

4.14RM9 AND RM10 ZONES
(BACK TO BACK AND STACKED TOWNHOUSES)

4.14.1RM9 and RM10 Permitted Uses and Zone Regulations

All **buildings** and **structures** shall comply with the provisions contained in Parts 1 to 3 and Section 4.1 of this By-law, and the **uses** and zone regulations specified within the applicable zone column contained in Table 4.14.1 - RM9 and RM10 Permitted Uses and Zone Regulations. *(0181-2018/LPAT Order 2019 February 15/2019 September 11)*

Table 4.14.1 - RM9 and RM10 Permitted Uses and Zone Regulations
(0181-2018/LPAT Order 2019 February 15/2019 September 11), (0018-2021)

Column A		B	C
Line 1.0	ZONES	RM9	RM10
PERMITTED USES			
2.0	RESIDENTIAL		
2.1	Stacked Townhouse	✓	
2.2	Back to back townhouse on a condominium road		✓
ZONE REGULATIONS			
3.0	MINIMUM LOT FRONTAGE	38.0 m	38.0 m
4.0	MINIMUM DWELLING UNIT WIDTH	4.5 m	4.5 m
5.0	MAXIMUM DWELLING HEIGHT		
5.1	MAXIMUM HEIGHT - HIGHEST RIDGE: sloped roof	17.0 m and 4 storeys	15.0 m and 3 storeys
5.2	MAXIMUM HEIGHT: flat roof	13.0 m and 4 storeys	11.0 m and 3 storeys
5.2.1	Calculation of maximum height shall be exclusive of structures for rooftop access, provided that the structure complies with the following:		
5.2.1.1	maximum height	3.0 m	3.0 m
5.2.1.2	maximum floor area	20.0 m ²	20.0 m ²
5.2.1.3	minimum setback from the exterior edge of the building	3.0 m	3.0 m
6.0	MINIMUM FRONT YARD	7.5 m ⁽²⁾	7.5 m ⁽²⁾
7.0	MINIMUM EXTERIOR SIDE YARD	7.5 m ⁽²⁾	7.5 m ⁽²⁾
8.0	MINIMUM INTERIOR SIDE YARD	4.5 m ⁽²⁾	4.5 m ⁽²⁾
8.1	Where any portion of the interior side lot line abuts a zone permitting detached dwellings and/or semi-detached	9.0 m ⁽²⁾	7.5 m ⁽²⁾
8.2	Where the interior side lot line abuts a RM4, RM5, RM6, RM7 (only for duplex or triplex), RM8, RM9, RM10, RM11, or RM12 zone and the rear wall of the building abuts the interior side lot line	7.5 m ⁽²⁾	n/a
8.3	Where the front wall of a building abuts the interior side lot line	9.0 m ⁽²⁾	9.0 m ⁽²⁾
9.0	MINIMUM REAR YARD	7.5 m ⁽²⁾	7.5 m ⁽²⁾
9.1	Where any portion of the rear lot line abuts a zone permitting detached dwellings and/or semi-detached	9.0 m ⁽²⁾	7.5 m ⁽²⁾
9.2	Where the front wall of the building abuts the rear lot line	9.0 m ⁽²⁾	9.0 m ⁽²⁾

