.4.6	All site development plans within Area 'A' shall comply with Schedule RM6-4 of this Exception		



Schedule RM6-4
Map 20

Part 4 - Residential Zones

4.12.2.5	Exception: RM6-5	Map # 27	By-law:
In a RM6-5 zone the permitted uses and applicable regulations shall be as specified for a RM6 zone except that the following uses /regulations shall apply:			
Regulations			
4.12.2.5.1	Maximum number of dwelling units on all lands zoned RM6-5		98
4.12.2.5.2	Trailer and recreational vehicle parking shall not be permitted		
4.12.2.5.3	Maximum driveway width		3.8 m

4.12.2.6	Exception: RM6-6	Map # 40E	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM6-6 zone the permitted uses and applicable regulations shall be as specified for a RM6 zone except that the following uses /regulations shall apply:			
Regulations			
4.12.2.6.1	Maximum number of dwelling units on all lands zoned RM6-6		135
4.12.2.6.2	Setbacks required to lot lines adjacent to a CEC - road shall be measured to that edge of the curb adjacent to the property line		
4.12.2.6.3	Trailer and recreational vehicle parking shall not be permitted		
4.12.2.6.4	Maximum driveway width		3.8 m

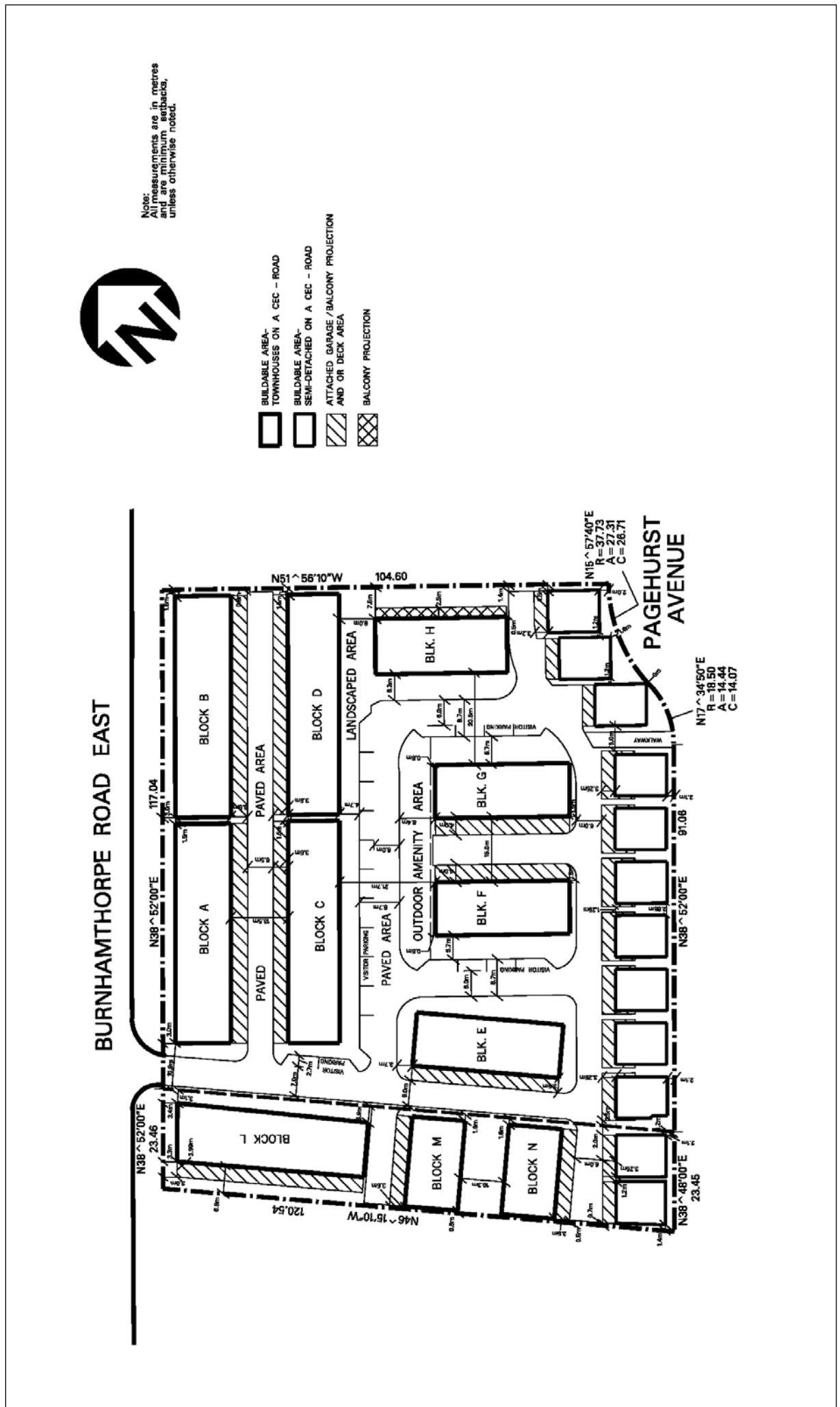
4.12.2.7	Exception: RM6-7	Map # 20	By-law: 0390-2007, 0181-2018/LPAT Order 2019 February 15
In a RM6-7 zone the permitted uses and applicable regulations shall be as specified for a RM6 zone except that the following uses /regulations shall apply:			
Regulations			
4.12.2.7.1	Maximum number of dwelling units on all lands zoned RM6-7		71
4.12.2.7.2	Minimum setback to a street		7.5 m
4.12.2.7.3	Minimum setback to a CEC - road sight triangle		3.3 m
4.12.2.7.4	Maximum projection of a balcony or deck into the required rear yard		2.5 m
4.12.2.7.5	Maximum projection of a porch or deck into the required exterior side yard		0.3 m
4.12.2.7.6	Trailer and recreational vehicle parking shall not be permitted		
4.12.2.7.7	Maximum driveway width		3.8 m

4.12.2.8	Exception: RM6-8	Map # 36E	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM6-8 zone the permitted uses and applicable regulations shall be as specified for a RM6 zone except that the following uses/regulations shall apply:			
Regulations			
4.12.2.8.1	Maximum number of dwelling units on all lands zoned RM6-8		163
4.12.2.8.2	Minimum setback to a street		7.5 m
4.12.2.8.3	Minimum setback to a CEC - road sight triangle		3.3 m
4.12.2.8.4	Maximum projection of a balcony or deck into the required rear yard		2.5 m
4.12.2.8.5	Maximum projection of a porch or deck into the required exterior side yard		0.3 m
4.12.2.8.6	Trailer and recreational vehicle parking shall not be permitted		
4.12.2.8.7	Maximum driveway width		3.8 m

4.12.2.9	Exception: RM6-9	Map # 19	By-law: OMB Order 2008 March 27, 0196-2010, 0308-2011, 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM6-9 zone the permitted uses and applicable regulations shall be as specified for a RM6 zone except that the following uses/regulations shall apply:			
Additional Permitted Uses			
4.12.2.9.1	(1)	Semi-detached on a CEC - road	
	(2)	A model home	
Regulations			
4.12.2.9.2	A townhouse on a CEC - road and a semi-detached on a CEC - road shall comply with the RM6 zone regulations except that:		
	(1)	the provisions contained in Subsection 2.1.14, Article 4.1.12.3 and the regulations of Lines 3.1, 3.2, 4.1, 4.2, 12.6 and 13.2 contained in Table 4.12.1 of this By-law shall not apply	
	(2)	maximum number of townhouse dwelling units on all lands zoned RM6-9	96
	(3)	maximum number of semi-detached dwelling units on all lands zoned RM6-9	24
	(4)	maximum gross floor area - residential on all lands zoned RM6-9	1.2 times the lot area
	(5)	minimum landscaped area on all lands zoned RM6-9	20% of the lot area
	(6)	minimum dwelling unit width	4.2 m
	(7)	maximum height	12.4 m
	(8)	maximum encroachment of awnings, window projections with or without a foundation and architectural features, such as but not limited to, chimneys , pilasters and corbels outside the buildable area identified on Schedule RM6-9 of this Exception, into the front, rear and exterior side yards of the dwelling unit	0.8 m

Exception RM6-9 continued on next page

4.12.2.9	Exception: RM6-9	Map # 19	By-law: OMB Order 2008 March 27, 0196-2010, 0308-2011, 0174-2017, 0181-2018/LPAT Order 2019 February 15
Exception RM6-9 continued from previous page			
4.12.2.9.2 (continued)	(9)	maximum encroachment of a planter box and retaining wall, outside the buildable area identified on Schedule RM6-9 of this Exception, into a front yard of the dwelling unit	2.1 m
	(10)	maximum encroachment of a planter box, outside the buildable area for Block H identified on Schedule RM6-9 of this Exception, into a rear yard of the dwelling unit	4.1 m
	(11)	air conditioning units shall only be permitted on a balcony area identified on Schedule RM6-9 of this Exception	
	(12)	minimum number of visitor parking spaces per dwelling unit on all lands zoned RM6-9	0.21
	(13)	trailer and recreational vehicle parking shall not be permitted	
	(14)	minimum width of the paved portion of a CEC - road may be reduced as identified on Schedule RM6-9 of this Exception	
	(15)	minimum width of a CEC - sidewalk	1.2 m
	(16)	in Clause 4.12.2.9.2(9) the yard abutting Burnhamthorpe Road East shall be deemed to be the front yard in Blocks A and B identified on Schedule RM6-9 of this Exception	
	(17)	in Clauses 4.12.2.9.2(9) the yard abutting Pagehurst Avenue shall be deemed to be the front yard for semi-detached on a CEC - road identified on Schedule RM6-9 of this Exception	
	(18)	"Townhouse on a CEC - Road" means one of more than two attached dwelling units , not exceeding four storeys in height that are divided vertically above grade by a party wall at least 5.0 m in length and at least 2.0 m in height , having a frontage on a CEC - road	
	(19)	Tandem parking spaces within a garage may be included in the calculation of the number of parking spaces required	
	(20)	all site development plans shall comply with Schedule RM6-9 of this Exception	
	(21)	for the purposes of this By-law, all lands zoned RM6-9 shall be considered one property	
4.12.2.9.3	A model home shall comply with the following:		
	(1)	maximum number of dwelling units	12
	(2)	shall only be located in Block A or B identified on Schedule RM6-9 of this Exception	
	(3)	shall comply with Sentence 4.12.2.9.2 of this Exception, with the exception of Line 12 of Sentence 4.12.2.9.2	
	(4)	"Model Home" means a townhouse on a CEC - road constructed for the purpose of display and sale of dwelling units	

