

**4.11 RM5 ZONE  
(STREET TOWNHOUSES)**

**4.11.1 RM5 Permitted Uses and Zone Regulations**

All **buildings** and **structures** shall comply with the provisions contained in Parts 1 to 3 and Section 4.1 of this By-law, and the **uses** and zone regulations specified within the applicable zone column contained in Table 4.11.1 - RM5 Permitted Uses and Zone Regulations.

**Table 4.11.1 - RM5 Permitted Uses and Zone Regulations**

Column	A	B
Line 1.0	ZONES	RM5
<b>PERMITTED USES</b>		
<b>2.0</b>	RESIDENTIAL	
2.1	<b>Street Townhouse</b> <i>(0181-2018/LPAT Order 2019 February 15)</i>	✓
<b>ZONE REGULATIONS</b>		
<b>3.0</b>	<b>MINIMUM LOT AREA</b>	
3.1	<b>Interior lot</b>	200 m <sup>2</sup>
3.2	<b>Corner lot</b>	280 m <sup>2</sup>
<b>4.0</b>	<b>MINIMUM LOT FRONTAGE</b>	
4.1	<b>Interior lot</b>	6.8 m
4.2	<b>Corner lot</b>	9.8 m
<b>5.0</b>	<b>MINIMUM FRONT YARD</b>	4.5 m <sup>(1)</sup>
5.1	<b>Garage face</b> <i>(0181-2018/LPAT Order 2019 February 15)</i>	6.0 m
<b>6.0</b>	<b>MINIMUM EXTERIOR SIDE YARD</b>	4.5 m <sup>(1)</sup>
6.1	<b>Garage face</b> <i>(0181-2018/LPAT Order 2019 February 15)</i>	6.0 m
<b>7.0</b>	<b>MINIMUM INTERIOR SIDE YARD</b>	
7.1	<b>Attached side</b>	0.0 m
7.2	Unattached side	1.5 m <sup>(1)</sup>
7.3	Attached <b>garage</b> - unattached side	1.2 m <sup>(1)</sup>
<b>8.0</b>	<b>MINIMUM REAR YARD</b>	7.5 m <sup>(1)</sup>
<b>9.0</b>	<b>MAXIMUM HEIGHT</b> <i>(0174-2017)</i>	10.7 m and 3 <b>storeys</b>
<b>10.0</b>	<b>MINIMUM LANDSCAPED AREA</b>	25% of the <b>lot area</b>
<b>11.0</b>	<b>MAXIMUM GROSS FLOOR AREA - RESIDENTIAL</b>	0.75 times the <b>lot area</b>
<b>12.0</b>	<b>ATTACHED GARAGE, PARKING AND DRIVEWAY</b>	
12.1	Attached <b>garage</b>	Required <sup>(2)</sup>
12.2	Minimum <b>parking spaces</b>	✓ <sup>(3) (4)</sup>
12.3	Maximum <b>driveway width</b>	5.2 m <sup>(4)</sup>
<b>13.0</b>	<b>ACCESSORY BUILDINGS AND STRUCTURES</b>	✓ <sup>(5)</sup>

**NOTES:** (1) See also Subsections 4.1.7 and 4.1.8 of this By-law.

(2) See also Subsection 4.1.12 of this By-law.

(3) See also Part 3 of this By-law.

(4) See also Subsection 4.1.9 of this By-law.

(5) See Subsection 4.1.2 of this By-law.



**4.11.2 RM5 Exception Zones**

Refer to Article 1.1.2.3 - Exception Zones and Exception Zone Schedules

4.11.2.1	Exception: RM5-1	Map # 21	By-law:
In a RM5-1 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.1.1	<b>Minimum lot frontage</b>	6.0 m	
4.11.2.1.2	<b>Minimum front yard</b>	7.5 m	
4.11.2.1.3	<b>Minimum exterior side yard</b>	7.5 m	
4.11.2.1.4	<b>Minimum interior side yard</b>	3.0 m	
4.11.2.1.5	<b>Minimum rear yard</b>	10.5 m	

4.11.2.2	Exception: RM5-2	Map # 16, 17	By-law:
In a RM5-2 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.11.2.2.1	(1) <b>Linked Dwelling</b>		

4.11.2.3	Exception: RM5-3	Map # 09, 10, 28, 38E	By-law: 0174-2017
In a RM5-3 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Uses</b>			
4.11.2.3.1	(1) <b>Detached Dwelling</b>		
	(2) <b>Semi-Detached</b>		
<b>Regulations</b>			
4.11.2.3.2	<b>A detached dwelling</b> shall comply with the R5 zone regulations contained in Subsection 4.2.1 of this By-law		
4.11.2.3.3	<b>A semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law		

4.11.2.4	Exception: RM5-4	Map # 16	By-law:
In a RM5-4 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulation</b>			
4.11.2.4.1	<b>Minimum rear yard - interior lot</b>		15.0 m

## **Part 4 - Residential Zones**

4.11.2.5	Exception: RM5-5	Map # 28, 39E	By-law: 0174-2017
In a RM5-5 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Uses</b>			
4.11.2.5.1      (1) <b>Detached Dwelling</b> (2) <b>Semi-Detached</b>			
<b>Regulations</b>			
4.11.2.5.2	A <b>detached dwelling</b> shall comply with the R5 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)    minimum <b>lot area - interior lot</b>	275 m <sup>2</sup>	
	(2)    minimum <b>lot frontage - interior lot</b>	9.0 m	
4.11.2.5.3	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law		

4.11.2.6	Exception: RM5-6	Map # 30	By-law:
In a RM5-6 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.6.1	<b>Minimum lot area - interior lot</b>		275 m <sup>2</sup>
4.11.2.6.2	<b>Minimum lot area - corner lot</b>		395 m <sup>2</sup>
4.11.2.6.3	<b>Minimum lot frontage - interior lot</b>		9.0 m
4.11.2.6.4	<b>Minimum lot frontage - corner lot</b>		13.0 m
4.11.2.6.5	<b>Minimum front yard</b>		6.0 m
4.11.2.6.6	<b>Minimum setback from a habitable room to the street line</b>		10.0 m

4.11.2.7	Exception: RM5-7	Map # 28	By-law: 0174-2017
In a RM5-7 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.11.2.7.1 (1) <b>Semi-Detached</b>			
<b>Regulations</b>			
4.11.2.7.2	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
(1)	<b>minimum lot area - interior lot</b>	240 m <sup>2</sup>	
(2)	<b>minimum lot area - corner lot</b>	375 m <sup>2</sup>	
(3)	<b>minimum lot frontage - interior lot</b>	8.0 m	
(4)	<b>minimum lot frontage - corner lot</b>	12.5 m	

4.11.2.8	Exception: RM5-8	Map # 37E	By-law:
In a RM5-8 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.11.2.8.1 (1) <b>Detached Dwelling</b>			
<b>Regulations</b>			
4.11.2.8.2 A <b>detached dwelling</b> shall comply with the R5 zone regulations contained in Subsection 4.2.1 of this By-law except that:			
(1) minimum <b>lot area - interior lot</b> 275 m <sup>2</sup>			
(2) maximum <b>lot coverage</b> 45%			

4.11.2.9	Exception: RM5-9	Map # 37W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-9 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.11.2.9.1 (1) <b>Semi-Detached</b>			
<b>Regulations</b>			
4.11.2.9.2 <b>Street Townhouse:</b>			
(1) minimum <b>rear yard</b> - where a <b>lot</b> includes a <b>natural protection area</b> , shall be measured from the <b>natural protection area</b> identified on Schedule RM5-9 of this Exception and not from the <b>rear lot line</b>			
(2) the area identified on Schedule RM5-9 of this Exception as a <b>natural protection area</b> shall comply with the following:			
(2.1) the <b>natural protection area</b> shall only be used for the protection and natural regeneration of the <b>existing</b> woodlot, including trees and vegetation, together with the planting of trees and vegetation intended to ensure the retention of the <b>existing</b> woodlot			
(2.2) all <b>buildings</b> and <b>structures</b> , <b>swimming pools</b> , tennis courts or any like recreational or other facilities shall not be permitted within the <b>natural protection area</b>			
(2.3) outdoor storage of equipment and materials shall not be permitted within the <b>natural protection area</b>			
(2.4) fencing shall only be permitted on the perimeter of the <b>natural protection area</b> and not within the <b>natural protection area</b>			
(3) all site development plans shall comply with Schedule RM5-9 of this Exception			

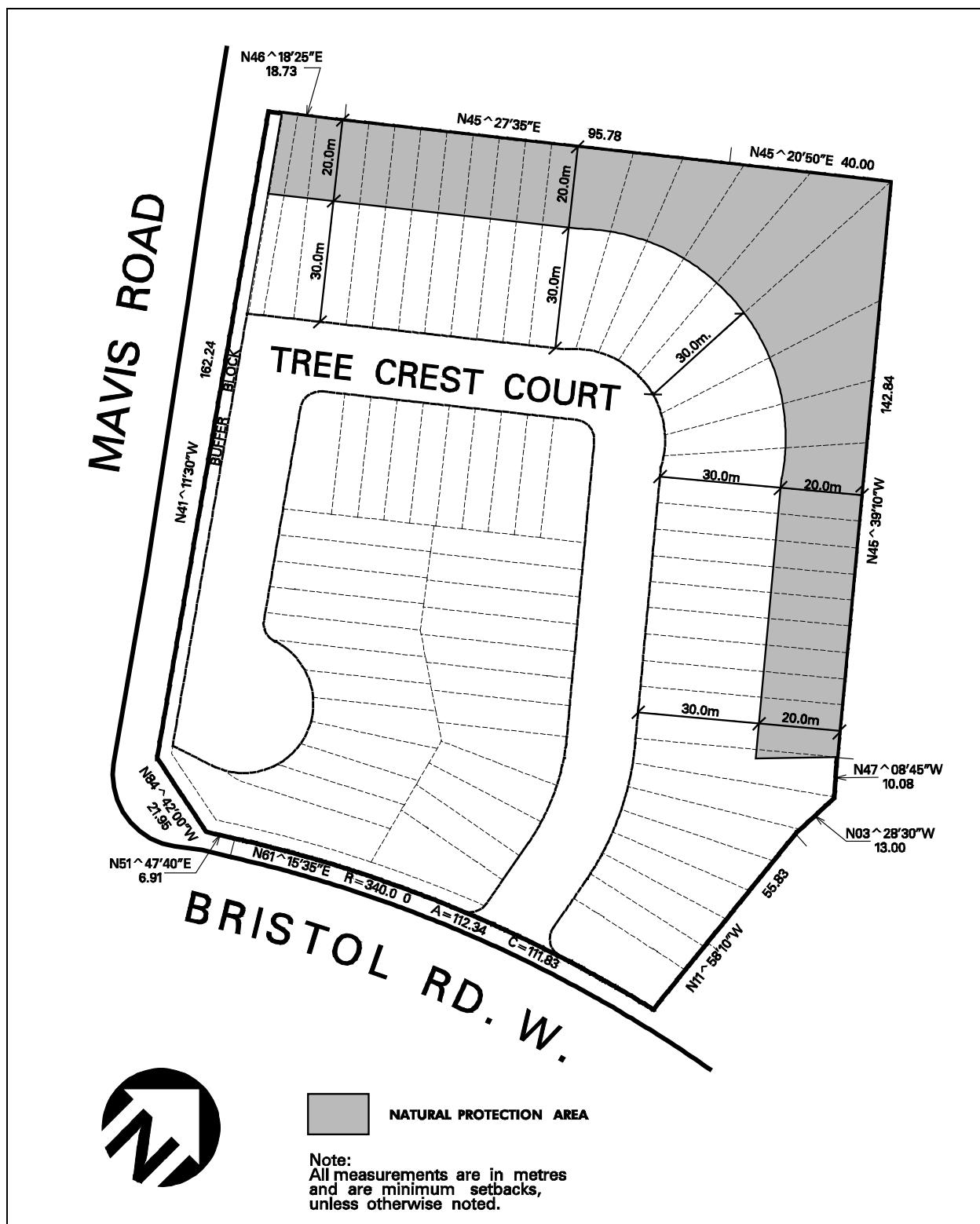
**Exception RM5-9 continued on next page**

4.11.2.9	Exception: RM5-9	Map # 37W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
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### **Exception RM5-9 continued from previous page**

4.11.2.9.3 A **semi-detached** shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:

- (1) the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply
- (2) minimum **lot area - interior lot** 195 m<sup>2</sup>
- (3) minimum **lot frontage - interior lot** 6.5 m
- (4) maximum **gross floor area - residential** 0.75 times the **lot area**
- (5) minimum **rear yard** - where a **lot** includes a **natural protection area**, shall be measured from the **natural protection area** identified on Schedule RM5-9 of this Exception and not from the **rear lot line**
- (6) the area identified on Schedule RM5-9 of this Exception as a **natural protection area** shall comply with the following:
  - (6.1) the **natural protection area** shall only be used for the protection and natural regeneration of the **existing** woodlot, including trees and vegetation, together with the planting of trees and vegetation intended to ensure the retention of the **existing** woodlot
  - (6.2) all **buildings** and **structures**, **swimming pools**, tennis courts or any like recreational or other facilities shall not be permitted within the **natural protection area**
  - (6.3) outdoor storage of equipment and materials shall not be permitted within the **natural protection area**
  - (6.4) fencing shall only be permitted on the perimeter of the **natural protection area** and not within the **natural protection area**
- (7) all site development plans shall comply with Schedule RM5-9 of this Exception



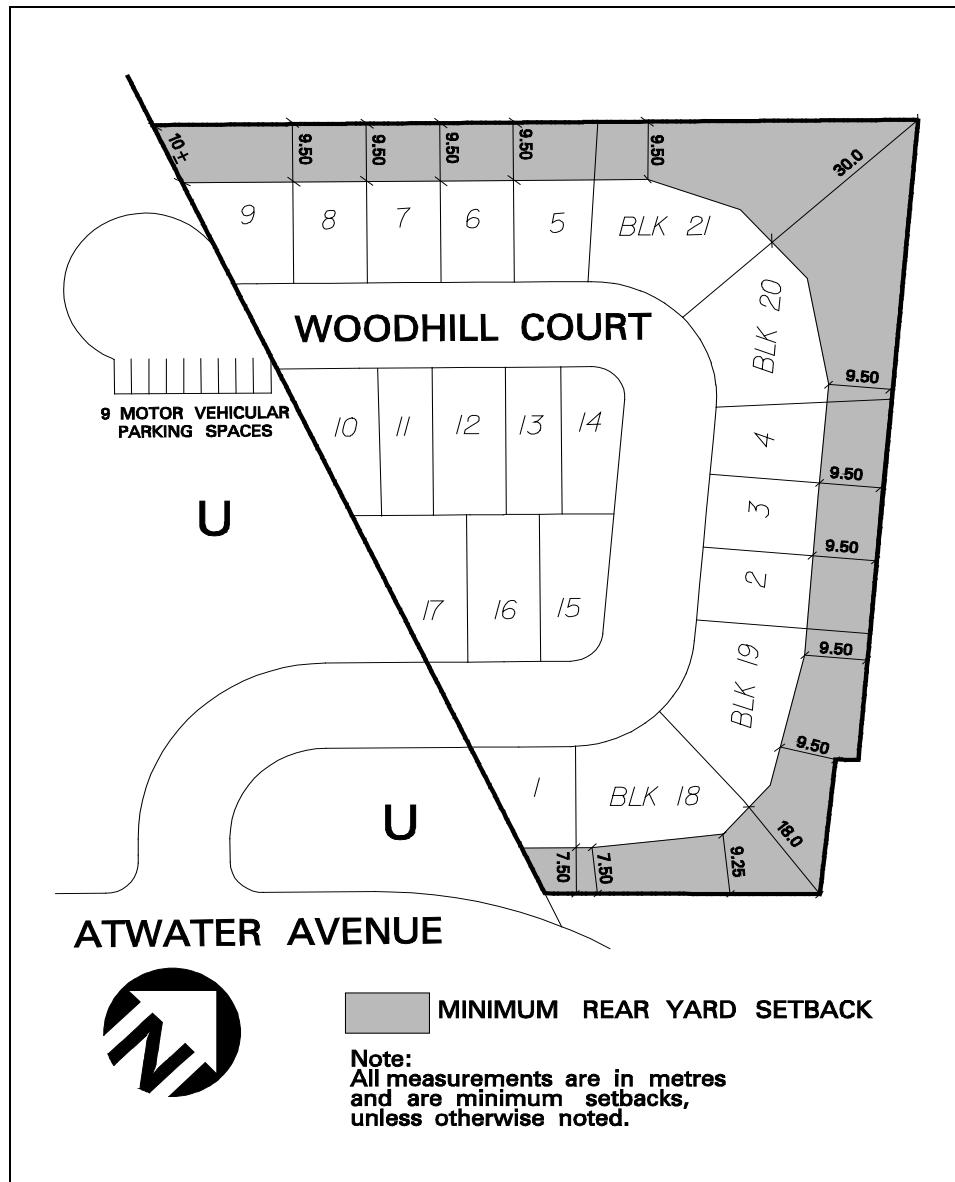
Schedule RM5-9  
Map 37W

4.11.2.10	Exception: RM5-10	Map # 06	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-10 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Uses</b>			
4.11.2.10.1      (1) <b>Detached Dwelling</b> (2) <b>Semi-Detached</b>			
<b>Regulations</b>			
4.11.2.10.2	<b>Street Townhouse:</b>		
	(1)	minimum <b>lot area - interior lot</b>	100 m <sup>2</sup>
	(2)	minimum <b>lot frontage - interior lot</b>	4.0 m
	(3)	maximum <b>lot coverage</b>	55%
	(4)	minimum setback to <b>garage face</b>	4.5 m
	(5)	minimum <b>interior side yard</b> - unattached side	1.2 m
	(6)	minimum <b>rear yard</b> unless otherwise identified on Schedule RM5-10 of this Exception	7.5 m
	(7)	minimum <b>parking spaces per dwelling unit</b> , one of which may be partially located on adjacent lands zoned U	3
	(8)	maximum <b>driveway width</b>	3.0 m
	(9)	all site development plans shall comply with Schedule RM5-10 of this Exception	
4.11.2.10.3	A <b>detached dwelling</b> shall comply with the R5 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1)	minimum <b>lot area - interior lot</b>	190 m <sup>2</sup>
	(2)	minimum <b>lot area - corner lot</b>	210 m <sup>2</sup>
	(3)	minimum <b>lot frontage - interior lot</b>	8.0 m
	(4)	minimum <b>lot frontage - corner lot</b>	9.5 m
	(5)	minimum <b>exterior side yard</b>	1.4 m
	(6)	minimum setback to <b>garage face</b>	4.5 m
	(7)	minimum <b>interior side yard</b> - unattached side	0.6 m
	(8)	minimum <b>rear yard</b> unless otherwise identified on Schedule RM5-10 of this Exception	7.5 m
	(9)	minimum <b>parking spaces per dwelling unit</b> , one of which may be partially located on adjacent lands zoned U	3
	(10)	all site development plans shall comply with Schedule RM5-10 of this Exception	

**Exception RM5-10 continued on next page**

## Part 4 - Residential Zones

4.11.2.10	Exception: RM5-10	Map # 06	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
<b>Exception RM5-10 continued from previous page</b>			
4.11.2.10.4	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
(1)	the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply		
(2)	minimum <b>lot area - interior lot</b>	130 m <sup>2</sup>	
(3)	minimum <b>lot frontage - interior lot</b>	5.2 m	
(4)	maximum <b>lot coverage</b>	40%	
(5)	minimum setback to <b>garage face</b>	4.5 m	
(6)	minimum <b>interior side yard</b> - unattached side	1.2 m	
(7)	minimum <b>rear yard</b> unless otherwise identified on Schedule RM5-10 of this Exception	7.5 m	
(8)	minimum <b>parking spaces per dwelling unit</b> , one of which may be partially located on adjacent lands zoned U	3	
(9)	maximum <b>driveway width</b>	3.8 m	
(10)	all site development plans shall comply with Schedule RM5-10 of this Exception		



**Schedule RM5-10**  
Map 06

## Part 4 - Residential Zones

4.11.2.11	Exception: RM5-11	Map # 36E, 56	By-law:
In a RM5-11 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.11.1	Minimum <b>lot area - interior lot</b>		165 m <sup>2</sup>
4.11.2.11.2	Minimum <b>lot frontage - interior lot</b>		5.5 m
4.11.2.11.3	Maximum <b>gross floor area - residential</b>		1.0 times the <b>lot area</b>

4.11.2.12	Exception: RM5-12	Map # 37W, 38E, 53E, 53W, 56	By-law: 0174-2017
In a RM5-12 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.11.2.12.1	(1) <b>Semi-Detached</b>		

4.11.2.13	Exception: RM5-13	Map # 37W, 38E, 55, 56	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-13 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Uses</b>			
4.11.2.13.1	(1) <b>Detached Dwelling</b> (2) <b>Semi-Detached</b>		
<b>Regulations</b>			
4.11.2.13.2	<b>Street Townhouse:</b>		
	(1) minimum <b>rear yard</b> - where lands abut a B zone		15.0 m
4.11.2.13.3	A <b>detached dwelling</b> shall comply with the R5 zone regulations contained in Subsection 4.2.1 of this By-law except that:		
	(1) minimum <b>rear yard</b> - where lands abut a B zone		15.0 m
4.11.2.13.4	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1) the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply		
	(2) maximum <b>gross floor area - residential</b>	0.75 times the <b>lot area</b>	
	(3) minimum <b>rear yard</b> - where lands abut a B zone		15.0 m

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4.11.2.14	Exception: RM5-14	Map # 45E	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM5-14 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.14.1	The <b>lot line</b> abutting a <b>street</b> with a width of 20.0 m or greater shall be deemed to be the <b>front lot line</b>		
4.11.2.14.2	Minimum <b>exterior side yard</b>	3.3 m	
4.11.2.14.3	A detached <b>garage</b> shall be permitted only in the <b>rear yard</b>		
4.11.2.14.4	Minimum setback from a detached <b>garage</b> to the <b>rear lot line</b>	5.2 m	
4.11.2.14.5	Minimum setback from a detached <b>garage</b> located in the <b>rear yard</b> to a <b>street townhouse</b>	7.5 m	

4.11.2.15	Exception: RM5-15	Map # 53W	By-law:
In a RM5-15 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.15.1	Minimum <b>lot area - interior lot</b>	180 m <sup>2</sup>	
4.11.2.15.2	Minimum <b>lot area - corner lot</b>	250 m <sup>2</sup>	
4.11.2.15.3	Minimum <b>exterior side yard</b>	3.6 m	
4.11.2.15.4	Maximum encroachment of a <b>porch</b> into the required <b>front</b> and <b>exterior side yards</b>	1.8 m	
4.11.2.15.5	Minimum length of a <b>parking space</b> located on a <b>driveway</b> where lands abut a G2-1 zone	4.5 m	
4.11.2.15.6	Minimum length of a <b>parking space</b> located on a <b>driveway</b> - all other <b>lots</b>	5.5 m	

