

4.2.5 R4 Exception Zones

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

4.2.5.1	Exception: R4-1	Map # 48W	By-law: 0225-2016, 0181-2018/LPAT Order 2019 February 15
In a R4-1 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.5.1.1	Maximum <b>lot coverage</b>	30%	
4.2.5.1.2	Minimum <b>front yard - interior lot</b>	7.5 m	
4.2.5.1.3	Minimum <b>exterior side yard</b>	6.0 m	
4.2.5.1.4	Minimum <b>interior side yard</b>	1.2 m + 0.61 m for each additional <b>storey</b> , or portion thereof, above one <b>storey</b>	
4.2.5.1.5	Minimum setback to <b>garage face - interior lot</b>	7.5 m	
4.2.5.1.6	Maximum <b>height - highest ridge: sloped roof</b>	9.0 m	
4.2.5.1.7	Maximum <b>height: flat roof</b>	7.5 m	
4.2.5.1.8	Maximum height of eaves: from <b>average grade</b> to lower edge of the eaves	6.4 m	
4.2.5.1.9	Maximum <b>gross floor area - infill residential</b>	100 m <sup>2</sup> plus 0.2 times the <b>lot area</b>	
4.2.5.1.10	<b>Garage</b> projection: maximum projection of the <b>garage</b> beyond the <b>front wall</b> or <b>exterior side wall</b> of the <b>first storey</b>	2.0 m	
4.2.5.1.11	Maximum <b>dwelling unit depth</b>	20.0 m	

4.2.5.2	Exception: R4-2	Map # 22, 26, 30	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
In a R4-2 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.5.2.1	Minimum <b>lot area - corner lot</b>	460 m <sup>2</sup>	
4.2.5.2.2	Minimum <b>lot frontage - corner lot</b>	15.0 m	
4.2.5.2.3	Minimum <b>front yard</b>	4.5 m	
4.2.5.2.4	Minimum setback to <b>garage face</b>	6.0 m	

4.2.5.3	Exception: R4-3	Map # 26, 55	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
In a R4-3 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.5.3.1	Minimum <b>lot frontage - corner lot</b>		15.0 m
4.2.5.3.2	Minimum <b>front yard</b>		4.5 m
4.2.5.3.3	(1)	Minimum <b>interior side yard - interior lot</b>	1.2 m
	(2)	Minimum <b>interior side yard - interior lot</b> , for that part of a <b>lot</b> that adjoins a one <b>storey garage</b> or a wall of a main <b>building</b> containing no windows or doors into a <b>habitable room</b>	0.61 m
4.2.5.3.4	Minimum combined width of side <b>yards - interior lot</b>		1.81 m
4.2.5.3.5	Minimum setback to <b>garage face</b>		6.0 m

4.2.5.4	Exception: R4-4	Map # 47, 48E	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
In a R4-4 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.5.4.1	Minimum <b>lot area - corner lot</b>		460 m <sup>2</sup>
4.2.5.4.2	Minimum <b>lot frontage - corner lot</b>		15.0 m
4.2.5.4.3	Maximum <b>gross floor area - residential</b>		0.6 times the <b>lot area</b>
4.2.5.4.4	Minimum <b>front yard</b>		4.5 m
4.2.5.4.5	Minimum setback to <b>garage face</b>		6.0 m

4.2.5.5	Exception: R4-5	Map # 27	By-law:
In a R4-5 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.5.5.1	(1)	Minimum <b>interior side yard - interior lot</b>	1.2 m
	(2)	Minimum <b>interior side yard - interior lot</b> , for that part of a <b>lot</b> that adjoins a one <b>storey garage</b> or a wall of a main <b>building</b> containing no windows or doors into a <b>habitable room</b>	0.61 m
4.2.5.5.2	Minimum combined width of side <b>yards - interior lot</b>		1.81 m
4.2.5.5.3	Minimum <b>rear yard</b> where lands abut a PB1 zone		13.5 m

4.2.5.6	Exception: R4-6	Map # 21	By-law:
In a R4-6 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.5.6.1	Minimum <b>lot area</b> - <b>interior lot</b>		360 m <sup>2</sup>
4.2.5.6.2	Minimum <b>lot frontage</b> - <b>interior lot</b>		10.5 m
4.2.5.6.3	(1)	Minimum <b>interior side yard</b> - <b>interior lot</b>	1.2 m
	(2)	Minimum <b>interior side yard</b> - <b>interior lot</b> , for that part of a <b>lot</b> that adjoins a one <b>storey garage</b> or a wall of a main <b>building</b> containing no windows or doors into a <b>habitable room</b>	0.61 m
4.2.5.6.4	Minimum combined width of side <b>yards</b> - <b>interior lot</b>		1.81 m
4.2.5.6.5	Minimum <b>interior side yard</b> - <b>corner lot</b>		3.0 m

4.2.5.7	Exception: R4-7	Map # 19, 22, 27, 30, 36W, 37E, 38E, 38W, 44W, 45E, 55, 59	By-law:
In a R4-7 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.5.7.1	Minimum <b>lot area</b> - <b>interior lot</b>		340 m <sup>2</sup>
4.2.5.7.2	Minimum <b>lot area</b> - <b>corner lot</b>		450 m <sup>2</sup>
4.2.5.7.3	Minimum <b>lot frontage</b> - <b>corner lot</b>		15.0 m

4.2.5.8	Exception: R4-8	Map # 28	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
In a R4-8 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.5.8.1	Minimum <b>lot area</b> - <b>corner lot</b>		495 m <sup>2</sup>
4.2.5.8.2	Minimum <b>lot frontage</b> - <b>corner lot</b>		13.5 m
4.2.5.8.3	Minimum <b>front yard</b> - <b>corner lot</b>		4.5 m
4.2.5.8.4	(1)	Minimum <b>interior side yard</b> - <b>interior lot</b>	1.2 m
	(2)	Minimum <b>interior side yard</b> - <b>interior lot</b> , for that part of a <b>lot</b> that adjoins a one <b>storey garage</b> or a wall of a main <b>building</b> containing no windows or doors into a <b>habitable room</b>	0.61 m
4.2.5.8.5	Minimum combined width of side <b>yards</b> - <b>interior lot</b>		1.81 m
4.2.5.8.6	Minimum <b>interior side yard</b> - <b>corner lot</b>		7.5 m
4.2.5.8.7	Minimum <b>rear yard</b> - <b>corner lot</b>		1.2 m
4.2.5.8.8	Minimum setback to <b>garage face</b>		6.0 m

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4.2.5.9	Exception: R4-9	Map # 28	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
In a R4-9 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.5.9.1	Minimum <b>lot frontage - corner lot</b>		14.5 m
4.2.5.9.2	Minimum <b>front yard</b>		4.5 m
4.2.5.9.3	Minimum <b>rear yard</b>		1.2 m
4.2.5.9.4	The <b>lot line</b> abutting Wilcox Road shall be deemed to be the <b>front lot line</b>		
4.2.5.9.5	Minimum setback to <b>garage face</b>		6.0 m

4.2.5.10	Exception: R4-10	Map # 07, 28, 45W	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
In a R4-10 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.5.10.1	Minimum <b>front yard</b>		4.5 m
4.2.5.10.2	Minimum <b>interior side yard - interior lot</b>		1.2 m on one side and 0.61 m on the other side
4.2.5.10.3	Minimum setback to <b>garage face</b>		6.0 m

4.2.5.11	Exception: R4-11	Map # 24	By-law:
In a R4-11 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.5.11.1	Minimum <b>lot area - corner lot</b>		370 m <sup>2</sup>
4.2.5.11.2	Minimum <b>lot frontage - corner lot</b>		12.0 m
4.2.5.11.3	Minimum <b>gross floor area - residential</b>		148 m <sup>2</sup>

4.2.5.12	Exception: R4-12	Map # 27, 28, 38W, 46W, 48E	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
In a R4-12 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.5.12.1	Minimum <b>lot area - interior lot</b>	355 m <sup>2</sup>	
4.2.5.12.2	Minimum <b>lot area - corner lot</b>	450 m <sup>2</sup>	
4.2.5.12.3	Minimum <b>lot frontage - corner lot</b>	15.0 m	
4.2.5.12.4	Minimum <b>front yard</b>	4.5 m	
4.2.5.12.5	Minimum <b>interior side yard - interior lot</b>	1.2 m on one side and 0.61 m on the other side	
4.2.5.12.6	Minimum setback to <b>garage face</b>	6.0 m	

4.2.5.13	Exception: R4-13	Map # 10, 31	By-law:
In a R4-13 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.5.13.1	Minimum <b>interior side yard</b> of all <b>buildings</b> and <b>structures</b> and <b>swimming pools</b> where lands abut a G1 and/or B zone	3.0 m	
4.2.5.13.2	Minimum setback of a <b>swimming pool</b> to the <b>rear lot line</b> where lands abut a G1 zone	3.0 m	

4.2.5.14	Exception: R4-14	Map # 22, 38W, 39E	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
In a R4-14 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.5.14.1	Minimum <b>front yard</b>	4.5 m	
4.2.5.14.2	Minimum setback to <b>garage face</b>	6.0 m	

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4.2.5.15	Exception: R4-15	Map # 26, 28, 29, 36W	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
In a R4-15 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.5.15.1	Minimum <b>lot area - interior lot</b>		360 m <sup>2</sup>
4.2.5.15.2	Minimum <b>lot area - corner lot</b>		450 m <sup>2</sup>
4.2.5.15.3	Minimum <b>lot frontage - corner lot</b>		15.0 m
4.2.5.15.4	Maximum <b>lot coverage</b>		45%
4.2.5.15.5	Minimum <b>front yard</b>		4.5 m
4.2.5.15.6	Minimum <b>interior side yard - interior lot</b>		1.2 m on one side and 0.61 m on the other side
4.2.5.15.7	Maximum <b>gross floor area - residential</b>		0.6 times the <b>lot area</b>
4.2.5.15.8	Minimum setback to <b>garage face</b>		6.0 m

4.2.5.16	Exception: R4-16	Map # 10, 38W	By-law:
In a R4-16 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.5.16.1	Minimum <b>interior side yard - interior lot</b>		1.2 m on one side and 0.61 m on the other side
4.2.5.16.2	Maximum <b>gross floor area - residential</b>		0.6 times the <b>lot area</b>

4.2.5.17	Exception: R4-17	Map # 36W, 37E	By-law:
In a R4-17 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.5.17.1	Minimum <b>lot frontage - interior lot</b>		14.0 m
4.2.5.17.2	Minimum <b>lot frontage - corner lot</b>		18.5 m
4.2.5.17.3	Maximum <b>lot coverage</b>		45%
4.2.5.17.4	Maximum <b>gross floor area - residential</b>		0.6 times the <b>lot area</b>

4.2.5.18	Exception: R4-18	Map # 31	By-law:
In a R4-18 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulation</b>			
4.2.5.18.1	Minimum setback of a <b>detached dwelling</b> to a railway right-of-way		22.0 m