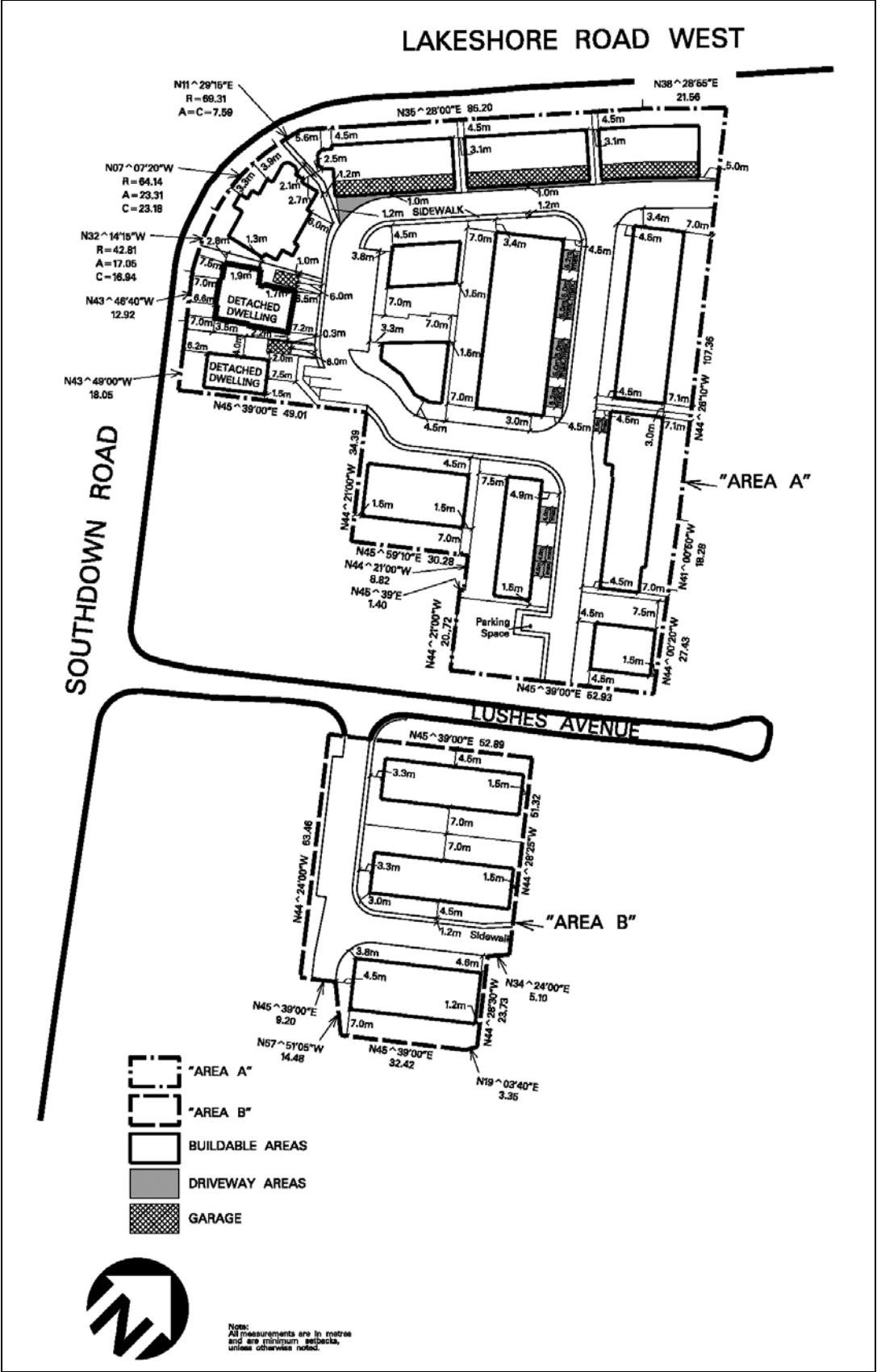


Schedule RM6-9
Map 19

4.12.2.10	Exception: RM6-10	Map # 03	By-law: 0281-2008, 0410-2008, 0181-2018/LPAT Order 2019 February 15
In a RM6-10 zone the permitted uses and applicable regulations shall be as specified for a RM6 zone except that the following uses/regulations shall apply:			
Additional Permitted Use			
4.12.2.10.1	(1)	Detached dwelling on a CEC - road	
Regulations			
4.12.2.10.2	Maximum number of townhouses on a CEC - road in Area 'A' identified on Schedule RM6-10 of this Exception		61
4.12.2.10.3	Maximum number of detached dwellings on a CEC - road in Area 'A' identified on Schedule RM6-10 of this Exception		2
4.12.2.10.4	Maximum number of townhouses on a CEC - road in Area 'B' identified on Schedule RM6-10 of this Exception		18
4.12.2.10.5	Minimum lot area - interior lot		111 m ²
4.12.2.10.6	Minimum lot area - corner lot		166 m ²
4.12.2.10.7	Minimum lot frontage - corner lot		7.3 m
4.12.2.10.8	The lot lines abutting Lakeshore Road West or Southdown Road shall be deemed to be the front lot line		
4.12.2.10.9	Maximum encroachment of a porch or deck inclusive of stairs located at and accessible from the first storey or below the first storey into the required front and exterior side yards outside the buildable area identified on Schedule RM6-10 of this Exception		1.5 m
4.12.2.10.10	Maximum encroachment of an awning, window, chimney , pilaster or corbel, window well, and stairs with a maximum of three risers into the required front and exterior side yards outside the buildable area identified on Schedule RM6-10 of this Exception		0.6 m
4.12.2.10.11	Maximum encroachment of a porch or deck inclusive of stairs located at and accessible from the first storey or below the first storey , or awning into the required rear yard outside the buildable area identified on Schedule RM6-10 of this Exception		5.0 m
4.12.2.10.12	For a lot with a townhouse requiring a 0.0 m interior side yard , the setback to the interior side lot line from a porch or deck inclusive of stairs permitted in the rear yard , shall also be 0.0 m		
4.12.2.10.13	Maximum encroachment of a window, chimney , heating and/or air conditioning equipment, pilaster or corbel, window well, and stairs with a maximum of three risers into the required rear yard outside the buildable area identified on Schedule RM6-10 of this Exception		1.0 m
4.12.2.10.14	Maximum encroachment of a balcony into the required rear yard outside the buildable area identified on Schedule RM6-10 of this Exception		2.5 m
4.12.2.10.15	A townhouse on a CEC - road fronting on Lakeshore Road West or Southdown Road is permitted to have a balcony with a maximum area of 16.5 m ² on top of an attached garage provided that the balcony does not project beyond the garage face		
4.12.2.10.16	Trailer and recreational vehicle parking shall not be permitted		
4.12.2.10.17	Maximum driveway width, unless otherwise identified on Schedule RM6-10 of this Exception		3.0 m

Exception RM6-10 continued on next page

4.12.2.10	Exception: RM6-10	Map # 03	By-law: 0281-2008, 0410-2008, 0181-2018/LPAT Order 2019 February 15
Exception RM6-10 continued from previous page			
4.12.2.10.18	Minimum setback from a garage face to a street, CEC - road or CEC - sidewalk unless otherwise identified on Schedule RM6-10 of this Exception		6.0 m
4.12.2.10.19	Minimum distance from a porch to visitor parking spaces		2.2 m
4.12.2.10.20	All site development plans shall comply with Schedule RM6-10 of this Exception		