4.11.2.16	Exception: RM5-16	Map # 53E, 53W	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM5-16 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.16.1	Minimum <b>lot area - interior lot</b>	240 m <sup>2</sup>	
4.11.2.16.2	Minimum <b>lot area - corner lot</b>	330 m <sup>2</sup>	
4.11.2.16.3	Minimum <b>lot frontage - interior lot</b>	8.0 m	
4.11.2.16.4	Minimum <b>lot frontage - corner lot</b>	11.0 m	
4.11.2.16.5	Minimum <b>front yard</b>	3.6 m	
4.11.2.16.6	Minimum <b>exterior side yard</b>	3.6 m	
4.11.2.16.7	Minimum setback to <b>garage face</b>	5.5 m	
4.11.2.16.8	Minimum <b>interior side yard</b> - unattached side	1.5 m	
4.11.2.16.9	Maximum encroachment of a <b>porch</b> into the required <b>front</b> and <b>exterior side yards</b>	1.8 m	
4.11.2.16.10	Minimum setback of a <b>street townhouse</b> to all lands zoned G2-1	7.5 m	

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4.11.2.17	Exception: RM5-17	Map # 22	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-17 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.11.2.17.1 (1) <b>Semi-Detached</b>			
<b>Regulations</b>			
4.11.2.17.2 <b>Street Townhouse:</b>			
(1) minimum setback to <b>garage face</b>			7.0 m
4.11.2.17.3 A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:			
(1) the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply			
(2) minimum <b>exterior side yard</b>			3.5 m
(3) maximum <b>driveway</b> width			5.5 m
(4) minimum setback to <b>garage face</b>			7.0 m

4.11.2.18	Exception: RM5-18	Map # 22	By-law: 0174-2017
In a RM5-18 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.11.2.18.1 (1) <b>Semi-Detached</b>			
<b>Regulation</b>			
4.11.2.18.2 A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:			
(1) minimum <b>exterior side yard</b>			3.5 m

4.11.2.19	Exception: RM5-19	Map # 38E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-19 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.11.2.19.1 (1) <b>Semi-Detached</b>			
<b>Regulations</b>			
4.11.2.19.2	<b>Street Townhouse:</b>		
(1)	minimum <b>lot area</b>	200 m <sup>2</sup>	
(2)	minimum <b>lot frontage</b>	10.0 m	
(3)	minimum <b>front yard</b>	3.0 m	
(4)	minimum <b>exterior side yard</b>	1.8 m	
(5)	maximum encroachment of a window into required <b>front and exterior side yards</b>	0.3 m	
(6)	maximum encroachment of an attached <b>garage</b> into the required <b>rear yard</b>	1.0 m	
(7)	maximum <b>driveway width</b>	5.5 m	
4.11.2.19.3	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
(1)	the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply		
(2)	minimum <b>lot area</b>	200 m <sup>2</sup>	
(3)	minimum <b>lot frontage</b>	10.0 m	
(4)	maximum <b>gross floor area - residential</b>	0.75 times the <b>lot area</b>	
(5)	minimum <b>front yard</b>	3.0 m	
(6)	minimum <b>exterior side yard</b>	1.8 m	
(7)	minimum <b>interior side yard</b> - unattached side	1.5 m	
(8)	maximum encroachment of a window into required <b>front and exterior side yards</b>	0.3 m	
(9)	maximum encroachment of an attached <b>garage</b> into the required <b>rear yard</b>	1.0 m	
(10)	maximum <b>driveway width</b>	5.5 m	

## Part 4 - Residential Zones

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4.11.2.20	Exception: RM5-20	Map # 22	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-20 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.11.2.20.1 (1) <b>Semi-Detached</b>			
<b>Regulations</b>			
4.11.2.20.2 <b>Street Townhouse:</b>			
(1) minimum setback to <b>garage face</b> 7.0 m			
4.11.2.20.3 A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:			
(1) the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply			
(2) maximum <b>gross floor area - residential</b> 0.75 times the <b>lot area</b>			
(3) minimum setback to <b>garage face</b> 7.0 m			

4.11.2.21	Exception: RM5-21	Map # 57, 58	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM5-21 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.21.1 The regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply			
4.11.2.21.2 Minimum <b>lot area - interior lot</b> 183 m <sup>2</sup>			
4.11.2.21.3 Minimum <b>lot area - corner lot</b> 292 m <sup>2</sup>			
4.11.2.21.4 Minimum <b>lot frontage - interior lot</b> 6.1 m			
4.11.2.21.5 Minimum <b>lot frontage - corner lot</b> 9.75 m			
4.11.2.21.6 Minimum <b>front yard - lots</b> without a municipal sidewalk 3.5 m adjacent the <b>front lot line</b>			
4.11.2.21.7 Minimum <b>exterior side yard - lots</b> without a municipal sidewalk 3.5 m adjacent the <b>exterior side lot line</b>			
4.11.2.21.8 Minimum setback to <b>garage face</b> 5.8 m			
4.11.2.21.9 Minimum <b>interior side yard</b> - unattached side 1.2 m			
4.11.2.21.10 Maximum encroachment of a <b>porch or balcony</b> into the required <b>front and exterior side yards</b> 2.0 m			
4.11.2.21.11 Maximum encroachment of an awning into the required <b>front yard</b> 0.6 m			
4.11.2.21.12 Maximum encroachment of an awning into the required <b>exterior side yard</b> 0.3 m			
4.11.2.21.13 Maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided 2.5 m			
4.11.2.21.14 Where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b> 5.0 m			

**Exception RM5-21 continued on next page**

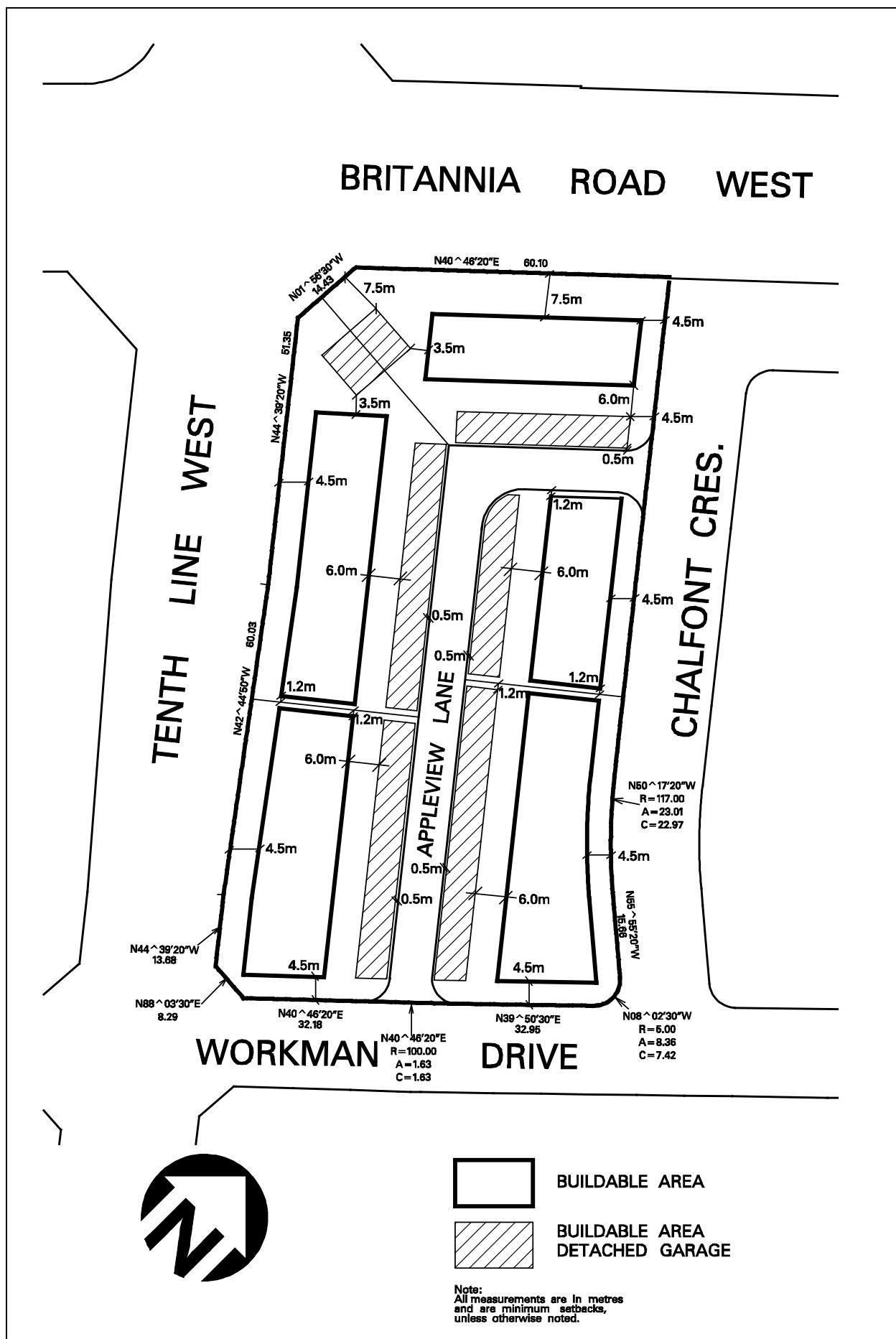
4.11.2.21	Exception: RM5-21	Map # 57, 58	By-law: 0181-2018/LPAT Order 2019 February 15
<b>Exception RM5-21 continued from previous page</b>			
4.11.2.21.15	For a <b>street townhouse</b> more than one <b>storey in height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>		
4.11.2.21.16	Minimum setback to a <b>sight triangle</b>	0.0 m	
4.11.2.21.17	Maximum <b>driveway width</b>	3.8 m	
4.11.2.21.18	Maximum <b>garage width</b> : measured from the inside face of the <b>garage</b> side walls	3.8 m	

4.11.2.22	Exception: RM5-22(1), RM5-22(2), RM5-22(3), RM5-22(4), RM5-22(5), RM5-22(6), RM5-22(7), RM5-22(8)	Map # 57, 58	By-law:
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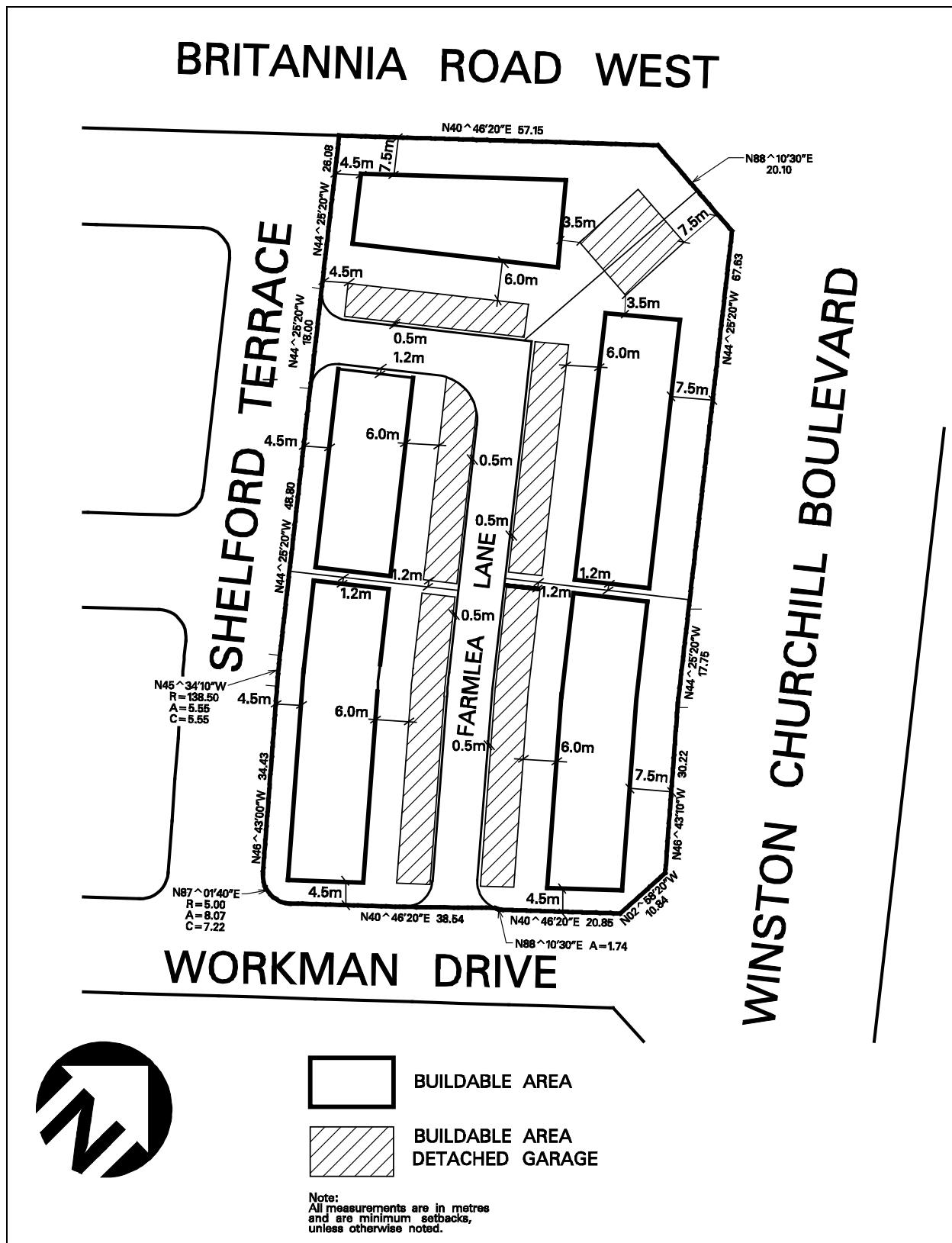
In a RM5-22(1), RM5-22(2), RM5-22(3), RM5-22(4), RM5-22(5), RM5-22(6), RM5-22(7) and RM5-22(8) zone the permitted **uses** and applicable regulations shall be as specified for a RM5 zone except that the following **uses/regulations** shall apply:

#### **Regulations**

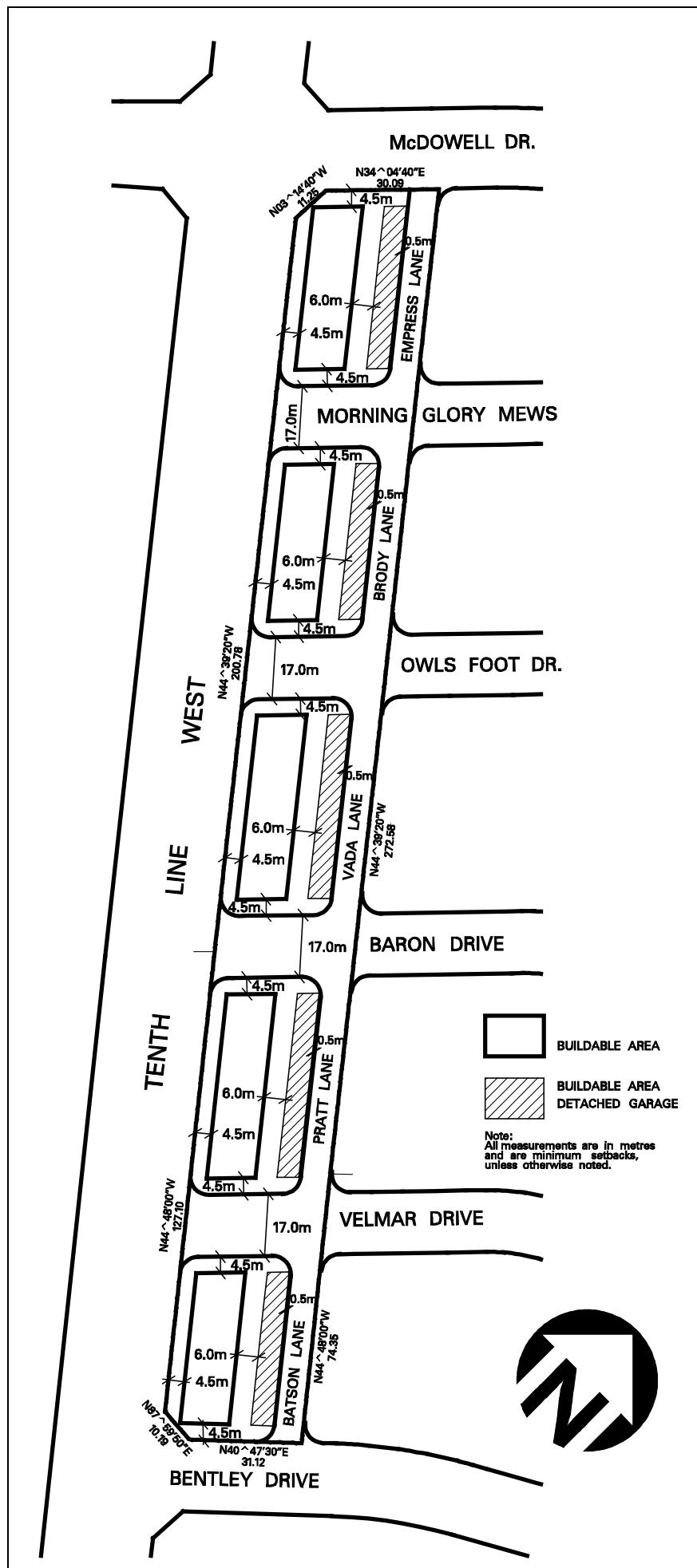
4.11.2.22.1	The regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply	
4.11.2.22.2	Minimum <b>lot area - corner lot</b>	315 m <sup>2</sup>
4.11.2.22.3	Minimum <b>lot frontage - corner lot</b>	10.5 m
4.11.2.22.4	Minimum <b>front yard - lot</b> without a municipal sidewalk adjacent the front lot line	3.5 m
4.11.2.22.5	Minimum <b>exterior side yard - lot</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>	3.5 m
4.11.2.22.6	Maximum encroachment of a <b>porch or balcony</b> outside the buildable area identified on Schedules RM5-22(1) to RM5-22(8) of this Exception, into the required <b>front and exterior side yards</b>	2.0 m
4.11.2.22.7	Maximum encroachment of an awning outside the buildable area identified on Schedules RM5-22(1) to RM5-22(8) of this Exception, into the required <b>exterior side yard</b>	0.3 m
4.11.2.22.8	Maximum <b>driveway width</b>	6.5 m
4.11.2.22.9	A detached <b>garage</b> shall be permitted in the buildable area - detached <b>garage</b> identified on Schedules RM5-22(1) to RM5-22(8) of this Exception	
4.11.2.22.10	Maximum <b>garage width</b> : measured from the inside face of the <b>garage</b> side walls	5.5 m
4.11.2.22.11	Minimum <b>interior side yard</b> on one side of a detached <b>garage</b> located in the <b>rear yard</b>	0.8 m
4.11.2.22.12	Minimum setback of all <b>buildings and structures</b> except a detached <b>garage</b> to a <b>sight triangle</b>	0.0 m
4.11.2.22.13	"Rear Lot Line" means the <b>lot line</b> that divides the <b>lot</b> from the public lane identified and named as a "lane" on Schedules RM5-22(1) to RM5-22(8) of this Exception	
4.11.2.22.14	"Front Lot Line" means the <b>lot line</b> opposite the rear lot line	
4.11.2.22.15	All site development plans shall comply with Schedules RM5-22(1) to RM5-22(8) of this Exception	