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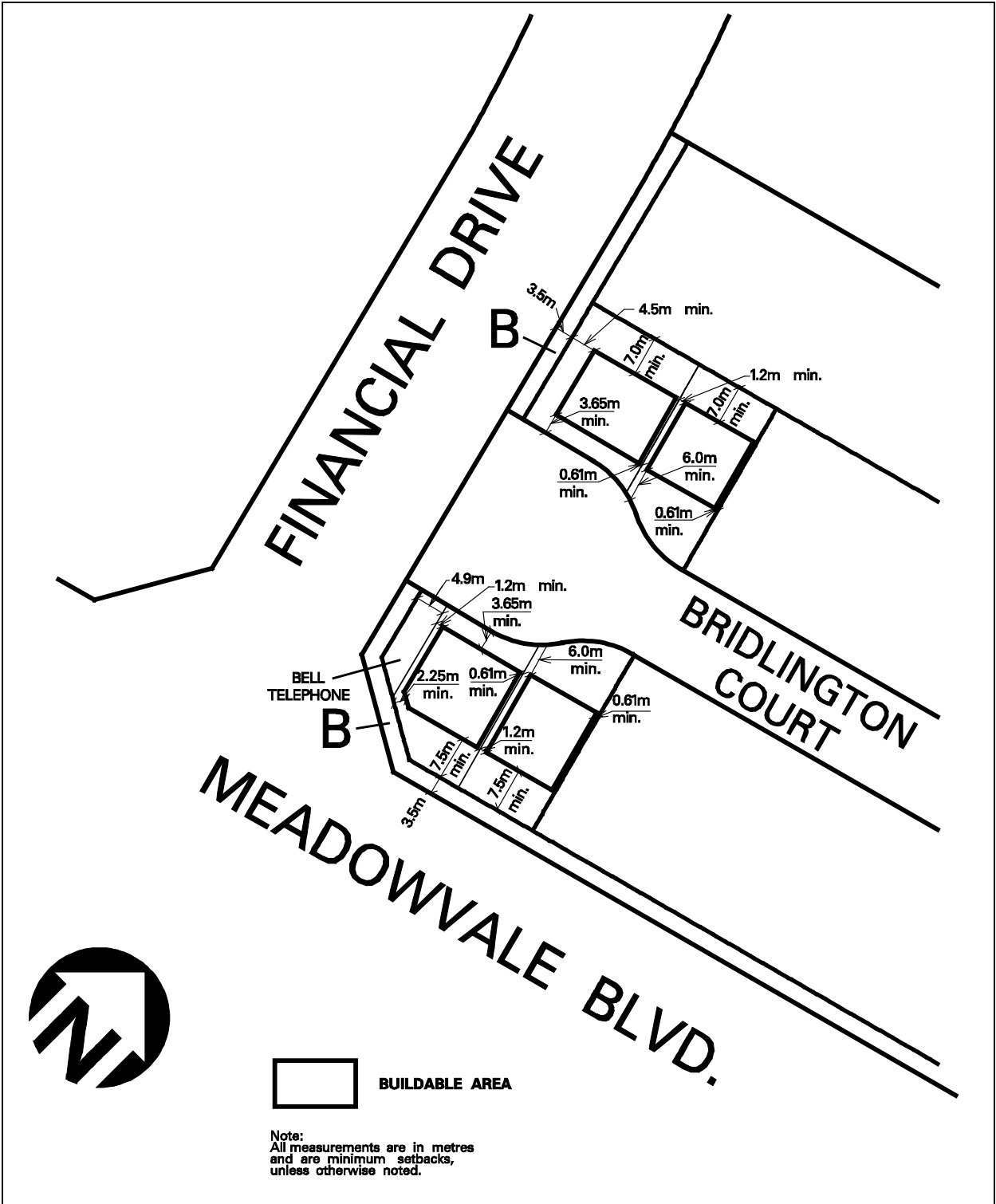
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4.2.5.19	Exception: R4-19	Map # 37W, 38W	By-law:
In a R4-19 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.5.19.1	Minimum <b>lot area - corner lot</b>		480 m <sup>2</sup>
4.2.5.19.2	Minimum <b>lot frontage - corner lot</b>		14.0 m
4.2.5.19.3	Maximum <b>lot coverage</b>		45%

4.2.5.20	Exception: R4-20	Map # 22, 27, 29, 37E, 37W, 38E, 38W	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
In a R4-20 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.5.20.1	Minimum <b>lot area - interior lot</b>		360 m <sup>2</sup>
4.2.5.20.2	Minimum <b>lot area - corner lot</b>		408 m <sup>2</sup>
4.2.5.20.3	Minimum <b>lot frontage - corner lot</b>		15.0 m
4.2.5.20.4	Maximum <b>lot coverage</b>		45%
4.2.5.20.5	Minimum <b>front yard</b>		4.5 m
4.2.5.20.6	Minimum <b>interior side yard - interior lot</b>		1.2 m on one side and 0.61 m on the other side
4.2.5.20.7	Minimum setback to <b>garage face</b>		6.0 m

4.2.5.21	Exception: R4-21	Map # 53W	By-law:
In a R4-21 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.5.21.1	Minimum <b>lot area - interior lot</b>		350 m <sup>2</sup>
4.2.5.21.2	Minimum <b>lot area - corner lot</b>		420 m <sup>2</sup>
4.2.5.21.3	Minimum <b>lot frontage - corner lot</b>		15.5 m
4.2.5.21.4	Maximum <b>lot coverage</b>		45%
4.2.5.21.5	Maximum encroachment of a <b>porch</b> into the required <b>front</b> and <b>exterior side yards</b>		1.8 m
4.2.5.21.6	All site development plans shall comply with Schedule R4-21 of this Exception		



Schedule R4-21  
Map 53W



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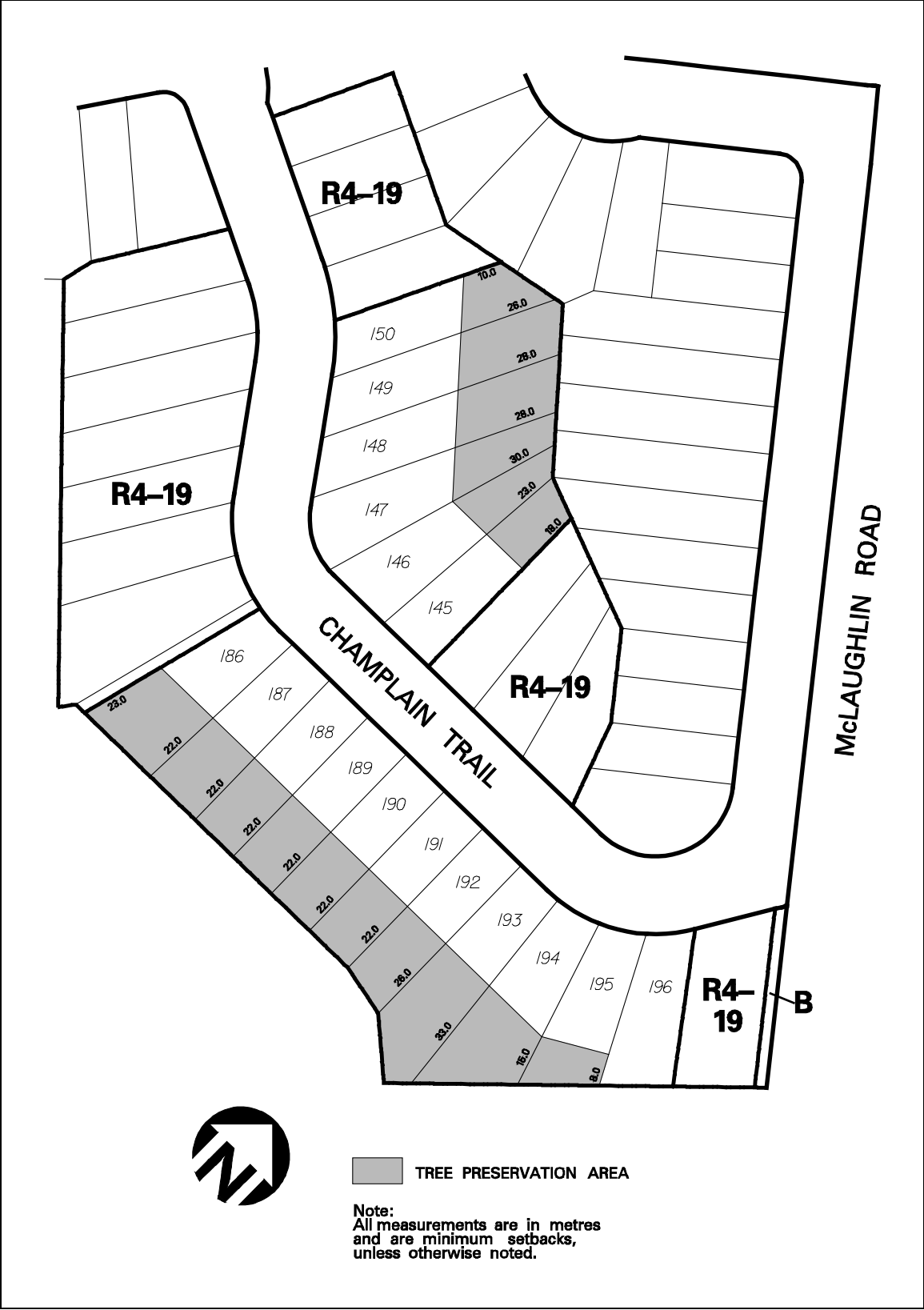
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4.2.5.22	Exception: R4-22	Map # 22, 30, 36W, 37E, 37W	By-law: 0379-2009, 0265-2016, 0181-2018/LPAT Order 2019 February 15
In a R4-22 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.5.22.1	Minimum <b>lot area - interior lot</b>		345 m <sup>2</sup>
4.2.5.22.2	Minimum <b>lot area - corner lot</b>		450 m <sup>2</sup>
4.2.5.22.3	Minimum <b>lot frontage - interior lot</b>		11.5 m
4.2.5.22.4	Minimum <b>lot frontage - corner lot</b>		15.0 m
4.2.5.22.5	Maximum <b>lot coverage</b>		45%
4.2.5.22.6	Minimum <b>front yard</b>		4.5 m
4.2.5.22.7	Minimum <b>interior side yard - interior lot</b>		1.2 m on one side and 0.61 m on the other side
4.2.5.22.8	Minimum setback of a <b>detached dwelling</b> , excluding attached <b>garage</b> , to a railway right-of-way		30.0 m
4.2.5.22.9	Minimum setback to <b>garage face</b>		6.0 m

4.2.5.23	Exception: R4-23	Map # 38W	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
In a R4-23 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.5.23.1	Minimum <b>front yard</b>		4.5 m
4.2.5.23.2	Minimum <b>interior side yard - interior lot</b>		1.2 m on one side and 0.61 m on the other side
4.2.5.23.3	Minimum setback to <b>garage face</b>		6.0 m