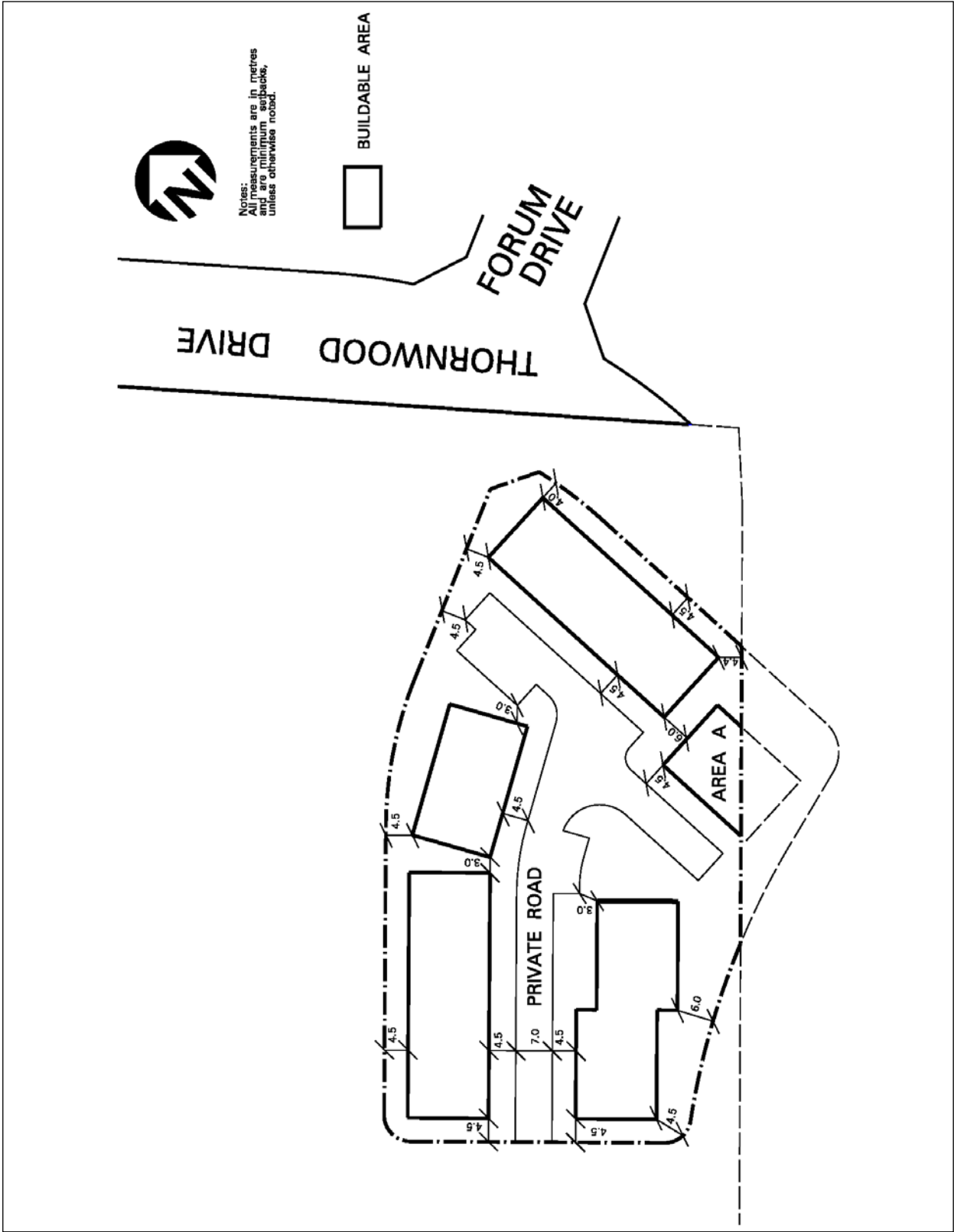
Schedule RM6-10
Map 03

Part 4 - Residential Zones

4.12.2.11	Exception: RM6-11	Map # 52E	By-law: 0403-2008, 0181-2018/LPAT Order 2019 February 15
In a RM6-11 zone the permitted uses and applicable regulations shall be as specified for a RM6 zone except that the following uses /regulations shall apply:			
Regulations			
4.12.2.11.1	The provisions contained in Subsection 2.1.14 of this By-law shall not apply		
4.12.2.11.2	Minimum setback to McLaughlin Road	6.0 m	
4.12.2.11.3	Minimum exterior side yard within 25.0 m of McLaughlin Road	2.7 m	
4.12.2.11.4	Maximum building height within 30.0 m of all lands zoned R10	11.3 m	
4.12.2.11.5	Minimum width of a CEC - road within 45.0 m of McLaughlin Road	6.0 m	
4.12.2.11.6	Maximum driveway width	3.2 m	

4.12.2.12	Exception: RM6-12	Map # 07	By-law: OMB Order 2009 February 04, <i>deleted by 0222-2015,</i> 0076-2017, 0181-2018/LPAT Order 2019 February 15
In a RM6-12 zone the permitted uses and applicable regulations shall be as specified for a RM6 zone except that the following uses /regulations shall apply:			
Regulations			
4.12.2.12.1	The provision of Line 7.1 contained in Table 4.12.1 of this By-law shall not apply		
4.12.2.12.2	Minimum lot area - interior lot		135 m ²
4.12.2.12.3	Minimum setback of all buildings and structures to a sight triangle		2.0 m
4.12.2.12.4	Minimum exterior side yard abutting South Service Road		3.0 m
4.12.2.12.5	Notwithstanding the RM6 zone, a maximum of eight townhouses shall be permitted to front a street		

4.12.2.13	Exception: RM6-13	Map # 36W	By-law: 0088-2013/OMB Order 2013 November 18, 0259-2020
In a RM6-13 zone the permitted uses and applicable regulations shall be as specified for a RM6 zone except that the following uses /regulations shall apply:			
Regulations			
4.12.2.13.1	Maximum number of dwelling units on all lands zoned RM6-13 excluding lands within Buildable Area 'A' identified on Schedule RM6-13 of this Exception		30
4.12.2.13.2	Maximum number of dwelling units on lands within Buildable Area 'A' identified on Schedule RM6-13 of this Exception		4
4.12.2.13.3	Maximum height		13.0 m
4.12.2.13.4	Trailer and recreational vehicle parking shall not be permitted		
4.12.2.13.5	Maximum driveway width		3.8 m
4.12.2.13.6	All site development plans shall comply with Schedule RM6-13 of this Exception		



Schedule RM6-13
Map 36W

Part 4 - Residential Zones

4.12.2.14	Exception: RM6-14	Map # 38E	By-law: 0132-2012, 0181-2018/LPAT Order 2019 February 15
In a RM6-14 zone the permitted uses and applicable regulations shall be as specified for a RM6 zone except that the following uses/regulations shall apply:			
Regulations			
4.12.2.14.1	Maximum number of dwelling units on all lands zoned RM6-14		104
4.12.2.14.2	Minimum lot area - corner lot		127 m ²
4.12.2.14.3	Minimum lot frontage - corner lot		5.1 m
4.12.2.14.4	Minimum exterior side yard abutting Creditview Road		4.5 m
4.12.2.14.5	Minimum exterior side yard abutting a CEC - road		2.6 m
4.12.2.14.6	Minimum interior side yard - unattached side		1.2 m
4.12.2.14.7	Minimum rear yard		7.0 m
4.12.2.14.8	Notwithstanding Sentence 4.12.2.14.7, minimum rear yard for a minimum of 12 dwelling units with a rear lot line abutting the southerly RM6-14 zone boundary		8.2 m
4.12.2.14.9	Minimum setback of a townhouse to a CEC - visitor parking space		2.0 m

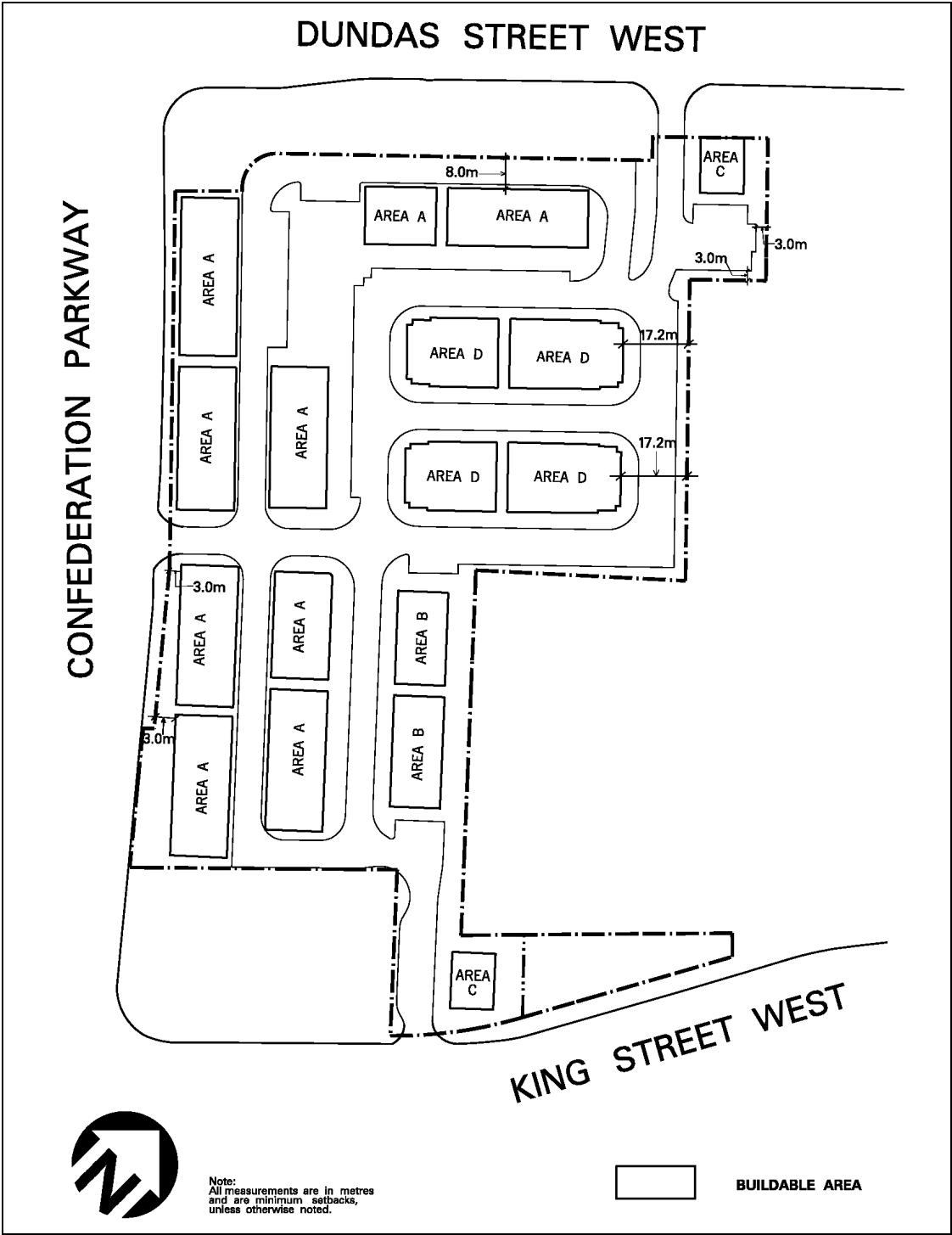
4.12.2.15	Exception: RM6-15	Map # 15	By-law: OMB Order 2015 January 22, 0130-2017, 0181-2018/LPAT Order 2019 February 15
In a RM6-15 zone the permitted uses and applicable regulations shall be as specified for a RM6 zone except that the following uses/regulations shall apply:			
Regulations			
4.12.2.15.1	The provision of Line 12.5 contained in Table 4.12.1 of this By-law shall not apply		
4.12.2.15.2	Maximum number of dwelling units		120
4.12.2.15.3	Minimum outdoor amenity area		650 m ²
4.12.2.15.4	Minimum landscaped area		22%
4.12.2.15.5	Maximum encroachment of a porch or deck inclusive of stairs located at and accessible from the first storey or below the first storey or a balcony into the required front, rear and exterior side yards		3.0 m
4.12.2.15.6	Minimum number of resident parking spaces per dwelling unit		2
4.12.2.15.7	Total number of shared visitor and non-residential parking spaces provided for all lands zoned RM6-15 and C4-8		72
4.12.2.15.8	Driveways, aisles and CEC - roads may be shared with abutting lands zoned C4-8		
4.12.2.15.9	Minimum width of a sidewalk		1.2 m
4.12.2.15.10	A townhouse on a CEC - road located within Area 'A' as identified on Schedule RM6-15 of this Exception shall comply with the RM6 zone regulations except:		
	(1)	minimum lot area - interior lot	85 m ²
	(2)	minimum lot area - corner lot	110 m ²
	(3)	minimum lot frontage - interior lot	4.75 m
	(4)	minimum lot frontage - corner lot	6.25 m

