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PLAN COMMISSION AGENDA  
August 5, 2019

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**PLEASE TAKE NOTICE** that there will be a meeting of the City Plan Commission on Monday, August 5, 2019 at 7:00 p.m. in the Eau Claire County Courthouse, 721 Oxford Avenue, Room 1277, Eau Claire, Wisconsin, on the following agenda items:

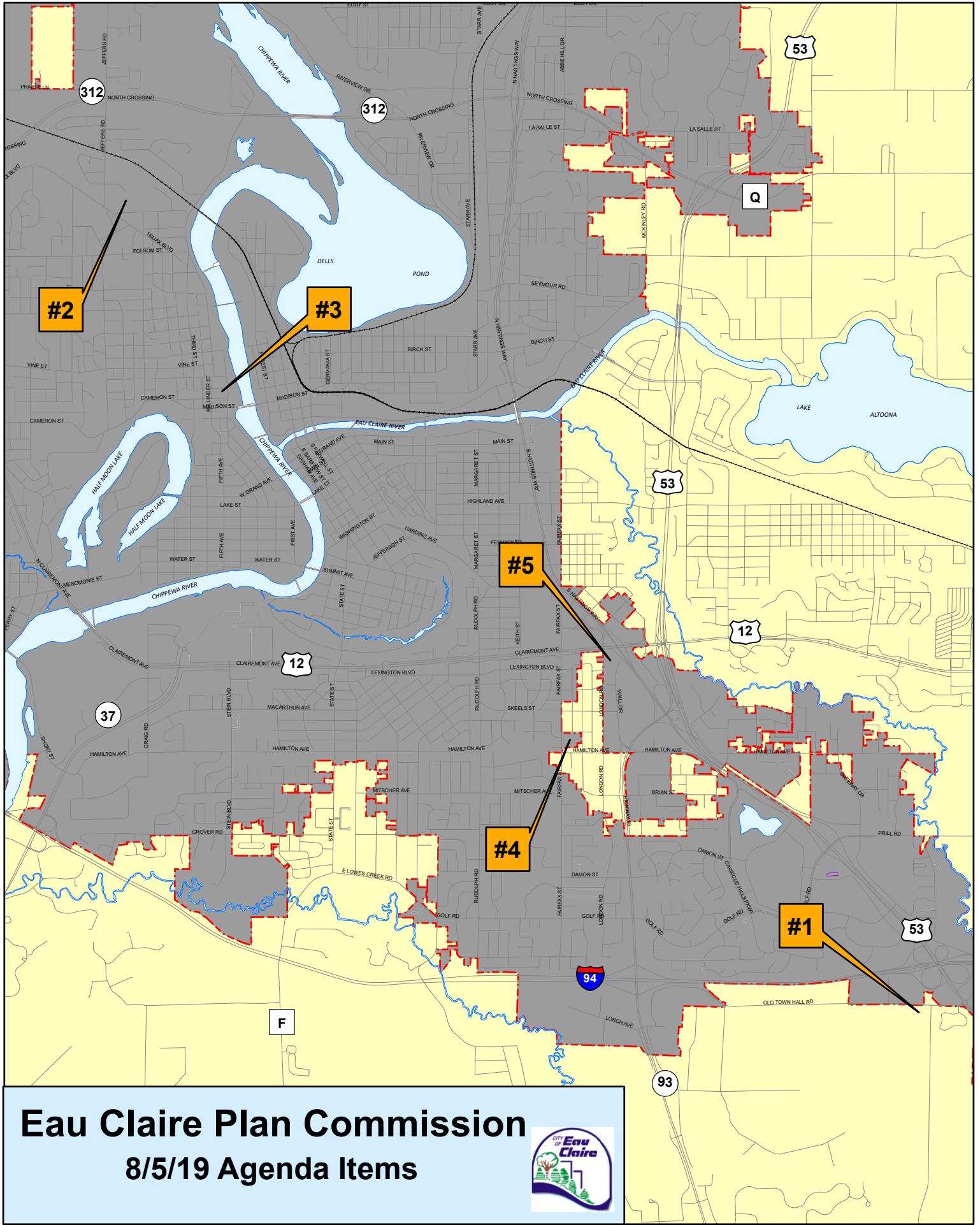
1. Public Discussion – For Recommendation to the City Council  
**Annexation (19-3A) – Southwest corner of Old Town Hall Road & Graff Road**  
Request: To recommend approval of an annexation  
Applicant: D.G. Wogernese  
Location: Town of Washington
2. Public Discussion – For Recommendation to the City Council  
**Land Acquisition – Andy Lane**  
Request: To recommend approval of land acquisition  
Applicant: City of Eau Claire  
Location: Andy Lane, East of Jeffers Road
3. Public Discussion – For Approval by the Plan Commission  
**Site Plan (SP-1919) – Cannery Trail Residences**  
Request: To approve a site plan for apartments  
Applicant: Cedar Corporation and W Capital Group  
Location: 1750 Oxford Avenue
4. Public Discussion – For Approval by the Plan Commission  
**Site Plan (SP-1920) – Theodora Apartments**  
Request: To approve a site plan for apartment buildings  
Applicant: Advanced Engineering Concepts  
Location: 3205 & 3211 Fairfax Street
5. Public Discussion – For Approval by the Plan Commission  
**Site Plan (SP-1921) – Associated Bank**  
Request: To approve a site plan for bank building  
Applicant: Kapur and Midland Commercial Development Corp  
Location: 2520 Mall Drive
6. **DISCUSSION/DIRECTION**
  - A. Code Compliance Items
  - B. Future Agenda Items
  - C. Additions or Corrections to Minutes

*If you have any questions concerning any of the Plan Commission items, please call the Department of Community Development at 715-839-4914. This notice is given in accordance with the provisions of Subchapter V of Chapter 19 of the Wisconsin Statutes. Notice is hereby given that members of the City Council may be present at the foregoing meeting to gather information about a subject over which they have decision-making responsibility. This constitutes a meeting of the City Council pursuant to State ex rel. Badke v. Greendale Village Bd., 173 Wis.2d 553, 494 N.W.2d 408 (1993) and must be noticed as such, although the Council will not take any formal action at this meeting.*

*In order to accommodate the participation of persons with special needs at this meeting, the City will provide the services of a sign language interpreter or make other reasonable accommodations on request. To make such a request, please notify the City at 715-839-4902 at least 2 days prior to the meeting.*

A handwritten signature in black ink, appearing to read "Eric Larsen".

Eric Larsen, Chairperson





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## STAFF REPORT

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**TO:** Plan Commission

**HEARING DATE:**

**PLAN COMMISSION:** 8/5/19, 7:00 p.m.

Eau Claire County Courthouse, County Board Room

**FROM:** Community Development

**FILE NO.:** 19-3A

**CITY COUNCIL:** 8/13/19, 4:00 p.m.

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**AGENDA ITEM:** A petition to annex vacant land to the City of Eau Claire located on the southwest corner of Old Town Hall Road & Graff Road.

**APPLICANT:** D.G. Wogernese

**PROPERTY OWNER:** Same

**ENGINEER/ARCHITECT/SURVEYOR:** None

**TYPE OF INTEREST:** Owner

**SURROUNDING LAND USE:**

North: City commercial & vacant; Chaput Produce  
(County Highway Business zoning)  
East: Vacant & Town Hall (County Agricultural zoning)  
South: Vacant (County Agricultural zoning)  
West: Vacant & residential (County Agricultural zoning)

