

4.2.5 R4 Exception Zones

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

4.2.5.1	Exception: R4-1	Map # 48W	By-law: 0225-2016, 0181-2018/LPAT Order 2019 February 15
In a R4-1 zone the permitted uses and applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.5.1.1	Maximum lot coverage	30%	
4.2.5.1.2	Minimum front yard - interior lot	7.5 m	
4.2.5.1.3	Minimum exterior side yard	6.0 m	
4.2.5.1.4	Minimum interior side yard	1.2 m + 0.61 m for each additional storey , or portion thereof, above one storey	
4.2.5.1.5	Minimum setback to garage face - interior lot	7.5 m	
4.2.5.1.6	Maximum height - highest ridge: sloped roof	9.0 m	
4.2.5.1.7	Maximum height: flat roof	7.5 m	
4.2.5.1.8	Maximum height of eaves: from average grade to lower edge of the eaves	6.4 m	
4.2.5.1.9	Maximum gross floor area - infill residential	100 m ² plus 0.2 times the lot area	
4.2.5.1.10	Garage projection: maximum projection of the garage beyond the front wall or exterior side wall of the first storey	2.0 m	
4.2.5.1.11	Maximum dwelling unit depth	20.0 m	

4.2.5.2	Exception: R4-2	Map # 22, 26, 30	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
In a R4-2 zone the permitted uses and applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Regulations			

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4.2.5.3	Exception: R4-3	Map # 26, 55	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
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In a R4-3 zone the permitted **uses** and applicable regulations shall be as specified for a R4 zone except that the following **uses/regulations** shall apply:

Regulations

4.2.5.3.1	Minimum lot frontage - corner lot	15.0 m
4.2.5.3.2	Minimum front yard	4.5 m
4.2.5.3.3	(1) Minimum interior side yard - interior lot (2) Minimum interior side yard - interior lot , for that part of a lot that adjoins a one storey garage or a wall of a main building containing no windows or doors into a habitable room	1.2 m 0.61 m
4.2.5.3.4	Minimum combined width of side yards - interior lot	1.81 m
4.2.5.3.5	Minimum setback to garage face	6.0 m

4.2.5.4	Exception: R4-4	Map # 47, 48E	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
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In a R4-4 zone the permitted **uses** and applicable regulations shall be as specified for a R4 zone except that the following **uses/regulations** shall apply:

Regulations

4.2.5.4.1	Minimum lot area - corner lot	460 m ²
4.2.5.4.2	Minimum lot frontage - corner lot	15.0 m
4.2.5.4.3	Maximum gross floor area - residential	0.6 times the lot area
4.2.5.4.4	Minimum front yard	4.5 m
4.2.5.4.5	Minimum setback to garage face	6.0 m

4.2.5.5	Exception: R4-5	Map # 27	By-law:
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In a R4-5 zone the permitted **uses** and applicable regulations shall be as specified for a R4 zone except that the following **uses/regulations** shall apply:

Regulations

4.2.5.5.1	(1) Minimum interior side yard - interior lot (2) Minimum interior side yard - interior lot , for that part of a lot that adjoins a one storey garage or a wall of a main building containing no windows or doors into a habitable room	1.2 m 0.61 m
4.2.5.5.2	Minimum combined width of side yards - interior lot	1.81 m
4.2.5.5.3	Minimum rear yard where lands abut a PB1 zone	13.5 m

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4.2.5.6	Exception: R4-6	Map # 21	By-law:
In a R4-6 zone the permitted uses and applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.5.6.1	Minimum lot area - interior lot		360 m ²
4.2.5.6.2	Minimum lot frontage - interior lot		10.5 m
4.2.5.6.3	(1) Minimum interior side yard - interior lot		1.2 m
	(2) Minimum interior side yard - interior lot , for that part of a lot that adjoins a one storey garage or a wall of a main building containing no windows or doors into a habitable room		0.61 m
4.2.5.6.4	Minimum combined width of side yards - interior lot		1.81 m
4.2.5.6.5	Minimum interior side yard - corner lot		3.0 m

4.2.5.7	Exception: R4-7	Map # 19, 22, 27, 30, 36W, 37E, 38E, 38W, 44W, 45E, 55, 59	By-law:
In a R4-7 zone the permitted uses and applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.5.7.1	Minimum lot area - interior lot		340 m ²
4.2.5.7.2	Minimum lot area - corner lot		450 m ²
4.2.5.7.3	Minimum lot frontage - corner lot		15.0 m

4.2.5.8	Exception: R4-8	Map # 28	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
In a R4-8 zone the permitted uses and applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.5.8.1	Minimum lot area - corner lot		495 m ²
4.2.5.8.2	Minimum lot frontage - corner lot		13.5 m
4.2.5.8.3	Minimum front yard - corner lot		4.5 m
4.2.5.8.4	(1) Minimum interior side yard - interior lot		1.2 m
	(2) Minimum interior side yard - interior lot , for that part of a lot that adjoins a one storey garage or a wall of a main building containing no windows or doors into a habitable room		0.61 m
4.2.5.8.5	Minimum combined width of side yards - interior lot		1.81 m
4.2.5.8.6	Minimum interior side yard - corner lot		7.5 m
4.2.5.8.7	Minimum rear yard - corner lot		1.2 m
4.2.5.8.8	Minimum setback to garage face		6.0 m

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4.2.5.9	Exception: R4-9	Map # 28	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
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In a R4-9 zone the permitted **uses** and applicable regulations shall be as specified for a R4 zone except that the following **uses/regulations** shall apply:

Regulations

4.2.5.9.1	Minimum lot frontage - corner lot	14.5 m
4.2.5.9.2	Minimum front yard	4.5 m
4.2.5.9.3	Minimum rear yard	1.2 m
4.2.5.9.4	The lot line abutting Wilcox Road shall be deemed to be the front lot line	
4.2.5.9.5	Minimum setback to garage face	6.0 m

4.2.5.10	Exception: R4-10	Map # 07, 28, 45W	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
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In a R4-10 zone the permitted **uses** and applicable regulations shall be as specified for a R4 zone except that the following **uses/regulations** shall apply:

Regulations

4.2.5.10.1	Minimum front yard	4.5 m
4.2.5.10.2	Minimum interior side yard - interior lot	1.2 m on one side and 0.61 m on the other side
4.2.5.10.3	Minimum setback to garage face	6.0 m

4.2.5.11	Exception: R4-11	Map # 24	By-law:
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In a R4-11 zone the permitted **uses** and applicable regulations shall be as specified for a R4 zone except that the following **uses/regulations** shall apply:

Regulations

4.2.5.11.1	Minimum lot area - corner lot	370 m ²
4.2.5.11.2	Minimum lot frontage - corner lot	12.0 m
4.2.5.11.3	Minimum gross floor area - residential	148 m ²

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4.2.5.12	Exception: R4-12	Map # 27, 28, 38W, 46W, 48E	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
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In a R4-12 zone the permitted **uses** and applicable regulations shall be as specified for a R4 zone except that the following **uses/regulations** shall apply:

Regulations

4.2.5.12.1	Minimum lot area - interior lot	355 m ²
4.2.5.12.2	Minimum lot area - corner lot	450 m ²
4.2.5.12.3	Minimum lot frontage - corner lot	15.0 m
4.2.5.12.4	Minimum front yard	4.5 m
4.2.5.12.5	Minimum interior side yard - interior lot	1.2 m on one side and 0.61 m on the other side
4.2.5.12.6	Minimum setback to garage face	6.0 m

4.2.5.13	Exception: R4-13	Map # 10, 31	By-law:
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In a R4-13 zone the permitted **uses** and applicable regulations shall be as specified for a R4 zone except that the following **uses/regulations** shall apply:

Regulations

4.2.5.13.1	Minimum interior side yard of all buildings and structures and swimming pools where lands abut a G1 and/or B zone	3.0 m
4.2.5.13.2	Minimum setback of a swimming pool to the rear lot line where lands abut a G1 zone	3.0 m

4.2.5.14	Exception: R4-14	Map # 22, 38W, 39E	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
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In a R4-14 zone the permitted **uses** and applicable regulations shall be as specified for a R4 zone except that the following **uses/regulations** shall apply:

Regulations

4.2.5.14.1	Minimum front yard	4.5 m
4.2.5.14.2	Minimum setback to garage face	6.0 m

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4.2.5.15	Exception: R4-15	Map # 26, 28, 29, 36W	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
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In a R4-15 zone the permitted **uses** and applicable regulations shall be as specified for a R4 zone except that the following **uses/regulations** shall apply:

Regulations

4.2.5.15.1	Minimum lot area - interior lot	360 m ²
4.2.5.15.2	Minimum lot area - corner lot	450 m ²
4.2.5.15.3	Minimum lot frontage - corner lot	15.0 m
4.2.5.15.4	Maximum lot coverage	45%
4.2.5.15.5	Minimum front yard	4.5 m
4.2.5.15.6	Minimum interior side yard - interior lot	1.2 m on one side and 0.61 m on the other side
4.2.5.15.7	Maximum gross floor area - residential	0.6 times the lot area
4.2.5.15.8	Minimum setback to garage face	6.0 m

4.2.5.16	Exception: R4-16	Map # 10, 38W	By-law:
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In a R4-16 zone the permitted **uses** and applicable regulations shall be as specified for a R4 zone except that the following **uses/regulations** shall apply:

Regulations

4.2.5.16.1	Minimum interior side yard - interior lot	1.2 m on one side and 0.61 m on the other side
4.2.5.16.2	Maximum gross floor area - residential	0.6 times the lot area

4.2.5.17	Exception: R4-17	Map # 36W, 37E	By-law:
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In a R4-17 zone the permitted **uses** and applicable regulations shall be as specified for a R4 zone except that the following **uses/regulations** shall apply:

Regulations

4.2.5.17.1	Minimum lot frontage - interior lot	14.0 m
4.2.5.17.2	Minimum lot frontage - corner lot	18.5 m
4.2.5.17.3	Maximum lot coverage	45%
4.2.5.17.4	Maximum gross floor area - residential	0.6 times the lot area

4.2.5.18	Exception: R4-18	Map # 31	By-law:
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In a R4-18 zone the permitted **uses** and applicable regulations shall be as specified for a R4 zone except that the following **uses/regulations** shall apply:

