

**4.15.4 RA3 Exception Zones**

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

4.15.4.1	Exception: RA3-1	Map # 19, 20	By-law: 0174-2017
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In a RA3-1 zone the permitted **uses** and applicable regulations shall be as specified for a RA3 zone except that the following **uses/regulations** shall apply:

**Regulations**

4.15.4.1.1	Minimum <b>floor space index - apartment zone</b>	0.5
4.15.4.1.2	Maximum <b>floor space index - apartment zone</b>	1.2

4.15.4.2	Exception: RA3-2	Map # 17	By-law: 0174-2017
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In a RA3-2 zone the permitted **uses** and applicable regulations shall be as specified for a RA3 zone except that the following **uses/regulations** shall apply:

**Regulations**

4.15.4.2.1	Minimum <b>floor space index - apartment zone</b>	0.7
4.15.4.2.2	Maximum <b>floor space index - apartment zone</b>	1.0

4.15.4.3	Exception: RA3-3	Map # 24, 59	By-law: 0174-2017
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In a RA3-3 zone the permitted **uses** and applicable regulations shall be as specified for a RA3 zone except that the following **uses/regulations** shall apply:

**Regulations**

4.15.4.3.1	Minimum <b>floor space index - apartment zone</b>	0.8
4.15.4.3.2	Maximum <b>floor space index - apartment zone</b>	1.4

4.15.4.4	Exception: RA3-4	Map # 46W	By-law: 0174-2017
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In a RA3-4 zone the permitted **uses** and applicable regulations shall be as specified for a RA3 zone except that the following **uses/regulations** shall apply:

**Regulations**

4.15.4.4.1	Minimum <b>floor space index - apartment zone</b>	1.0
4.15.4.4.2	Maximum <b>floor space index - apartment zone</b>	1.3

4.15.4.5	Exception: RA3-5	Map # 14, 25, 32, 38E, 48E	By-law: 0174-2017
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In a RA3-5 zone the permitted **uses** and applicable regulations shall be as specified for a RA3 zone except that the following **uses/regulations** shall apply:

**Regulations**

4.15.4.5.1	Minimum <b>floor space index - apartment zone</b>	1.0
4.15.4.5.2	Maximum <b>floor space index - apartment zone</b>	1.5

## Part 4 - Residential Zones

4.15.4.6	Exception: RA3-6	Map # 26	By-law: 0174-2017
In a RA3-6 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.4.6.1	Minimum <b>floor space index - apartment zone</b>		1.0
4.15.4.6.2	Maximum <b>floor space index - apartment zone</b>		1.8

4.15.4.7	Exception: RA3-7	Map # 10	By-law: 0174-2017
In a RA3-7 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.4.7.1	Minimum <b>floor space index - apartment zone</b>		1.0
4.15.4.7.2	Maximum <b>floor space index - apartment zone</b>		2.5

4.15.4.8	Exception: RA3-8	Map # 14, 15, 21, 22, 28, 37E	By-law: 0174-2017
In a RA3-8 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.4.8.1	Minimum <b>floor space index - apartment zone</b>		1.5
4.15.4.8.2	Maximum <b>floor space index - apartment zone</b>		2.0

4.15.4.9	Exception: RA3-9	Map #	By-law: 0174-2017
In a RA3-9 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.4.9.1	Minimum <b>floor space index - apartment zone</b>		1.5
4.15.4.9.2	Maximum <b>floor space index - apartment zone</b>		2.9

4.15.4.10	Exception: RA3-10	Map #	By-law: 0174-2017
In a RA3-10 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.4.10.1	Minimum <b>floor space index - apartment zone</b>		1.9
4.15.4.10.2	Maximum <b>floor space index - apartment zone</b>		2.9

## Part 4 - Residential Zones

4.15.4.11	Exception: RA3-11	Map # 14	By-law: 0174-2017, 0121-2020/LPAT Order 2021 March 11
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In a RA3-11 zone the permitted **uses** and applicable regulations shall be as specified for a RA3 zone except that the following **uses/regulations** shall apply:

### Regulations

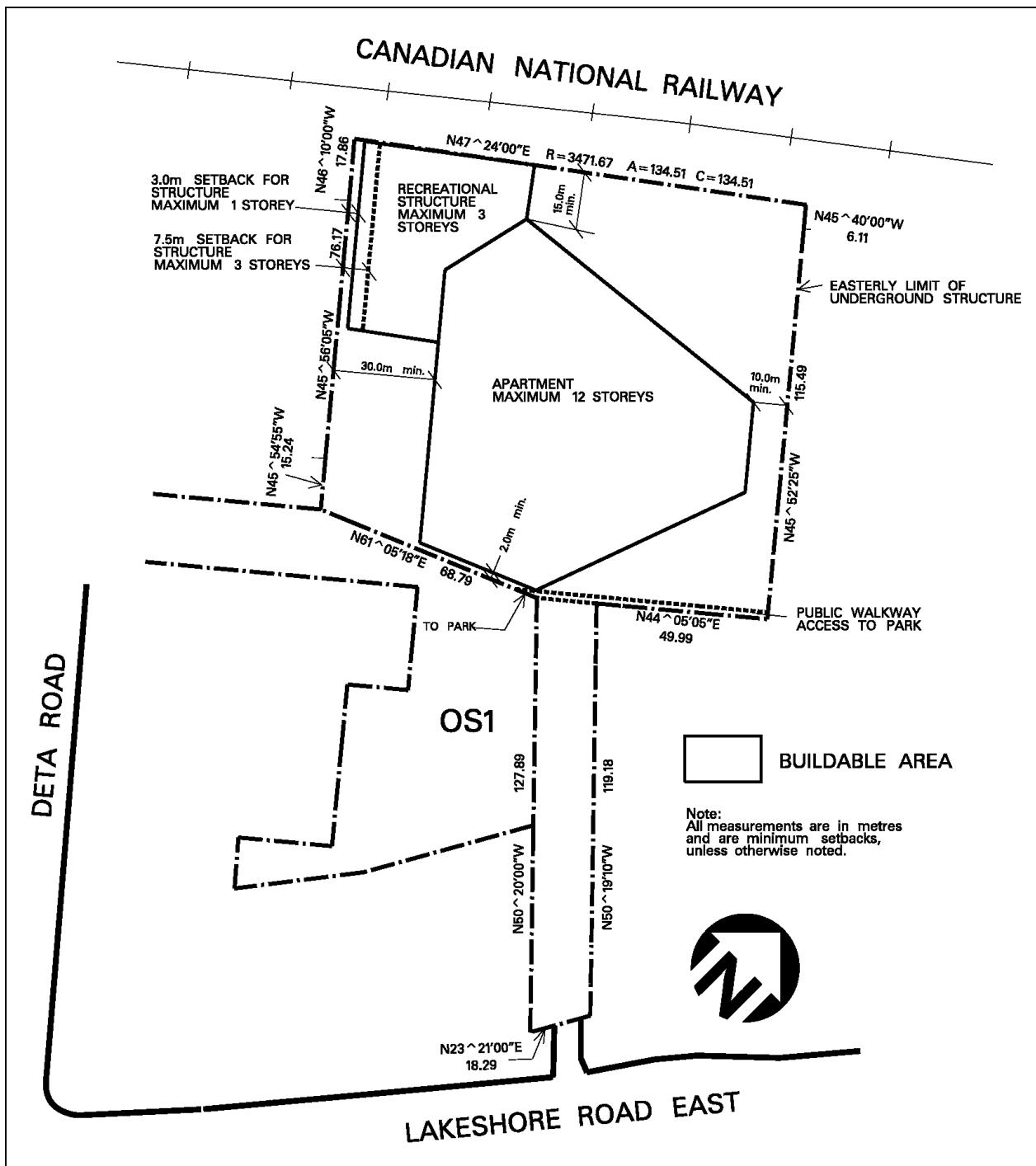
4.15.4.11.1	Maximum number of <b>dwelling units</b>	130
4.15.4.11.2	Minimum <b>floor space index - apartment zone</b>	1.0
4.15.4.11.3	Maximum <b>floor space index - apartment zone</b>	1.5
4.15.4.11.4	Access shall be permitted from lands zoned O1-11	