**AREA:** 40.83 acres +/-

**EXISTING ZONING:** Town of Washington

**PROPOSED ZONING:** TR-1A

**EXISTING LAND USE:** Vacant & Agricultural

**PROPOSED LAND USE:** Residential

**COMPREHENSIVE PLAN:** Medium & High Density Residential; Public Facility

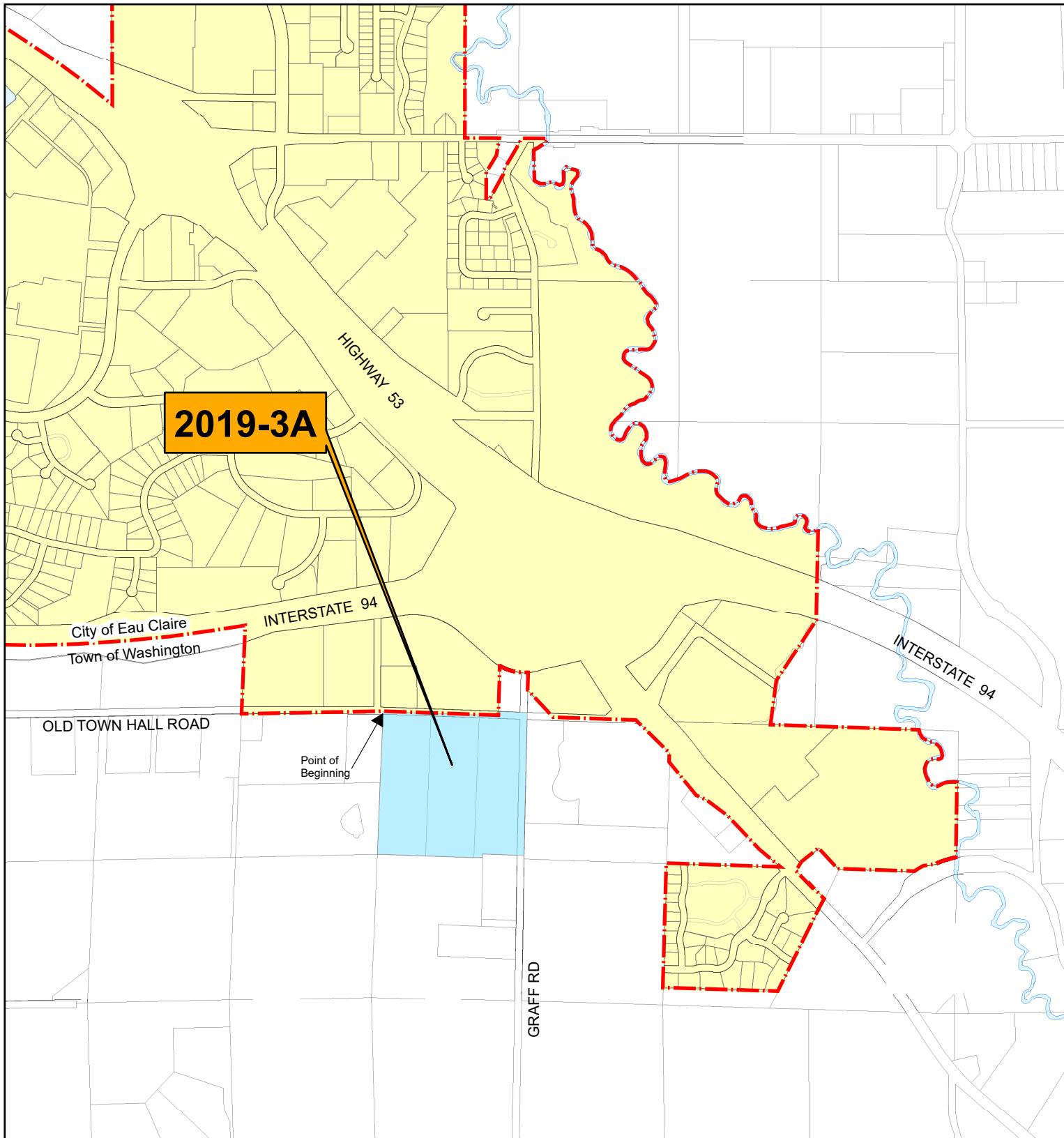
**RECOMMENDATION:**

Staff recommends approval of this annexation.

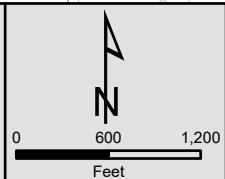
This item will be considered by the City Council at the August 13, 2019 meeting.

**ANALYSIS:**

The property owner, D.G. Wogernese, has submitted a petition for annexation of 40.83 acres of land. The property, comprised of three lots, is located at the southwest corner of Old Town Hall Road and Graff Road. The property is located within the sewer service area of the City of Eau Claire. Water and sanitary sewer are available along Old Town Hall Road. No land use changes are proposed at this time as a result of the requested annexation. This request is consistent with the Comprehensive Plan.



**DEPARTMENT OF COMMUNITY DEVELOPMENT  
CITY OF EAU CLAIRE, WI**



DATE	ANNEXATION FILE #	Lands located in Section 1-26-9, Town of Washington, Eau Claire County (approx. 40.8 acres)
JULY 17, 2019	2019-3A	

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**MEMORANDUM**

**FINANCE DEPARTMENT**

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**Date:** *July 24, 2019*

**To:** *Scott Allen, Community Development Director*

**From:** *Kristine Basom, Budget Analyst*

**Subject:** *Recommend the purchase of property along Andy Lane*

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The Eau Claire City Council approved funding in the 2020-2024 Capital Improvement Plan for Affordable Housing.

A purchase agreement for the acquisition of the parcels has been negotiated in the amount of \$150,000; the various parcels that comprise this proposed purchase have an assessed value of \$196,900.

The purchase of the parcels will be for single family homes. The parcels will be redefined by a new plat or CSM in the future.

The parcels will include restrictive covenants to help ensure the property remains affordable:

1. Restricting the amount, the homes can be resold for.
2. Limiting the size of the home built on each parcel.

Attached is a listing of the parcels and map of the area.

Please place this item for review and recommendation to City Council on the August 5th Plan Commission agenda.

### Andy Lane Parcels

14-0936

14-0937

14-0938

14-0939

14-0940

14-0941

14-0943

14-0944

14-0945

14-0946

14-0947

14-0948

14-0949

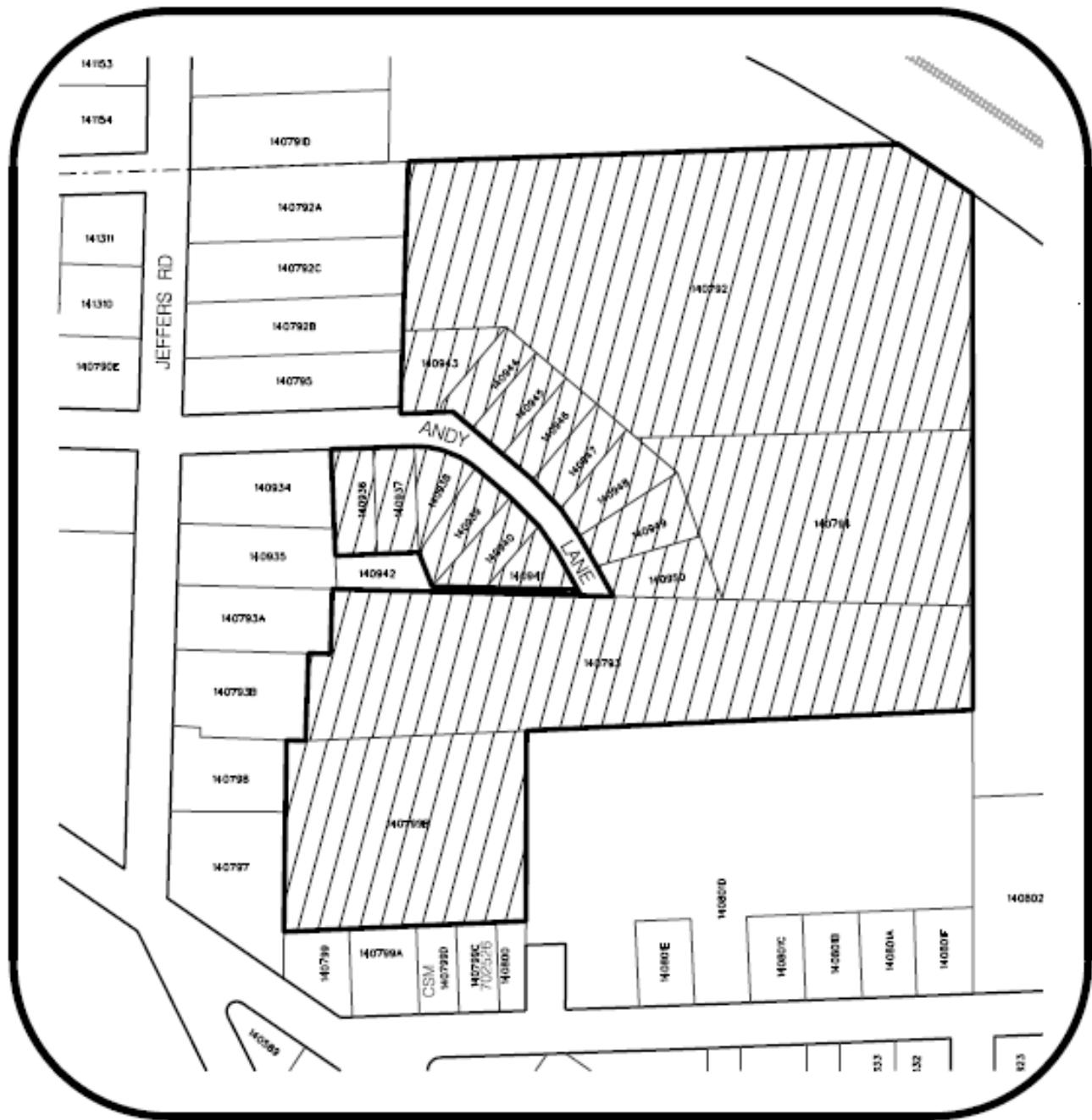
14-0950

14-0792

14-0793

14-0794

14-0799B



## ACQUISITION ANDY LANE PARCELS



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## STAFF REPORT

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**TO:** Plan Commission

**HEARING DATES:**

**PLAN COMMISSION:** 8/5/19, 7:00 p.m.

Eau Claire County Courthouse, County Board Room

**FROM:** Community Development

**FILE NO.:** SP-1919

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**AGENDA ITEM:** Request for approval of a site plan for Cannery Trail Residences located on the west side of Oxford Avenue, between Cameron Street and Maxon Street.

**APPLICANT:** Cannery Trail Residences Inc.

**PROPERTY OWNER:** Eau Claire Redevelopment Authority (RDA)

**ENGINEER/ARCHITECT/SURVEYOR:** Opening Design

**TYPE OF INTEREST:** Offer to Purchase

**SURROUNDING LAND USE:** North: Commercial  
East: Vacant  
South: Commercial  
West: Vacant/Multi-family

**AREA:** +/- 1.19 acres

**EXISTING ZONING:** CBDP

**PROPOSED ZONING:** CBDP

**EXISTING LAND USE:** Vacant & two multi-family structures

**PROPOSED LAND USE:** Two 3-story apartments

**COMPREHENSIVE PLAN:** Central Business District

**APPLICANT'S STATEMENT:** See attached letter from applicant

**RECOMMENDATION:**

If the Plan Commission finds the site plan consistent with the general development plan, the Commission should approve with the conditions, the final site plan to be required, and as noted in the Engineering Report.

**ANALYSIS**

Cannery Trail Residences Inc. is requesting site plan approval for both phases of their multi-family residential development. The project has an approved general development plan with

reduced setbacks and parking for a property located on the west side of Oxford Avenue, between Cameron Street and Maxon Street. Attached are the narrative, site plans and building elevations for the project. This project is a two phase multi-family development within the Cannery District. The narrative explains the first phase as a 71-unit three-story apartment building and the second phase as a 41-unit three-story apartment reflecting the same design as the larger first phase building. Along with the general development plan approval, the project was rezoned from I-1 (Light Industrial) to CDP (Central Business District-Planned Development).

