

4.11RM5 ZONE  
(STREET TOWNHOUSES)

4.11.1RM5 Permitted Uses and Zone Regulations

All **buildings** and **structures** shall comply with the provisions contained in Parts 1 to 3 and Section 4.1 of this By-law, and the **uses** and zone regulations specified within the applicable zone column contained in Table 4.11.1 - RM5 Permitted Uses and Zone Regulations.

Table 4.11.1 - RM5 Permitted Uses and Zone Regulations

Column A		B
Line 1.0	ZONES	RM5
PERMITTED USES		
2.0	RESIDENTIAL	
2.1	Street Townhouse (0181-2018/LPAT Order 2019 February 15)	✓
ZONE REGULATIONS		
3.0	MINIMUM LOT AREA	
3.1	Interior lot	200 m <sup>2</sup>
3.2	Corner lot	280 m <sup>2</sup>
4.0	MINIMUM LOT FRONTAGE	
4.1	Interior lot	6.8 m
4.2	Corner lot	9.8 m
5.0	MINIMUM FRONT YARD	4.5 m <sup>(1)</sup>
5.1	Garage face (0181-2018/LPAT Order 2019 February 15)	6.0 m
6.0	MINIMUM EXTERIOR SIDE YARD	4.5 m <sup>(1)</sup>
6.1	Garage face (0181-2018/LPAT Order 2019 February 15)	6.0 m
7.0	MINIMUM INTERIOR SIDE YARD	
7.1	Attached side	0.0 m
7.2	Unattached side	1.5 m <sup>(1)</sup>
7.3	Attached <b>garage</b> - unattached side	1.2 m <sup>(1)</sup>
8.0	MINIMUM REAR YARD	7.5 m <sup>(1)</sup>
9.0	MAXIMUM HEIGHT (0174-2017)	10.7 m and 3 <b>storeys</b>
10.0	MINIMUM LANDSCAPED AREA	25% of the <b>lot area</b>
11.0	MAXIMUM GROSS FLOOR AREA - RESIDENTIAL	0.75 times the <b>lot area</b>
12.0	ATTACHED GARAGE, PARKING AND DRIVEWAY	
12.1	Attached <b>garage</b>	Required <sup>(2)</sup>
12.2	Minimum <b>parking spaces</b>	✓ <sup>(3)</sup> <sup>(4)</sup>
12.3	Maximum <b>driveway</b> width	5.2 m <sup>(4)</sup>
13.0	ACCESSORY BUILDINGS AND STRUCTURES	✓ <sup>(5)</sup>

- NOTES:
- (1)

See also Subsections 4.1.7 and 4.1.8 of this By-law.
- (2)

See also Subsection 4.1.12 of this By-law.
- (3)

See also Part 3 of this By-law.
- (4)

See also Subsection 4.1.9 of this By-law.
- (5)

See Subsection 4.1.2 of this By-law.



#### 4.11.2 RM5 Exception Zones

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

4.11.2.1	Exception: RM5-1	Map # 21	By-law:
In a RM5-1 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.1.1	Minimum <b>lot frontage</b>		6.0 m
4.11.2.1.2	Minimum <b>front yard</b>		7.5 m
4.11.2.1.3	Minimum <b>exterior side yard</b>		7.5 m
4.11.2.1.4	Minimum <b>interior side yard</b>		3.0 m
4.11.2.1.5	Minimum <b>rear yard</b>		10.5 m

4.11.2.2	Exception: RM5-2	Map # 16, 17	By-law:
In a RM5-2 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.11.2.2.1	(1)	<b>Linked Dwelling</b>	

4.11.2.3	Exception: RM5-3	Map # 09, 10, 28, 38E	By-law: 0174-2017
In a RM5-3 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Additional Permitted Uses</b>			
4.11.2.3.1	(1)	<b>Detached Dwelling</b>	
	(2)	<b>Semi-Detached</b>	
<b>Regulations</b>			
4.11.2.3.2	A <b>detached dwelling</b> shall comply with the R5 zone regulations contained in Subsection 4.2.1 of this By-law		
4.11.2.3.3	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law		

4.11.2.4	Exception: RM5-4	Map # 16	By-law:
In a RM5-4 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulation</b>			
4.11.2.4.1	Minimum <b>rear yard - interior lot</b>		15.0 m

4.11.2.5	Exception: RM5-5	Map # 28, 39E	By-law: 0174-2017
In a RM5-5 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Uses</b>			
4.11.2.5.1	(1) <b>Detached Dwelling</b> (2) <b>Semi-Detached</b>		
<b>Regulations</b>			
4.11.2.5.2	A <b>detached dwelling</b> shall comply with the R5 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum <b>lot area - interior lot</b>	275 m <sup>2</sup>	
	(2) minimum <b>lot frontage - interior lot</b>	9.0 m	
4.11.2.5.3	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law		

4.11.2.6	Exception: RM5-6	Map # 30	By-law:
In a RM5-6 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.6.1	Minimum <b>lot area - interior lot</b>		275 m <sup>2</sup>
4.11.2.6.2	Minimum <b>lot area - corner lot</b>		395 m <sup>2</sup>
4.11.2.6.3	Minimum <b>lot frontage - interior lot</b>		9.0 m
4.11.2.6.4	Minimum <b>lot frontage - corner lot</b>		13.0 m
4.11.2.6.5	Minimum <b>front yard</b>		6.0 m
4.11.2.6.6	Minimum setback from a <b>habitable room</b> to the <b>street line</b>		10.0 m

4.11.2.7	Exception: RM5-7	Map # 28	By-law: 0174-2017
In a RM5-7 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Additional Permitted Use</b>			
4.11.2.7.1	(1)	<b>Semi-Detached</b>	
<b>Regulations</b>			
4.11.2.7.2	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1)	minimum <b>lot area - interior lot</b>	240 m <sup>2</sup>
	(2)	minimum <b>lot area - corner lot</b>	375 m <sup>2</sup>
	(3)	minimum <b>lot frontage - interior lot</b>	8.0 m
	(4)	minimum <b>lot frontage - corner lot</b>	12.5 m

4.11.2.8	Exception: RM5-8	Map # 37E	By-law:
In a RM5-8 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:			
Additional Permitted Use			
4.11.2.8.1	(1)	Detached Dwelling	
Regulations			
4.11.2.8.2	A <b>detached dwelling</b> shall comply with the R5 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum <b>lot area - interior lot</b>	275 m <sup>2</sup>
	(2)	maximum <b>lot coverage</b>	45%

4.11.2.9	Exception: RM5-9	Map # 37W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-9 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
Additional Permitted Use			
4.11.2.9.1	(1)	Semi-Detached	
Regulations			
4.11.2.9.2	Street Townhouse:		
	(1)	minimum <b>rear yard</b> - where a <b>lot</b> includes a <b>natural protection area</b> , shall be measured from the <b>natural protection area</b> identified on Schedule RM5-9 of this Exception and not from the <b>rear lot line</b>	
	(2)	the area identified on Schedule RM5-9 of this Exception as a <b>natural protection area</b> shall comply with the following:	
	(2.1)	the <b>natural protection area</b> shall only be used for the protection and natural regeneration of the <b>existing</b> woodlot, including trees and vegetation, together with the planting of trees and vegetation intended to ensure the retention of the <b>existing</b> woodlot	
	(2.2)	all <b>buildings</b> and <b>structures</b> , <b>swimming pools</b> , tennis courts or any like recreational or other facilities shall not be permitted within the <b>natural protection area</b>	
	(2.3)	outdoor storage of equipment and materials shall not be permitted within the <b>natural protection area</b>	
	(2.4)	fencing shall only be permitted on the perimeter of the <b>natural protection area</b> and not within the <b>natural protection area</b>	
	(3)	all site development plans shall comply with Schedule RM5-9 of this Exception	

Exception RM5-9 continued on next page

4.11.2.9	Exception: RM5-9	Map # 37W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
Exception RM5-9 continued from previous page			
4.11.2.9.3	<p>A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:</p> <p>(1) the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply</p> <p>(2) minimum <b>lot area - interior lot</b> 195 m<sup>2</sup></p> <p>(3) minimum <b>lot frontage - interior lot</b> 6.5 m</p> <p>(4) maximum <b>gross floor area - residential</b> 0.75 times the <b>lot area</b></p> <p>(5) minimum <b>rear yard</b> - where a <b>lot</b> includes a <b>natural protection area</b>, shall be measured from the <b>natural protection area</b> identified on Schedule RM5-9 of this Exception and not from the <b>rear lot line</b></p> <p>(6) the area identified on Schedule RM5-9 of this Exception as a <b>natural protection area</b> shall comply with the following:</p> <p>(6.1) the <b>natural protection area</b> shall only be used for the protection and natural regeneration of the <b>existing</b> woodlot, including trees and vegetation, together with the planting of trees and vegetation intended to ensure the retention of the <b>existing</b> woodlot</p> <p>(6.2) all <b>buildings</b> and <b>structures</b>, <b>swimming pools</b>, tennis courts or any like recreational or other facilities shall not be permitted within the <b>natural protection area</b></p> <p>(6.3) outdoor storage of equipment and materials shall not be permitted within the <b>natural protection area</b></p> <p>(6.4) fencing shall only be permitted on the perimeter of the <b>natural protection area</b> and not within the <b>natural protection area</b></p> <p>(7) all site development plans shall comply with Schedule RM5-9 of this Exception</p>		

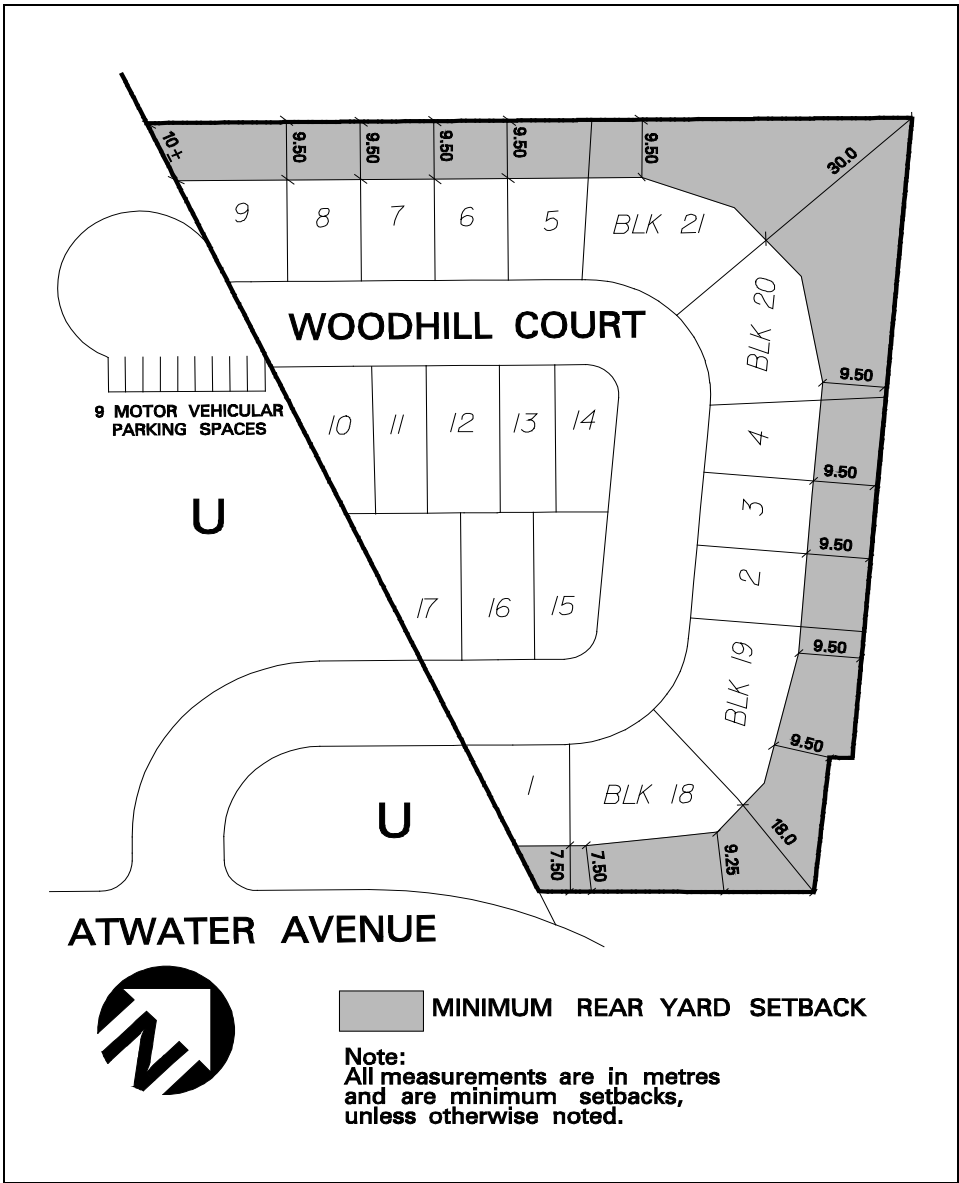


4.11.2.10	Exception: RM5-10	Map # 06	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-10 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
Additional Permitted Uses			
4.11.2.10.1	(1) <b>Detached Dwelling</b> (2) <b>Semi-Detached</b>		
Regulations			
4.11.2.10.2	<b>Street Townhouse:</b>		
	(1)	minimum <b>lot area - interior lot</b>	100 m <sup>2</sup>
	(2)	minimum <b>lot frontage - interior lot</b>	4.0 m
	(3)	maximum <b>lot coverage</b>	55%
	(4)	minimum setback to <b>garage face</b>	4.5 m
	(5)	minimum <b>interior side yard</b> - unattached side	1.2 m
	(6)	minimum <b>rear yard</b> unless otherwise identified on Schedule RM5-10 of this Exception	7.5 m
	(7)	minimum <b>parking spaces</b> per <b>dwelling unit</b> , one of which may be partially located on adjacent lands zoned U	3
	(8)	maximum <b>driveway</b> width	3.0 m
	(9)	all site development plans shall comply with Schedule RM5-10 of this Exception	
4.11.2.10.3	A <b>detached dwelling</b> shall comply with the R5 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum <b>lot area - interior lot</b>	190 m <sup>2</sup>
	(2)	minimum <b>lot area - corner lot</b>	210 m <sup>2</sup>
	(3)	minimum <b>lot frontage - interior lot</b>	8.0 m
	(4)	minimum <b>lot frontage - corner lot</b>	9.5 m
	(5)	minimum <b>exterior side yard</b>	1.4 m
	(6)	minimum setback to <b>garage face</b>	4.5 m
	(7)	minimum <b>interior side yard</b> - unattached side	0.6 m
	(8)	minimum <b>rear yard</b> unless otherwise identified on Schedule RM5-10 of this Exception	7.5 m
	(9)	minimum <b>parking spaces</b> per <b>dwelling unit</b> , one of which may be partially located on adjacent lands zoned U	3
	(10)	all site development plans shall comply with Schedule RM5-10 of this Exception	

Exception RM5-10 continued on next page



4.11.2.10	Exception: RM5-10	Map # 06	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
Exception RM5-10 continued from previous page			
4.11.2.10.4	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1) the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply		
	(2) minimum <b>lot area - interior lot</b>		130 m <sup>2</sup>
	(3) minimum <b>lot frontage - interior lot</b>		5.2 m
	(4) maximum <b>lot coverage</b>		40%
	(5) minimum setback to <b>garage face</b>		4.5 m
	(6) minimum <b>interior side yard</b> - unattached side		1.2 m
	(7) minimum <b>rear yard</b> unless otherwise identified on Schedule RM5-10 of this Exception		7.5 m
	(8) minimum <b>parking spaces</b> per <b>dwelling unit</b> , one of which may be partially located on adjacent lands zoned U		3
	(9) maximum <b>driveway</b> width		3.8 m
	(10) all site development plans shall comply with Schedule RM5-10 of this Exception		



Schedule RM5-10  
Map 06

4.11.2.11	Exception: RM5-11	Map # 36E, 56	By-law:
In a RM5-11 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.11.1	Minimum <b>lot area - interior lot</b>		165 m <sup>2</sup>
4.11.2.11.2	Minimum <b>lot frontage - interior lot</b>		5.5 m
4.11.2.11.3	Maximum <b>gross floor area - residential</b>		1.0 times the <b>lot area</b>

4.11.2.12	Exception: RM5-12	Map # 37W, 38E, 53E, 53W, 56	By-law: 0174-2017
In a RM5-12 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.11.2.12.1	(1)	<b>Semi-Detached</b>	
<b>Regulation</b>			
4.11.2.12.2	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1)	the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply	
	(2)	maximum <b>gross floor area - residential</b>	0.75 times the <b>lot area</b>

4.11.2.13	Exception: RM5-13	Map # 37W, 38E, 55, 56	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-13 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Additional Permitted Uses</b>			
4.11.2.13.1	(1) <b>Detached Dwelling</b> (2) <b>Semi-Detached</b>		
<b>Regulations</b>			
4.11.2.13.2	<b>Street Townhouse:</b>		
	(1) minimum <b>rear yard</b> - where lands abut a B zone	15.0 m	
4.11.2.13.3	A <b>detached dwelling</b> shall comply with the R5 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum <b>rear yard</b> - where lands abut a B zone	15.0 m	
4.11.2.13.4	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1) the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply		
	(2) maximum <b>gross floor area - residential</b>	0.75 times the <b>lot area</b>	
	(3) minimum <b>rear yard</b> - where lands abut a B zone	15.0 m	

## Part 4 - Residential Zones

4.11.2.14	Exception: RM5-14	Map # 45E	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM5-14 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.11.2.14.1	The <b>lot line</b> abutting a <b>street</b> with a width of 20.0 m or greater shall be deemed to be the <b>front lot line</b>		
4.11.2.14.2	Minimum <b>exterior side yard</b>		3.3 m
4.11.2.14.3	A detached <b>garage</b> shall be permitted only in the <b>rear yard</b>		
4.11.2.14.4	Minimum setback from a detached <b>garage</b> to the <b>rear lot line</b>		5.2 m
4.11.2.14.5	Minimum setback from a detached <b>garage</b> located in the <b>rear yard</b> to a <b>street townhouse</b>		7.5 m

4.11.2.15	Exception: RM5-15	Map # 53W	By-law:
In a RM5-15 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.15.1	Minimum <b>lot area - interior lot</b>	180 m <sup>2</sup>	
4.11.2.15.2	Minimum <b>lot area - corner lot</b>	250 m <sup>2</sup>	
4.11.2.15.3	Minimum <b>exterior side yard</b>	3.6 m	
4.11.2.15.4	Maximum encroachment of a <b>porch</b> into the required <b>front</b> and <b>exterior side yards</b>	1.8 m	
4.11.2.15.5	Minimum length of a <b>parking space</b> located on a <b>driveway</b> where lands abut a G2-1 zone	4.5 m	
4.11.2.15.6	Minimum length of a <b>parking space</b> located on a <b>driveway</b> - all other <b>lots</b>	5.5 m	

4.11.2.16	Exception: RM5-16	Map # 53E, 53W	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM5-16 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.16.1	Minimum <b>lot area - interior lot</b>	240 m <sup>2</sup>	
4.11.2.16.2	Minimum <b>lot area - corner lot</b>	330 m <sup>2</sup>	
4.11.2.16.3	Minimum <b>lot frontage - interior lot</b>	8.0 m	
4.11.2.16.4	Minimum <b>lot frontage - corner lot</b>	11.0 m	
4.11.2.16.5	Minimum <b>front yard</b>	3.6 m	
4.11.2.16.6	Minimum <b>exterior side yard</b>	3.6 m	
4.11.2.16.7	Minimum setback to <b>garage face</b>	5.5 m	
4.11.2.16.8	Minimum <b>interior side yard</b> - unattached side	1.5 m	
4.11.2.16.9	Maximum encroachment of a <b>porch</b> into the required <b>front</b> and <b>exterior side yards</b>	1.8 m	
4.11.2.16.10	Minimum setback of a <b>street townhouse</b> to all lands zoned G2-1	7.5 m	

4.11.2.17	Exception: RM5-17	Map # 22	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-17 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Additional Permitted Use</b>			
4.11.2.17.1	(1)	<b>Semi-Detached</b>	
<b>Regulations</b>			
4.11.2.17.2	<b>Street Townhouse:</b>		
	(1)	minimum setback to <b>garage face</b>	7.0 m
4.11.2.17.3	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1)	the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply	
	(2)	minimum <b>exterior side yard</b>	3.5 m
	(3)	maximum <b>driveway</b> width	5.5 m
	(4)	minimum setback to <b>garage face</b>	7.0 m

4.11.2.18	Exception: RM5-18	Map # 22	By-law: 0174-2017
In a RM5-18 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Additional Permitted Use</b>			
4.11.2.18.1	(1)	<b>Semi-Detached</b>	
<b>Regulation</b>			
4.11.2.18.2	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1)	minimum <b>exterior side yard</b>	3.5 m