Regulation

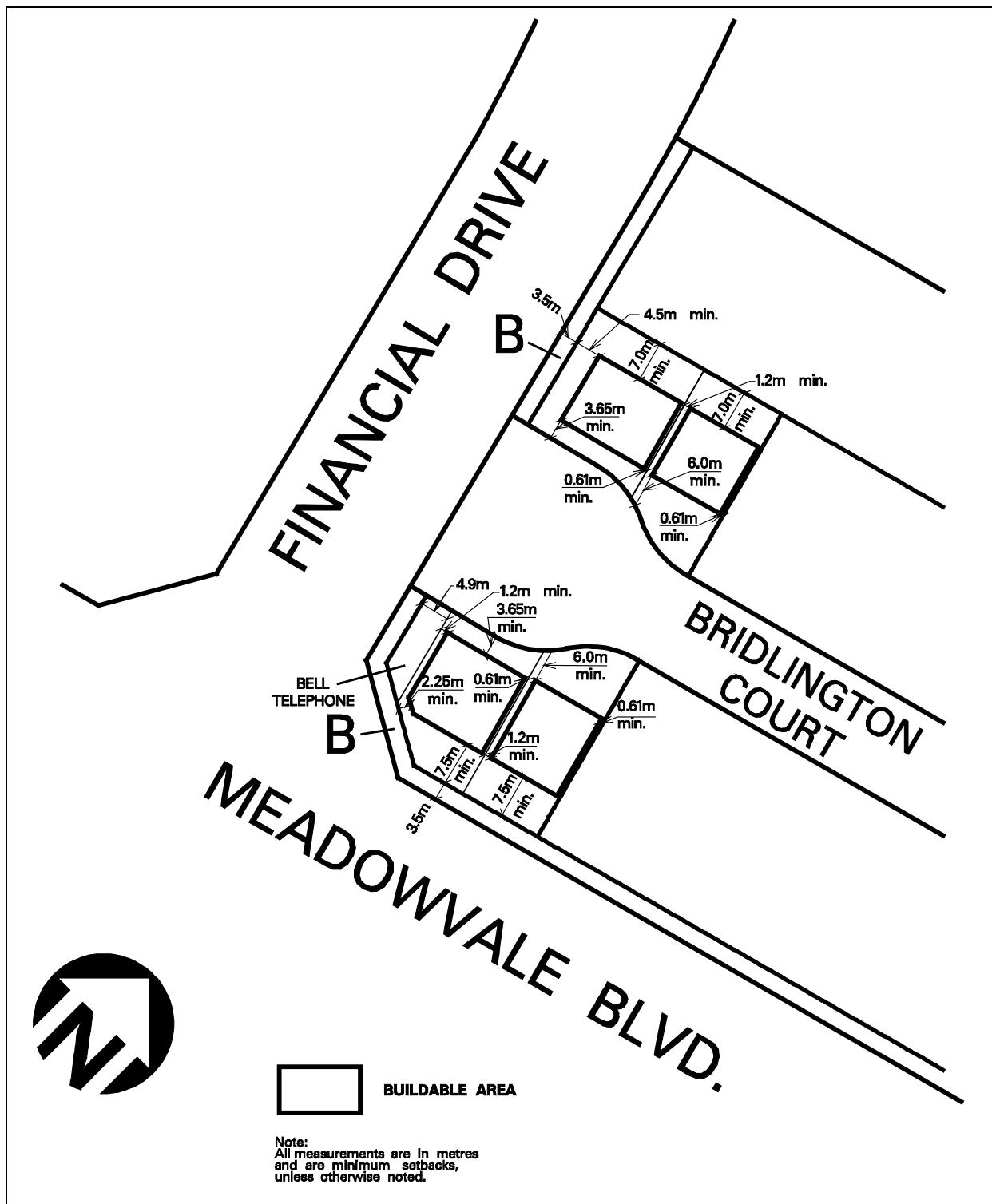
4.2.5.18.1	Minimum setback of a detached dwelling to a railway right-of-way	22.0 m
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4.2.5.19	Exception: R4-19	Map # 37W, 38W	By-law:
In a R4-19 zone the permitted uses and applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.5.19.1	Minimum lot area - corner lot	480 m ²	
4.2.5.19.2	Minimum lot frontage - corner lot	14.0 m	
4.2.5.19.3	Maximum lot coverage	45%	

4.2.5.20	Exception: R4-20	Map # 22, 27, 29, 37E, 37W, 38E, 38W	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
In a R4-20 zone the permitted uses and applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.5.20.1	Minimum lot area - interior lot	360 m ²	
4.2.5.20.2	Minimum lot area - corner lot	408 m ²	
4.2.5.20.3	Minimum lot frontage - corner lot	15.0 m	
4.2.5.20.4	Maximum lot coverage	45%	
4.2.5.20.5	Minimum front yard	4.5 m	
4.2.5.20.6	Minimum interior side yard - interior lot	1.2 m on one side and 0.61 m on the other side	
4.2.5.20.7	Minimum setback to garage face	6.0 m	

4.2.5.21	Exception: R4-21	Map # 53W	By-law:
In a R4-21 zone the permitted uses and applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.5.21.1	Minimum lot area - interior lot	350 m ²	
4.2.5.21.2	Minimum lot area - corner lot	420 m ²	
4.2.5.21.3	Minimum lot frontage - corner lot	15.5 m	
4.2.5.21.4	Maximum lot coverage	45%	
4.2.5.21.5	Maximum encroachment of a porch into the required front and exterior side yards	1.8 m	
4.2.5.21.6	All site development plans shall comply with Schedule R4-21 of this Exception		



Schedule R4-21
Map 53W

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4.2.5.22	Exception: R4-22	Map # 22, 30, 36W, 37E, 37W	By-law: 0379-2009, 0265-2016, 0181-2018/LPAT Order 2019 February 15
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In a R4-22 zone the permitted **uses** and applicable regulations shall be as specified for a R4 zone except that the following **uses/regulations** shall apply:

Regulations

4.2.5.22.1	Minimum lot area - interior lot	345 m ²
4.2.5.22.2	Minimum lot area - corner lot	450 m ²
4.2.5.22.3	Minimum lot frontage - interior lot	11.5 m
4.2.5.22.4	Minimum lot frontage - corner lot	15.0 m
4.2.5.22.5	Maximum lot coverage	45%
4.2.5.22.6	Minimum front yard	4.5 m
4.2.5.22.7	Minimum interior side yard - interior lot	1.2 m on one side and 0.61 m on the other side
4.2.5.22.8	Minimum setback of a detached dwelling , excluding attached garage , to a railway right-of-way	30.0 m
4.2.5.22.9	Minimum setback to garage face	6.0 m

4.2.5.23	Exception: R4-23	Map # 38W	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
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In a R4-23 zone the permitted **uses** and applicable regulations shall be as specified for a R4 zone except that the following **uses/regulations** shall apply:

Regulations

4.2.5.23.1	Minimum front yard	4.5 m
4.2.5.23.2	Minimum interior side yard - interior lot	1.2 m on one side and 0.61 m on the other side
4.2.5.23.3	Minimum setback to garage face	6.0 m

4.2.5.24	Exception: R4-24	Map # 03, 27, 44W	By-law:
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In a R4-24 zone the permitted **uses** and applicable regulations shall be as specified for a R4 zone except that the following **uses/regulations** shall apply:

Regulations

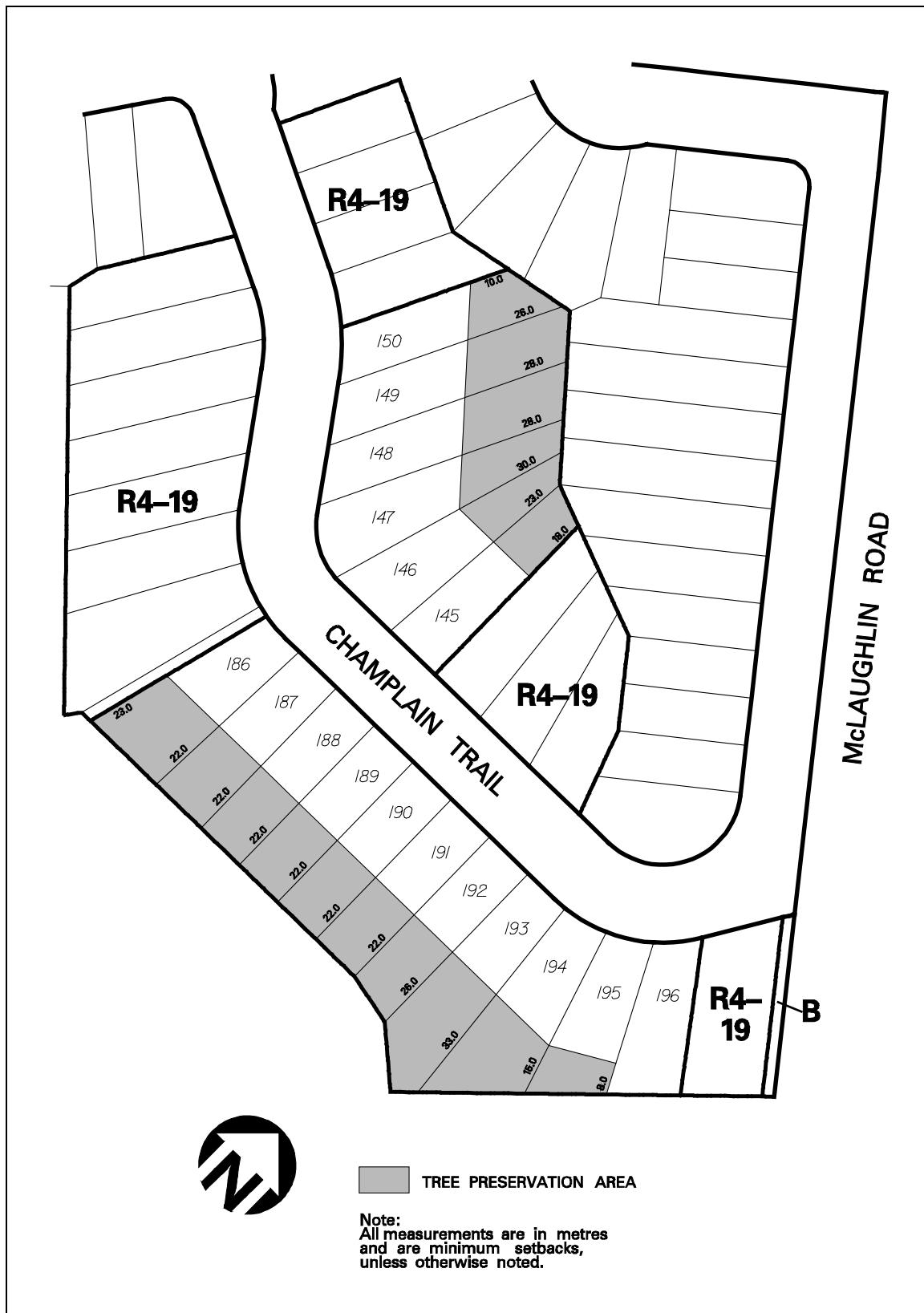
4.2.5.24.1	Minimum lot area - corner lot	470 m ²
4.2.5.24.2	Minimum lot frontage - corner lot	15.0 m
4.2.5.24.3	Minimum interior side yard - interior lot	1.2 m on one side and 0.61 m on the other side

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4.2.5.25	Exception: R4-25	Map # 37W	By-law:
In a R4-25 zone the permitted uses and applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			