At its July 23, 2019 meeting, the City Council approved a development agreement with the applicant, as well as approved a vacation of a north-south alley right-of-way and the northern half of the Cameron Street right-of-way immediately adjacent to this project. The overall project density is 89.9 units per acre on a total property size of approximately 1.19 acres. The first phase (northern building) is planned as market rate housing, while the second phase (southern building) is planned as affordable/workforce housing. The applicant describes this as being aimed at residents at 30-60% CMI (county median income). As a condition of the development agreement, the applicant will be applying for 9% WHEDA LIHTC (low-income housing tax credits) this December.

The applicant is proposing a modern building design reflective of the preliminary designs presented with the general development plan approval. The design includes vertical and horizontal articulations, with building materials of brick, stone, cement fiber panels, composite wood siding and decking, and translucent polycarbonate panelized features. Part of the purpose for the approved setback reduction is to accommodate first floor patios and upper floor balconies.

Landscaping and Open Space: The project provides for basic landscape buffering. The open spaces include an approximate 4,000 sq. ft. "community courtyard" for phase one and an approximate 2,000 sq. ft. courtyard for phase two, with the buildings separated by 12-13 ft. wide pedestrian greenway. Phase two landscaping will include similar plant material as phase one with a mixture of evergreen & deciduous shrubs and perennials. Shrubs and perennials will be installed in planting beds with rock mulch and edging material. The remaining areas not covered by planting beds or hard surfaces will be seeded or sodded. Street trees have not been specified but will be required to be installed per City standards.

Grading and Drainage: The site is tributary to the Chippewa River at the Platt Street outfall. Storm water detention facilities will not be required for peak rate runoff control because of the proximity to the outfall. Storm water best management practices (BMP's) are not required to improve runoff water quality, because there is no impervious surface on site that will be exposed to vehicular travel and storm water runoff. The proposed method of handling storm water runoff is to direct runoff to an onsite piping system that discharges to the public storm sewer system in Maxon Street and Oxford Avenue. The underground parking drain will connect to the public sanitary sewer system in Oxford Avenue.

Public Utilities: Water and sewer service is available to the site; record dimensions of public facilities can be obtained by calling the Engineering Department. Utility connections may

require a work in the right-of-way permit and a plumbing permit. Fire sprinkler designs should be based on current fire hydrant flow tests. Contact the Water Utility at 715-839-5045 to obtain fire hydrant flow test data or to request a flow test.

Traffic: The traffic generated by the proposed improvements is expected to add approximately 70 trips during the peak hour of travel. The additional traffic has multiple outlets using Maxon Street to Oxford Avenue and Bellinger Street. The added traffic should not adversely impact traffic flow in the area. The plan calls for a new 17-foot curb cut on Maxon Street for driveway access to the underground parking lot. The driveway access and ramp should be widened to accommodate for vehicles entering and exiting at the same time. The ramp is shown to have a 15% grade to the underground parking lot. The maximum grade for private driveways is 15%. Staff recommends reducing the grades to the maximum extent practicable.

Transit: This site is serviced every 30 minutes by Route 8. It is expected that this project will increase the demand for public transit due to the presence of workforce housing. An improved bus stop will be coordinated with the reconstruction of Oxford Avenue in 2020.



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**COMMUNITY DEVELOPMENT**

Economic Development: (715) 839-4914  
Inspections: (715) 839-4947  
Planning: (715) 839-4914  
Fax: (715) 839-4939

August 5, 2019

**DRAFT**

Cedar Corporation  
604 Wilson Ave  
Menomonie, WI 54751

RE: SP-1919, Cannery Trail Residences – Plan Commission Site Plan Review

Dear Applicant:

The Plan Commission, at its August 5, 2019 meeting, reviewed the above-referenced site plan.

**A. Conditions to be shown/satisfied on a revised site plan:**

The following conditions must be satisfied prior to it being approved:

1. City of Eau Claire Engineering Department approval of drainage calculations and drainage and grading plan.
2. Provide final building elevations and streetscape renderings for both phases.

After the conditions noted above are met, a building permit may be issued.

**B. Conditions to be met prior to occupancy permit:**

Conditions which must be met prior to issuance of the occupancy permit for this project include:

1. Exterior lighting must meet the City's Exterior Lighting standards.
2. Installation of approved landscaping, including buffers, open space, and street trees.

Any changes in your site plan must be reviewed by the Department of Community Development. Please contact me at 715-839-4914 if you have any questions or if you need additional information.

Sincerely,

Scott H. Allen, AICP  
Director

cc: File, Calvin Miller, Ryan Petrie



Cannery Trail Residences, LLC  
**To:** City of Eau Claire Staff  
**Re:** Final Site Plan Submittal  
June 28th, 2019

## I. Development Scope

Cannery Trail Residences will be a mixed-income community in the redeveloping Cannery District of Downtown Eau Claire. The site is located across from the existing Children's Museum and newly constructed Brewing Projekt. The proposed phase 1 development is a 71-unit market rate housing development. Construction is planned to commence this summer with a grand opening summer of 2020.

Phase 2 will be located directly to the south of phase 1 and contain 41 workforce housing residences. The developer will be applying for 9% WHEDA LIHTC's this December in order to allow for 85% of the residences to be work-force housing residences. If awarded the tax credits, the majority of the residents in this phase will have incomes ranging from 30-60% of the county median income (CMI) and these rental rates will also follow WHEDA's income restricted rental rates each for each income level. If the 9% LIHTCs are not awarded for this phase 2 development, the developer will still set aside 20% of the phase 2 residences for residents earning 80% or less than the CMI. These housing units will have maximum monthly rental rates that will follow WHEDA's income restricted rental rate schedule each year.

Along with basement parking, amenities of the development will include a community room with table games, high speed internet and a coffee bar. Off the community room will be a landscaped courtyard gathering space with seating areas, barbecue grills and a fire pit. Residents living in phase 2 will also share these 1st phase amenities. Other building amenities include a fitness center, lobby with a large mail/package room, storage units, bike storage, key fob entrances, 24-hour security cameras throughout and a dog shower room in the heated parking garage.

Our market study has shown a lack of quality housing units downtown Eau Claire, at both affordable and market rates. We anticipate that this community will answer this apparent need.

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## II. Design

Although this project is slightly more modern in design, it attempts, in part, to maintain the similar vertical and horizontal rhythms reminiscent of the historical buildings in the area. Notably, a first floor that is differentiated, both materially and rhythmically, from the floors above, as well as upper floors enclosed with large, vertically oriented windows, and lastly, an articulated cornice that crowns the building's parapet--a key design feature seen among many buildings in central business districts of Eau Claire.

Similar to the longevity of historical materials such as brick and stone, this project proposes a number of modern materials that too possess a track record of durability. Known for its resistance to weathering, the majority of the facade will be covered in vertically oriented cement fiber panels. Also known for its longevity, the first-floor wall, and adjoining patios, will be clad in composite wood siding and decking. In addition to providing memorable architectural feature, a translucent, impact resistant, polycarbonate panel will provide ample interior light to a select few locations throughout the project.

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### III. Phase 1 Project Description

- Type of project: **Market Rate Housing Development**
- Phase 1 Parcels: 090022, 090023, 090024, 090025, 090027, 090029
- Number of Units: **71**
  - Dwelling Unit Mix
    - Studios: **35** (504sf average)
    - One Bedroom: **19** (709sf average)
    - Two Bedroom: **17** (1,224sf average)
- Parking
  - Vehicle Stalls: **68**
    - Stall/Unit Ratio: 0.95
  - Bicycle Stalls: **56**
- Stories: **3**
- Areas
  - Lot: **34,253sf = 0.79acres**
  - Building footprints (exterior walls)
    - Basement: **27,272 SF**
    - 1st Floor: **19,330 SF**
    - 2nd Floor: **21,419 SF**
    - 3rd Floor: **21,452 SF**
    - Total: **89,473 SF**
  - Density
    - Dwelling Units / Acre:  $71 \text{ units} / 0.79 \text{ acres} = 89.9 \text{ units/acre}$

### IV. Phase 2 Project Description

- Type of project: **Affordable/Workforce Housing Development**
- Phase 1 Parcels: 090021, 090030
- Number of Units: **41**
  - Dwelling Unit Mix
    - Studios: **7** (526sf average)
    - One Bedroom: **14** (714sf average)
    - Two Bedroom: **12** (1,050sf average)
    - Three Bedroom: **8** (1,293sf average)
- Parking
  - Vehicle Stalls: **57**
    - Stall/Unit Ratio: 1.39
  - Bicycle Stalls: **60**
- Stories: **3**
- Areas
  - Lot: **23,170sf = 0.53 acres**
  - Building footprints (exterior walls)
    - Basement: **19,657 SF**
    - 1st Floor: **13,097 SF**
    - 2nd Floor: **14,839 SF**
    - 3rd Floor: **14,839 SF**
    - Total: **62,432 SF**
  - Density

- Dwelling Units / Acre: 41units/0.53acres = **77.4 units/acre**
- Landscaping:
  - Phase 2 landscaping will include similar plant material as Phase 1 with a mixture of evergreen & deciduous shrubs and perennials. Shrubs and perennials will be installed in planting beds with rock mulch and edging material. The remaining areas not covered by planting beds or hard surfaces will be seeded or sodded.

<b>Developer:</b>	<b>Architect:</b>	<b>Civil:</b>
W Capital Group, LLC <a href="mailto:tyler@wcapitalgroupre.com">tyler@wcapitalgroupre.com</a> 907 Graham Ave. Eau Claire, WI 54701 608.345.9848	Opening Design 316 W Washington Ave Suite 675 Madison, WI 53703 <a href="mailto:ryan@openingdesign.com">ryan@openingdesign.com</a> 773.425.6456	Cedar Corp 604 Wilson Avenue Menomonie, WI 54751 715-235-9081

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As part of the General Development Plan (GDP) submission, the following bullet points were requested and approved at the (1/18/2019) Plan Commission and (1/22/2019) City Council meeting. The items in italics, however, are proposed changes in light of budgetary constraints or more generous changes in light of additional information since the team's last GDP submission.