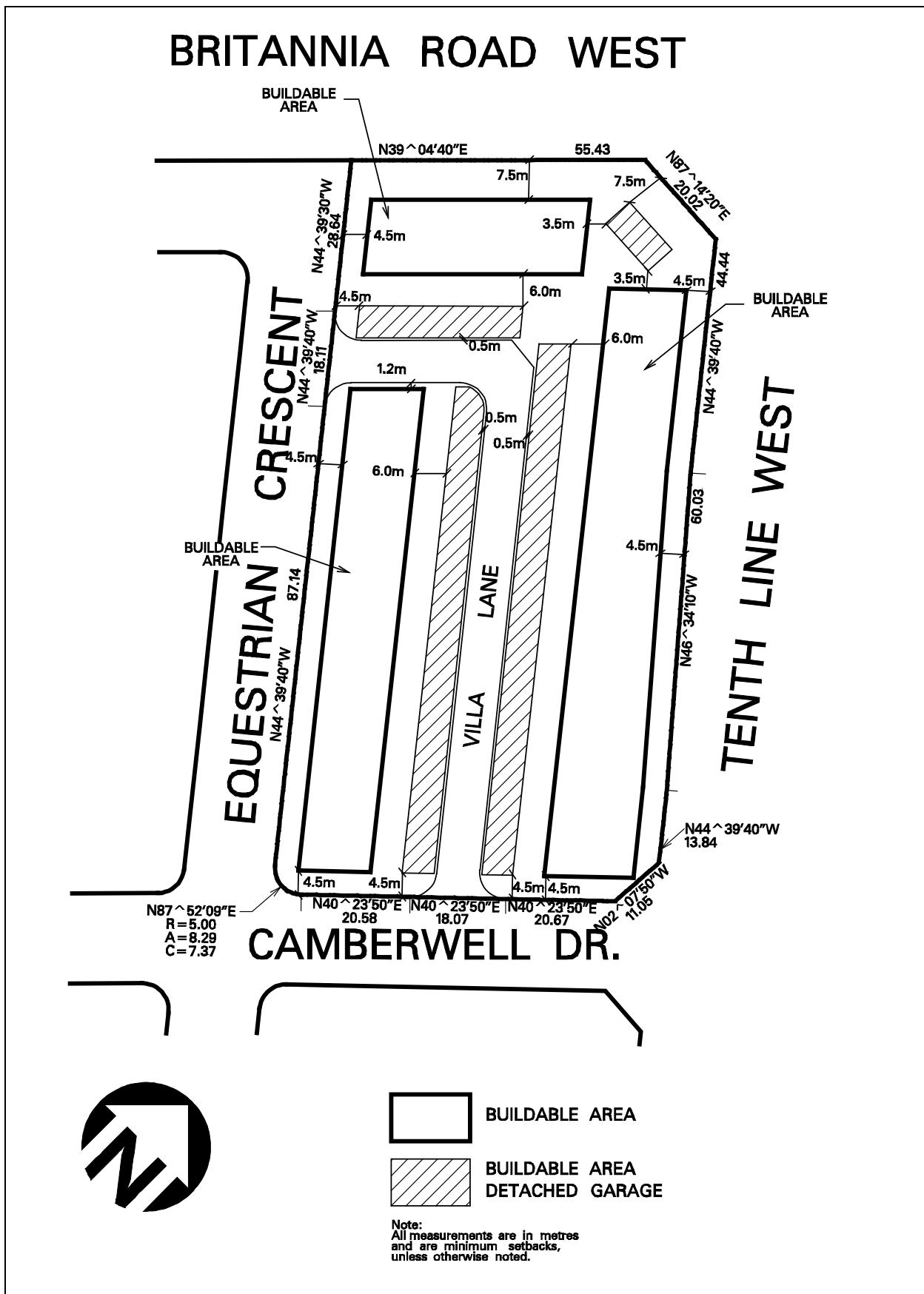
Schedule RM5-22(1)  
Map 57



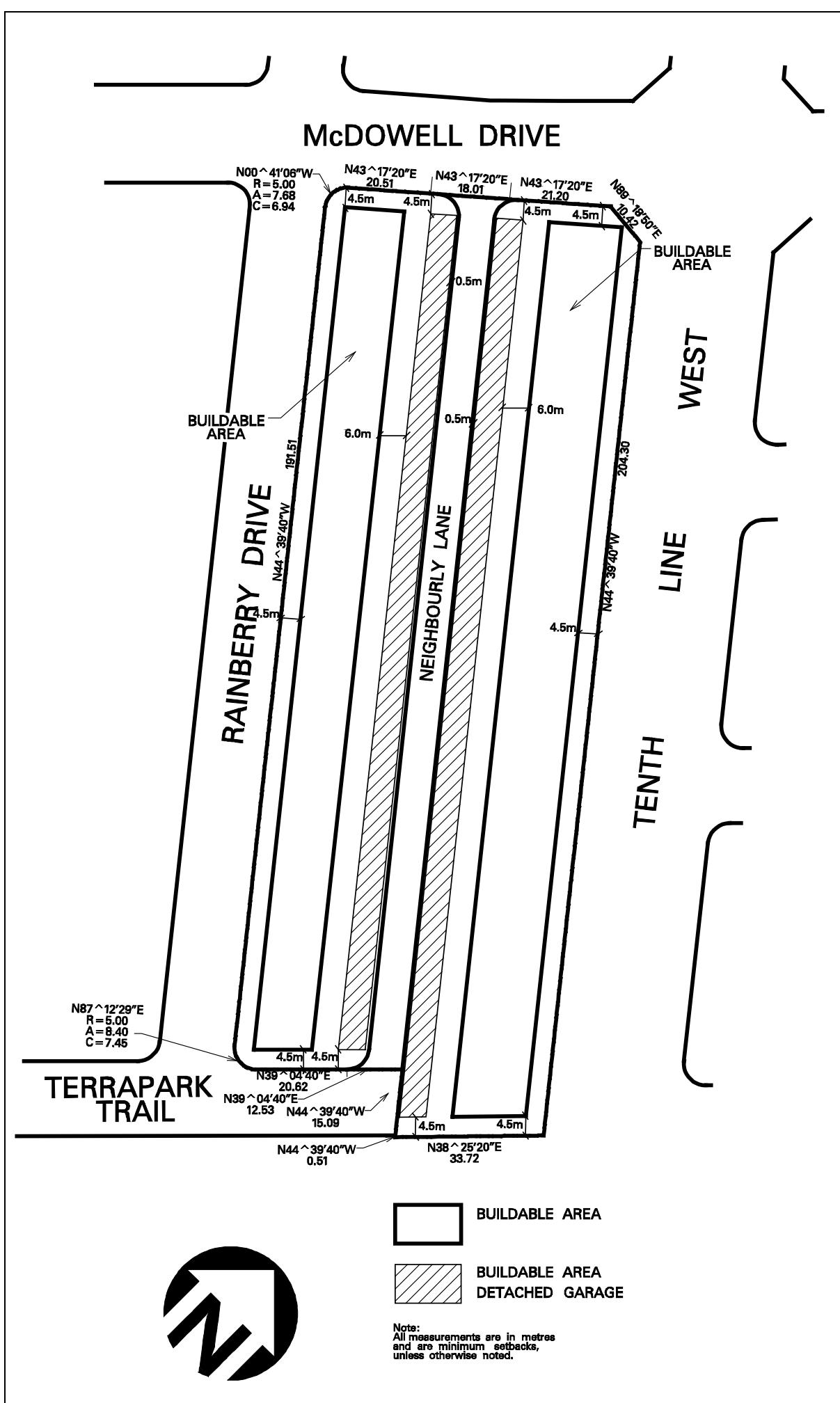
Schedule RM5-22(2)  
Map 57



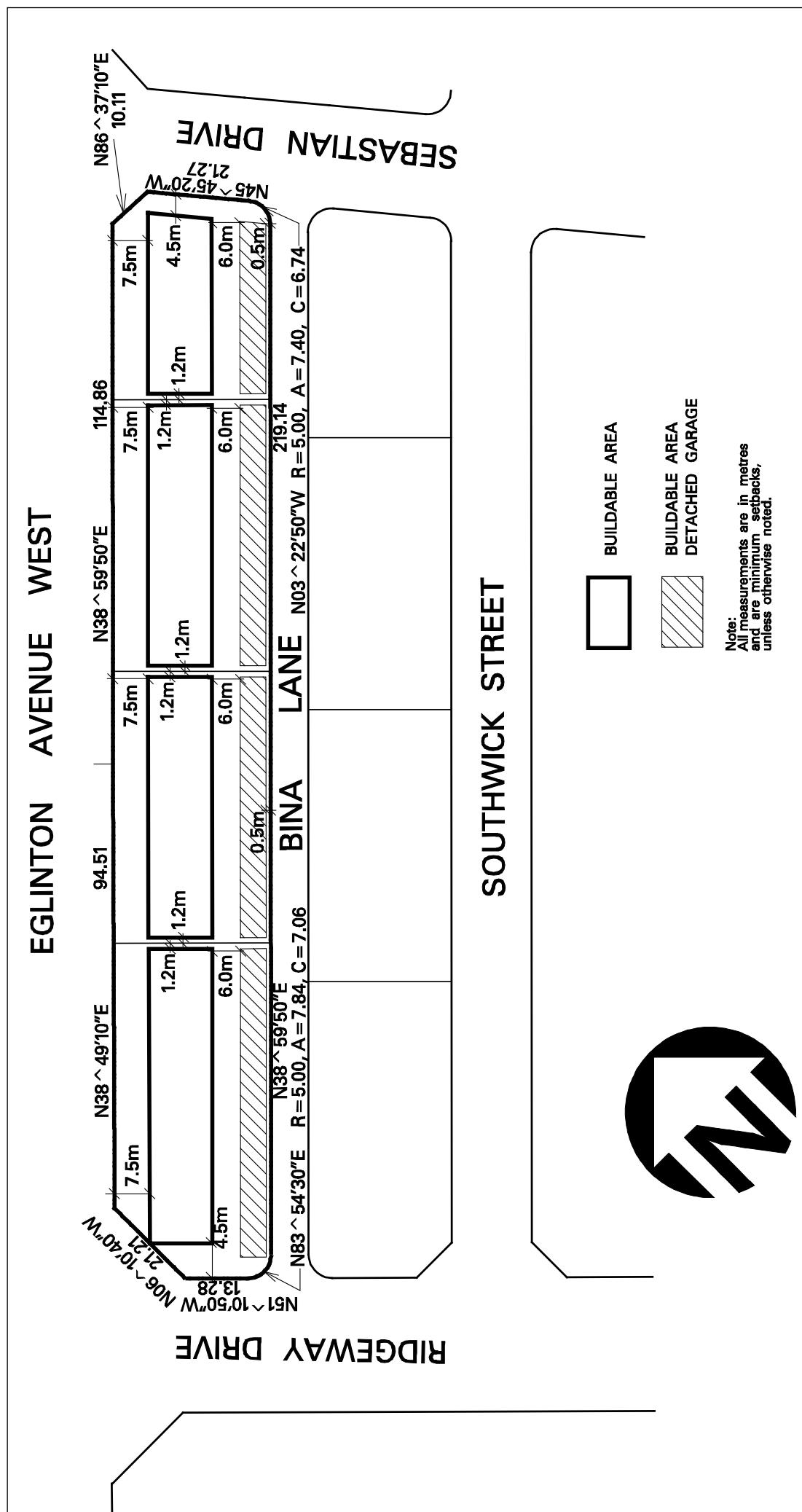
Schedule RM5-22(3)  
Map 57



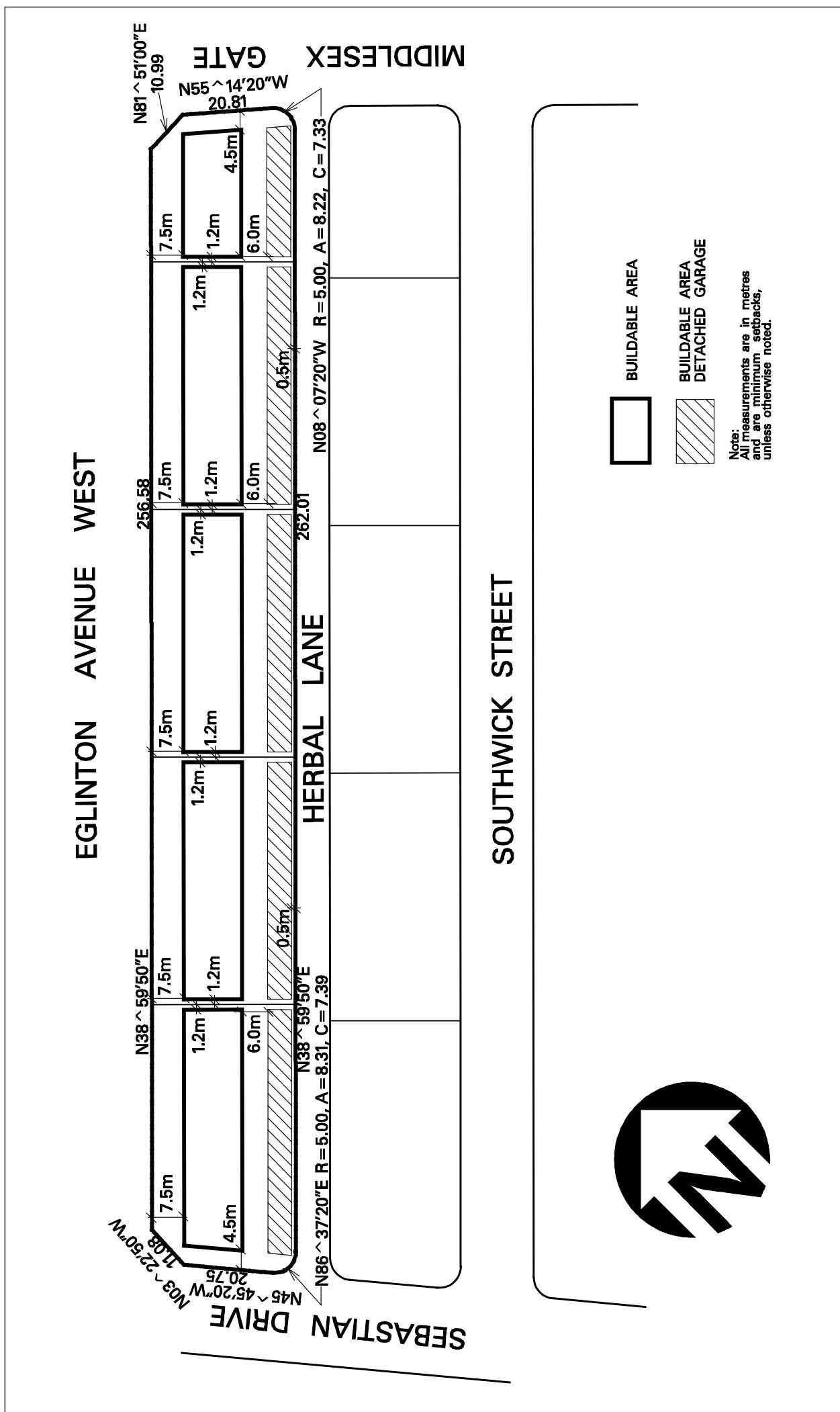
Schedule RM5-22(4)  
Map 57



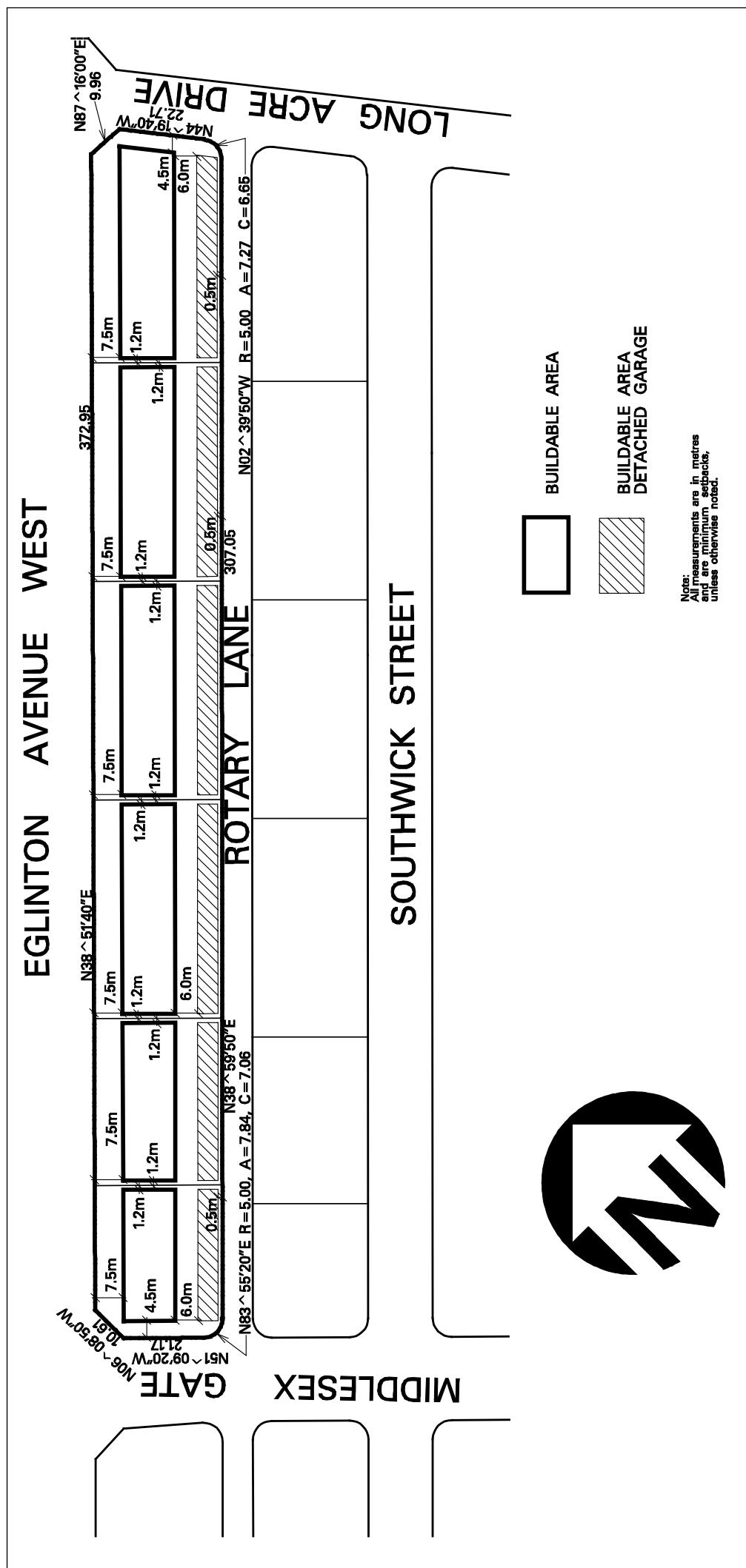
## Schedule RM5-22(5) Map 57



**Schedule RM5-22(6)**  
Map 58



**Schedule RM5-22(7)**  
Map 58



**Schedule RM5-22(8)**  
Map 58

4.11.2.23	Exception: RM5-23	Map # 44W	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM5-23 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.23.1	Minimum <b>front yard - lot</b> without a municipal sidewalk adjacent the <b>front lot line</b>	3.5 m	
4.11.2.23.2	Minimum <b>exterior side yard - lot</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>	3.5 m	
4.11.2.23.3	Minimum setback to <b>garage face</b>	5.8 m	
4.11.2.23.4	Maximum encroachment of a <b>porch</b> into the required <b>front</b> and <b>exterior side yards</b>	1.8 m	
4.11.2.23.5	Maximum encroachment of a <b>balcony</b> into the required <b>front</b> and <b>exterior side yards</b>	2.0 m	
4.11.2.23.6	Maximum encroachment of an awning into the required <b>exterior side yard</b>	0.3 m	
4.11.2.23.7	Maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided	2.5 m	
4.11.2.23.8	Where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>	5.0 m	
4.11.2.23.9	For a <b>street townhouse</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>		
4.11.2.23.10	Minimum setback to a <b>sight triangle</b>	0.0 m	
4.11.2.23.11	Maximum <b>driveway width</b>	3.8 m	
4.11.2.23.12	Maximum <b>garage width</b> : measured from the inside face of the <b>garage</b> side walls	3.8 m	

4.11.2.24	Exception: RM5-24	Map # 28	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM5-24 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.24.1	The regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.24.2	Minimum <b>lot area - interior lot</b>	195 m <sup>2</sup>	
4.11.2.24.3	Minimum <b>lot area - corner lot</b>	260 m <sup>2</sup>	
4.11.2.24.4	Minimum <b>lot frontage - interior lot</b>	7.5 m	
4.11.2.24.5	Minimum <b>lot frontage - corner lot</b>	10.0 m	
4.11.2.24.6	Minimum <b>front yard - lot</b> without a municipal sidewalk adjacent the <b>front lot line</b>	3.5 m	
4.11.2.24.7	Minimum <b>exterior side yard - lot</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>	3.5 m	
4.11.2.24.8	Minimum setback to <b>garage face</b> where a <b>lot</b> abuts a PB1 zone	7.0 m	
4.11.2.24.9	Minimum setback to <b>garage face - all other lots</b>	6.0 m	
4.11.2.24.10	Minimum <b>interior side yard</b> - unattached side	1.2 m	

**Exception RM5-24 continued on next page**

## Part 4 - Residential Zones

4.11.2.24	Exception: RM5-24	Map # 28	By-law: 0181-2018/LPAT Order 2019 February 15
<b>Exception RM5-24 continued from previous page</b>			
4.11.2.24.11	Minimum <b>rear yard</b>	7.0 m	
4.11.2.24.12	Minimum setback of a <b>street townhouse</b> to all lands zoned PB1	18.5 m	
4.11.2.24.13	Maximum encroachment of a <b>porch or balcony</b> into required <b>front and exterior side yards</b>	1.8 m	
4.11.2.24.14	Maximum encroachment of an awning into the required <b>exterior side yard</b>	0.3 m	
4.11.2.24.15	Maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided	2.5 m	
4.11.2.24.16	Where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>	5.0 m	
4.11.2.24.17	For a <b>street townhouse</b> more than one <b>storey in height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>		
4.11.2.24.18	Minimum setback to a <b>sight triangle</b>	0.0 m	
4.11.2.24.19	Maximum <b>driveway width</b>	3.8 m	
4.11.2.24.20	Maximum <b>garage width</b> : measured from the inside face of the <b>garage side walls</b>	3.8 m	

4.11.2.25	Exception: RM5-25	Map # 36W	By-law:
In a RM5-25 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.25.1	Minimum <b>lot area - interior lot</b>	163 m <sup>2</sup>	
4.11.2.25.2	Minimum <b>lot frontage - interior lot</b>	6.1 m	
4.11.2.25.3	Minimum setback to Hurontario Street	3.2 m	

4.11.2.26	Exception: RM5-26	Map # 44E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-26 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.11.2.26.1	(1) <b>Semi-Detached</b>		
<b>Regulations</b>			
4.11.2.26.2	<b>Street Townhouse:</b>		
	(1) maximum <b>lot coverage</b> - where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> or 2.5 m beyond the <b>main front entrance - interior lot</b>	45%	
	(2) maximum <b>lot coverage</b> - all other lots	40%	
	(3) minimum <b>rear yard</b> where lands abut a C5-12 zone	10.0 m	

**Exception RM5-26 continued on next page**

4.11.2.26	Exception: RM5-26	Map # 44E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
<b>Exception RM5-26 continued from previous page</b>			
4.11.2.26.2 (continued)	(4) maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided - <b>interior lot</b>		2.5 m
	(5) where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b> - <b>interior lot</b>		4.0 m
	(6) for a <b>street townhouse</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>		
	(7) maximum <b>porch</b> area in a <b>front yard</b> - <b>interior lot</b>		12 m <sup>2</sup>
	(8) maximum <b>porch</b> area in <b>front</b> and <b>exterior side yards</b> - <b>corner lot</b>		20 m <sup>2</sup>
	(9) the area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>		
	(10) <b>accessory buildings</b> and <b>structures</b> shall not be located in the <b>front yard</b> or <b>exterior side yard</b>		
4.11.2.26.3	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1) maximum <b>lot coverage</b> - where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> or 2.5 m beyond the <b>main front entrance</b> - <b>interior lot</b>		45%
	(2) maximum <b>lot coverage</b> - all other lots		40%
	(3) minimum <b>rear yard</b> where lands abut an C5-12 zone		10.0 m
	(4) maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided - <b>interior lot</b>		2.5 m
	(5) where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b> - <b>interior lot</b>		4.0 m
	(6) for a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b> - <b>interior lot</b>		
	(7) maximum <b>porch</b> area in a <b>front yard</b> - <b>interior lot</b>		12 m <sup>2</sup>
	(8) maximum total <b>porch</b> area in <b>front</b> and <b>exterior side yards</b> - <b>corner lot</b>		20 m <sup>2</sup>
	(9) the area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>		
	(10) <b>accessory buildings</b> and <b>structures</b> shall not be located in the <b>front yard</b> or <b>exterior side yard</b>		

4.11.2.27	Exception: RM5-27	Map # 44W, 45E, 52W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
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In a RM5-27 zone the permitted **uses** and applicable regulations shall be as specified for a RM5 zone except that the following **uses/regulations** shall apply:

**Additional Permitted Use**

**4.11.2.27.1 (1) Semi-Detached**

**Regulations**

**4.11.2.27.2 Street Townhouse:**

- |   |                   |
|---|-------------------|
| (1) maximum <b>lot coverage</b> :   |                   |
| (1.1) where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> or 2.5 m beyond the <b>main front entrance</b> or a <b>habitable room</b> on the <b>first storey</b> or   | 45%               |
| (1.2) where the width of the <b>garage</b> is 3.5 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall or  | 45%               |
| (1.3) all other <b>lots</b>   | 40%               |
| (2) minimum setback to Old Derry Road   | 9.0 m             |
| (3) maximum projection of a <b>garage</b> beyond the <b>main front entrance</b>   | 7.0 m             |
| (4) for a <b>street townhouse</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b> |                   |
| (5) maximum <b>porch</b> area in a <b>front yard - interior lot</b>   | 12 m <sup>2</sup> |
| (6) maximum total <b>porch</b> area in <b>front and exterior side yards - corner lot</b>  | 20 m <sup>2</sup> |
| (7) the area of all <b>porches</b> in <b>front and exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>  |                   |
| (8) <b>accessory building</b> and <b>structures</b> shall not be located in the <b>front yard or exterior side yard</b>   |                   |

**4.11.2.27.3** A **semi-detached** shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:

- |   |       |
|---|-------|
| (1) maximum <b>lot coverage</b> :   |       |
| (1.1) where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> or 2.5 m beyond the <b>main front entrance</b> or a <b>habitable room</b> on the <b>first storey</b> or | 45%   |
| (1.2) where the width of the <b>garage</b> is 3.5 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall or            | 45%   |
| (1.3) all other <b>lots</b>   | 40%   |
| (2) minimum setback to Old Derry Road   | 9.0 m |
| (3) maximum projection of a <b>garage</b> beyond the <b>main front entrance</b>   | 7.0 m |

**Exception RM5-27 continued on next page**

4.11.2.27	Exception: RM5-27	Map # 44W, 45E, 52W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
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**Exception RM5-27 continued from previous page**

4.11.2.27.3 (continued)	(4) for a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>	
	(5) maximum <b>porch</b> area in a <b>front yard - interior lot</b>	12 m <sup>2</sup>
	(6) maximum total <b>porch</b> area in <b>front</b> and <b>exterior side yards - corner lot</b>	20 m <sup>2</sup>
	(7) the area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>	
	(8) <b>accessory buildings</b> and <b>structures</b> shall not be located in the <b>front yard or exterior side yard</b>	