Table 4.14.1 continued on next page

Column A		B	C
Line 1.0	ZONES	RM9	RM10
Table 4.14.1 continued from previous page			
10.0	PROJECTIONS		
10.1	Maximum projection of a balcony , awning or deck , exclusive of stairs, from the outermost face or faces of the building	2.0 m	2.0 m
10.2	Maximum projection of any part of a building , including architectural features but exclusive of stairs, above a below grade patio	50% of the depth of the patio	n/a
11.0	MINIMUM INTERNAL SETBACKS		
11.1	From a garage face to a condominium road or sidewalk	6.0 m	6.0 m
11.2	From a garage face to a condominium road or sidewalk, where the garage and driveway are accessed at the rear of the dwelling unit	1.0 m	n/a
11.3	From the front wall of a building to a condominium road , sidewalk, walkway or parking space not located on a driveway	4.5 m	4.5 m
11.4	From a porch , exclusive of stairs, located at and accessible from the first storey or below the first storey , to a condominium road , sidewalk, walkway or parking space	2.5 m	2.5 m
11.5	From a rear wall of a building to a side wall of another building on the same lot	12.0 m	n/a
11.6	From a rear wall of a building to a rear wall of another building on the same lot	15.0 m	n/a
11.7	From a side wall of a building to a side wall of another building on the same lot	3.0 m	3.0 m
11.8	From a side wall of any building to a walkway	1.5 m	1.5 m
11.9	From a side wall of a building to a condominium road , sidewalk, or parking space	3.0 m	3.0 m
11.10	From a front wall of a building to a front wall of another building on the same lot , where the building is less than or equal to three storeys	12.0 m or where there are buildings with different heights on one lot , the average of the required setbacks	12.0 m
11.11	From a front wall of a building to a front wall of another building on the same lot , where the building is less than or equal to three storeys and contains a dwelling unit in the basement	15.0 m	n/a
11.12	From a front wall of a building to a front wall of another building on the same lot , where the building is four storeys	15.0 m or where there are buildings with different heights on one lot , the average of the required setbacks	n/a
11.13	From a front wall of a building to a side wall of another building on the same lot	9.0 m or where there are buildings with different heights on one lot , the average of the required setbacks	9.0 m
11.14	The area created by the minimum separation distance between buildings may not include the required amenity area		
12.0	ATTACHED GARAGE, PARKING AND DRIVEWAY		
12.1	Attached garage	Permitted ⁽⁵⁾	Permitted ⁽⁵⁾
12.2	Minimum parking spaces	✓ ⁽⁶⁾ ⁽⁷⁾	✓ ⁽⁶⁾ ⁽⁷⁾