4.15.4.12	Exception: RA3-12	Map # 05	By-law: 0174-2017
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In a RA3-12 zone the permitted **uses** and applicable regulations shall be as specified for a RA3 zone except that the following **uses/regulations** shall apply:

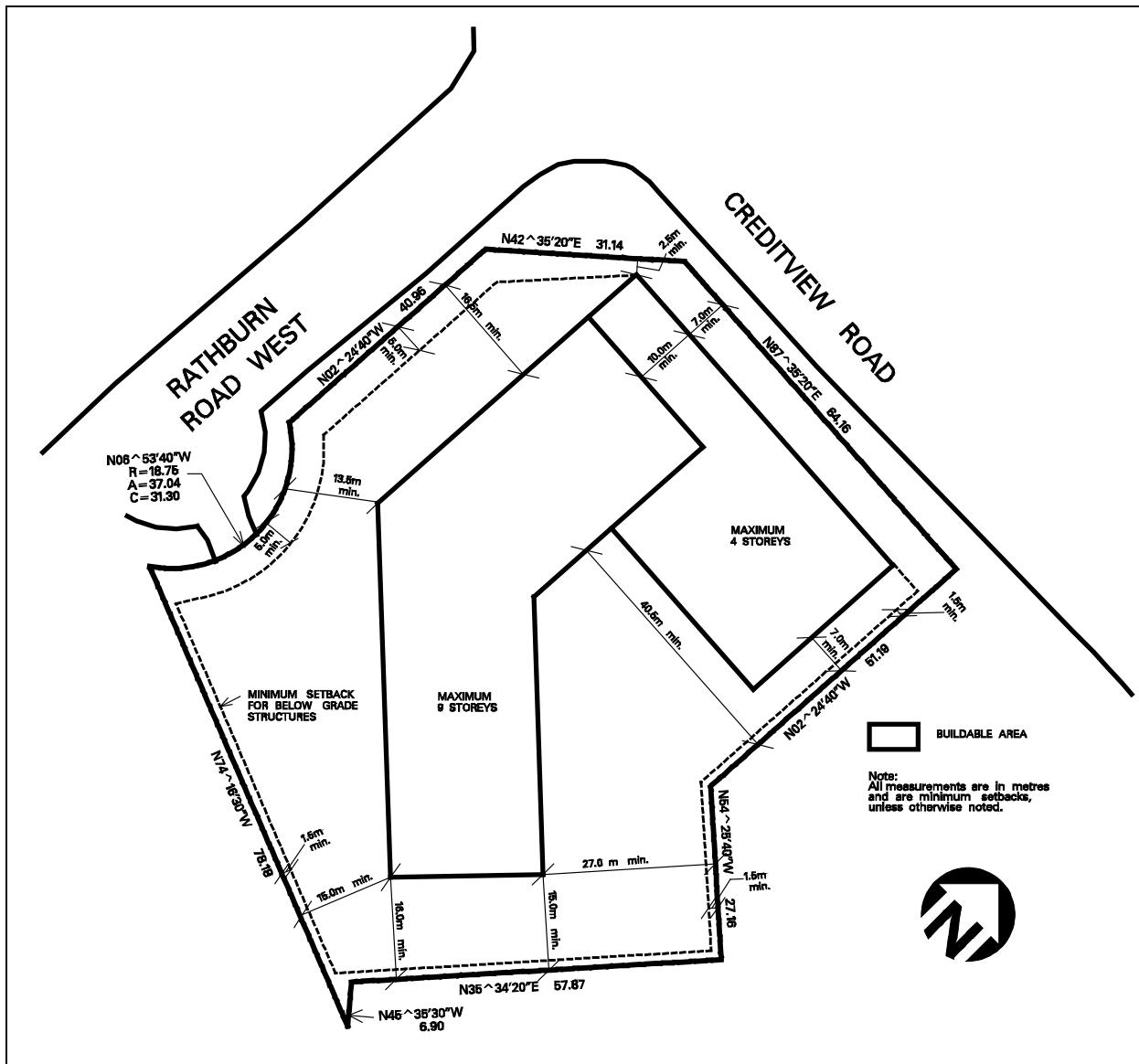
### Regulations

4.15.4.12.1	Maximum number of <b>dwelling units</b>	210
4.15.4.12.2	Minimum <b>floor space index - apartment zone</b>	1.1
4.15.4.12.3	Maximum <b>floor space index - apartment zone</b>	1.5
4.15.4.12.4	All site development plans shall comply with Schedule RA3-12 of this Exception	