4.11.2.28	Exception: RM5-28	Map # 52E	By-law: 0325-2008, 0174-2017, 0181-2018/LPAT Order 2019 February 15
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In a RM5-28 zone the permitted **uses** and applicable regulations shall be as specified for a RM5 zone except that the following **uses/regulations** shall apply:

**Additional Permitted Uses**

4.11.2.28.1	(1) <b>Detached Dwelling</b>	
	(2) <b>Semi-Detached</b>	

**Regulations**

**4.11.2.28.2 Street Townhouse:**

(1)	<b>maximum lot coverage:</b>	
	(1.1) where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> or 2.5 m beyond the <b>main front entrance</b> or a <b>habitable room</b> on the first storey or	45%
	(1.2) where the width of the <b>garage</b> is 3.5 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall or	45%
	(1.3) all other <b>lots</b>	40%
(2)	maximum projection of a <b>garage</b> beyond the <b>main front entrance</b>	7.0 m
(3)	for a <b>street townhouse</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>	
(4)	maximum <b>porch</b> area in a <b>front yard - interior lot</b>	12 m <sup>2</sup>
(5)	maximum total <b>porch</b> area in <b>front</b> and <b>exterior side yards - corner lot</b>	20 m <sup>2</sup>
(6)	the area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>	
(7)	<b>accessory buildings</b> and <b>structures</b> shall not be located in the <b>front yard or exterior side yard</b>	

**Exception RM5-28 continued on next page**

4.11.2.28	Exception: RM5-28	Map # 52E	By-law: 0325-2008, 0174-2017, 0181-2018/LPAT Order 2019 February 15
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**Exception RM5-28 continued from previous page**

4.11.2.28.3	A <b>detached dwelling</b> shall comply with the R11 zone regulations contained in Subsection 4.4.1 of this By-law except that:		
	(1) maximum <b>lot coverage</b> - where the width of the <b>garage</b> is 5.0 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall		45%
	(2) maximum <b>lot coverage</b> - where the projection of a <b>garage</b> beyond the <b>main front entrance</b> or the <b>main entry feature</b> , where provided, is less than or equal to 1.0 m or the projection of a <b>garage</b> beyond the <b>main front entrance</b> is less than or equal to 2.5 m		45%
4.11.2.28.4	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1) maximum <b>lot coverage</b> :		
	(1.1) where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> or 2.5 m beyond the <b>main front entrance</b> or a <b>habitable room on the first storey</b> or		45%
	(1.2) where the width of the <b>garage</b> is 3.5 m or less, measured from the outside of opposite exterior walls or from the outside of an exterior wall to the midpoint of an interior wall or		45%
	(1.3) all other <b>lots</b>		40%
	(2) maximum projection of a <b>garage</b> beyond the <b>main front entrance</b>		7.0 m
	(3) for a <b>semi-detached</b> more than one <b>storey in height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>		
	(4) maximum <b>porch</b> area in a <b>front yard - interior lot</b>		12 m <sup>2</sup>
	(5) maximum total <b>porch</b> in <b>front</b> and <b>exterior side yards - corner lot</b>		20 m <sup>2</sup>
	(6) the area of all <b>porches in front and exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>		
	(7) <b>accessory buildings and structures</b> shall not be located in the <b>front yard or exterior side yard</b>		

4.11.2.29	Exception: RM5-29	Map # 52E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
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In a RM5-29 zone the permitted **uses** and applicable regulations shall be as specified for a RM5 zone except that the following **uses/regulations** shall apply:

**Additional Permitted Uses**

4.11.2.29.1	(1) <b>Detached Dwelling</b>	
	(2) <b>Semi-Detached</b>	

**Exception RM5-29 continued on next page**

4.11.2.29	Exception: RM5-29	Map # 52E	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
<b>Exception RM5-29 continued from previous page</b>			
<b>Regulations</b>			
4.11.2.29.2	<b>Street Townhouse:</b>		
(1)	maximum <b>lot coverage</b> - where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> or 2.5 m beyond the <b>main front entrance - interior lot</b>		45%
(2)	maximum <b>lot coverage</b> - all other lots		40%
(3)	maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided - <b>interior lot</b>		2.5 m
(4)	where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance - interior lot</b>		4.0 m
(5)	for a <b>street townhouse</b> more than one <b>storey in height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>		
(6)	maximum <b>porch</b> area in a <b>front yard - interior lot</b>		12 m <sup>2</sup>
(7)	maximum <b>porch</b> area in <b>front and exterior side yards</b>		20 m <sup>2</sup>
(8)	the area of all <b>porches in front and exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>		
(9)	<b>accessory buildings and structures</b> shall not be located in the <b>front yard or exterior side yard</b>		
4.11.2.29.3	<b>A detached dwelling</b> shall comply with the R11 zone regulations contained in Subsection 4.4.1 of this By-law		
4.11.2.29.4	<b>A semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
(1)	maximum <b>lot coverage</b> - where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> or 2.5 m beyond the <b>main front entrance - interior lot</b>		45%
(2)	maximum <b>lot coverage</b> - all other lots		40%
(3)	maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided - <b>interior lot</b>		2.5 m
(4)	where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance - interior lot</b>		4.0 m
(5)	for a <b>semi-detached</b> more than one <b>storey in height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face - interior lot</b>		
(6)	maximum <b>porch</b> area in a <b>front yard - interior lot</b>		12 m <sup>2</sup>
(7)	maximum total <b>porch</b> area in <b>front and exterior side yards - corner lot</b>		20 m <sup>2</sup>
(8)	the area of all <b>porches in front and exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>		
(9)	<b>accessory buildings and structures</b> shall not be located in the <b>front yard or exterior side yard</b>		

4.11.2.30	Exception: RM5-30	Map # 44W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
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In a RM5-30 zone the permitted **uses** and applicable regulations shall be as specified for a RM5 zone except that the following **uses/regulations** shall apply:

**Regulations**

4.11.2.30.1	Minimum <b>lot area</b> - corner lot	325 m <sup>2</sup>
4.11.2.30.2	Minimum <b>lot frontage</b> - corner lot	10.5 m
4.11.2.30.3	Maximum <b>lot coverage</b> :	
(1)	where the <b>garage</b> does not project more than 1.0 m beyond the <b>main entry feature</b> or 2.5 m beyond the <b>main front entrance</b> or <b>habitable room</b> on the <b>first storey</b> or	45%
(2)	where the width of the <b>garage</b> is 3.8 m or less, measured from the inside face of the <b>garage</b> side walls or	45%
(3)	all other <b>lots</b>	40%
4.11.2.30.4	Minimum setback to <b>garage face</b>	7.0 m
4.11.2.30.5	Maximum encroachment of a <b>porch</b> into the required <b>front</b> and <b>exterior side yards</b>	1.5 m
4.11.2.30.6	For a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>	
4.11.2.30.7	Maximum <b>porch</b> area in a <b>front yard</b> - interior lot	12 m <sup>2</sup>
4.11.2.30.8	Maximum total <b>porch</b> area in <b>front</b> and <b>exterior side yards</b> - corner lot	20 m <sup>2</sup>
4.11.2.30.9	The area of all <b>porches</b> in <b>front</b> and <b>exterior side yards</b> shall be excluded from the calculation of <b>lot coverage</b>	
4.11.2.30.10	Maximum <b>driveway</b> width	3.8 m
4.11.2.30.11	Minimum setback to a <b>sight triangle</b>	0.0 m
4.11.2.30.12	<b>Accessory buildings</b> and <b>structures</b> shall not be located in the <b>front yard</b> or <b>exterior side yard</b>	

4.11.2.31	Exception: RM5-31	Map # 37W	By-law: 0174-2017
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In a RM5-31 zone the permitted **uses** and applicable regulations shall be as specified for a RM5 zone except that the following **uses/regulations** shall apply:

**Additional Permitted Use**

4.11.2.31.1	(1) <b>Semi-Detached</b>	
<b>Regulations</b>		
4.11.2.31.2	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:	
(1)	minimum <b>lot area</b> - interior lot	195 m <sup>2</sup>
(2)	minimum <b>lot frontage</b> - interior lot	6.5 m
(3)	maximum <b>gross floor area</b> - residential	0.75 times the <b>lot area</b>

## Part 4 - Residential Zones

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4.11.2.32	Exception: RM5-32	Map # 38W	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
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In a RM5-32 zone the permitted **uses** and applicable regulations shall be as specified for a RM5 zone except that the following **uses/regulations** shall apply:

### **Additional Permitted Uses**

- |             |                              |  |
|-------------|------------------------------|--|
| 4.11.2.32.1 | (1) <b>Detached Dwelling</b> |  |
|             | (2) <b>Semi-Detached</b>     |  |

### **Regulations**

4.11.2.32.2	<b>Street Townhouse:</b>	
	(1)      minimum <b>lot area</b>	186 m <sup>2</sup>
	(2)      minimum <b>interior side yard</b> - unattached side	1.2 m
4.11.2.32.3	A <b>detached dwelling</b> shall comply with the R5 zone regulations contained in Subsection 4.2.1 of this By-law except that:	
	(1)      minimum <b>lot area</b>	247 m <sup>2</sup>
4.11.2.32.4	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:	
	(1)      minimum <b>lot area</b>	186 m <sup>2</sup>

4.11.2.33	Exception: RM5-33	Map # 38W	By-law:
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In a RM5-33 zone the permitted **uses** and applicable regulations shall be as specified for a RM5 zone except that the following **uses/regulations** shall apply:

### **Regulations**

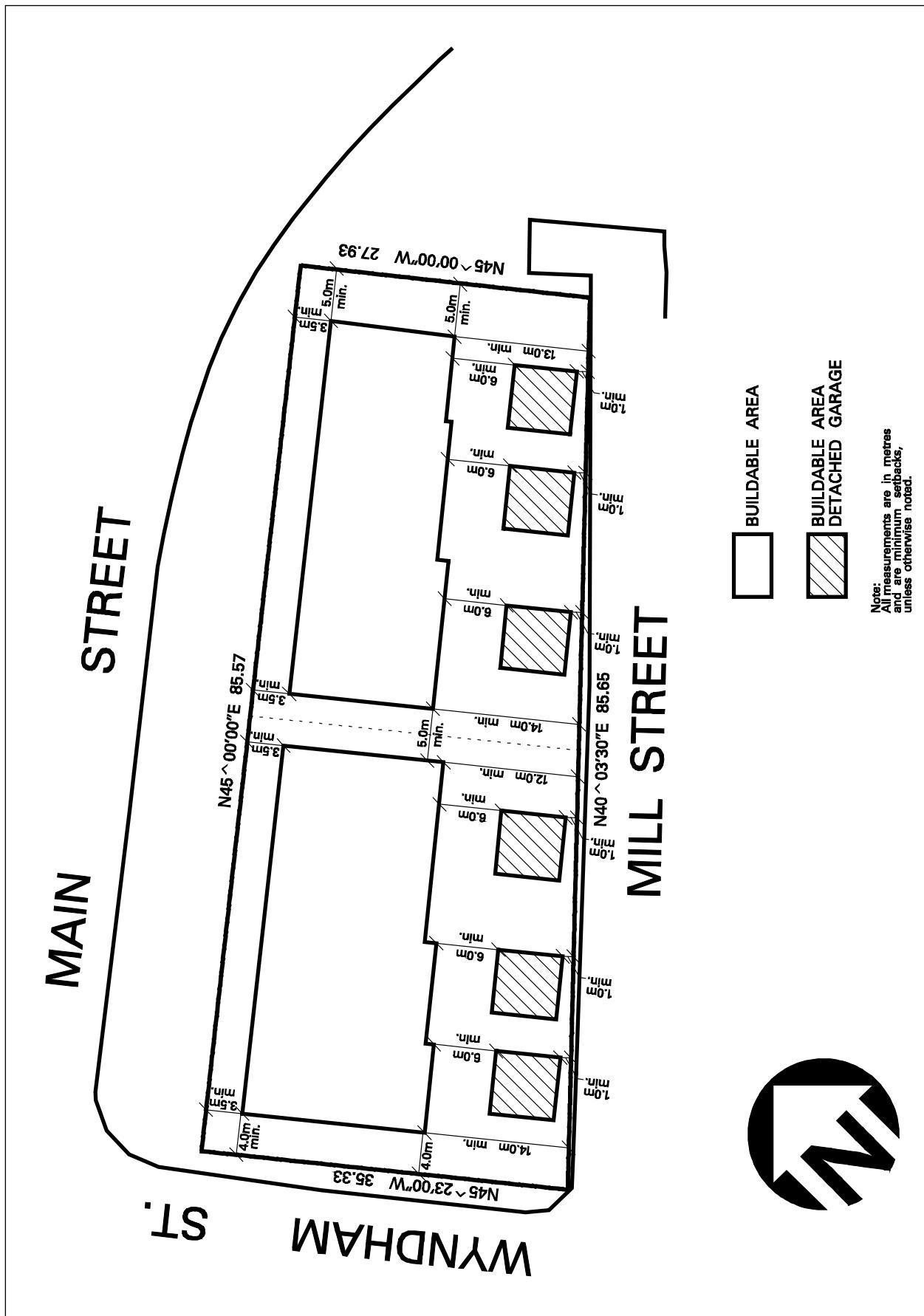
4.11.2.33.1	<b>Minimum lot frontage - interior lot</b>	8.0 m
4.11.2.33.2	<b>Minimum lot frontage - corner lot</b>	11.5 m
4.11.2.33.3	<b>Minimum exterior side yard</b>	3.6 m

4.11.2.34	Exception: RM5-34	Map # 38W	By-law: 0176-2010
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In a RM5-34 zone the permitted **uses** and applicable regulations shall be as specified for a RM5 zone except that the following **uses/regulations** shall apply:

### **Regulations**

4.11.2.34.1	The regulations of Lines 3.0 to 8.0, 10.0 to 12.1 and 13.0 contained in Table 4.11.1 of this By-law shall not apply	
4.11.2.34.2	All site development plans shall comply with Schedule RM5-34 of this Exception	



## **Schedule RM5-34**

### Map 38W

4.11.2.35	Exception: RM5-35	Map # 39E	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM5-35 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.35.1	Minimum <b>lot area - interior lot</b>		170 m <sup>2</sup>
4.11.2.35.2	Minimum <b>lot area - corner lot</b>		230 m <sup>2</sup>
4.11.2.35.3	Minimum <b>lot frontage - interior lot</b>		5.9 m
4.11.2.35.4	Minimum setback to <b>garage face</b>		10.5 m
4.11.2.35.5	Minimum <b>exterior side yard</b>		4.1 m
4.11.2.35.6	Maximum encroachment of a <b>porch</b> into the required <b>front</b> and <b>exterior side yards</b>		1.8 m
4.11.2.35.7	Maximum encroachment of a <b>deck</b> into the required <b>rear yard</b>		2.0 m
4.11.2.35.8	Minimum number of <b>parking spaces</b>		3

4.11.2.36	Exception: RM5-36	Map # 30	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-36 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.11.2.36.1	(1) <b>Semi-Detached</b>		
<b>Regulations</b>			
4.11.2.36.2	<b>Street Townhouse:</b>		
	(1) minimum setback from a <b>street townhouse</b> to all lands zoned PB1		10.0 m
	(2) minimum setback to a <b>sight triangle</b>		0.0 m
	(3) maximum encroachment of a <b>porch</b> or <b>balcony</b> into the required <b>front</b> and <b>exterior side yards</b>		2.0 m
	(4) maximum <b>driveway</b> width		3.8 m
	(5) maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		3.8 m
4.11.2.36.3	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1) minimum setback from a <b>semi-detached</b> to all lands zoned PB1		10.0 m
	(2) minimum setback to a <b>sight triangle</b>		0.0 m
	(3) maximum encroachment of a <b>porch</b> or <b>balcony</b> into the required <b>front</b> and <b>exterior side yards</b>		2.0 m
	(4) maximum <b>driveway</b> width		3.8 m
	(5) maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls		3.8 m

4.11.2.37	Exception: RM5-37	Map # 57, 58	By-law: 0449-2007, 0174-2017, 0181-2018/LPAT Order 2019 February 15
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In a RM5-37 zone the permitted **uses** and applicable regulations shall be as specified for a RM5 zone except that the following **uses/regulations** shall apply:

**Additional Permitted Use**

**4.11.2.37.1 (1) Semi-Detached**

**Regulations**

**4.11.2.37.2 Street Townhouse:**

- |      |   |                    |
|------|---|--------------------|
| (1)  | the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply   |                    |
| (2)  | minimum <b>lot area - interior lot</b>  | 183 m <sup>2</sup> |
| (3)  | minimum <b>lot area - corner lot</b>  | 292 m <sup>2</sup> |
| (4)  | minimum <b>lot frontage - interior lot</b>  | 6.1 m              |
| (5)  | minimum <b>lot frontage - corner lot</b>  | 9.75 m             |
| (6)  | minimum <b>front yard</b> - lots without a municipal sidewalk adjacent the <b>front lot line</b>  | 3.5 m              |
| (7)  | minimum <b>exterior side yard</b> - lots without a municipal sidewalk adjacent the <b>exterior side lot line</b>  | 3.5 m              |
| (8)  | minimum setback to <b>garage face</b>   | 5.8 m              |
| (9)  | minimum <b>interior side yard</b> - unattached side   | 1.2 m              |
| (10) | minimum <b>rear yard</b>  | 6.0 m              |
| (11) | minimum setback from a <b>street townhouse</b> to all lands zoned U-3   | 11.0 m             |
| (12) | maximum encroachment of a <b>porch or balcony</b> into required <b>front</b> and <b>exterior side yards</b>   | 2.0 m              |
| (13) | maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided   | 2.5 m              |
| (14) | where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>  | 5.0 m              |
| (15) | for a <b>street townhouse</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b> |                    |
| (16) | maximum <b>driveway width - interior lot</b>  | 4.3 m              |
| (17) | maximum <b>driveway width - corner lot</b>  | 4.7 m              |
| (18) | maximum <b>garage width</b> :<br>measured from the inside face of the <b>garage</b> side walls  | 3.8 m              |
| (19) | minimum setback to a <b>sight triangle</b>  | 0.0 m              |

**Exception RM5-37 continued on next page**

4.11.2.37	Exception: RM5-37	Map # 57, 58	By-law: 0449-2007, 0174-2017, 0181-2018/LPAT Order 2019 February 15
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**Exception RM5-37 continued from previous page**

4.11.2.37.3	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:	
(1)	the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply	
(2)	minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the <b>front lot line</b>	3.5 m
(3)	minimum <b>exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>	3.5 m
(4)	minimum <b>exterior side yard - lots</b> abutting a <b>street</b> with a right-of-way width less than 17.0 m	1.8 m
(5)	minimum <b>exterior side yard - corner lots</b> with a 0.3 m reserve along the <b>exterior lot line</b>	4.2 m
(6)	minimum setback to <b>garage face</b>	5.8 m
(7)	maximum encroachment of a <b>porch or balcony</b> into required <b>front and exterior side yards</b>	2.0 m
(8)	maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided	2.5 m
(9)	where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>	5.0 m
(10)	for a <b>semi-detached</b> more than one <b>storey in height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>	
(11)	minimum setback to a <b>sight triangle</b>	0.0 m
(12)	maximum <b>driveway width - interior lot</b>	4.3 m
(13)	maximum <b>driveway width - corner lot</b>	4.7 m
(14)	maximum <b>garage width</b> : measured from the inside face of the <b>garage</b> side walls	3.8 m

4.11.2.38	Exception: RM5-38	Map # 57, 58	By-law: 0265-2016, 0174-2017, 0181-2018/LPAT Order 2019 February 15
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In a RM5-38 zone the permitted **uses** and applicable regulations shall be as specified for a RM5 zone except that the following **uses/regulations** shall apply:

**Additional Permitted Uses**

- |             |                              |
|-------------|------------------------------|
| 4.11.2.38.1 | (1) <b>Detached Dwelling</b> |
|             | (2) <b>Semi-Detached</b>     |

**Regulations**

- |             |                          |
|-------------|--------------------------|
| 4.11.2.38.2 | <b>Street Townhouse:</b> |
|-------------|--------------------------|

- |      |  |                    |
|------|--|--------------------|
| (1)  | the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply  |                    |
| (2)  | minimum <b>lot area - interior lot</b>   | 183 m <sup>2</sup> |
| (3)  | minimum <b>lot area - corner lot</b>   | 292 m <sup>2</sup> |
| (4)  | minimum <b>lot frontage - interior lot</b>   | 6.1 m              |
| (5)  | minimum <b>lot frontage - corner lot</b>   | 9.75 m             |
| (6)  | minimum <b>front yard - lots without a municipal sidewalk adjacent the front lot line</b>  | 3.5 m              |
| (7)  | minimum <b>exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line</b>  | 3.5 m              |
| (8)  | minimum setback to <b>garage face</b>  | 5.8 m              |
| (9)  | minimum <b>interior side yard - unattached side</b>  | 1.2 m              |
| (10) | minimum <b>rear yard</b>   | 6.0 m              |
| (11) | minimum setback from a <b>street townhouse</b> to all lands zoned U-3  | 11.0 m             |
| (12) | maximum encroachment of a <b>porch or balcony</b> into required <b>front and exterior side yards</b>   | 2.0 m              |
| (13) | maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided  | 2.5 m              |
| (14) | where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>   | 5.0 m              |
| (15) | for a <b>street townhouse</b> more than one <b>storey in height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b> |                    |
| (16) | maximum <b>driveway width - interior lot</b>   | 4.3 m              |
| (17) | maximum <b>driveway width - corner lot</b>   | 4.7 m              |
| (18) | maximum <b>garage width:</b><br>measured from the inside face of the <b>garage</b> side walls  | 3.8 m              |
| (19) | minimum setback to a <b>sight triangle</b>   | 0.0 m              |

**Exception RM5-38 continued on next page**

4.11.2.38	Exception: RM5-38	Map # 57, 58	By-law: 0265-2016, 0174-2017, 0181-2018/LPAT Order 2019 February 15
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**Exception RM5-38 continued from previous page**

4.11.2.38.3	A <b>detached dwelling</b> shall comply with the R7 zone regulations contained in Subsection 4.3.1 of this By-law except that:	
(1)	minimum <b>lot area - interior lot</b>	275 m <sup>2</sup>
(2)	minimum <b>lot area - corner lot</b>	380 m <sup>2</sup>
(3)	minimum <b>lot frontage - interior lot</b>	9.75 m
(4)	minimum <b>lot frontage - corner lot</b>	13.5 m
(5)	minimum setback from a <b>detached dwelling</b> to all lands zoned G1	11.0 m
(6)	minimum <b>rear yard</b>	7.5 m
(7)	maximum <b>driveway width</b>	6.5 m
(8)	maximum <b>garage width:</b> measured from the inside face of the <b>garage</b> side walls	5.5 m
4.11.2.38.4	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:	
(1)	the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply	
(2)	minimum <b>front yard - lots without a municipal sidewalk adjacent the front lot line</b>	3.5 m
(3)	minimum <b>exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line</b>	3.5 m
(4)	minimum <b>exterior side yard - lots abutting a street with a right-of-way width less than 17.0 m</b>	1.8 m
(5)	minimum <b>exterior side yard - corner lots with a 0.3 m reserve along the exterior lot line</b>	4.2 m
(6)	minimum setback to <b>garage face</b>	5.8 m
(7)	maximum encroachment of a <b>porch or balcony</b> into required <b>front and exterior side yards</b>	2.0 m
(8)	maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided	2.5 m
(9)	where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>	5.0 m
(10)	for a <b>semi-detached</b> more than one <b>storey in height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>	
(11)	minimum setback to a <b>sight triangle</b>	0.0 m
(12)	maximum <b>driveway width - interior lot</b>	4.3 m
(13)	maximum <b>driveway width - corner lot</b>	4.7 m
(14)	maximum <b>garage width:</b> measured from the inside face of the <b>garage</b> side walls	3.8 m

