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| Applicable Codes: | General: • Residential Dwelling Code BC 2015 • WI Commercial Building Code SPS 362 Existing: • Residential Existing Building Code 2015 • WI Residential Building Code SPS 364 Energy Conservation: • Residential Energy Conservation Code 2015 • WI Commercial Building Code SPS 365 Plumbing: • WI Commercial Building Code SPS 381-387 Mechanical: • WI Mechanical Code IMC 2015 • WI Commercial Building Code SPS 364 Electrical: • Electrical Code NFCC 2017 Fire: • Fire Sprinkler Safety Code 2009 NFPA 13 • WI Commercial Building Code SPS 314 & 330 Accessories: • ANSI Standard A117.1-2009-for Accessibility Fuel: • International Fuel Gas Code 2015 • WI Commercial Building Code Chapter 365 |
| Sprinklers (Section 903): Automatic Sprinkler Systems: Chapter 5 Classification of Work: | Yes, NFPA 13 Sprinkler throughout project (R-2) |
| Chapter 3 Use and Occupancy Classification: | New |
| 1st-3rd Floors: 310.4 Residential Group R-2; Basement Parking, Low-Hazard Storage, Group S-2 1st Floor Common Area: A-2 | |
| Chapter 4 Special Detailed Requirements Based on Use and Occupancy: | Section 420 Groups R-2 • fire partitions in accordance with Section 708 • horizontal assemblies in accordance with Section 711. |
| Section 602 Construction Classes: | Type-VB |
| Total SxK-A Allowable Number Of Stories Above Grade Plane: | R-2 (sprinklered): • Actual: 3 • Allowed: 3 S-2 (sprinklered): • Actual: 1 • Allowed: 2 |
| 604.2 Allowable Area Determination and S-2.3 Frontage Increase: | Facing North: • 174' (60' to R.O.W) Facing East: • 174' (60' to R.O.W) Facing South: • 174' (60' to P.L.) • 171' (61' to P.L.) Facing West: • 145' (13' to P.L.) For R-2: • Allowable area per floor: 23,082sf (w/ Frontage Increase) • 1st Floor: 20,889sf • 2nd Floor: 22,879sf • Total: 43,768sf • Actual: 66,725sf For S-2: • Type IB: 314,000 w/o Frontage Increase) • Actual: 29,041sf |
| 508.3 Nonseparated Occupancies: | |
| 508.4 Separated Occupancies: | Yes |
| 906.3.9(B)(8) Beneath Group R-2: | 2hr floor separation between R-2 and S-2. |
| Table 402 Fire-resistance Rating Requirements For Exterior Walls Based On Fire Separation Distance: | For Type VB: Structural Frame: 0 hr Bearing Walls-exterior: 0 hr Non-Bearing Walls-exterior: Fire Separation Distance: Fire X = Sc = 1 hr 5 x Sc = 5 hr X = 30 = 0 hr Non-Bearing Walls-interior: 0 hr Floor Construction: 0 hr Roof Construction: 0 hr For Type IB: Structural Frame: 2 hr Bearing Walls-exterior: 2 hr Non-Bearing Walls-exterior: Fire Separation Distance: Fire X = Sc = 1 hr 5 x Sc = 5 hr 10 x Sc = 10 hr X = 30 = 1 hr Non-Bearing Walls-interior: 0 hr Floor Construction: 2 hr Roof Construction: 1 hr |
| 708.3 Fire-Resistance Rating: | Condition: 1/2hr rated Between Dwelling Units: 1/2hr rated |
| 711.2.4.3 Dwelling Units and Sleeping Units: | Between Dwelling Units: 1/2hr rated |
| Section 1020 Corridors: | Condition: 1/2hr rated |
| 1020.2.1 Egress Path on Occupant Load and Common Path of Egress Travel Distance: | For R-2: Maximum Common Path with Sprinkler System: 125ft Maximum Occupant Load Of Space With One Exit: 49 Maximum Common Path with Sprinkler System: 100ft Maximum Occupant Load Of Space With One Exit: 29 |
| Section 1017 Bell Access Travel Distance: | For R-2: 250 (w/sprinkler) For S-2: 400 (w/sprinkler) |
| 1020.4 Dead Ends: | 50ft Type 2A: • Maximum floor area per unit of A: 3,000sf • Maximum floor area for extinguisher: 1,250sf • Maximum distance to extinguisher: 75ft • Hazard Classification: Ordinary (Low) |
| 2902.1 Minimum Number of Fixtures: | Classification & Occupancy: — R-2: • Water Closets: 1 per dwelling • (Required/Provided) 7/88 • Lavatories: 1 per dwelling • (Required/Provided) 7/88 — A-2 (14 occupants): • Water Closets: 1 per 75 • Women: 29 • Men: 29 • Lavatories: 1 per 75 • Women: 29 • Men: 29 — S-2 (128 occupants): • Water Closets: 1 per 100 • Women: 1 • Men: 1 • Lavatories: 1 per 100 • Women: 64 • Men: 64 — A-2 & S-2 Combined: • Water Closets: 1 per 100 • Women: 1 • Men: 1 • Lavatories: 1 per 100 • Women: 64 • Men: 1 |