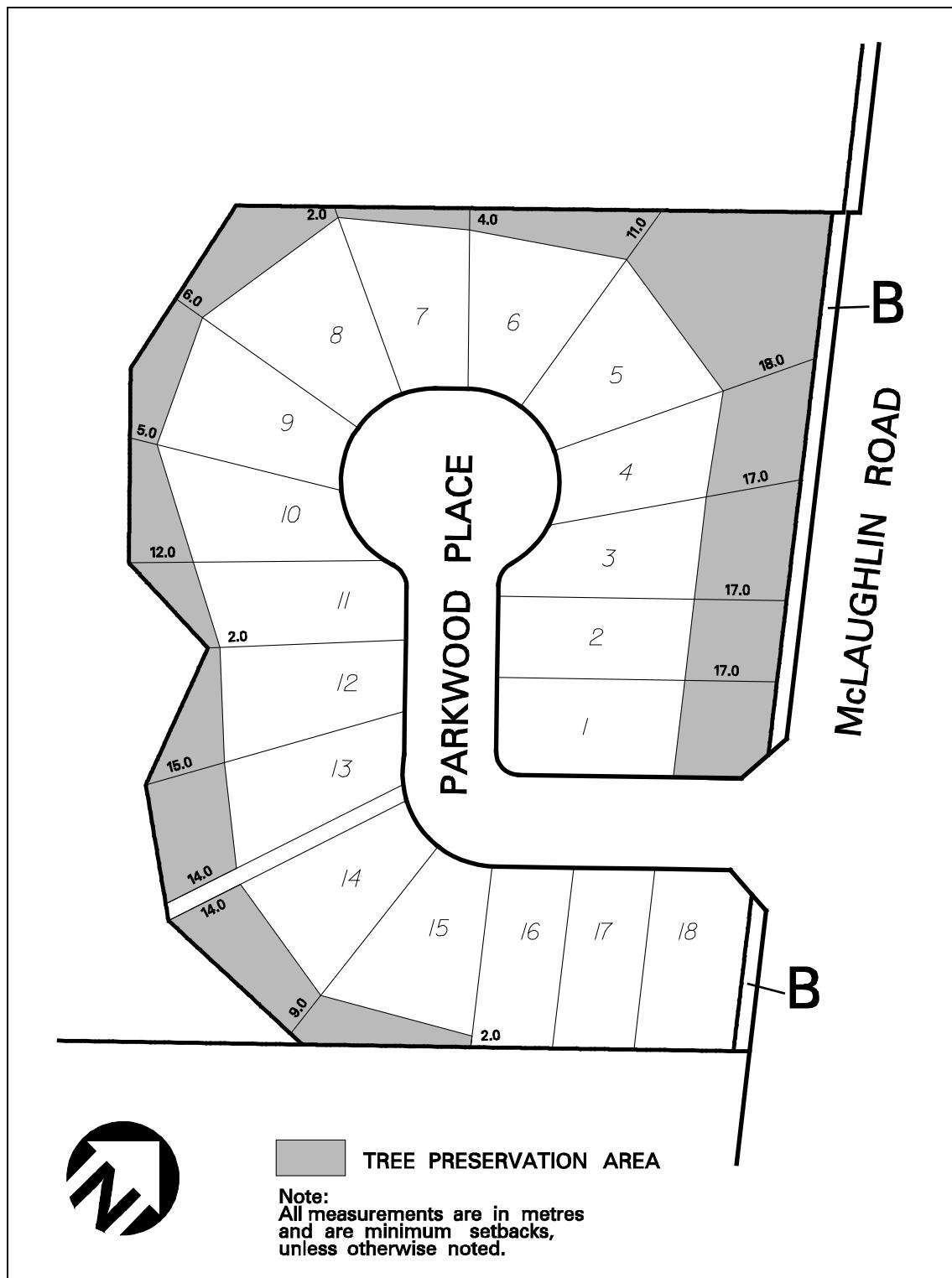
Regulations

- 4.2.5.25.1 The areas identified on Schedule R4-25 of this Exception as a tree preservation area, shall only be used for conservation purposes, and no **buildings or structures, swimming pools, tennis courts or any like recreational facilities**, except for fences along the **lot lines**, shall be permitted



Schedule R4-25
Map 37W

4.2.5.26	Exception: R4-26	Map # 37W	By-law:
In a R4-26 zone the permitted uses and applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.5.26.1	The areas identified on Schedule R4-26 of this Exception as a tree preservation area, shall only be used for conservation purposes, and no buildings or structures, swimming pools, tennis courts or any like recreational facilities , except for fences along the lot lines , shall be permitted		
4.2.5.26.2	Minimum setback of all buildings and structures to the tree preservation area identified on Schedule R4-26 of this Exception		7.0 m



Schedule R4-26
Map 37W

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4.2.5.27	Exception: R4-27	Map # 54W	By-law:
In a R4-27 zone the permitted uses and applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.5.27.1	Minimum rear yard - where rear lot line abuts a B zone	19.0 m	
4.2.5.27.2	Minimum setback of all buildings and structures and in-ground swimming pools to all lands zoned U-3	16.0 m	

4.2.5.28	Exception: R4-28	Map # 37W, 54W	By-law:
In a R4-28 zone the permitted uses and applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.5.28.1	Minimum lot frontage - corner lot	16.0 m	
4.2.5.28.2	Minimum setback of all buildings and structures and in-ground swimming pools to all lands zoned U-3	13.0 m	

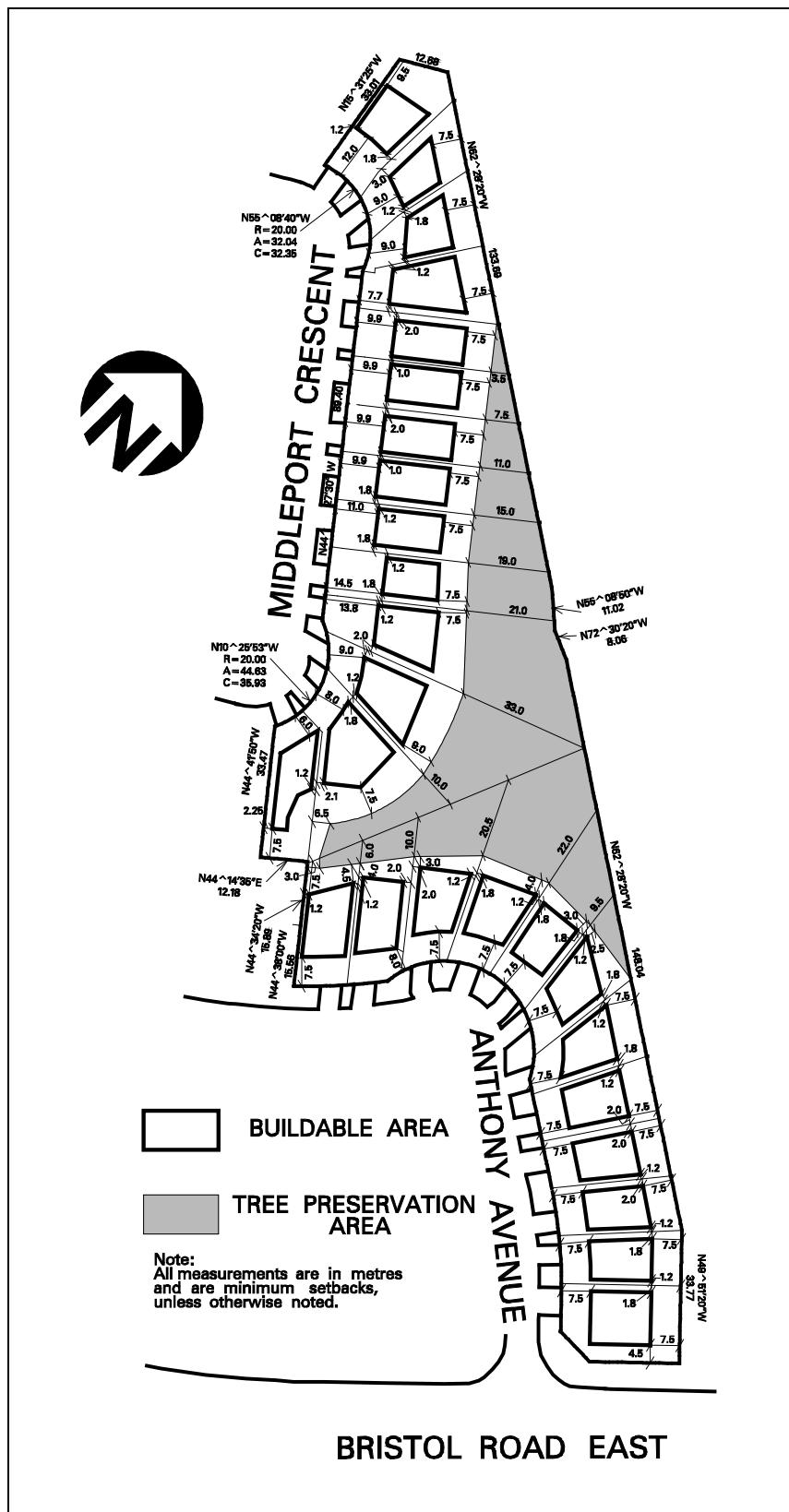
4.2.5.29	Exception: R4-29	Map # 10	By-law:
In a R4-29 zone the permitted uses and applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.5.29.1	Minimum setback of all buildings and structures and swimming pools to a side lot line abutting a G1 zone	4.5 m	
4.2.5.29.2	Minimum rear yard - where rear lot line abuts a B zone	16.5 m	

4.2.5.30	Exception: R4-30	Map # 56	By-law:
In a R4-30 zone the permitted uses and applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Regulation			
4.2.5.30.1	Minimum setback of all buildings and structures to a gas line transmission easement located within the abutting G1 and U-3 zones	15.0 m	

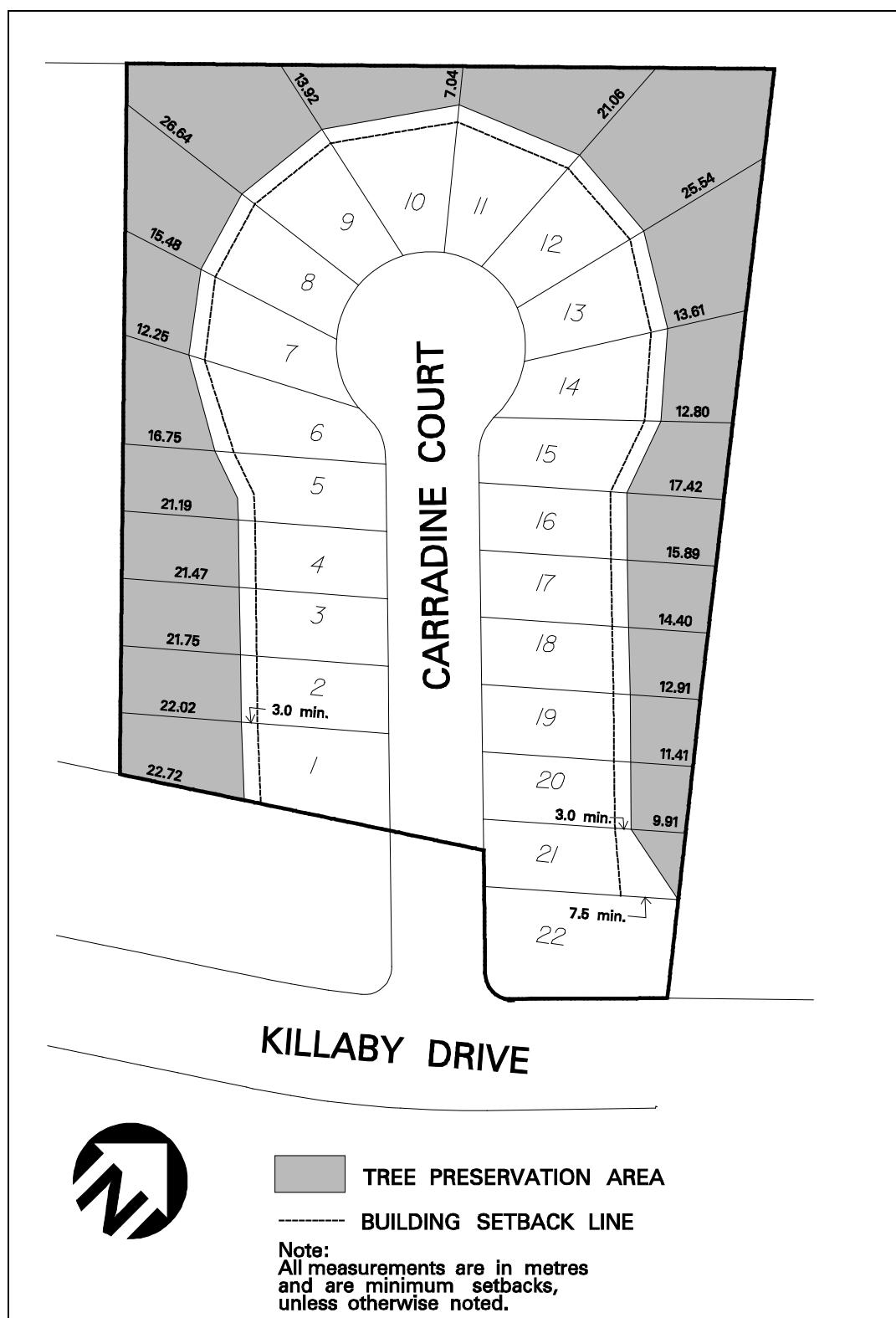
4.2.5.31	Exception: R4-31	Map # 36W	By-law:
In a R4-31 zone the permitted uses and applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.5.31.1	Minimum lot frontage - corner lot	16.0 m	
4.2.5.31.2	Minimum interior side yard - interior lot , for that part of the side yard that adjoins an attached garage	0.9 m	