4.11.2.39	Exception: RM5-39	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15		
In a RM5-39 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:					
<b>Additional Permitted Use</b>					
4.11.2.39.1 (1) <b>Semi-Detached</b>					
<b>Regulations</b>					
4.11.2.39.2	<b>Street Townhouse:</b>				
(1)	the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply				
(2)	minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the <b>front lot line</b>	3.5 m			
(3)	minimum <b>exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>	3.5 m			
(4)	minimum setback to a <b>sight triangle</b>	0.0 m			
(5)	maximum encroachment of a <b>porch or balcony</b> into the required <b>front and exterior side yards</b>	2.0 m			
(6)	minimum setback of a detached <b>garage</b> to the <b>rear lot line</b>	0.5 m			
(7)	minimum setback of a detached <b>garage</b> to the <b>interior side lot line</b>	0.85 m on one side and 0.0 m on the other side			
(8)	maximum <b>driveway width</b>	6.5 m			
(9)	maximum <b>garage width</b> : measured from the inside face of the <b>garage</b> side walls	5.5 m			
(10)	a detached <b>garage</b> shall be provided in the <b>rear yard</b>				
(11)	minimum setback from a detached <b>garage</b> to a <b>street townhouse</b>	6.0 m			
(12)	the <b>lot line</b> abutting a <b>street</b> with a width of 17.0 m or greater shall be deemed to be the <b>front lot line</b>				
4.11.2.39.3	<b>A semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:				
(1)	the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply				
(2)	minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the <b>front lot line</b>	3.5 m			
(3)	minimum <b>exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>	3.5 m			
(4)	maximum <b>driveway width</b>	6.5 m			
(5)	maximum encroachment of a <b>porch or balcony</b> into the required <b>front and exterior side yards</b>	2.0 m			
(6)	minimum setback of a detached <b>garage</b> to the <b>rear lot line</b>	0.5 m			
(7)	minimum setback of a detached <b>garage</b> to the <b>interior side lot line</b>	0.85 m on one side and 0.0 m on the other side			
(8)	maximum <b>garage width</b> : measured from the inside face of the <b>garage</b> side walls	5.5 m			
(9)	minimum setback to a <b>sight triangle</b>	0.0 m			

**Exception RM5-39 continued on next page**

4.11.2.39	Exception: RM5-39	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
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**Exception RM5-39 continued from previous page**

- |             |   |       |
|-------------|---|-------|
| 4.11.2.39.3 | (10) a detached <b>garage</b> shall be provided in the <b>rear yard</b>   |       |
| (continued) |   |       |
|             | (11) minimum setback from a detached <b>garage</b> to a <b>semi-detached</b>  | 6.0 m |
|             | (12) the <b>lot line</b> abutting a <b>street</b> with a width of 17.0 m or greater shall be deemed to be the <b>front lot line</b> |       |

4.11.2.40	Exception: RM5-40	Map # 25, 37W	By-law: 0174-2017
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In a RM5-40 zone the permitted **uses** and applicable regulations shall be as specified for a RM5 zone except that the following **uses/regulations** shall apply:

**Additional Permitted Use**

- |             |                          |
|-------------|--------------------------|
| 4.11.2.40.1 | (1) <b>Semi-Detached</b> |
|-------------|--------------------------|

**Regulation**

- |             |  |
|-------------|--|
| 4.11.2.40.2 | A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law |
|-------------|--|

4.11.2.41	Exception: RM5-41(1), RM5-41(2), RM5-41(3)	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15, 0111-2019/LPAT Order 2021 March 09
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In a RM5-41(1), RM5-41(2), and RM5-41(3) zone the permitted **uses** and applicable regulations shall be as specified for a RM5 zone except that the following **uses/regulations** shall apply:

**Additional Permitted Uses**

- |             |  |
|-------------|--|
| 4.11.2.41.1 | The following <b>uses</b> are permitted within a <b>street townhouse</b> : |
|-------------|--|

- (1) **Office**
- (2) **Medical Office - Restricted**
- (3) **Service Establishment**
- (4) **Repair Service**
- (5) **Retail Store**
- (6) **Tutoring**

**Uses Not Permitted**

- |             |   |
|-------------|---|
| 4.11.2.41.2 | (1) Dry-cleaning establishment or depot<br>(2) Carpet or floor covering cleaning service<br>(3) Pet Shop<br>(4) Laundromat or laundry depot |
|-------------|---|

**Regulations**

- |             |                          |
|-------------|--------------------------|
| 4.11.2.41.3 | <b>Street Townhouse:</b> |
|-------------|--------------------------|

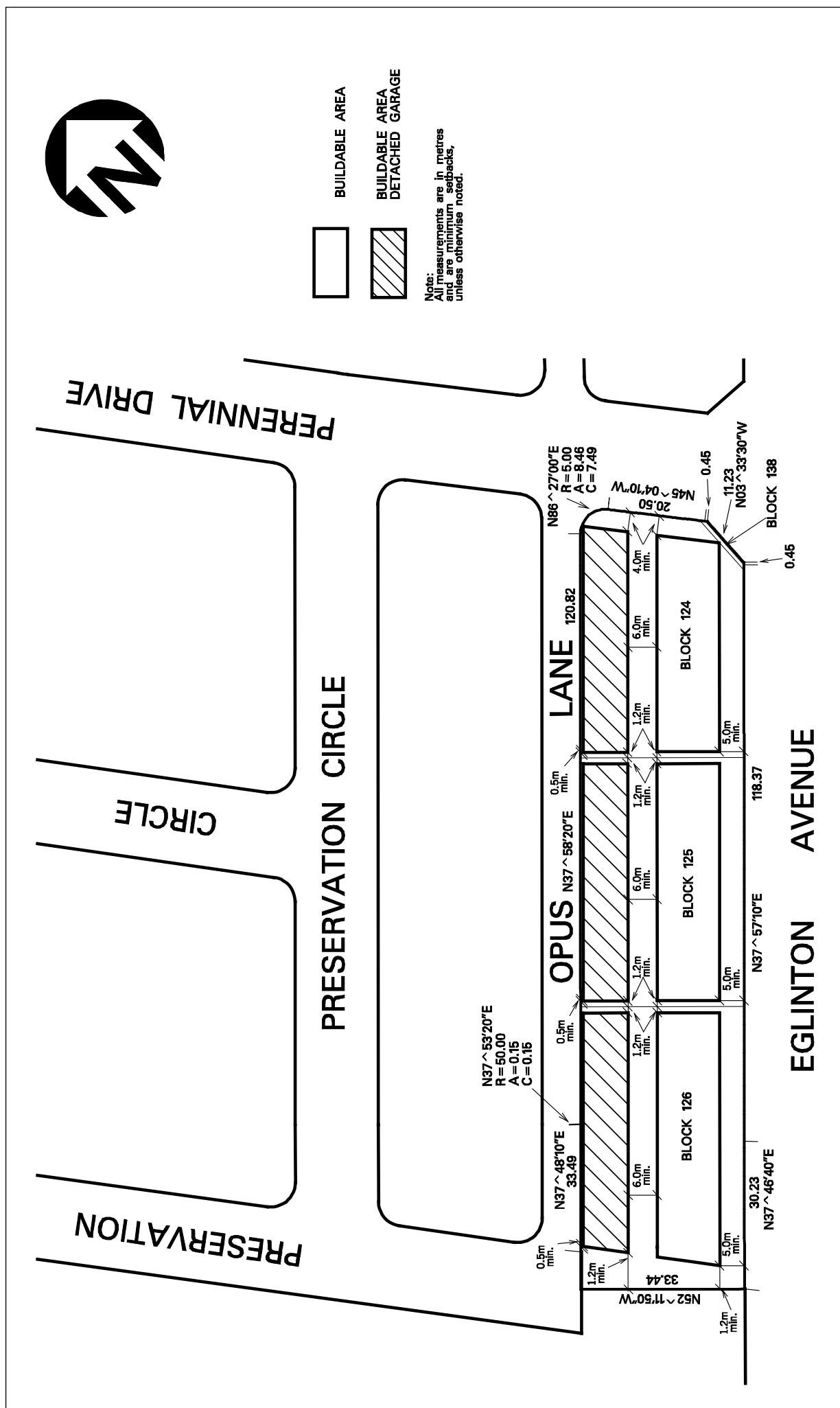
- (1) the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply
- (2) the **uses** permitted in Sentence 4.11.2.41.1 of this Exception, except the **uses** not permitted in Sentence 4.11.2.41.2 of this Exception, shall only be located within the **first storey** of a **street townhouse**

**Exception RM5-41(1), RM5-41(2), and RM5-41(3) continued on next page**

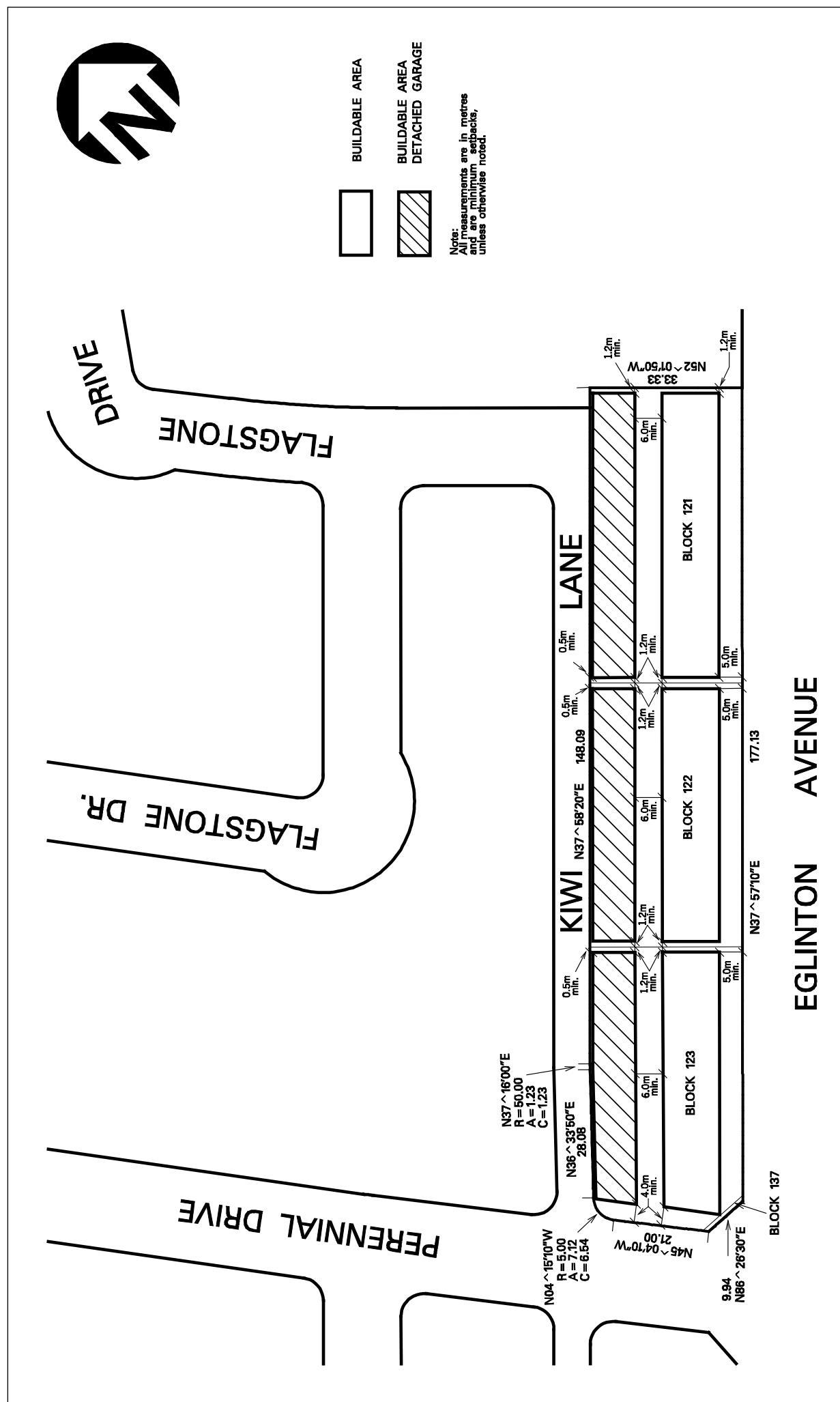
4.11.2.41	Exception: RM5-41(1), RM5-41(2), RM5-41(3)	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15, 0111-2019/LPAT Order 2021 March 09
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**Exception RM5-41(1), RM5-41(2), and RM5-41(3) continued from previous page**

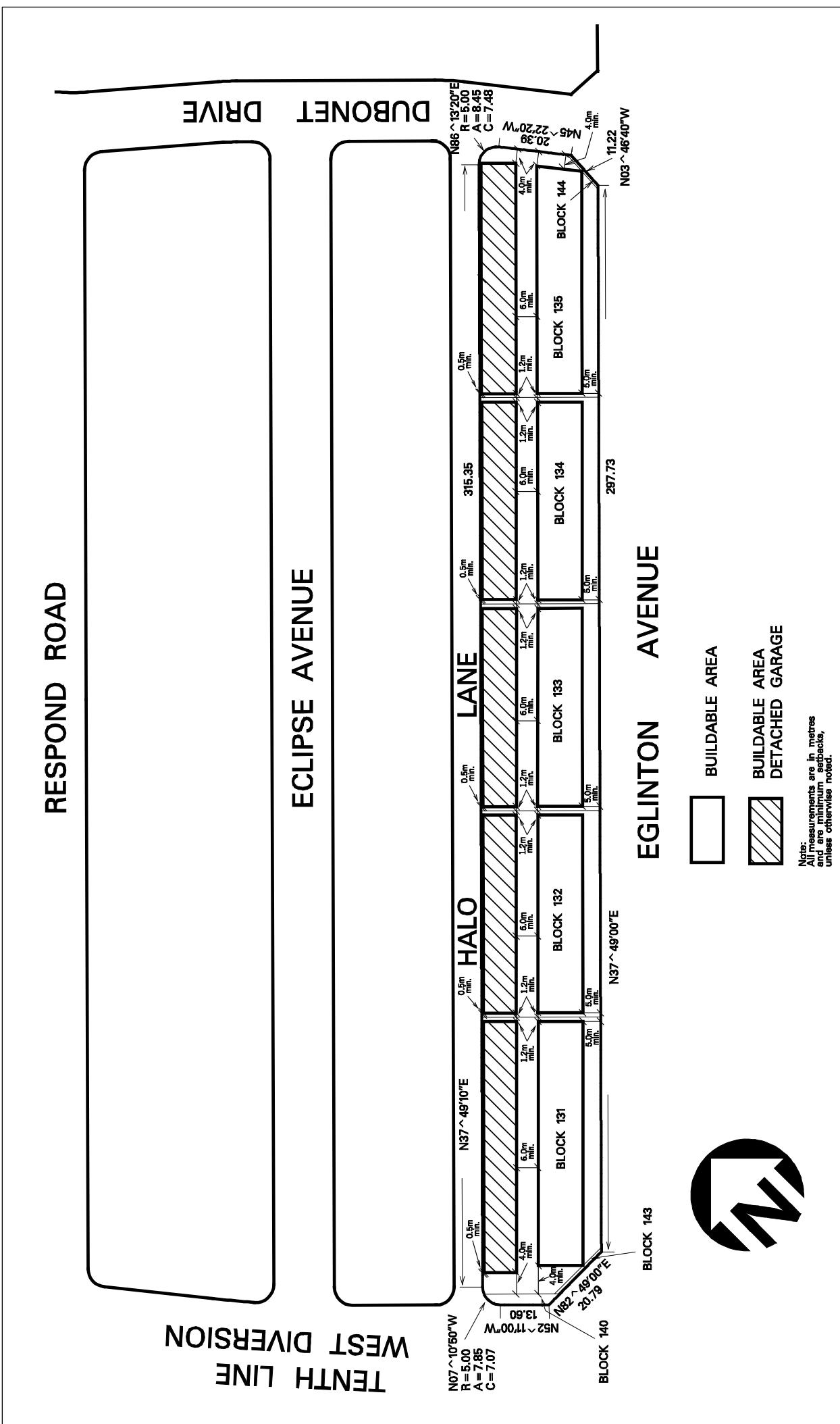
4.11.2.41.3 (continued)	(3) maximum number of <b>uses</b> permitted in Sentence 4.11.2.41.1 of this Exception, except the <b>uses</b> not permitted in Sentence 4.11.2.41.2 of this Exception, per street townhouse <b>dwelling unit</b>	1
	(4) maximum <b>gross floor area - non-residential</b>	65 m <sup>2</sup>
	(5) minimum <b>lot area - corner lot</b>	315 m <sup>2</sup>
	(6) minimum <b>lot frontage - corner lot</b>	10.5 m
	(7) maximum <b>lot coverage - detached garage</b>	17%
	(8) minimum <b>front yard</b> - lots without a municipal sidewalk adjacent the front lot line	4.0 m
	(9) minimum <b>exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>	4.0 m
	(10) maximum encroachment of a <b>porch or balcony</b> into the required <b>front</b> and <b>exterior side yards</b>	2.0 m
	(11) maximum encroachment of a <b>deck</b> beyond the buildable area identified on Schedules RM5-41(1) to RM5-41(3) of this Exception between a <b>street townhouse</b> and a detached <b>garage</b>	2.0 m
	(12) maximum <b>driveway</b> width	6.1 m
	(13) a detached <b>garage</b> shall be permitted in the buildable area - detached <b>garage</b> identified on Schedules RM5-41(1) to RM5-41(3) of this Exception	
	(14) maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls - <b>interior lot</b>	5.5 m
	(15) maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls - <b>corner lot</b>	5.9 m
	(16) minimum <b>interior side yard</b> on one side of a detached <b>garage</b> located in the <b>rear yard</b>	0.85 m
	(17) minimum setback of all <b>buildings</b> and <b>structures</b> except a detached <b>garage</b> to a <b>sight triangle</b>	0.0 m
	(18) notwithstanding Schedules RM5-41(1) to RM5-41(3) of this Exception, attached <b>garages</b> may be permitted in the <b>rear yard</b> of Blocks 122, 125, 132, 133 and 134, identified on Schedules RM5-41(1) to RM5-41(3) of this Exception, in compliance with the following:	
	(18.1) maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	3.8 m
	(18.2) maximum <b>driveway</b> width	4.3 m
	(18.3) minimum <b>rear yard</b>	6.0 m
	(19) "Rear Lot Line" means the <b>lot line</b> that divides the <b>lot</b> from a public lane identified and named as a "lane" on Schedules RM5-41(1) to RM5-41(3) of this Exception	
	(20) "Front Lot Line" means the <b>lot line</b> opposite the rear lot line	
	(21) all site development plans shall comply with Schedules RM5-41(1) to RM5-41(3) of this Exception	