Exception RM6-15 continued on next page

4.12.2.15	Exception: RM6-15	Map # 15	By-law: OMB Order 2015 January 22, 0130-2017, 0181-2018/LPAT Order 2019 February 15
Exception RM6-15 continued from previous page			
4.12.2.15.10 (continued)	(5)	minimum dwelling unit width	4.75 m
	(6)	minimum front yard	1.5 m
	(7)	minimum exterior side yard	3.0 m
	(8)	minimum setback from a garage face to a CEC - road or CEC - sidewalk	5.5 m
	(9)	minimum rear yard - interior lot	1.0 m
	(10)	maximum height	12.5 m
	(11)	maximum driveway width	4.75 m
4.12.2.15.11	A townhouse on a CEC - road located within Area 'B' as identified on Schedule RM6-15 of this Exception shall comply with the RM6 zone regulations except:		
	(1)	minimum lot area - interior lot	120 m ²
	(2)	minimum lot area - corner lot	190 m ²
	(3)	minimum lot frontage - interior lot	5.0 m
	(4)	minimum lot frontage - corner lot	8.0 m
	(5)	minimum front yard	4.5 m
	(6)	minimum setback from a garage face to a CEC - road or CEC - sidewalk	5.5 m
	(7)	minimum rear yard	6.5 m
	(8)	maximum height	12.0 m
	(9)	minimum setback of a townhouse on a CEC - road to a CEC - visitor parking space	3.0 m
4.12.2.15.12	A townhouse on a CEC - road located within Area 'C' as identified on Schedule RM6-15 of this Exception shall comply with the RM6 zone regulations except:		
	(1)	minimum lot area - interior lot	110 m ²
	(2)	minimum lot area - exterior lot	170 m ²
	(3)	minimum lot frontage - interior lot	5.0 m
	(4)	minimum lot frontage - exterior lot	8.0 m
	(5)	minimum front yard	4.5 m
	(6)	minimum side yard setback to abutting lands zoned C4-8	0.0 m
	(7)	minimum exterior side yard for a lot with an exterior side yard abutting a street	3.5 m
	(8)	minimum setback from a garage face to a CEC - road or CEC - sidewalk	5.5 m
	(9)	minimum rear yard	6.5 m
	(10)	maximum height	12.0 m
	(11)	minimum setback of a townhouse on a CEC - road to a CEC - visitor parking space	3.0 m
4.12.2.15.13	A townhouse on a CEC - road located within Area 'D' as identified on Schedule RM6-15 of this Exception shall comply with the RM6 zone regulations except:		
	(1)	minimum lot area - interior lot	70 m ²
	(2)	minimum lot area - corner lot	98 m ²
	(3)	minimum lot frontage - interior lot	6.1 m

Exception RM6-15 continued on next page

4.12.2.15	Exception: RM6-15	Map # 15	By-law: OMB Order 2015 January 22, 0130-2017, 0181-2018/LPAT Order 2019 February 15
Exception RM6-15 continued from previous page			
4.12.2.15.13 (continued)	(4)	minimum lot frontage - corner lot	9.1 m
	(5)	minimum dwelling unit width	6.1 m
	(6)	minimum front yard abutting a CEC - road	3.0 m
	(7)	minimum exterior side yard abutting a CEC - road	3.0 m
	(8)	minimum setback from a garage face to a CEC - road or CEC - sidewalk	5.5 m
	(9)	minimum rear yard	0.0 m
	(10)	maximum height	12.0 m
4.12.2.15.14	All site development plans shall comply with Schedule RM6-15 of this Exception		