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4.2.5.32	Exception: R4-32	Map # 36W	By-law:
In a R4-32 zone the permitted uses and applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.5.32.1	The areas identified on Schedule R4-32 of this Exception as a tree preservation area, shall only be used for conservation purposes, and no buildings or structures, swimming pools, tennis courts or any like recreational facilities , except for fences along the lot lines , shall be permitted		
4.2.5.32.2	All site development plans shall comply with Schedule R4-32 of this Exception		



4.2.5.33	Exception: R4-33	Map # 45E	By-law:
In a R4-33 zone the permitted uses and applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.5.33.1	Minimum lot frontage - corner lot		16.0 m
4.2.5.33.2	The areas identified on Schedule R4-33 of this Exception as a tree preservation area, shall only be used for conservation purposes, and no buildings or structures, swimming pools, tennis courts or any like recreational facilities, except for fences along the lot lines , shall be permitted		



Schedule R4-33

Map 45E

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4.2.5.34	Exception: R4-34	Map # 56	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
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In a R4-34 zone the permitted **uses** and applicable regulations shall be as specified for a R4 zone except that the following **uses/regulations** shall apply:

Regulations

4.2.5.34.1	Minimum lot area - interior lot	335 m ²
4.2.5.34.2	Minimum front yard - interior lot	5.0 m
4.2.5.34.3	Minimum encroachment of a porch into a required front yard	0.5 m
4.2.5.34.4	Minimum interior side yard - interior lot	1.2 m on one side and 0.61 m on the other side
4.2.5.34.5	Minimum setback to garage face	6.0 m

4.2.5.35	Exception: R4-35	Map # 53E, 53W	By-law: 0181-2018/LPAT Order 2019 February 15
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In a R4-35 zone the permitted **uses** and applicable regulations shall be as specified for a R4 zone except that the following **uses/regulations** shall apply:

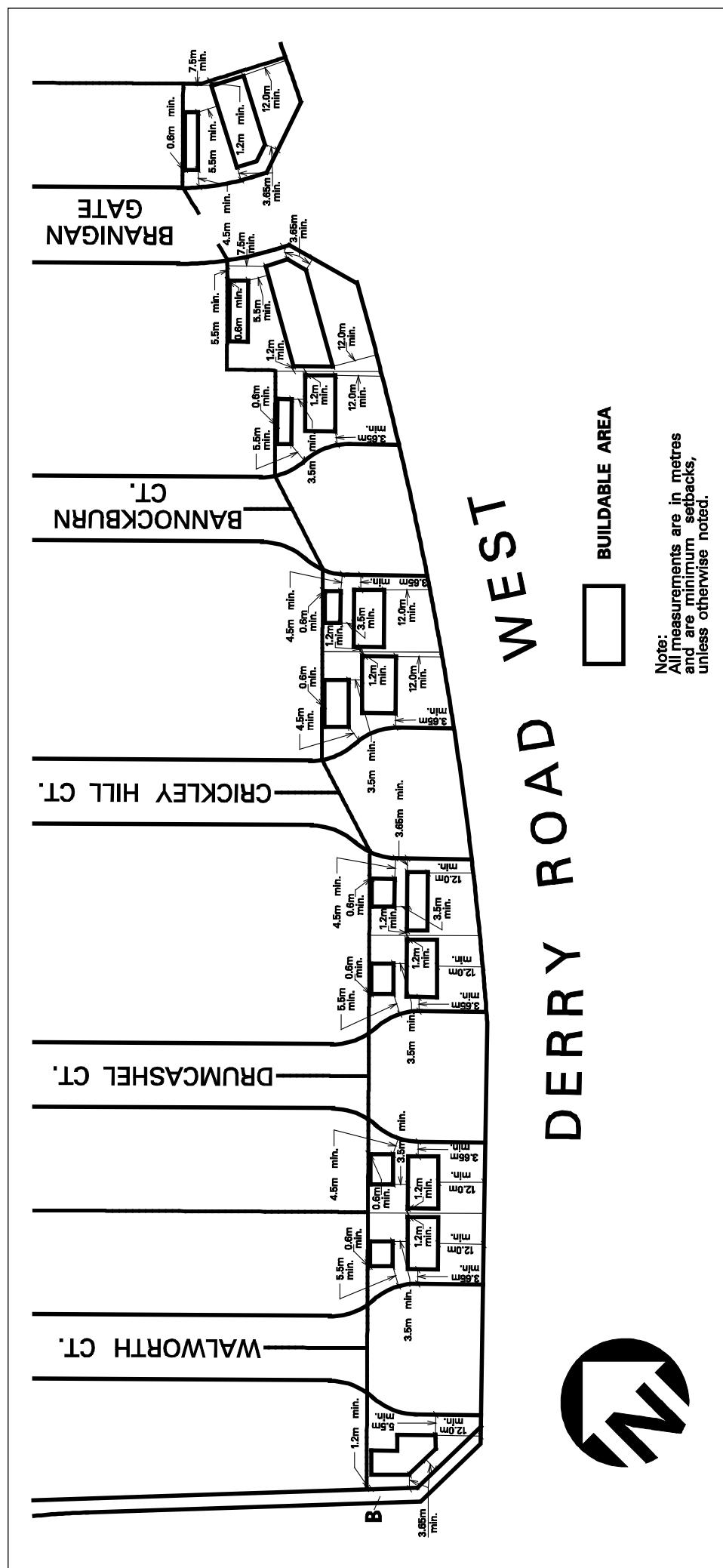
Regulations

4.2.5.35.1	Minimum lot area - interior lot	325 m ²
4.2.5.35.2	Minimum lot area - corner lot	415 m ²
4.2.5.35.3	Minimum lot frontage - corner lot	15.2 m
4.2.5.35.4	Maximum lot coverage	45%
4.2.5.35.5	Minimum front yard	3.6 m
4.2.5.35.6	Minimum exterior side yard	3.6 m
4.2.5.35.7	Minimum interior side yard - interior lot	1.2 m on one side and 0.61 m on the other side
4.2.5.35.8	Maximum encroachment of a porch into the required front and exterior side yards	1.8 m
4.2.5.35.9	The area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage	
4.2.5.35.10	Minimum setback to garage face	4.5 m

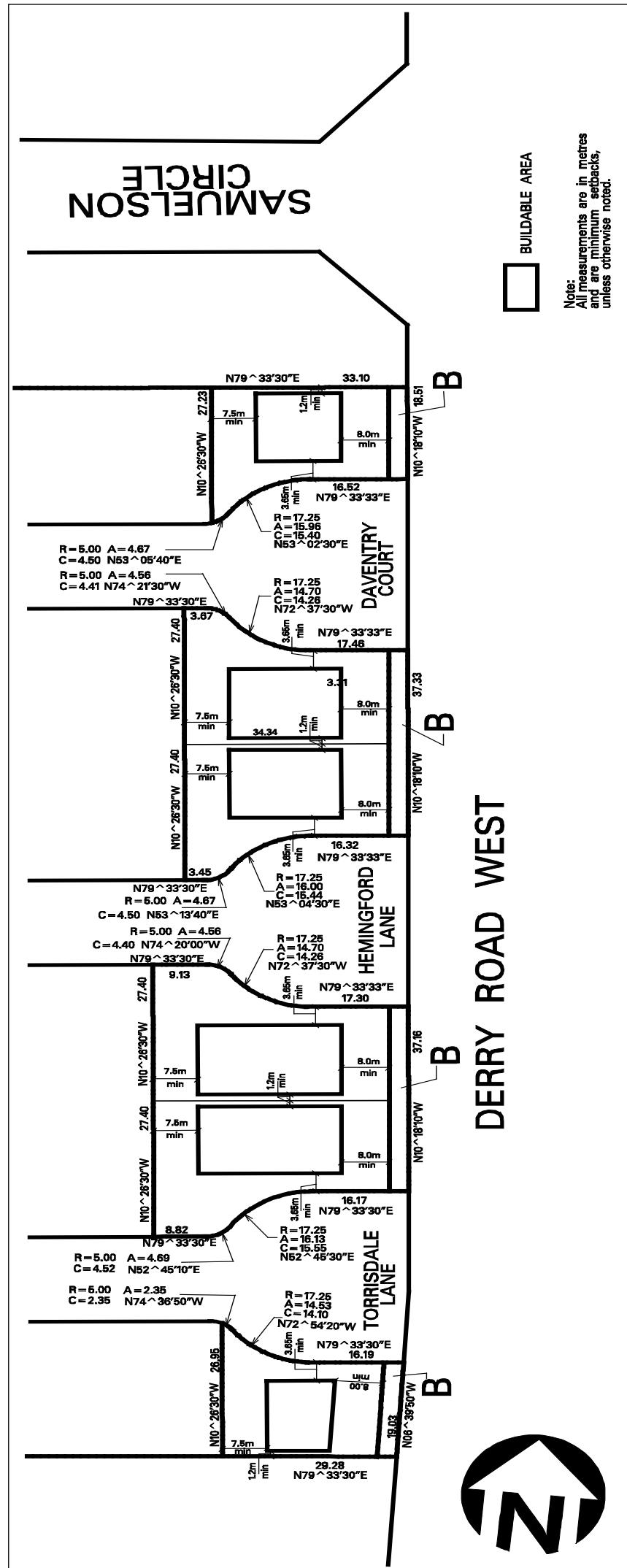
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4.2.5.36	Exception: R4-36	Map # 53E, 53W	By-law: 0181-2018/LPAT Order 2019 February 15
In a R4-36 zone the permitted uses and applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.5.36.1	Minimum lot area - interior lot		325 m ²
4.2.5.36.2	Minimum lot area - corner lot		415 m ²
4.2.5.36.3	Minimum lot frontage - corner lot		15.2 m
4.2.5.36.4	Maximum lot coverage		45%
4.2.5.36.5	Minimum front yard		3.6 m
4.2.5.36.6	Minimum exterior side yard		3.6 m
4.2.5.36.7	Minimum interior side yard - interior lot		1.2 m on one side and 0.61 m on the other side
4.2.5.36.8	Maximum encroachment of a porch into the required front and exterior side yards		1.8 m
4.2.5.36.9	The area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage		
4.2.5.36.10	Minimum setback to garage face		5.5 m

4.2.5.37	Exception: R4-37(1) and R4-37(2)	Map # 53E, 53W	By-law:
In a R4-37(1) and R4-37(2) zone the permitted uses and applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.5.37.1	Minimum lot area - interior lot		350 m ²
4.2.5.37.2	Minimum lot area - corner lot		420 m ²
4.2.5.37.3	Minimum lot frontage - corner lot		15.8 m
4.2.5.37.4	Maximum lot coverage		45%
4.2.5.37.5	Maximum encroachment of a porch into the required front and exterior side yards		1.8 m
4.2.5.37.6	The area of all porches in front and exterior side yards shall be excluded from the calculation of lot coverage		
4.2.5.37.7	All site development plans shall comply with Schedules R4-37(1) and R4-37(2) of this Exception		