Schedule RA3-12  
Map 05

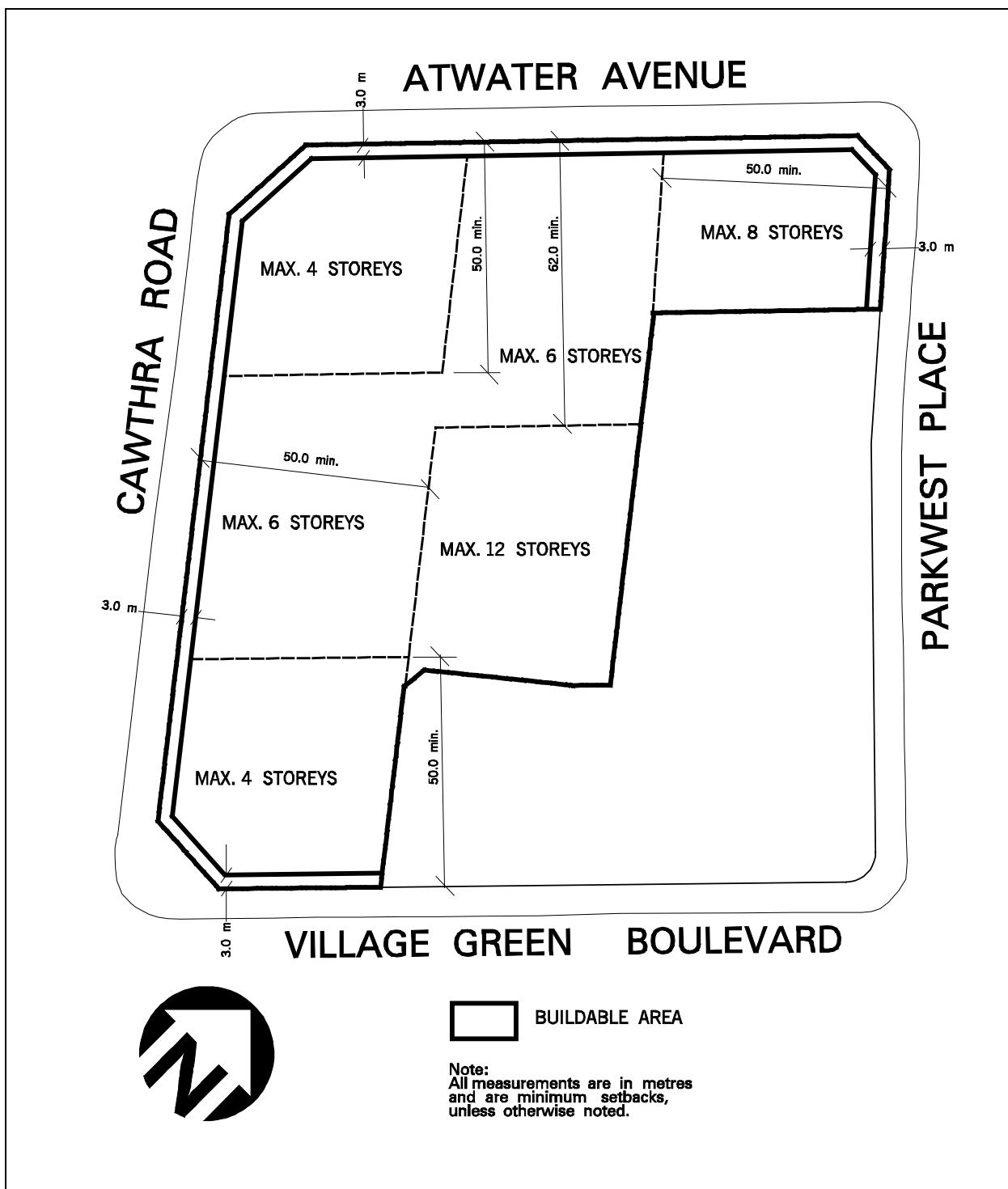
4.15.4.13	Exception: RA3-13	Map # 30	By-law: 0174-2017
In a RA3-13 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.4.13.1	Maximum number of <b>dwelling units</b>	211	
4.15.4.13.2	Minimum <b>floor space index - apartment zone</b>	0.5	
4.15.4.13.3	Maximum <b>floor space index - apartment zone</b>	1.9	
4.15.4.13.4	Maximum <b>height</b>	9 storeys	
4.15.4.13.5	All site development plans shall comply with Schedule RA3-13 of this Exception		



Schedule RA3-13  
Map 30

## **Part 4 - Residential Zones**

4.15.4.14	Exception: RA3-14	Map # 06	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15	
In a RA3-14 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA3 zone except that the following <b>uses/regulations</b> shall apply:				
<b>Additional Permitted Uses</b>				
4.15.4.14.1      (1) <b>Townhouse</b> (2) <b>Street Townhouse</b> (3) <b>Back to Back and Stacked Townhouses</b>				
<b>Regulations</b>				
4.15.4.14.2	The regulations of Lines 4.0 and 5.0 contained in Table 4.15.1 of this By-law shall not apply			
4.15.4.14.3	Maximum number of <b>dwelling units</b>			410
4.15.4.14.4	Maximum percentage of required <b>parking spaces</b> that may be tandem			20%
4.15.4.14.5	<b>Apartment:</b>			
	(1)      minimum setback between surface <b>parking spaces</b> and an <b>apartment</b>			6.0 m
4.15.4.14.6	<b>Townhouse:</b>			
	(1)      the regulations of Lines 8.0 to 9.6 contained in Table 4.10.1 of this By-law shall apply			
	(2)      the regulations of Lines 15.2 to 15.6 contained in Table 4.15.1 of this By-law shall not apply			
	(3)      minimum setback to <b>garage face</b>			6.0 m
4.15.4.14.7	A <b>street townhouse</b> shall comply with the RM5 zone regulations contained in Subsection 4.11.1 of this By-law except that:			
	(1)      minimum <b>lot area - interior lot</b>			185 m <sup>2</sup>
4.15.4.14.8	<b>Back to Back and Stacked Townhouses:</b>			
	(1)      minimum setback between surface <b>parking spaces</b> and a <b>back to back and stacked townhouse</b>			6.0 m
4.15.4.14.9	All site development plans shall comply with Schedule RA3-14 of this Exception			



Schedule RA3-14  
Map 06

## Part 4 - Residential Zones

4.15.4.15	Exception: RA3-15	Map # 54W	By-law: 0174-2017
In a RA3-15 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.4.15.1	Minimum <b>floor space index - apartment zone</b>	0.5	
4.15.4.15.2	Maximum <b>floor space index - apartment zone</b>	1.0	
4.15.4.15.3	Maximum <b>height</b>	10 <b>storeys</b>	

4.15.4.16	Exception: RA3-16	Map # 15, 21	By-law: 0174-2017
In a RA3-16 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.4.16.1	Minimum <b>floor space index - apartment zone</b>	0.5	
4.15.4.16.2	Maximum <b>floor space index - apartment zone</b>	1.5	
4.15.4.16.3	Maximum <b>height</b>	9 <b>storeys</b>	

4.15.4.17	Exception: RA3-17	Map # 15	By-law: 0174-2017
In a RA3-17 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.4.17.1	Minimum <b>floor space index - apartment zone</b>	0.5	
4.15.4.17.2	Maximum <b>floor space index - apartment zone</b>	1.5	
4.15.4.17.3	Maximum <b>height</b>	10 <b>storeys</b>	