Table 4.14.1 continued on next page

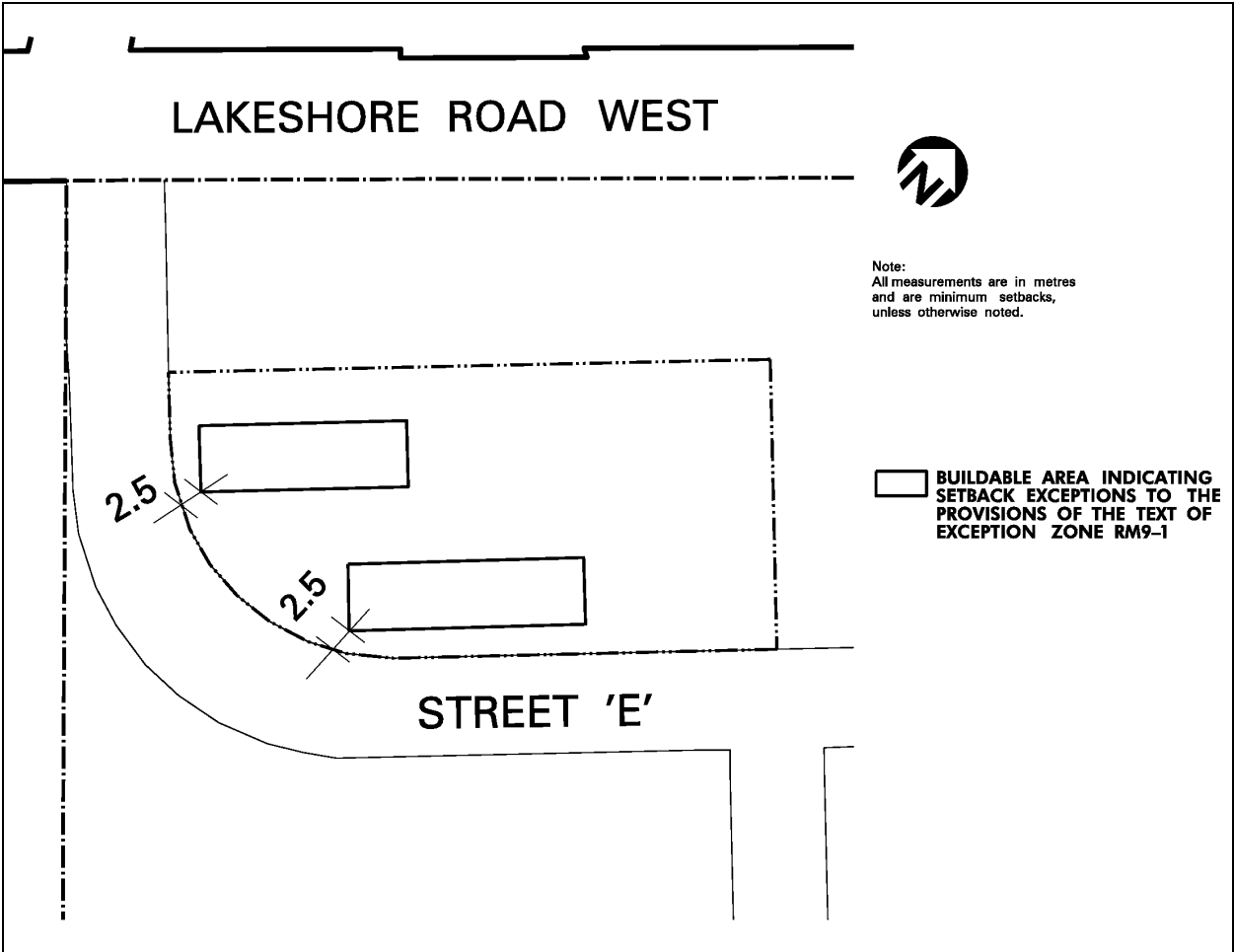
Column A		B	C
Line 1.0	ZONES	RM9	RM10
Table 4.14.1 continued from previous page			
12.3	Minimum visitor parking spaces	✓ ⁽⁶⁾	✓ ⁽⁶⁾
12.4	Maximum driveway width	2.6 m ⁽⁷⁾	2.6 m ⁽⁷⁾
13.0	PARKING AREAS AND PARKING STRUCTURE SETBACKS		
13.1	Minimum setback between a parking space and an interior side lot line and/or rear lot line	3.0 m	3.0 m
13.2	Minimum setback of a parking structure constructed above or partially above finished grade to any lot line	6.0 m	6.0 m
13.3	Minimum setback of a parking structure constructed completely below finished grade to any lot line	3.0 m	3.0 m
14.0	CONDOMINIUM ROADS, SIDEWALKS AND WALKWAYS		
14.1	Minimum width of a condominium road	7.0 m	7.0 m
14.2	Condominium roads are permitted to be shared with abutting lands zoned to permit back to back townhouse, stacked townhouse, townhouse or apartment , or any combination thereof	✓	✓
14.3	Minimum width of a sidewalk traversed by a driveway	2.0 m	2.0 m
14.4	Minimum width of a sidewalk not traversed by a driveway	1.5 m	1.5 m
15.0	MINIMUM AMENITY AREA AND LANDSCAPED AREA		
15.1	Minimum landscaped area	40% of lot area	40% of lot area
15.2	Minimum required landscaped soft area	50% of landscaped area	50% of landscaped area
15.3	Minimum landscaped buffer abutting any side and rear lot line	3.0 m	3.0 m
15.4	Minimum contiguous amenity area , excluding private outdoor space	The greater of 2.8 m ² per dwelling unit or 5% of the lot area	The greater of 2.8 m ² per dwelling unit or 5% of the lot area
15.5	Minimum setback from an amenity area to a building and to any type of road	3.0 m	3.0 m
15.6	A setback from an amenity area shall be unencumbered except for a perpendicular walkway and shall consist of only soft landscaped material	✓	✓
15.7	Minimum contiguous private outdoor space per unit	6.0 m ²	6.0 m ²
15.8	Notwithstanding Line 15.7 of this Table, minimum contiguous private outdoor space per unit when located on a balcony	4.5 m ²	4.5 m ²
15.9	Minimum setback of a rooftop amenity space from all exterior edges of a building adjacent to low density residential development	1.0 m	1.0 m