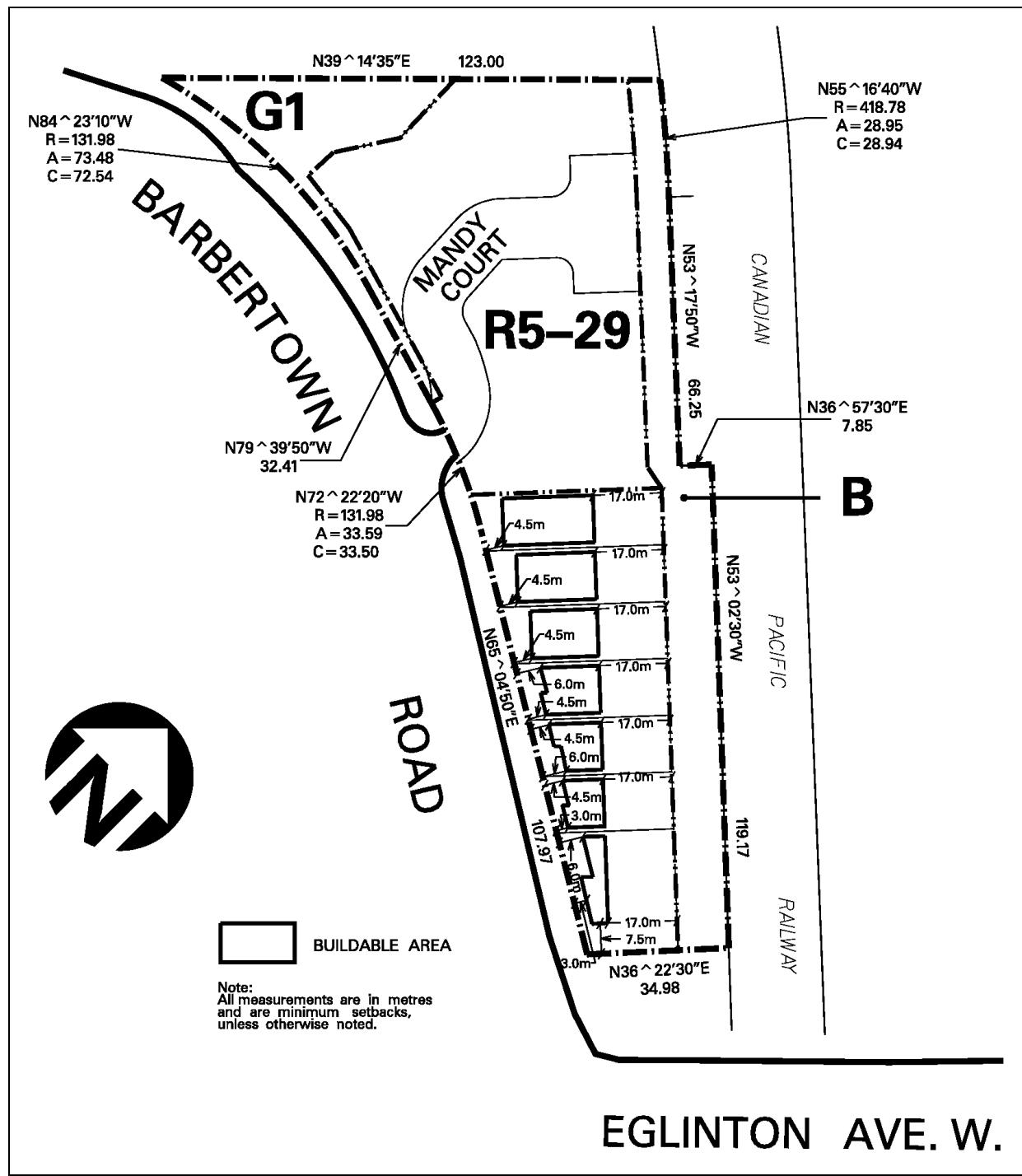
Schedule R4-37(1)
Map 53W



Schedule R4-37(2)

Map 53E

4.2.5.38	Exception: R4-38	Map # 38W	By-law:
In a R4-38 zone the permitted uses and applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.5.38.1	Minimum interior side yard	1.2 m	
4.2.5.38.2	All site development plans shall comply with Schedules R4-38 of this Exception		

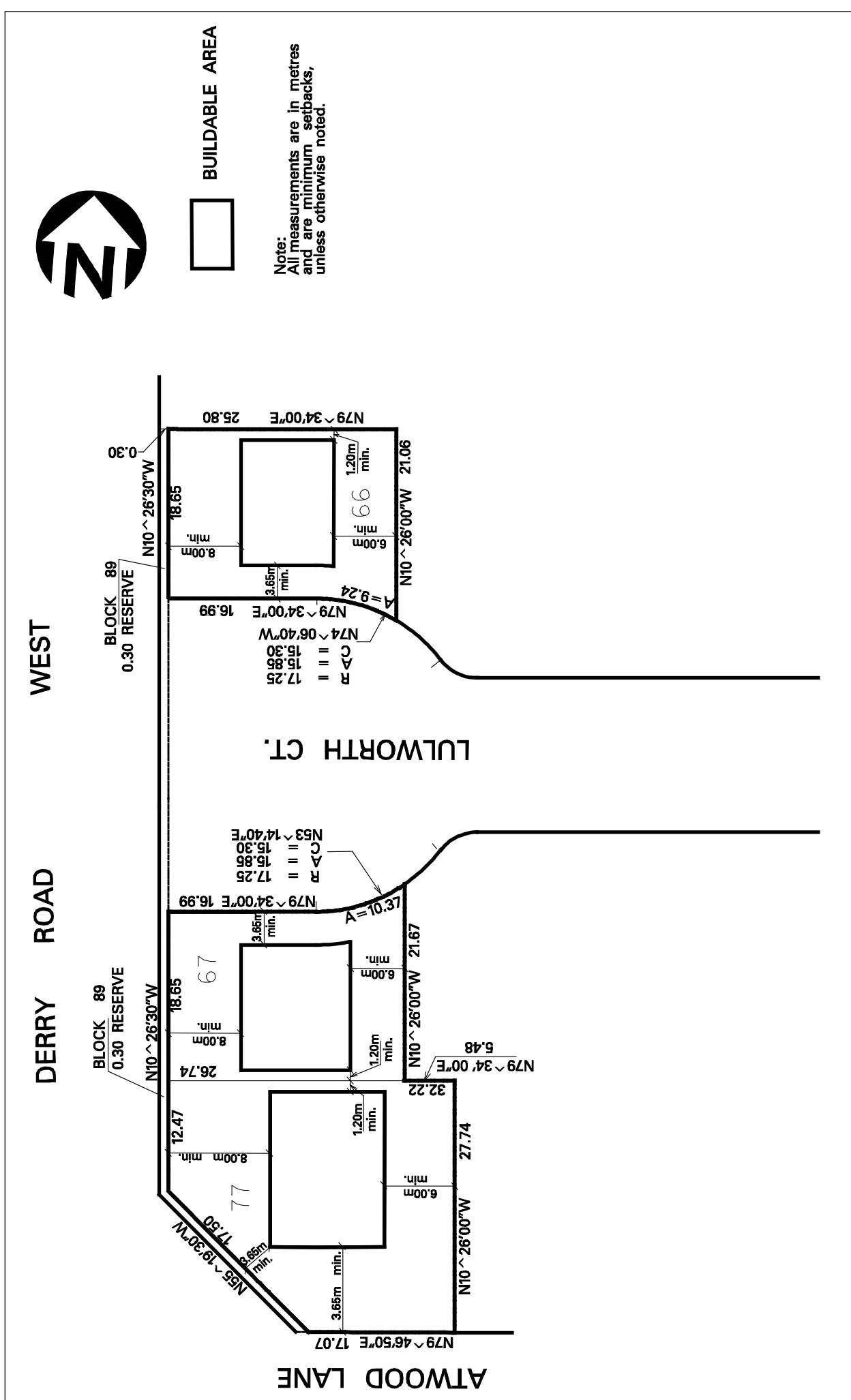


Schedule R4-38
Map 38W

Part 4 - Residential Zones

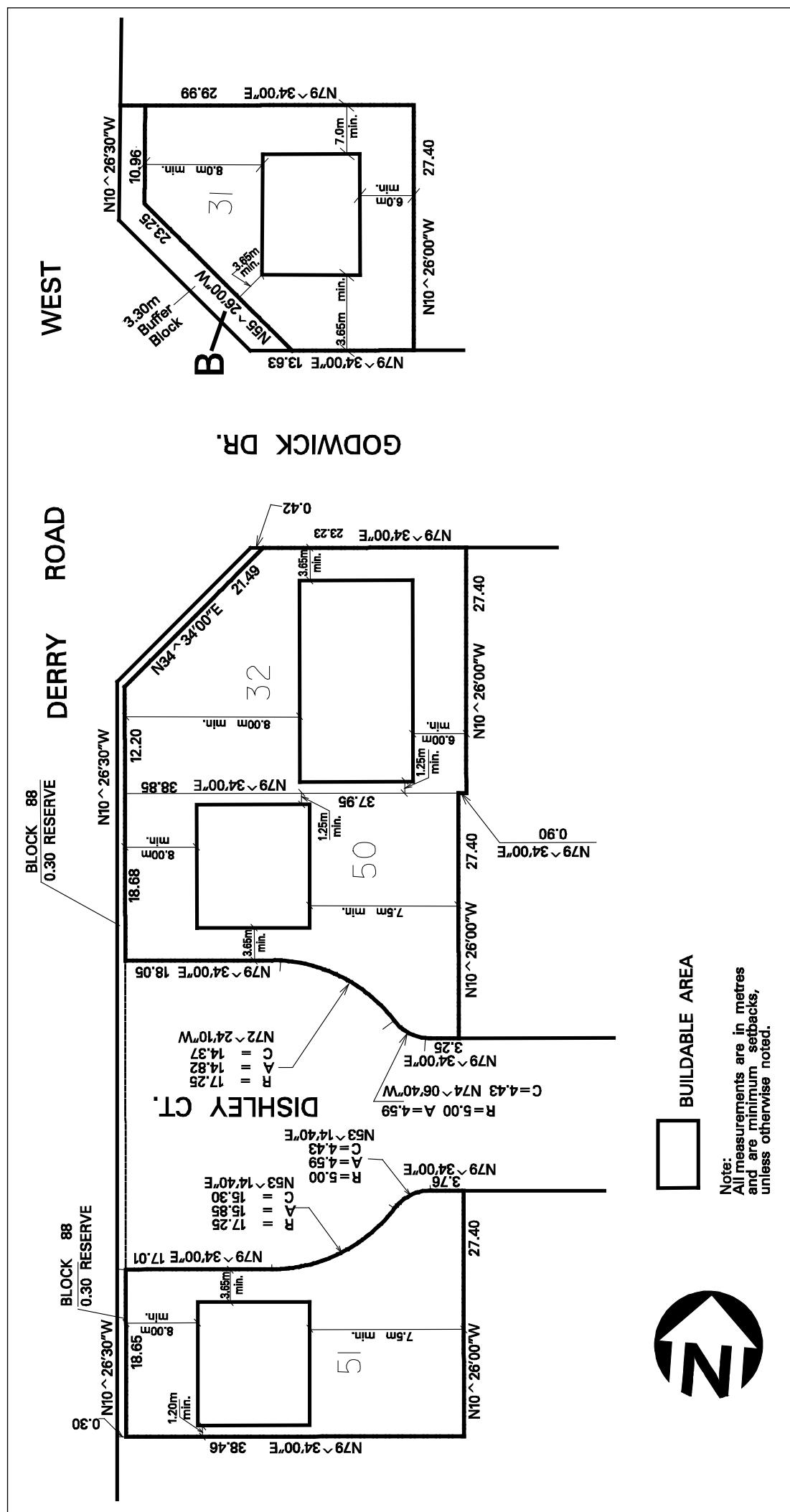
4.2.5.39	Exception: R4-39	Map # 18	By-law:
In a R4-39 zone the permitted uses and applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.5.39.1	Minimum front yard		4.5 m
4.2.5.39.2	Minimum setback of a detached dwelling to all lands zoned G1		8.5 m