4.15.4.18	Exception: RA3-18	Map # 21	By-law: 0174-2017
In a RA3-18 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.4.18.1	Minimum <b>floor space index - apartment zone</b>	0.5	
4.15.4.18.2	Maximum <b>floor space index - apartment zone</b>	1.5	
4.15.4.18.3	Maximum <b>height</b>	11 <b>storeys</b>	

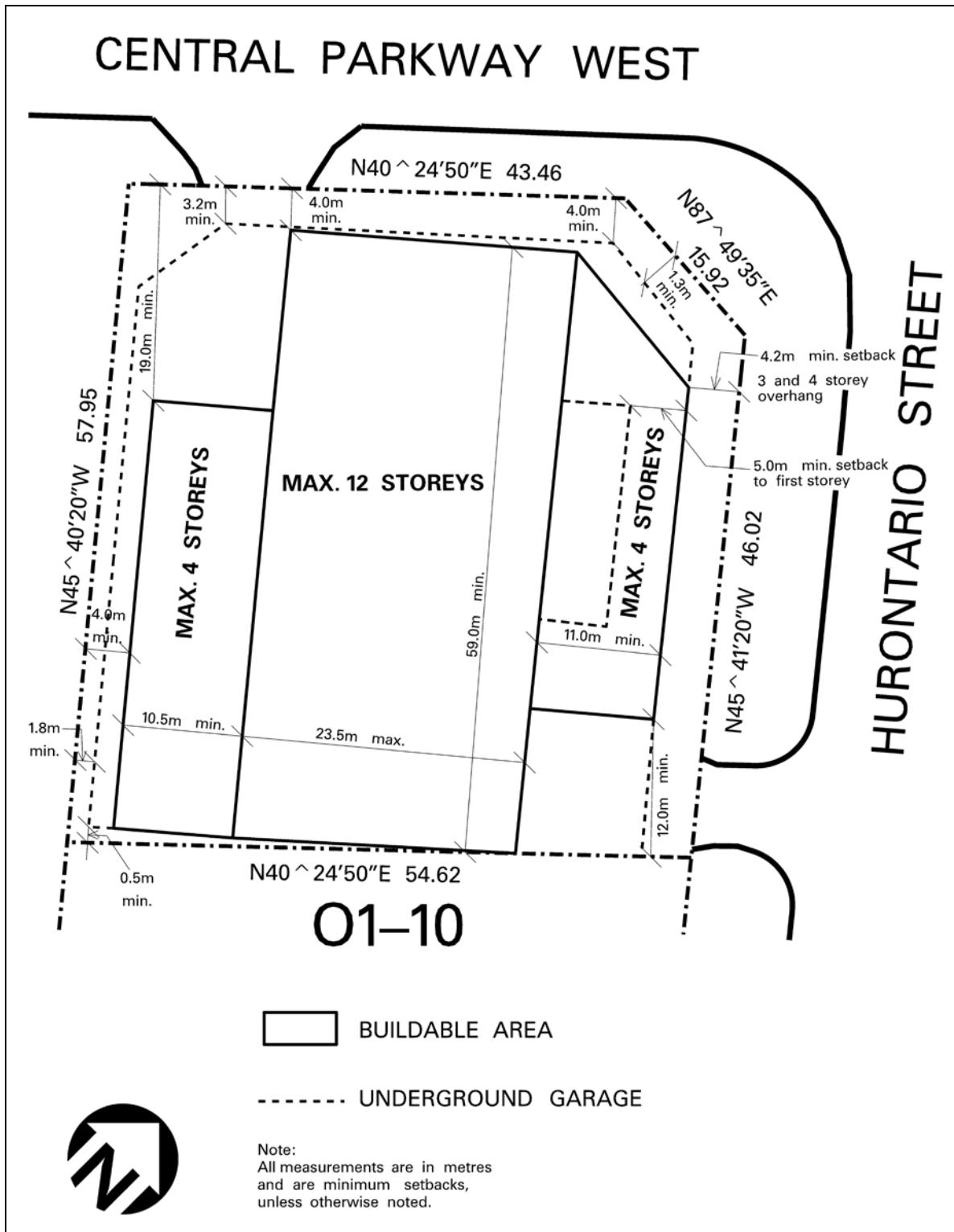
## Part 4 - Residential Zones

4.15.4.19	Exception: RA3-19	Map # 21	By-law: 0174-2017
In a RA3-19 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.4.19.1	Minimum <b>floor space index - apartment zone</b>	0.5	
4.15.4.19.2	Maximum <b>floor space index - apartment zone</b>	1.5	

4.15.4.20	Exception: RA3-20	Map # 22	By-law: 0325-2008, 0190-2009, 0174-2017, 0121-2020/LPAT Order 2021 March 11
In a RA3-20 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.15.4.20.1	(1) Parking required for abutting lands zoned O1-10		
<b>Regulations</b>			
4.15.4.20.2	Maximum total number of <b>dwelling units</b>	135	
4.15.4.20.3	Maximum number of apartment <b>dwelling units</b>	88	
4.15.4.20.4	Maximum number of <b>retirement dwelling units</b>	20	
4.15.4.20.5	For the purpose of calculating the number of <b>retirement dwelling units</b> , two <b>retirement building</b> bedrooms shall equal one <b>retirement dwelling unit</b>		
4.15.4.20.6	Maximum number of long-term care <b>dwelling units</b>	27	
4.15.4.20.7	For the purpose of calculating the number of long-term care <b>dwelling units</b> , two long-term care beds shall equal one long-term care <b>dwelling unit</b>		
4.15.4.20.8	Minimum <b>floor space index - apartment zone</b>	1.0	
4.15.4.20.9	Maximum <b>floor space index - apartment zone</b>	3.75	
4.15.4.20.10	Maximum <b>gross floor area - non-residential of accessory uses</b> permitted in Article 4.1.15.1 of this By-law	145 m <sup>2</sup>	
4.15.4.20.11	Minimum number of resident/staff <b>parking spaces</b> per apartment <b>dwelling unit</b>	0.20	
4.15.4.20.12	Minimum number of resident <b>parking spaces</b> per condominium apartment <b>dwelling unit</b>	1.00	
4.15.4.20.13	Minimum number of resident <b>parking spaces</b> per <b>retirement dwelling unit</b>	0.50	
4.15.4.20.14	Minimum number of <b>parking spaces</b> per staff in a <b>retirement dwelling</b>	0.85	
4.15.4.20.15	Minimum number of visitor <b>parking spaces</b> per <b>retirement dwelling unit</b>	0.25	
4.15.4.20.16	Minimum number of <b>parking spaces</b> per staff in a <b>long-term care dwelling</b>	0.85	
4.15.4.20.17	Minimum number of visitor <b>parking spaces</b> per bed in a <b>long-term care dwelling</b>	0.25	