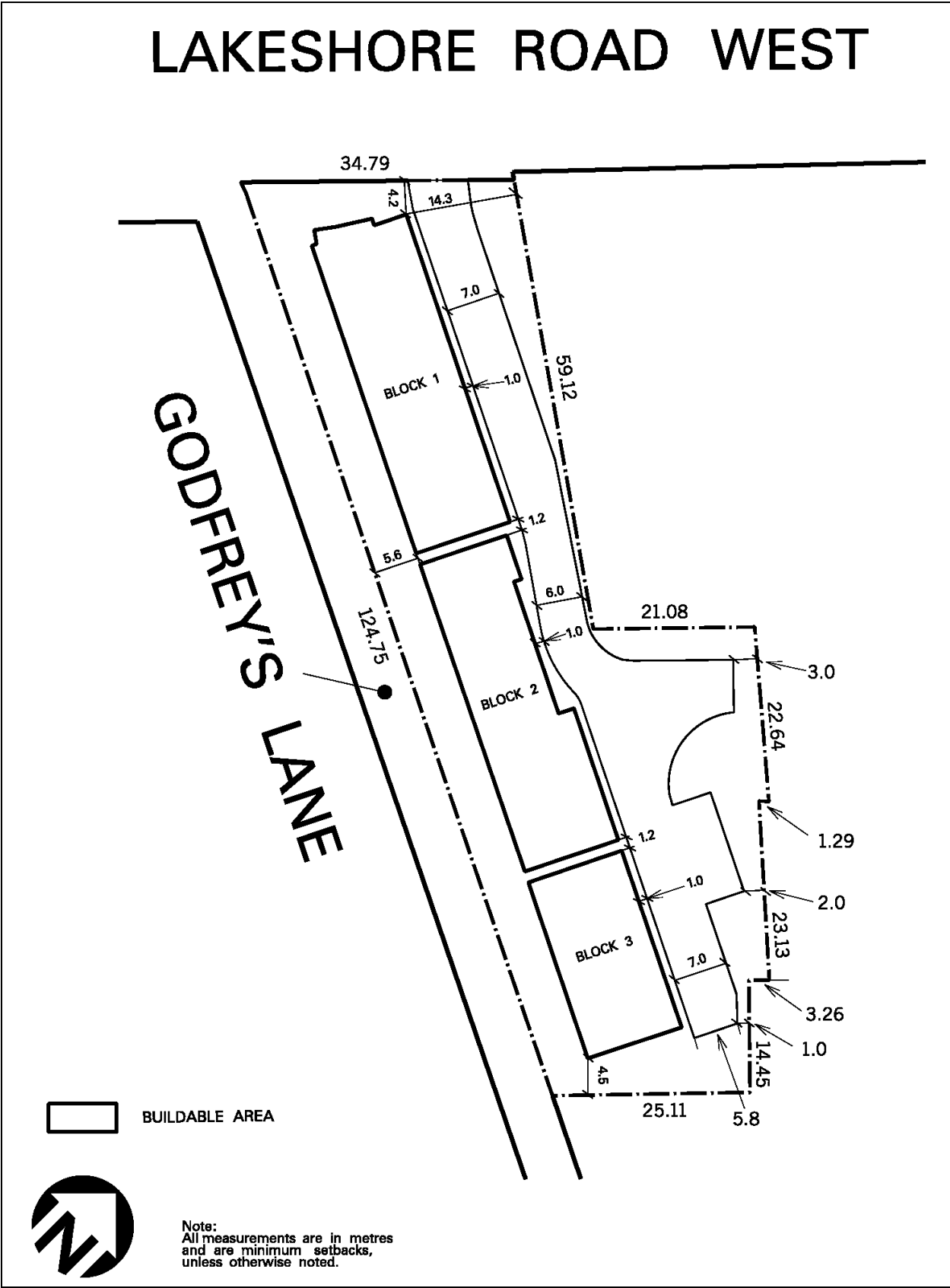


Schedule RM6-15
Map 15

Part 4 - Residential Zones

4.12.2.16	Exception: RM6-16	Map # 07	By-law: 0222-2013, 0181-2018/LPAT Order 2019 February 15
In a RM6-16 zone the permitted uses and applicable regulations shall be as specified for a RM6 zone except that the following uses/regulations shall apply:			
Regulations			
4.12.2.16.1	Minimum exterior side yard - lot with an exterior side lot line abutting a CEC - road		3.0 m
4.12.2.16.2	Minimum interior side yard - lot with an interior side lot line abutting a C4-61 zone		2.0 m
4.12.2.16.3	Minimum interior side yard - lot with an interior side lot line abutting a C4-14 zone		1.2 m
4.12.2.16.4	Maximum driveway width of a dwelling unit with a two car garage		5.0 m
4.12.2.16.5	Maximum encroachment of a balcony into the required rear yard		1.5 m
4.12.2.16.6	Driveways, aisles , and visitor parking may be shared with abutting lands zoned C4-61		
4.12.2.16.7	For the purposes of this By-law, all lands zoned RM6-16 and C4-61 shall be considered as one lot		

4.12.2.17	Exception: RM6-17	Map 08	By-law: 0189-2014, 0181-2018/LPAT Order 2019 February 15
In a RM6-17 zone the permitted uses and applicable regulations shall be as specified for a RM6 zone except that the following uses/regulations shall apply:			
Regulations			
4.12.2.17.1	Minimum lot area - interior lot		82 m ²
4.12.2.17.2	Minimum lot area - corner lot		140 m ²
4.12.2.17.3	Minimum lot frontage - interior lot		6.0 m
4.12.2.17.4	Minimum lot frontage - corner lot		7.0 m
4.12.2.17.5	Minimum dwelling unit width		6.0 m
4.12.2.17.6	Maximum height		13.0 m and 4 storeys
4.12.2.17.7	Maximum encroachment of a porch or deck inclusive of stairs located at and accessible from the first storey outside the buildable area identified on Schedule RM6-17		1.9 m
4.12.2.17.8	Maximum encroachment of a balcony outside the buildable area identified on Schedule RM6-17		1.9 m
4.12.2.17.9	Maximum driveway width		6.0 m
4.12.2.17.10	"Townhouse" means a building or structure not exceeding four storeys in height consisting of more than two attached dwelling units , which are divided vertically above grade by a party wall at least 5.0 m in length and at least 2.0 m in height , and having a yard abutting at least two exterior walls of each dwelling unit		
4.12.2.17.11	All site development plans shall comply with Schedule RM6-17 of this Exception		

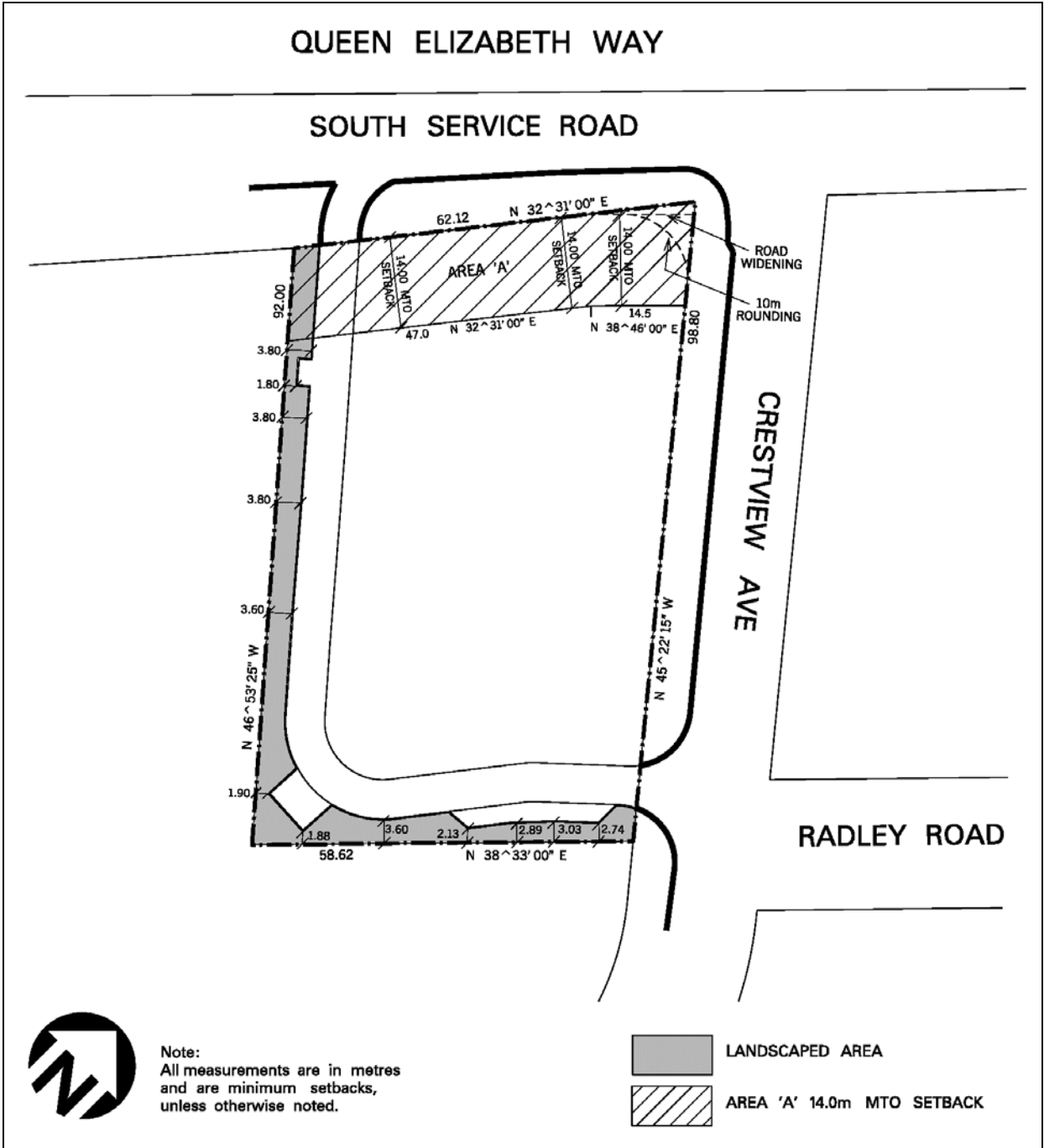


Schedule RM6-17
Map 08

4.12.2.18	Exception: RM6-18	Map # 07	By-law: OMB Order 2017 November 28, 0181-2018/LPAT Order 2019 February 15, 0126-2019
In a RM6-18 zone the permitted uses and applicable regulations shall be as specified for a RM6 zone except that the following uses/regulations shall apply:			
Regulations			
4.12.2.18.1	The provisions contained in Subsection 2.1.14 and the regulations of Lines 10.0 and 12.1 contained in Table 4.12.1 of this By-law shall not apply		
4.12.2.18.2	Maximum number of dwelling units on all lands zoned RM6-18	20	
4.12.2.18.3	Minimum lot area - CEC - corner lot	189 m²	
4.12.2.18.4	All lot lines abutting Crestview Avenue shall be deemed to be the front lot line		
4.12.2.18.5	Minimum exterior side yard setback to:		
	(1) CEC - road	4.0 m	
	(2) CEC - sidewalk	2.5 m	
4.12.2.18.6	Minimum exterior side yard setback of a porch or deck , exclusive of stairs, located at and accessible from the first storey or below the first storey to:		
	(1) CEC - road	2.9 m	
	(2) CEC - sidewalk	1.6 m	
4.12.2.18.7	Minimum rear yard	6.5 m	
4.12.2.18.8	Maximum height - highest ridge	10.5 m	
4.12.2.18.9	Minimum setback to the lot line abutting Area 'A' as identified on Schedule RM6-18 of this Exception	1.8 m	
4.12.2.18.10	Minimum setback from a porch or deck , exclusive of stairs, located at and accessible from the first storey or below the first storey to the lot line abutting Area 'A' as identified on Schedule RM6-18 of this Exception	1.5 m	
4.12.2.18.11	Maximum encroachment of a balcony located at and accessible from the second storey into the required rear yard	1.5 m	
4.12.2.18.12	Maximum projection of a box or bay window containing floor area , located above the first storey , into a required front yard and/or rear yard , provided such box or bay window does not exceed 50% of the width of the dwelling unit	0.5 m	
4.12.2.18.13	Maximum encroachment of a porch or deck , exclusive of stairs, located at and accessible from the first storey or below the first storey , into the required front yard	1.5 m	
4.12.2.18.14	A balcony shall not be permitted to encroach into the front or exterior side yards		
4.12.2.18.15	Maximum number of risers between a porch or deck of a townhouse dwelling unit and a lot line that divides a lot from a CEC - road or a street	3	
4.12.2.18.16	Minimum setback to a sight triangle	2.0 m	
4.12.2.18.17	Maximum angle of a sloped roof for the front and side elevations only	60°	
4.12.2.18.18	Maximum allowable roof area dedicated to architectural features measured for each roof elevation for the front and side elevations only	50%	
4.12.2.18.19	Maximum sloped roof angle shall not apply to architectural features contained within the roof area		
4.12.2.18.20	Minimum width of a CEC - road	6.0 m	