4.11.2.19	Exception: RM5-19	Map # 38E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-19 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
Additional Permitted Use			
4.11.2.19.1	(1)	Semi-Detached	
Regulations			
4.11.2.19.2	Street Townhouse:		
	(1)	minimum <b>lot area</b>	200 m <sup>2</sup>
	(2)	minimum <b>lot frontage</b>	10.0 m
	(3)	minimum <b>front yard</b>	3.0 m
	(4)	minimum <b>exterior side yard</b>	1.8 m
	(5)	maximum encroachment of a window into required <b>front</b> and <b>exterior side yards</b>	0.3 m
	(6)	maximum encroachment of an attached <b>garage</b> into the required <b>rear yard</b>	1.0 m
	(7)	maximum <b>driveway</b> width	5.5 m
4.11.2.19.3	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1)	the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply	
	(2)	minimum <b>lot area</b>	200 m <sup>2</sup>
	(3)	minimum <b>lot frontage</b>	10.0 m
	(4)	maximum <b>gross floor area - residential</b>	0.75 times the <b>lot area</b>
	(5)	minimum <b>front yard</b>	3.0 m
	(6)	minimum <b>exterior side yard</b>	1.8 m
	(7)	minimum <b>interior side yard</b> - unattached side	1.5 m
	(8)	maximum encroachment of a window into required <b>front</b> and <b>exterior side yards</b>	0.3 m
	(9)	maximum encroachment of an attached <b>garage</b> into the required <b>rear yard</b>	1.0 m
	(10)	maximum <b>driveway</b> width	5.5 m

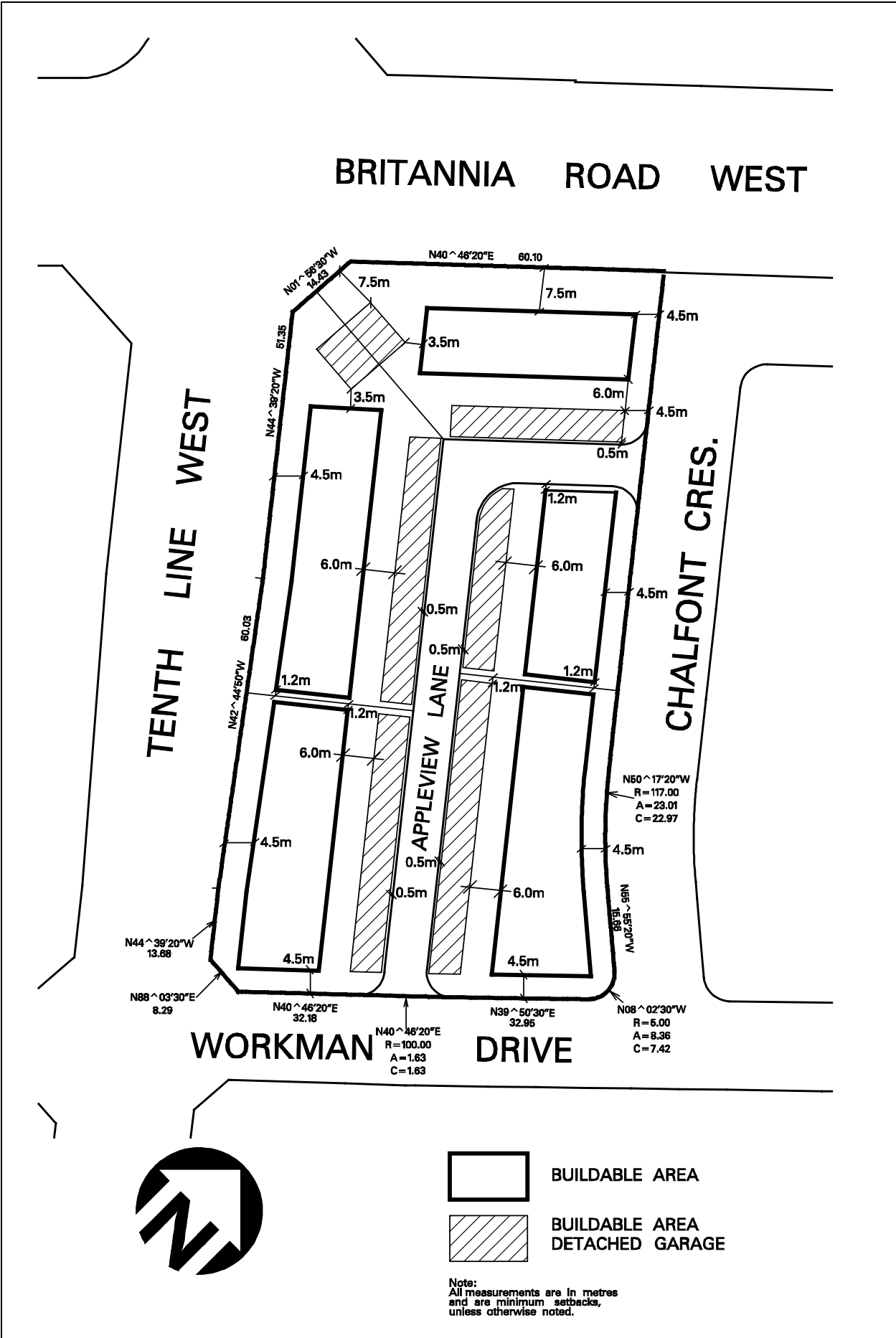
4.11.2.20	Exception: RM5-20	Map # 22	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-20 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.11.2.20.1	(1)	<b>Semi-Detached</b>	
<b>Regulations</b>			
4.11.2.20.2	<b>Street Townhouse:</b>		
	(1)	minimum setback to <b>garage face</b>	7.0 m
4.11.2.20.3	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1)	the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply	
	(2)	maximum <b>gross floor area - residential</b>	0.75 times the <b>lot area</b>
	(3)	minimum setback to <b>garage face</b>	7.0 m

4.11.2.21	Exception: RM5-21	Map # 57, 58	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM5-21 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.21.1	The regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.21.2	Minimum <b>lot area - interior lot</b>		183 m <sup>2</sup>
4.11.2.21.3	Minimum <b>lot area - corner lot</b>		292 m <sup>2</sup>
4.11.2.21.4	Minimum <b>lot frontage - interior lot</b>		6.1 m
4.11.2.21.5	Minimum <b>lot frontage - corner lot</b>		9.75 m
4.11.2.21.6	Minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the <b>front lot line</b>		3.5 m
4.11.2.21.7	Minimum <b>exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>		3.5 m
4.11.2.21.8	Minimum setback to <b>garage face</b>		5.8 m
4.11.2.21.9	Minimum <b>interior side yard</b> - unattached side		1.2 m
4.11.2.21.10	Maximum encroachment of a <b>porch</b> or <b>balcony</b> into the required <b>front</b> and <b>exterior side yards</b>		2.0 m
4.11.2.21.11	Maximum encroachment of an awning into the required <b>front yard</b>		0.6 m
4.11.2.21.12	Maximum encroachment of an awning into the required <b>exterior side yard</b>		0.3 m
4.11.2.21.13	Maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided		2.5 m
4.11.2.21.14	Where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>		5.0 m

**Exception RM5-21 continued on next page**

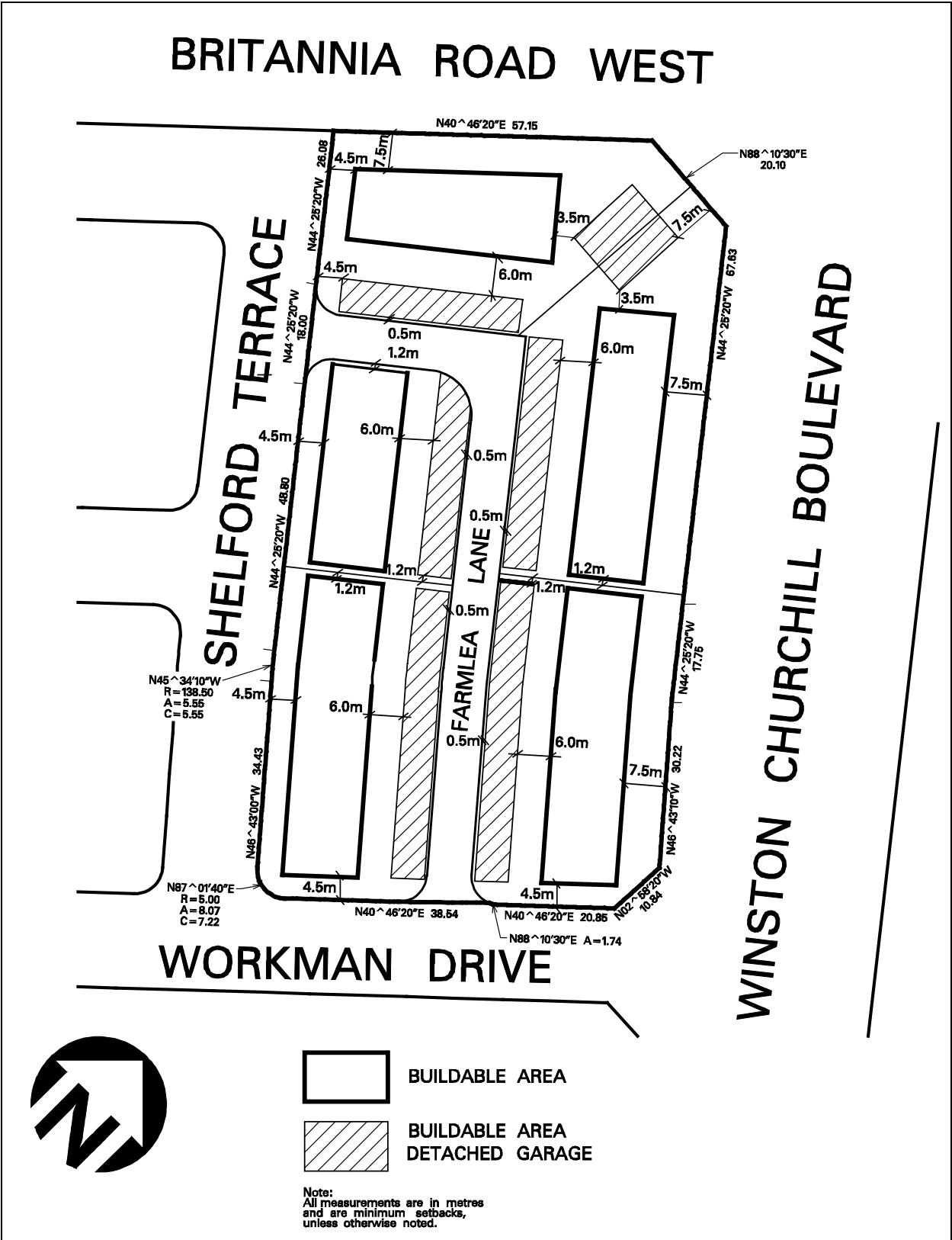
4.11.2.21	Exception: RM5-21	Map # 57, 58	By-law: 0181-2018/LPAT Order 2019 February 15
<b>Exception RM5-21 continued from previous page</b>			
4.11.2.21.15	For a <b>street townhouse</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>		
4.11.2.21.16	Minimum setback to a <b>sight triangle</b>	0.0 m	
4.11.2.21.17	Maximum <b>driveway</b> width	3.8 m	
4.11.2.21.18	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	3.8 m	

4.11.2.22	Exception: RM5-22(1), RM5-22(2), RM5-22(3), RM5-22(4), RM5-22(5), RM5-22(6), RM5-22(7), RM5-22(8)	Map # 57, 58	By-law:
In a RM5-22(1), RM5-22(2), RM5-22(3), RM5-22(4), RM5-22(5), RM5-22(6), RM5-22(7) and RM5-22(8) zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.22.1	The regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.22.2	Minimum <b>lot area - corner lot</b>	315 m <sup>2</sup>	
4.11.2.22.3	Minimum <b>lot frontage - corner lot</b>	10.5 m	
4.11.2.22.4	Minimum <b>front yard - lot</b> without a municipal sidewalk adjacent the front lot line	3.5 m	
4.11.2.22.5	Minimum <b>exterior side yard - lot</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>	3.5 m	
4.11.2.22.6	Maximum encroachment of a <b>porch</b> or <b>balcony</b> outside the buildable area identified on Schedules RM5-22(1) to RM5-22(8) of this Exception, into the required <b>front</b> and <b>exterior side yards</b>	2.0 m	
4.11.2.22.7	Maximum encroachment of an awning outside the buildable area identified on Schedules RM5-22(1) to RM5-22(8) of this Exception, into the required <b>exterior side yard</b>	0.3 m	
4.11.2.22.8	Maximum <b>driveway</b> width	6.5 m	
4.11.2.22.9	A detached <b>garage</b> shall be permitted in the buildable area - detached <b>garage</b> identified on Schedules RM5-22(1) to RM5-22(8) of this Exception		
4.11.2.22.10	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	5.5 m	
4.11.2.22.11	Minimum <b>interior side yard</b> on one side of a detached <b>garage</b> located in the <b>rear yard</b>	0.8 m	
4.11.2.22.12	Minimum setback of all <b>buildings</b> and <b>structures</b> except a detached <b>garage</b> to a <b>sight triangle</b>	0.0 m	
4.11.2.22.13	"Rear Lot Line" means the <b>lot line</b> that divides the <b>lot</b> from the public lane identified and named as a "lane" on Schedules RM5-22(1) to RM5-22(8) of this Exception		
4.11.2.22.14	"Front Lot Line" means the <b>lot line</b> opposite the rear lot line		
4.11.2.22.15	All site development plans shall comply with Schedules RM5-22(1) to RM5-22(8) of this Exception		