Exception RA3-20 continued on next page

4.15.4.20	Exception: RA3-20	Map # 22	By-law: 0325-2008, 0190-2009, 0174-2017, 0121-2020/LPAT Order 2021 March 11
<b>Exception RA3-20 continued from previous page</b>			
4.15.4.20.18	Maximum number of required <b>parking spaces</b> that may be tandem	20	
4.15.4.20.19	Number of <b>parking spaces</b> required for abutting lands zoned O1-10	25	
4.15.4.20.20	All site development plans shall comply with Schedule RA3-20 of this Exception		



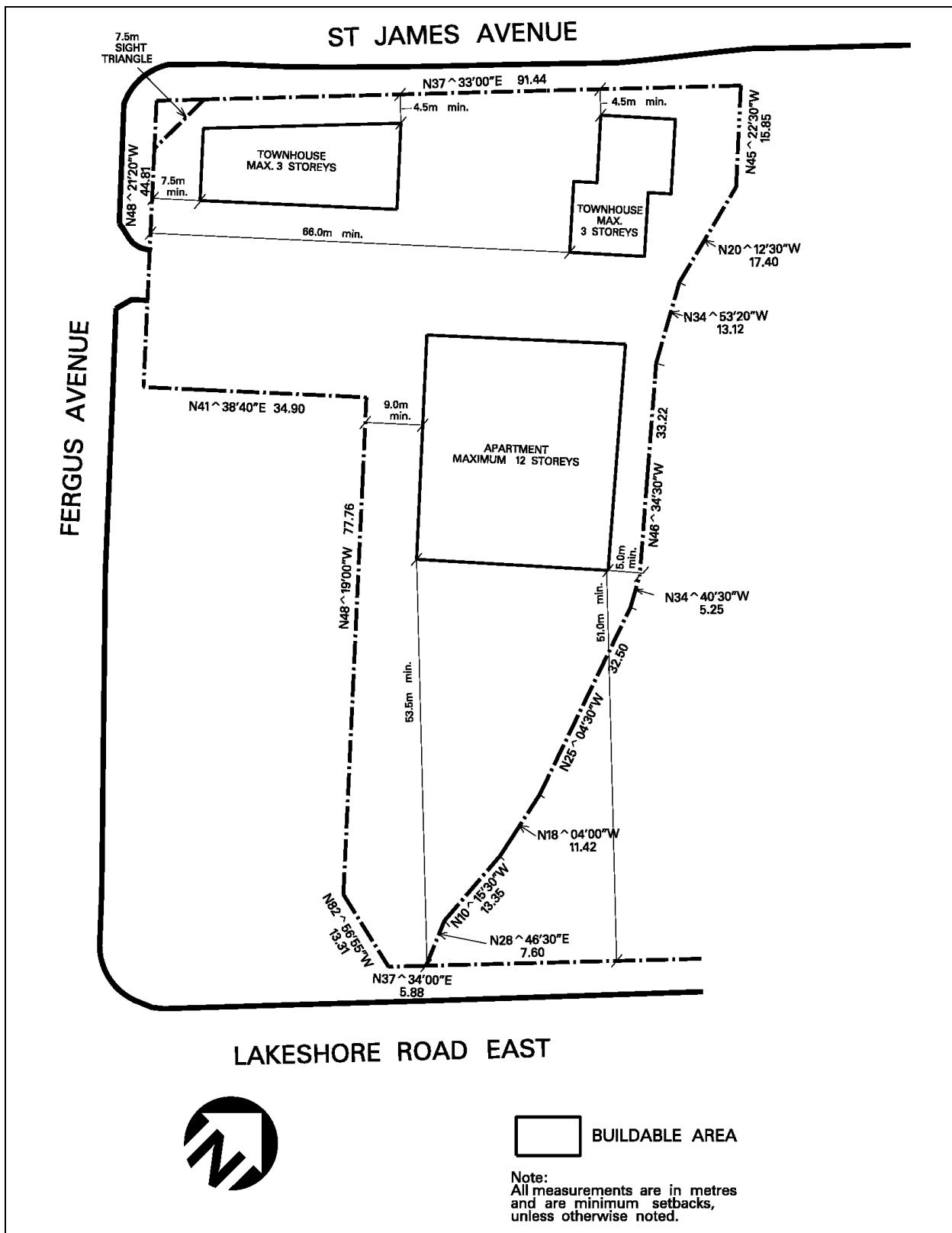
**Schedule RA3-20**  
Map 22

## Part 4 - Residential Zones

4.15.4.21	Exception: RA3-21	Map # 19	By-law: 0174-2017
In a RA3-21 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.4.21.1	Minimum <b>floor space index - apartment zone</b>		0.5
4.15.4.21.2	Maximum <b>floor space index - apartment zone</b>		0.8

4.15.4.22	Exception: RA3-22	Map # 36W	By-law: 0174-2017
In a RA3-22 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.4.22.1	Maximum number of <b>dwelling units</b>		68
4.15.4.22.2	Minimum <b>floor space index - apartment zone</b>		1.9
4.15.4.22.3	Maximum <b>floor space index - apartment zone</b>		2.9
4.15.4.22.4	Maximum <b>height</b>		9 storeys

4.15.4.23	Exception: RA3-23	Map # 06	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RA3-23 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.15.4.23.1 (1) <b>Townhouse</b>			
<b>Regulations</b>			
4.15.4.23.2	The regulations of Lines 4.0 and 5.0 contained in Table 4.15.1 of this By-law shall not apply		
4.15.4.23.3	<b>Apartment:</b>		
	(1) maximum number of apartment <b>dwelling units</b>		112
	(2) minimum number of resident <b>parking spaces</b> per apartment <b>dwelling unit</b>		1.10
	(3) minimum number of visitor <b>parking spaces</b> per apartment <b>dwelling unit</b>		0.23
4.15.4.23.4	<b>Townhouse:</b>		
	(1) the regulations of Lines 8.0 to 9.6 contained in Table 4.10.1 of this By-law shall apply		
	(2) the regulations of Lines 15.2 to 15.6 contained in Table 4.15.1 of this By-law shall not apply		
	(3) maximum number of townhouse <b>dwelling units</b>		10
	(4) minimum number of resident <b>parking spaces</b> per townhouse <b>dwelling unit</b>		1.10
	(5) minimum number of visitor <b>parking spaces</b> per townhouse <b>dwelling unit</b>		0.23
4.15.4.23.5	All site development plans shall comply with Schedule RA3-23 of this Exception		