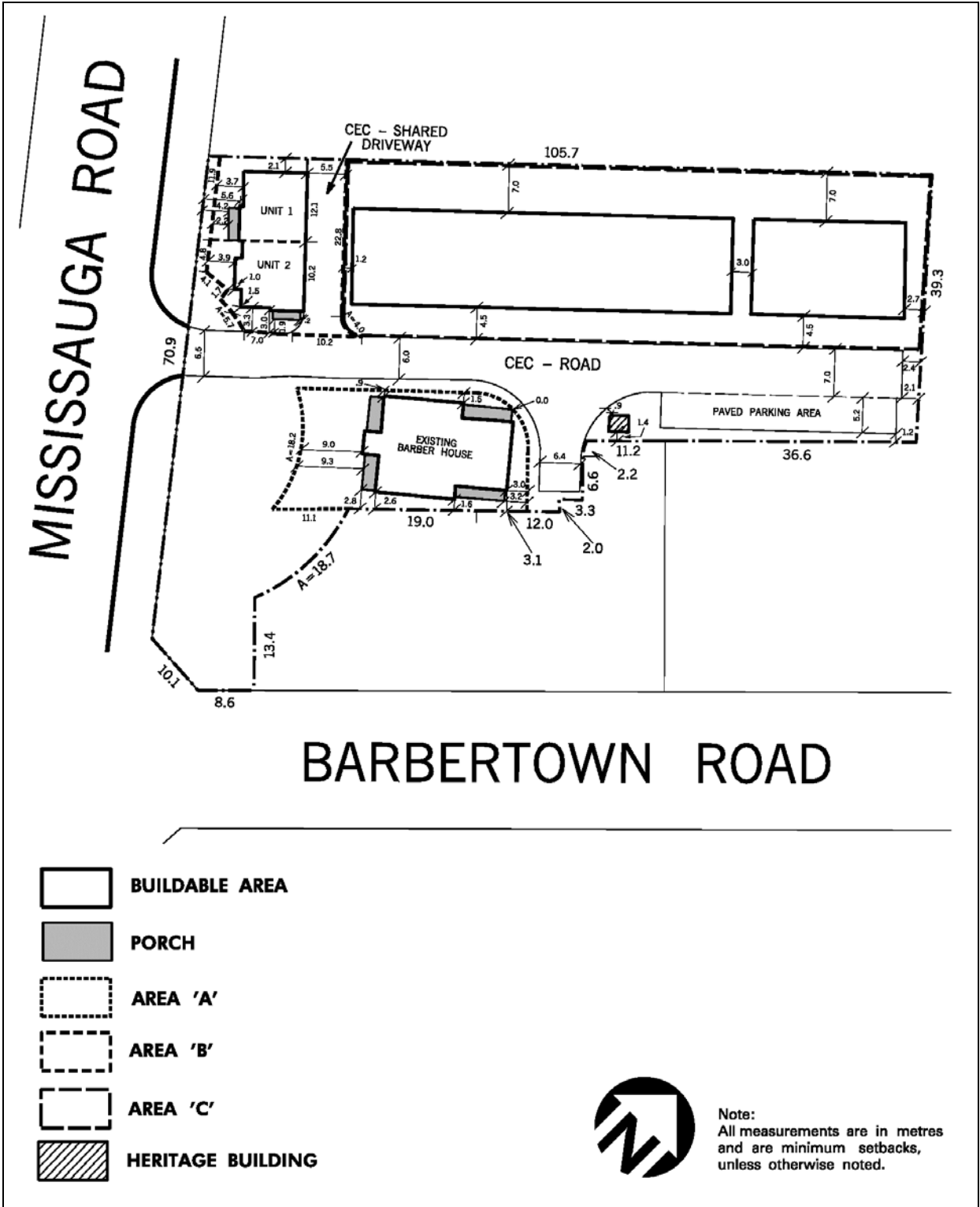
Exception RM6-18 continued on next page

4.12.2.18	Exception: RM6-18	Map # 07	By-law: OMB Order 2017 November 28, 0181-2018/LPAT Order 2019 February 15, 0126-2019
Exception RM6-18 continued from previous page			
4.12.2.18.21	Minimum aisle width		6.0 m
4.12.2.18.22	Minimum width of a sidewalk		1.6 m
4.12.2.18.23	"Front Lot Line" means the line that divides a lot from a CEC - road or a street		
4.12.2.18.24	All site development plans shall comply with Schedule RM6-18 of this Exception		



Schedule RM6-18
Map 07

4.12.2.19	Exception: RM6-19	Map # 38W	By-law: LPAT Order 2019 February 08, 0128-2020
In a RM6-19 zone the permitted uses and applicable regulations shall be as specified for a RM6 zone except that the following uses/regulations shall apply:			
Additional Permitted Uses			
4.12.2.19.1	(1) Back to back townhouse on a CEC - road (2) Semi-detached on a CEC - road		
Regulations			
4.12.2.19.2	The provisions contained in Article 2.1.3.1, Subsection 2.1.14, and the regulation of Line 13.1 contained in Table 4.12.1 of this By-law shall not apply		
4.12.2.19.3	Minimum width of a sidewalk		1.5 m
4.12.2.19.4	Lands identified as Area 'A' on Schedule RM6-19 of this Exception shall only be used for back to back townhouses and shall comply with the following:		
	(1) maximum number of dwelling units		4
	(2) minimum number of resident parking spaces for back to back townhouses		7
	(3) all parking spaces for back to back townhouses shall be provided on the paved parking area		
4.12.2.19.5	Lands identified as Area 'B' on Schedule RM6-19 of this Exception shall only be used for semi-detached and shall comply with the following:		
	(1) maximum number of dwelling units		2
	(2) maximum height - highest ridge		12.8 m
	(3) minimum area of a balcony over an attached garage		10 m ²
	(4) the main front entrance for Unit 1 shall face Mississauga Road		
	(5) the main front entrance for Unit 2 shall face the CEC - road		
	(6) access for semi-detached shall be via a CEC - shared driveway		
	(7) "CEC - Shared Driveway" means a designated access for semi-detached		
4.12.2.19.6	Lands identified as Area 'C' on Schedule RM6-19 of this Exception shall only be used for townhouses and shall comply with the RM6 zone regulations except:		
	(1) maximum encroachment of a balcony into the required rear yard		1.7 m
	(2) maximum height		10.9 m and 3 storeys
4.12.2.19.7	All site development plans shall comply with Schedule RM6-19 of this Exception		



Schedule RM6-19
Map 38W

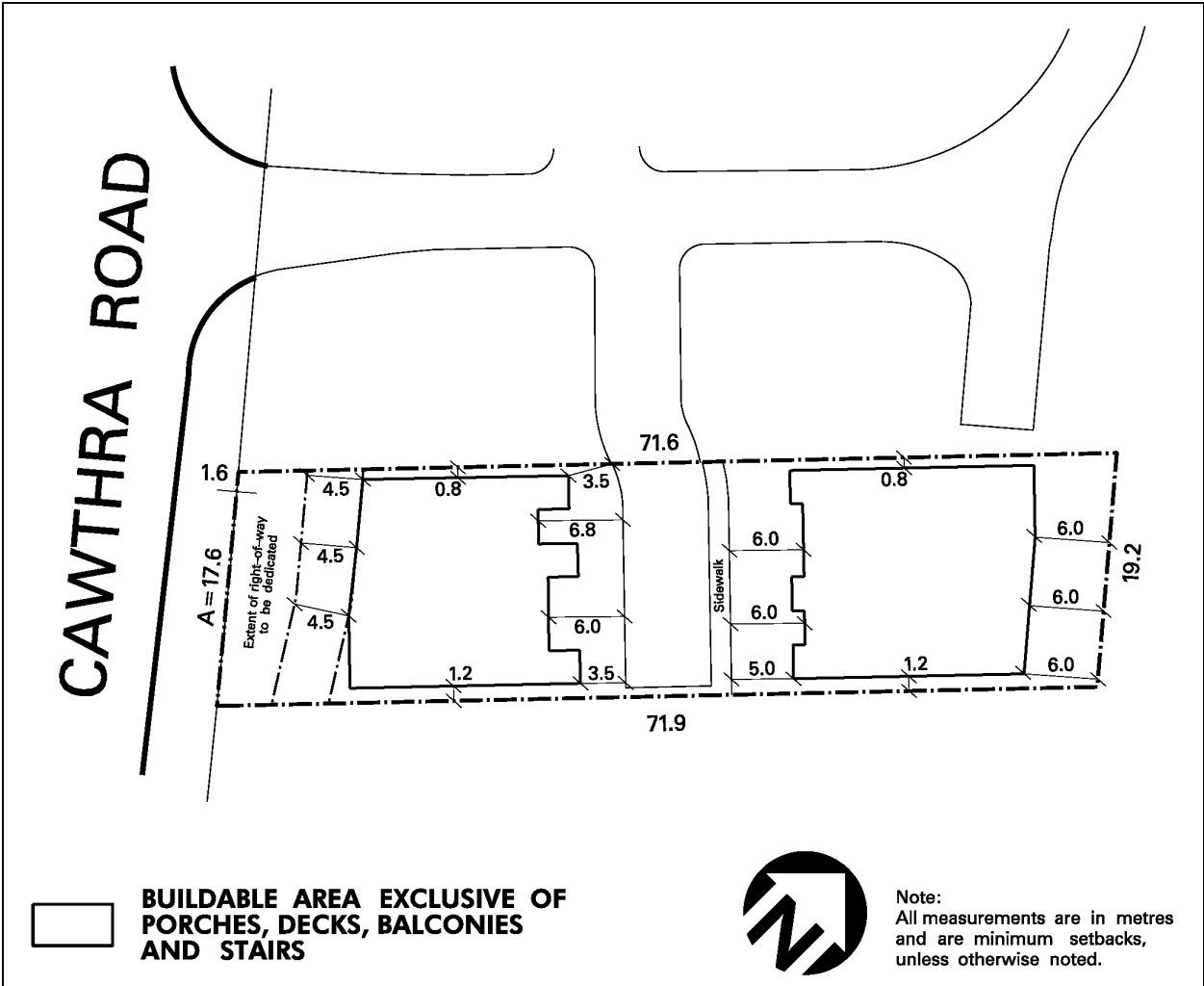
4.12.2.20	Exception: RM6-20	Map # 03	By-law: 0166-2018
In a RM6-20 zone the permitted uses and applicable regulations shall be as specified for a RM6 zone except that the following uses/regulations shall apply:			
Regulations			
4.12.2.20.1	Minimum lot area - interior lot	135 m ²	
4.12.2.20.2	Minimum lot frontage - interior lot	6.4 m	
4.12.2.20.3	Minimum front yard - interior lot	3.8 m	
4.12.2.20.4	Minimum rear yard	7.0 m	
4.12.2.20.5	Maximum encroachment of a balcony into a required rear yard	2.5 m	
4.12.2.20.6	Minimum width of a sidewalk	1.2 m	