- NOTES:**
- (1) *deleted by 0018-2021.*
 - (2) See also Subsections 4.1.7 and 4.1.8 of this By-law.
 - (3) *deleted by 0018-2021.*
 - (4) *deleted by 0018-2021.*
 - (5) See also Subsection 4.1.12 of this By-law.
 - (6) See also Part 3 of this By-law.
 - (7) See also Subsection 4.1.9 of this By-law.
 - (8) *deleted by 0018-2021.*
 - (9) *deleted by 0018-2021.*

4.14.2 RM9 Exception Zones

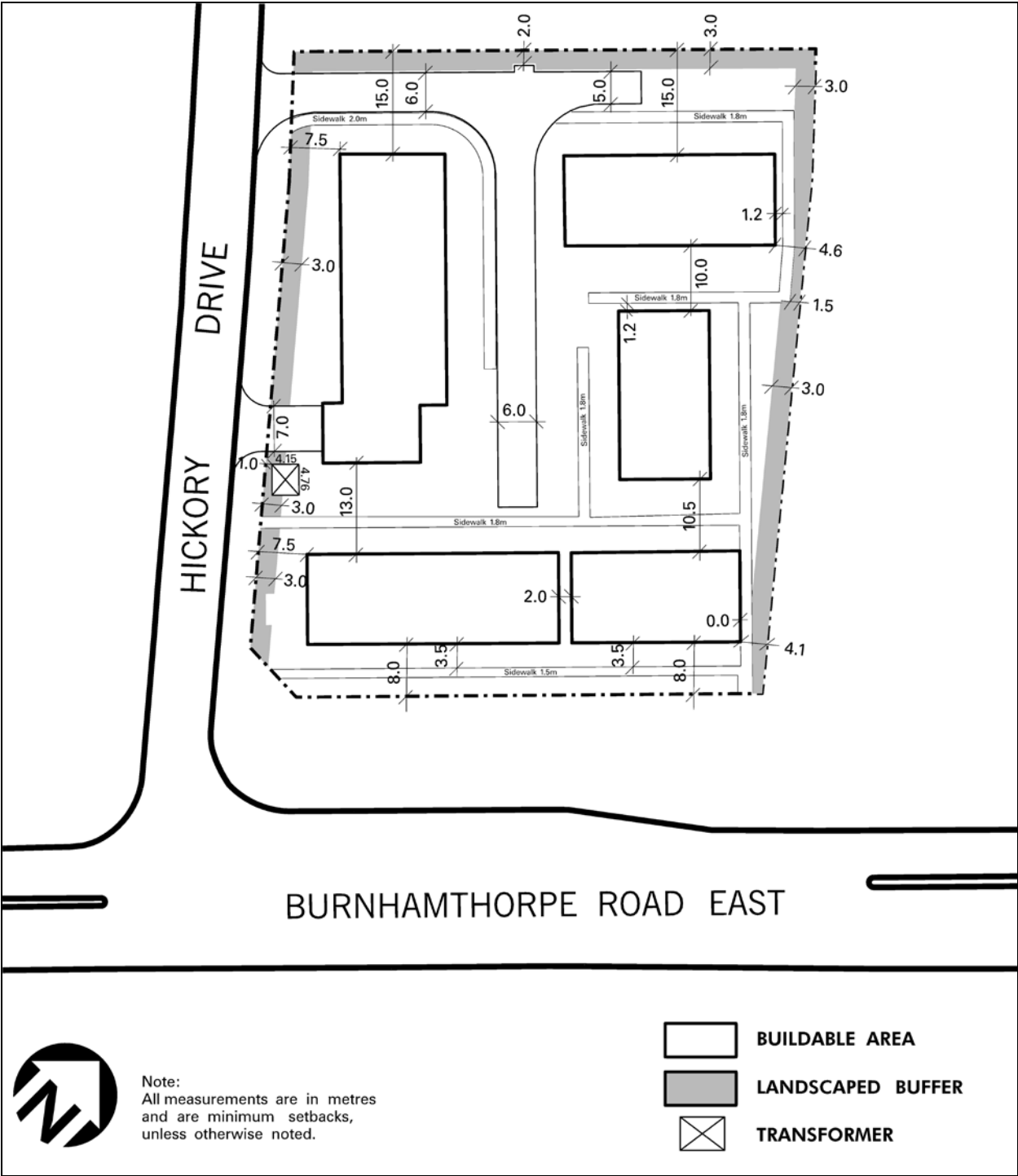
Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