### i. Setbacks

- Along Oxford Ave.
  - **12ft** front yard setback for the 2nd and 3rd floors.
  - **15ft** front yard setback for the 1st floor.
- Along Maxon St:
  - **10ft** front yard setback for the 2nd and 3rd floors.
  - **13ft** front yard setback for the 1st floor.
  - *The garage door was originally proposed with a **15ft** setback, but due to improved structural efficiencies with aligning the main garage door with the main wall, and the fact that we have a longer driveway from the garage door to the street than originally anticipated (**34ft**), we are proposing a **13ft** setback here.*
- Side yard setback
  - West: **12ft**
  - South: **12ft**
- Basement Setbacks
  - North: **15ft**
  - East: **15ft**
  - South: **0ft (2nd phase)**
  - West: **1'-11"ft**

### ii. Encroachments

- Balconies on the 2nd and 3rd Floors
  - Front yard setbacks
    - Along Oxford Ave.: a **5ft** encroachment into the **12ft** front yard setback (will be **7ft** from property line)

- Along Maxon St.: a **5ft** encroachment into the **10ft** front yard setback (will be 5ft from property line)
- Side Yard - **1ft** encroachment into the required **8ft** side yard setback (will be **7ft** from property line)
- Porches on the 1st Floor
  - Per the requirements outlined in 18.20.060, all the proposed patios/decks in the project (all less than **3ft** above the ground) will not exceed a **10ft** encroachment in the front yard or **3ft** encroachment in the side yard.

## Perspective

The following perspective was also provided for the GDP submission. *Proposed changes in italics.*

### iii. Realizing a pedestrian friendly corridor

Per the desires outlined in the *Cannery District's Redevelopment Plan and Health Impact Assessment (HIA)* we too would like to use this project to create a more pedestrian friendly corridor. Per the conventional wisdom of urban design, the more well defined a street is, the more pedestrian oriented it will be. And a well-defined street is derived, in part, from consistent setbacks among adjacent buildings as well as building that are relatively close the street's edge.

In this light, we would like to reduce the 20ft front yard setback requirement to better harmonize with the adjacent properties--namely the neighboring Children's Museum and Brewing Projekt to name a few. The site plan on sheet A100 provides a little more context of the existing fabric and the prevailing setbacks.

The reduced setback request also addresses section 18.20.080-C of the current zoning code, whose purpose is to “encourage buildings to be in general alignment with each other along a street on a block and to prevent the location of buildings a substantial distance behind the front yard setback of buildings on abutting lots.”

Also, to provide a little more visual intrigue along a potentially long, and unarticulated facade, the design proposes a rhythm of balconies and patios of varying widths and spacing along the facade.

### iv. Accommodating adequate parking

As stated, the required setbacks/encroachments for this project would dramatically decrease the number of parking stalls that would fit within the footprint of the basement. Although we understand that the basement walls could move further out toward the property lines, cost-wise we are hesitant to do so, due to the additional cost of waterproofing those areas that are no longer in alignment with the building walls above. As currently designed, to accommodate a 0.8 stall/bed ratio, the south and west wall of the basement is pushed outside the building’s footprint.

### v. 1st Floor setback is larger than upper floors.

In order to address the increased risk of accidents from errant vehicles, the 1st floor is set back an additional 3ft relative to the floors above--that is, the exterior wall along Oxford will be 15ft from the property line, and along Maxon will be 13ft.

### vi. 1st Floor on a raised plinth.

To further address tenant's safety from vehicle accidents, as well as provide tenants additional privacy, the entire 1st floor is raised 30" above the sidewalk level along Oxford, and part the way along Maxon.

*For our GDP submission we had proposed that these raised, outdoor patios would be constructed of precast, however, due to budgetary constraints we would like to propose that these raised decks be constructed of more conventional lumber as well.*

We believe that the measures outlined above strike a balance between the main design and organizing factors common among contemporary planned development projects. We hope to realize a project that balances the necessary vehicle requirements without compromising the safety and aspirations for a pedestrian oriented environment, as well as one that will play a part in making the Cannery District a unique destination in the coming years.

We are excited to be a participant in the redevelopment of the Cannery District.

Thank you!

**Tyler J. Warner, Managing Member**  
W Capital Group, LLC

Attached to this narrative are the following:

1. Site Plans and Renderings
2. Civil Engineering Plans



0 75 150 Feet

## Aerial Map Agenda Item SP-1919

17

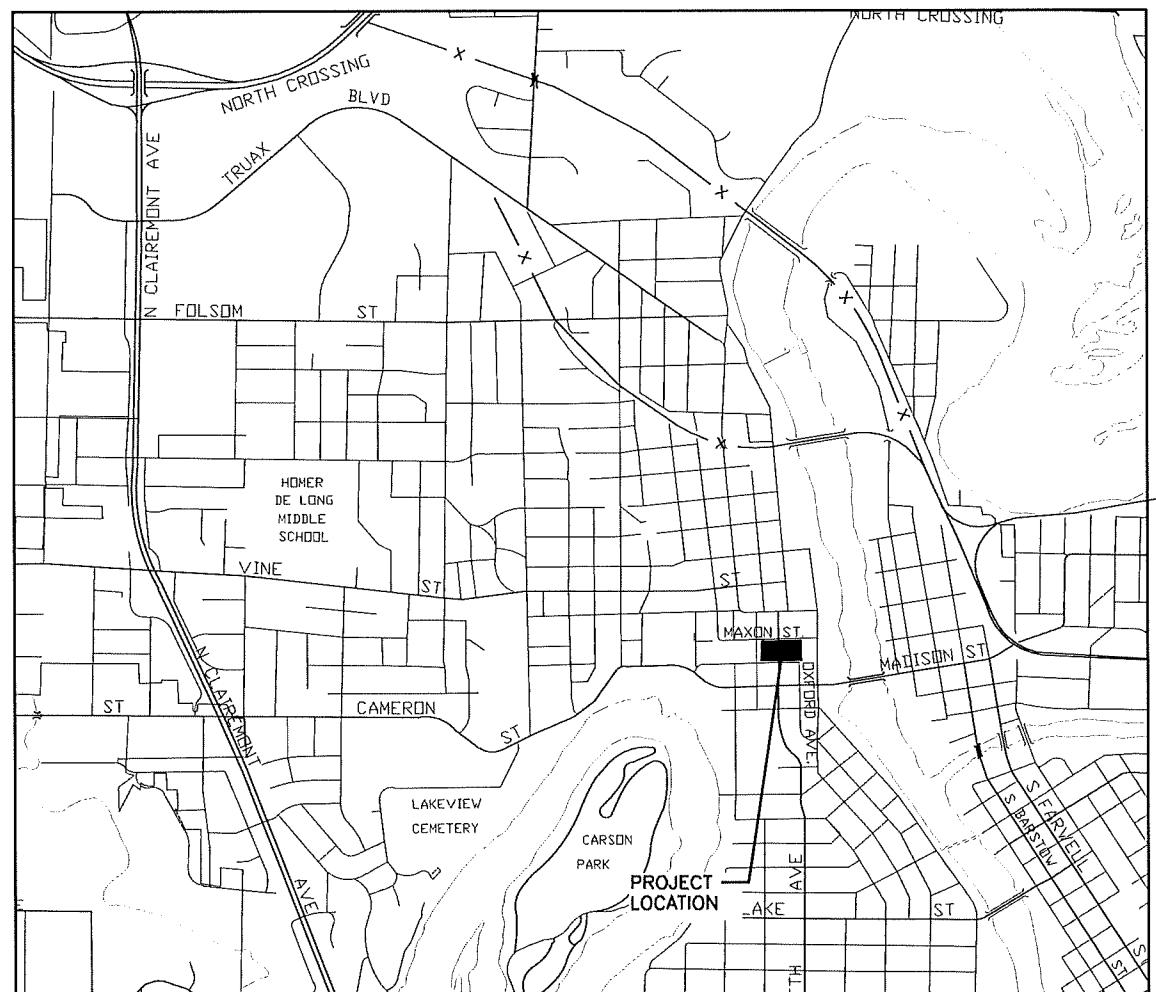
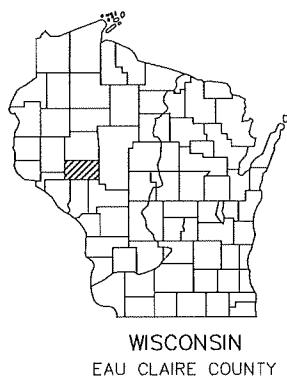
Subject Property



# CANNERY TRAIL RESIDENCES INC.

## OXFORD AVENUE

### CITY OF EAU CLAIRE, WISCONSIN

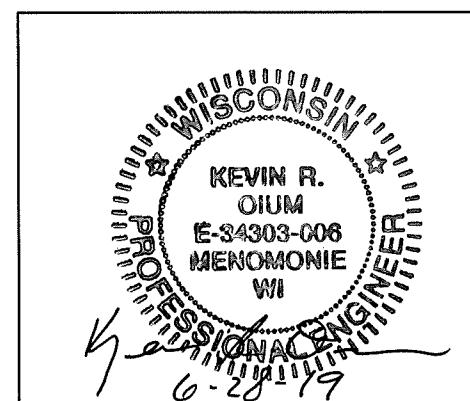


LOCATION MAP

CITY OF EAU CLAIRE

**SHEET INDEX LIST**

SHEET	SHEET DESCRIPTION
1	TITLE SHEET
2	EXISTING SITE CONDITIONS
3	DEMOLITION PLAN
4	SITE PLAN, FIRST FLOOR
5	SITE PLAN, SECOND FLOOR
6	GRADING PLAN
7	UTILITY PLAN
8	EROSION PLAN
9	LANDSCAPE PLAN
10	CONSTRUCTION DETAILS
11	CONSTRUCTION DETAILS