4.12.2.21	Exception: RM6-21	Map # 20	By-law: LPAT Order 2019 March 26
In a RM6-21 zone the permitted uses and applicable regulations shall be as specified for a RM6 zone except that the following uses/regulations shall apply:			
Regulations			
4.12.2.21.1	The provisions contained in Subsections 2.1.14 and 2.1.30 and the regulation of Line 11.0 contained in Table 4.12.1 of this By-law shall not apply		
4.12.2.21.2	Maximum height	11.5 m and 3 storeys	
4.12.2.21.3	Maximum encroachment of a porch or deck , exclusive of stairs accessible from the first storey or below the first storey into a required yard	1.8 m	
4.12.2.21.4	Maximum encroachment of a balcony or deck inclusive of stairs, located at and accessible from the second storey into a required yard	2.5 m	
4.12.2.21.5	Minimum width of a sidewalk	1.5 m	
4.12.2.21.6	Minimum number of visitor parking spaces provided on lands zoned RM8-15	2	
4.12.2.21.7	A balcony with a maximum area of 20 m ² is permitted on top of an attached garage , provided that the balcony does not project more than 3.0 m beyond the garage face		
4.12.2.21.8	All site development plans shall comply with Schedule RM6-21 of this Exception		

Exception RM6-21 continued on next page

Holding Provision

- (1) provision of any outstanding technical plans, studies and reports to the satisfaction of the City of Mississauga ("City") and Region of Peel ("Region") including:
 - (1.1) updated functional servicing report including grading and servicing plan;
 - (1.2) current Environmental Site Screening Questionnaire and Declaration (ESSQD);
 - (1.3) updated Phase I Environmental Site Assessment;
 - (1.4) updated noise impact study;
 - (1.5) updated shadow study;
 - (1.6) updated tree preservation plan and arborist report;
 - (1.7) archaeological assessment and associated letters from the Ministry of Tourism and Culture.
- (2) provision of noise, servicing, access and right-of-way requirements to the Region;
- (3) establishment of satisfactory access and interconnection arrangements with the proposed development at 3111 and 3123 Cawthra Road;
- (4) establishment of satisfactory arrangements for the provision of visitor parking spaces on the adjacent lands zoned RM-15.

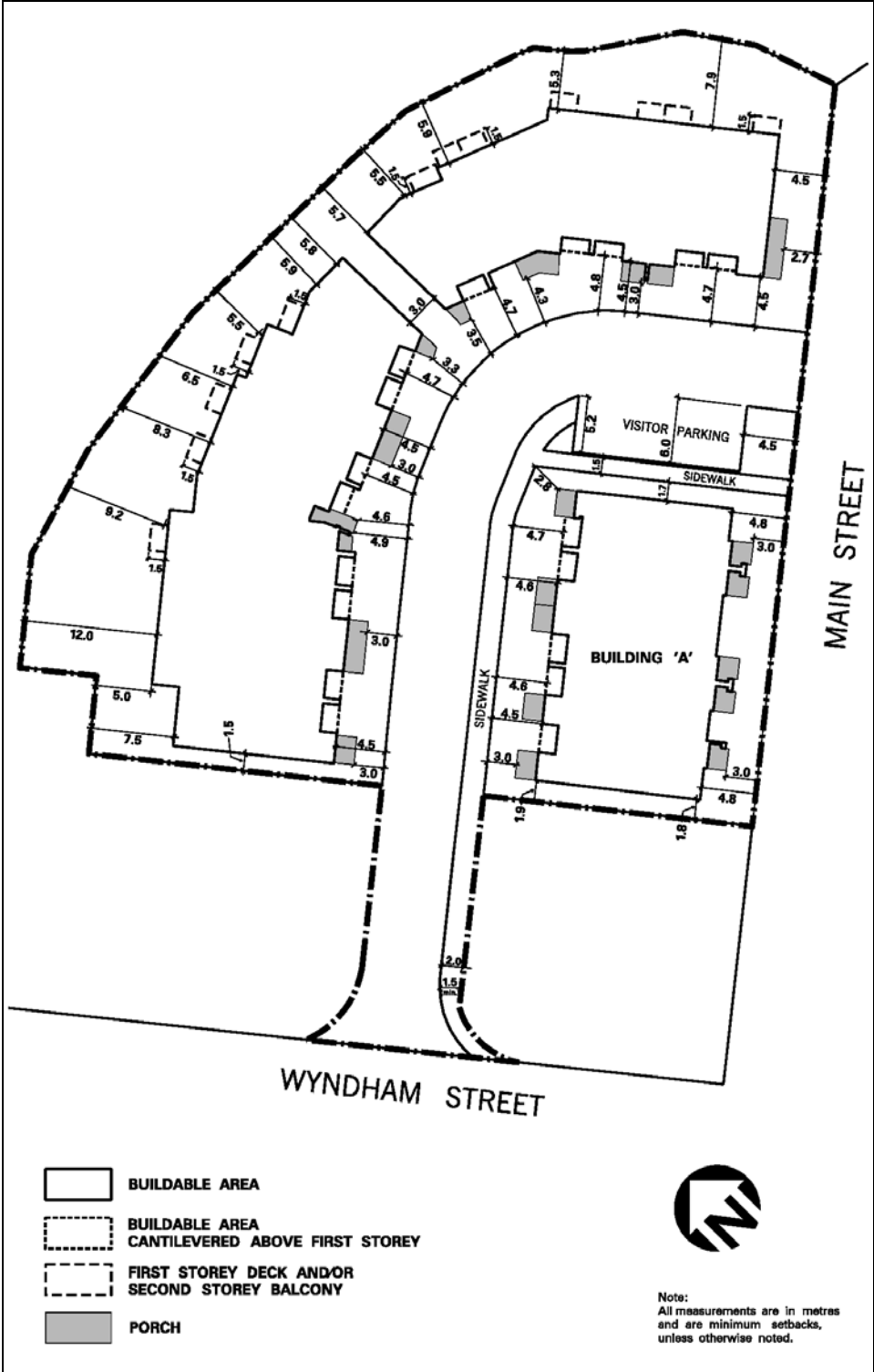


4.12.2.22	Exception: RM6-22	Map #	By-law:

4.12.2.23	Exception: RM6-23	Map # 38W	By-law: 0029-2021
In a RM6-23 zone the permitted uses and applicable regulations shall be as specified for a RM6 zone except that the following uses/regulations shall apply:			
Regulations			
4.12.2.23.1	The provisions of Subsections 2.1.14 and 4.1.8, and the regulations of Lines 7.1 and 8.3 contained in Table 4.12.1 of this By-law shall not apply		
4.12.2.23.2	Minimum lot area - CEC - corner lot	170 m ²	
4.12.2.23.3	Minimum lot frontage - interior lot	4.7 m	
4.12.2.23.4	Minimum lot frontage - CEC - corner lot	7.0 m	
4.12.2.23.5	Minimum dwelling unit width	4.2 m	
4.12.2.23.6	Minimum landscaped area	19% of the lot area	
4.12.2.23.7	Notwithstanding Sentence 4.12.2.23.13 of this Exception, maximum encroachment of eaves into a required yard	0.7 m	
4.12.2.23.8	Notwithstanding Sentence 4.12.2.23.13 of this Exception, maximum encroachment of stairs attached to a deck located at and accessible from the first storey or below the first storey of the dwelling into a required rear yard	2.8 m	
4.12.2.23.9	Notwithstanding Sentence 4.12.2.23.13 of this Exception, maximum encroachment of a third storey balcony into a required rear yard	1.0 m	
4.12.2.23.10	Notwithstanding Sentence 4.12.2.23.9 of this Exception, a third storey balcony shall not be permitted within 12.0 m of a R3 zone		
4.12.2.23.11	Notwithstanding Sentence 4.12.2.23.13 of this Exception, external heating, air conditioning, and home back-up generator equipment is permitted between Building 'A' identified on Schedule RM6-23 of this Exception and a CEC - road		