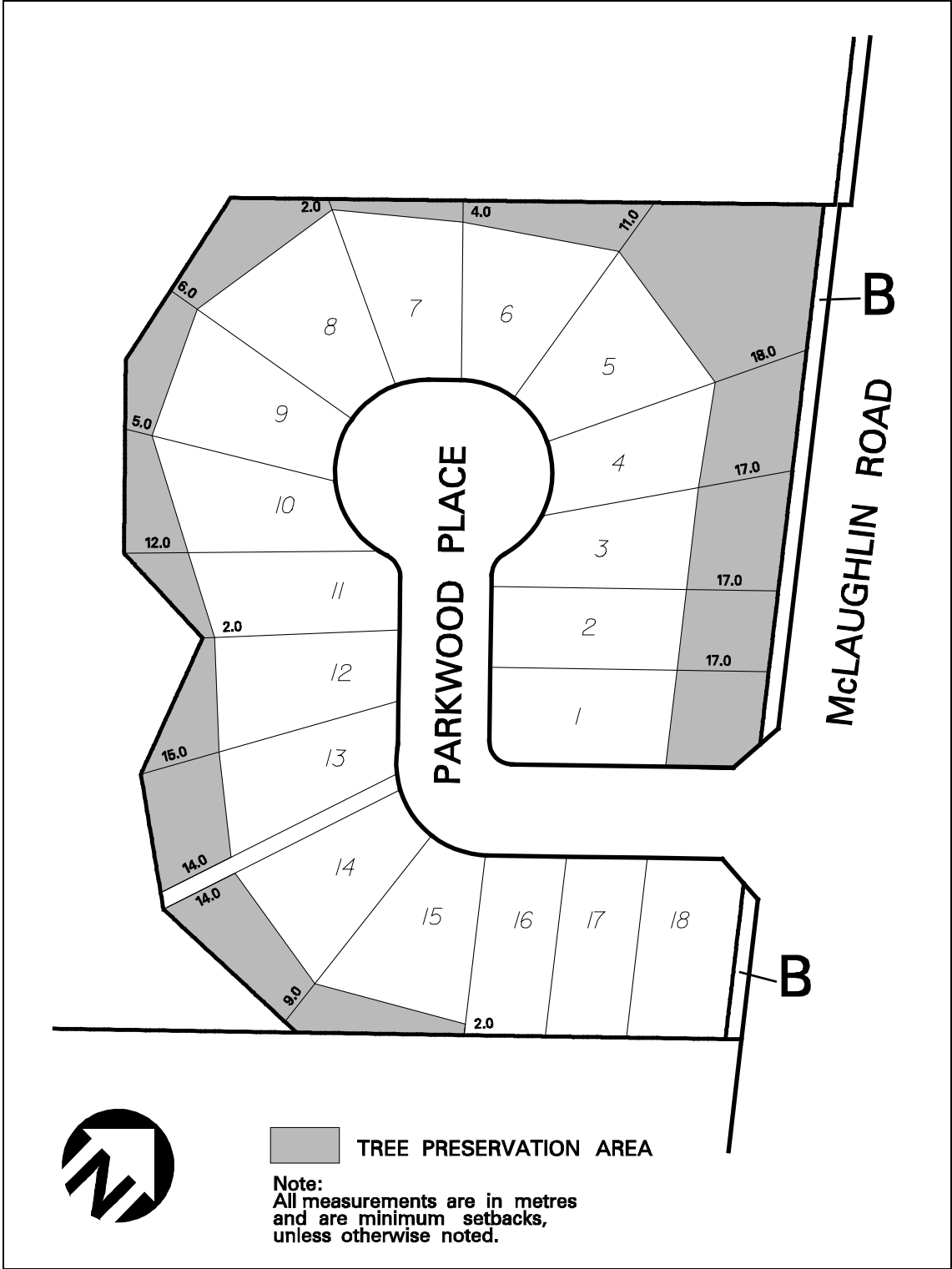
4.2.5.24	Exception: R4-24	Map # 03, 27, 44W	By-law:
In a R4-24 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.5.24.1	Minimum <b>lot area - corner lot</b>		470 m <sup>2</sup>
4.2.5.24.2	Minimum <b>lot frontage - corner lot</b>		15.0 m
4.2.5.24.3	Minimum <b>interior side yard - interior lot</b>		1.2 m on one side and 0.61 m on the other side

4.2.5.25	Exception: R4-25	Map # 37W	By-law:
In a R4-25 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.5.25.1	The areas identified on Schedule R4-25 of this Exception as a tree preservation area, shall only be used for conservation purposes, and no <b>buildings</b> or <b>structures</b> , <b>swimming pools</b> , tennis courts or any like recreational facilities, except for fences along the <b>lot lines</b> , shall be permitted		



Schedule R4-25  
Map 37W

4.2.5.26	Exception: R4-26	Map # 37W	By-law:
In a R4-26 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.5.26.1	The areas identified on Schedule R4-26 of this Exception as a tree preservation area, shall only be used for conservation purposes, and no <b>buildings</b> or <b>structures</b> , <b>swimming pools</b> , tennis courts or any like recreational facilities, except for fences along the <b>lot lines</b> , shall be permitted		
4.2.5.26.2	Minimum setback of all <b>buildings</b> and <b>structures</b> to the tree preservation area identified on Schedule R4-26 of this Exception	7.0 m	



Schedule R4-26  
Map 37W

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4.2.5.27	Exception: R4-27	Map # 54W	By-law:
In a R4-27 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.5.27.1	Minimum <b>rear yard</b> - where <b>rear lot line</b> abuts a B zone		19.0 m
4.2.5.27.2	Minimum setback of all <b>buildings</b> and <b>structures</b> and in-ground <b>swimming pools</b> to all lands zoned U-3		16.0 m

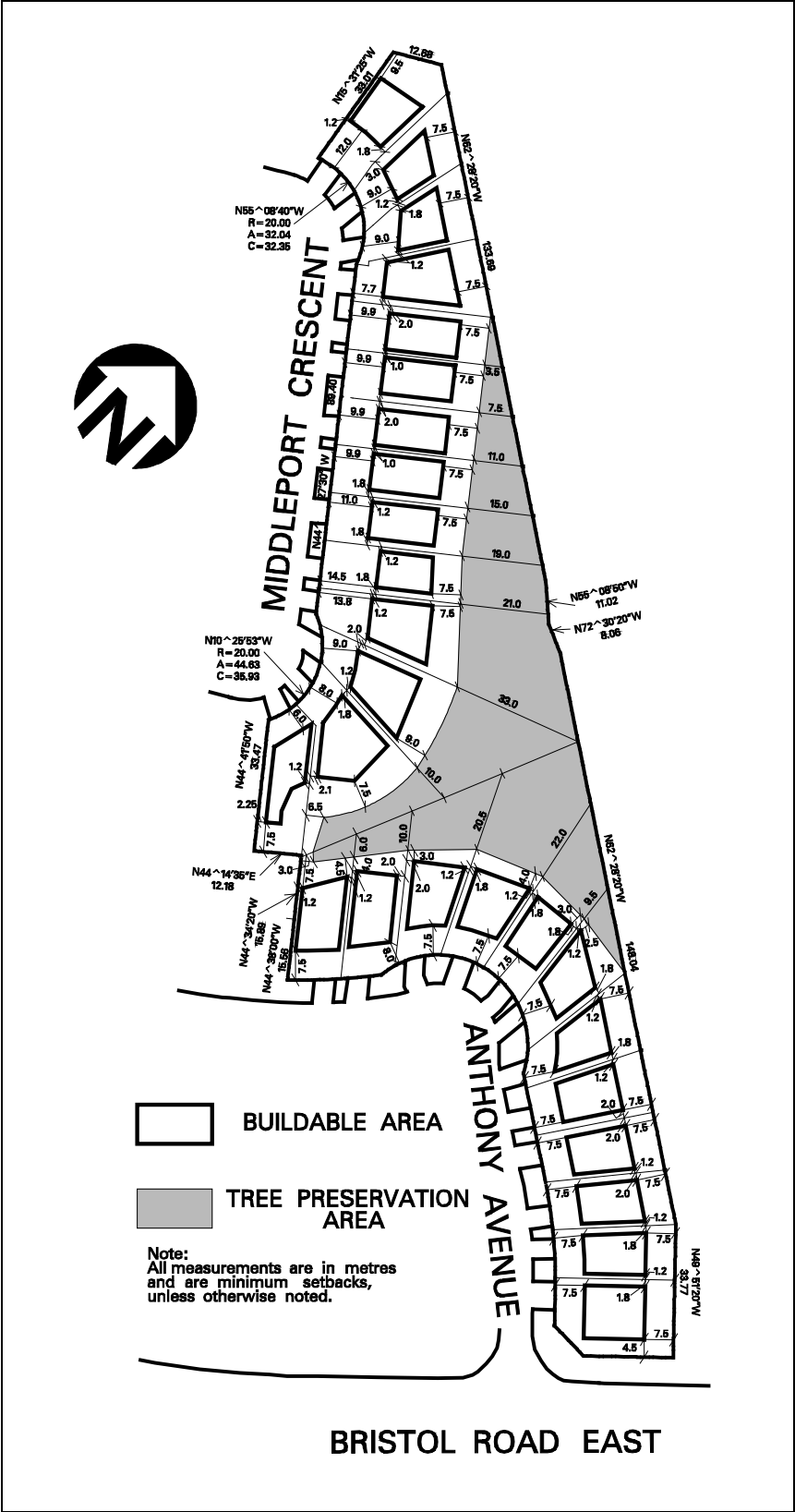
4.2.5.28	Exception: R4-28	Map # 37W, 54W	By-law:
In a R4-28 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.5.28.1	Minimum <b>lot frontage</b> - <b>corner lot</b>		16.0 m
4.2.5.28.2	Minimum setback of all <b>buildings</b> and <b>structures</b> and in-ground <b>swimming pools</b> to all lands zoned U-3		13.0 m

4.2.5.29	Exception: R4-29	Map # 10	By-law:
In a R4-29 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.5.29.1	Minimum setback of all <b>buildings</b> and <b>structures</b> and <b>swimming pools</b> to a side <b>lot line</b> abutting a G1 zone		4.5 m
4.2.5.29.2	Minimum <b>rear yard</b> - where <b>rear lot line</b> abuts a B zone		16.5 m

4.2.5.30	Exception: R4-30	Map # 56	By-law:
In a R4-30 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulation</b>			
4.2.5.30.1	Minimum setback of all <b>buildings</b> and <b>structures</b> to a gas line transmission easement located within the abutting G1 and U-3 zones		15.0 m