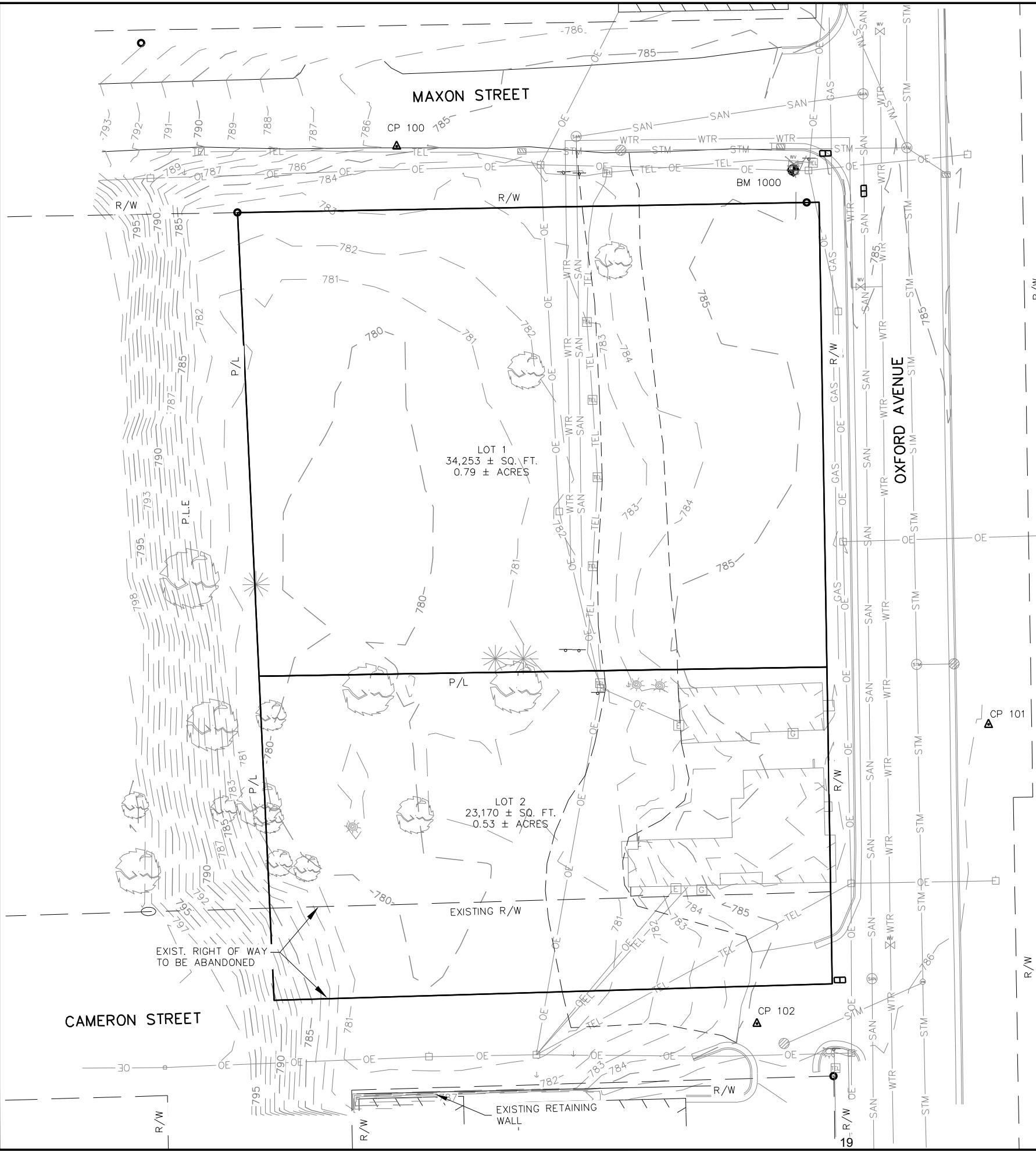
I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME  
OR UNDER MY PERSONAL DIRECTION AND CONTROL AND  
THAT I AM A DULY REGISTERED PROFESSIONAL UNDER THE  
LAWS OF THE STATE OF WISCONSIN.

JOB NO. C1650-001
BOOK NO.
DRAWN BY BJW
CHECKED BY KRO
DATE APRIL 2019
REVISIONS
REFERENCE FILE
DRAWING FILE 010101_t1

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2020 Nelson Commons, W. Suite 12 Madison, WI 53718 608-249-5646 FAX 608-249-5624

CEDAR CORP CORPORATION
OXFORD AVE EAU CLAIRE, WI TITLE SHEET

SHEET NO.
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### LEGEND

— 985 —	EXISTING CONTOUR LINE
— 984 —	CONCRETE
— OE —	CORRUGATED METAL PIPE
— ELEV. —	ELEVATION
— EXIST. —	EXISTING
— EX. —	EXISTING
— HYD. —	HYDRANT
— INL. —	STORM INLET
— INV. —	INVERT
— FL —	FLOW LINE
— FF —	FIRST FLOOR
— LAT. —	LATERAL
— MH —	MANHOLE
— PVC —	POLYVINYL CHLORIDE PIPE
— RCP —	REINFORCED CONCRETE PIPE
— R/W —	RIGHT OF WAY
— SAN. —	SANITARY
— SDWK. —	SIDEWALK
— SEW. —	SEWER
— STM. —	STORM
— TC —	TOP OF CURB
— TYP. —	TYPICAL
— VAR. —	VARIABLE

### ABBREVIATIONS

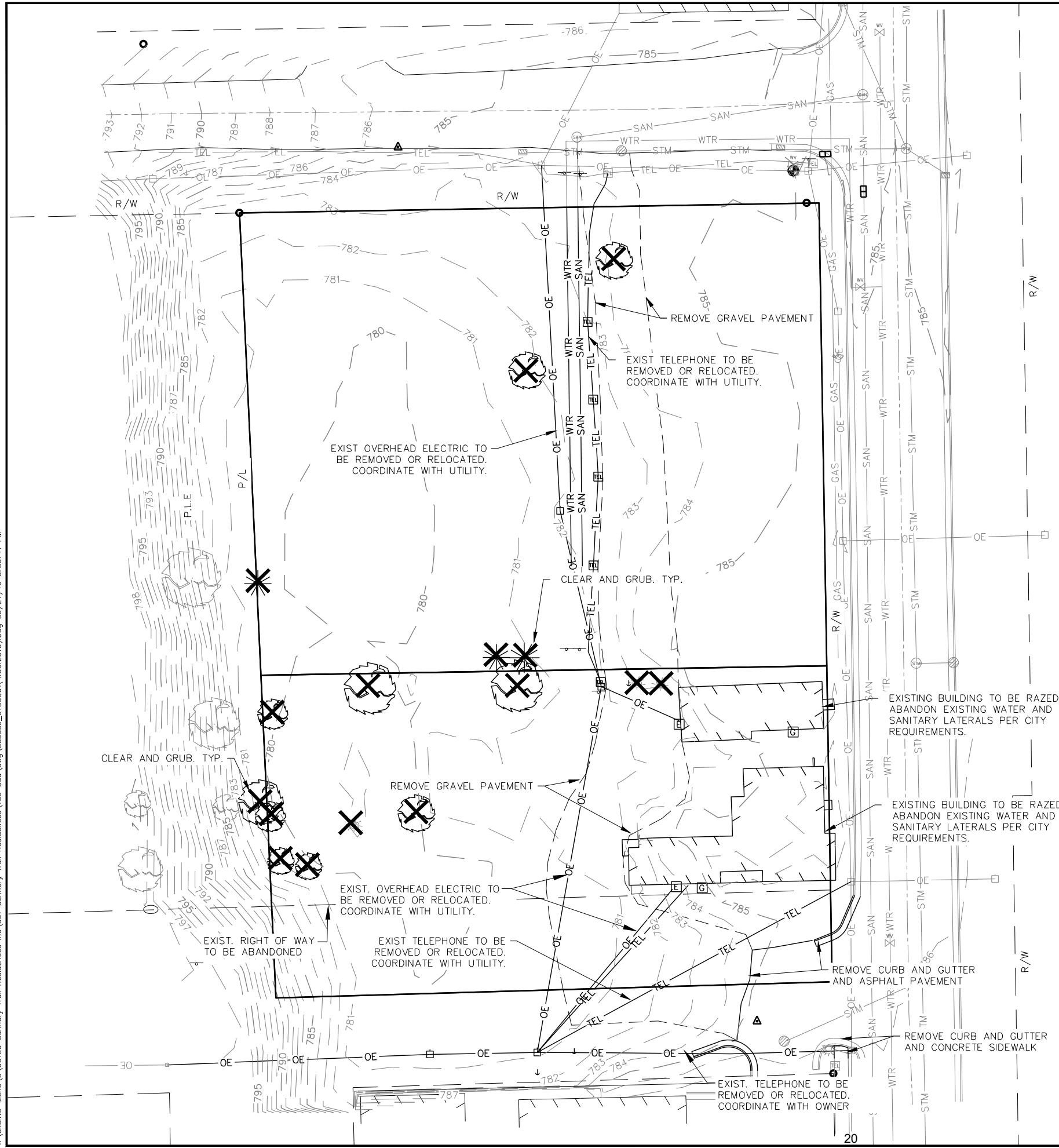
CONC.	CONCRETE
CMP	CORRUGATED METAL PIPE
ELEV.	ELEVATION
EXIST.	EXISTING
EX.	EXISTING
HYD.	HYDRANT
INL.	STORM INLET
INV.	INVERT
FL	FLOW LINE
FF	FIRST FLOOR
LAT.	LATERAL
MH	MANHOLE
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
R/W	RIGHT OF WAY
SAN.	SANITARY
SDWK.	SIDEWALK
SEW.	SEWER
STM.	STORM
TC	TOP OF CURB
TYP.	TYPICAL
VAR.	VARIABLE