Schedule RM5-41(1)  
Map 57



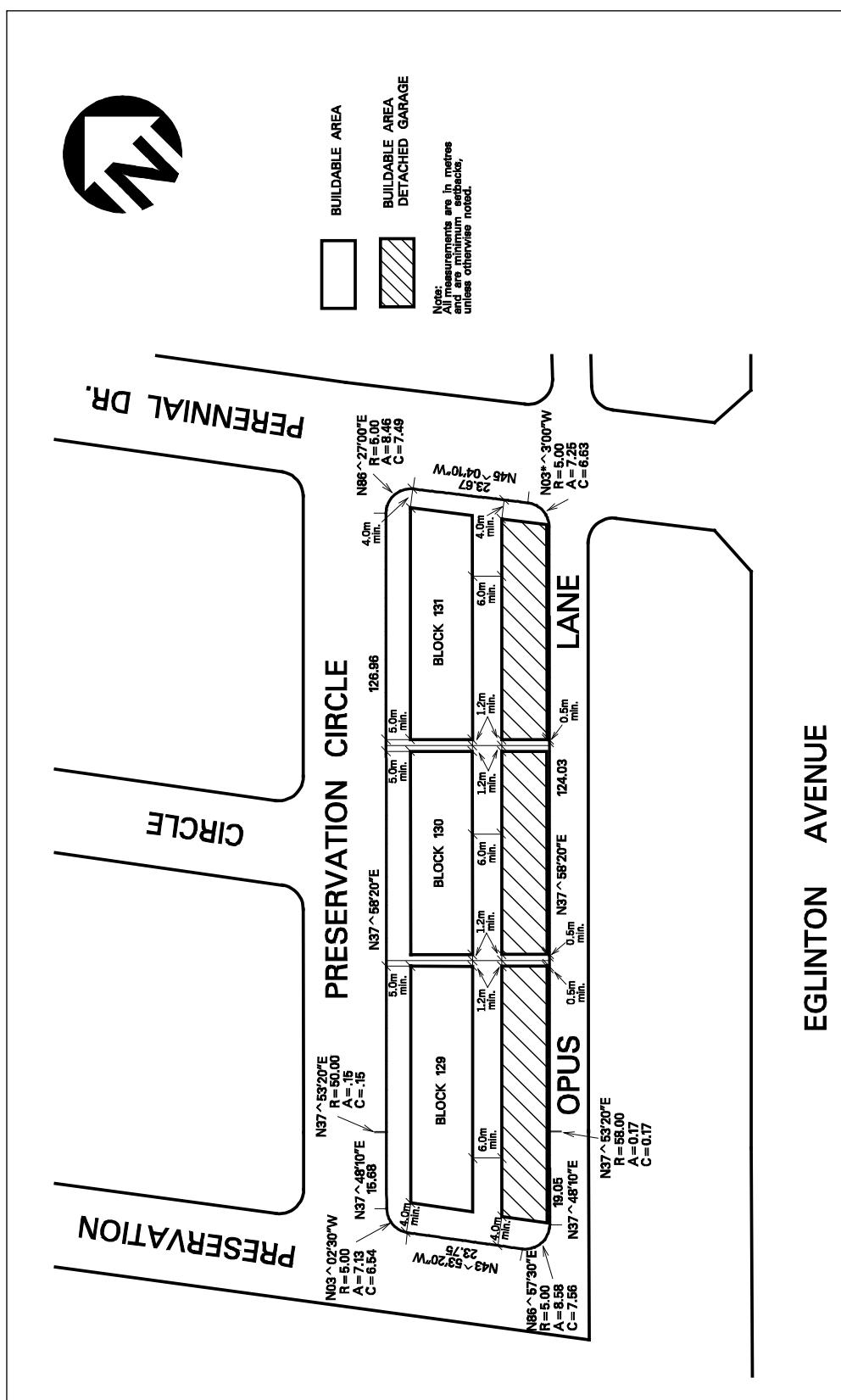
Schedule RM5-41(2)  
Map 57



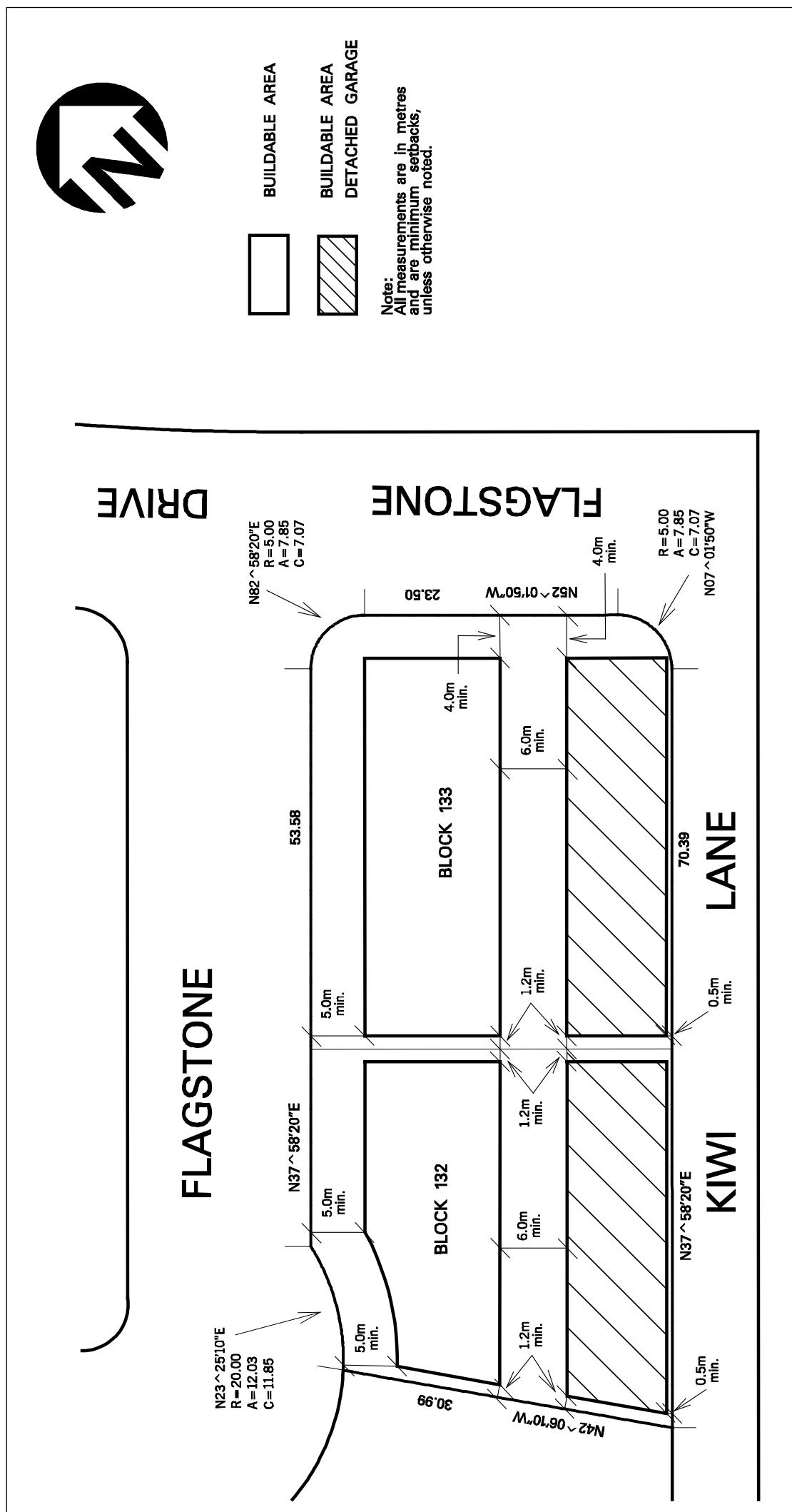
4.11.2.42	Exception: RM5-42(1), RM5-42(2), RM5-42(3), RM5-42(4), RM5-42(5)	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM5-42(1), RM5-42(2), RM5-42(3), RM5-42(4) and RM5-42(5) zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.42.1	The regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.42.2	<b>Minimum lot area - corner lot</b>	315 m <sup>2</sup>	
4.11.2.42.3	<b>Minimum lot frontage - corner lot</b>	10.5 m	
4.11.2.42.4	<b>Maximum lot coverage - detached garage</b>	17%	
4.11.2.42.5	<b>Minimum front yard - lots</b> without a municipal sidewalk adjacent the front lot line	4.0 m	
4.11.2.42.6	<b>Minimum exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>	4.0 m	
4.11.2.42.7	<b>Maximum encroachment of a porch or balcony</b> into the required <b>front and exterior side yards</b>	2.0 m	
4.11.2.42.8	Maximum encroachment of a <b>deck</b> outside the buildable area identified on Schedules RM5-42(1) to RM5-42(5) of this Exception between a <b>street townhouse</b> and a detached <b>garage</b>	2.0 m	
4.11.2.42.9	<b>Maximum driveway width</b>	6.1 m	
4.11.2.42.10	A detached <b>garage</b> shall be permitted in the buildable area - detached <b>garage</b> identified on Schedules RM5-42(1) to RM5-42(5) of this Exception		
4.11.2.42.11	<b>Maximum garage width:</b> measured from the inside face of the <b>garage</b> side walls - <b>interior lot</b>	5.5 m	
4.11.2.42.12	<b>Maximum garage width:</b> measured from the inside face of the <b>garage</b> side walls - <b>corner lot</b>	5.9 m	
4.11.2.42.13	Minimum setback from one side of a detached <b>garage</b> , located in the <b>rear yard</b> to an <b>interior side lot line</b>	0.8 m	
4.11.2.42.14	Minimum setback of all <b>buildings</b> and <b>structures</b> except a detached <b>garage</b> to a <b>sight triangle</b>	0.0 m	
4.11.2.42.15	Notwithstanding Schedules RM5-42(1) to RM5-42(5) of this Exception, attached <b>garages</b> may be permitted in the <b>rear yard</b> Block 130 identified on Schedule RM5-42(1) of this Exception; Blocks 126, 127, 128 and 129 identified on Schedule RM5-42(3) of this Exception; Block 122 identified on Schedule RM5-42(4) of this Exception; and Blocks 125 and 126 identified on Schedule RM5-42(5) of this Exception, in compliance with the following:  (1) maximum <b>garage</b> width: 3.8 m measured from the inside face of the <b>garage</b> side walls (2) maximum <b>driveway</b> width 4.3 m (3) minimum <b>rear yard</b> 6.0 m		

**Exception RM5-42(1), RM5-42(2), RM5-42(3), RM5-42(4) and RM5-42(5) continued on next page**

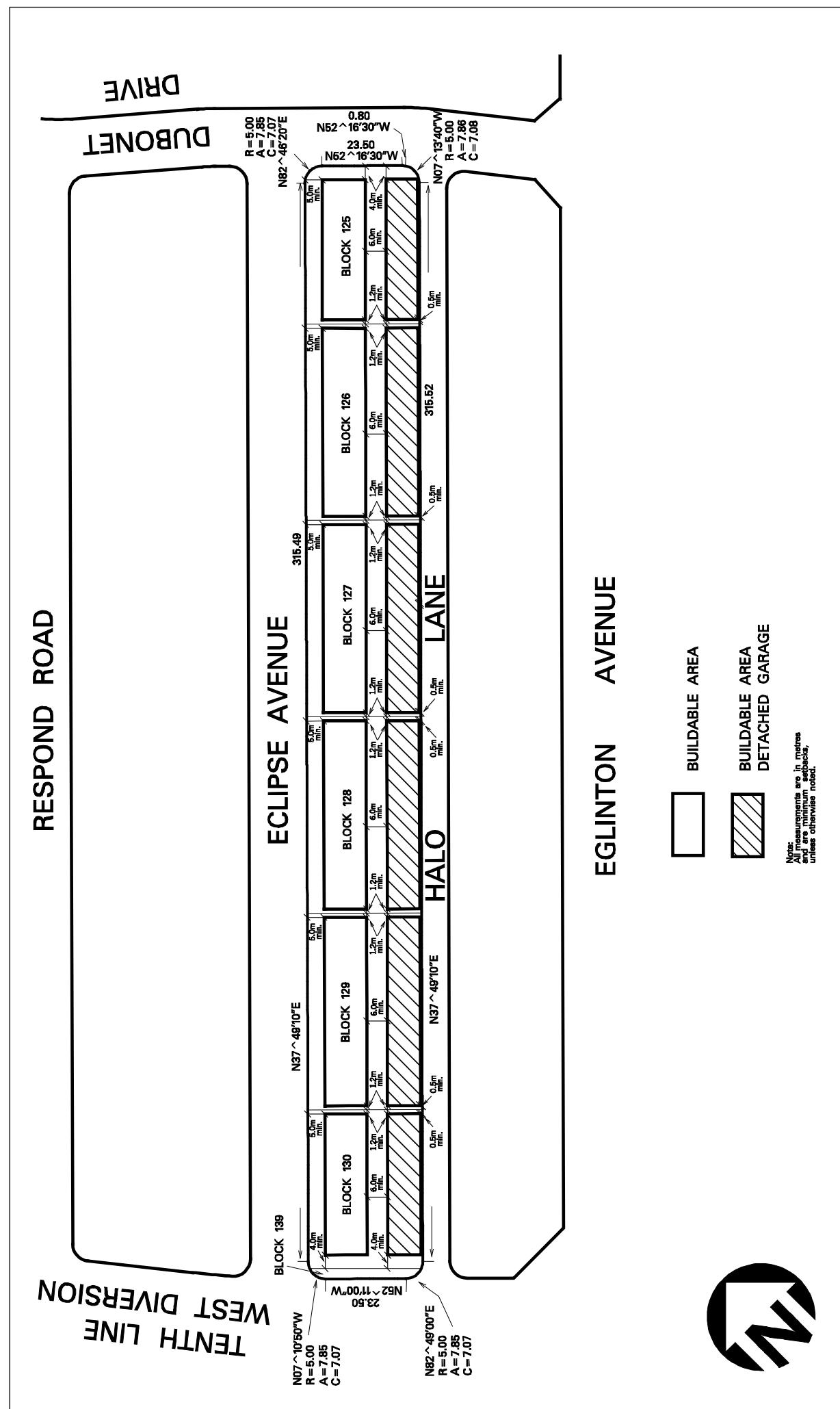
4.11.2.42	Exception: RM5-42(1), RM5-42(2), RM5-42(3), RM5-42(4), RM5-42(5)	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15
<b>Exception RM5-42(1), RM5-42(2), RM5-42(3), RM5-42(4) and RM5-42(5) continued from previous page</b>			
4.11.2.42.16	"Rear Lot Line" means the <b>lot line</b> that divides the <b>lot</b> from a public lane identified and named as a "lane" on Schedules RM5-42(1) to RM5-42(5) of this Exception		
4.11.2.42.17	"Front Lot Line" means the <b>lot line</b> opposite the rear lot line		
4.11.2.42.18	All site development plans shall comply with Schedules RM5-42(1) to RM5-42(5) of this Exception		



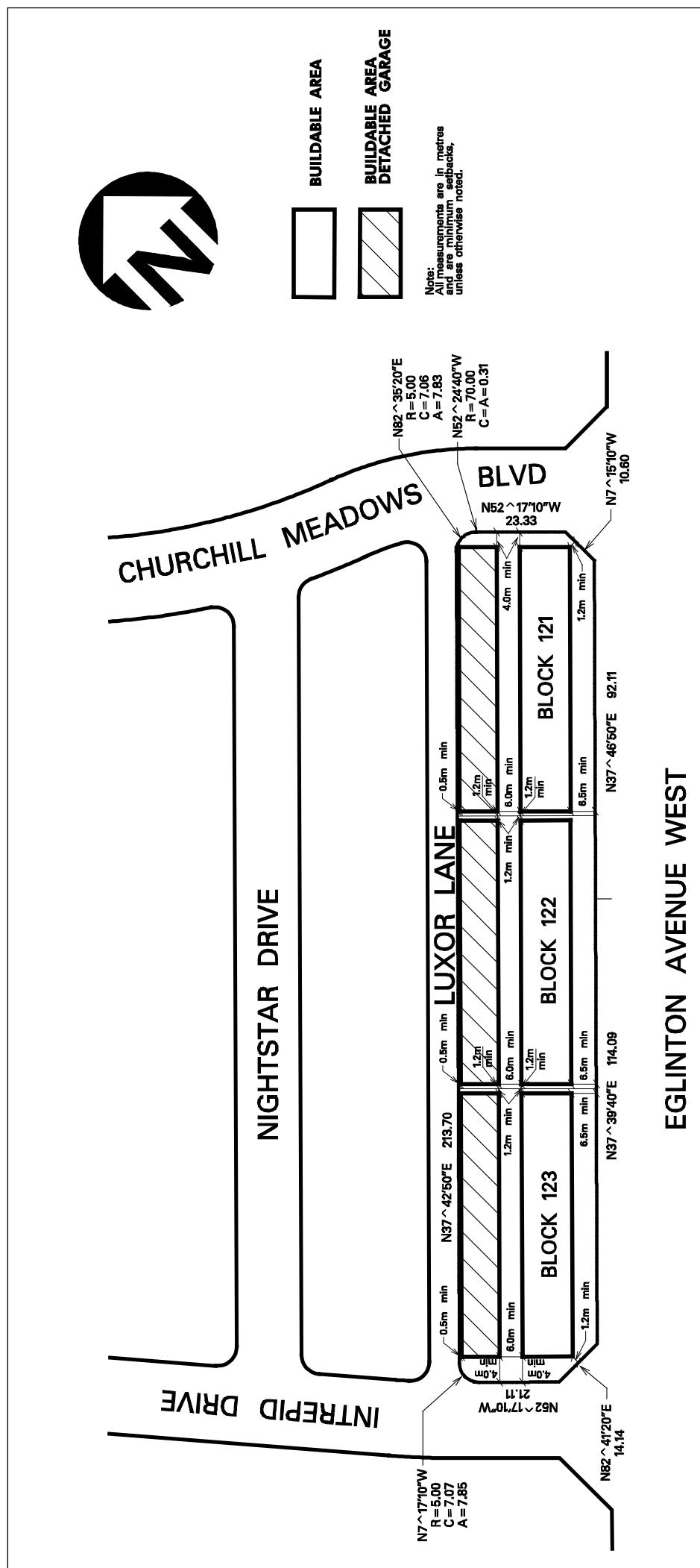
Schedule RM5-42(1)  
Map 57



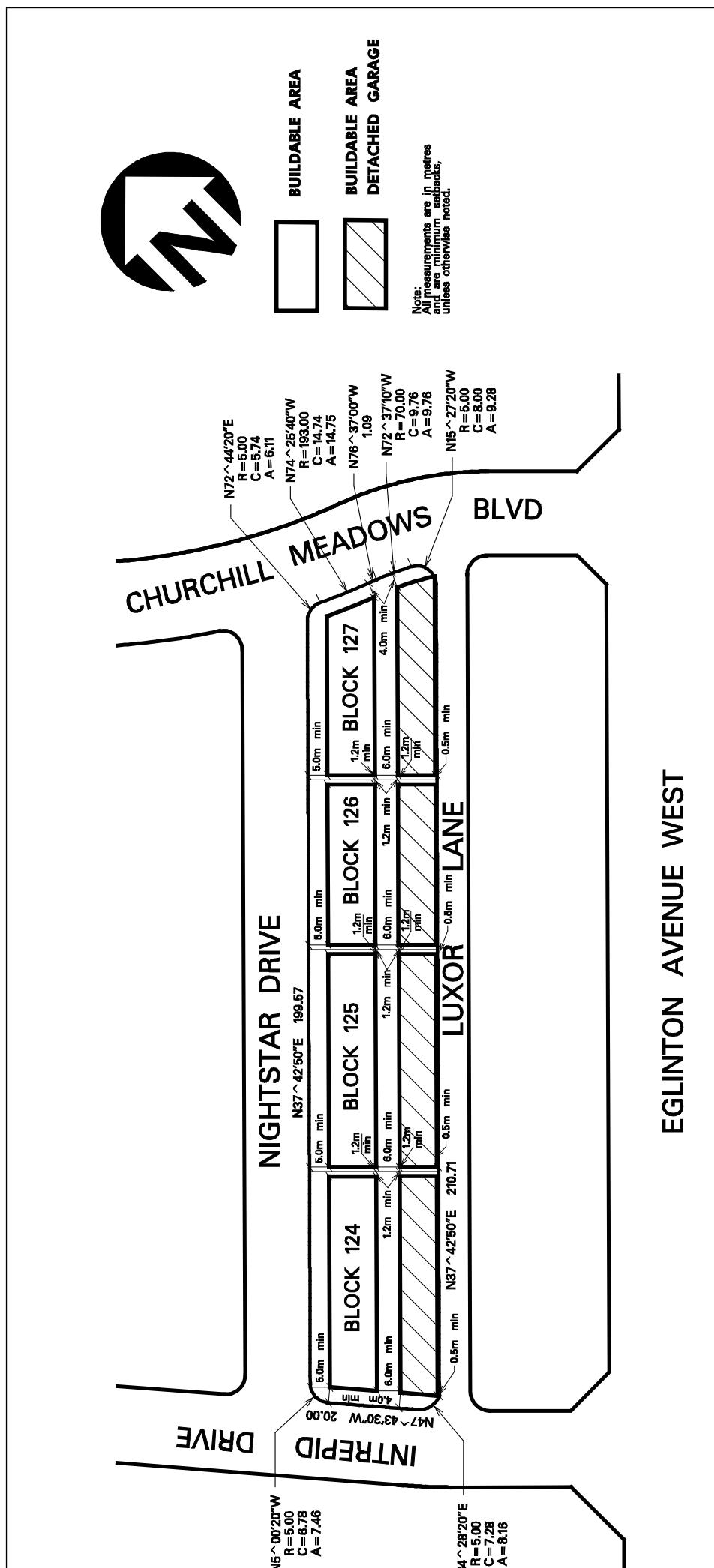
Schedule RM5-42(2)  
Map 57



Schedule RM5-42(3)  
Map 57



Schedule RM5-42(4)  
Map 57



Schedule RM5-42(5)  
Map 57

4.11.2.43	Exception: RM5-43	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-43 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Additional Permitted Use</b>			
4.11.2.43.1 (1) <b>Semi-Detached</b>			
<b>Regulations</b>			
4.11.2.43.2 <b>Street Townhouse:</b>			
(1) the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply			
(2) minimum <b>lot area - interior lot</b> 183 m <sup>2</sup>			
(3) minimum <b>lot area - corner lot</b> 292 m <sup>2</sup>			
(4) minimum <b>lot frontage - interior lot</b> 6.1 m			
(5) minimum <b>lot frontage - corner lot</b> 9.75 m			
(6) minimum <b>front yard</b> - lots without a municipal sidewalk adjacent the <b>front lot line</b> 3.5 m			
(7) minimum <b>exterior side yard</b> - lots without a municipal sidewalk adjacent the <b>exterior side lot line</b> 3.5 m			
(8) minimum setback to <b>garage face</b> 5.8 m			
(9) minimum <b>interior side yard</b> - unattached side - all <b>lots</b> 1.2 m			
(10) minimum <b>rear yard</b> 6.0 m			
(11) maximum encroachment of a <b>porch or balcony</b> into required <b>front</b> and <b>exterior side yards</b> 2.0 m			
(12) maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided 2.5 m			
(13) where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b> 5.0 m			
(14) for a <b>street townhouse</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>			
(15) minimum setback to a <b>sight triangle</b> 0.0 m			
(16) maximum <b>driveway width</b> 3.8 m			
(17) maximum <b>garage width</b> : measured from the inside face of the <b>garage</b> side walls 3.8 m			

**Exception RM5-43 continued on next page**

4.11.2.43	Exception: RM5-43	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
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**Exception RM5-43 continued from previous page**

4.11.2.43.3	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:	
(1)	the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply	
(2)	minimum <b>front yard - lots</b> without a municipal sidewalk adjacent the <b>front lot line</b>	3.5 m
(3)	minimum <b>exterior side yard - lots</b> without a municipal sidewalk adjacent the <b>exterior side lot line</b>	3.5 m
(4)	minimum <b>exterior side yard - corner lots</b> with a 0.3 m reserve along the <b>exterior lot line</b>	4.2 m
(5)	minimum setback to <b>garage face</b>	5.8 m
(6)	minimum <b>interior side yard</b>	1.2 m
(7)	maximum encroachment of a <b>porch or balcony</b> into required <b>front and exterior side yard</b>	2.0 m
(8)	maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided	2.5 m
(9)	where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>	5.0 m
(10)	for a <b>semi-detached</b> more than one <b>storey in height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>	
(11)	minimum setback to a <b>sight triangle</b>	0.0 m
(12)	maximum <b>garage width</b> : measured from the inside face of the <b>garage side walls</b>	3.8 m

4.11.2.44	Exception: RM5-44	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15
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In a RM5-44 zone the permitted **uses** and applicable regulations shall be as specified for a RM5 zone except that the following **uses/regulations** shall apply:

**Additional Permitted Uses**

- |             |  |
|-------------|--|
| 4.11.2.44.1 | <ul style="list-style-type: none"> <li>(1) <b>Detached Dwelling</b></li> <li>(2) <b>Semi-Detached</b></li> </ul> |
|-------------|--|

**Regulations**

- |             |                          |
|-------------|--------------------------|
| 4.11.2.44.2 | <b>Street Townhouse:</b> |
|-------------|--------------------------|

- |      |  |
|------|--|
| (1)  | the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply  |
| (2)  | minimum <b>lot area - interior lot</b> 183 m <sup>2</sup>  |
| (3)  | minimum <b>lot area - corner lot</b> 292 m <sup>2</sup>  |
| (4)  | minimum <b>lot frontage - interior lot</b> 6.1 m   |
| (5)  | minimum <b>lot frontage - corner lot</b> 9.75 m  |
| (6)  | minimum <b>front yard - lots without a municipal sidewalk adjacent the front lot line</b> 3.5 m  |
| (7)  | minimum <b>exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line</b> 3.5 m  |
| (8)  | minimum setback to <b>garage face</b> 5.8 m  |
| (9)  | minimum <b>interior side yard - unattached side</b> 1.2 m  |
| (10) | minimum <b>rear yard</b> 6.0 m   |
| (11) | minimum setback from a <b>street townhouse</b> to all lands zoned U-3 11.6 m   |
| (12) | maximum encroachment of a <b>porch or balcony</b> into required <b>front and exterior side yards</b> 2.0 m   |
| (13) | maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided 2.5 m  |
| (14) | where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b> 5.0 m   |
| (15) | for a <b>street townhouse</b> more than one <b>storey in height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b> |
| (16) | maximum <b>driveway width - interior lot</b> 4.3 m   |
| (17) | maximum <b>driveway width - corner lot</b> 4.7 m   |
| (18) | maximum <b>garage width:</b><br>measured from the inside face of the <b>garage</b> side walls 3.8 m  |
| (19) | minimum setback to a <b>sight triangle</b> 0.0 m   |