Exception RM6-23 continued on next page

4.12.2.23	Exception: RM6-23	Map # 38W	By-law: 0029-2021
Exception RM6-23 continued from previous page			
4.12.2.23.12	Notwithstanding Sentence 4.12.2.23.13 of this Exception, external heating, air conditioning, and home back-up generator equipment is permitted in a required rear yard		
4.12.2.23.13	All site development plans shall comply with Schedule RM6-23 of this Exception		
Holding Provision			
<p>The holding symbol H is to be removed from the whole or any part of the lands zoned H-RM6-23 by further amendment to Map 38W of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirement:</p> <p>(1) delivery of an executed agreement for community benefits pursuant to section 37 of the <i>Planning Act</i>, as amended, in a form and on terms satisfactory to the City of Mississauga.</p>			



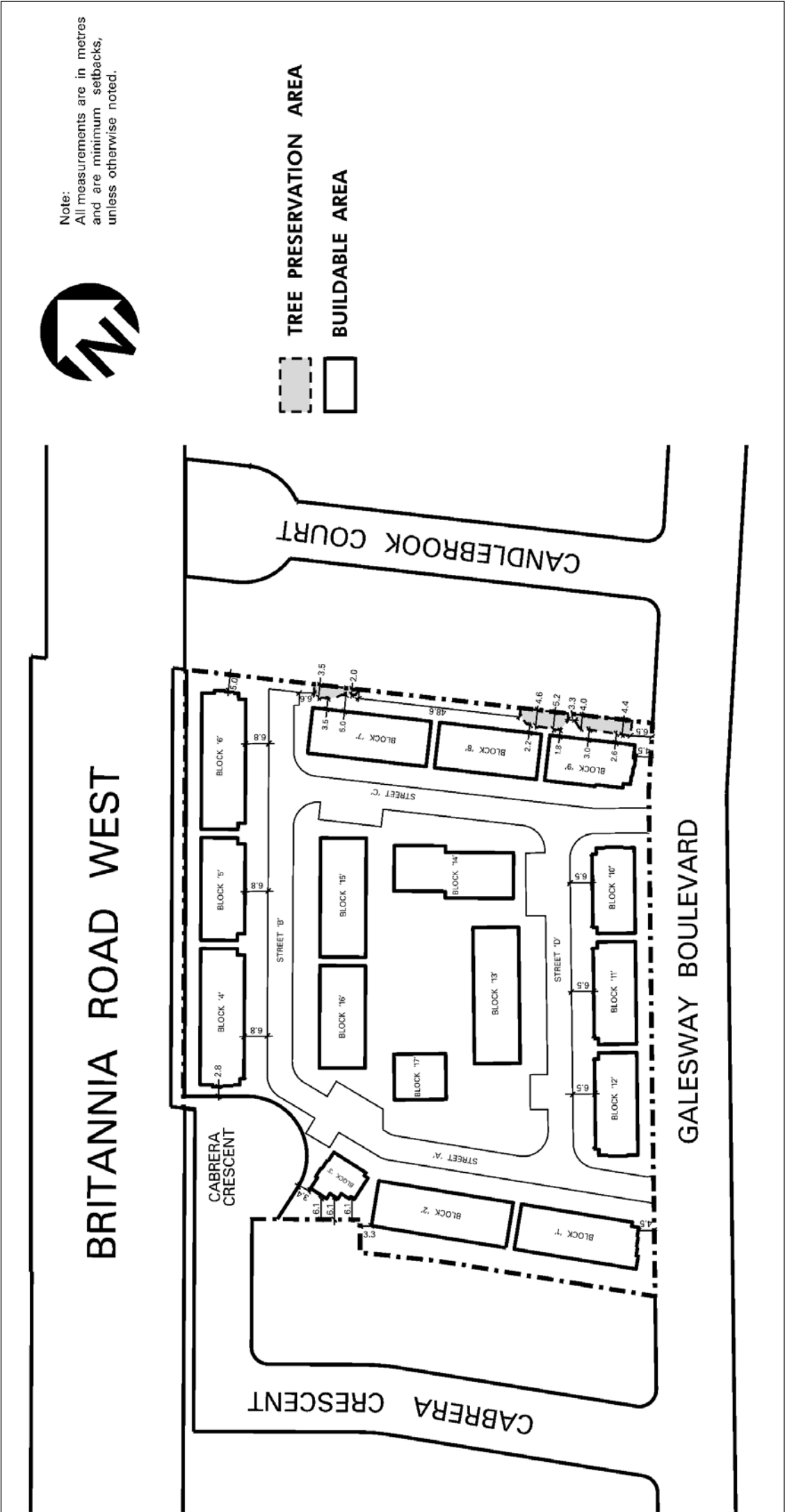
Schedule RM6-23
Map 38W

4.12.2.24	Exception: RM6-24	Map #	By-law:

4.12.2.25	Exception: RM6-25	Map # 38E	By-law: 0143-2021
In a RM6-25 zone the permitted uses and applicable regulations shall be as specified for a RM6 zone except that the following uses/regulations shall apply:			
Regulations			
4.12.2.25.1	Maximum number of dwelling units on all lands zoned RM6-25	105	
4.12.2.25.2	The lot line abutting Britannia Road West for Blocks '4' to '6' identified on Schedule RM6-25 of this Exception shall be deemed to be the front lot line		
4.12.2.25.3	The lot line abutting Galesway Boulevard for Blocks '10' to '12' identified on Schedule RM6-25 of this Exception shall be deemed to be the front lot line		
4.12.2.25.4	Minimum lot area - CEC - corner lot	160 m ²	
4.12.2.25.5	Minimum lot frontage - CEC - corner lot	6.4 m	
4.12.2.25.6	Minimum exterior side yard abutting a street	3.4 m	
4.12.2.25.7	Minimum exterior side yard abutting a CEC - sidewalk	1.2 m	
4.12.2.25.8	Minimum interior side yard - unattached side	1.2 m	
4.12.2.25.9	Minimum interior side yard where the interior side lot line is the rear lot line of an abutting parcel	1.2 m	
4.12.2.25.10	Minimum rear yard - interior lot/CEC - corner lot	7.0 m	
4.12.2.25.11	Maximum height	13.0 m and 3 storeys	
4.12.2.25.12	Notwithstanding Sentence 4.12.2.25.23 of this Exception, maximum encroachment of a porch or deck inclusive of stairs located at and accessible from the first storey or below the first storey into the required rear yard for Blocks '4' to '6' and '10' to '12'	2.5 m	
4.12.2.25.13	Notwithstanding Sentence 4.12.2.25.23 of this Exception, maximum encroachment of a balcony into the required rear yard for Blocks '4' to '6' and '10' to '12'	2.5 m	
4.12.2.25.14	Notwithstanding Sentence 4.12.2.25.23 of this Exception, maximum encroachment of a balcony or deck inclusive of stairs into the required rear yard for Blocks '1' to '3' and '7' to '9'	1.5 m	

Exception RM6-25 continued on next page

4.12.2.25	Exception: RM6-25	Map # 38E	By-law: 0143-2021
Exception RM6-25 continued from previous page			
4.12.2.25.15	Notwithstanding Sentence 4.12.2.25.23 of this Exception, maximum encroachment of a balcony or deck inclusive of stairs into the required rear yard for Blocks '13' to '17'	2.5 m	
4.12.2.25.16	Notwithstanding Sentence 4.12.2.25.23 of this Exception, external heating and air conditioning equipment is permitted on a balcony for Blocks '4' to '6' and '10' to '12'		
4.12.2.25.17	Minimum setback of a townhouse to a CEC - visitor parking space	1.8 m	
4.12.2.25.18	Maximum driveway width of an end unit for Blocks '4' to '6'	6.2 m	
4.12.2.25.19	The areas identified on Schedule RM6-25 of this Exception as a tree preservation area, shall only be used for conservation purposes, and no buildings or structures , swimming pools , tennis courts or any like recreational facilities, except for fences along the lot lines , shall be permitted		
4.12.2.25.20	Minimum CEC - amenity area for all lands zoned RM6-25 to be provided in one contiguous area	630 m ²	
4.12.2.25.21	Minimum setback of a townhouse to a CEC - amenity area	1.2 m	
4.12.2.25.22	"Front Lot Line" means the line that divides a lot from a CEC - road or a street		
4.12.2.25.23	All site development plans shall comply with Schedule RM6-25 of this Exception		
Holding Provision			
<p>The holding symbol H is to be removed from the whole or any part of the lands zoned H-RM6-25 by further amendment to Map 38E of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements:</p> <p>(1) provision of any outstanding technical plans, studies and reports to the satisfaction of the City of Mississauga ("City") and Region of Peel ("Region") including an updated functional servicing report;</p> <p>(2) resolution of the required land dedications and conveyances; services, road configuration and access required in support of the development;</p> <p>(3) entering into agreements as required satisfactory to the City and the Region;</p> <p>(4) execution of an amending agreement of the existing development and servicing agreements for subdivision 43M-1563;</p> <p>(5) de-registration of a portion of subdivision 43M-1563 and the provision of any outstanding or updated reports, documents, drawings/plans to the satisfaction of the City, the Region in support of any required land dedication, easement or servicing proposal.</p>			



Schedule RM6-25
Map 38E