4.14.2.1	Exception: RM9-1	Map # 08	By-law: <i>deleted by 0181-2018/LPAT Order 2019 February 15, LPAT Order 2019 November 15</i>
In a RM9-1 zone the permitted uses and applicable regulations shall be as specified for a RM9 zone except that the following uses /regulations shall apply:			
Regulations			
4.14.2.1.1	The regulations of Line 15.3 contained in Table 4.14.1 of this By-law shall not apply		
4.14.2.1.2	Minimum landscaped area	30% of the lot area	
4.14.2.1.3	Minimum setback to a road or condominium road	4.0 m	
4.14.2.1.4	Minimum setback of a parking structure constructed completely below finished grade to any lot line	1.0 m	
4.14.2.1.5	Minimum number of resident parking spaces per dwelling unit	1.0	
4.14.2.1.6	Minimum number of visitor parking spaces per dwelling unit	0.15	
4.14.2.1.7	All site development plans shall comply with Schedule RM9-1 of this Exception		



Schedule RM9-1
Map 08

4.14.2.2	Exception: RM9-2	Map # 27	By-law: <i>deleted by 0181-2018/LPAT Order 2019 February 15, OLT Order 2021 September 24</i>
In a RM9-2 zone the permitted uses and applicable regulations shall be as specified for a RM9 zone except that the following uses /regulations shall apply:			
Regulations			
4.14.2.2.1	The regulations of Lines 11.4 and 15.5 contained in Table 4.14.1 of this By-law shall not apply		
4.14.2.2.2	Maximum number of dwelling units on all lands zoned RM9-2	102	
4.14.2.2.3	Maximum floor space index	1.3	
4.14.2.2.4	Notwithstanding Sentence 4.14.2.2.12 of this Exception, maximum projection of a porch, balcony , awning or deck , exclusive of stairs, from the outermost face or faces of the building	1.5 m	
4.14.2.2.5	Notwithstanding Sentence 4.14.2.2.12 of this Exception, maximum encroachment of a porch, balcony , awning or deck , exclusive of stairs, into a required yard	1.5 m	
4.14.2.2.6	Minimum setback from a porch , exclusive of stairs, located at and accessible from the first storey or below the first storey , to a condominium road , sidewalk or parking space	1.5 m	
4.14.2.2.7	Minimum number of resident parking spaces per dwelling unit	1.4	
4.14.2.2.8	Minimum number of visitor parking spaces	21	
4.14.2.2.9	Minimum required landscaped soft area	39% of landscaped area	
4.14.2.2.10	Maximum area of the condominium road that may be considered landscaped area	285 m ²	
4.14.2.2.11	Minimum contiguous private outdoor space per unit	2.5 m ²	
4.14.2.2.12	All site development plans shall comply with Schedule RM9-2 of this Exception		