JOB NO.	C6150-001
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CHECKED BY	KRO
DATE	APRIL
REVISIONS	
REFERENCE FILE	
DRAWING FILE	00base_6150001

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**CANNER Y TRAIL RESIDENCES INC.**  
**OXFORD AVENUE**  
**EAU CLAIRE, WI**  
**EXISTING CONDITIONS PLAN**

SHEET NO.  
2 OF 11



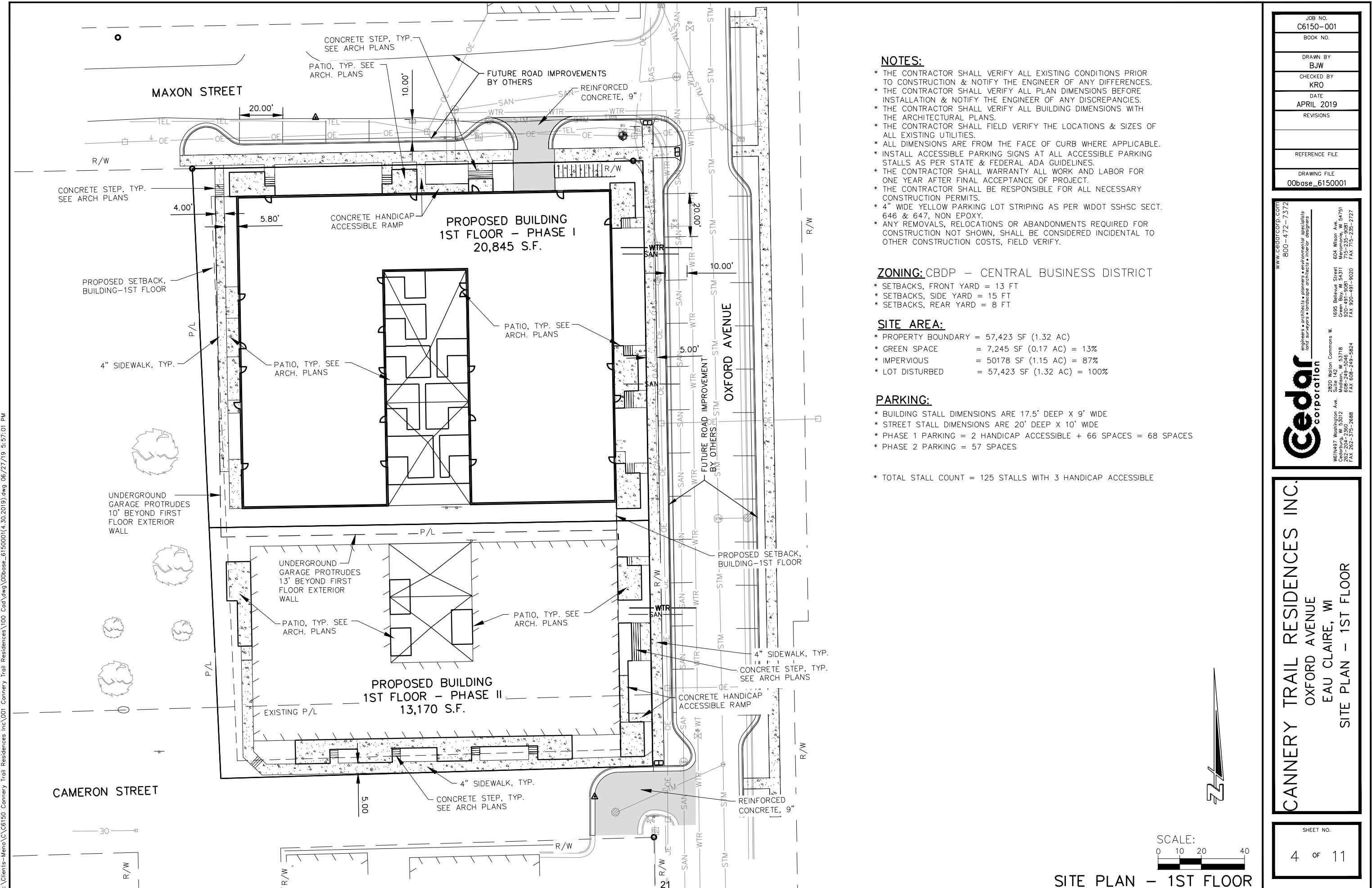
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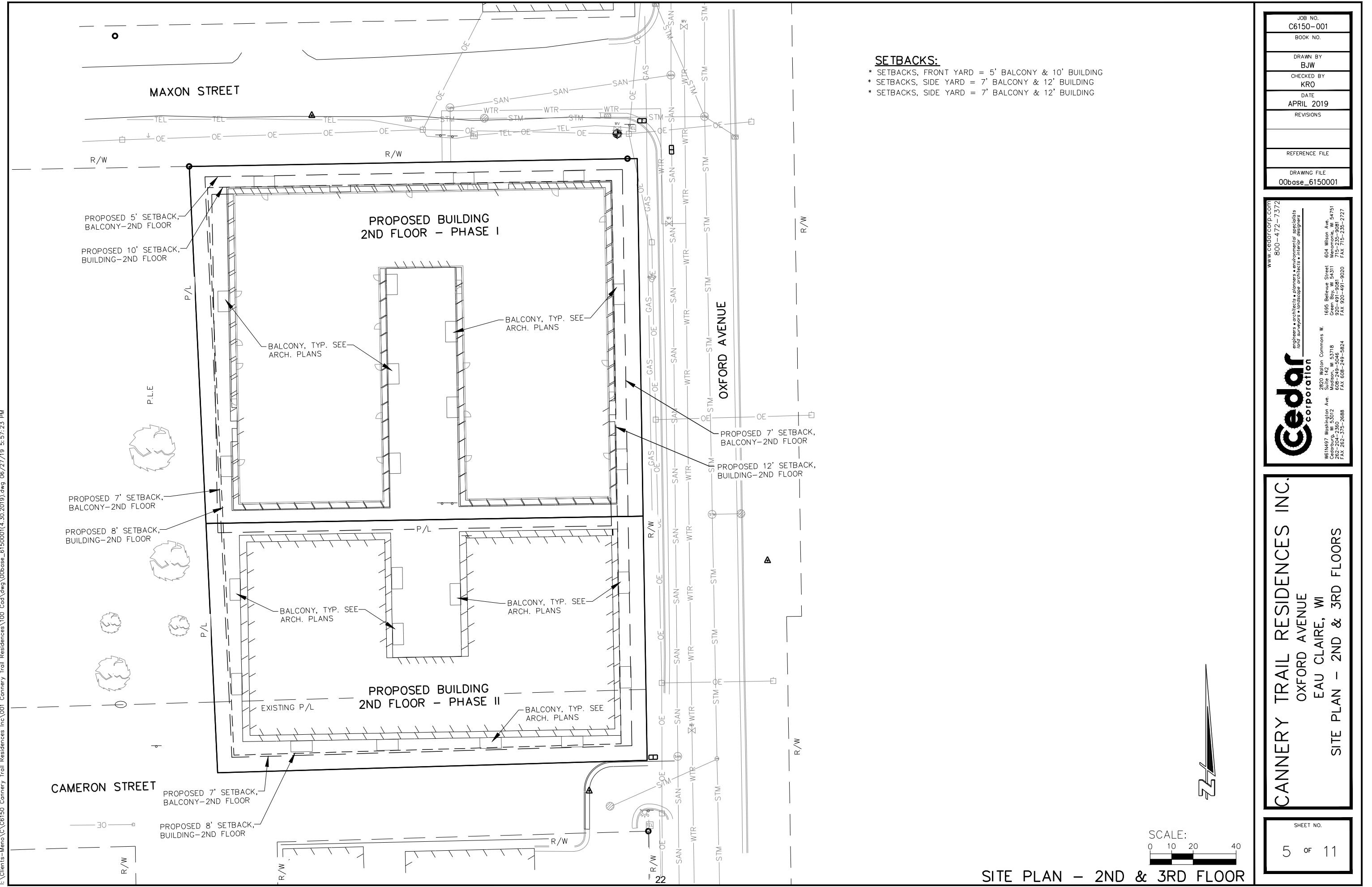
- \* ALL DEMOLITION MATERIAL SHALL BE REMOVED FROM THE SITE & DISPOSED OF OFF SITE AS PER CITY & STATE REQUIREMENTS UNLESS OTHERWISE NOTED.
- \* ANY REMOVALS OR RELOCATIONS WITHIN THE PROJECT LIMITS NOT SHOWN SHALL BE CONSIDERED INCIDENTAL TO THE DEMOLITION COSTS, FIELD VERIFY.
- \* THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXIST. UTILITIES. REMOVE, ABANDON, RELOCATE EXIST. UTILITIES AS REQUIRED. ALL UNDERGROUND UTILITIES MAY NOT BE SHOWN, FIELD VERIFY W/ DIGGERS HOTLINE.
- \* REMOVE EXISTING FACILITIES AS REQUIRED TO COMPLETE PROPOSED CONSTRUCTION.
- \* ANY REMOVALS OR RELOCATIONS REQUIRED FOR CONSTRUCTION, NOT SHOWN SHALL BE CONSIDERED INCIDENTAL TO THE DEMOLITION COSTS, FIELD VERIFY.