CANNERY TRAIL RESIDENCES

1750 N OXFORD AVE. - EAU CLAIRE, WI



From Oxford Avenue - Looking NorthWest



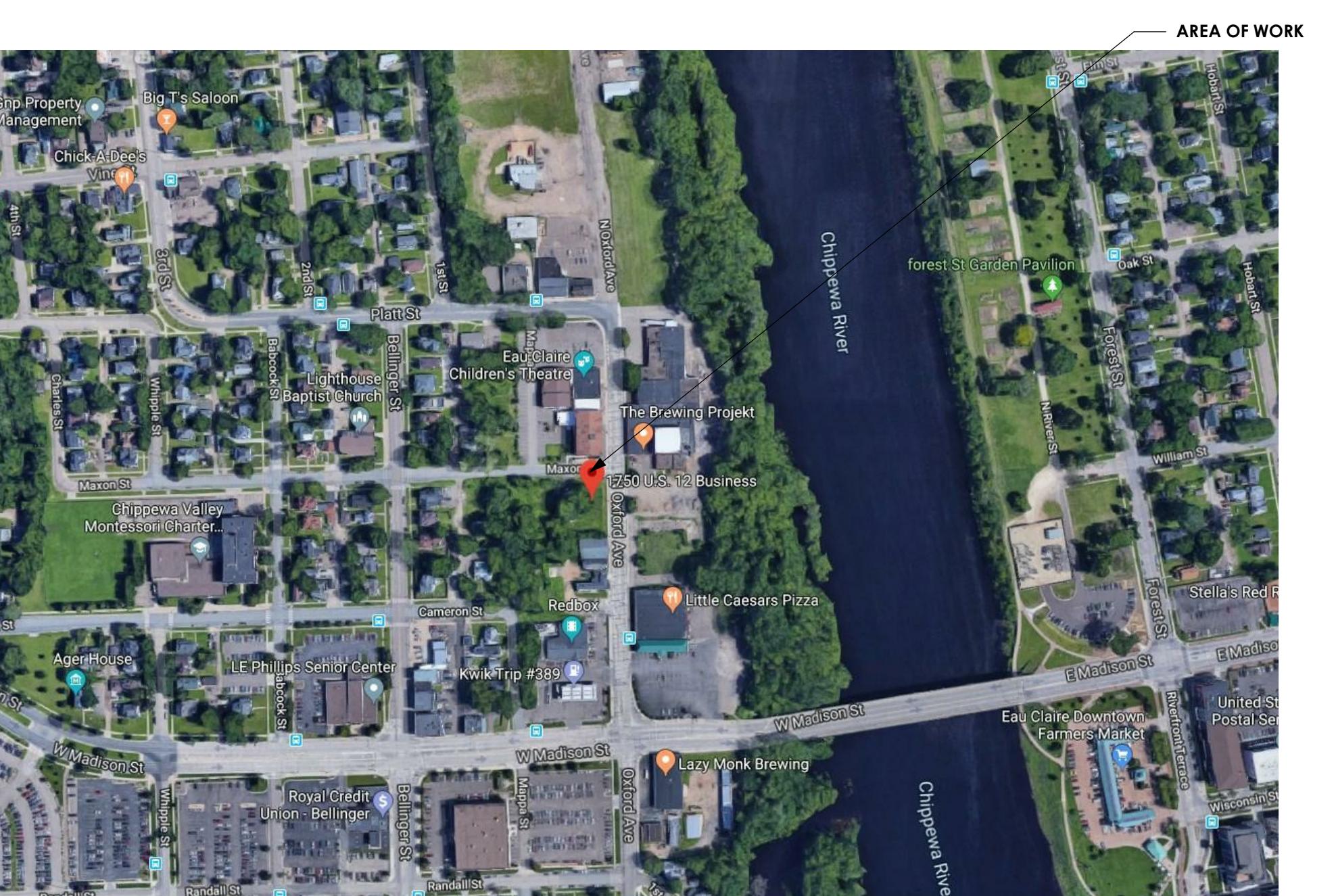
From Maxon Street - At Entry



Inside Courtyard - Looking North



Corner of Oxford Avenue & Mason St - Looking Southwest



VICINITY MAP

1" = 300'-0"

CANNERY TRAIL RESIDENCES - 1750 N OXFORD AVE. - EAU CLAIRE, WI

| Date | Description |
|------------|--------------------|
| 08.21.2019 | Permit |
| 09.21.2019 | Permit Revision #1 |
| 10.23.2019 | Permit Revise #2 |
| 03.27.2020 | Updates |
| 05.15.2020 | Permit Revision #4 |
| 07.02.2020 | Permit Revision #5 |
| 07.15.2020 | Permit Revision #6 |

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| A021 | LIFE SAFETY & LIST OF ROOMS | 2020-07-15 |
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| A401 | SECTIONS - WALL | 2020-07-15 |
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| A411-C | ENLARGED PLAN 1ST - AREA C (NORTHCENTER) | 2020-07-15 |
| A411-D | ENLARGED PLAN 1ST - AREA D (SOUTHCENTER) | 2020-07-15 |
| A411-E | ENLARGED PLAN 1ST - AREA E (NORTHWEST) | 2020-07-15 |
| A411-F | ENLARGED PLAN 1ST - AREA F (SOUTHWEST) | 2020-07-15 |
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