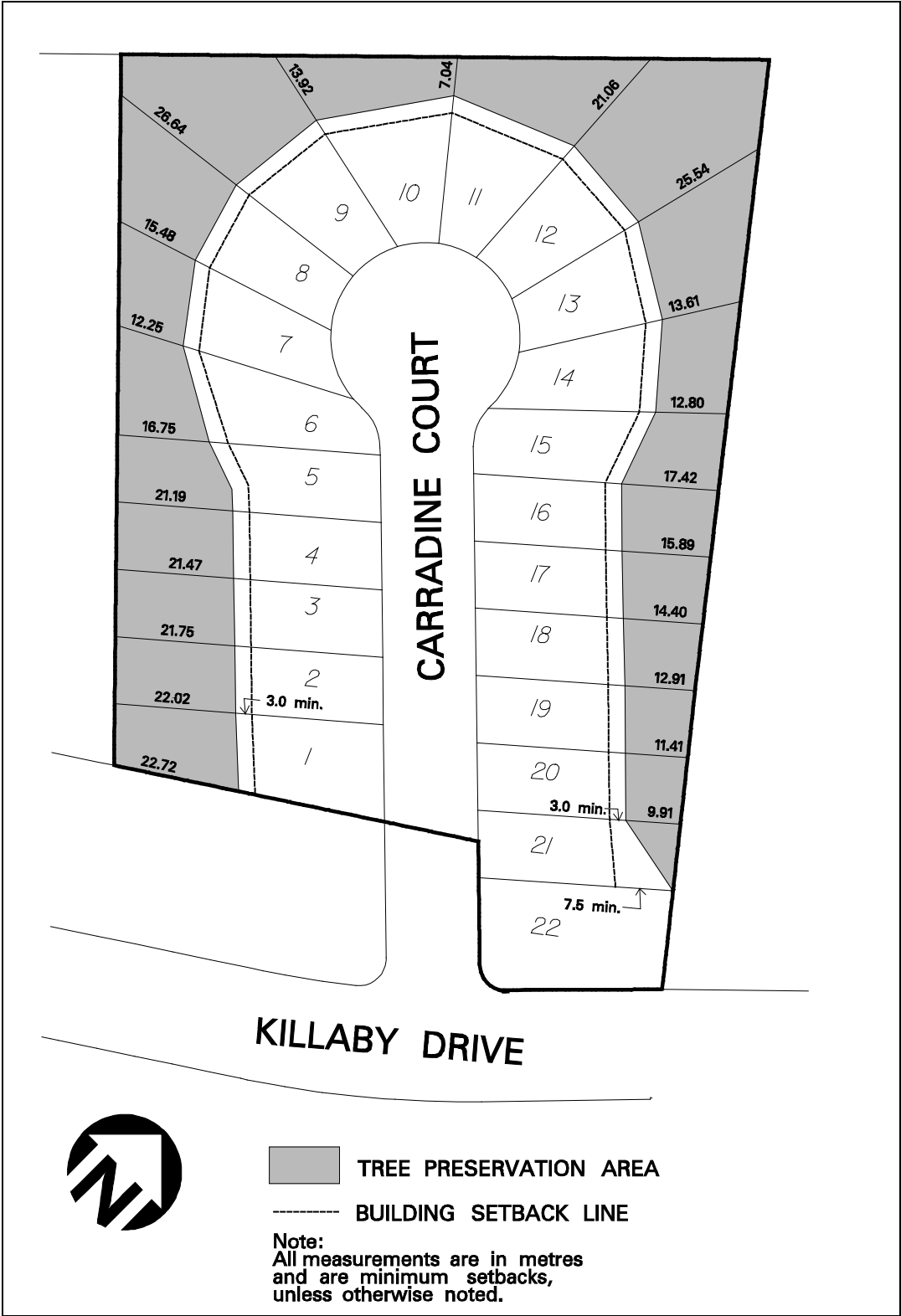
4.2.5.31	Exception: R4-31	Map # 36W	By-law:
In a R4-31 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.5.31.1	Minimum <b>lot frontage</b> - <b>corner lot</b>		16.0 m
4.2.5.31.2	Minimum <b>interior side yard</b> - <b>interior lot</b> , for that part of the side <b>yard</b> that adjoins an attached <b>garage</b>		0.9 m

4.2.5.32	Exception: R4-32	Map # 36W	By-law:
In a R4-32 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.5.32.1	The areas identified on Schedule R4-32 of this Exception as a tree preservation area, shall only be used for conservation purposes, and no <b>buildings</b> or <b>structures</b> , <b>swimming pools</b> , tennis courts or any like recreational facilities, except for fences along the <b>lot lines</b> , shall be permitted		
4.2.5.32.2	All site development plans shall comply with Schedule R4-32 of this Exception		



Schedule R4-32  
Map 36W

4.2.5.33	Exception: R4-33	Map # 45E	By-law:
In a R4-33 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.5.33.1	Minimum <b>lot frontage - corner lot</b>		16.0 m
4.2.5.33.2	The areas identified on Schedule R4-33 of this Exception as a tree preservation area, shall only be used for conservation purposes, and no <b>buildings</b> or <b>structures</b> , <b>swimming pools</b> , tennis courts or any like recreational facilities, except for fences along the <b>lot lines</b> , shall be permitted		



Schedule R4-33  
Map 45E

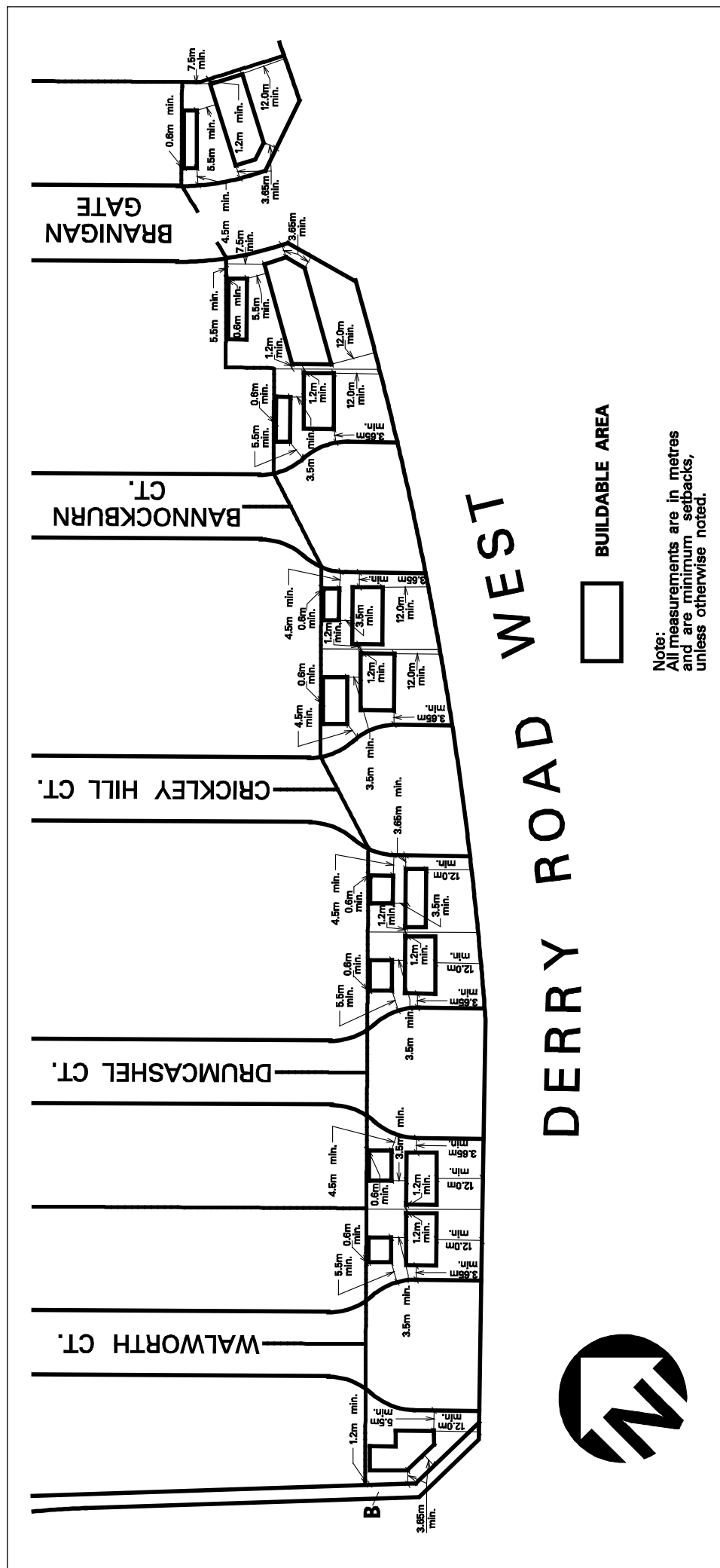
4.2.5.34	Exception: R4-34	Map # 56	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
In a R4-34 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.5.34.1	Minimum <b>lot area - interior lot</b>	335 m <sup>2</sup>	
4.2.5.34.2	Minimum <b>front yard - interior lot</b>	5.0 m	
4.2.5.34.3	Minimum encroachment of a <b>porch</b> into a required <b>front yard</b>	0.5 m	
4.2.5.34.4	Minimum <b>interior side yard - interior lot</b>	1.2 m on one side and 0.61 m on the other side	
4.2.5.34.5	Minimum setback to <b>garage face</b>	6.0 m	

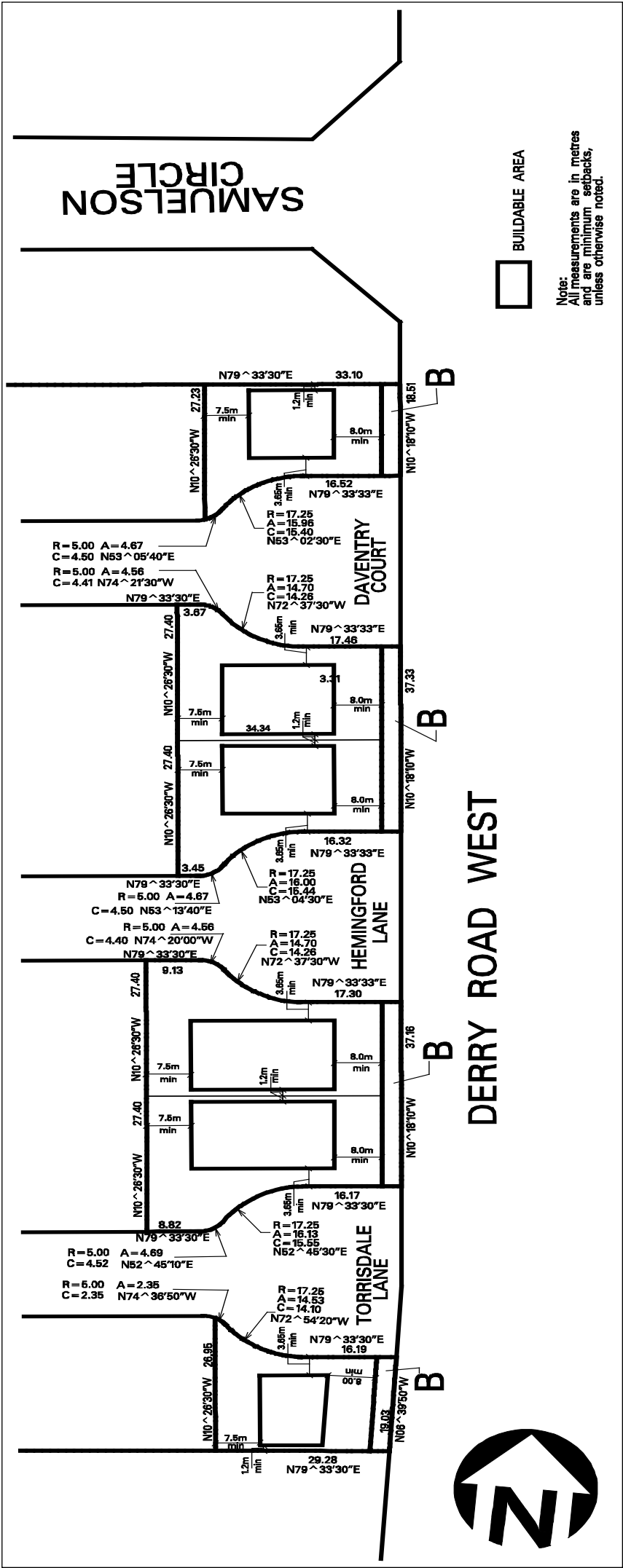
4.2.5.35	Exception: R4-35	Map # 53E, 53W	By-law: 0181-2018/LPAT Order 2019 February 15
In a R4-35 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.5.35.1	Minimum <b>lot area - interior lot</b>		325 m <sup>2</sup>
4.2.5.35.2	Minimum <b>lot area - corner lot</b>		415 m <sup>2</sup>
4.2.5.35.3	Minimum <b>lot frontage - corner lot</b>		15.2 m
4.2.5.35.4	Maximum <b>lot coverage</b>		45%
4.2.5.35.5	Minimum <b>front yard</b>		3.6 m
4.2.5.35.6	Minimum <b>exterior side yard</b>		3.6 m
4.2.5.35.7	Minimum <b>interior side yard - interior lot</b>		1.2 m on one side and 0.61 m on the other side
4.2.5.35.8	Maximum encroachment of a <b>porch</b> into the required <b>front</b> and <b>exterior side yards</b>		1.8 m
4.2.5.35.9	The area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>		
4.2.5.35.10	Minimum setback to <b>garage face</b>		4.5 m