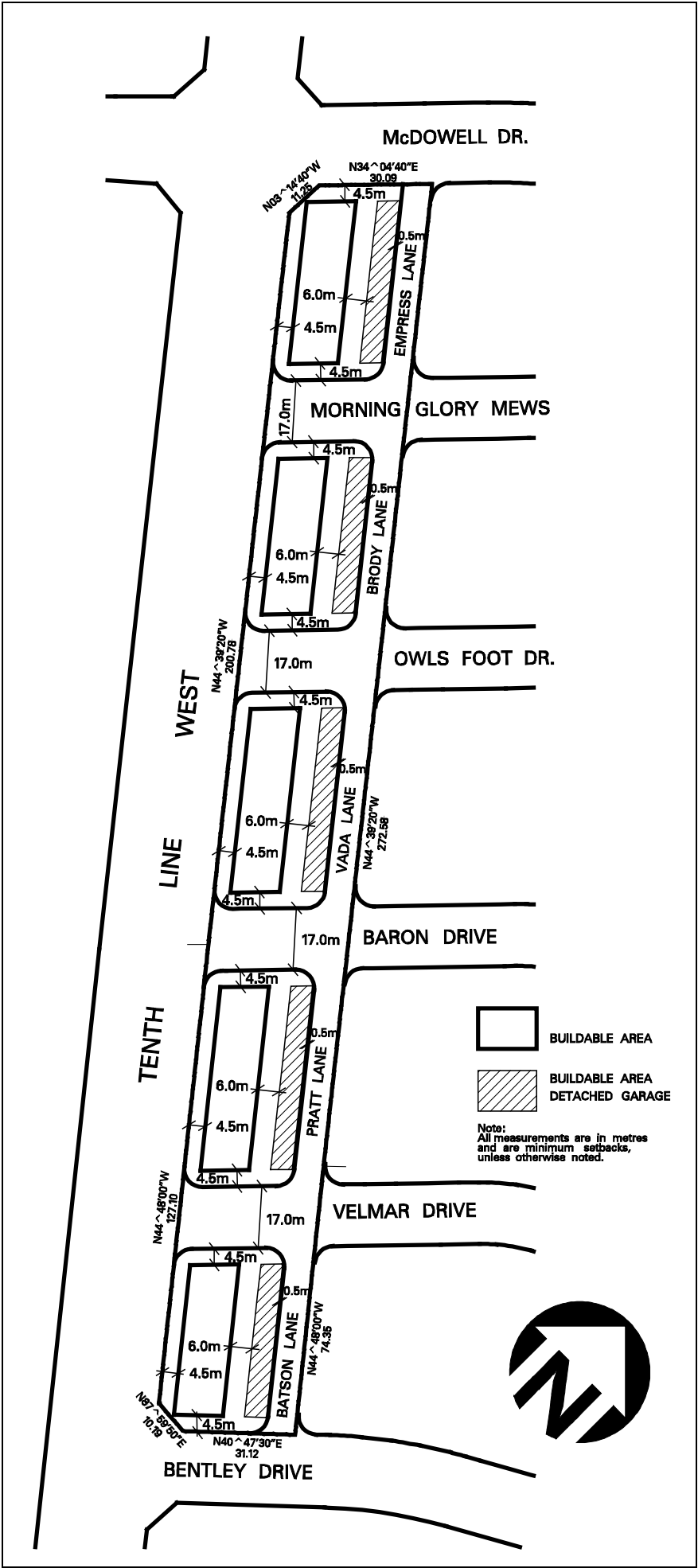


Schedule RM5-22(1)  
Map 57

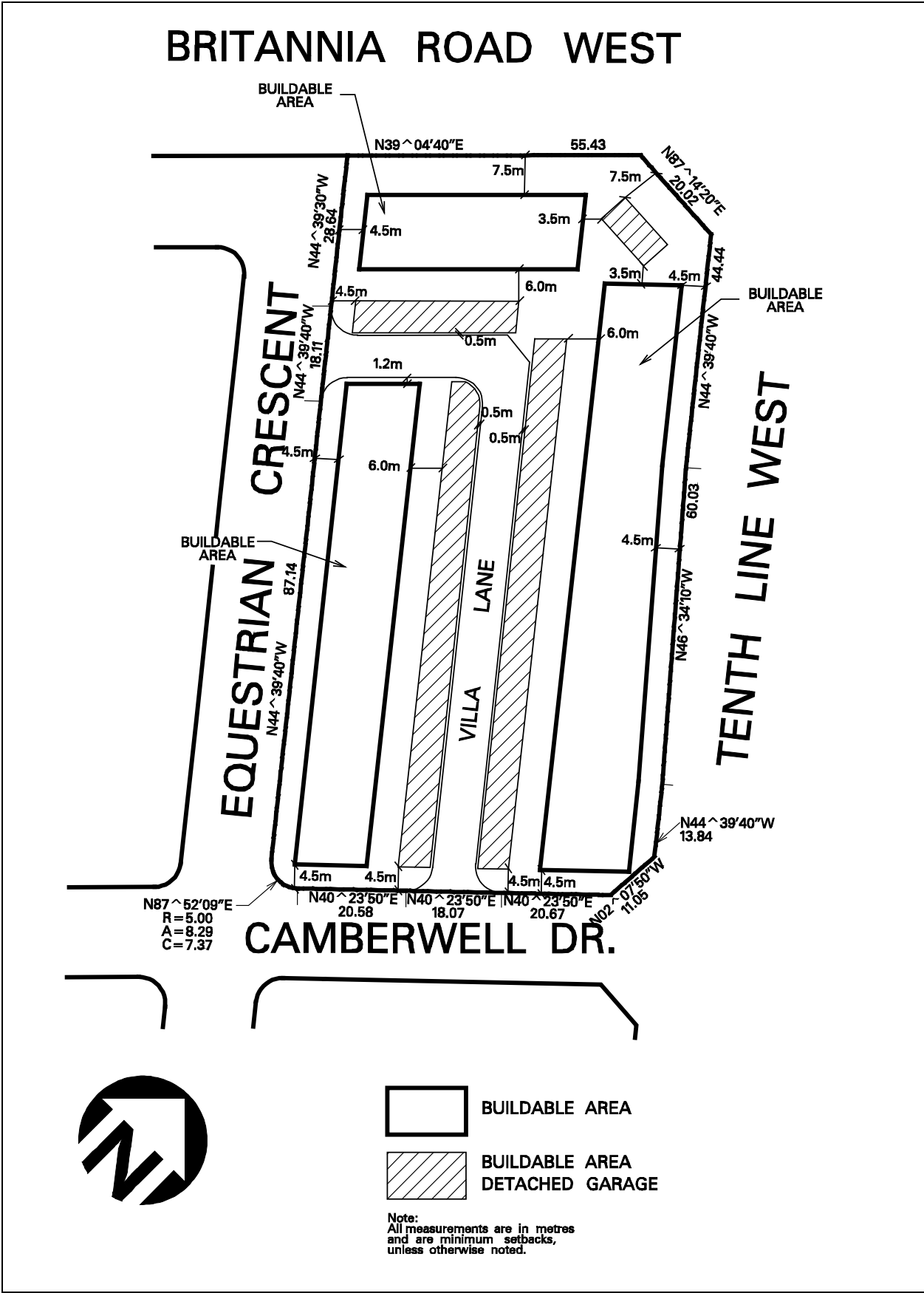




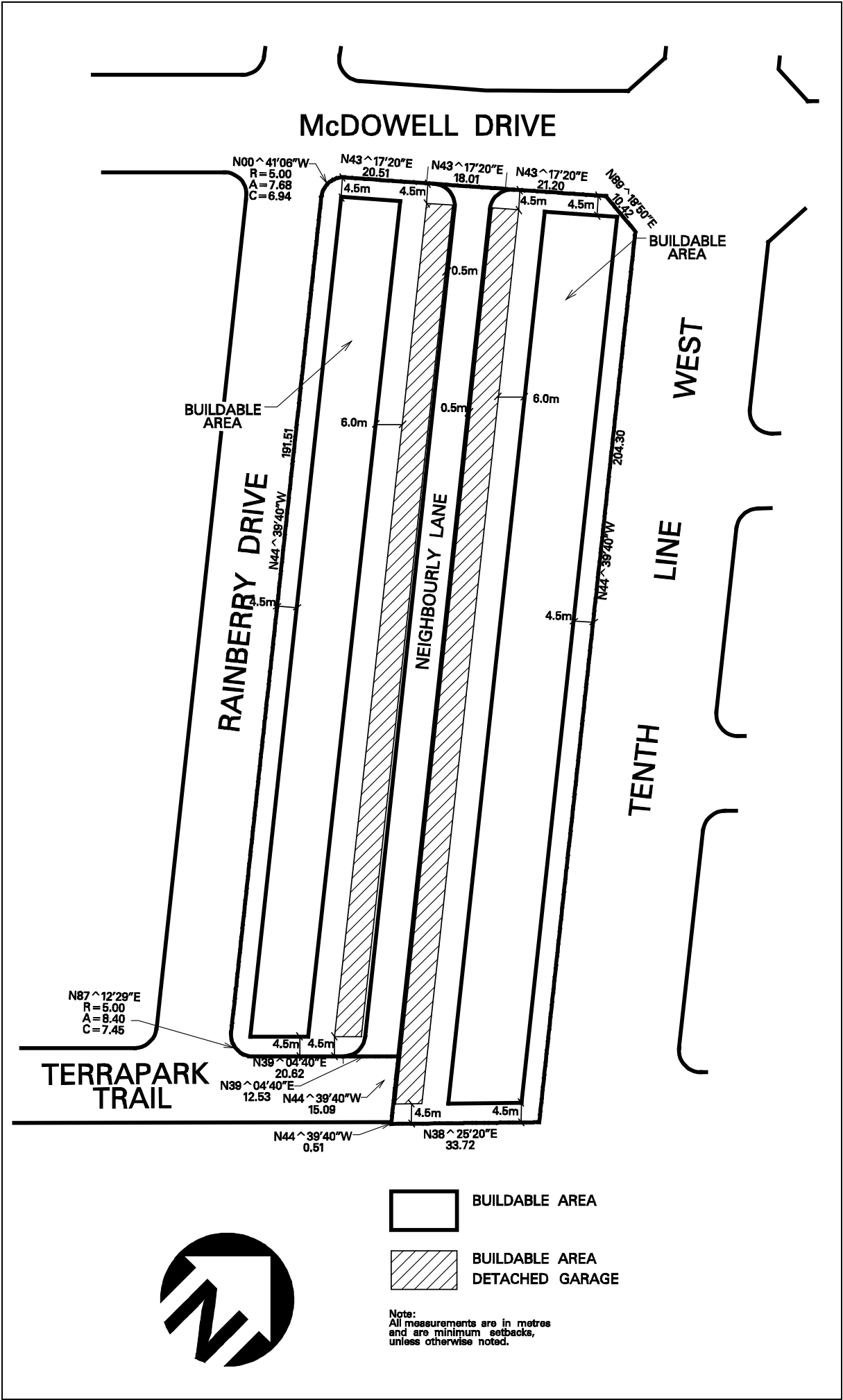
Schedule RM5-22(2)  
Map 57



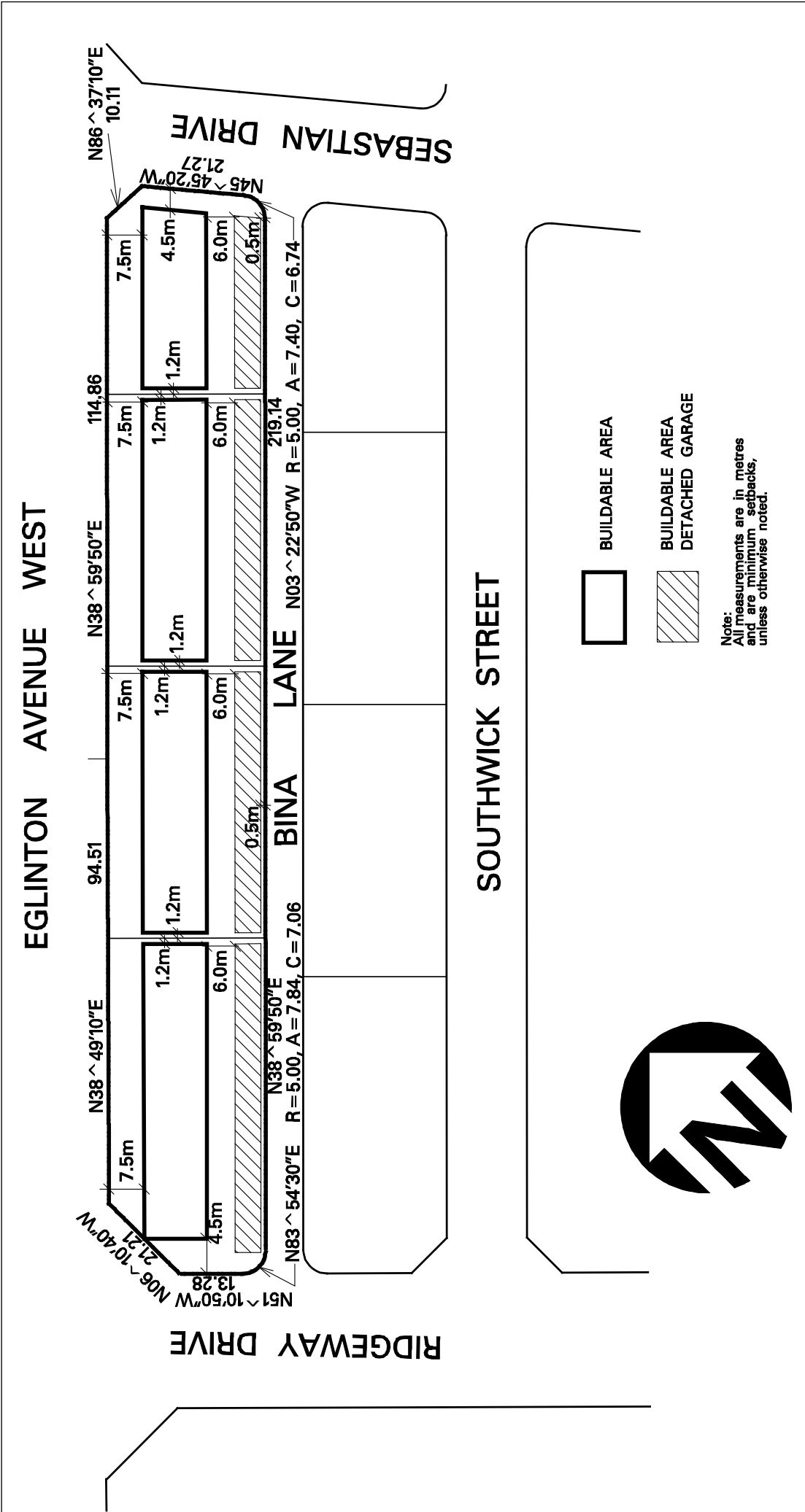
Schedule RM5-22(3)  
Map 57



Schedule RM5-22(4)  
Map 57

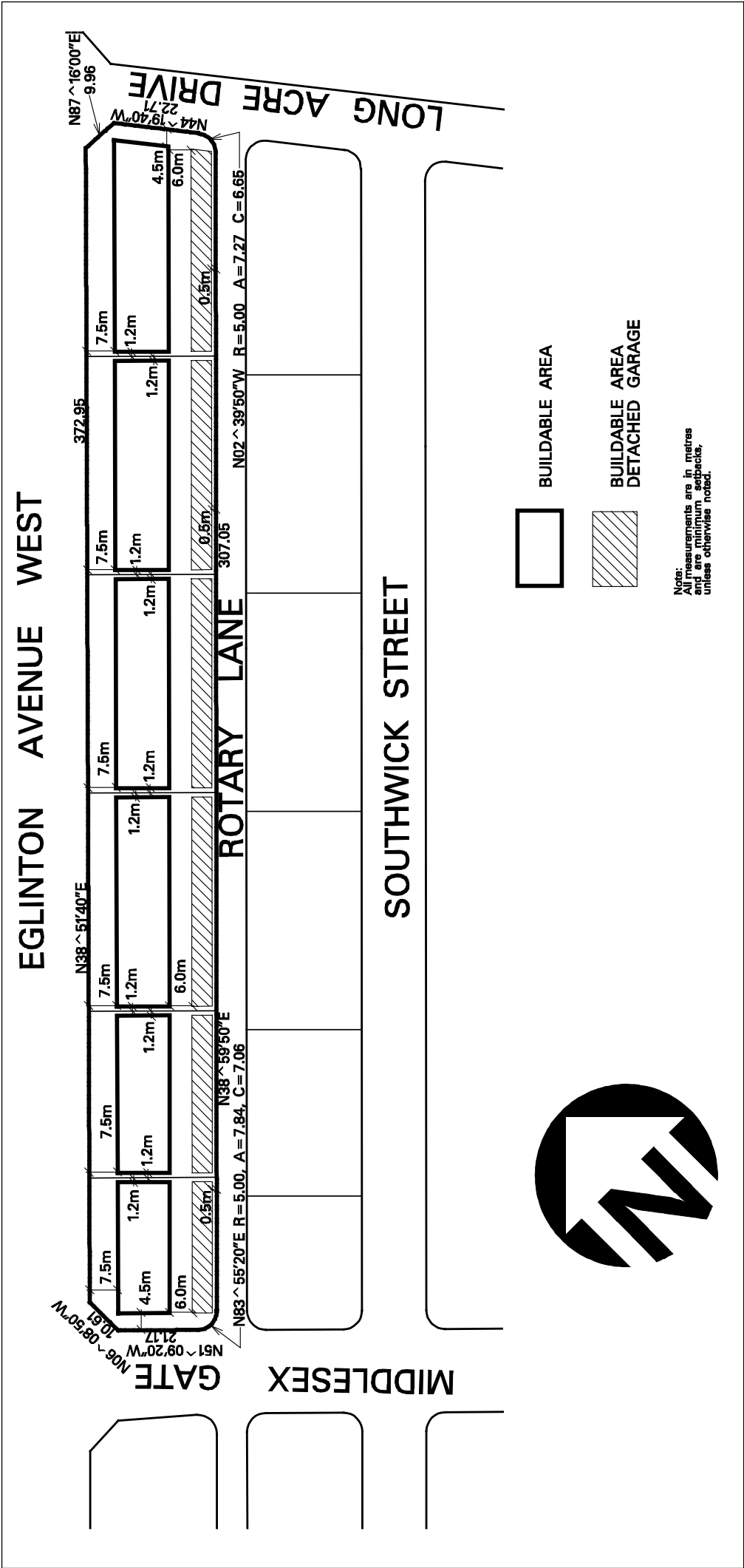


Schedule RM5-22(5)  
Map 57



Schedule RM5-22(6)  
Map 58





Schedule RM5-22(8)  
Map 58

4.11.2.23	Exception: RM5-23	Map # 44W	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM5-23 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.23.1	Minimum <b>front yard - lot</b> without a municipal sidewalk adjacent the <b>front lot line</b>		3.5 m
4.11.2.23.2	Minimum <b>exterior side yard - lot</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>		3.5 m
4.11.2.23.3	Minimum setback to <b>garage face</b>		5.8 m
4.11.2.23.4	Maximum encroachment of a <b>porch</b> into the required <b>front</b> and <b>exterior side yards</b>		1.8 m
4.11.2.23.5	Maximum encroachment of a <b>balcony</b> into the required <b>front</b> and <b>exterior side yards</b>		2.0 m
4.11.2.23.6	Maximum encroachment of an awning into the required <b>exterior side yard</b>		0.3 m
4.11.2.23.7	Maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided		2.5 m
4.11.2.23.8	Where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>		5.0 m
4.11.2.23.9	For a <b>street townhouse</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>		
4.11.2.23.10	Minimum setback to a <b>sight triangle</b>		0.0 m
4.11.2.23.11	Maximum <b>driveway</b> width		3.8 m
4.11.2.23.12	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		3.8 m

4.11.2.24	Exception: RM5-24	Map # 28	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM5-24 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.24.1	The regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.24.2	Minimum <b>lot area - interior lot</b>		195 m <sup>2</sup>
4.11.2.24.3	Minimum <b>lot area - corner lot</b>		260 m <sup>2</sup>
4.11.2.24.4	Minimum <b>lot frontage - interior lot</b>		7.5 m
4.11.2.24.5	Minimum <b>lot frontage - corner lot</b>		10.0 m
4.11.2.24.6	Minimum <b>front yard - lot</b> without a municipal sidewalk adjacent the <b>front lot line</b>		3.5 m
4.11.2.24.7	Minimum <b>exterior side yard - lot</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>		3.5 m
4.11.2.24.8	Minimum setback to <b>garage face</b> where a <b>lot</b> abuts a PB1 zone		7.0 m
4.11.2.24.9	Minimum setback to <b>garage face</b> - all other <b>lots</b>		6.0 m
4.11.2.24.10	Minimum <b>interior side yard</b> - unattached side		1.2 m

Exception RM5-24 continued on next page



4.11.2.24	Exception: RM5-24	Map # 28	By-law: 0181-2018/LPAT Order 2019 February 15
<b>Exception RM5-24 continued from previous page</b>			
4.11.2.24.11	Minimum <b>rear yard</b>		7.0 m
4.11.2.24.12	Minimum setback of a <b>street townhouse</b> to all lands zoned PB1		18.5 m
4.11.2.24.13	Maximum encroachment of a <b>porch</b> or <b>balcony</b> into required <b>front</b> and <b>exterior side yards</b>		1.8 m
4.11.2.24.14	Maximum encroachment of an awning into the required <b>exterior side yard</b>		0.3 m
4.11.2.24.15	Maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided		2.5 m
4.11.2.24.16	Where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>		5.0 m
4.11.2.24.17	For a <b>street townhouse</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>		
4.11.2.24.18	Minimum setback to a <b>sight triangle</b>		0.0 m
4.11.2.24.19	Maximum <b>driveway</b> width		3.8 m
4.11.2.24.20	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		3.8 m

4.11.2.25	Exception: RM5-25	Map # 36W	By-law:
In a RM5-25 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.25.1	Minimum <b>lot area - interior lot</b>		163 m <sup>2</sup>
4.11.2.25.2	Minimum <b>lot frontage - interior lot</b>		6.1 m
4.11.2.25.3	Minimum setback to Hurontario Street		3.2 m

4.11.2.26	Exception: RM5-26	Map # 44E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-26 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.11.2.26.1	(1) <b>Semi-Detached</b>		
<b>Regulations</b>			
4.11.2.26.2	<b>Street Townhouse:</b>		
	(1) maximum <b>lot coverage</b> - where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> or 2.5 m beyond the <b>main front entrance - interior lot</b>		45%
	(2) maximum <b>lot coverage</b> - all other <b>lots</b>		40%
	(3) minimum <b>rear yard</b> where lands abut a C5-12 zone		10.0 m

**Exception RM5-26 continued on next page**

4.11.2.26	Exception: RM5-26	Map # 44E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
<b>Exception RM5-26 continued from previous page</b>			
4.11.2.26.2 (continued)	(4)	maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided - <b>interior lot</b>	2.5 m
	(5)	where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b> - <b>interior lot</b>	4.0 m
	(6)	for a <b>street townhouse</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>	
	(7)	maximum <b>porch</b> area in a <b>front yard</b> - <b>interior lot</b>	12 m <sup>2</sup>
	(8)	maximum <b>porch</b> area in <b>front</b> and <b>exterior side yards</b> - <b>corner lot</b>	20 m <sup>2</sup>
	(9)	the area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>	
	(10)	<b>accessory buildings</b> and <b>structures</b> shall not be located in the <b>front yard</b> or <b>exterior side yard</b>	
4.11.2.26.3	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1)	maximum <b>lot coverage</b> - where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> or 2.5 m beyond the <b>main front entrance</b> - <b>interior lot</b>	45%
	(2)	maximum <b>lot coverage</b> - all other <b>lots</b>	40%
	(3)	minimum <b>rear yard</b> where lands abut an C5-12 zone	10.0 m
	(4)	maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided - <b>interior lot</b>	2.5 m
	(5)	where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b> - <b>interior lot</b>	4.0 m
	(6)	for a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b> - <b>interior lot</b>	
	(7)	maximum <b>porch</b> area in a <b>front yard</b> - <b>interior lot</b>	12 m <sup>2</sup>
	(8)	maximum total <b>porch</b> area in <b>front</b> and <b>exterior side yards</b> - <b>corner lot</b>	20 m <sup>2</sup>
	(9)	the area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>	
	(10)	<b>accessory buildings</b> and <b>structures</b> shall not be located in the <b>front yard</b> or <b>exterior side yard</b>	

4.11.2.27	Exception: RM5-27	Map # 44W, 45E, 52W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-27 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
Additional Permitted Use			
4.11.2.27.1	(1)	Semi-Detached	
Regulations			
4.11.2.27.2	Street Townhouse:		
	(1)	maximum <b>lot coverage</b> :	
	(1.1)	where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> or 2.5 m beyond the <b>main front entrance</b> or a <b>habitable room</b> on the <b>first storey</b> or	45%
	(1.2)	where the width of the <b>garage</b> is 3.5 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall or	45%
	(1.3)	all other <b>lots</b>	40%
	(2)	minimum setback to Old Derry Road	9.0 m
	(3)	maximum projection of a <b>garage</b> beyond the <b>main front entrance</b>	7.0 m
	(4)	for a <b>street townhouse</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>	
	(5)	maximum <b>porch</b> area in a <b>front yard - interior lot</b>	12 m <sup>2</sup>
	(6)	maximum total <b>porch</b> area in <b>front</b> and <b>exterior side yards - corner lot</b>	20 m <sup>2</sup>
	(7)	the area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>	
	(8)	<b>accessory building</b> and <b>structures</b> shall not be located in the <b>front yard</b> or <b>exterior side yard</b>	
4.11.2.27.3	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1)	maximum <b>lot coverage</b> :	
	(1.1)	where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> or 2.5 m beyond the <b>main front entrance</b> or a <b>habitable room</b> on the <b>first storey</b> or	45%
	(1.2)	where the width of the <b>garage</b> is 3.5 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall or	45%
	(1.3)	all other <b>lots</b>	40%
	(2)	minimum setback to Old Derry Road	9.0 m
	(3)	maximum projection of a <b>garage</b> beyond the <b>main front entrance</b>	7.0 m

Exception RM5-27 continued on next page

4.11.2.27	Exception: RM5-27	Map # 44W, 45E, 52W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
<b>Exception RM5-27 continued from previous page</b>			
4.11.2.27.3 (continued)	(4)	for a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>	
	(5)	maximum <b>porch</b> area in a <b>front yard - interior lot</b>	12 m <sup>2</sup>
	(6)	maximum total <b>porch</b> area in <b>front</b> and <b>exterior side yards - corner lot</b>	20 m <sup>2</sup>
	(7)	the area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>	
	(8)	<b>accessory buildings</b> and <b>structures</b> shall not be located in the <b>front yard</b> or <b>exterior side yard</b>	

4.11.2.28	Exception: RM5-28	Map # 52E	By-law: 0325-2008, 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-28 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Uses</b>			
4.11.2.28.1	(1)	<b>Detached Dwelling</b>	
	(2)	<b>Semi-Detached</b>	
<b>Regulations</b>			
4.11.2.28.2	<b>Street Townhouse:</b>		
	(1)	maximum <b>lot coverage:</b>	
	(1.1)	where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> or 2.5 m beyond the <b>main front entrance</b> or a <b>habitable room</b> on the <b>first storey</b> or	45%
	(1.2)	where the width of the <b>garage</b> is 3.5 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall or	45%
	(1.3)	all other <b>lots</b>	40%
	(2)	maximum projection of a <b>garage</b> beyond the <b>main front entrance</b>	7.0 m
	(3)	for a <b>street townhouse</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>	
	(4)	maximum <b>porch</b> area in a <b>front yard - interior lot</b>	12 m <sup>2</sup>
	(5)	maximum total <b>porch</b> area in <b>front</b> and <b>exterior side yards - corner lot</b>	20 m <sup>2</sup>
	(6)	the area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>	
	(7)	<b>accessory buildings</b> and <b>structures</b> shall not be located in the <b>front yard</b> or <b>exterior side yard</b>	

Exception RM5-28 continued on next page

4.11.2.28	Exception: RM5-28	Map # 52E	By-law: 0325-2008, 0174-2017, 0181-2018/LPAT Order 2019 February 15
<b>Exception RM5-28 continued from previous page</b>			
4.11.2.28.3	A <b>detached dwelling</b> shall comply with the R11 zone regulations contained in Subsection 4.4.1 of this By-law except that:		
	(1)	maximum <b>lot coverage</b> - where the width of the <b>garage</b> is 5.0 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall	45%
	(2)	maximum <b>lot coverage</b> - where the projection of a <b>garage</b> beyond the <b>main front entrance</b> or the <b>main entry feature</b> , where provided, is less than or equal to 1.0 m or the projection of a <b>garage</b> beyond the <b>main front entrance</b> is less than or equal to 2.5 m	45%
4.11.2.28.4	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1)	maximum <b>lot coverage</b> :	
	(1.1)	where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> or 2.5 m beyond the <b>main front entrance</b> or a <b>habitable room</b> on the <b>first storey</b> or	45%
	(1.2)	where the width of the <b>garage</b> is 3.5 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall or	45%
	(1.3)	all other <b>lots</b>	40%
	(2)	maximum projection of a <b>garage</b> beyond the <b>main front entrance</b>	7.0 m
	(3)	for a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>	
	(4)	maximum <b>porch</b> area in a <b>front yard - interior lot</b>	12 m <sup>2</sup>
	(5)	maximum total <b>porch</b> in <b>front</b> and <b>exterior side yards - corner lot</b>	20 m <sup>2</sup>
	(6)	the area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>	
	(7)	<b>accessory buildings</b> and <b>structures</b> shall not be located in the <b>front yard</b> or <b>exterior side yard</b>	