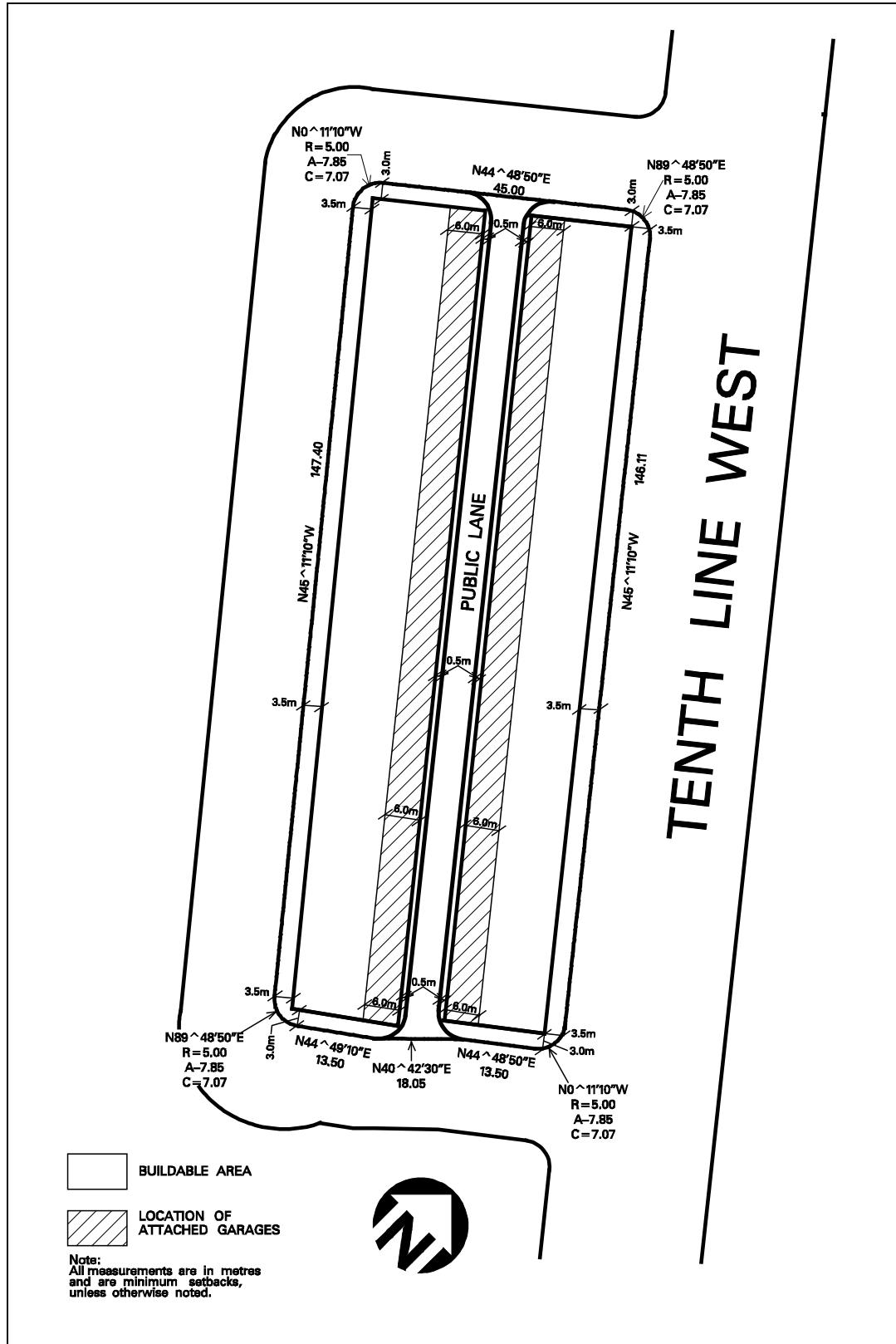
**Exception RM5-44 continued on next page**

4.11.2.44	Exception: RM5-44	Map # 57	By-law: 0174-2017, 0181-2018/LPAT Order 2019 February 15																																													
<b>Exception RM5-44 continued from previous page</b>																																																
4.11.2.44.3	<p>A <b>detached dwelling</b> shall comply with the R7 zone regulations contained in Subsection 4.3.1 of this By-law except that:</p> <table> <tr> <td>(1)</td><td>minimum <b>lot area - interior lot</b></td><td>275 m<sup>2</sup></td></tr> <tr> <td>(2)</td><td>minimum <b>lot area - corner lot</b></td><td>380 m<sup>2</sup></td></tr> <tr> <td>(3)</td><td>minimum <b>lot frontage - interior lot</b></td><td>9.75 m</td></tr> <tr> <td>(4)</td><td>minimum <b>lot frontage - corner lot</b></td><td>13.5 m</td></tr> <tr> <td>(5)</td><td>minimum <b>rear yard</b></td><td>7.5 m</td></tr> <tr> <td>(6)</td><td>minimum setback of a <b>detached dwelling</b> to all lands zoned U-3</td><td>11.6 m</td></tr> <tr> <td>(7)</td><td>maximum <b>driveway width</b></td><td>6.5 m</td></tr> <tr> <td>(8)</td><td>maximum <b>garage width:</b> measured from the inside face of the <b>garage</b> side walls</td><td>5.5 m</td></tr> </table>			(1)	minimum <b>lot area - interior lot</b>	275 m <sup>2</sup>	(2)	minimum <b>lot area - corner lot</b>	380 m <sup>2</sup>	(3)	minimum <b>lot frontage - interior lot</b>	9.75 m	(4)	minimum <b>lot frontage - corner lot</b>	13.5 m	(5)	minimum <b>rear yard</b>	7.5 m	(6)	minimum setback of a <b>detached dwelling</b> to all lands zoned U-3	11.6 m	(7)	maximum <b>driveway width</b>	6.5 m	(8)	maximum <b>garage width:</b> measured from the inside face of the <b>garage</b> side walls	5.5 m																					
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(8)	maximum <b>garage width:</b> measured from the inside face of the <b>garage</b> side walls	5.5 m																																														
4.11.2.44.4	<p>A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:</p> <table> <tr> <td>(1)</td><td>the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply</td><td></td></tr> <tr> <td>(2)</td><td>minimum <b>front yard - lots without a municipal sidewalk adjacent the front lot line</b></td><td>3.5 m</td></tr> <tr> <td>(3)</td><td>minimum <b>exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line</b></td><td>3.5 m</td></tr> <tr> <td>(4)</td><td>minimum <b>exterior side yard - lots abutting a street with a right-of-way width less than 17.0 m</b></td><td>1.8 m</td></tr> <tr> <td>(5)</td><td>minimum <b>exterior side yard</b> with a 0.3 m reserve along the <b>exterior side lot line</b></td><td>4.2 m</td></tr> <tr> <td>(6)</td><td>minimum setback to <b>garage face</b></td><td>5.8 m</td></tr> <tr> <td>(7)</td><td>minimum setback to a <b>sight triangle</b></td><td>0.0 m</td></tr> <tr> <td>(8)</td><td>minimum setback of a <b>semi-detached</b> to all lands zoned U-3</td><td>11.6 m</td></tr> <tr> <td>(9)</td><td>maximum encroachment of a <b>porch or balcony</b> into a required <b>front and exterior side yards</b></td><td>2.0 m</td></tr> <tr> <td>(10)</td><td>maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided</td><td>2.5 m</td></tr> <tr> <td>(11)</td><td>where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b></td><td>5.0 m</td></tr> <tr> <td>(12)</td><td>for a <b>semi-detached</b> more than one <b>storey in height</b>, where the <b>garage</b> projects beyond the <b>main front entrance</b>, the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b></td><td></td></tr> <tr> <td>(13)</td><td>maximum <b>driveway width - interior lot</b></td><td>4.3 m</td></tr> <tr> <td>(14)</td><td>maximum <b>driveway width - corner lot</b></td><td>4.7 m</td></tr> <tr> <td>(15)</td><td>maximum <b>garage width:</b> measured from the inside face of the <b>garage</b> side walls</td><td>3.8 m</td></tr> </table>			(1)	the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply		(2)	minimum <b>front yard - lots without a municipal sidewalk adjacent the front lot line</b>	3.5 m	(3)	minimum <b>exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line</b>	3.5 m	(4)	minimum <b>exterior side yard - lots abutting a street with a right-of-way width less than 17.0 m</b>	1.8 m	(5)	minimum <b>exterior side yard</b> with a 0.3 m reserve along the <b>exterior side lot line</b>	4.2 m	(6)	minimum setback to <b>garage face</b>	5.8 m	(7)	minimum setback to a <b>sight triangle</b>	0.0 m	(8)	minimum setback of a <b>semi-detached</b> to all lands zoned U-3	11.6 m	(9)	maximum encroachment of a <b>porch or balcony</b> into a required <b>front and exterior side yards</b>	2.0 m	(10)	maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided	2.5 m	(11)	where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>	5.0 m	(12)	for a <b>semi-detached</b> more than one <b>storey in height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>		(13)	maximum <b>driveway width - interior lot</b>	4.3 m	(14)	maximum <b>driveway width - corner lot</b>	4.7 m	(15)	maximum <b>garage width:</b> measured from the inside face of the <b>garage</b> side walls	3.8 m
(1)	the regulations of Line 5.0 contained in Table 4.8.1 of this By-law shall not apply																																															
(2)	minimum <b>front yard - lots without a municipal sidewalk adjacent the front lot line</b>	3.5 m																																														
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(4)	minimum <b>exterior side yard - lots abutting a street with a right-of-way width less than 17.0 m</b>	1.8 m																																														
(5)	minimum <b>exterior side yard</b> with a 0.3 m reserve along the <b>exterior side lot line</b>	4.2 m																																														
(6)	minimum setback to <b>garage face</b>	5.8 m																																														
(7)	minimum setback to a <b>sight triangle</b>	0.0 m																																														
(8)	minimum setback of a <b>semi-detached</b> to all lands zoned U-3	11.6 m																																														
(9)	maximum encroachment of a <b>porch or balcony</b> into a required <b>front and exterior side yards</b>	2.0 m																																														
(10)	maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided	2.5 m																																														
(11)	where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>	5.0 m																																														
(12)	for a <b>semi-detached</b> more than one <b>storey in height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>																																															
(13)	maximum <b>driveway width - interior lot</b>	4.3 m																																														
(14)	maximum <b>driveway width - corner lot</b>	4.7 m																																														
(15)	maximum <b>garage width:</b> measured from the inside face of the <b>garage</b> side walls	3.8 m																																														

4.11.2.45	Exception: RM5-45	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM5-45 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.45.1	The provisions contained in Subsection 2.1.14 and the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.45.2	<b>Minimum lot area - interior lot</b>	170 m <sup>2</sup>	
4.11.2.45.3	<b>Minimum lot area - corner lot</b>	235 m <sup>2</sup>	
4.11.2.45.4	<b>Minimum lot frontage - interior lot</b>	7.5 m	
4.11.2.45.5	<b>Minimum lot frontage - corner lot</b>	10.5 m	
4.11.2.45.6	Minimum setback of all <b>buildings</b> and <b>structures</b> except a detached <b>garage</b> to a <b>sight triangle</b>	0.0 m	
4.11.2.45.7	<b>Minimum height</b>	8.5 m	
4.11.2.45.8	<b>Minimum height - street townhouse</b> with an unattached side	8.0 m	
4.11.2.45.9	Maximum projection of a <b>porch</b> or <b>balcony</b> outside the buildable area identified on Schedule RM5-45 of this Exception into the <b>front</b> and/or <b>exterior side yard</b> provided that the width of the <b>porch</b> or <b>balcony</b> shall not exceed 50% of the width of the <b>street townhouse</b>	1.5 m	
4.11.2.45.10	Maximum projection of an awning outside the buildable area identified on Schedule RM5-45 of this Exception into the required <b>front yard</b>	0.6 m	
4.11.2.45.11	Maximum projection of an awning outside the buildable area identified on Schedule RM5-45 of this Exception into the required <b>exterior side yard</b>	0.3 m	
4.11.2.45.12	Maximum projection of a window projection, with or without a foundation, <b>chimney</b> , pilaster or corbel outside the buildable area identified on Schedule RM5-45 of this Exception into a required <b>yard</b>	0.6 m	
4.11.2.45.13	Maximum area of a <b>deck</b> within the buildable area identified on Schedules RM5-45 of this Exception	10 m <sup>2</sup>	
4.11.2.45.14	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls - <b>interior lot</b>	5.5 m	
4.11.2.45.15	Maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls - <b>corner lot</b>	5.9 m	
4.11.2.45.16	Maximum <b>height</b> - attached <b>garage</b> with no <b>habitable rooms</b> above: measured from <b>established grade</b> to the highest point of the <b>garage</b> roof	4.6 m	
4.11.2.45.17	Maximum <b>height</b> - attached <b>garage</b> with <b>habitable rooms</b> above: measured from <b>established grade</b> to the highest point of the roof	8.5 m	
4.11.2.45.18	Minimum <b>interior side yard</b> on one side of an attached <b>garage</b>	0.85 m	
4.11.2.45.19	Maximum <b>driveway</b> width	6.5 m	

**Exception RM5-45 continued on next page**

4.11.2.45	Exception: RM5-45	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15
<b>Exception RM5-45 continued from previous page</b>			
4.11.2.45.20	"Rear Lot Line" means the <b>lot line</b> that divides the <b>lot</b> from a public lane identified and named as a "lane" on Schedule RM5-45 of this Exception		
4.11.2.45.21	"Front Lot Line" means the <b>lot line</b> opposite the rear lot line		
4.11.2.45.22	All site development plans shall comply with Schedule RM5-45 of this Exception		



Schedule RM5-45  
Map 57

4.11.2.46	Exception: RM5-46	Map # 57	By-law: 0181-2018/LPAT Order 2019 February 15
In a RM5-46 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.46.1 The regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply			
4.11.2.46.2	Minimum <b>lot area - interior lot</b>	170 m <sup>2</sup>	
4.11.2.46.3	Minimum <b>lot area - corner lot</b>	235 m <sup>2</sup>	
4.11.2.46.4	Minimum <b>lot frontage - interior lot</b>	5.4 m	
4.11.2.46.5	Minimum <b>lot frontage - corner lot</b>	10.5 m	
4.11.2.46.6	Minimum <b>front yard - lot</b> without a municipal sidewalk adjacent the <b>front lot line</b>	3.5 m	
4.11.2.46.7	Minimum <b>exterior side yard</b>	3.5 m	
4.11.2.46.8	Minimum <b>rear yard</b>	7.0 m	
4.11.2.46.9	Maximum encroachment of a <b>porch or balcony</b> into the required <b>front and exterior side yards</b>	2.0 m	
4.11.2.46.10	Maximum encroachment of an awning into the required <b>front yard</b>	0.6 m	
4.11.2.46.11	Maximum encroachment of an awning into the required <b>exterior side yard</b>	0.3 m	
4.11.2.46.12	Maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided	2.5 m	
4.11.2.46.13	Where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>	5.0 m	
4.11.2.46.14	For a <b>street townhouse</b> more than one <b>storey in height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , a minimum of 60% of the width of the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>		
4.11.2.46.15	Minimum setback to a <b>sight triangle</b>	0.0 m	
4.11.2.46.16	Maximum <b>driveway width - interior lot</b>	3.8 m	
4.11.2.46.17	Maximum <b>driveway width - corner lot</b>	4.2 m	
4.11.2.46.18	Maximum <b>garage width</b> : measured from the inside face of the <b>garage</b> side walls	3.8 m	

4.11.2.47	Exception: RM5-47	Map # 38W	By-law: 0426-2008, 0181-2018/LPAT Order 2019 February 15
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In a RM5-47 zone the permitted **uses** and applicable regulations shall be as specified for a RM5 zone except that the following **uses/regulations** shall apply:

**Regulations**

4.11.2.47.1	The provisions contained in Sentence 3.1.1.2.1 of this By-law shall not apply	
4.11.2.47.2	<b>Minimum lot area - interior lot</b>	155 m <sup>2</sup>
4.11.2.47.3	<b>Minimum lot frontage - interior lot</b>	6.0 m
4.11.2.47.4	<b>Minimum front yard</b>	3.2 m
4.11.2.47.5	<b>Minimum front yard - garage face</b>	2.2 m
4.11.2.47.6	<b>Minimum interior side yard - unattached side</b>	1.3 m
4.11.2.47.7	<b>Maximum height</b>	13.0 m
4.11.2.47.8	<b>Maximum gross floor area - residential</b>	295 m <sup>2</sup>
4.11.2.47.9	<b>Maximum driveway width</b>	5.72 m
4.11.2.47.10	"Gross Floor Area - Residential" means the sum of the areas of each <b>storey</b> of a <b>building</b> above <b>established grade</b> measured from the exterior of outside walls but shall not include any part of the <b>building</b> used for <b>motor vehicle</b> parking	

4.11.2.48	Exception: RM5-48	Map # 57	By-law: 0455-2007, 0174-2017, 0181-2018/LPAT Order 2019 February 15
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In a RM5-48 zone the permitted **uses** and applicable regulations shall be as specified for a RM5 zone except that the following **uses/regulations** shall apply:

**Additional Permitted Uses**

4.11.2.48.1	(1) <b>Detached Dwelling</b>	
	(2) <b>Semi-Detached</b>	

**Regulations**

4.11.2.48.2	A <b>detached dwelling</b> shall comply with the R7 zone regulations contained in Subsection 4.3.1 of this By-law except that:	
	(1)      maximum number of detached <b>dwelling units</b> permitted within 185.0 m of Thomas Street	1
	(2)      minimum setback of a <b>lot</b> to Winston Churchill Boulevard	108.0 m
	(3) <b>minimum lot area - interior lot</b>	275 m <sup>2</sup>
	(4) <b>minimum lot frontage - interior lot</b>	9.75 m
	(5) <b>minimum lot frontage - corner lot</b>	13.0 m
	(6) <b>maximum driveway width</b>	6.5 m
	(7) <b>maximum garage width:</b> measured from the inside face of the <b>garage</b> side walls	5.5 m
	(8)      a <b>balcony</b> with a maximum area of 10 m <sup>2</sup> is permitted on top of an attached <b>garage</b> provided that the <b>balcony</b> does not project more than 1.0 m beyond the <b>garage face</b>	

**Exception RM5-48 continued on next page**

4.11.2.48	Exception: RM5-48	Map # 57	By-law: 0455-2007, 0174-2017, 0181-2018/LPAT Order 2019 February 15
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**Exception RM5-48 continued from previous page**

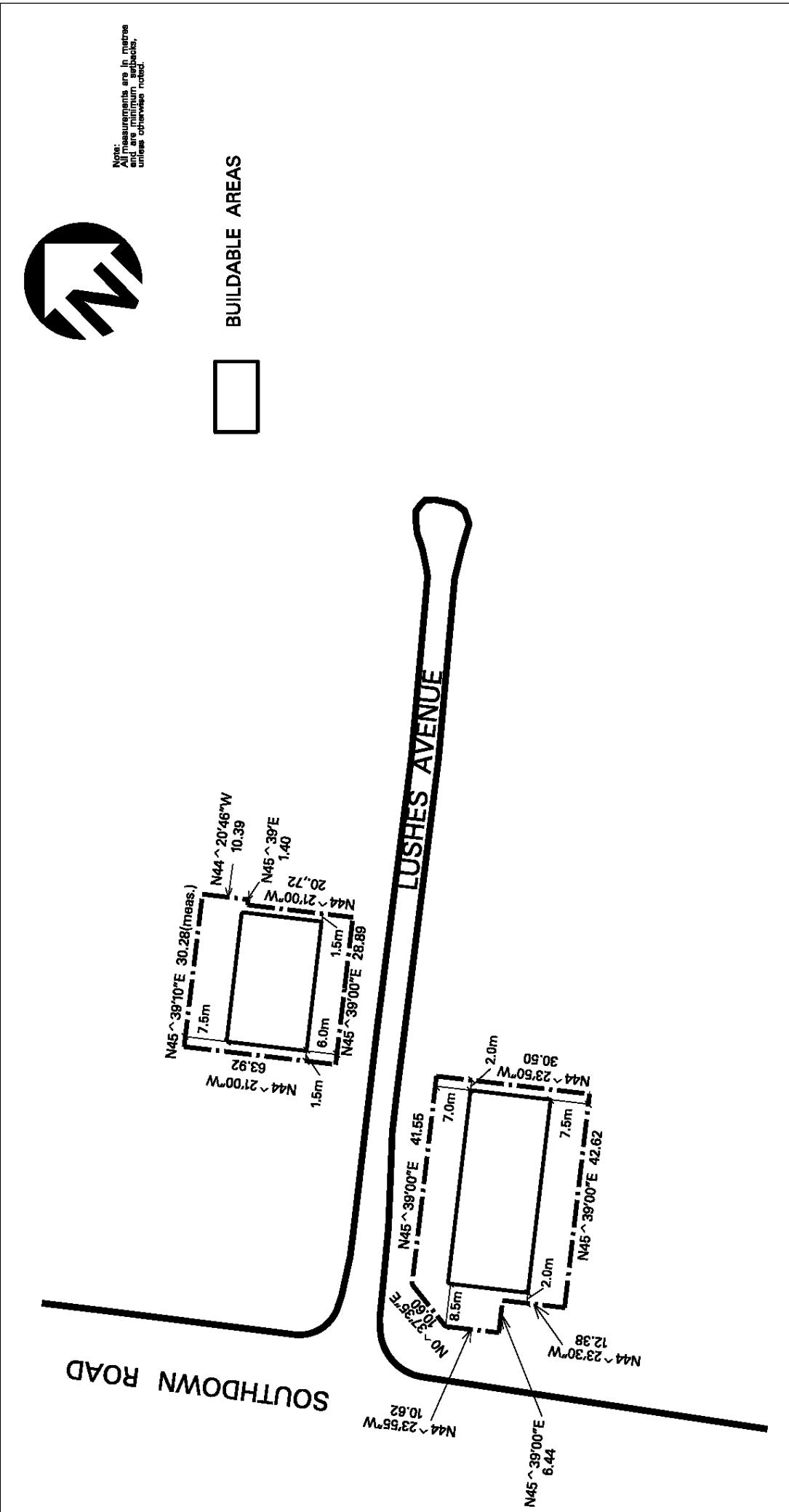
4.11.2.48.3	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:	
(1)	the regulations of Lines 5.0 and 11.0 contained in Table 4.8.1 of this By-law shall not apply	
(2)	minimum <b>front yard</b> - lots without a municipal sidewalk adjacent the <b>front lot line</b>	3.5 m
(3)	minimum setback to <b>garage face</b>	5.8 m
(4)	minimum <b>exterior side yard</b> - lots without a municipal sidewalk adjacent the <b>exterior side lot line</b>	3.5 m
(5)	minimum <b>exterior side yard</b> - lots abutting a <b>street</b> with a right-of-way width less than 17.0 m	1.8 m
(6)	minimum <b>exterior side yard</b> - <b>corner lots</b> with a 0.3 m reserve along the <b>exterior lot line</b>	4.2 m
(7)	minimum <b>rear yard</b>	7.0 m
(8)	maximum encroachment of a <b>porch</b> or <b>balcony</b> into required <b>front</b> and <b>exterior side yards</b>	2.0 m
(9)	maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> where provided	2.5 m
(10)	where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>	5.0 m
(11)	for a <b>semi-detached</b> more than one <b>storey</b> in <b>height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , a minimum of 75% of the width of the <b>garage</b> , measured from the inside face of the <b>garage</b> walls, the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>	
(12)	minimum setback to a <b>sight triangle</b>	0.0 m
(13)	maximum <b>driveway</b> width - <b>interior lot</b>	4.3 m
(14)	maximum <b>driveway</b> width - <b>corner lot</b>	4.7 m
(15)	maximum <b>garage</b> width: measured from the inside face of the <b>garage</b> side walls	3.8 m
(16)	a <b>balcony</b> with a maximum area of 10 m <sup>2</sup> is permitted on top of an attached <b>garage</b> provided that the <b>balcony</b> does not project more than 1.0 m beyond the <b>garage face</b>	