4.2.5.40	Exception: R4-40(1) and R4-40(2)	Map # 53E	By-law: 0181-2018/LPAT Order 2019 February 15
In a R4-40(1) and R4-40(2) zone the permitted uses and applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.5.40.1	Minimum lot coverage		45%
4.2.5.40.2	Minimum setback to garage face		5.5 m
4.2.5.40.3	All site development plans shall comply with Schedule R4-40(1) and R4-40(2) of this Exception		



Schedule R4-40(1)

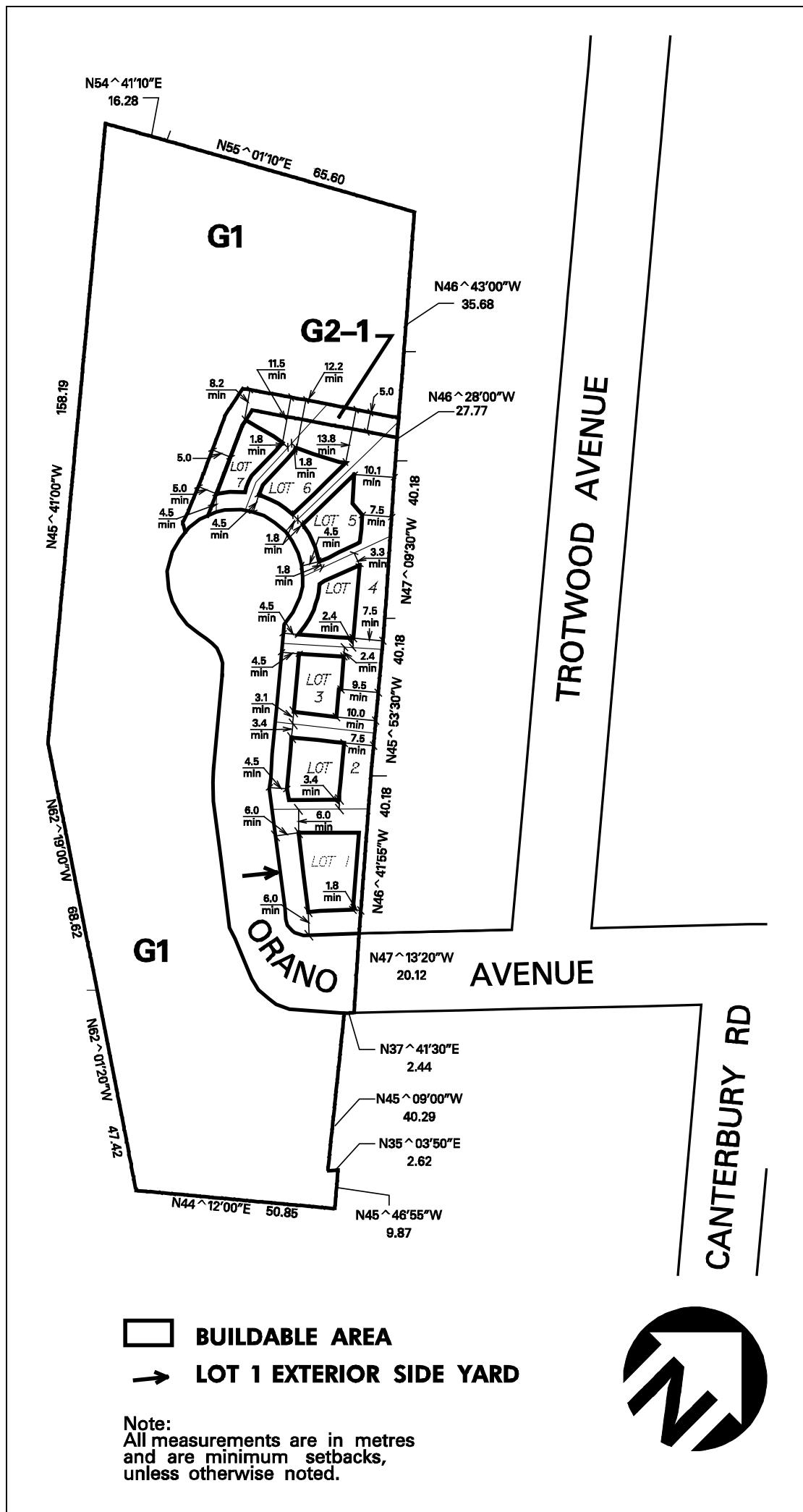
Map 53E



Schedule R4-40(2)
Map 53E

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4.2.5.41	Exception: R4-41	Map # 07	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15
In a R4-41 zone the permitted uses and applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.5.41.1	Minimum lot area for Lots 1 to 7 identified on Schedule R4-41 of this Exception:		
(1)	minimum lot area - Lot 1	678 m ²	
(2)	minimum lot area - Lots 2, 3, 4 and 5	530 m ²	
(3)	minimum lot area - Lots 6 and 7	550 m ²	
4.2.5.41.2	Minimum lot frontage for Lots 1 to 7 identified on Schedule R4-41 of this Exception:		
(1)	minimum lot frontage - Lot 1	19.5 m	
(2)	minimum lot frontage - Lots 2 and 4	21.0 m	
(3)	minimum lot frontage - Lot 3	20.0 m	
(4)	minimum lot frontage - Lots 5, 6 and 7	15.0 m	
4.2.5.41.3	Maximum gross floor area - residential	190 m ² plus 0.2 times the lot area	
4.2.5.41.4	Maximum height - highest ridge: sloped roof - lots with less than 22.5 m lot frontage	9.0 m	
4.2.5.41.5	Maximum height: sloped roof - lots equal to or greater than 22.5 m lot frontage	9.5 m	
4.2.5.41.6	Maximum height: flat roof	7.5 m	
4.2.5.41.7	Maximum height of eaves: from average grade to lower edge of the eaves	6.4 m	
4.2.5.41.8	Maximum projection of a garage face beyond any portion of the first floor front wall or exterior side wall of a detached dwelling	0.0 m	
4.2.5.41.9	Maximum garage width: measured from the inside face of the garage side walls	50% of the width of the front wall of the detached dwelling	
4.2.5.41.10	The width of the front wall of the detached dwelling in Sentence 4.2.5.41.9 shall be the total width of the parts of the front wall of the dwelling that face the street		
4.2.5.41.11	Vehicular access for Lot 1, shall only be permitted through the exterior side yard identified on Schedule R4-41 of this Exception		
4.2.5.41.12	All site development plans shall comply with Schedule R4-41 of this Exception		



Schedule R4-41
Map 07

Part 4 - Residential Zones

4.2.5.42	Exception: R4-42	Map # 30	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
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In a R4-42 zone the permitted **uses** and applicable regulations shall be as specified for a R4 zone except that the following **uses/regulations** shall apply:

Regulations

4.2.5.42.1	Minimum lot frontage - corner lot	16.0 m
4.2.5.42.2	Minimum front yard	4.5 m
4.2.5.42.3	Minimum setback of all buildings and structures to all lands zoned PB1	10.0 m
4.2.5.42.4	Minimum setback of all buildings and structures to a sight triangle	0.0 m
4.2.5.42.5	Maximum height	11.0 m
4.2.5.42.6	Maximum encroachment of a porch or balcony into the required front or exterior side yard	2.0 m
4.2.5.42.7	A detached garage shall not be permitted	
4.2.5.42.8	Minimum setback to garage face	6.0 m

4.2.5.43	Exception: R4-43	Map # 55	By-law: 0181-2018/LPAT Order 2019 February 15
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In a R4-43 zone the permitted **uses** and applicable regulations shall be as specified for a R4 zone except that the following **uses/regulations** shall apply:

Regulations

4.2.5.43.1	Minimum lot area - corner lot	470 m ²
4.2.5.43.2	Minimum lot frontage - corner lot	15.2 m
4.2.5.43.3	Minimum exterior side yard	4.0 m
4.2.5.43.4	Maximum lot coverage	48%
4.2.5.43.5	Minimum setback to garage face	4.0 m
4.2.5.43.6	Maximum garage width : measured from the inside face of the garage side walls	6.0 m
4.2.5.43.7	Maximum driveway width	6.0 m

4.2.5.44	Exception: R4-44	Map # 55	By-law: 0181-2018/LPAT Order 2019 February 15
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In a R4-44 zone the permitted **uses** and applicable regulations shall be as specified for a R4 zone except that the following **uses/regulations** shall apply:

Regulations

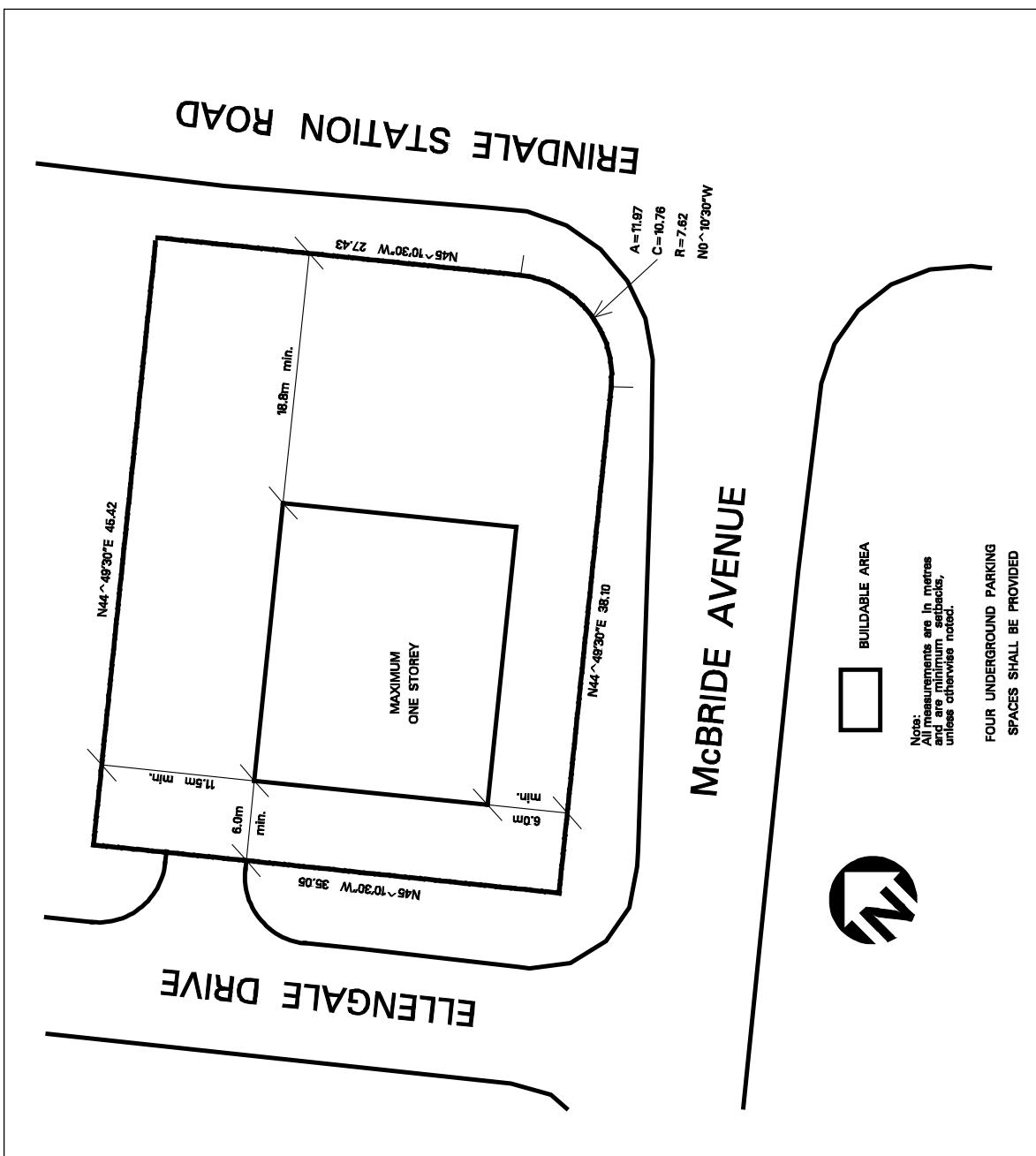
4.2.5.44.1	Minimum lot area - corner lot	470 m ²
4.2.5.44.2	Minimum lot frontage - corner lot	15.2 m
4.2.5.44.3	Minimum exterior side yard	4.0 m
4.2.5.44.4	Maximum lot coverage	48%
4.2.5.44.5	Minimum setback to garage face	5.0 m
4.2.5.44.6	Maximum garage width : measured from the inside face of the garage side walls	6.0 m
4.2.5.44.7	Maximum driveway width	6.0 m