4.11.2.29	Exception: RM5-29	Map # 52E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-29 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Uses</b>			
4.11.2.29.1	(1)	<b>Detached Dwelling</b>	
	(2)	<b>Semi-Detached</b>	

Exception RM5-29 continued on next page

4.11.2.29	Exception: RM5-29	Map # 52E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
<b>Exception RM5-29 continued from previous page</b>			
<b>Regulations</b>			
4.11.2.29.2	<b>Street Townhouse:</b>		
	(1)	maximum <b>lot coverage</b> - where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> or 2.5 m beyond the <b>main front entrance</b> - <b>interior lot</b>	45%
	(2)	maximum <b>lot coverage</b> - all other <b>lots</b>	40%
	(3)	maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided - <b>interior lot</b>	2.5 m
	(4)	where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b> - <b>interior lot</b>	4.0 m
	(5)	for a <b>street townhouse</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>	
	(6)	maximum <b>porch</b> area in a <b>front yard</b> - <b>interior lot</b>	12 m <sup>2</sup>
	(7)	maximum <b>porch</b> area in <b>front</b> and <b>exterior side yards</b>	20 m <sup>2</sup>
	(8)	the area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>	
	(9)	<b>accessory buildings</b> and <b>structures</b> shall not be located in the <b>front yard</b> or <b>exterior side yard</b>	
4.11.2.29.3	A <b>detached dwelling</b> shall comply with the R11 zone regulations contained in Subsection 4.4.1 of this By-law		
4.11.2.29.4	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1)	maximum <b>lot coverage</b> - where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> or 2.5 m beyond the <b>main front entrance</b> - <b>interior lot</b>	45%
	(2)	maximum <b>lot coverage</b> - all other <b>lots</b>	40%
	(3)	maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided - <b>interior lot</b>	2.5 m
	(4)	where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b> - <b>interior lot</b>	4.0 m
	(5)	for a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b> - <b>interior lot</b>	
	(6)	maximum <b>porch</b> area in a <b>front yard</b> - <b>interior lot</b>	12 m <sup>2</sup>
	(7)	maximum total <b>porch</b> area in <b>front</b> and <b>exterior side yards</b> - <b>corner lot</b>	20 m <sup>2</sup>
	(8)	the area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>	
	(9)	<b>accessory buildings</b> and <b>structures</b> shall not be located in the <b>front yard</b> or <b>exterior side yard</b>	

4.11.2.30	Exception: RM5-30	Map # 44W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-30 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.30.1	Minimum <b>lot area - corner lot</b>		325 m <sup>2</sup>
4.11.2.30.2	Minimum <b>lot frontage - corner lot</b>		10.5 m
4.11.2.30.3	Maximum <b>lot coverage</b> :		
	(1)	where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> or 2.5 m beyond the <b>main front entrance</b> or <b>habitable room</b> on the <b>first storey</b> or	45%
	(2)	where the width of the <b>garage</b> is 3.8 m or less, measured from the inside face of the <b>garage</b> side walls or	45%
	(3)	all other <b>lots</b>	40%
4.11.2.30.4	Minimum setback to <b>garage face</b>		7.0 m
4.11.2.30.5	Maximum encroachment of a <b>porch</b> into the required <b>front</b> and <b>exterior side yards</b>		1.5 m
4.11.2.30.6	For a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>		
4.11.2.30.7	Maximum <b>porch</b> area in a <b>front yard - interior lot</b>		12 m <sup>2</sup>
4.11.2.30.8	Maximum total <b>porch</b> area in <b>front</b> and <b>exterior side yards - corner lot</b>		20 m <sup>2</sup>
4.11.2.30.9	The area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>		
4.11.2.30.10	Maximum <b>driveway</b> width		3.8 m
4.11.2.30.11	Minimum setback to a <b>sight triangle</b>		0.0 m
4.11.2.30.12	<b>Accessory buildings</b> and <b>structures</b> shall not be located in the <b>front yard</b> or <b>exterior side yard</b>		

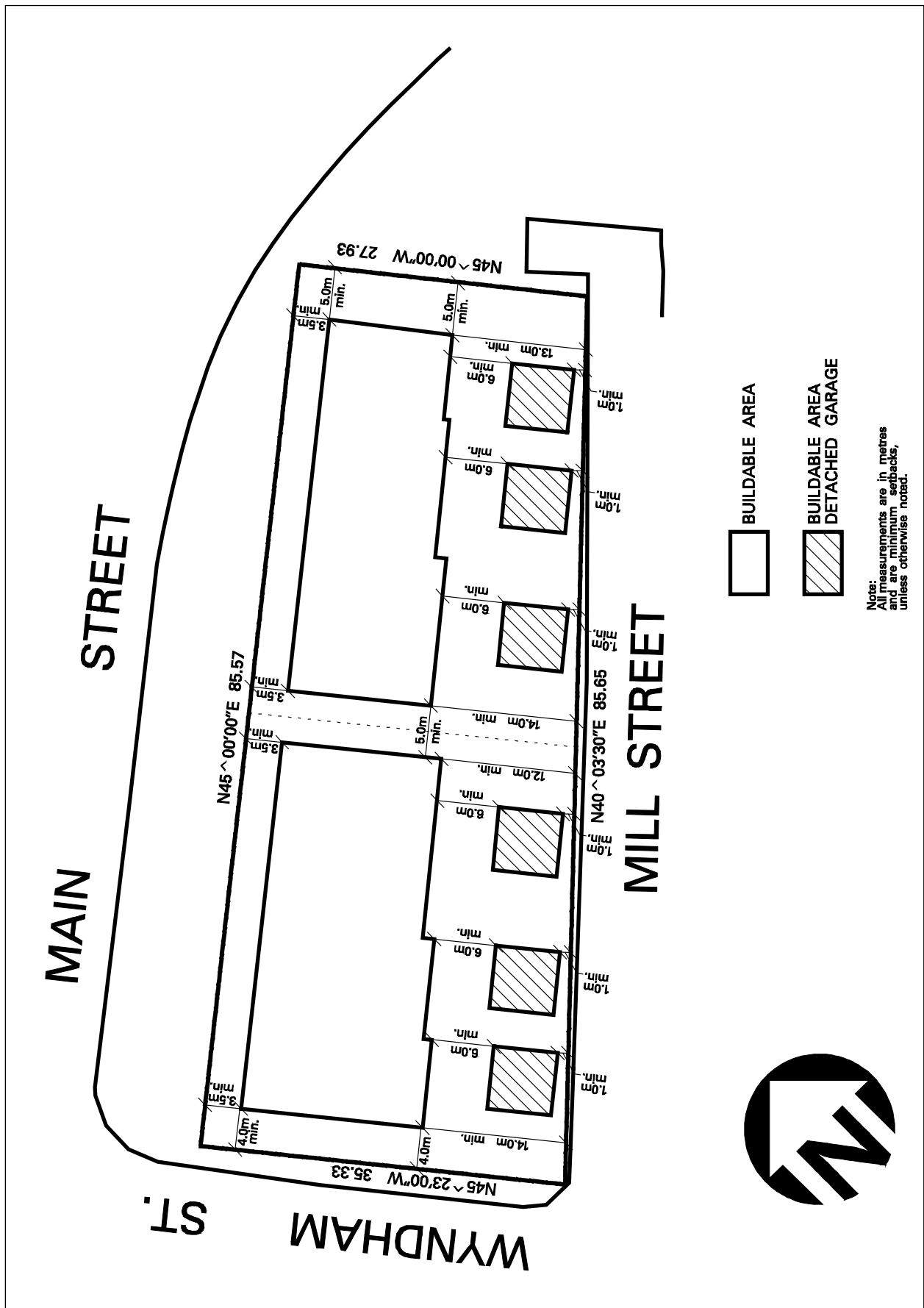
4.11.2.31	Exception: RM5-31	Map # 37W	By-law: 0174-2017
In a RM5-31 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.11.2.31.1	(1)	<b>Semi-Detached</b>	
<b>Regulations</b>			
4.11.2.31.2	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1)	minimum <b>lot area - interior lot</b>	195 m <sup>2</sup>
	(2)	minimum <b>lot frontage - interior lot</b>	6.5 m
	(3)	maximum <b>gross floor area - residential</b>	0.75 times the <b>lot area</b>

4.11.2.32	Exception: RM5-32	Map # 38W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-32 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Additional Permitted Uses</b>			
4.11.2.32.1	(1) <b>Detached Dwelling</b> (2) <b>Semi-Detached</b>		
<b>Regulations</b>			
4.11.2.32.2	<b>Street Townhouse:</b>		
	(1) minimum <b>lot area</b>	186 m <sup>2</sup>	
	(2) minimum <b>interior side yard</b> - unattached side	1.2 m	
4.11.2.32.3	A <b>detached dwelling</b> shall comply with the R5 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum <b>lot area</b>	247 m <sup>2</sup>	
4.11.2.32.4	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1) minimum <b>lot area</b>	186 m <sup>2</sup>	

4.11.2.33	Exception: RM5-33	Map # 38W	By-law:
In a RM5-33 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.33.1	Minimum <b>lot frontage</b> - interior lot		8.0 m
4.11.2.33.2	Minimum <b>lot frontage</b> - corner lot		11.5 m
4.11.2.33.3	Minimum <b>exterior side yard</b>		3.6 m

4.11.2.34	Exception: RM5-34	Map # 38W	By-law: 0176-2010
In a RM5-34 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.34.1	The regulations of Lines 3.0 to 8.0, 10.0 to 12.1 and 13.0 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.34.2	All site development plans shall comply with Schedule RM5-34 of this Exception		





4.11.2.35	Exception: RM5-35	Map # 39E	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM5-35 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.35.1	Minimum <b>lot area - interior lot</b>	170 m <sup>2</sup>	
4.11.2.35.2	Minimum <b>lot area - corner lot</b>	230 m <sup>2</sup>	
4.11.2.35.3	Minimum <b>lot frontage - interior lot</b>	5.9 m	
4.11.2.35.4	Minimum setback to <b>garage face</b>	10.5 m	
4.11.2.35.5	Minimum <b>exterior side yard</b>	4.1 m	
4.11.2.35.6	Maximum encroachment of a <b>porch</b> into the required <b>front</b> and <b>exterior side yards</b>	1.8 m	
4.11.2.35.7	Maximum encroachment of a <b>deck</b> into the required <b>rear yard</b>	2.0 m	
4.11.2.35.8	Minimum number of <b>parking spaces</b>	3	

4.11.2.36	Exception: RM5-36	Map # 30	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-36 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:			
Additional Permitted Use			
4.11.2.36.1	(1)	Semi-Detached	
Regulations			
4.11.2.36.2	Street Townhouse:		
	(1)	minimum setback from a <b>street townhouse</b> to all lands zoned PB1	10.0 m
	(2)	minimum setback to a <b>sight triangle</b>	0.0 m
	(3)	maximum encroachment of a <b>porch</b> or <b>balcony</b> into the required <b>front</b> and <b>exterior side yards</b>	2.0 m
	(4)	maximum <b>driveway</b> width	3.8 m
	(5)	maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	3.8 m
4.11.2.36.3	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1)	minimum setback from a <b>semi-detached</b> to all lands zoned PB1	10.0 m
	(2)	minimum setback to a <b>sight triangle</b>	0.0 m
	(3)	maximum encroachment of a <b>porch</b> or <b>balcony</b> into the required <b>front</b> and <b>exterior side yards</b>	2.0 m
	(4)	maximum <b>driveway</b> width	3.8 m
	(5)	maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	3.8 m

4.11.2.37	Exception: RM5-37	Map # 57, 58	By-law: 0449-2007, 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-37 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.11.2.37.1	(1)	<b>Semi-Detached</b>	
<b>Regulations</b>			
4.11.2.37.2	<b>Street Townhouse:</b>		
	(1)	the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply	
	(2)	minimum <b>lot area - interior lot</b>	183 m <sup>2</sup>
	(3)	minimum <b>lot area - corner lot</b>	292 m <sup>2</sup>
	(4)	minimum <b>lot frontage - interior lot</b>	6.1 m
	(5)	minimum <b>lot frontage - corner lot</b>	9.75 m
	(6)	minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the <b>front lot line</b>	3.5 m
	(7)	minimum <b>exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>	3.5 m
	(8)	minimum setback to <b>garage face</b>	5.8 m
	(9)	minimum <b>interior side yard</b> - unattached side	1.2 m
	(10)	minimum <b>rear yard</b>	6.0 m
	(11)	minimum setback from a <b>street townhouse</b> to all lands zoned U-3	11.0 m
	(12)	maximum encroachment of a <b>porch</b> or <b>balcony</b> into required <b>front</b> and <b>exterior side yards</b>	2.0 m
	(13)	maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided	2.5 m
	(14)	where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>	5.0 m
	(15)	for a <b>street townhouse</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>	
	(16)	maximum <b>driveway</b> width - <b>interior lot</b>	4.3 m
	(17)	maximum <b>driveway</b> width - <b>corner lot</b>	4.7 m
	(18)	maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	3.8 m
	(19)	minimum setback to a <b>sight triangle</b>	0.0 m

Exception RM5-37 continued on next page

4.11.2.37	Exception: RM5-37	Map # 57, 58	By-law: 0449-2007, 0174-2017, 0181-2018/LPAT Order 2019 February 15
<b>Exception RM5-37 continued from previous page</b>			
4.11.2.37.3	<p>A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:</p> <ol style="list-style-type: none"> <li>(1) the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply</li> <li>(2) minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the <b>front lot line</b> 3.5 m</li> <li>(3) minimum <b>exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b> 3.5 m</li> <li>(4) minimum <b>exterior side yard - lots</b> abutting a <b>street</b> with a right-of-way width less than 17.0 m 1.8 m</li> <li>(5) minimum <b>exterior side yard - corner lots</b> with a 0.3 m reserve along the <b>exterior lot line</b> 4.2 m</li> <li>(6) minimum setback to <b>garage face</b> 5.8 m</li> <li>(7) maximum encroachment of a <b>porch</b> or <b>balcony</b> into required <b>front</b> and <b>exterior side yards</b> 2.0 m</li> <li>(8) maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided 2.5 m</li> <li>(9) where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b> 5.0 m</li> <li>(10) for a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b>, where the <b>garage</b> projects beyond the <b>main front entrance</b>, the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b></li> <li>(11) minimum setback to a <b>sight triangle</b> 0.0 m</li> <li>(12) maximum <b>driveway</b> width - <b>interior lot</b> 4.3 m</li> <li>(13) maximum <b>driveway</b> width - <b>corner lot</b> 4.7 m</li> <li>(14) maximum <b>garage</b> width: 3.8 m measured from the inside face of the <b>garage</b> side walls</li> </ol>		

4.11.2.38	Exception: RM5-38	Map # 57, 58	By-law: 0265-2016, 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-38 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
Additional Permitted Uses			
4.11.2.38.1	(1) <b>Detached Dwelling</b> (2) <b>Semi-Detached</b>		
Regulations			
4.11.2.38.2	<b>Street Townhouse:</b>		
	(1)	the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply	
	(2)	minimum <b>lot area - interior lot</b>	183 m <sup>2</sup>
	(3)	minimum <b>lot area - corner lot</b>	292 m <sup>2</sup>
	(4)	minimum <b>lot frontage - interior lot</b>	6.1 m
	(5)	minimum <b>lot frontage - corner lot</b>	9.75 m
	(6)	minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the <b>front lot line</b>	3.5 m
	(7)	minimum <b>exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>	3.5 m
	(8)	minimum setback to <b>garage face</b>	5.8 m
	(9)	minimum <b>interior side yard</b> - unattached side	1.2 m
	(10)	minimum <b>rear yard</b>	6.0 m
	(11)	minimum setback from a <b>street townhouse</b> to all lands zoned U-3	11.0 m
	(12)	maximum encroachment of a <b>porch</b> or <b>balcony</b> into required <b>front</b> and <b>exterior side yards</b>	2.0 m
	(13)	maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided	2.5 m
	(14)	where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>	5.0 m
	(15)	for a <b>street townhouse</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>	
	(16)	maximum <b>driveway</b> width - <b>interior lot</b>	4.3 m
	(17)	maximum <b>driveway</b> width - <b>corner lot</b>	4.7 m
	(18)	maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	3.8 m
	(19)	minimum setback to a <b>sight triangle</b>	0.0 m

Exception RM5-38 continued on next page

4.11.2.38	Exception: RM5-38	Map # 57, 58	By-law: 0265-2016, 0174-2017, 0181-2018/LPAT Order 2019 February 15
<b>Exception RM5-38 continued from previous page</b>			
4.11.2.38.3	A <b>detached dwelling</b> shall comply with the R7 zone regulations contained in Subsection 4.3.1 of this By-law except that:		
	(1) minimum <b>lot area</b> - <b>interior lot</b>		275 m <sup>2</sup>
	(2) minimum <b>lot area</b> - <b>corner lot</b>		380 m <sup>2</sup>
	(3) minimum <b>lot frontage</b> - <b>interior lot</b>		9.75 m
	(4) minimum <b>lot frontage</b> - <b>corner lot</b>		13.5 m
	(5) minimum setback from a <b>detached dwelling</b> to all lands zoned G1		11.0 m
	(6) minimum <b>rear yard</b>		7.5 m
	(7) maximum <b>driveway</b> width		6.5 m
	(8) maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		5.5 m
4.11.2.38.4	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1) the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply		
	(2) minimum <b>front yard</b> - <b>lots</b> without a municipal sidewalk adjacent the <b>front lot line</b>		3.5 m
	(3) minimum <b>exterior side yard</b> - <b>lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>		3.5 m
	(4) minimum <b>exterior side yard</b> - <b>lots</b> abutting a <b>street</b> with a right-of-way width less than 17.0 m		1.8 m
	(5) minimum <b>exterior side yard</b> - <b>corner lots</b> with a 0.3 m reserve along the <b>exterior lot line</b>		4.2 m
	(6) minimum setback to <b>garage face</b>		5.8 m
	(7) maximum encroachment of a <b>porch</b> or <b>balcony</b> into required <b>front</b> and <b>exterior side yards</b>		2.0 m
	(8) maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided		2.5 m
	(9) where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>		5.0 m
	(10) for a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>		
	(11) minimum setback to a <b>sight triangle</b>		0.0 m
	(12) maximum <b>driveway</b> width - <b>interior lot</b>		4.3 m
	(13) maximum <b>driveway</b> width - <b>corner lot</b>		4.7 m
	(14) maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		3.8 m

4.11.2.39	Exception: RM5-39	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-39 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
Additional Permitted Use			
4.11.2.39.1	(1)	Semi-Detached	
Regulations			
4.11.2.39.2	Street Townhouse:		
	(1)	the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply	
	(2)	minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the <b>front lot line</b>	3.5 m
	(3)	minimum <b>exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>	3.5 m
	(4)	minimum setback to a <b>sight triangle</b>	0.0 m
	(5)	maximum encroachment of a <b>porch</b> or <b>balcony</b> into the required <b>front</b> and <b>exterior side yards</b>	2.0 m
	(6)	minimum setback of a detached <b>garage</b> to the <b>rear lot line</b>	0.5 m
	(7)	minimum setback of a detached <b>garage</b> to the <b>interior side lot line</b>	0.85 m on one side and 0.0 m on the other side
	(8)	maximum <b>driveway</b> width	6.5 m
	(9)	maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	5.5 m
	(10)	a detached <b>garage</b> shall be provided in the <b>rear yard</b>	
	(11)	minimum setback from a detached <b>garage</b> to a <b>street townhouse</b>	6.0 m
	(12)	the <b>lot line</b> abutting a <b>street</b> with a width of 17.0 m or greater shall be deemed to be the <b>front lot line</b>	
4.11.2.39.3	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1)	the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply	
	(2)	minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the <b>front lot line</b>	3.5 m
	(3)	minimum <b>exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>	3.5 m
	(4)	maximum <b>driveway</b> width	6.5 m
	(5)	maximum encroachment of a <b>porch</b> or <b>balcony</b> into the required <b>front</b> and <b>exterior side yards</b>	2.0 m
	(6)	minimum setback of a detached <b>garage</b> to the <b>rear lot line</b>	0.5 m
	(7)	minimum setback of a detached <b>garage</b> to the <b>interior side lot line</b>	0.85 m on one side and 0.0 m on the other side
	(8)	maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	5.5 m
	(9)	minimum setback to a <b>sight triangle</b>	0.0 m