Schedule RA3-23  
Map 06

## Part 4 - Residential Zones

4.15.4.24	Exception: RA3-24	Map # 08	By-law: 0174-2017
In a RA3-24 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.4.24.1	Minimum <b>floor space index - apartment zone</b>	1.0	
4.15.4.24.2	Maximum <b>floor space index - apartment zone</b>	2.5	

4.15.4.25	Exception: RA3-25	Map # 08	By-law: 0174-2017
In a RA3-25 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.4.25.1	Minimum <b>floor space index - apartment zone</b>	1.0	
4.15.4.25.2	Maximum <b>floor space index - apartment zone</b>	2.5	
4.15.4.25.3	Maximum <b>height</b>	11 <b>storeys</b>	

4.15.4.26	Exception: RA3-26	Map # 08	By-law: 0174-2017
In a RA3-26 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.4.26.1	Minimum <b>floor space index - apartment zone</b>	1.0	
4.15.4.26.2	Maximum <b>floor space index - apartment zone</b>	2.5	
4.15.4.26.3	Maximum <b>height</b>	10 <b>storeys</b>	

4.15.4.27	Exception: RA3-27	Map # 11	By-law: 0174-2017
In a RA3-27 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.4.27.1	Minimum <b>floor space index - apartment zone</b>	0.3	
4.15.4.27.2	Maximum <b>floor space index - apartment zone</b>	0.5	

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4.15.4.28	Exception: RA3-28	Map # 30	By-law: OMB Order 2010 May 05, 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RA3-28 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.15.4.28.1 (1) <b>Townhouse</b>			
<b>Regulations</b>			
4.15.4.28.2	Maximum number of apartment <b>dwelling units</b>	250	
4.15.4.28.3	Maximum number of townhouse <b>dwelling units</b>	38	
4.15.4.28.4	Minimum <b>floor space index - apartment zone</b>	1.0	
4.15.4.28.5	Maximum <b>floor space index - apartment zone</b>	1.77	
4.15.4.28.6	A <b>townhouse</b> shall comply with the RM4 zone regulations contained in Subsection 4.10.1 of this By-law		
4.15.4.28.7	Minimum <b>landscaped area</b>	45% of the <b>lot area</b>	
4.15.4.28.8	Minimum setback to Creditview Road and Eglinton Avenue West	4.5 m	
4.15.4.28.9	Minimum number of resident <b>parking spaces</b> for rental <b>apartments</b>	190	
4.15.4.28.10	Minimum number of visitor <b>parking spaces</b> for rental <b>apartments</b>	50	
4.15.4.28.11	For the purposes of <b>floor space index - apartment zone</b> in Lines 4.15.4.28.4 and 4.15.4.28.5 of this Exception, all lands zoned RA3-28 shall be considered one <b>lot</b>		
4.15.4.28.12	The provisions contained in Subsection 2.1.14 and the regulations of Line 15.2 in Table 4.15.1 contained in Subsection 4.15.1 of this By-law shall not apply		

4.15.4.29	Exception: RA3-29	Map #22	By-law: 0174-2017
In a RA3-29 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.4.29.1	Maximum number of <b>dwelling units</b>	158	
4.15.4.29.2	Minimum <b>floor space index - apartment zone</b>	1.5	
4.15.4.29.3	Maximum <b>floor space index - apartment zone</b>	2.9	
4.15.4.29.4	Minimum number of resident and staff <b>parking spaces</b> per <b>retirement dwelling unit</b>	0.20	
4.15.4.29.5	Minimum number of visitor <b>parking spaces</b> per <b>retirement dwelling unit</b>	0.25	

## Part 4 - Residential Zones

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4.15.4.30	Exception: RA3-30	Map # 59	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
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In a RA3-30 zone the permitted **uses** and applicable regulations shall be as specified for a RA3 zone except that the following **uses/regulations** shall apply:

### **Regulations**

4.15.4.30.1	Maximum number of <b>dwelling units</b>	132
4.15.4.30.2	Minimum <b>floor space index - apartment zone</b>	0.8
4.15.4.30.3	Maximum <b>floor space index - apartment zone</b>	1.4
4.15.4.30.4	Minimum total number of <b>parking spaces</b>	186
4.15.4.30.5	Minimum number of required <b>parking spaces</b> that shall be visitor <b>parking spaces</b> provided at grade	27
4.15.4.30.6	Minimum number of required <b>parking spaces</b> that shall be recreational vehicle <b>parking spaces</b> provided at grade	4
4.15.4.30.7	Required number of resident <b>parking spaces</b> that shall be permitted on adjacent lands zoned RM8-3	75

4.15.4.31	Exception: RA3-31	Map # 06	By-law: 0174-2017
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In a RA3-31 zone the permitted **uses** and applicable regulations shall be as specified for a RA3 zone except that the following **uses/regulations** shall apply:

### **Regulations**

4.15.4.31.1	The regulations of Lines 4.0 and 5.0 contained in Table 4.15.1 of this By-law shall not apply	
4.15.4.31.2	Maximum number of <b>dwelling units</b>	124
4.15.4.31.3	Maximum percentage of required <b>parking spaces</b> that may be tandem	20%
4.15.4.31.4	Minimum setback from surface <b>parking spaces</b> to an <b>apartment</b>	6.0 m

4.15.4.32	Exception: RA3-32	Map # 06	By-law: 0174-2017
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In a RA3-32 zone the permitted **uses** and applicable regulations shall be as specified for a RA3 zone except that the following **uses/regulations** shall apply:

### **Regulations**

4.15.4.32.1	The regulations of Lines 4.0 and 5.0 contained in Table 4.15.1 of this By-law shall not apply	
4.15.4.32.2	Maximum number of <b>dwelling units</b>	118
4.15.4.32.3	Maximum percentage of required <b>parking spaces</b> that may be tandem	20%
4.15.4.32.4	Minimum setback from surface <b>parking spaces</b> to an <b>apartment</b>	6.0 m