4.2.5.36	Exception: R4-36	Map # 53E, 53W	By-law: 0181-2018/LPAT Order 2019 February 15
In a R4-36 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.5.36.1	Minimum <b>lot area - interior lot</b>	325 m²	
4.2.5.36.2	Minimum <b>lot area - corner lot</b>	415 m²	
4.2.5.36.3	Minimum <b>lot frontage - corner lot</b>	15.2 m	
4.2.5.36.4	Maximum <b>lot coverage</b>	45%	
4.2.5.36.5	Minimum <b>front yard</b>	3.6 m	
4.2.5.36.6	Minimum <b>exterior side yard</b>	3.6 m	
4.2.5.36.7	Minimum <b>interior side yard - interior lot</b>	1.2 m on one side and 0.61 m on the other side	
4.2.5.36.8	Maximum encroachment of a <b>porch</b> into the required <b>front</b> and <b>exterior side yards</b>	1.8 m	
4.2.5.36.9	The area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>		
4.2.5.36.10	Minimum setback to <b>garage face</b>	5.5 m	

4.2.5.37	Exception: R4-37(1) and R4-37(2)	Map # 53E, 53W	By-law:
In a R4-37(1) and R4-37(2) zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.5.37.1	Minimum <b>lot area - interior lot</b>		350 m <sup>2</sup>
4.2.5.37.2	Minimum <b>lot area - corner lot</b>		420 m <sup>2</sup>
4.2.5.37.3	Minimum <b>lot frontage - corner lot</b>		15.8 m
4.2.5.37.4	Maximum <b>lot coverage</b>		45%
4.2.5.37.5	Maximum encroachment of a <b>porch</b> into the required <b>front</b> and <b>exterior side yards</b>		1.8 m
4.2.5.37.6	The area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>		
4.2.5.37.7	All site development plans shall comply with Schedules R4-37(1) and R4-37(2) of this Exception		

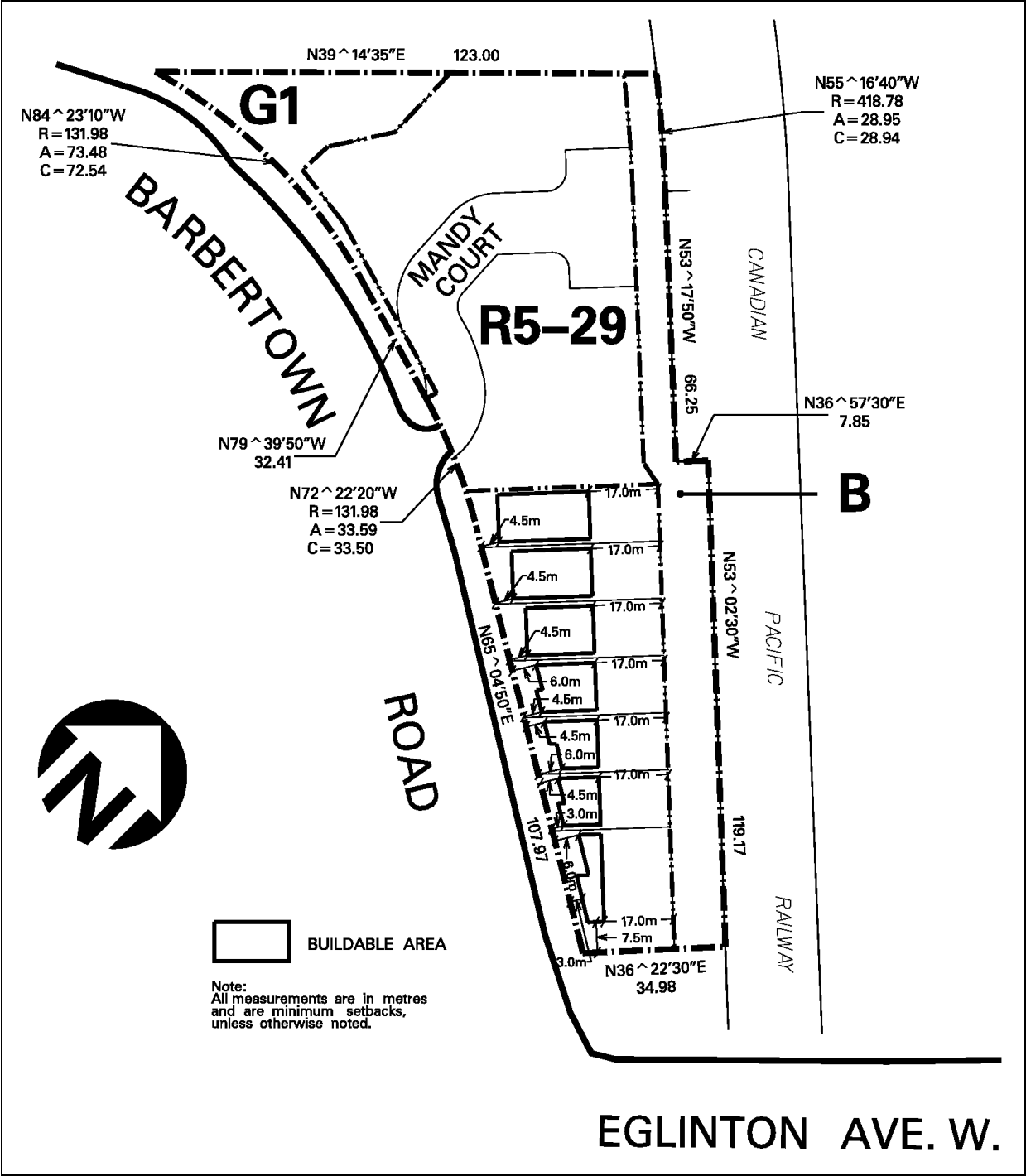






Schedule R4-37(2)  
Map 53E

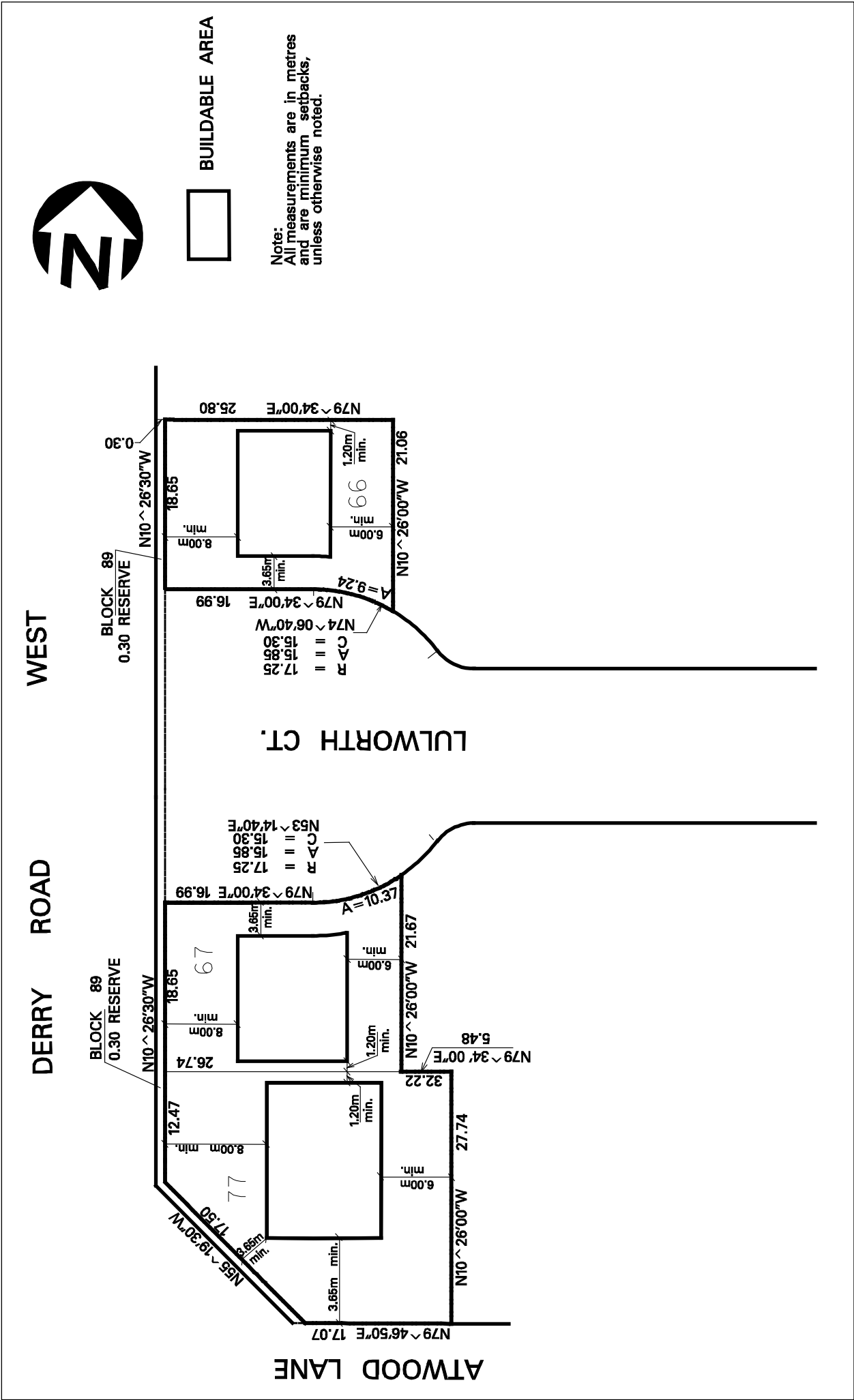
4.2.5.38	Exception: R4-38	Map # 38W	By-law:
In a R4-38 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.5.38.1	Minimum <b>interior side yard</b>		1.2 m
4.2.5.38.2	All site development plans shall comply with Schedules R4-38 of this Exception		