Exception RM5-39 continued on next page

4.11.2.39	Exception: RM5-39	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
Exception RM5-39 continued from previous page			
4.11.2.39.3 (continued)	(10)	a detached <b>garage</b> shall be provided in the <b>rear yard</b>	
	(11)	minimum setback from a detached <b>garage</b> to a <b>semi-detached</b>	6.0 m
	(12)	the <b>lot line</b> abutting a <b>street</b> with a width of 17.0 m or greater shall be deemed to be the <b>front lot line</b>	

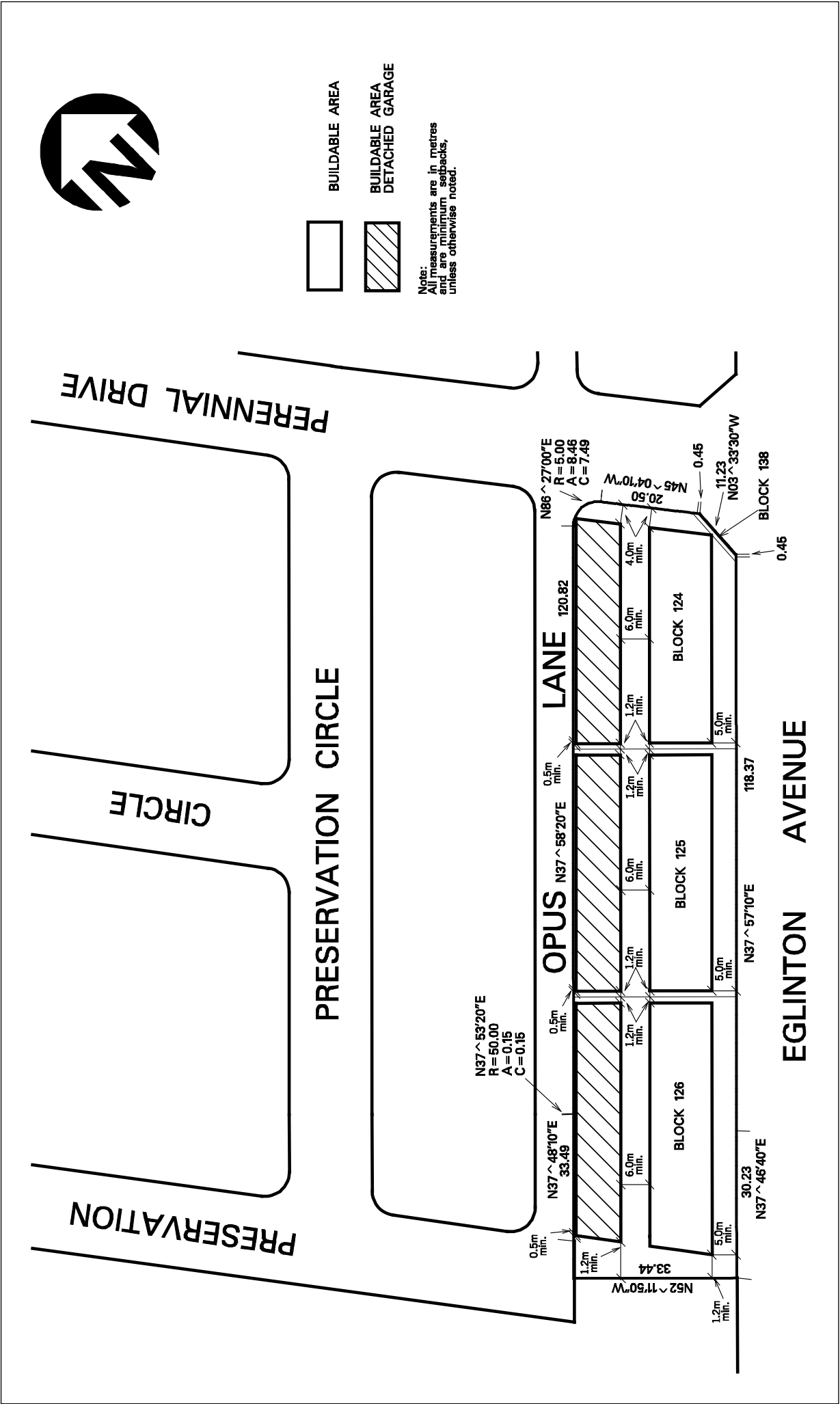
4.11.2.40	Exception: RM5-40	Map # 25, 37W	By-law: 0174-2017
In a RM5-40 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:			
Additional Permitted Use			
4.11.2.40.1	(1)	Semi-Detached	
Regulation			
4.11.2.40.2	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law		

4.11.2.41	Exception: RM5-41(1), RM5-41(2), RM5-41(3)	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15, 0111-2019/LPAT Order 2021 March 09
In a RM5-41(1), RM5-41(2), and RM5-41(3) zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Uses</b>			
4.11.2.41.1	The following <b>uses</b> are permitted within a <b>street townhouse</b> :		
	(1)	<b>Office</b>	
	(2)	<b>Medical Office - Restricted</b>	
	(3)	<b>Service Establishment</b>	
	(4)	<b>Repair Service</b>	
	(5)	<b>Retail Store</b>	
	(6)	Tutoring	
<b>Uses Not Permitted</b>			
4.11.2.41.2	(1)	Dry-cleaning establishment or depot	
	(2)	Carpet or floor covering cleaning service	
	(3)	Pet Shop	
	(4)	Laundromat or laundry depot	
<b>Regulations</b>			
4.11.2.41.3	<b>Street Townhouse:</b>		
	(1)	the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply	
	(2)	the <b>uses</b> permitted in Sentence 4.11.2.41.1 of this Exception, except the <b>uses</b> not permitted in Sentence 4.11.2.41.2 of this Exception, shall only be located within the <b>first storey</b> of a <b>street townhouse</b>	

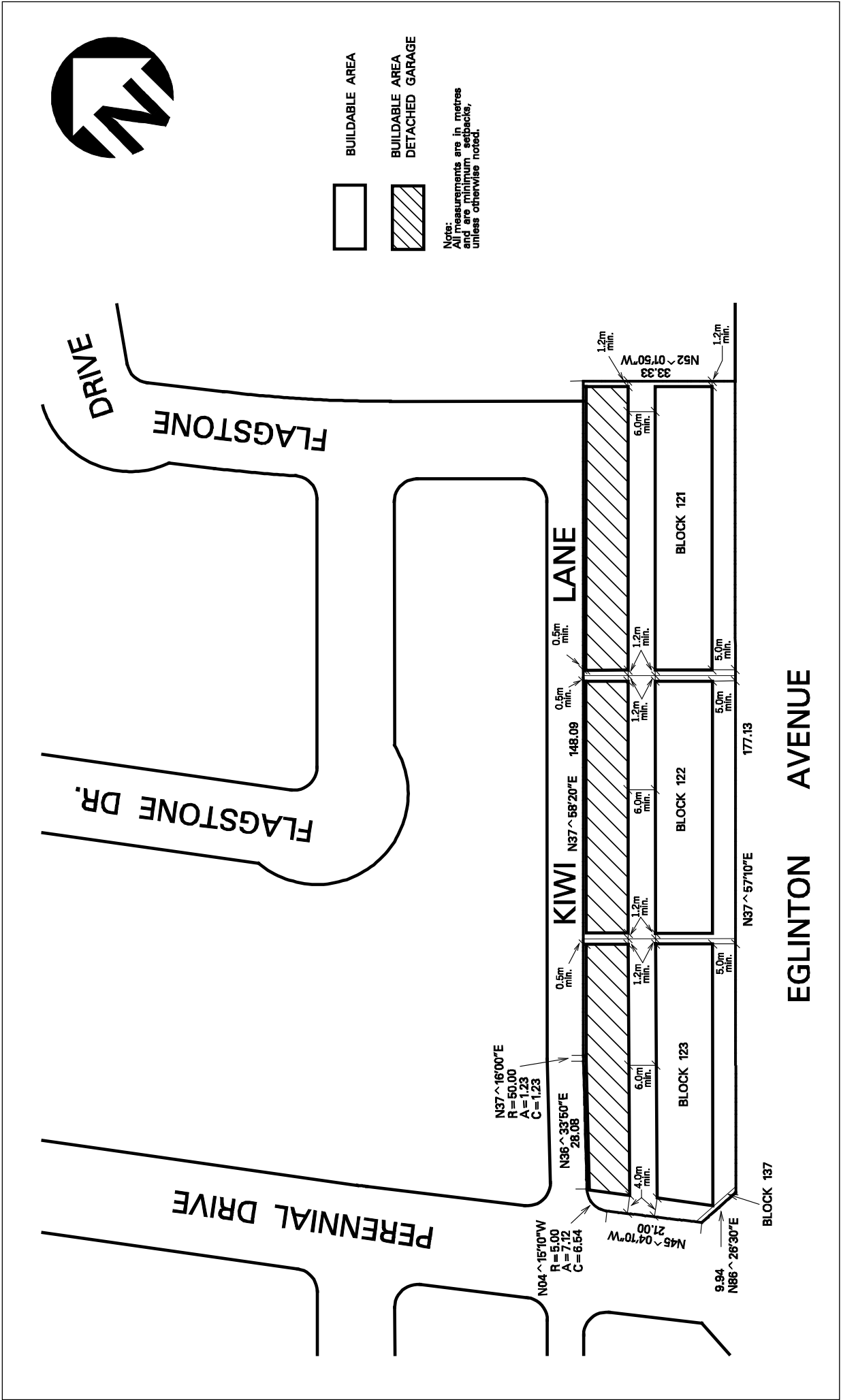
Exception RM5-41(1), RM5-41(2), and RM5-41(3) continued on next page



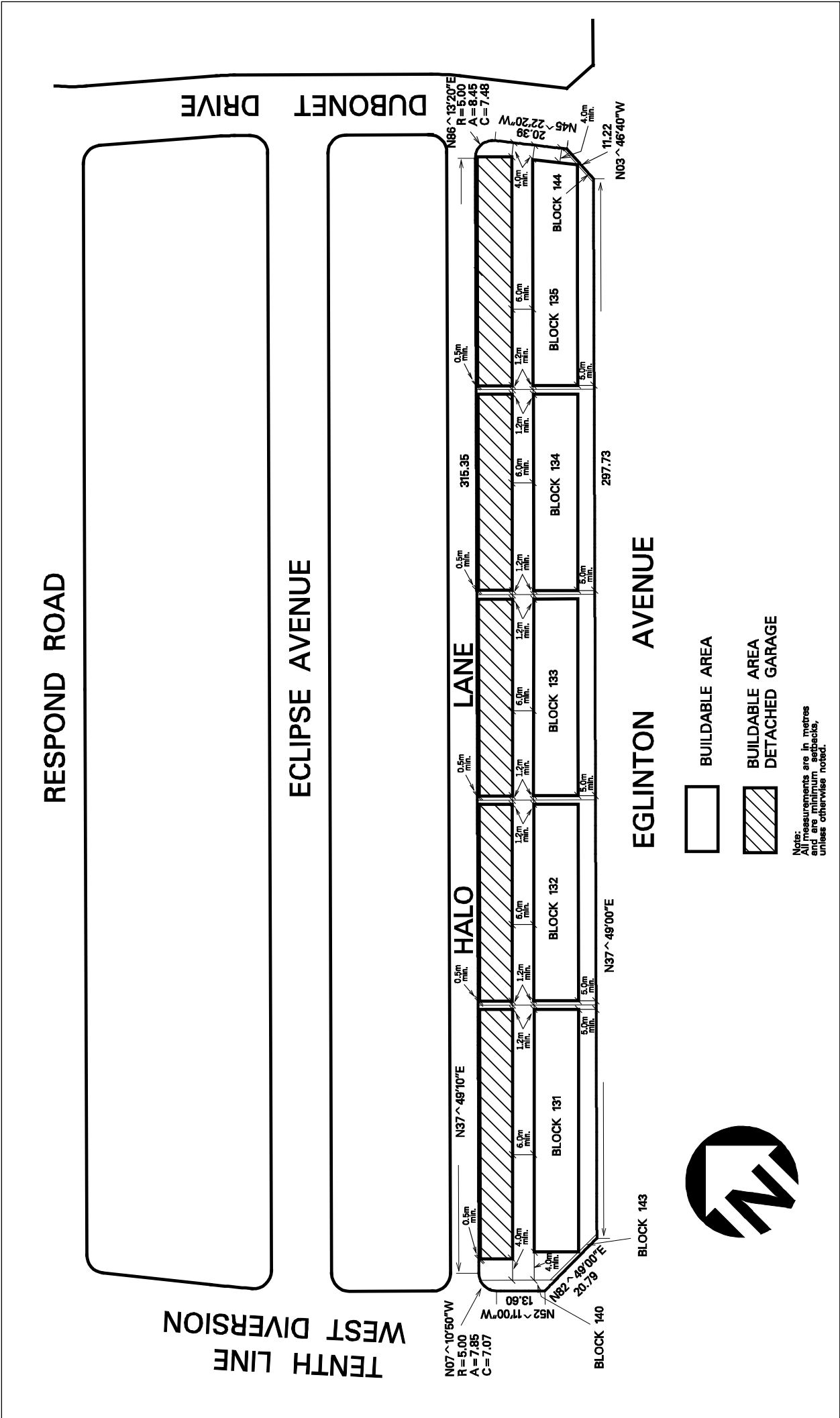
4.11.2.41	Exception: RM5-41(1), RM5-41(2), RM5-41(3)	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15, 0111-2019/LPAT Order 2021 March 09
<b>Exception RM5-41(1), RM5-41(2), and RM5-41(3) continued from previous page</b>			
4.11.2.41.3 (continued)	(3)	maximum number of <b>uses</b> permitted in Sentence 4.11.2.41.1 of this Exception, except the <b>uses</b> not permitted in Sentence 4.11.2.41.2 of this Exception, per street townhouse <b>dwelling unit</b>	1
	(4)	maximum <b>gross floor area - non-residential</b>	65 m <sup>2</sup>
	(5)	minimum <b>lot area - corner lot</b>	315 m <sup>2</sup>
	(6)	minimum <b>lot frontage - corner lot</b>	10.5 m
	(7)	maximum <b>lot coverage - detached garage</b>	17%
	(8)	minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the front lot line	4.0 m
	(9)	minimum <b>exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>	4.0 m
	(10)	maximum encroachment of a <b>porch</b> or <b>balcony</b> into the required <b>front</b> and <b>exterior side yards</b>	2.0 m
	(11)	maximum encroachment of a <b>deck</b> beyond the buildable area identified on Schedules RM5-41(1) to RM5-41(3) of this Exception between a <b>street townhouse</b> and a detached <b>garage</b>	2.0 m
	(12)	maximum <b>driveway</b> width	6.1 m
	(13)	a detached <b>garage</b> shall be permitted in the buildable area - detached <b>garage</b> identified on Schedules RM5-41(1) to RM5-41(3) of this Exception	
	(14)	maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls - <b>interior lot</b>	5.5 m
	(15)	maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls - <b>corner lot</b>	5.9 m
	(16)	minimum <b>interior side yard</b> on one side of a detached <b>garage</b> located in the <b>rear yard</b>	0.85 m
	(17)	minimum setback of all <b>buildings</b> and <b>structures</b> except a detached <b>garage</b> to a <b>sight triangle</b>	0.0 m
	(18)	notwithstanding Schedules RM5-41(1) to RM5-41(3) of this Exception, attached <b>garages</b> may be permitted in the <b>rear yard</b> of Blocks 122, 125, 132, 133 and 134, identified on Schedules RM5-41(1) to RM5-41(3) of this Exception, in compliance with the following:	
	(18.1)	maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	3.8 m
	(18.2)	maximum <b>driveway</b> width	4.3 m
	(18.3)	minimum <b>rear yard</b>	6.0 m
	(19)	"Rear Lot Line" means the <b>lot line</b> that divides the <b>lot</b> from a public lane identified and named as a "lane" on Schedules RM5-41(1) to RM5-41(3) of this Exception	
	(20)	"Front Lot Line" means the <b>lot line</b> opposite the rear lot line	
	(21)	all site development plans shall comply with Schedules RM5-41(1) to RM5-41(3) of this Exception	