4.11.2.49	Exception: RM5-49	Map # 03	By-law: 0281-2008, 0410-2008, 0181-2018/LPAT Order 2019 February 15
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In a RM5-49 zone the permitted **uses** and applicable regulations shall be as specified for a RM5 zone except that the following **uses/regulations** shall apply:

**Regulations**

4.11.2.49.1	Minimum <b>lot area - interior lot</b>	188 m <sup>2</sup>
4.11.2.49.2	Minimum <b>lot frontage - interior lot</b>	6.3 m
4.11.2.49.3	Maximum <b>gross floor area - residential</b>	1.16 times the <b>lot area</b>
4.11.2.49.4	Maximum encroachment of a <b>porch or deck</b> inclusive of stairs located at and accessible from the <b>first storey</b> or below the <b>first storey</b> into the required <b>front and exterior side yards</b> outside the buildable area identified on Schedule RM5-49 of this Exception	1.6 m
4.11.2.49.5	Maximum encroachment of an awning, window, <b>chimney</b> , pilaster or corbel, window well, and stairs with a maximum of three risers into the required <b>front and exterior side yards</b> outside the buildable area identified on Schedule RM5-49 of this Exception	0.61 m
4.11.2.49.6	Maximum encroachment of a <b>porch or deck</b> inclusive of stairs located at and accessible from the <b>first storey</b> or below the <b>first storey</b> , or awning into the required <b>rear yard</b> outside the buildable area identified on Schedule RM5-49 of this Exception	5.0 m
4.11.2.49.7	For a <b>lot</b> with a <b>townhouse</b> requiring a 0.0 m <b>interior side yard</b> , the setback to the <b>interior side lot line</b> from a <b>porch or deck</b> inclusive of stairs permitted in the <b>rear yard</b> , shall also be 0.0 m	
4.11.2.49.8	Maximum encroachment of a <b>balcony</b> into the required <b>front, exterior side or rear yard</b> outside the buildable area identified on Schedule RM5-49 of this Exception	1.0 m
4.11.2.49.9	Maximum encroachment of a window, <b>chimney</b> , heating and/or air conditioning equipment, pilaster or corbel, window well, and stairs with a maximum of three risers into the required <b>rear yard</b> outside the buildable area identified on Schedule RM5-49 of this Exception	1.0 m
4.11.2.49.10	All site development plans shall comply with Schedule RM5-49 of this Exception	



# Schedule RM5-49

## Map 03

4.11.2.50	Exception: RM5-50	Map # 30	By-law: 0184-2008
In a RM5-50 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.50.1	The regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.50.2	<b>Minimum lot area - interior lot</b>	145 m <sup>2</sup>	
4.11.2.50.3	<b>Minimum lot area - corner lot</b>	255 m <sup>2</sup>	
4.11.2.50.4	<b>Minimum lot frontage - interior lot</b>	6.0 m	
4.11.2.50.5	<b>Minimum lot frontage - corner lot</b>	10.5 m	
4.11.2.50.6	<b>Minimum rear yard</b>	6.0 m	
4.11.2.50.7	Maximum encroachment of a <b>porch</b> or a <b>balcony</b> into the required <b>front yard</b> or <b>exterior side yard</b>	2.0 m	
4.11.2.50.8	<b>Maximum height</b>	11.0 m	
4.11.2.50.9	<b>Maximum driveway width</b>	3.0 m	
4.11.2.50.10	Maximum area of a <b>balcony</b> on top of an attached <b>garage</b>	6 m <sup>2</sup>	

4.11.2.51	Exception: RM5-51	Map # 15	By-law: 0389-2009, 0188-2010
In a RM5-51 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.51.1	<b>Minimum lot area - interior lot</b>	195 m <sup>2</sup>	
4.11.2.51.2	<b>Minimum lot area - corner lot</b>	384 m <sup>2</sup>	
4.11.2.51.3	<b>Minimum lot frontage - corner lot</b>	13.6 m	
4.11.2.51.4	<b>Minimum exterior side yard</b>	7.2 m	
4.11.2.51.5	<b>Minimum interior side yard - unattached side</b>	1.2 m	
4.11.2.51.6	<b>Maximum gross floor area - residential</b>	1.37 times the <b>lot area</b>	
4.11.2.51.7	Maximum encroachment of a <b>porch</b> or a <b>deck</b> , located at and accessible from the <b>first storey</b> or below the <b>first storey</b> of the dwelling, inclusive of stairs, into a required <b>front yard</b>	2.0 m	
4.11.2.51.8	Maximum encroachment of a <b>balcony</b> into a required <b>rear yard</b>	2.5 m	
4.11.2.51.9	<b>Maximum driveway width</b>	3.75 m	
4.11.2.51.10	<b>Maximum garage door width</b>	3.0 m	

## Part 4 - Residential Zones

4.11.2.52	Exception: RM5-52	Map # 15	By-law: 0389-2009, 0188-2010
In a RM5-52 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.52.1	Minimum <b>lot area - interior lot</b>	250 m <sup>2</sup>	
4.11.2.52.2	Minimum <b>lot frontage - interior lot</b>	7.5 m	
4.11.2.52.3	Minimum <b>interior side yard</b> - unattached side abutting a R1-7 zone	3.0 m	
4.11.2.52.4	Maximum <b>gross floor area - residential</b>	1.08 times the <b>lot area</b>	
4.11.2.52.5	Maximum encroachment of a <b>porch</b> or a <b>deck</b> , located at and accessible from the <b>first storey</b> or below the <b>first storey</b> of the dwelling, inclusive of stairs, into a required <b>front yard</b>	2.0 m	
4.11.2.52.6	Maximum encroachment of a <b>balcony</b> into a required <b>rear yard</b>	2.5 m	
4.11.2.52.7	Maximum <b>driveway width</b>	3.75 m	
4.11.2.52.8	Maximum <b>garage door width</b>	3.0 m	
4.11.2.52.9	Minimum number of <b>parking spaces</b> per <b>dwelling unit</b>	3.0	
4.11.2.52.10	Tandem parking is permitted within a <b>garage</b>		
4.11.2.52.11	A <b>hammerhead</b> shall be permitted on a <b>lot</b> with a <b>lot frontage</b> greater than or equal to 7.5 m		

4.11.2.53	Exception: RM5-53	Map # 36W	By-law: 0088-2013/OMB Order 2013 November 18/ 2014 November 11, 0174-2017, 0181-2018/LPAT Order 2019 February 15
In a RM5-53 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			

<b>Additional Permitted Use</b>			
4.11.2.53.1	(1) <b>Semi-Detached</b>		
<b>Regulations</b>			
4.11.2.53.2	<b>Street Townhouse:</b>		
(1)	minimum <b>lot area - interior lot</b>	162 m <sup>2</sup>	
(2)	minimum <b>lot area - corner lot</b>	255 m <sup>2</sup>	
(3)	minimum <b>lot frontage - interior lot</b>	6.0 m	
(4)	minimum <b>lot frontage - corner lot</b>	9.5 m	
(5)	minimum <b>exterior side yard</b>	4.0 m	
(6)	minimum <b>interior side yard</b> - unattached side	0.91 m	
(7)	maximum <b>height</b>	11.0 m	
(8)	maximum <b>gross floor area - residential</b>	1.2 times the <b>lot area</b>	
(9)	maximum encroachment of a <b>porch</b> or <b>balcony</b> into the required <b>front yard</b>	2.0 m	
(10)	a <b>porch</b> or a <b>deck</b> , exceeding 0.61 m in <b>height</b> above grade at any point, shall not project from the rear wall of a dwelling		

Exception RM5-53 continued on next page

## Part 4 - Residential Zones

4.11.2.53	Exception: RM5-53	Map # 36W	By-law: 0088-2013/OMB Order 2013 November 18/ 2014 November 11, 0174-2017, 0181-2018/LPAT Order 2019 February 15
<b>Exception RM5-53 continued from previous page</b>			
4.11.2.53.2 (continued)	(11) Article 4.1.5.2 and Article 4.1.5.7 of this By-law shall only apply to a <b>porch</b> or <b>deck</b> 0.61 m or less in <b>height</b> above grade at any point  (12) a <b>balcony</b> shall not project from the rear wall of a dwelling		
4.11.2.53.3	A <b>semi-detached</b> shall comply with the RM2 zone regulations contained in Subsection 4.8.1 of this By-law except that:		
	(1) minimum <b>lot area - interior lot</b>	162 m <sup>2</sup>	
	(2) minimum <b>lot frontage - interior lot</b>	6.0 m	
	(3) maximum <b>lot coverage</b>	48%	
	(4) minimum <b>exterior side yard</b>	4.0 m	
	(5) maximum <b>height</b>	11.0 m	
	(6) maximum <b>gross floor area - residential</b>	1.2 times the <b>lot area</b>	
	(7) maximum encroachment of a <b>porch</b> or <b>balcony</b> into the required <b>front yard</b>	2.0 m	
	(8) a <b>porch</b> or a <b>deck</b> , exceeding 0.61 m in <b>height</b> above grade at any point, shall not project from the rear wall of a dwelling		
	(9) Article 4.1.5.2 and Article 4.1.5.7 of this By-law shall only apply to a <b>porch</b> or <b>deck</b> 0.61 m or less in <b>height</b> above grade at any point		
	(10) a <b>balcony</b> shall not project from the rear wall of a dwelling		
	(11) minimum <b>interior side yard</b>	0.9 m	

4.11.2.54	Exception: RM5-54	Map # 57	By-law: 0055-2012, 0181-2018/LPAT Order 2019 February 15
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In a RM5-54 zone the permitted **uses** and applicable regulations shall be as specified for a RM5 zone except that the following **uses/regulations** shall apply:

### Regulations

4.11.2.54.1	Minimum <b>lot area - interior lot</b>	183 m <sup>2</sup>
4.11.2.54.2	Minimum <b>lot area - corner lot</b>	292 m <sup>2</sup>
4.11.2.54.3	Minimum <b>lot frontage - interior lot</b>	6.1 m
4.11.2.54.4	Minimum <b>lot frontage - corner lot</b>	9.7 m
4.11.2.54.5	Minimum <b>front yard - lots without a municipal sidewalk adjacent the front lot line</b>	3.5 m
4.11.2.54.6	Minimum <b>exterior side yard - lots without a municipal sidewalk adjacent the exterior side lot line</b>	3.5 m
4.11.2.54.7	Minimum <b>interior side yard - unattached side</b>	1.2 m
4.11.2.54.8	Minimum <b>rear yard</b>	6.0 m
4.11.2.54.9	Minimum setback to <b>garage face</b>	5.8 m

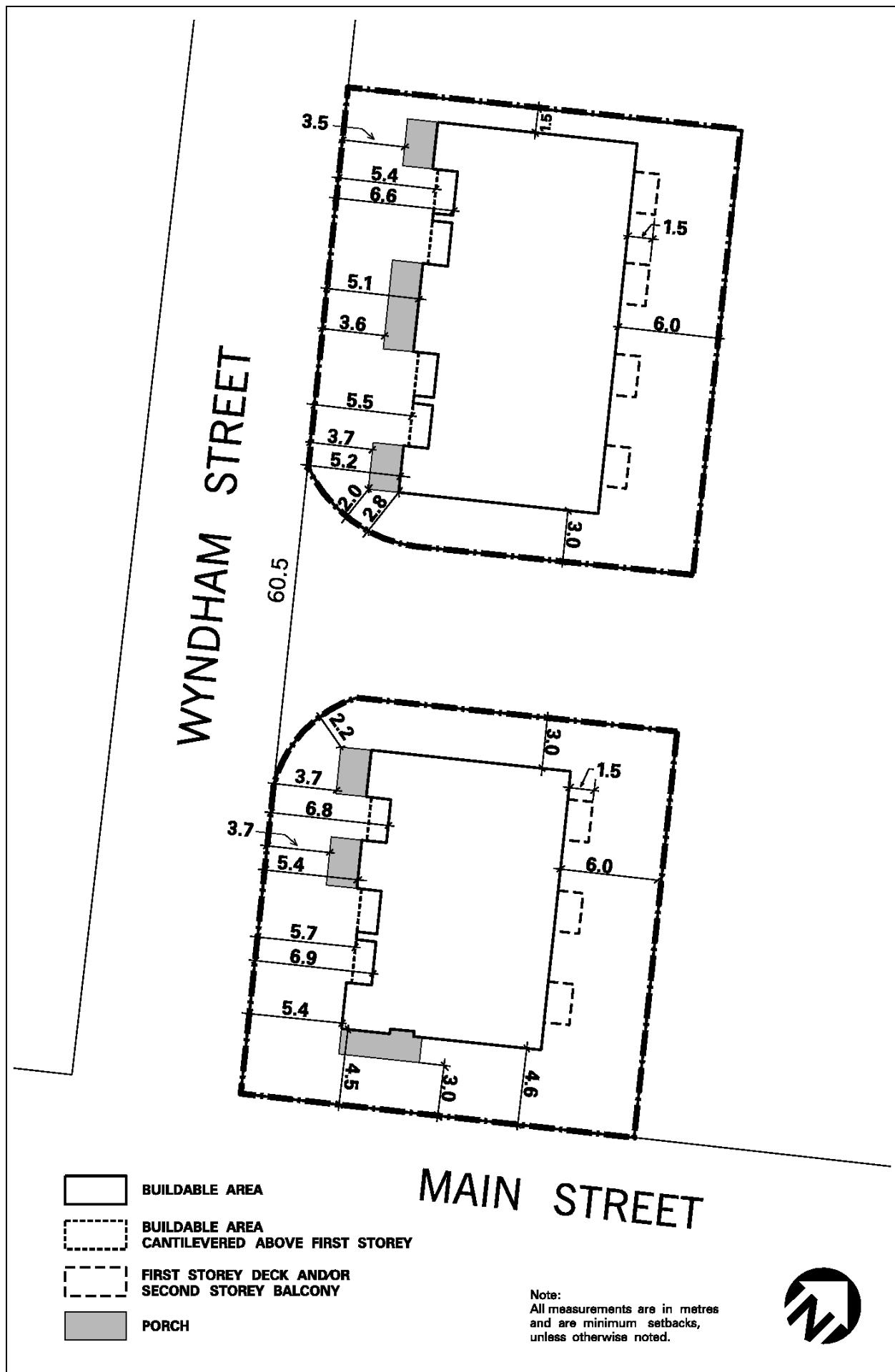
**Exception RM5-54 continued on next page**

4.11.2.54	Exception: RM5-54	Map # 57	By-law: 0055-2012, 0181-2018/LPAT Order 2019 February 15
<b>Exception RM5-54 continued from previous page</b>			
4.11.2.54.10	Maximum <b>gross floor area - residential</b>	1.0 times the <b>lot area</b>	
4.11.2.54.11	Maximum encroachment of a <b>porch or balcony</b> into the required <b>front and exterior side yards</b>	2.0 m	
4.11.2.54.12	Minimum setback of stairs from the <b>front and exterior side lot lines</b>	1.0 m	
4.11.2.54.13	Maximum projection of a <b>garage</b> beyond either the <b>main front entrance</b> or beyond the <b>main entry feature</b> , where provided	2.5 m	
4.11.2.54.14	Where a <b>main entry feature</b> has been provided, the maximum projection of a <b>garage</b> beyond a <b>main front entrance</b>	5.0 m	
4.11.2.54.15	For a <b>street townhouse</b> more than one <b>storey in height</b> , where the <b>garage</b> projects beyond the <b>main front entrance</b> , the <b>garage</b> shall be covered by a second <b>storey</b> which may be set back a maximum of 2.5 m from the <b>garage face</b>		
4.11.2.54.16	Maximum <b>driveway width - interior lot</b>	4.3 m	
4.11.2.54.17	Maximum <b>driveway width - corner lot</b>	4.7 m	
4.11.2.54.18	Maximum <b>garage width</b> : measured from the inside face of the <b>garage side walls</b>	3.8 m	
4.11.2.54.19	Minimum setback to a <b>sight triangle</b>	0.0 m	

4.11.2.55	Exception: RM5-55	Map # 19	By-law: OMB Order 2015 December 03, 0181-2018/LPAT Order 2019 February 15
In a RM5-55 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.55.1	Minimum <b>lot area - interior lot</b>	191 m <sup>2</sup>	
4.11.2.55.2	Minimum <b>lot frontage - interior lot</b>	7.8 m	
4.11.2.55.3	Minimum <b>front yard</b>	6.2 m	
4.11.2.55.4	Minimum setback to the <b>garage face</b>	6.5 m	
4.11.2.55.5	Minimum <b>interior side yard</b> abutting lands zoned any zone other than RM5-55	3.0 m	
4.11.2.55.6	Maximum <b>gross floor area - residential</b>	1.15 times the <b>lot area</b>	

4.11.2.56	Exception: RM5-56	Map # 03	By-law: 0166-2018
In a RM5-56 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.56.1	Minimum <b>lot area - interior lot</b>	135 m <sup>2</sup>	
4.11.2.56.2	Minimum <b>lot frontage - interior lot</b>	6.4 m	
4.11.2.56.3	Minimum <b>rear yard</b>	7.0 m	
4.11.2.56.4	Maximum <b>gross floor area - residential</b>	175 m <sup>2</sup>	
4.11.2.56.5	Maximum encroachment of a <b>porch</b> or stairs into a required <b>front yard</b>	1.0 m	
4.11.2.56.6	Maximum encroachment of a <b>balcony</b> into a required <b>rear yard</b>	2.5 m	

4.11.2.57	Exception: RM5-57	Map # 38W	By-law: 0029-2021
In a RM5-57 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:			
<b>Regulations</b>			
4.11.2.57.1	The provisions of Subsection 2.1.14 and the regulation of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply		
4.11.2.57.2	Minimum <b>lot area - interior lot</b>	127 m <sup>2</sup>	
4.11.2.57.3	Minimum <b>lot area - corner lot</b>	195 m <sup>2</sup>	
4.11.2.57.4	Minimum <b>lot frontage - interior lot</b>	5.4 m	
4.11.2.57.5	Minimum <b>lot frontage - corner lot</b>	8.5 m	
4.11.2.57.6	Notwithstanding Sentence 4.11.2.57.10 of this Exception, maximum encroachment of eaves into a required <b>yard</b>	0.7 m	
4.11.2.57.7	Notwithstanding Sentence 4.11.2.57.10 of this Exception, maximum encroachment of stairs attached to a <b>deck</b> located at and accessible from the <b>first storey</b> or below the <b>first storey</b> of the dwelling into a required <b>rear yard</b>	2.2 m	
4.11.2.57.8	Notwithstanding Sentence 4.11.2.57.10 of this Exception, maximum encroachment of a third <b>storey balcony</b> into a required <b>rear yard</b>	1.0 m	
4.11.2.57.9	Notwithstanding Sentence 4.11.2.57.10 of this Exception, external heating, air conditioning, and home back-up generator equipment is permitted in a required <b>rear yard</b>		
4.11.2.57.10	All site development plans shall comply with Schedule RM5-57 of this Exception		
<b>Holding Provision</b>			
<p>The holding symbol H is to be removed from the whole or any part of the lands zoned H-RM5-57 by further amendment to Map 38W of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirement:</p> <p>(1) delivery of an executed agreement for community benefits pursuant to section 37 of the <i>Planning Act</i>, as amended, in a form and on terms satisfactory to the City of Mississauga.</p>			



Schedule RM5-57  
Map 38W

## Part 4 - Residential Zones

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4.11.2.58	Exception: RM5-58	Map #	By-law:

4.11.2.59	Exception: RM5-59	Map #	By-law:

4.11.2.60	Exception: RM5-60	Map # 09	By-law: 0261-2021	
In a RM5-60 zone the permitted <b>uses</b> and applicable regulations shall be as specified for a RM5 zone except that the following <b>uses/regulations</b> shall apply:				
<b>Regulations</b>				
4.11.2.60.1 The provisions of Article 4.1.8.1 and the regulations of Line 11.0 contained in Table 4.11.1 of this By-law shall not apply				
4.11.2.60.2 Maximum number of <b>dwelling units</b> on all lands zoned RM5-60	6			
4.11.2.60.3 Minimum <b>lot area - interior lot</b>	143 m <sup>2</sup>			
4.11.2.60.4 Minimum <b>lot area - corner lot</b>	250 m <sup>2</sup>			
4.11.2.60.5 Minimum <b>lot frontage - interior lot/corner lot</b>	6.0 m			
4.11.2.60.6 The <b>lot line</b> abutting Albertson Crescent shall be deemed to be the <b>front lot line</b>				
4.11.2.60.7 Maximum <b>height</b>	9.6 m and 3 <b>storeys</b>			
4.11.2.60.8 Notwithstanding Sentence 4.11.2.60.13 of this Exception, maximum encroachment of a <b>porch</b> inclusive of stairs into a required <b>yard</b>	3.8 m			
4.11.2.60.9 Notwithstanding Sentence 4.11.2.60.13 of this Exception, maximum encroachment of a window, <b>chimney</b> , heating and/or air conditioning equipment, window well, and stairs with a maximum of three risers into a required <b>yard</b>	1.0 m			
4.11.2.60.10 Notwithstanding Sentence 4.11.2.60.13 of this Exception, maximum encroachment of a <b>balcony</b> into a required <b>rear yard</b>	3.0 m			
4.11.2.60.11 Maximum area of a <b>balcony</b> permitted outside the buildable area identified on Schedule RM5-60 of this Exception	5 m <sup>2</sup>			
4.11.2.60.12 Maximum <b>driveway width</b>	3.6 m			

**Exception RM5-60 continued on next page**

4.11.2.60	Exception: RM5-60	Map # 09	By-law: 0261-2021
<b>Exception RM5-60 continued from previous page</b>			
4.11.2.60.13 All site development plans shall comply with Schedule RM5-60 of this Exception			
<p><b>Holding Provision</b></p> <p>The holding symbol H is to be removed from the whole or any part of the lands zoned H-RM5-60 by further amendment to Map 09 of Schedule B contained in Part 13 of this By-law, as amended, upon satisfaction of the following requirements:</p> <ol style="list-style-type: none"> <li>(1) delivery of an executed Development Agreement in a form and on terms satisfactory to The Corporation of the City of Mississauga;</li> <li>(2) satisfactory arrangements with Metrolinx, Transportation and Works Department and Planning and Building Department regarding the design of the required crash/acoustical wall, including the submission of an updated Noise Feasibility and Vibration Study;</li> <li>(3) satisfactory arrangements with the Transportation and Works Department with respect to on site stormwater management;</li> <li>(4) satisfactory arrangements with the Transportation and Works Department and Community Services Department with respect to any land dedications;</li> <li>(5) submission of updated grading and site servicing drawings satisfactory to the Transportation and Works Department.</li> </ol>			



Schedule RM5-60  
Map 09