Schedule RM9-2
Map 27

Part 4 - Residential Zones

4.14.2.3	Exception: RM9-3	Map #	By-law: <i>deleted by 0181-2018/LPAT Order 2019 February 15</i>

4.14.2.4	Exception: RM9-4	Map #	By-law: 0365-2007, <i>deleted by 0181-2018/LPAT Order 2019 February 15</i>

4.14.2.5	Exception: RM9-5	Map #	By-law: 0449-2007, <i>deleted by 0181-2018/LPAT Order 2019 February 15</i>

4.14.2.6	Exception: RM9-6	Map #	By-law: 0218-2010, 0179-2018, <i>deleted by 0181-2018/LPAT Order 2019 February 15</i>

Part 4 - Residential Zones

4.14.2.7	Exception: RM9-7	Map #	By-law: 0168-2011, <i>deleted by 0181-2018/LPAT Order 2019 February 15</i>

4.14.2.8	Exception: RM9-8	Map #	By-law: 0176-2012, <i>deleted by 0181-2018/LPAT Order 2019 February 15</i>

4.14.2.9	Exception: RM9-9	Map #	By-law: 0118-2017, <i>deleted by 0181-2018/LPAT Order 2019 February 15</i>

4.14.2.10	Exception: RM9-10	Map #	By-law: 0010-2018, <i>deleted by 0181-2018/LPAT Order 2019 February 15</i>

Part 4 - Residential Zones

4.14.2.11	Exception: RM9-11	Map #	By-law: 0031-2018, <i>deleted by 0181-2018/LPAT Order 2019 February 15</i>

4.14.2.12	Exception: RM9-12	Map #	By-law: 0171-2018, <i>deleted by 0181-2018/LPAT Order 2019 February 15</i>

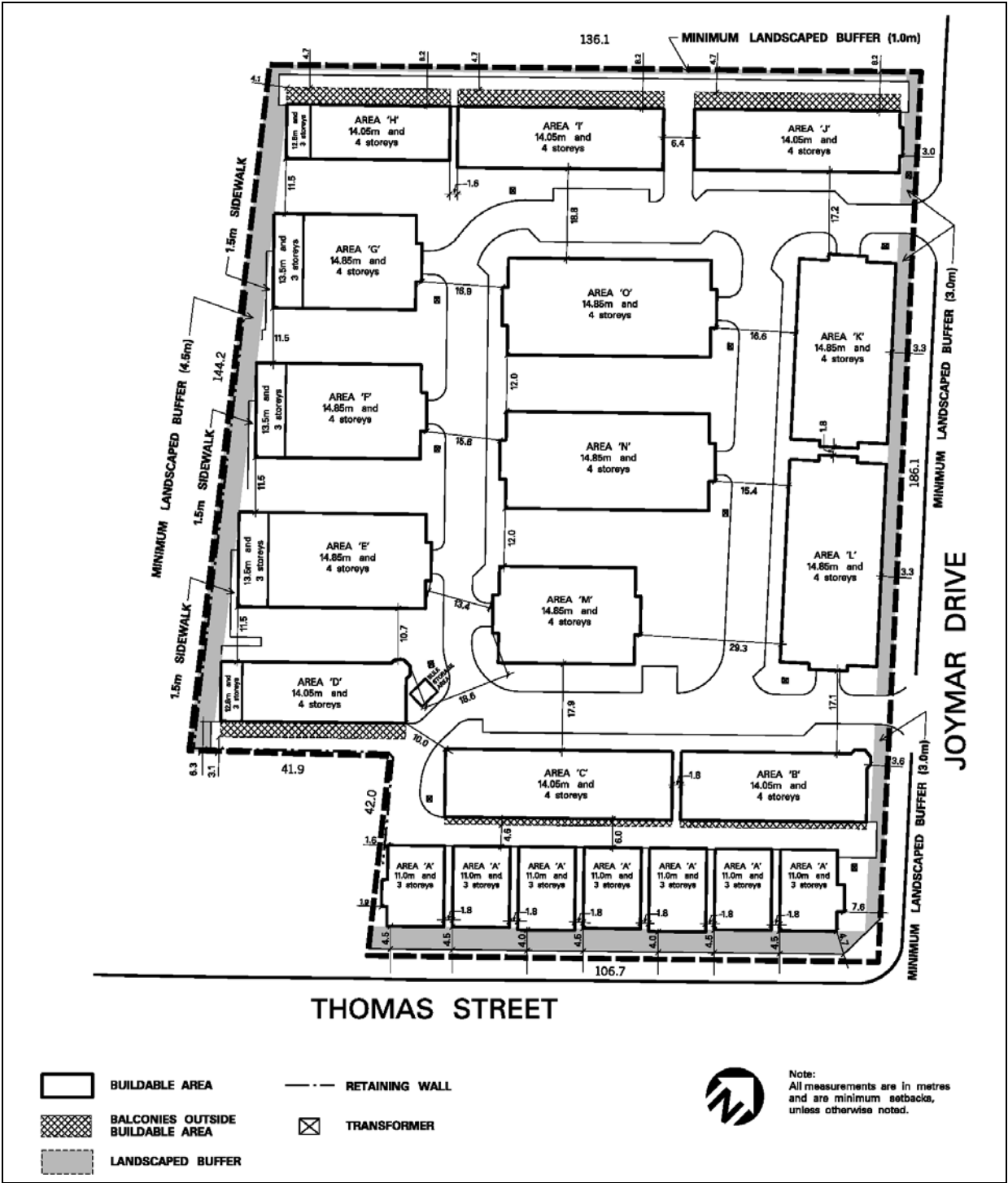
4.14.3 RM10 Exception Zones

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

4.14.3.1	Exception: RM10-1	Map # 39E	By-law: LPAT Order 2020 July 22
In a RM10-1 zone the permitted uses and applicable regulations shall be as specified for a RM10 zone except that the following uses /regulations shall apply:			
Additional Permitted Uses			