Schedule RM5-41(1)  
Map 57



Schedule RM5-41(2)  
Map 57

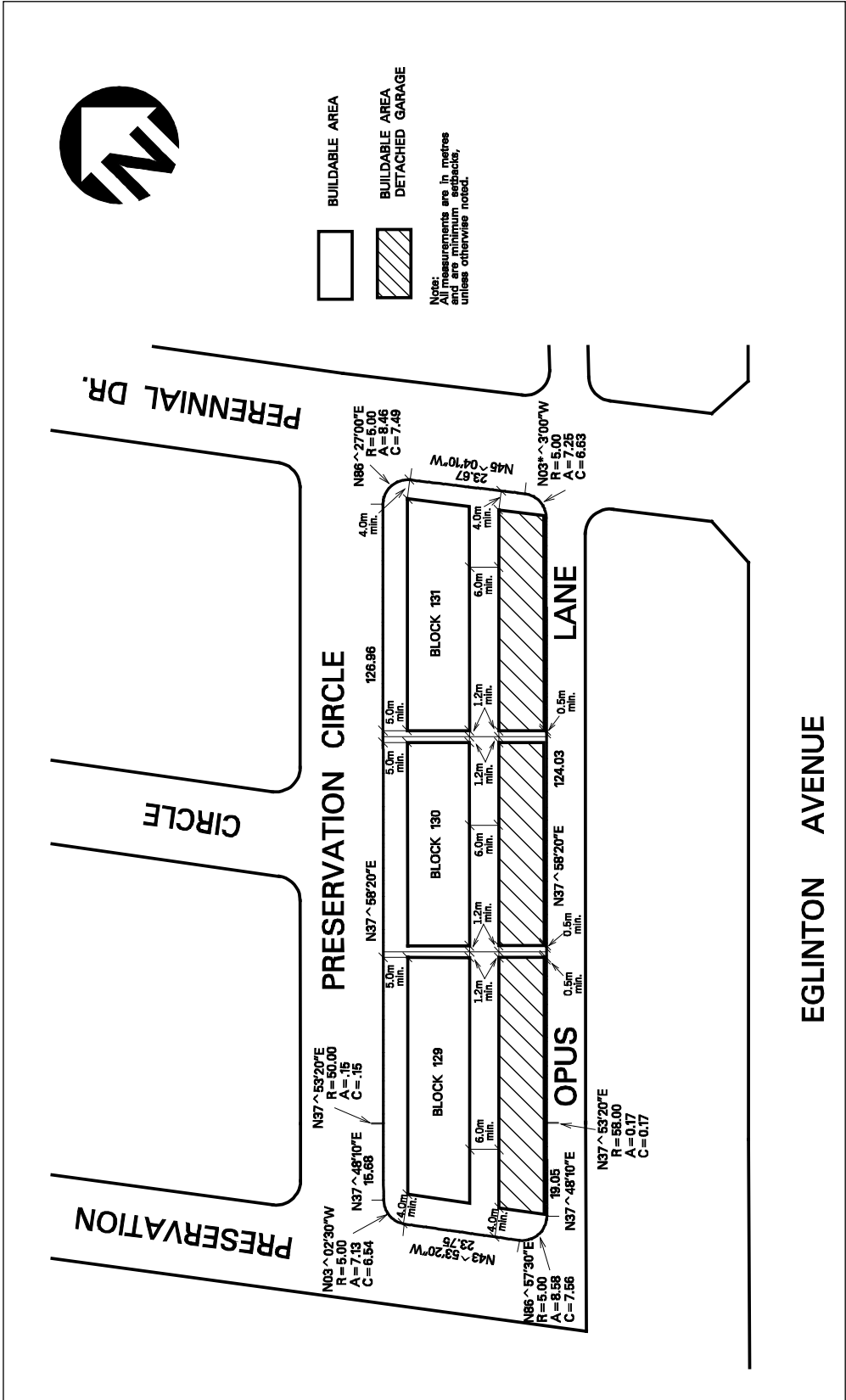


Schedule RM5-41(3)  
Map 57

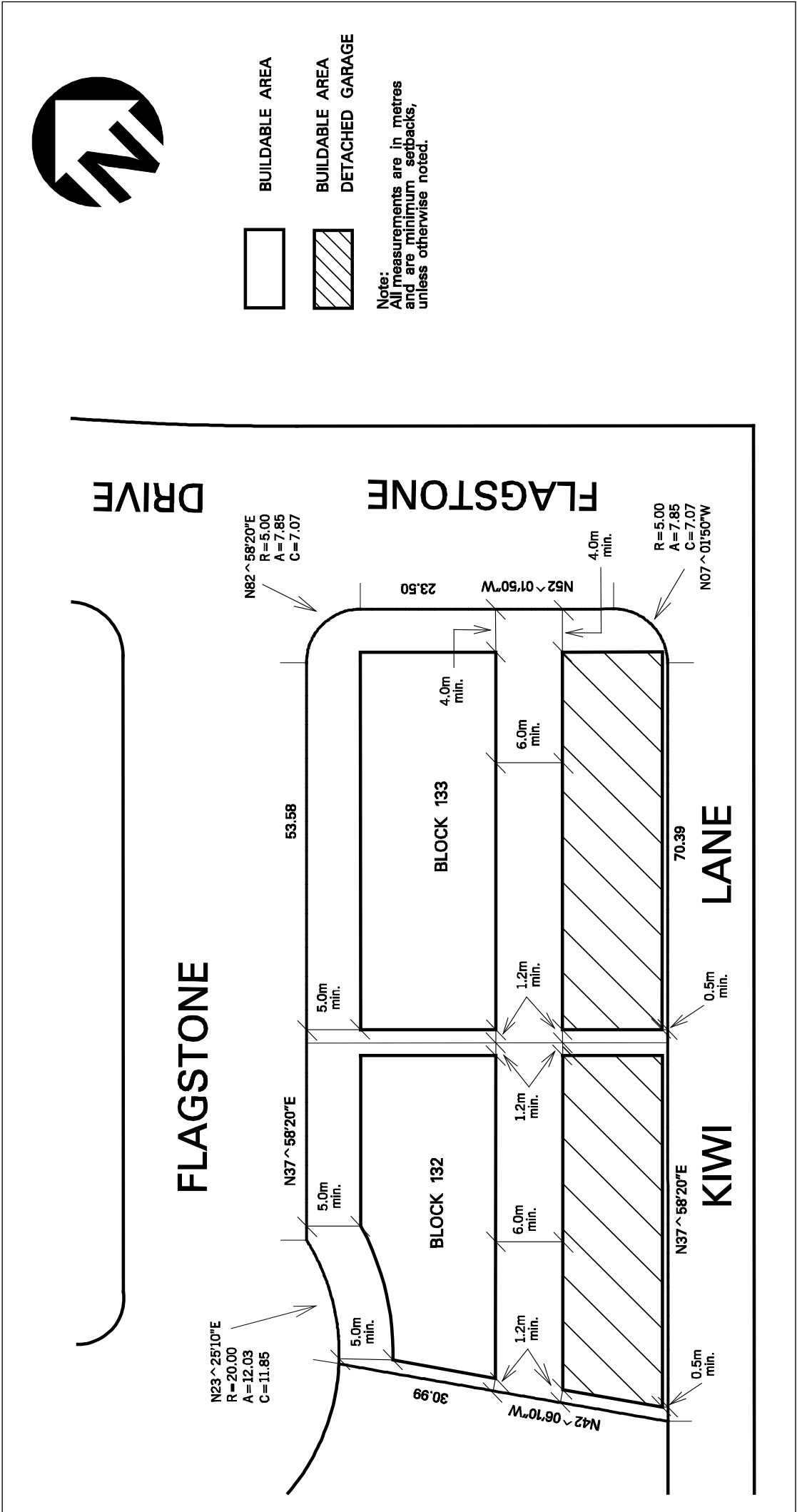
4.11.2.42	Exception: RM5-42(1), RM5-42(2), RM5-42(3), RM5-42(4), RM5-42(5)	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM5-42(1), RM5-42(2), RM5-42(3), RM5-42(4) and RM5-42(5) zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.42.1	The regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.42.2	Minimum <b>lot area - corner lot</b>	315 m <sup>2</sup>	
4.11.2.42.3	Minimum <b>lot frontage - corner lot</b>	10.5 m	
4.11.2.42.4	Maximum <b>lot coverage</b> - detached <b>garage</b>	17%	
4.11.2.42.5	Minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the front lot line	4.0 m	
4.11.2.42.6	Minimum <b>exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>	4.0 m	
4.11.2.42.7	Maximum encroachment of a <b>porch</b> or <b>balcony</b> into the required <b>front</b> and <b>exterior side yards</b>	2.0 m	
4.11.2.42.8	Maximum encroachment of a <b>deck</b> outside the buildable area identified on Schedules RM5-42(1) to RM5-42(5) of this Exception between a <b>street townhouse</b> and a detached <b>garage</b>	2.0 m	
4.11.2.42.9	Maximum <b>driveway</b> width	6.1 m	
4.11.2.42.10	A detached <b>garage</b> shall be permitted in the buildable area - detached <b>garage</b> identified on Schedules RM5-42(1) to RM5-42(5) of this Exception		
4.11.2.42.11	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls - <b>interior lot</b>	5.5 m	
4.11.2.42.12	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls - <b>corner lot</b>	5.9 m	
4.11.2.42.13	Minimum setback from one side of a detached <b>garage</b> , located in the <b>rear yard</b> to an <b>interior side lot line</b>	0.8 m	
4.11.2.42.14	Minimum setback of all <b>buildings</b> and <b>structures</b> except a detached <b>garage</b> to a <b>sight triangle</b>	0.0 m	
4.11.2.42.15	Notwithstanding Schedules RM5-42(1) to RM5-42(5) of this Exception, attached <b>garages</b> may be permitted in the <b>rear yard</b> Block 130 identified on Schedule RM5-42(1) of this Exception; Blocks 126, 127, 128 and 129 identified on Schedule RM5-42(3) of this Exception; Block 122 identified on Schedule RM5-42(4) of this Exception; and Blocks 125 and 126 identified on Schedule RM5-42(5) of this Exception, in compliance with the following:		
	(1) maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	3.8 m	
	(2) maximum <b>driveway</b> width	4.3 m	
	(3) minimum <b>rear yard</b>	6.0 m	

Exception RM5-42(1), RM5-42(2), RM5-42(3), RM5-42(4) and RM5-42(5) continued on next page

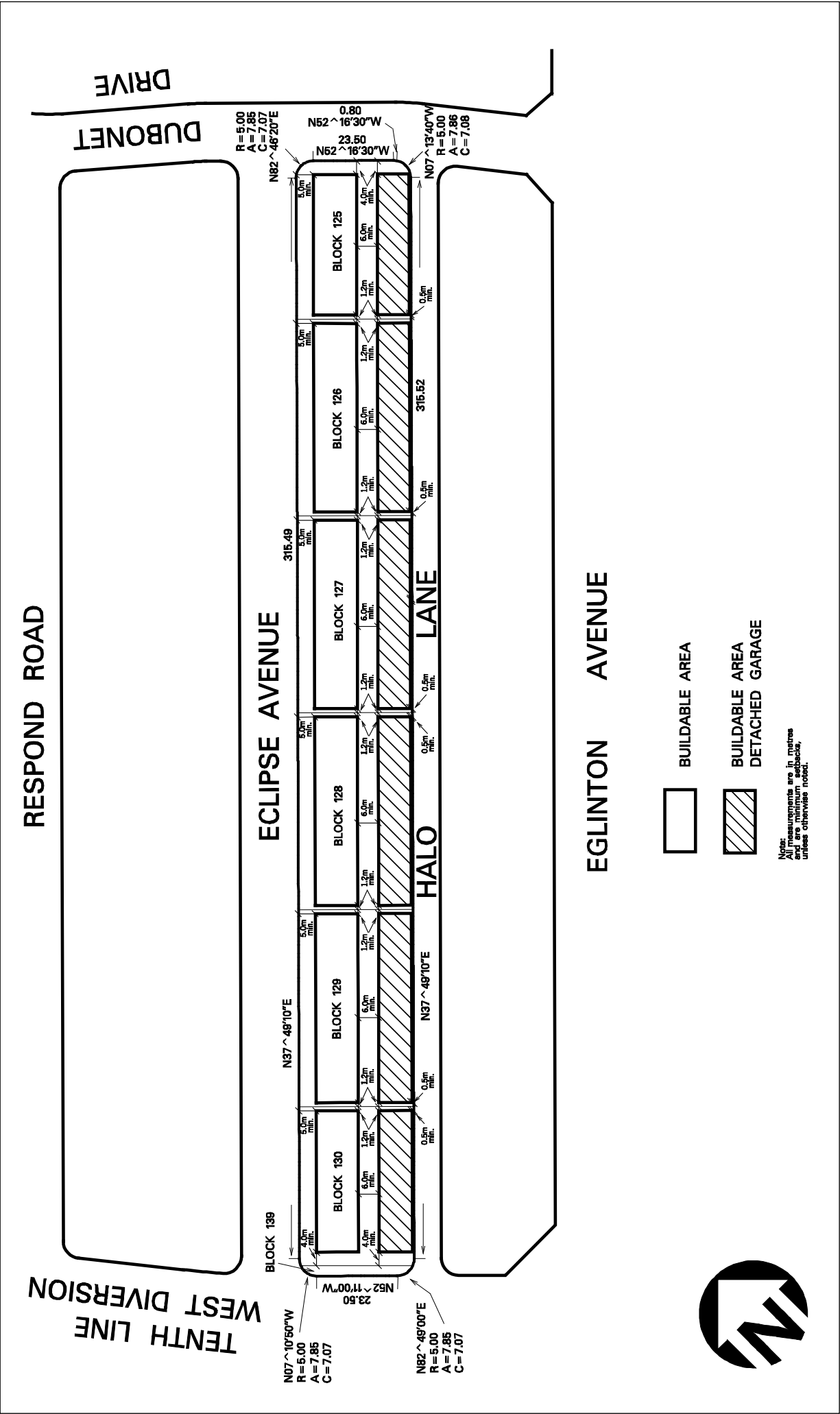
4.11.2.42	Exception: RM5-42(1), RM5-42(2), RM5-42(3), RM5-42(4), RM5-42(5)	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15
Exception RM5-42(1), RM5-42(2), RM5-42(3), RM5-42(4) and RM5-42(5) continued from previous page			
4.11.2.42.16	"Rear Lot Line" means the <b>lot line</b> that divides the <b>lot</b> from a public lane identified and named as a "lane" on Schedules RM5-42(1) to RM5-42(5) of this Exception		
4.11.2.42.17	"Front Lot Line" means the <b>lot line</b> opposite the rear lot line		
4.11.2.42.18	All site development plans shall comply with Schedules RM5-42(1) to RM5-42(5) of this Exception		



Schedule RM5-42(1)  
Map 57

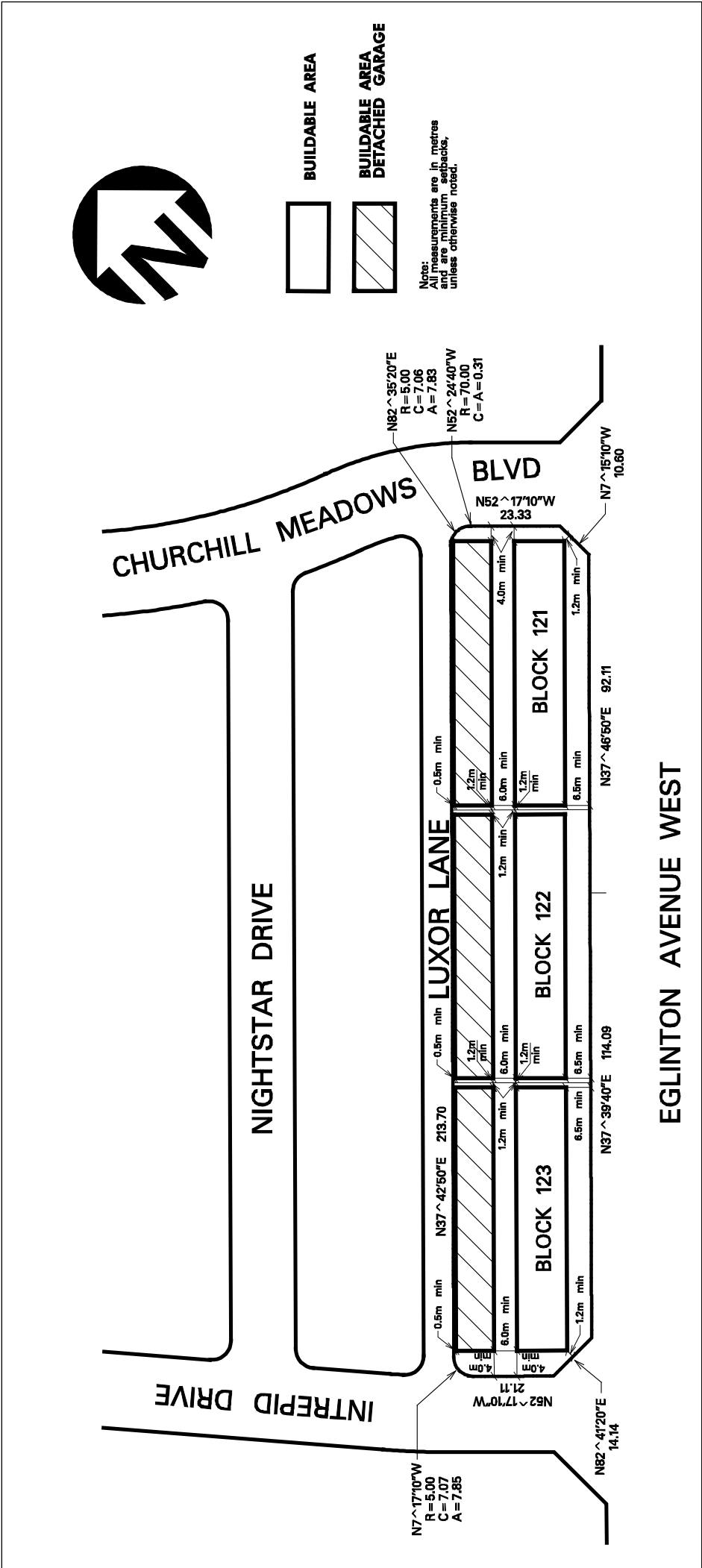


Schedule RM5-42(2)  
Map 57

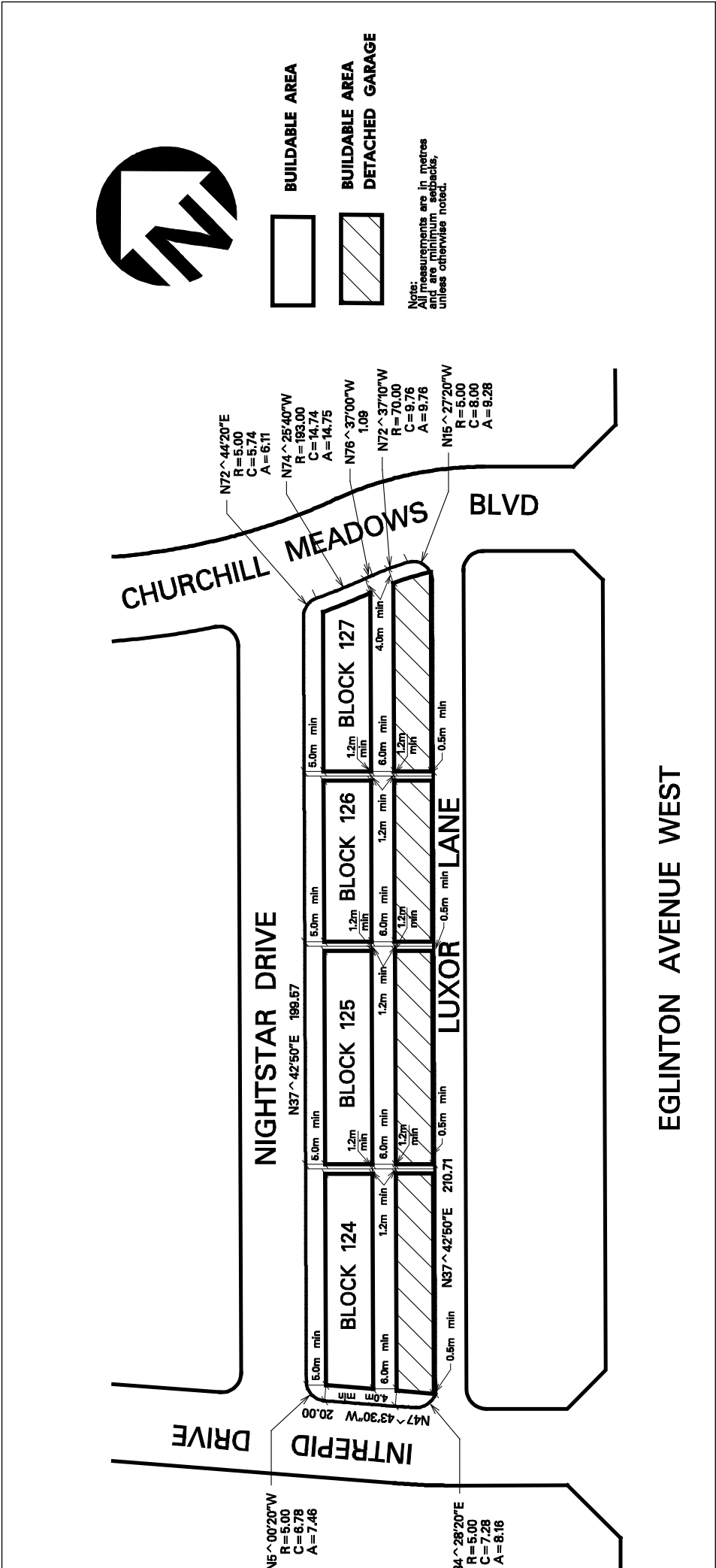


Schedule RM5-42(3)  
Map 57





Schedule RM5-42(4)  
Map 57



Schedule RM5-42(5)  
Map 57

4.11.2.43	Exception: RM5-43	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-43 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
Additional Permitted Use			
4.11.2.43.1	(1)	Semi-Detached	
Regulations			
4.11.2.43.2	Street Townhouse:		
	(1)	the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply	
	(2)	minimum <b>lot area - interior lot</b>	183 m <sup>2</sup>
	(3)	minimum <b>lot area - corner lot</b>	292 m <sup>2</sup>
	(4)	minimum <b>lot frontage - interior lot</b>	6.1 m
	(5)	minimum <b>lot frontage - corner lot</b>	9.75 m
	(6)	minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the <b>front lot line</b>	3.5 m
	(7)	minimum <b>exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>	3.5 m
	(8)	minimum setback to <b>garage face</b>	5.8 m
	(9)	minimum <b>interior side yard</b> - unattached side - all <b>lots</b>	1.2 m
	(10)	minimum <b>rear yard</b>	6.0 m
	(11)	maximum encroachment of a <b>porch</b> or <b>balcony</b> into required <b>front</b> and <b>exterior side yards</b>	2.0 m
	(12)	maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided	2.5 m
	(13)	where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>	5.0 m
	(14)	for a <b>street townhouse</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>	
	(15)	minimum setback to a <b>sight triangle</b>	0.0 m
	(16)	maximum <b>driveway</b> width	3.8 m
	(17)	maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	3.8 m

Exception RM5-43 continued on next page

4.11.2.43	Exception: RM5-43	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
Exception RM5-43 continued from previous page			
4.11.2.43.3	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1)	the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply	
	(2)	minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the <b>front lot line</b>	3.5 m
	(3)	minimum <b>exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>	3.5 m
	(4)	minimum <b>exterior side yard - corner lots</b> with a 0.3 m reserve along the <b>exterior lot line</b>	4.2 m
	(5)	minimum setback to <b>garage face</b>	5.8 m
	(6)	minimum <b>interior side yard</b>	1.2 m
	(7)	maximum encroachment of a <b>porch</b> or <b>balcony</b> into required <b>front</b> and <b>exterior side yard</b>	2.0 m
	(8)	maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided	2.5 m
	(9)	where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>	5.0 m
	(10)	for a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>	
	(11)	minimum setback to a <b>sight triangle</b>	0.0 m
	(12)	maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	3.8 m

4.11.2.44	Exception: RM5-44	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-44 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Uses</b>			
4.11.2.44.1	(1) <b>Detached Dwelling</b> (2) <b>Semi-Detached</b>		
<b>Regulations</b>			
4.11.2.44.2	<b>Street Townhouse:</b>		
	(1)	the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply	
	(2)	minimum <b>lot area - interior lot</b>	183 m <sup>2</sup>
	(3)	minimum <b>lot area - corner lot</b>	292 m <sup>2</sup>
	(4)	minimum <b>lot frontage - interior lot</b>	6.1 m
	(5)	minimum <b>lot frontage - corner lot</b>	9.75 m
	(6)	minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the <b>front lot line</b>	3.5 m
	(7)	minimum <b>exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>	3.5 m
	(8)	minimum setback to <b>garage face</b>	5.8 m
	(9)	minimum <b>interior side yard</b> - unattached side	1.2 m
	(10)	minimum <b>rear yard</b>	6.0 m
	(11)	minimum setback from a <b>street townhouse</b> to all lands zoned U-3	11.6 m
	(12)	maximum encroachment of a <b>porch</b> or <b>balcony</b> into required <b>front</b> and <b>exterior side yards</b>	2.0 m
	(13)	maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided	2.5 m
	(14)	where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>	5.0 m
	(15)	for a <b>street townhouse</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>	
	(16)	maximum <b>driveway</b> width - <b>interior lot</b>	4.3 m
	(17)	maximum <b>driveway</b> width - <b>corner lot</b>	4.7 m
	(18)	maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	3.8 m
	(19)	minimum setback to a <b>sight triangle</b>	0.0 m