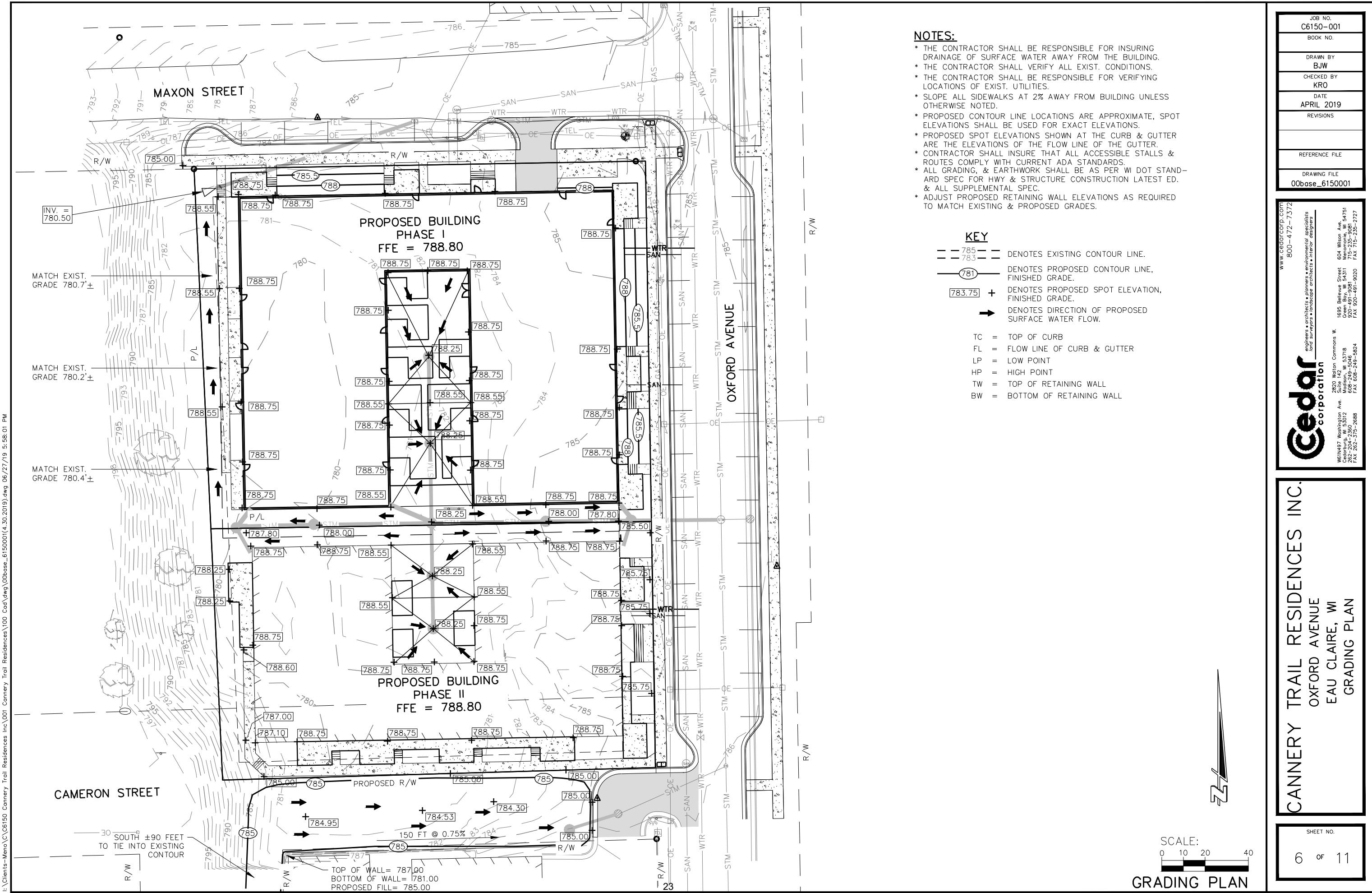
**CANNERY TRAIL RESIDENCES INC.**  
OXFORD AVENUE  
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DEMOLITION PLAN

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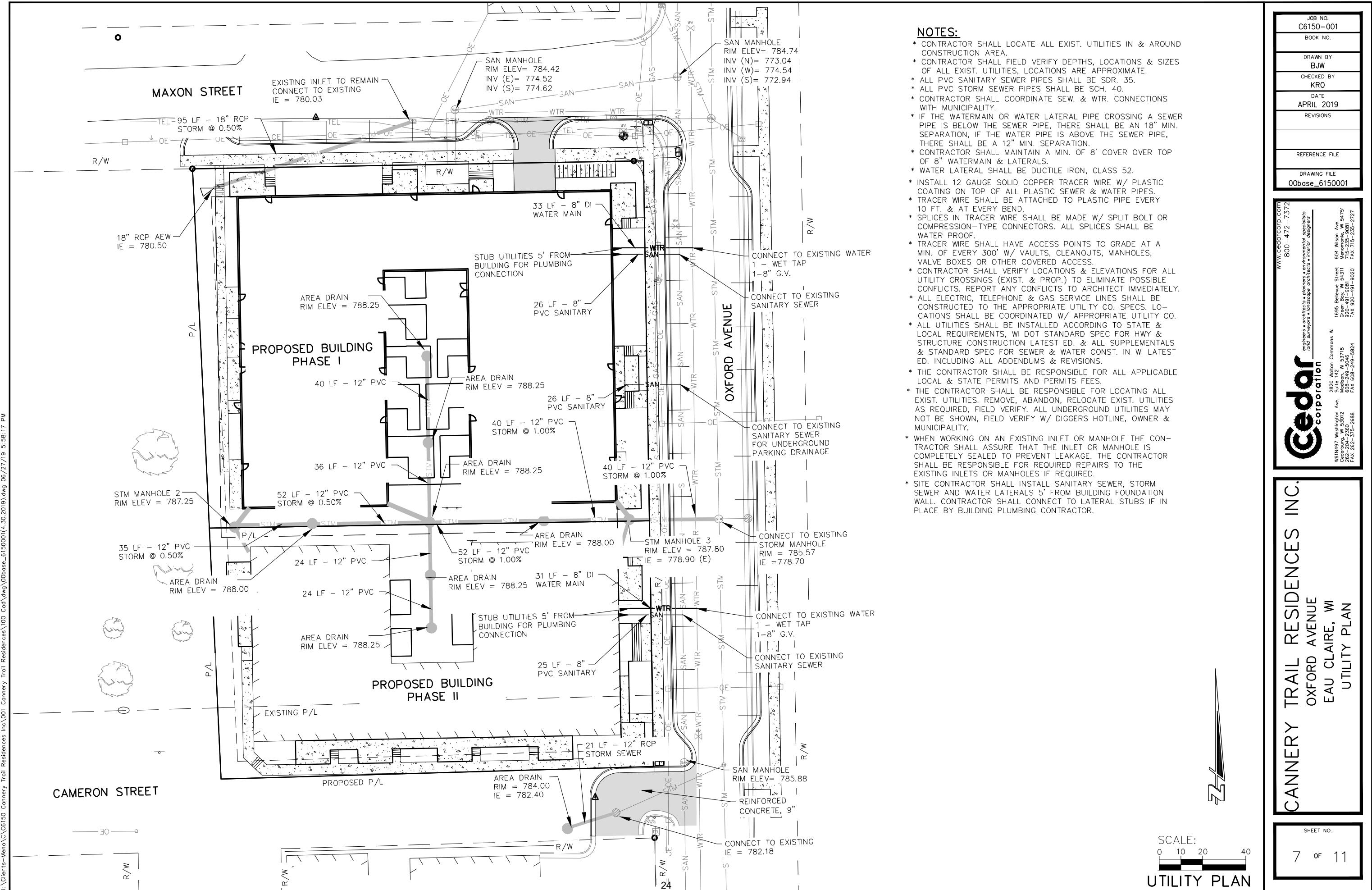