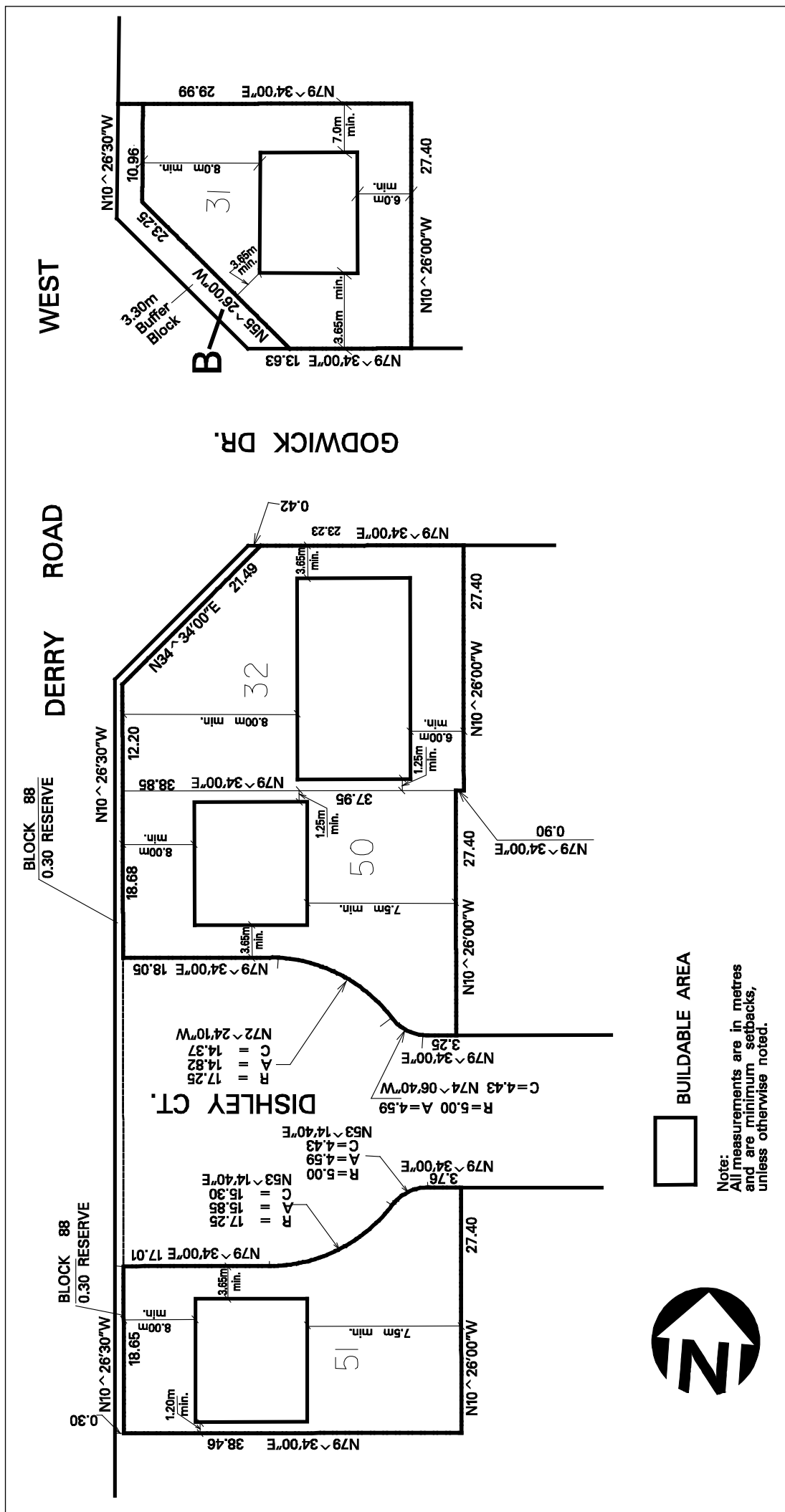
Schedule R4-38  
Map 38W

4.2.5.39	Exception: R4-39	Map # 18	By-law:
In a R4-39 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.5.39.1	Minimum <b>front yard</b>		4.5 m
4.2.5.39.2	Minimum setback of a <b>detached dwelling</b> to all lands zoned G1		8.5 m

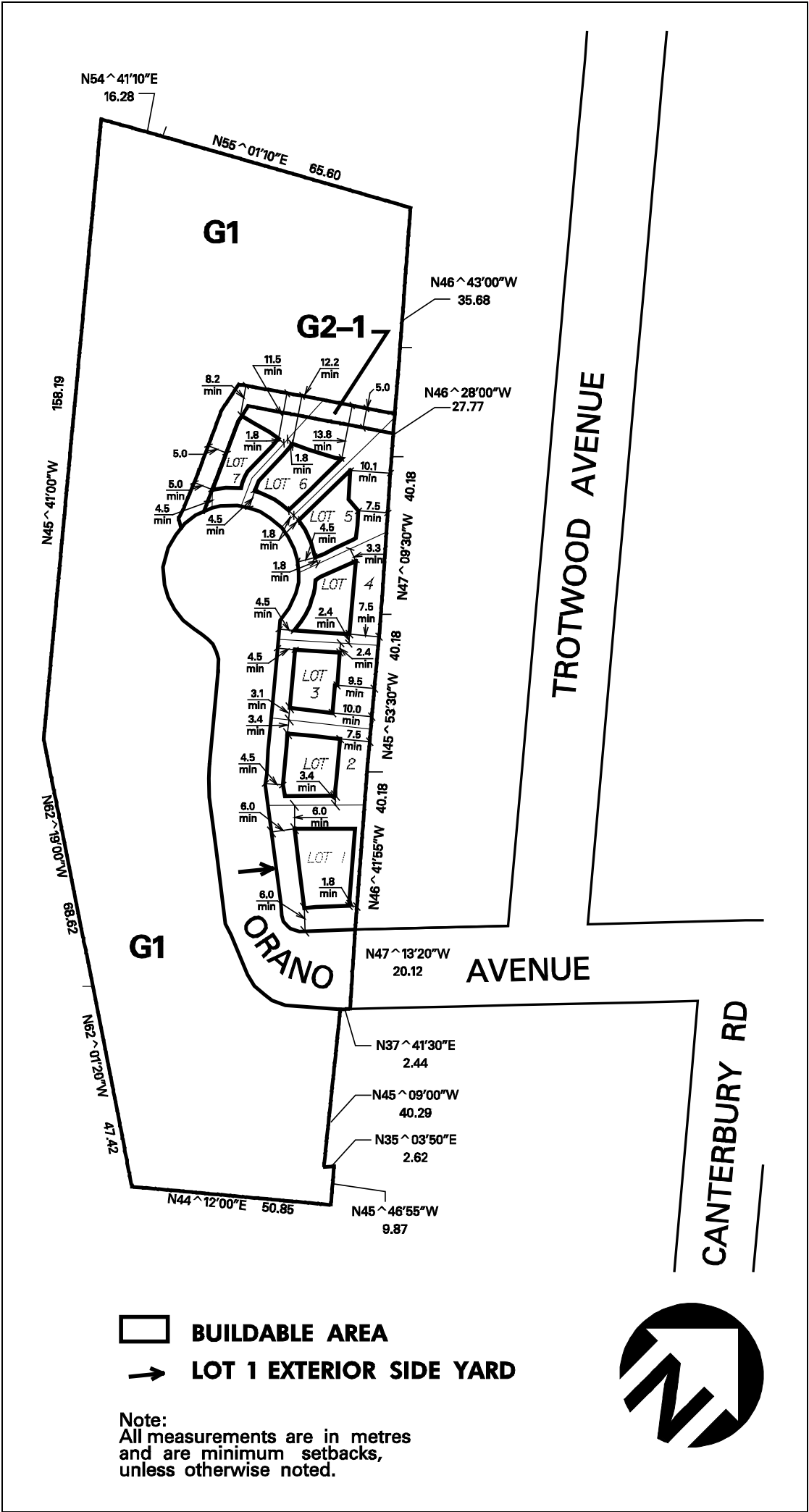
4.2.5.40	Exception: R4-40(1) and R4-40(2)	Map # 53E	By-law: 0181-2018/LPAT Order 2019 February 15
In a R4-40(1) and R4-40(2) zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.5.40.1	Minimum <b>lot coverage</b>		45%
4.2.5.40.2	Minimum setback to <b>garage face</b>		5.5 m
4.2.5.40.3	All site development plans shall comply with Schedule R4-40(1) and R4-40(2) of this Exception		



Schedule R4-40(1)  
Map 53E



4.2.5.41	Exception: R4-41	Map # 07	By-law: 0308-2011, 0181-2018/LPAT Order 2019 February 15
In a R4-41 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.5.41.1	Minimum <b>lot area</b> for Lots 1 to 7 identified on Schedule R4-41 of this Exception:		
	(1) minimum <b>lot area</b> - Lot 1	678 m <sup>2</sup>	
	(2) minimum <b>lot area</b> - Lots 2, 3, 4 and 5	530 m <sup>2</sup>	
	(3) minimum <b>lot area</b> - Lots 6 and 7	550 m <sup>2</sup>	
4.2.5.41.2	Minimum <b>lot frontage</b> for Lots 1 to 7 identified on Schedule R4-41 of this Exception:		
	(1) minimum <b>lot frontage</b> - Lot 1	19.5 m	
	(2) minimum <b>lot frontage</b> - Lots 2 and 4	21.0 m	
	(3) minimum <b>lot frontage</b> - Lot 3	20.0 m	
	(4) minimum <b>lot frontage</b> - Lots 5, 6 and 7	15.0 m	
4.2.5.41.3	Maximum <b>gross floor area - residential</b>	190 m <sup>2</sup> plus 0.2 times the <b>lot area</b>	
4.2.5.41.4	Maximum <b>height - highest ridge:</b> <b>sloped roof - lots</b> with less than 22.5 m <b>lot frontage</b>	9.0 m	
4.2.5.41.5	Maximum <b>height:</b> <b>sloped roof - lots</b> equal to or greater than 22.5 m <b>lot frontage</b>	9.5 m	
4.2.5.41.6	Maximum <b>height:</b> <b>flat roof</b>	7.5 m	
4.2.5.41.7	Maximum height of eaves: from <b>average grade</b> to lower edge of the eaves	6.4 m	
4.2.5.41.8	Maximum projection of a <b>garage face</b> beyond any portion of the first floor <b>front wall</b> or <b>exterior side wall</b> of a <b>detached dwelling</b>	0.0 m	
4.2.5.41.9	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	50% of the width of the <b>front wall</b> of the <b>detached dwelling</b>	
4.2.5.41.10	The width of the <b>front wall</b> of the <b>detached dwelling</b> in Sentence 4.2.5.41.9 shall be the total width of the parts of the <b>front wall</b> of the dwelling that face the <b>street</b>		
4.2.5.41.11	Vehicular access for Lot 1, shall only be permitted through the <b>exterior side yard</b> identified on Schedule R4-41 of this Exception		
4.2.5.41.12	All site development plans shall comply with Schedule R4-41 of this Exception		



Schedule R4-41  
Map 07



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**Part 4 - Residential Zones**

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4.2.5.42	Exception: R4-42	Map # 30	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
In a R4-42 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.5.42.1	Minimum <b>lot frontage - corner lot</b>		16.0 m
4.2.5.42.2	Minimum <b>front yard</b>		4.5 m
4.2.5.42.3	Minimum setback of all <b>buildings</b> and <b>structures</b> to all lands zoned PB1		10.0 m
4.2.5.42.4	Minimum setback of all <b>buildings</b> and <b>structures</b> to a <b>sight triangle</b>		0.0 m
4.2.5.42.5	Maximum <b>height</b>		11.0 m
4.2.5.42.6	Maximum encroachment of a <b>porch</b> or <b>balcony</b> into the required <b>front</b> or <b>exterior side yard</b>		2.0 m
4.2.5.42.7	A detached <b>garage</b> shall not be permitted		
4.2.5.42.8	Minimum setback to <b>garage face</b>		6.0 m

4.2.5.43	Exception: R4-43	Map # 55	By-law: 0181-2018/LPAT Order 2019 February 15
In a R4-43 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.5.43.1	Minimum <b>lot area - corner lot</b>	470 m <sup>2</sup>	
4.2.5.43.2	Minimum <b>lot frontage - corner lot</b>	15.2 m	
4.2.5.43.3	Minimum <b>exterior side yard</b>	4.0 m	
4.2.5.43.4	Maximum <b>lot coverage</b>	48%	
4.2.5.43.5	Minimum setback to <b>garage face</b>	4.0 m	
4.2.5.43.6	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	6.0 m	
4.2.5.43.7	Maximum <b>driveway</b> width	6.0 m	

4.2.5.44	Exception: R4-44	Map # 55	By-law: 0181-2018/LPAT Order 2019 February 15
In a R4-44 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.5.44.1	Minimum <b>lot area - corner lot</b>	470 m <sup>2</sup>	
4.2.5.44.2	Minimum <b>lot frontage - corner lot</b>	15.2 m	
4.2.5.44.3	Minimum <b>exterior side yard</b>	4.0 m	
4.2.5.44.4	Maximum <b>lot coverage</b>	48%	
4.2.5.44.5	Minimum setback to <b>garage face</b>	5.0 m	
4.2.5.44.6	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	6.0 m	
4.2.5.44.7	Maximum <b>driveway</b> width	6.0 m	