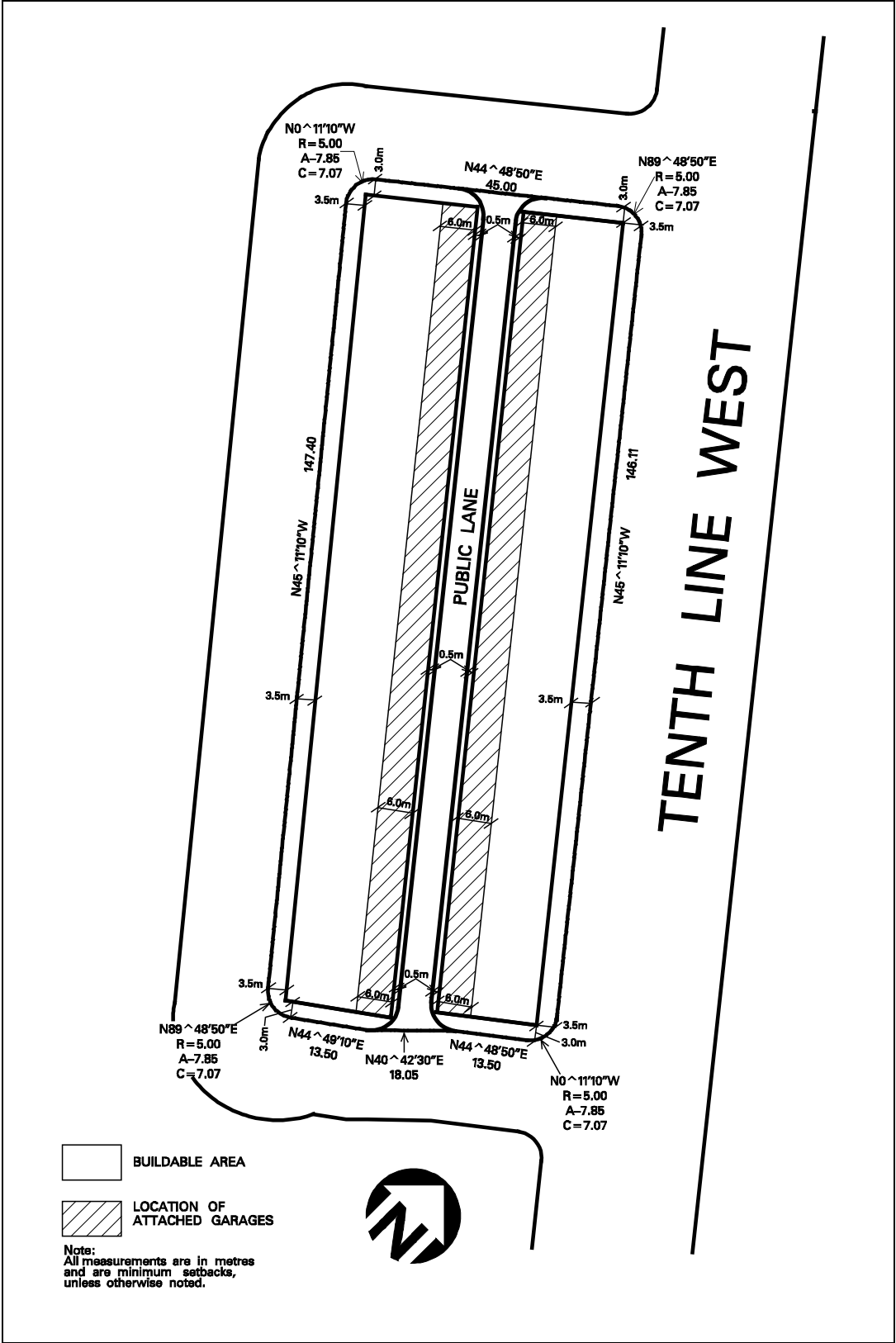
Exception RM5-44 continued on next page

4.11.2.44	Exception: RM5-44	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
<b>Exception RM5-44 continued from previous page</b>			
4.11.2.44.3	A <b>detached dwelling</b> shall comply with the R7 zone regulations contained in Subsection 4.3.1 of this By-law except that:		
	(1) minimum <b>lot area</b> - <b>interior lot</b>		275 m <sup>2</sup>
	(2) minimum <b>lot area</b> - <b>corner lot</b>		380 m <sup>2</sup>
	(3) minimum <b>lot frontage</b> - <b>interior lot</b>		9.75 m
	(4) minimum <b>lot frontage</b> - <b>corner lot</b>		13.5 m
	(5) minimum <b>rear yard</b>		7.5 m
	(6) minimum setback of a <b>detached dwelling</b> to all lands zoned U-3		11.6 m
	(7) maximum <b>driveway</b> width		6.5 m
	(8) maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		5.5 m
4.11.2.44.4	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1) the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply		
	(2) minimum <b>front yard</b> - <b>lots</b> without a municipal sidewalk adjacent the <b>front lot line</b>		3.5 m
	(3) minimum <b>exterior side yard</b> - <b>lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>		3.5 m
	(4) minimum <b>exterior side yard</b> - <b>lots</b> abutting a <b>street</b> with a right-of-way width less than 17.0 m		1.8 m
	(5) minimum <b>exterior side yard</b> with a 0.3 m reserve along the <b>exterior side lot line</b>		4.2 m
	(6) minimum setback to <b>garage face</b>		5.8 m
	(7) minimum setback to a <b>sight triangle</b>		0.0 m
	(8) minimum setback of a <b>semi-detached</b> to all lands zoned U-3		11.6 m
	(9) maximum encroachment of a <b>porch</b> or <b>balcony</b> into a required <b>front</b> and <b>exterior side yards</b>		2.0 m
	(10) maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided		2.5 m
	(11) where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>		5.0 m
	(12) for a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>		
	(13) maximum <b>driveway</b> width - <b>interior lot</b>		4.3 m
	(14) maximum <b>driveway</b> width - <b>corner lot</b>		4.7 m
	(15) maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		3.8 m

4.11.2.45	Exception: RM5-45	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM5-45 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.45.1	The provisions contained in Subsection 2.1.14 and the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.45.2	Minimum <b>lot area - interior lot</b>	170 m <sup>2</sup>	
4.11.2.45.3	Minimum <b>lot area - corner lot</b>	235 m <sup>2</sup>	
4.11.2.45.4	Minimum <b>lot frontage - interior lot</b>	7.5 m	
4.11.2.45.5	Minimum <b>lot frontage - corner lot</b>	10.5 m	
4.11.2.45.6	Minimum setback of all <b>buildings</b> and <b>structures</b> except a detached <b>garage</b> to a <b>sight triangle</b>	0.0 m	
4.11.2.45.7	Minimum <b>height</b>	8.5 m	
4.11.2.45.8	Minimum <b>height - street townhouse</b> with an unattached side	8.0 m	
4.11.2.45.9	Maximum projection of a <b>porch</b> or <b>balcony</b> outside the buildable area identified on Schedule RM5-45 of this Exception into the <b>front</b> and/or <b>exterior side yard</b> provided that the width of the <b>porch</b> or <b>balcony</b> shall not exceed 50% of the width of the <b>street townhouse</b>	1.5 m	
4.11.2.45.10	Maximum projection of an awning outside the buildable area identified on Schedule RM5-45 of this Exception into the required <b>front yard</b>	0.6 m	
4.11.2.45.11	Maximum projection of an awning outside the buildable area identified on Schedule RM5-45 of this Exception into the required <b>exterior side yard</b>	0.3 m	
4.11.2.45.12	Maximum projection of a window projection, with or without a foundation, <b>chimney</b> , pilaster or corbel outside the buildable area identified on Schedule RM5-45 of this Exception into a required <b>yard</b>	0.6 m	
4.11.2.45.13	Maximum area of a <b>deck</b> within the buildable area identified on Schedules RM5-45 of this Exception	10 m <sup>2</sup>	
4.11.2.45.14	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls - <b>interior lot</b>	5.5 m	
4.11.2.45.15	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls - <b>corner lot</b>	5.9 m	
4.11.2.45.16	Maximum <b>height</b> - attached <b>garage</b> with no <b>habitable rooms</b> above: measured from <b>established grade</b> to the highest point of the <b>garage</b> roof	4.6 m	
4.11.2.45.17	Maximum <b>height</b> - attached <b>garage</b> with <b>habitable rooms</b> above: measured from <b>established grade</b> to the highest point of the roof	8.5 m	
4.11.2.45.18	Minimum <b>interior side yard</b> on one side of an attached <b>garage</b>	0.85 m	
4.11.2.45.19	Maximum <b>driveway</b> width	6.5 m	

Exception RM5-45 continued on next page

4.11.2.45	Exception: RM5-45	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15
Exception RM5-45 continued from previous page			
4.11.2.45.20	"Rear Lot Line" means the <b>lot line</b> that divides the <b>lot</b> from a public lane identified and named as a "lane" on Schedule RM5-45 of this Exception		
4.11.2.45.21	"Front Lot Line" means the <b>lot line</b> opposite the rear lot line		
4.11.2.45.22	All site development plans shall comply with Schedule RM5-45 of this Exception		



Schedule RM5-45  
Map 57



4.11.2.46	Exception: RM5-46	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM5-46 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.46.1	The regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.46.2	Minimum <b>lot area - interior lot</b>	170 m <sup>2</sup>	
4.11.2.46.3	Minimum <b>lot area - corner lot</b>	235 m <sup>2</sup>	
4.11.2.46.4	Minimum <b>lot frontage - interior lot</b>	5.4 m	
4.11.2.46.5	Minimum <b>lot frontage - corner lot</b>	10.5 m	
4.11.2.46.6	Minimum <b>front yard - lot</b> without a municipal sidewalk adjacent the <b>front lot line</b>	3.5 m	
4.11.2.46.7	Minimum <b>exterior side yard</b>	3.5 m	
4.11.2.46.8	Minimum <b>rear yard</b>	7.0 m	
4.11.2.46.9	Maximum encroachment of a <b>porch</b> or <b>balcony</b> into the required <b>front and exterior side yards</b>	2.0 m	
4.11.2.46.10	Maximum encroachment of an awning into the required <b>front yard</b>	0.6 m	
4.11.2.46.11	Maximum encroachment of an awning into the required <b>exterior side yard</b>	0.3 m	
4.11.2.46.12	Maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided	2.5 m	
4.11.2.46.13	Where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>	5.0 m	
4.11.2.46.14	For a <b>street townhouse</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , a minimum of 60% of the width of the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>		
4.11.2.46.15	Minimum setback to a <b>sight triangle</b>	0.0 m	
4.11.2.46.16	Maximum <b>driveway</b> width - <b>interior lot</b>	3.8 m	
4.11.2.46.17	Maximum <b>driveway</b> width - <b>corner lot</b>	4.2 m	
4.11.2.46.18	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	3.8 m	

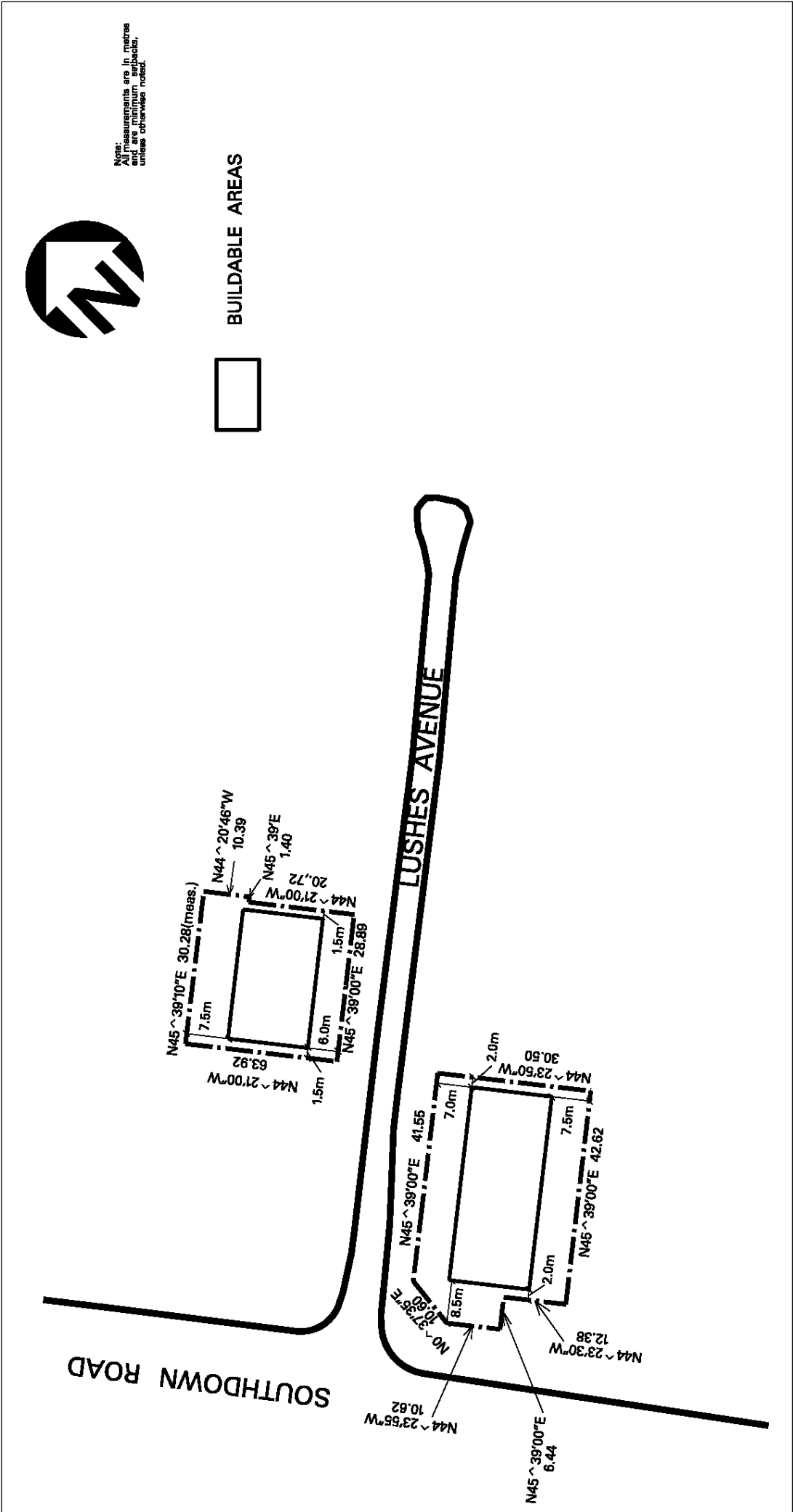
4.11.2.47	Exception: RM5-47	Map # 38W	By-law: 0426-2008, 0181-2018/LPAT Order 2019 February 15
In a RM5-47 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.47.1	The provisions contained in Sentence 3.1.1.2.1 of this By-law shall not apply		
4.11.2.47.2	Minimum <b>lot area - interior lot</b>	155 m <sup>2</sup>	
4.11.2.47.3	Minimum <b>lot frontage - interior lot</b>	6.0 m	
4.11.2.47.4	Minimum <b>front yard</b>	3.2 m	
4.11.2.47.5	Minimum <b>front yard - garage face</b>	2.2 m	
4.11.2.47.6	Minimum <b>interior side yard</b> - unattached side	1.3 m	
4.11.2.47.7	Maximum <b>height</b>	13.0 m	
4.11.2.47.8	Maximum gross floor area - residential	295 m <sup>2</sup>	
4.11.2.47.9	Maximum <b>driveway</b> width	5.72 m	
4.11.2.47.10	"Gross Floor Area - Residential" means the sum of the areas of each <b>storey</b> of a <b>building</b> above <b>established grade</b> measured from the exterior of outside walls but shall not include any part of the <b>building</b> used for <b>motor vehicle</b> parking		

4.11.2.48	Exception: RM5-48	Map # 57	By-law: 0455-2007, 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-48 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
Additional Permitted Uses			
4.11.2.48.1	(1) <b>Detached Dwelling</b> (2) <b>Semi-Detached</b>		
Regulations			
4.11.2.48.2	A <b>detached dwelling</b> shall comply with the R7 zone regulations contained in Subsection 4.3.1 of this By-law except that:		
	(1)	maximum number of detached <b>dwelling units</b> permitted within 185.0 m of Thomas Street	1
	(2)	minimum setback of a <b>lot</b> to Winston Churchill Boulevard	108.0 m
	(3)	minimum <b>lot area - interior lot</b>	275 m <sup>2</sup>
	(4)	minimum <b>lot frontage - interior lot</b>	9.75 m
	(5)	minimum <b>lot frontage - corner lot</b>	13.0 m
	(6)	maximum <b>driveway</b> width	6.5 m
	(7)	maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	5.5 m
	(8)	a <b>balcony</b> with a maximum area of 10 m <sup>2</sup> is permitted on top of an attached <b>garage</b> provided that the <b>balcony</b> does not project more than 1.0 m beyond the <b>garage face</b>	

Exception RM5-48 continued on next page

4.11.2.48	Exception: RM5-48	Map # 57	By-law: 0455-2007, 0174-2017, 0181-2018/LPAT Order 2019 February 15
<b>Exception RM5-48 continued from previous page</b>			
4.11.2.48.3	<p>A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:</p> <ol style="list-style-type: none"> <li>(1) the regulations of Lines 5.0 and 11.0 contained in Table 4.8.1 of this By-law shall not apply</li> <li>(2) minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the <b>front lot line</b> 3.5 m</li> <li>(3) minimum setback to <b>garage face</b> 5.8 m</li> <li>(4) minimum <b>exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b> 3.5 m</li> <li>(5) minimum <b>exterior side yard - lots</b> abutting a <b>street</b> with a right-of-way width less than 17.0 m 1.8 m</li> <li>(6) minimum <b>exterior side yard - corner lots</b> with a 0.3 m reserve along the <b>exterior lot line</b> 4.2 m</li> <li>(7) minimum <b>rear yard</b> 7.0 m</li> <li>(8) maximum encroachment of a <b>porch</b> or <b>balcony</b> into required <b>front</b> and <b>exterior side yards</b> 2.0 m</li> <li>(9) maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided 2.5 m</li> <li>(10) where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b> 5.0 m</li> <li>(11) for a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b>, where the <b>garage</b> projects beyond the <b>main front entrance</b>, a minimum of 75% of the width of the <b>garage</b>, measured from the inside face of the <b>garage</b> walls, the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b></li> <li>(12) minimum setback to a <b>sight triangle</b> 0.0 m</li> <li>(13) maximum <b>driveway</b> width - <b>interior lot</b> 4.3 m</li> <li>(14) maximum <b>driveway</b> width - <b>corner lot</b> 4.7 m</li> <li>(15) maximum <b>garage</b> width: 3.8 m measured from the inside face of the <b>garage</b> side walls</li> <li>(16) a <b>balcony</b> with a maximum area of 10 m<sup>2</sup> is permitted on top of an attached <b>garage</b> provided that the <b>balcony</b> does not project more than 1.0 m beyond the <b>garage face</b></li> </ol>		

4.11.2.49	Exception: RM5-49	Map # 03	By-law: 0281-2008, 0410-2008, 0181-2018/LPAT Order 2019 February 15
In a RM5-49 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.49.1	Minimum <b>lot area - interior lot</b>	188 m <sup>2</sup>	
4.11.2.49.2	Minimum <b>lot frontage - interior lot</b>	6.3 m	
4.11.2.49.3	Maximum <b>gross floor area - residential</b>	1.16 times the <b>lot area</b>	
4.11.2.49.4	Maximum encroachment of a <b>porch</b> or <b>deck</b> inclusive of stairs located at and accessible from the <b>first storey</b> or below the <b>first storey</b> into the required <b>front</b> and <b>exterior side yards</b> outside the buildable area identified on Schedule RM5-49 of this Exception	1.6 m	
4.11.2.49.5	Maximum encroachment of an awning, window, <b>chimney</b> , pilaster or corbel, window well, and stairs with a maximum of three risers into the required <b>front</b> and <b>exterior side yards</b> outside the buildable area identified on Schedule RM5-49 of this Exception	0.61 m	
4.11.2.49.6	Maximum encroachment of a <b>porch</b> or <b>deck</b> inclusive of stairs located at and accessible from the <b>first storey</b> or below the <b>first storey</b> , or awning into the required <b>rear yard</b> outside the buildable area identified on Schedule RM5-49 of this Exception	5.0 m	
4.11.2.49.7	For a <b>lot</b> with a <b>townhouse</b> requiring a 0.0 m <b>interior side yard</b> , the setback to the <b>interior side lot line</b> from a <b>porch</b> or <b>deck</b> inclusive of stairs permitted in the <b>rear yard</b> , shall also be 0.0 m		
4.11.2.49.8	Maximum encroachment of a <b>balcony</b> into the required <b>front</b> , <b>exterior side</b> or <b>rear yard</b> outside the buildable area identified on Schedule RM5-49 of this Exception	1.0 m	
4.11.2.49.9	Maximum encroachment of a window, <b>chimney</b> , heating and/or air conditioning equipment, pilaster or corbel, window well, and stairs with a maximum of three risers into the required <b>rear yard</b> outside the buildable area identified on Schedule RM5-49 of this Exception	1.0 m	
4.11.2.49.10	All site development plans shall comply with Schedule RM5-49 of this Exception		