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4.2.5.45	Exception: R4-45	Map # 13	By-law:
In a R4-45 zone the applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.5.45.1 Lands zoned R4-45 shall only be used for the following:			
<ul style="list-style-type: none"> (1) Detached Dwelling or (2) Medical Office - Restricted 			
Regulations			
4.2.5.45.2 A medical office - restricted shall comply with the R4 zone regulations contained in Subsection 4.2.1 of this By-law except that:			
<ul style="list-style-type: none"> (1) maximum number of physicians, dentists, drugless practitioners or health professionals permitted to practise 			
4			

4.2.5.46	Exception: R4-46	Map # 20	By-law:
In a R4-46 zone the applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.5.46.1 Lands zoned R4-46 shall only be used for the following:			
<ul style="list-style-type: none"> (1) Detached Dwelling or (2) Medical office - restricted in a detached dwelling 			
Regulations			
4.2.5.46.2 A medical office - restricted shall comply with the R4 zone regulations contained in Subsection 4.2.1 of this By-law except that:			
<ul style="list-style-type: none"> (1) maximum number of physicians, dentists, drugless practitioners or health professionals permitted to practise 			
4			

4.2.5.47	Exception: R4-47	Map # 23	By-law:
In a R4-47 zone the applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.5.47.1 Lands zoned R4-47 shall only be used for the following:			
<ul style="list-style-type: none"> (1) Detached Dwelling or (2) Medical Office - Restricted 			
Regulations			
4.2.5.47.2 A medical office - restricted shall comply with the R4 zone regulations contained in Subsection 4.2.1 of this By-law except that:			
<ul style="list-style-type: none"> (1) maximum number of physicians, dentists, drugless practitioners or health professionals permitted to practise (2) all site development plans shall comply with Schedule R4-47 of this Exception 			
4			



Schedule R4-47
Map 23

Part 4 - Residential Zones

4.2.5.48	Exception: R4-48	Map # 27	By-law:
In a R4-48 zone the permitted uses and applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.5.48.1	Minimum lot area - interior lot	370 m ²	
4.2.5.48.2	Minimum lot area - corner lot	440 m ²	
4.2.5.48.3	Minimum lot frontage - corner lot	14.5 m	
4.2.5.48.4	Minimum interior side yard - interior lot	1.2 m on one side and 0.61 m on the other side	

4.2.5.49	Exception: R4-49	Map # 55	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
In a R4-49 zone the permitted uses and applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			

Additional Permitted Use			
4.2.5.49.1 (1) Linked Dwelling			
Regulations			
4.2.5.49.2	A linked dwelling shall comply with the R4 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
(1)	minimum lot frontage - corner lot	15.0 m	
(2)	minimum front yard	4.5 m	
(3)	minimum interior side yard - interior lot	1.2 m	
(4)	minimum interior side yard - interior lot , for that part of a lot that adjoins a one storey garage or a wall of a main building containing no windows or doors into a habitable room	0.61 m	
(5)	minimum setback to garage face	6.0 m	

4.2.5.50	Exception: R4-50	Map # 38W	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
In a R4-50 zone the permitted uses and applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			

Regulations			
4.2.5.50.1	Minimum lot area - interior lot	320 m ²	
4.2.5.50.2	Minimum lot area - corner lot	400 m ²	
4.2.5.50.3	Minimum lot frontage - interior lot	12.8 m	
4.2.5.50.4	Minimum lot frontage - corner lot	15.8 m	
4.2.5.50.5	Minimum front yard	4.5 m	
4.2.5.50.6	Minimum interior side yard - interior lot	1.2 m on one side and 0.61 m on the other side	
4.2.5.50.7	Minimum interior side yard - corner lot	0.61 m	
4.2.5.50.8	Minimum rear yard	6.0 m	
4.2.5.50.9	Minimum setback to garage face	6.0 m	

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4.2.5.51	Exception: R4-51	Map # 19	By-law: 0379-2009
In a R4-51 zone the applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.5.51.1 Lands zoned R4-51 shall only be used for the following:			
(1) Mobile home or land lease community home or any combination thereof, with accessory administrative facilities			
Regulations			
4.2.5.51.2	Maximum number of mobile homes and/or land lease community homes on all lands zoned R4-51		239
4.2.5.51.3	Access shall be permitted from lands zoned C3-23 and RA2-18		
4.2.5.51.4	"Mobile Home" means a detached dwelling that is designed to be made mobile, and constructed or manufactured to provide a permanent residence for one or more persons, but does not include a travel trailer or tent trailer or trailer otherwise designed		
4.2.5.51.5	"Land Lease Community Home" means a detached dwelling that is a permanent structure where the owner of the dwelling leases the land used or intended for use as the site for the dwelling, but does not include a mobile home		
4.2.5.51.6	"Administrative Facilities" means any building or structure that is accessory to the operation of mobile homes and land lease community homes		
4.2.5.51.7	Minimum number of parking spaces per mobile home or land lease community home		1.0

4.2.5.52	Exception: R4-52	Map # 32, 58, 59	By-law:
In a R4-52 zone the permitted uses and applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Regulation			
4.2.5.52.1	Minimum interior side yard - interior lot		1.2 m on one side and 0.61 m on the other side

4.2.5.53	Exception: R4-53	Map # 27	By-law:
In a R4-53 zone the permitted uses and applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.5.53.1	Minimum exterior side yard		4.0 m
4.2.5.53.2	Minimum interior side yard - interior lot		1.2 m on one side and 0.61 m on the other side
4.2.5.53.3	Minimum interior side yard - corner lot		0.9 m

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4.2.5.54	Exception: R4-54	Map # 39E	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
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In a R4-54 zone the permitted **uses** and applicable regulations shall be as specified for a R4 zone except that the following **uses/regulations** shall apply:

Regulations

4.2.5.54.1	Minimum lot area - interior lot	350 m ²
4.2.5.54.2	Minimum lot area - corner lot	435 m ²
4.2.5.54.3	Minimum lot frontage - interior lot	13.6 m
4.2.5.54.4	Maximum lot coverage	45%
4.2.5.54.5	Minimum front yard	4.5 m
4.2.5.54.6	Minimum interior side yard - interior lot	1.2 m on one side and 0.61 m on the other side
4.2.5.54.7	Maximum driveway width	6.0 m
4.2.5.54.8	Each detached dwelling shall have an attached garage	
4.2.5.54.9	Minimum setback to garage face	6.0 m

4.2.5.55	Exception: R4-55	Map # 31	By-law: 0325-2008
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In a R4-55 zone the permitted **uses** and applicable regulations shall be as specified for a R4 zone except that the following **uses/regulations** shall apply:

Regulations

4.2.5.55.1	Minimum lot frontage - interior lot	14.0 m
4.2.5.55.2	Minimum lot frontage - corner lot	18.5 m
4.2.5.55.3	Maximum lot coverage	35%
4.2.5.55.4	Minimum interior side yard of all buildings and structures and swimming pools where lands abut a G1 zone	3.0 m
4.2.5.55.5	Minimum setback of a swimming pool to the rear lot line where lands abut a G1 zone	3.0 m

4.2.5.56	Exception: R4-56	Map # 32	By-law:
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In a R4-56 zone the permitted **uses** and applicable regulations shall be as specified for a R4 zone except that the following **uses/regulations** shall apply:

Regulation

4.2.5.56.1	Minimum front yard	1.5 m
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4.2.5.57	Exception: R4-57	Map # 19	By-law:
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In a R4-57 zone the permitted **uses** and applicable regulations shall be as specified for a R4 zone except that the following **uses/regulations** shall apply:

Regulations

4.2.5.57.1	Minimum lot area - interior lot	362 m ²
4.2.5.57.2	Minimum lot frontage - interior lot	14.9 m

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4.2.5.58	Exception: R4-58	Map # 20	By-law: 0325-2008
In a R4-58 zone the permitted uses and applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Regulation			
4.2.5.58.1	Minimum lot area - interior lot		350 m ²

4.2.5.59	Exception: R4-59	Map # 20	By-law: 0325-2008
In a R4-59 zone the permitted uses and applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.5.59.1	Minimum lot area - interior lot		317 m ²
4.2.5.59.2	Minimum interior side yard - interior lot		0.61 m

4.2.5.60	Exception: R4-60	Map # 19	By-law: OMB Order 2008 March 27, 0196-2010, 0144-2016
In a R4-60 zone the permitted uses and applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.5.60.1 The regulations of Lines 6.3, 6.4 and 7.1 contained in Table 4.2.1 of this By-law shall not apply			
4.2.5.60.2	Minimum lot area - interior lot		325 m ²
4.2.5.60.3	Minimum lot area - corner lot		325 m ²
4.2.5.60.4	Minimum lot frontage - corner lot		12.0 m
4.2.5.60.5	Minimum front yard		3.75 m
4.2.5.60.6	Minimum exterior side yard		1.2 m
4.2.5.60.7	Maximum height		11.0 m
4.2.5.60.8	Maximum projection of a porch, deck or a balcony , exceeding 0.61 m in height above grade at any point, from the rear wall of a dwelling		1.83 m
4.2.5.60.9	Maximum area of a porch, deck or a balcony , excluding stairs, identified in Sentence 4.2.5.60.8 of this Exception		6.2 m ²
4.2.5.60.10	Article 4.1.5.2 and/or Article 4.1.5.7 of this By-law shall apply to a porch or deck 0.61 m or less in height above grade at any point		
4.2.5.60.11	Article 4.1.5.10 of this By-law shall not apply to a balcony in the rear yard		

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4.2.5.61	Exception: R4-61	Map # 30	By-law: 0184-2008, 0379-2009, 0181-2018/LPAT Order 2019 February 15
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In a R4-61 zone the permitted **uses** and applicable regulations shall be as specified for a R4 zone except that the following **uses/regulations** shall apply:

Regulations

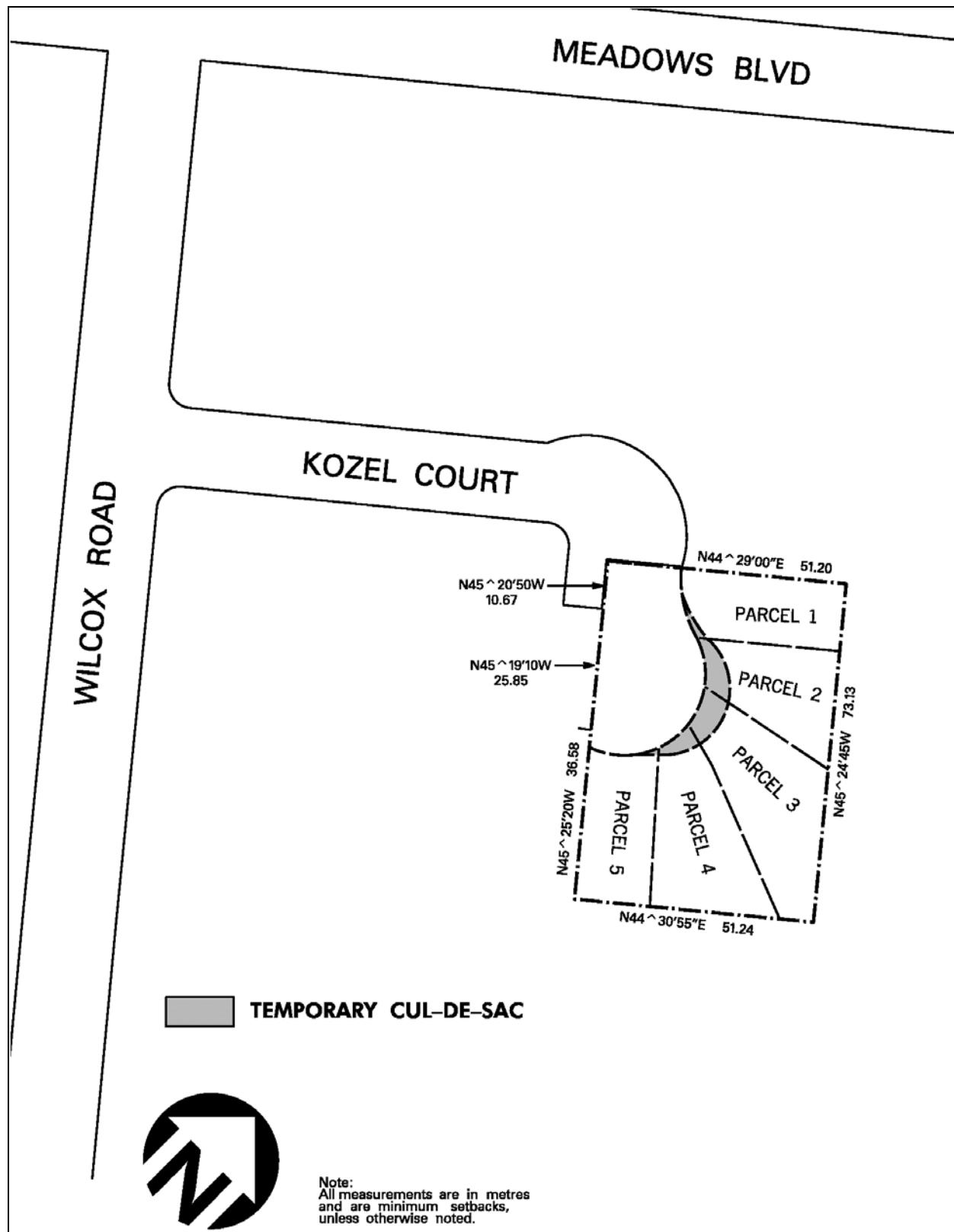
4.2.5.61.1	Minimum lot area - corner lot	460 m ²
4.2.5.61.2	Minimum lot frontage - interior lot	12.2 m
4.2.5.61.3	Minimum lot frontage - corner lot	15.2 m
4.2.5.61.4	Maximum lot coverage	45%
4.2.5.61.5	Minimum front yard - interior lot	4.5 m
4.2.5.61.6	Minimum front yard - corner lot	4.5 m
4.2.5.61.7	Minimum exterior side yard	4.2 m
4.2.5.61.8	Minimum interior side yard - interior lot	1.2 m on one side and 0.61 m on the other side
4.2.5.61.9	Minimum interior side yard - corner lot	0.61 m
4.2.5.61.10	Minimum setback to a sight triangle	0.0 m
4.2.5.61.11	Maximum height	11.0 m
4.2.5.61.12	Maximum encroachment of a porch or a balcony into the required front yard or exterior side yard	2.0 m
4.2.5.61.13	Maximum area of a balcony on top of an attached garage	12 m ²
4.2.5.61.14	A detached garage shall not be permitted	
4.2.5.61.15	Minimum setback to garage face	6.0 m

4.2.5.62	Exception: R4-62	Map # 28	By-law: 0218-2009
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In a R4-62 zone the permitted **uses** and applicable regulations shall be as specified for a R4 zone except that the following **uses/regulations** shall apply:

Regulation

4.2.5.62.1	Each lot, comprised of a parcel and a portion of the temporary cul-de-sac as identified on Schedule R4-62 of this Exception, shall be considered a lot for the purposes of this By-law
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Schedule R4-62
Map 28

Part 4 - Residential Zones

4.2.5.63	Exception: R4-63	Map #	By-law:

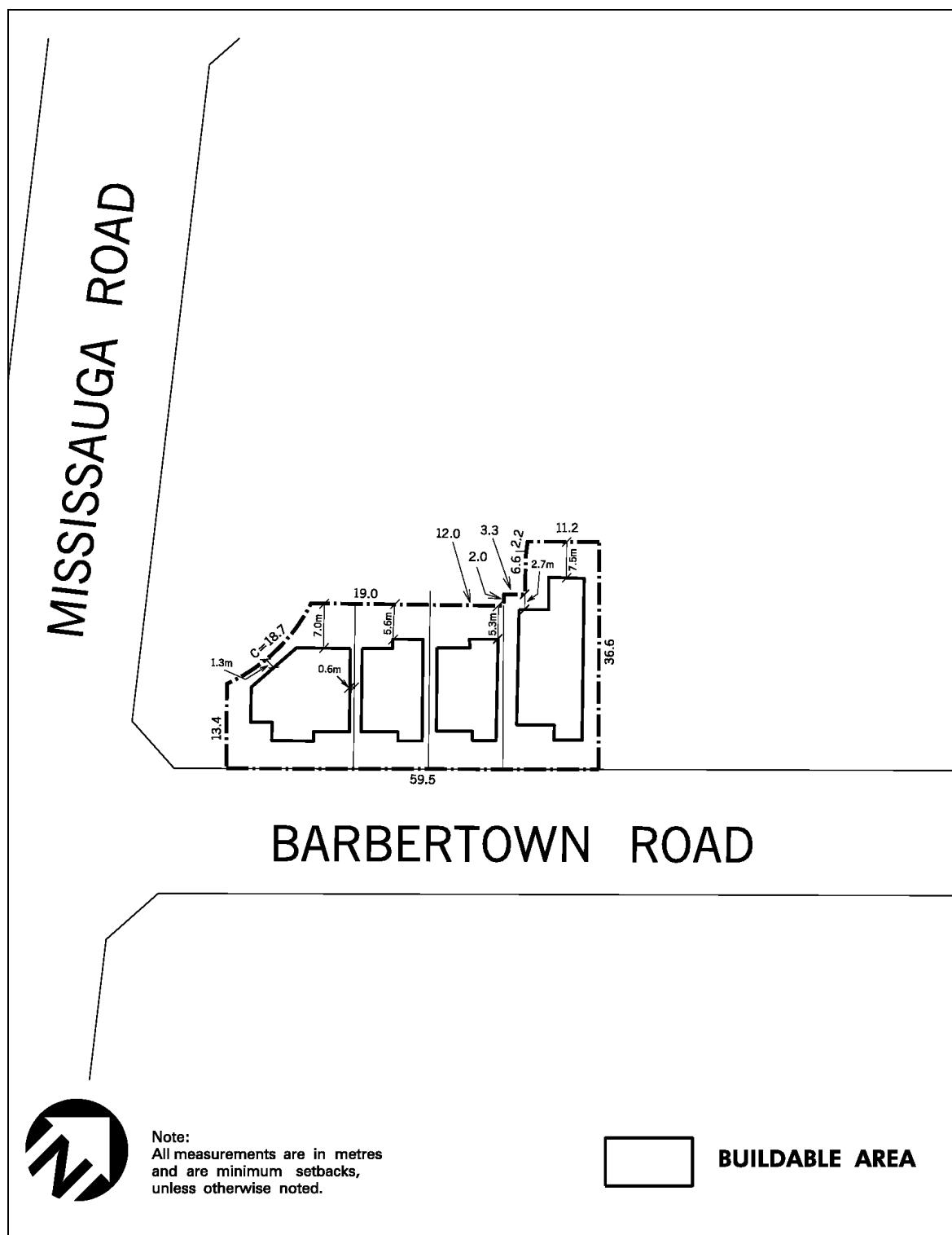
4.2.5.64	Exception: R4-64	Map # 48E, 48W	By-law: 0225-2016
In a R4-64 zone the permitted uses and applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.5.64.1	Maximum lot coverage		35%
4.2.5.64.2	Minimum interior side yard		1.2 m + 0.61 m for each additional storey or portion thereof above one storey
4.2.5.64.3	Maximum height - highest ridge: sloped roof		9.0 m
4.2.5.64.4	Maximum height: flat roof		7.5 m
4.2.5.64.5	Maximum height of eaves: from average grade to lower edge of the eaves		6.4 m
4.2.5.64.6	Maximum gross floor area - infill residential		150 m ² plus 0.2 times the lot area
4.2.5.64.7	Garage projection: maximum projection of the garage beyond the front wall or exterior side wall of the first storey		2.0 m
4.2.5.64.8	Maximum dwelling unit depth		20.0 m

4.2.5.65	Exception: R4-65	Map # 38W	By-law: LPAT Order 2019 February 08, 0128-2020
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In a R4-65 zone the permitted **uses** and applicable regulations shall be as specified for a R4 zone except that the following **uses/regulations** shall apply:

Regulations

4.2.5.65.1	The regulation of Line 12.4 contained in Table 4.2.1 of this By-law shall not apply	
4.2.5.65.2	Minimum lot area - interior lot	315 m ²
4.2.5.65.3	Maximum lot coverage	47%
4.2.5.65.4	Minimum front yard	4.5 m
4.2.5.65.5	All site development plans shall comply with Schedule R4-65 of this Exception	



Schedule R4-65
Map 38W

Part 4 - Residential Zones

4.2.5.66	Exception: R4-66	Map # 13	By-law: 0198-2019
In a R4-66 zone the permitted uses and applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.5.66.1	Maximum number of dwelling units on all lands zoned R4-66	8	
4.2.5.66.2	Minimum lot area - interior lot	295 m ²	
4.2.5.66.3	Minimum lot area - corner lot	345 m ²	
4.2.5.66.4	The lot line abutting Primate Road shall be deemed to be the front lot line		
4.2.5.66.5	Minimum front yard	6.5 m	
4.2.5.66.6	Minimum setback to the garage face	8.0 m	
4.2.5.66.7	Minimum exterior side yard	3.0 m	
4.2.5.66.8	Maximum height - highest ridge: sloped roof	11.2 m	
4.2.5.66.9	Maximum dwelling unit depth	12.0 m	
4.2.5.66.10	Maximum encroachment of a porch , inclusive of stairs into the required front yard	1.5 m	

4.2.5.67	Exception: R4-67	Map # 15	By-law: 0132-2019
In a R4-67 zone the permitted uses and applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Regulations			
4.2.5.67.1	Minimum lot frontage - interior lot	11.0 m	
4.2.5.67.2	Maximum lot coverage	43%	