4.2.5.45	Exception: R4-45	Map # 13	By-law:
In a R4-45 zone the applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.5.45.1	Lands zoned R4-45 shall only be used for the following:		
	(1) Detached Dwelling or		
	(2) Medical Office - Restricted		
Regulations			
4.2.5.45.2	A medical office - restricted shall comply with the R4 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum number of physicians, dentists, drugless practitioners or health professionals permitted to practise	4

4.2.5.46	Exception: R4-46	Map # 20	By-law:
In a R4-46 zone the applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.5.46.1	Lands zoned R4-46 shall only be used for the following:		
	(1) Detached Dwelling or		
	(2) Medical office - restricted in a detached dwelling		
Regulations			
4.2.5.46.2	A medical office - restricted shall comply with the R4 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum number of physicians, dentists, drugless practitioners or health professionals permitted to practise	4

4.2.5.47	Exception: R4-47	Map # 23	By-law:
In a R4-47 zone the applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Permitted Use			
4.2.5.47.1	Lands zoned R4-47 shall only be used for the following:		
	(1) Detached Dwelling or		
	(2) Medical Office - Restricted		
Regulations			
4.2.5.47.2	A medical office - restricted shall comply with the R4 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	maximum number of physicians, dentists, drugless practitioners or health professionals permitted to practise	4
	(2)	all site development plans shall comply with Schedule R4-47 of this Exception	



Schedule R4-47  
Map 23

## Part 4 - Residential Zones

4.2.5.48	Exception: R4-48	Map # 27	By-law:
In a R4-48 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.5.48.1	Minimum <b>lot area - interior lot</b>		370 m <sup>2</sup>
4.2.5.48.2	Minimum <b>lot area - corner lot</b>		440 m <sup>2</sup>
4.2.5.48.3	Minimum <b>lot frontage - corner lot</b>		14.5 m
4.2.5.48.4	Minimum <b>interior side yard - interior lot</b>		1.2 m on one side and 0.61 m on the other side

4.2.5.49	Exception: R4-49	Map # 55	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
In a R4-49 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses/regulations</b> shall apply:			
Additional Permitted Use			
4.2.5.49.1	(1)	Linked Dwelling	
Regulations			
4.2.5.49.2	A <b>linked dwelling</b> shall comply with the R4 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum <b>lot frontage - corner lot</b>	15.0 m
	(2)	minimum <b>front yard</b>	4.5 m
	(3)	minimum <b>interior side yard - interior lot</b>	1.2 m
	(4)	minimum <b>interior side yard - interior lot</b> , for that part of a <b>lot</b> that adjoins a one <b>storey garage</b> or a wall of a main <b>building</b> containing no windows or doors into a <b>habitable room</b>	0.61 m
	(5)	minimum setback to <b>garage face</b>	6.0 m

4.2.5.50	Exception: R4-50	Map # 38W	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
In a R4-50 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.5.50.1	Minimum <b>lot area - interior lot</b>		320 m <sup>2</sup>
4.2.5.50.2	Minimum <b>lot area - corner lot</b>		400 m <sup>2</sup>
4.2.5.50.3	Minimum <b>lot frontage - interior lot</b>		12.8 m
4.2.5.50.4	Minimum <b>lot frontage - corner lot</b>		15.8 m
4.2.5.50.5	Minimum <b>front yard</b>		4.5 m
4.2.5.50.6	Minimum <b>interior side yard - interior lot</b>		1.2 m on one side and 0.61 m on the other side
4.2.5.50.7	Minimum <b>interior side yard - corner lot</b>		0.61 m
4.2.5.50.8	Minimum <b>rear yard</b>		6.0 m
4.2.5.50.9	Minimum setback to <b>garage face</b>		6.0 m

4.2.5.51	Exception: R4-51	Map # 19	By-law: 0379-2009
In a R4-51 zone the applicable regulations shall be as specified for a R4 zone except that the following uses/regulations shall apply:			
Permitted Uses			
4.2.5.51.1	Lands zoned R4-51 shall only be used for the following:		
	(1) Mobile home or land lease community home or any combination thereof, with accessory administrative facilities		
Regulations			
4.2.5.51.2	Maximum number of mobile homes and/or land lease community homes on all lands zoned R4-51		239
4.2.5.51.3	Access shall be permitted from lands zoned C3-23 and RA2-18		
4.2.5.51.4	"Mobile Home" means a <b>detached dwelling</b> that is designed to be made mobile, and constructed or manufactured to provide a permanent residence for one or more persons, but does not include a travel trailer or tent trailer or trailer otherwise designed		
4.2.5.51.5	"Land Lease Community Home" means a <b>detached dwelling</b> that is a permanent <b>structure</b> where the owner of the dwelling leases the land used or intended for use as the site for the dwelling, but does not include a mobile home		
4.2.5.51.6	"Administrative Facilities" means any <b>building</b> or <b>structure</b> that is accessory to the operation of mobile homes and land lease community homes		
4.2.5.51.7	Minimum number of <b>parking spaces</b> per mobile home or land lease community home		1.0

4.2.5.52	Exception: R4-52	Map # 32, 58, 59	By-law:
In a R4-52 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulation</b>			
4.2.5.52.1	Minimum <b>interior side yard - interior lot</b>	1.2 m on one side and 0.61 m on the other side	

4.2.5.53	Exception: R4-53	Map # 27	By-law:
In a R4-53 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.5.53.1	Minimum <b>exterior side yard</b>	4.0 m	
4.2.5.53.2	Minimum <b>interior side yard - interior lot</b>	1.2 m on one side and 0.61 m on the other side	
4.2.5.53.3	Minimum <b>interior side yard - corner lot</b>	0.9 m	

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**Part 4 - Residential Zones**

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4.2.5.54	Exception: R4-54	Map # 39E	By-law: 0379-2009, 0181-2018/LPAT Order 2019 February 15
In a R4-54 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.5.54.1	Minimum <b>lot area - interior lot</b>		350 m <sup>2</sup>
4.2.5.54.2	Minimum <b>lot area - corner lot</b>		435 m <sup>2</sup>
4.2.5.54.3	Minimum <b>lot frontage - interior lot</b>		13.6 m
4.2.5.54.4	Maximum <b>lot coverage</b>		45%
4.2.5.54.5	Minimum <b>front yard</b>		4.5 m
4.2.5.54.6	Minimum <b>interior side yard - interior lot</b>		1.2 m on one side and 0.61 m on the other side
4.2.5.54.7	Maximum <b>driveway</b> width		6.0 m
4.2.5.54.8	Each <b>detached dwelling</b> shall have an attached <b>garage</b>		
4.2.5.54.9	Minimum setback to <b>garage face</b>		6.0 m

4.2.5.55	Exception: R4-55	Map # 31	By-law: 0325-2008
In a R4-55 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.5.55.1	Minimum <b>lot frontage - interior lot</b>		14.0 m
4.2.5.55.2	Minimum <b>lot frontage - corner lot</b>		18.5 m
4.2.5.55.3	Maximum <b>lot coverage</b>		35%
4.2.5.55.4	Minimum <b>interior side yard</b> of all <b>buildings</b> and <b>structures</b> and <b>swimming pools</b> where lands abut a G1 zone		3.0 m
4.2.5.55.5	Minimum setback of a <b>swimming pool</b> to the <b>rear lot line</b> where lands abut a G1 zone		3.0 m

4.2.5.56	Exception: R4-56	Map # 32	By-law:
In a R4-56 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulation</b>			
4.2.5.56.1	Minimum <b>front yard</b>		1.5 m

4.2.5.57	Exception: R4-57	Map # 19	By-law:
In a R4-57 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.5.57.1	Minimum <b>lot area - interior lot</b>		362 m <sup>2</sup>
4.2.5.57.2	Minimum <b>lot frontage - interior lot</b>		14.9 m

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**Part 4 - Residential Zones**

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4.2.5.58	Exception: R4-58	Map # 20	By-law: 0325-2008
In a R4-58 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulation</b>			
4.2.5.58.1	Minimum <b>lot area - interior lot</b>		350 m <sup>2</sup>

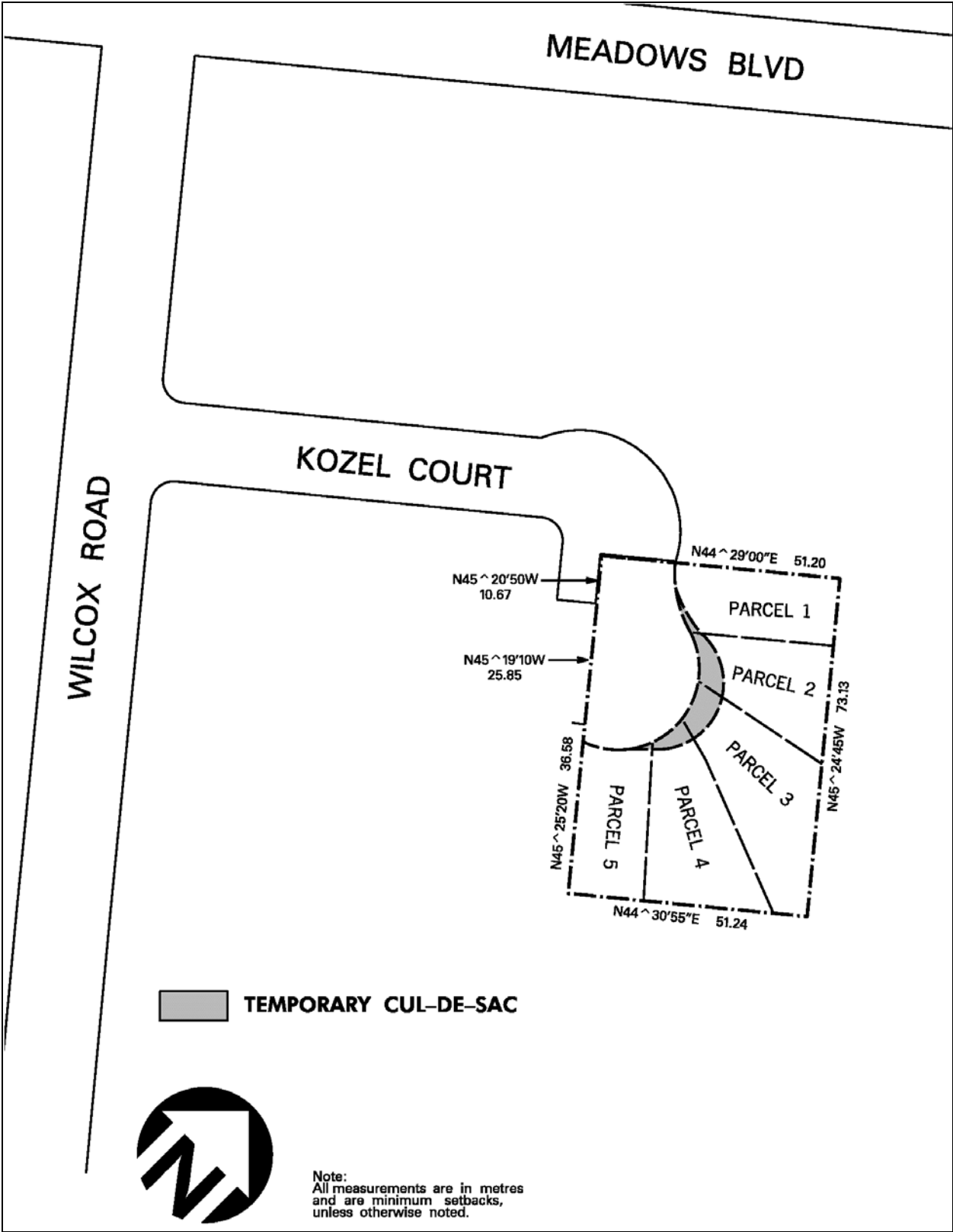
4.2.5.59	Exception: R4-59	Map # 20	By-law: 0325-2008
In a R4-59 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.5.59.1	Minimum <b>lot area - interior lot</b>		317 m <sup>2</sup>
4.2.5.59.2	Minimum <b>interior side yard - interior lot</b>		0.61 m