Schedule RM5-49  
Map 03

4.11.2.50	Exception: RM5-50	Map # 30	By-law: 0184-2008
In a RM5-50 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.50.1	The regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.50.2	Minimum <b>lot area - interior lot</b>	145 m <sup>2</sup>	
4.11.2.50.3	Minimum <b>lot area - corner lot</b>	255 m <sup>2</sup>	
4.11.2.50.4	Minimum <b>lot frontage - interior lot</b>	6.0 m	
4.11.2.50.5	Minimum <b>lot frontage - corner lot</b>	10.5 m	
4.11.2.50.6	Minimum <b>rear yard</b>	6.0 m	
4.11.2.50.7	Maximum encroachment of a <b>porch</b> or a <b>balcony</b> into the required <b>front yard</b> or <b>exterior side yard</b>	2.0 m	
4.11.2.50.8	Maximum <b>height</b>	11.0 m	
4.11.2.50.9	Maximum <b>driveway</b> width	3.0 m	
4.11.2.50.10	Maximum area of a <b>balcony</b> on top of an attached <b>garage</b>	6 m <sup>2</sup>	

4.11.2.51	Exception: RM5-51	Map # 15	By-law: 0389-2009, 0188-2010
In a RM5-51 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.51.1	Minimum <b>lot area - interior lot</b>	195 m <sup>2</sup>	
4.11.2.51.2	Minimum <b>lot area - corner lot</b>	384 m <sup>2</sup>	
4.11.2.51.3	Minimum <b>lot frontage - corner lot</b>	13.6 m	
4.11.2.51.4	Minimum <b>exterior side yard</b>	7.2 m	
4.11.2.51.5	Minimum <b>interior side yard</b> - unattached side	1.2 m	
4.11.2.51.6	Maximum <b>gross floor area - residential</b>	1.37 times the <b>lot area</b>	
4.11.2.51.7	Maximum encroachment of a <b>porch</b> or a <b>deck</b> , located at and accessible from the <b>first storey</b> or below the <b>first storey</b> of the dwelling, inclusive of stairs, into a required <b>front yard</b>	2.0 m	
4.11.2.51.8	Maximum encroachment of a <b>balcony</b> into a required <b>rear yard</b>	2.5 m	
4.11.2.51.9	Maximum <b>driveway</b> width	3.75 m	
4.11.2.51.10	Maximum <b>garage</b> door width	3.0 m	

4.11.2.52	Exception: RM5-52	Map # 15	By-law: 0389-2009, 0188-2010
In a RM5-52 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.52.1	Minimum <b>lot area - interior lot</b>		250 m <sup>2</sup>
4.11.2.52.2	Minimum <b>lot frontage - interior lot</b>		7.5 m
4.11.2.52.3	Minimum <b>interior side yard</b> - unattached side abutting a R1-7 zone		3.0 m
4.11.2.52.4	Maximum <b>gross floor area - residential</b>		1.08 times the <b>lot area</b>
4.11.2.52.5	Maximum encroachment of a <b>porch</b> or a <b>deck</b> , located at and accessible from the <b>first storey</b> or below the <b>first storey</b> of the dwelling, inclusive of stairs, into a required <b>front yard</b>		2.0 m
4.11.2.52.6	Maximum encroachment of a <b>balcony</b> into a required <b>rear yard</b>		2.5 m
4.11.2.52.7	Maximum <b>driveway</b> width		3.75 m
4.11.2.52.8	Maximum <b>garage</b> door width		3.0 m
4.11.2.52.9	Minimum number of <b>parking spaces</b> per <b>dwelling unit</b>		3.0
4.11.2.52.10	Tandem parking is permitted within a <b>garage</b>		
4.11.2.52.11	A <b>hammerhead</b> shall be permitted on a <b>lot</b> with a <b>lot frontage</b> greater than or equal to 7.5 m		

4.11.2.53	Exception: RM5-53	Map # 36W	By-law: 0088-2013/OMB Order 2013 November 18/ 2014 November 11, 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-53 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:			
Additional Permitted Use			
4.11.2.53.1	(1)	Semi-Detached	
Regulations			
4.11.2.53.2	Street Townhouse:		
	(1)	minimum lot area - interior lot	162 m <sup>2</sup>
	(2)	minimum lot area - corner lot	255 m <sup>2</sup>
	(3)	minimum lot frontage - interior lot	6.0 m
	(4)	minimum lot frontage - corner lot	9.5 m
	(5)	minimum exterior side yard	4.0 m
	(6)	minimum interior side yard - unattached side	0.91 m
	(7)	maximum height	11.0 m
	(8)	maximum gross floor area - residential	1.2 times the lot area
	(9)	maximum encroachment of a porch or balcony into the required front yard	2.0 m
	(10)	a porch or a deck, exceeding 0.61 m in height above grade at any point, shall not project from the rear wall of a dwelling	

Exception RM5-53 continued on next page

4.11.2.53	Exception: RM5-53	Map # 36W	By-law: 0088-2013/OMB Order 2013 November 18/ 2014 November 11, 0174-2017, 0181-2018/LPAT Order 2019 February 15
Exception RM5-53 continued from previous page			
4.11.2.53.2 (continued)	(11)	Article 4.1.5.2 and Article 4.1.5.7 of this By-law shall only apply to a <b>porch</b> or <b>deck</b> 0.61 m or less in <b>height</b> above grade at any point	
	(12)	a <b>balcony</b> shall not project from the rear wall of a dwelling	
4.11.2.53.3	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1)	minimum <b>lot area - interior lot</b>	162 m <sup>2</sup>
	(2)	minimum <b>lot frontage - interior lot</b>	6.0 m
	(3)	maximum <b>lot coverage</b>	48%
	(4)	minimum <b>exterior side yard</b>	4.0 m
	(5)	maximum <b>height</b>	11.0 m
	(6)	maximum <b>gross floor area - residential</b>	1.2 times the <b>lot area</b>
	(7)	maximum encroachment of a <b>porch</b> or <b>balcony</b> into the required <b>front yard</b>	2.0 m
	(8)	a <b>porch</b> or a <b>deck</b> , exceeding 0.61 m in <b>height</b> above grade at any point, shall not project from the rear wall of a dwelling	
	(9)	Article 4.1.5.2 and Article 4.1.5.7 of this By-law shall only apply to a <b>porch</b> or <b>deck</b> 0.61 m or less in <b>height</b> above grade at any point	
	(10)	a <b>balcony</b> shall not project from the rear wall of a dwelling	
	(11)	minimum <b>interior side yard</b>	0.9 m

4.11.2.54	Exception: RM5-54	Map # 57	By-law: 0055-2012, 0181-2018/LPAT Order 2019 February 15
In a RM5-54 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.54.1	Minimum <b>lot area - interior lot</b>		183 m <sup>2</sup>
4.11.2.54.2	Minimum <b>lot area - corner lot</b>		292 m <sup>2</sup>
4.11.2.54.3	Minimum <b>lot frontage - interior lot</b>		6.1 m
4.11.2.54.4	Minimum <b>lot frontage - corner lot</b>		9.7 m
4.11.2.54.5	Minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the <b>front lot line</b>		3.5 m
4.11.2.54.6	Minimum <b>exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>		3.5 m
4.11.2.54.7	Minimum <b>interior side yard - unattached side</b>		1.2 m
4.11.2.54.8	Minimum <b>rear yard</b>		6.0 m
4.11.2.54.9	Minimum setback to <b>garage face</b>		5.8 m

**Exception RM5-54 continued on next page**

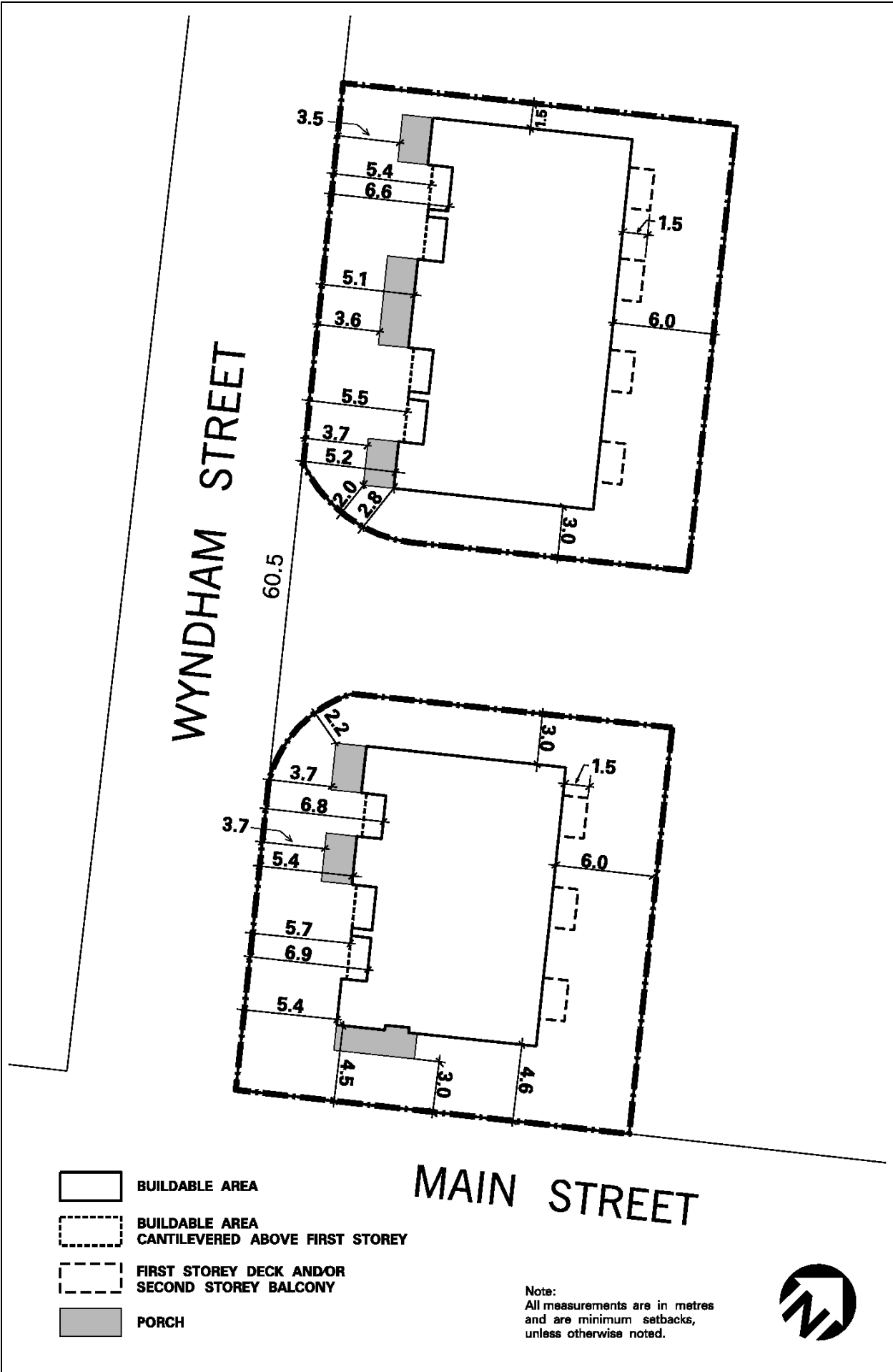


4.11.2.54	Exception: RM5-54	Map # 57	By-law: 0055-2012, 0181-2018/LPAT Order 2019 February 15
Exception RM5-54 continued from previous page			
4.11.2.54.10	Maximum <b>gross floor area - residential</b>	1.0 times the <b>lot area</b>	
4.11.2.54.11	Maximum encroachment of a <b>porch</b> or <b>balcony</b> into the required <b>front and exterior side yards</b>	2.0 m	
4.11.2.54.12	Minimum setback of stairs from the <b>front and exterior side lot lines</b>	1.0 m	
4.11.2.54.13	Maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> , where provided	2.5 m	
4.11.2.54.14	Where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>	5.0 m	
4.11.2.54.15	For a <b>street townhouse</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>		
4.11.2.54.16	Maximum <b>driveway</b> width - <b>interior lot</b>	4.3 m	
4.11.2.54.17	Maximum <b>driveway</b> width - <b>corner lot</b>	4.7 m	
4.11.2.54.18	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	3.8 m	
4.11.2.54.19	Minimum setback to a <b>sight triangle</b>	0.0 m	

4.11.2.55	Exception: RM5-55	Map # 19	By-law: OMB Order 2015 December 03, 0181-2018/LPAT Order 2019 February 15
In a RM5-55 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.55.1	Minimum <b>lot area - interior lot</b>	191 m <sup>2</sup>	
4.11.2.55.2	Minimum <b>lot frontage - interior lot</b>	7.8 m	
4.11.2.55.3	Minimum <b>front yard</b>	6.2 m	
4.11.2.55.4	Minimum setback to the <b>garage face</b>	6.5 m	
4.11.2.55.5	Minimum <b>interior side yard</b> abutting lands zoned any zone other than RM5-55	3.0 m	
4.11.2.55.6	Maximum <b>gross floor area - residential</b>	1.15 times the <b>lot area</b>	

4.11.2.56	Exception: RM5-56	Map # 03	By-law: 0166-2018
In a RM5-56 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.56.1	Minimum <b>lot area - interior lot</b>	135 m <sup>2</sup>	
4.11.2.56.2	Minimum <b>lot frontage - interior lot</b>	6.4 m	
4.11.2.56.3	Minimum <b>rear yard</b>	7.0 m	
4.11.2.56.4	Maximum <b>gross floor area - residential</b>	175 m <sup>2</sup>	
4.11.2.56.5	Maximum encroachment of a <b>porch</b> or stairs into a required <b>front yard</b>	1.0 m	
4.11.2.56.6	Maximum encroachment of a <b>balcony</b> into a required <b>rear yard</b>	2.5 m	

4.11.2.57	Exception: RM5-57	Map # 38W	By-law: 0029-2021
In a RM5-57 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.57.1	The provisions of Subsection 2.1.14 and the regulation of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.57.2	Minimum <b>lot area - interior lot</b>	127 m <sup>2</sup>	
4.11.2.57.3	Minimum <b>lot area - corner lot</b>	195 m <sup>2</sup>	
4.11.2.57.4	Minimum <b>lot frontage - interior lot</b>	5.4 m	
4.11.2.57.5	Minimum <b>lot frontage - corner lot</b>	8.5 m	
4.11.2.57.6	Notwithstanding Sentence 4.11.2.57.10 of this Exception, maximum encroachment of eaves into a required <b>yard</b>	0.7 m	
4.11.2.57.7	Notwithstanding Sentence 4.11.2.57.10 of this Exception, maximum encroachment of stairs attached to a <b>deck</b> located at and accessible from the <b>first storey</b> or below the <b>first storey</b> of the dwelling into a required <b>rear yard</b>	2.2 m	
4.11.2.57.8	Notwithstanding Sentence 4.11.2.57.10 of this Exception, maximum encroachment of a third <b>storey balcony</b> into a required <b>rear yard</b>	1.0 m	
4.11.2.57.9	Notwithstanding Sentence 4.11.2.57.10 of this Exception, external heating, air conditioning, and home back-up generator equipment is permitted in a required <b>rear yard</b>		
4.11.2.57.10	All site development plans shall comply with Schedule RM5-57 of this Exception		
<b>Holding Provision</b>			
The holding symbol H is to be removed from the whole or any part of the lands zoned H-RM5-57 by further amendment to Map 38W of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirement:			
(1) delivery of an executed agreement for community benefits pursuant to section 37 of the <i>Planning Act</i> , as amended, in a form and on terms satisfactory to the City of Mississauga.			



Schedule RM5-57  
Map 38W

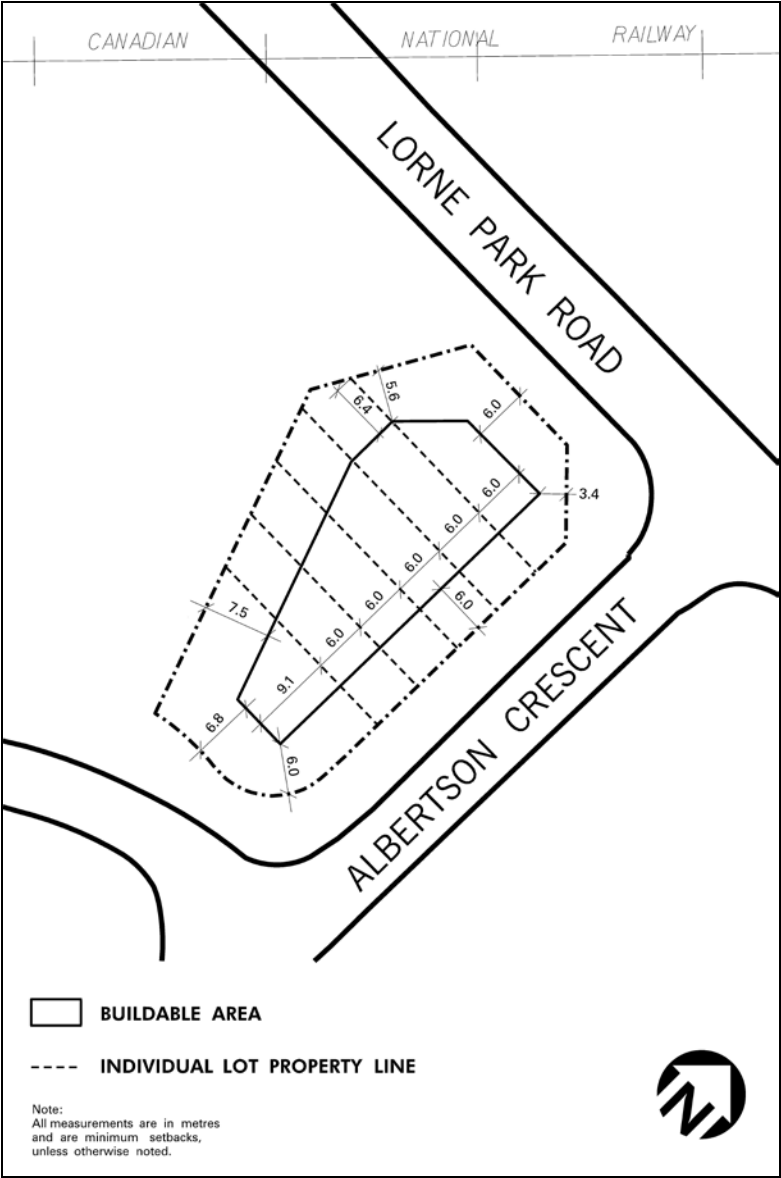
4.11.2.58	Exception: RM5-58	Map #	By-law:

4.11.2.59	Exception: RM5-59	Map #	By-law:

4.11.2.60	Exception: RM5-60	Map # 09	By-law: 0261-2021
In a RM5-60 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.11.2.60.1	The provisions of Article 4.1.8.1 and the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.60.2	Maximum number of <b>dwelling units</b> on all lands zoned RM5-60	6	
4.11.2.60.3	Minimum <b>lot area - interior lot</b>	143 m <sup>2</sup>	
4.11.2.60.4	Minimum <b>lot area - corner lot</b>	250 m <sup>2</sup>	
4.11.2.60.5	Minimum <b>lot frontage - interior lot/corner lot</b>	6.0 m	
4.11.2.60.6	The <b>lot line</b> abutting Albertson Crescent shall be deemed to be the <b>front lot line</b>		
4.11.2.60.7	Maximum <b>height</b>	9.6 m and 3 <b>storeys</b>	
4.11.2.60.8	Notwithstanding Sentence 4.11.2.60.13 of this Exception, maximum encroachment of a <b>porch</b> inclusive of stairs into a required <b>yard</b>	3.8 m	
4.11.2.60.9	Notwithstanding Sentence 4.11.2.60.13 of this Exception, maximum encroachment of a window, <b>chimney</b> , heating and/or air conditioning equipment, window well, and stairs with a maximum of three risers into a required <b>yard</b>	1.0 m	
4.11.2.60.10	Notwithstanding Sentence 4.11.2.60.13 of this Exception, maximum encroachment of a <b>balcony</b> into a required <b>rear yard</b>	3.0 m	
4.11.2.60.11	Maximum area of a <b>balcony</b> permitted outside the buildable area identified on Schedule RM5-60 of this Exception	5 m <sup>2</sup>	
4.11.2.60.12	Maximum <b>driveway</b> width	3.6 m	

Exception RM5-60 continued on next page

4.11.2.60	Exception: RM5-60	Map # 09	By-law: 0261-2021
Exception RM5-60 continued from previous page			
4.11.2.60.13	All site development plans shall comply with Schedule RM5-60 of this Exception		
Holding Provision			
<p>The holding symbol H is to be removed from the whole or any part of the lands zoned H-RM5-60 by further amendment to Map 09 of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements:</p> <p>(1) delivery of an executed Development Agreement in a form and on terms satisfactory to The Corporation of the City of Mississauga;</p> <p>(2) satisfactory arrangements with Metrolinx, Transportation and Works Department and Planning and Building Department regarding the design of the required crash/acoustical wall, including the submission of an updated Noise Feasibility and Vibration Study;</p> <p>(3) satisfactory arrangements with the Transportation and Works Department with respect to on site stormwater management;</p> <p>(4) satisfactory arrangements with the Transportation and Works Department and Community Services Department with respect to any land dedications;</p> <p>(5) submission of updated grading and site servicing drawings satisfactory to the Transportation and Works Department.</p>			



Schedule RM5-60  
Map 09