4.14.3.1.1	(1) Semi-Detached (2) Townhouse		
Regulations			
4.14.3.1.2	The provisions of Subsections 2.1.14 and 2.1.30, Line 2.1 contained in Table 4.1.12.1, Article 4.1.12.4 and the regulations of Lines 8.1, 11.1, 11.3, 11.4, 11.8, 11.9, 12.4, 15.4 and 15.5 contained in Table 4.14.1 of this By-law shall not apply		
4.14.3.1.3	For the purposes of this By-law, all lands zoned RM10-1 shall be considered one lot		
4.14.3.1.4	Height shall exclude any mechanical penthouse and/or access stairs		
4.14.3.1.5	A balcony with a maximum area of 18 m ² is permitted		
4.14.3.1.6	Notwithstanding Sentence 4.14.3.1.20 of this Exception, maximum projection of an awning, window, chimney , pilaster, corbel, window well, gas meter, air conditioning unit or porch inclusive of stairs and risers outside the buildable area identified on Schedule RM10-1 of this Exception		2.5 m
4.14.3.1.7	Maximum projection of a wing wall outside the buildable area identified on Schedule RM10-1 of this Exception		1.2 m
4.14.3.1.8	Maximum projection of a planter box and retaining wall outside the buildable area identified on Schedule RM10-1 of this Exception		2.1 m
4.14.3.1.9	Minimum number of visitor parking spaces per dwelling unit		0.2
4.14.3.1.10	Minimum width of a condominium road and an aisle		6.0 m
4.14.3.1.11	Minimum width of a sidewalk		1.5 m
4.14.3.1.12	Minimum landscaped area		33% of the lot area
4.14.3.1.13	Maximum encroachment into a required yard and landscaped buffer abutting the west property line		0.6 m
4.14.3.1.14	Minimum contiguous amenity area		555 m ²