4.2.5.60	Exception: R4-60	Map # 19	By-law: OMB Order 2008 March 27, 0196-2010, 0144-2016
In a R4-60 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.5.60.1	The regulations of Lines 6.3, 6.4 and 7.1 contained in Table 4.2.1 of this By-law shall not apply		
4.2.5.60.2	Minimum <b>lot area - interior lot</b>		325 m <sup>2</sup>
4.2.5.60.3	Minimum <b>lot area - corner lot</b>		325 m <sup>2</sup>
4.2.5.60.4	Minimum <b>lot frontage - corner lot</b>		12.0 m
4.2.5.60.5	Minimum <b>front yard</b>		3.75 m
4.2.5.60.6	Minimum <b>exterior side yard</b>		1.2 m
4.2.5.60.7	Maximum <b>height</b>		11.0 m
4.2.5.60.8	Maximum projection of a <b>porch, deck</b> or a <b>balcony</b> , exceeding 0.61 m in height above grade at any point, from the rear wall of a dwelling		1.83 m
4.2.5.60.9	Maximum area of a <b>porch, deck</b> or a <b>balcony</b> , excluding stairs, identified in Sentence 4.2.5.60.8 of this Exception		6.2 m <sup>2</sup>
4.2.5.60.10	Article 4.1.5.2 and/or Article 4.1.5.7 of this By-law shall apply to a <b>porch</b> or <b>deck</b> 0.61 m or less in height above grade at any point		
4.2.5.60.11	Article 4.1.5.10 of this By-law shall not apply to a <b>balcony</b> in the <b>rear yard</b>		

4.2.5.61	Exception: R4-61	Map # 30	By-law: 0184-2008, 0379-2009, 0181-2018/LPAT Order 2019 February 15
In a R4-61 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.5.61.1	Minimum <b>lot area</b> - <b>corner lot</b>		460 m <sup>2</sup>
4.2.5.61.2	Minimum <b>lot frontage</b> - <b>interior lot</b>		12.2 m
4.2.5.61.3	Minimum <b>lot frontage</b> - <b>corner lot</b>		15.2 m
4.2.5.61.4	Maximum <b>lot coverage</b>		45%
4.2.5.61.5	Minimum <b>front yard</b> - <b>interior lot</b>		4.5 m
4.2.5.61.6	Minimum <b>front yard</b> - <b>corner lot</b>		4.5 m
4.2.5.61.7	Minimum <b>exterior side yard</b>		4.2 m
4.2.5.61.8	Minimum <b>interior side yard</b> - <b>interior lot</b>		1.2 m on one side and 0.61 m on the other side
4.2.5.61.9	Minimum <b>interior side yard</b> - <b>corner lot</b>		0.61 m
4.2.5.61.10	Minimum setback to a <b>sight triangle</b>		0.0 m
4.2.5.61.11	Maximum <b>height</b>		11.0 m
4.2.5.61.12	Maximum encroachment of a <b>porch</b> or a <b>balcony</b> into the required <b>front yard</b> or <b>exterior side yard</b>		2.0 m
4.2.5.61.13	Maximum area of a <b>balcony</b> on top of an attached <b>garage</b>		12 m <sup>2</sup>
4.2.5.61.14	A detached <b>garage</b> shall not be permitted		
4.2.5.61.15	Minimum setback to <b>garage face</b>		6.0 m

4.2.5.62	Exception: R4-62	Map # 28	By-law: 0218-2009
In a R4-62 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulation</b>			
4.2.5.62.1	Each lot, comprised of a parcel and a portion of the temporary cul-de-sac as identified on Schedule R4-62 of this Exception, shall be considered a <b>lot</b> for the purposes of this By-law		



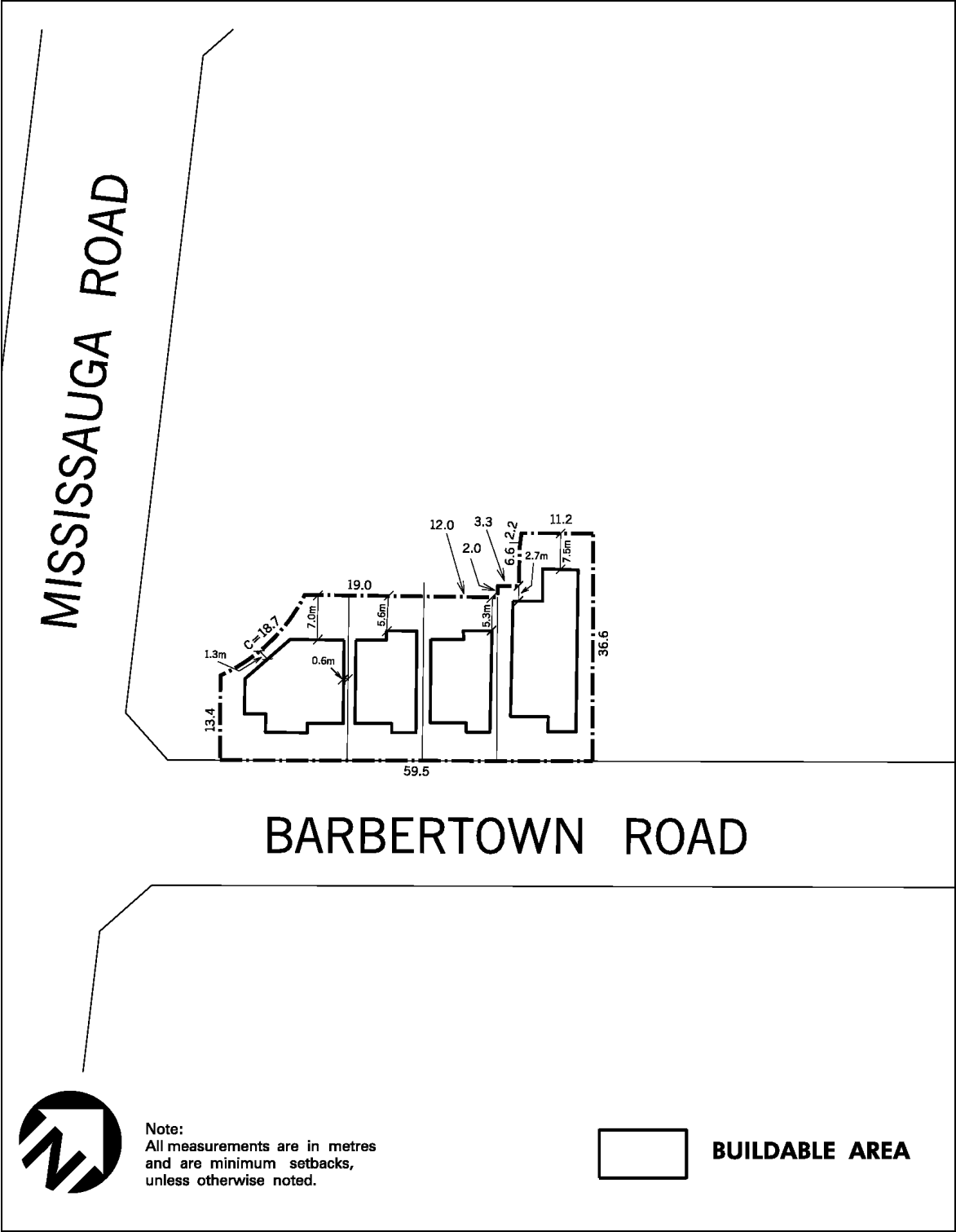


Schedule R4-62  
Map 28

4.2.5.63	Exception: R4-63	Map #	By-law:

4.2.5.64	Exception: R4-64	Map # 48E, 48W	By-law: 0225-2016
In a R4-64 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.5.64.1	Maximum <b>lot coverage</b>	35%	
4.2.5.64.2	Minimum <b>interior side yard</b>	1.2 m + 0.61 m for each additional <b>storey</b> or portion thereof above one <b>storey</b>	
4.2.5.64.3	Maximum <b>height - highest ridge: sloped roof</b>	9.0 m	
4.2.5.64.4	Maximum <b>height: flat roof</b>	7.5 m	
4.2.5.64.5	Maximum height of eaves: from <b>average grade</b> to lower edge of the eaves	6.4 m	
4.2.5.64.6	Maximum <b>gross floor area - infill residential</b>	150 m <sup>2</sup> plus 0.2 times the <b>lot area</b>	
4.2.5.64.7	<b>Garage</b> projection: maximum projection of the <b>garage</b> beyond the <b>front wall</b> or <b>exterior side wall</b> of the <b>first storey</b>	2.0 m	
4.2.5.64.8	Maximum <b>dwelling unit depth</b>	20.0 m	

4.2.5.65	Exception: R4-65	Map # 38W	By-law: LPAT Order 2019 February 08, 0128-2020
In a R4-65 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.2.5.65.1	The regulation of Line 12.4 contained in Table 4.2.1 of this By-law shall not apply		
4.2.5.65.2	Minimum <b>lot area - interior lot</b>		315 m <sup>2</sup>
4.2.5.65.3	Maximum <b>lot coverage</b>		47%
4.2.5.65.4	Minimum <b>front yard</b>		4.5 m
4.2.5.65.5	All site development plans shall comply with Schedule R4-65 of this Exception		



Schedule R4-65  
Map 38W

4.2.5.66	Exception: R4-66	Map # 13	By-law: 0198-2019
In a R4-66 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.5.66.1	Maximum number of <b>dwelling units</b> on all lands zoned R4-66	8	
4.2.5.66.2	Minimum <b>lot area - interior lot</b>	295 m <sup>2</sup>	
4.2.5.66.3	Minimum <b>lot area - corner lot</b>	345 m <sup>2</sup>	
4.2.5.66.4	The <b>lot line</b> abutting Primate Road shall be deemed to be the <b>front lot line</b>		
4.2.5.66.5	Minimum <b>front yard</b>	6.5 m	
4.2.5.66.6	Minimum setback to the <b>garage face</b>	8.0 m	
4.2.5.66.7	Minimum <b>exterior side yard</b>	3.0 m	
4.2.5.66.8	Maximum <b>height - highest ridge: sloped roof</b>	11.2 m	
4.2.5.66.9	Maximum <b>dwelling unit depth</b>	12.0 m	
4.2.5.66.10	Maximum encroachment of a <b>porch</b> , inclusive of stairs into the required <b>front yard</b>	1.5 m	

4.2.5.67	Exception: R4-67	Map # 15	By-law: 0132-2019
In a R4-67 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a R4 zone except that the following <b>uses</b> /regulations shall apply:			
<b>Regulations</b>			
4.2.5.67.1	Minimum <b>lot frontage - interior lot</b>	11.0 m	
4.2.5.67.2	Maximum <b>lot coverage</b>	43%	