## Part 4 - Residential Zones

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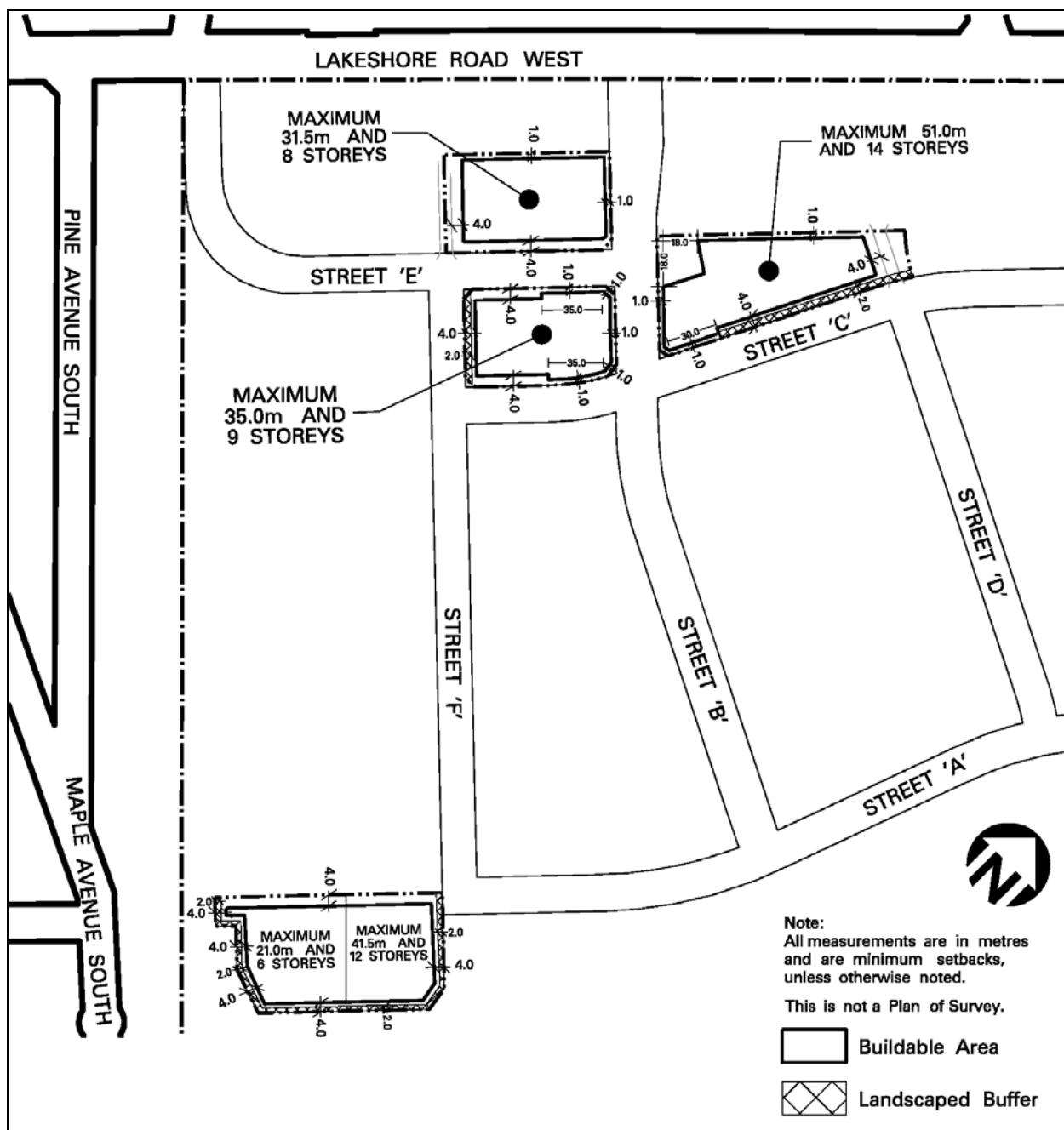
4.15.4.33	Exception: RA3-33	Map # 24	By-law: 0174-2017
In a RA3-33 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.4.33.1	Maximum number of <b>dwelling units</b>	176	
4.15.4.33.2	Minimum <b>floor space index - apartment zone</b>	1.0	
4.15.4.33.3	Maximum <b>floor space index - apartment zone</b>	1.8	
4.15.4.33.4	Minimum depth of a <b>landscaped buffer</b> abutting the northerly <b>interior side lot line</b>	15.0 m	
4.15.4.33.5	Minimum northerly <b>interior side yard</b>	30.0 m	
4.15.4.33.6	Maximum <b>height</b>	<b>11 storeys</b>	
4.15.4.33.7	Minimum number of resident <b>parking spaces per dwelling unit</b>	1.00	

4.15.4.34	Exception: RA3-34	Map # 15	By-law: 0174-2017
In a RA3-34 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.4.34.1	Maximum number of <b>dwelling units</b>	120	
4.15.4.34.2	Minimum <b>floor space index - apartment zone</b>	1.5	
4.15.4.34.3	Maximum <b>floor space index - apartment zone</b>	2.9	
4.15.4.34.4	Minimum number of resident <b>parking spaces</b> per one-bedroom apartment <b>dwelling unit</b>	0.57	
4.15.4.34.5	Minimum number of resident <b>parking spaces</b> per two-bedroom apartment <b>dwelling unit</b>	0.68	
4.15.4.34.6	Minimum number of resident <b>parking spaces</b> per three-bedroom apartment <b>dwelling unit</b>	0.77	
4.15.4.34.7	Minimum number of visitor <b>parking spaces</b> per apartment <b>dwelling unit</b>	0.20	
4.15.4.34.8	Minimum number of resident <b>parking spaces</b> per one-bedroom <b>retirement dwelling unit</b>	0.40	
4.15.4.34.9	Minimum number of resident <b>parking spaces</b> per two-bedroom <b>retirement dwelling unit</b>	0.90	
4.15.4.34.10	Minimum number of visitor <b>parking spaces</b> per <b>retirement dwelling unit</b>	0.10	