Exception RM10-1 continued on next page

4.14.3.1	Exception: RM10-1	Map # 39E	By-law: LPAT Order 2020 July 22
Exception RM10-1 continued from previous page			
4.14.3.1.15	Semi-Detached: <ol style="list-style-type: none"> (1) the provisions of Sentences 3.1.1.4.3, 3.1.1.4.4 and 3.1.1.8.1 contained in Articles 3.1.1.4 and 3.1.1.8 of this By-law shall not apply to the resident parking spaces in Clause 4.14.3.1.15(6) of this Exception (2) shall only be located within Area 'A', identified on Schedule RM10-1 of this Exception (3) minimum dwelling unit width 5.9 m (4) height of dwellings shall be measured from established grade (5) notwithstanding Sentence 4.14.3.1.20 of this Exception, maximum projection of a porch or deck attached to the front wall of a dwelling, inclusive of stairs, outside of the buildable area identified on Schedule RM10-1 of this Exception 2.0 m (6) one additional parking space may be provided using stacked parking spaces 		
4.14.3.1.16	Townhouse: <ol style="list-style-type: none"> (1) the provisions of Sentences 3.1.1.4.3, 3.1.1.4.4 and 3.1.1.8.1 contained in Articles 3.1.1.4 and 3.1.1.8 of this By-law shall not apply to the resident parking spaces in Clause 4.14.3.1.16(4) of this Exception (2) shall only be located within Areas 'B', 'C', 'D', 'H', 'T', and 'J', identified on Schedule RM10-1 of this Exception (3) minimum dwelling unit width 4.2 m (4) one additional parking space may be provided using stacked parking spaces (5) tandem parking spaces within a garage may be included in the calculation of the number of parking spaces required 		
4.14.3.1.17	Back to Back Townhouse: <ol style="list-style-type: none"> (1) the provisions of Sentences 3.1.1.4.3, 3.1.1.4.4 and 3.1.1.8.1 contained in Articles 3.1.1.4 and 3.1.1.8 of this By-law shall not apply to the resident parking spaces in Clause 4.14.3.1.17(6) of this Exception (2) shall only be located within Areas 'E', 'F', 'G', 'K', 'L', 'M', 'N', and 'O', identified on Schedule RM10-1 of this Exception (3) minimum dwelling unit width 4.5 m (4) minimum number of resident parking spaces per two-bedroom dwelling unit 1.3 (5) minimum number of resident parking spaces per three-bedroom dwelling unit 1.4 (6) resident parking spaces may be provided using stacked parking spaces 		
4.14.3.1.18	"Semi-Detached" means a building with two attached dwelling units that are divided vertically above grade by a party wall at least 5.0 m in length and at least 2.0 m in height		
4.14.3.1.19	"Stacked Parking Space" means a parking space that is positioned above another parking space and is accessed only by means of an elevating device		
4.14.3.1.20	All site development plans shall comply with Schedule RM10-1 of this Exception		



Schedule RM10-1
Map 39E

4.14.3.2	Exception: RM10-2	Map # 08	By-law: LPAT Order 2019 November 15
In a RM10-2 zone the permitted uses and applicable regulations shall be as specified for a RM10 zone except that the following uses/regulations shall apply:			
Regulations			
4.14.3.2.1	Minimum landscaped area		30% of the lot area
4.14.3.2.2	Minimum setback to a lot line		4.0 m
4.14.3.2.3	Minimum number of resident parking spaces per dwelling unit		1.0
4.14.3.2.4	Minimum number of visitor parking spaces per dwelling unit		0.15

4.14.3.3	Exception: RM10-3	Map # 08	By-law: LPAT Order 2019 November 15
In a RM10-3 zone the permitted uses and applicable regulations shall be as specified for a RM10 zone except that the following uses/regulations shall apply:			
Additional Permitted Uses			
4.14.3.3.1	(1) Passive Recreational Uses (2) Active Recreational Uses (3) Stormwater Management Facility		
Regulations			
4.14.3.3.2	Minimum landscaped area	30% of the lot area	
4.14.3.3.3	Minimum setback to a lot line or a road	4.0 m	
4.14.3.3.4	Minimum number of resident parking spaces per dwelling unit	1.0	
4.14.3.3.5	Minimum number of visitor parking spaces per dwelling unit	0.15	
4.14.3.3.6	Uses contained in Sentence 4.14.3.3.1 of this Exception shall comply with the OS1 zone regulations contained in Subsection 9.2.1 of this By-law		