## Part 4 - Residential Zones

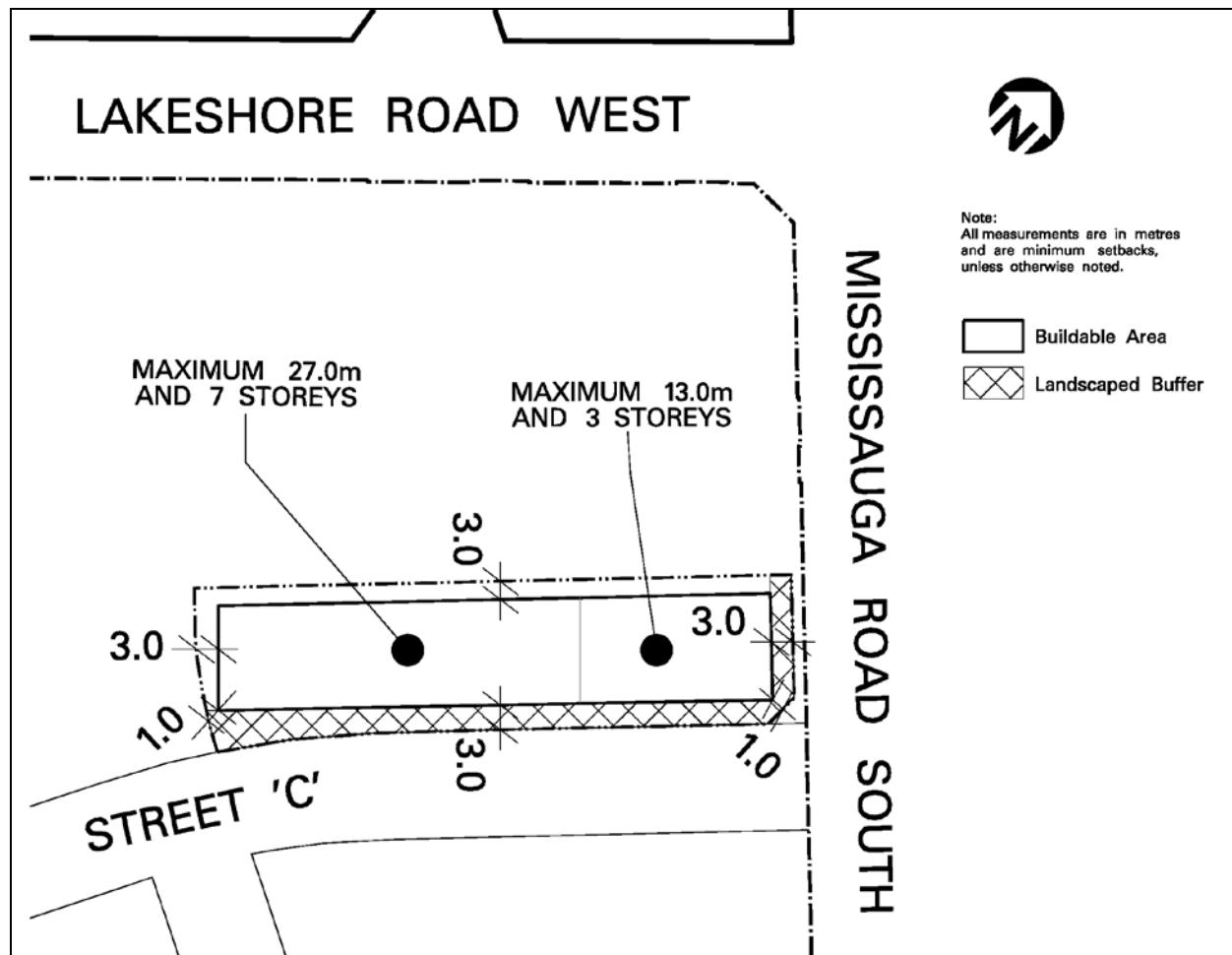
4.15.4.35	Exception: RA3-35	Map # 40E	By-law: 0174-2017
In a RA3-35 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.4.35.1	Maximum number of <b>dwelling units</b> per hectare	150	
4.15.4.35.2	Maximum <b>lot coverage</b>	15%	
4.15.4.35.3	Minimum <b>floor space index - apartment zone</b>	1.0	
4.15.4.35.4	Maximum <b>floor space index - apartment zone</b>	1.5	
4.15.4.35.5	Minimum <b>front yard</b>	13.0 m	
4.15.4.35.6	Minimum <b>interior side yard</b>	20.0 m	
4.15.4.35.7	Minimum <b>rear yard</b>	35.0 m	
4.15.4.35.8	Maximum <b>height</b>	10 <b>storeys</b>	
4.15.4.35.9	Minimum setback of a <b>parking structure</b> completely below finished grade to a <b>street line</b>	3.0 m	
4.15.4.35.10	Minimum setback of a <b>parking structure</b> completely below finished grade to any other <b>lot line</b>	1.5 m	

4.15.4.36	Exception: RA3-36	Map # 08	By-law: LPAT Order 2019 November 15
In a RA3-36 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Uses</b>			
4.15.4.36.1	(1) <b>Hospice</b> (2) <b>Uses</b> permitted in a C4 zone as contained in Table 6.2.1 of this By-law (3) <b>Outdoor Market</b> (4) <b>Custom Workshop</b> (5) <b>Cogeneration Facility</b>		
<b>Regulations</b>			
4.15.4.36.2	<b>Uses</b> contained in Clauses 4.15.4.36.1(1), 4.15.4.36.1(2), 4.15.4.36.1(4) and 4.15.4.36.1(5) of this Exception shall only be located within a <b>building, structure</b> or part thereof, used for an <b>apartment, long-term care building, retirement building</b> or any combination thereof		
4.15.4.36.3	The regulations of Lines 15.2 and 15.3 contained in Table 4.15.1 of this By-law shall not apply		
4.15.4.36.4	Maximum <b>floor space index - apartment zone</b> on all lands zoned RA3-36	3.6	
4.15.4.36.5	Minimum <b>landscaped area</b>	30% of the <b>lot area</b>	
4.15.4.36.6	Minimum setback of a <b>parking structure</b> constructed completely below finished grade to any <b>lot line</b>	1.0 m	
4.15.4.36.7	Minimum number of resident <b>parking spaces</b> per <b>dwelling unit</b>	1.0	
4.15.4.36.8	Minimum number of visitor <b>parking spaces</b> per <b>dwelling unit</b>	0.15	
4.15.4.36.9	Minimum number of <b>parking spaces</b> per <b>retirement dwelling unit</b>	0.3	
4.15.4.36.10	Minimum number of <b>parking spaces</b> per long-term care bed	0.3	
4.15.4.36.11	All site development plans shall comply with Schedule RA3-36 of this Exception		



Schedule RA3-36  
Map 08

4.15.4.37	Exception: RA3-37	Map # 08	By-law: LPAT Order 2019 November 15
In a RA3-37 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RA3 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.15.4.37.1	The regulations of Lines 15.2 and 15.3 contained in Table 4.15.1 of this By-law shall not apply		
4.15.4.37.2	Maximum <b>floor space index - apartment zone</b>	4.2	
4.15.4.37.3	Minimum <b>landscaped area</b>	30% of the <b>lot area</b>	
4.15.4.37.4	Minimum setback of a <b>parking structure</b> constructed completely below finished grade to any <b>lot line</b>	1.0 m	
4.15.4.37.5	Minimum number of resident <b>parking spaces</b> per rental <b>dwelling unit</b>	0.6	
4.15.4.37.6	Minimum number of visitor <b>parking spaces</b> per <b>dwelling unit</b>	0.15	
4.15.4.37.7	Minimum number of <b>parking spaces</b> per <b>retirement dwelling unit</b>	0.3	
4.15.4.37.8	Minimum number of <b>parking spaces</b> per long-term care bed	0.3	
4.15.4.37.9	All site development plans shall comply with Schedule RA3-37 of this Exception		



Schedule RA3-37  
Map 08