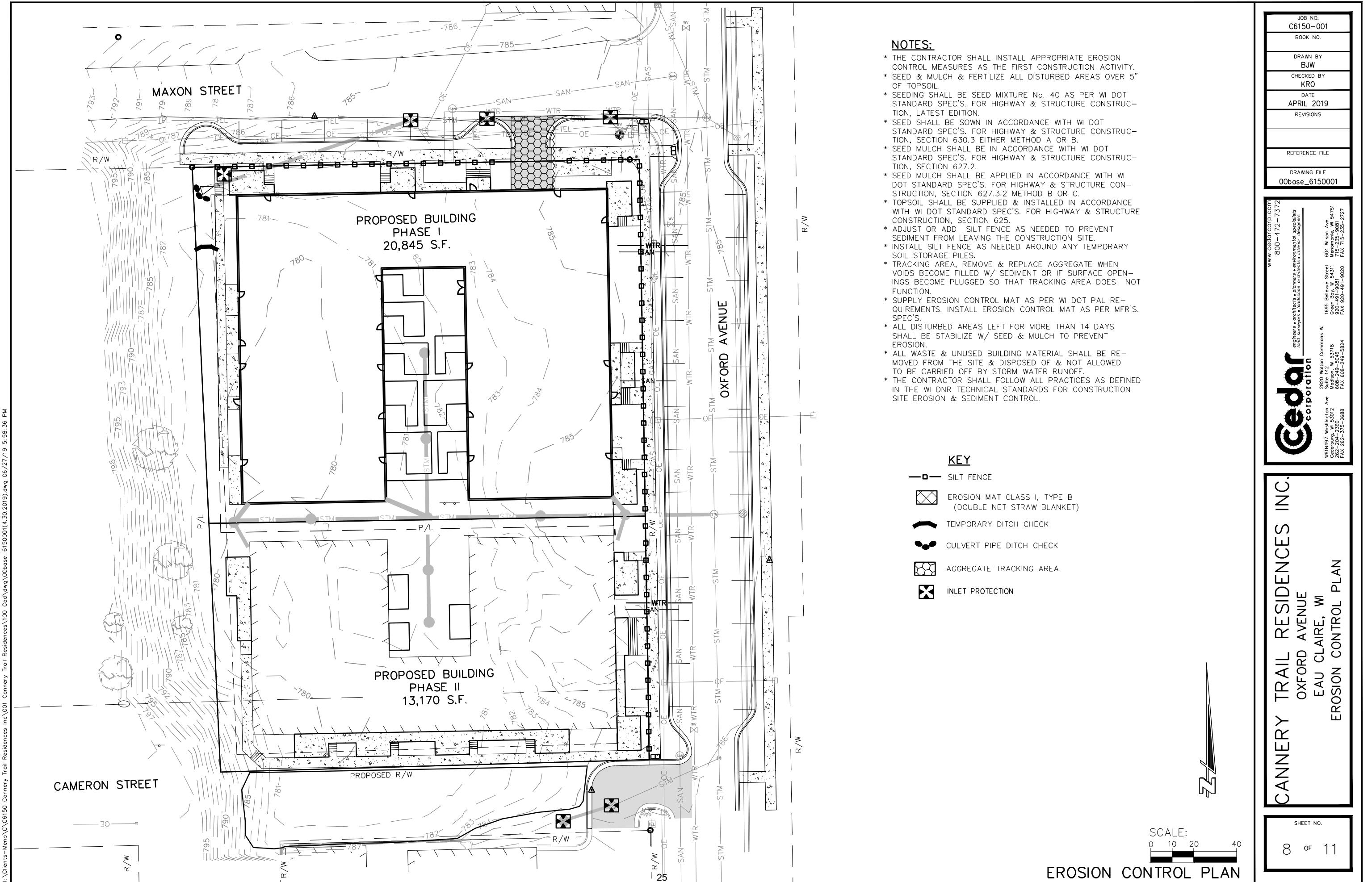


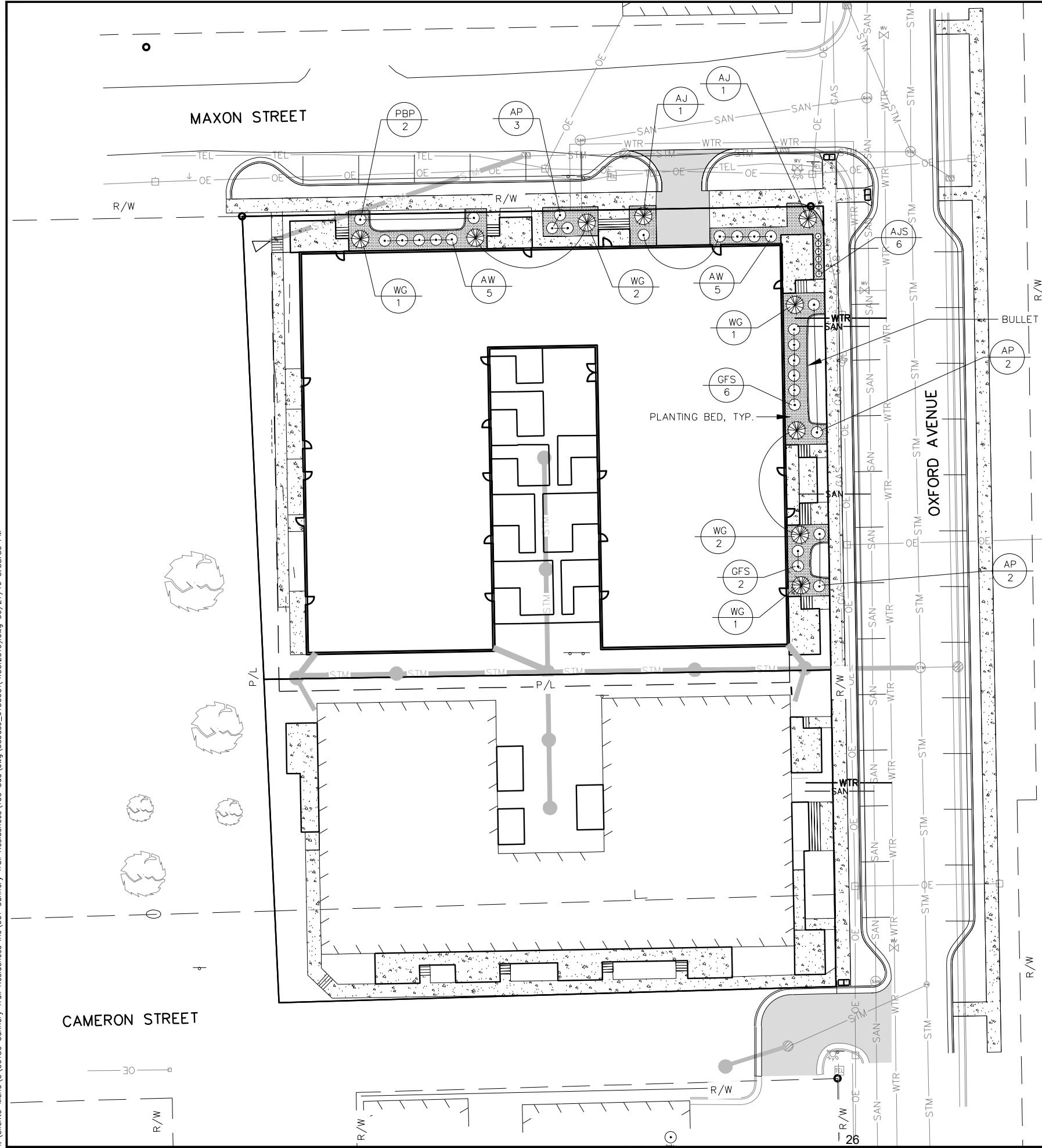


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### PLANTING SCHEDULE

KEY	QTY.	COMMON NAME	BOTANIC NAME	SIZE	ROOT	REMARKS
AW	10	ANTHONY WATERER SPIREA	SPIREA x BUMALDA 'ANTHONY WATERER'	18" HT.	#3 CONT.	FULL
GFS	8	GOLDFLAME SPIREA	SPIREA x BUMALDA 'GOLDFLAME'	18" HT.	#3 CONT.	FULL
PBP	2	PINK BEAUTY POTENTILLA	POTENTILLA FRUTICOSA 'PINK BEAUTY'	12" HT.	#3 CONT.	FULL
AP	7	ABBOTSWOOD POTENTILLA	POTENTILLA FRUTICOSA 'ABBOTSWOOD'	12" HT.	#3 CONT.	FULL
WG	7	WOODWARD GLOBE ARBORVITAE	TUJA OCCIDENTALIS 'WOODWARDI'	18" HT.	#3 CONT.	FULL GLOBE
AJ	2	ANDORRA JUNIPER	JUNIPERUS HORIZONTALIS 'COMPACTA'	24" SP.	#5 CONT.	FULL
AJS	6	AUTUMN JOY SEDUM	SEDUM SPECTABILE 'AUTUMN JOY'	18" SP.	#1 CONT.	FULL

### NOTES:

- \* THE CONTRACTOR SHALL VERIFY ALL EXIST. CONDITIONS.
- \* THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF EXIST. UTILITIES.
- \* USE GEOTEXTILE FABRIC WEED BARRIER UNDER ALL PLANTING BED MULCH UNLESS OTHERWISE NOTED. FABRIC WEED BARRIER SHALL CONFORM TO WI DOT SSHSC SECT. 632.
- \* USE 1-1/2" WASHED AGGREGATE STONE MULCH IN PLANTING BEDS. 3" DEPTH. STONE MULCH SHALL BE CLEAN, & FREE FROM DELETERIOUS MATERIALS, STICKS, STONES, NOXIOUS WEEDS, SALT & FINE SILTS, CLAYS OR TOPSOIL.
- \* TOP OF MULCH IN PLANTING BEDS SHALL BE EVEN W/ TOP OF SURROUNDING SURFACES.
- \* IF DISCREPANCIES OCCUR, PLANT QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER PLANTING SCHEDULE.
- \* ALL PLANTS SHALL BE "SPECIMEN GRADE" AS PER AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
- \* ALL PLANT MATERIAL SHALL HAVE A ONE YEAR WARRANTY AGAINST DEATH & UNHEALTHY CONDITION, EXCEPT AS A RESULT OF NEGLECT BY OWNER, DAMAGE BY OTHERS & UNUSUAL PHENOMENA BEYOND CONTRACTOR'S CONTROL.  
PLANT WARRANTY SHALL BEGIN ON THE DATE OF FINAL ACCEPTANCE OF THE PROJECT.
- \* ALL PLANTS SHALL CONFORM TO THE VARIETIES SPECIFIED IN THE PLANT LIST & SHALL BE TRUE TO BOTANICAL NAME AS IN HORTUS THIRD.
- \* ALL PLANTS INCLUDING THEIR ROOTS SHALL BE FREE FROM DISEASE INSECTS & OTHER INJURIOUS QUALITIES & SHALL BE WELL FORMED, FULL, IN A HEALTHY VIGOROUS GROWING CONDITION, REAR OR AT SPECIMEN QUALITY.
- \* ALL PLANTS SHALL BE SUBJECT TO INSPECTION BY THE OWNERS REPRESENTATIVE UPON DELIVERY. ANY PLANTS DEEMED NOT ACCEPTABLE BY THE OWNERS REPRESENTATIVE SHALL BE REMOVED FROM THE SITE & REPLACED WITH ACCEPTABLE MATERIAL.
- \* ANY ADDITIONAL TOPSOIL NEEDED FOR INSTALLING THE TREES & SHRUBS AS PER THE PLANTING DETAIL SHALL BE CONSIDERED INCIDENTAL TO THE PLANT MATERIAL PRICE.
- \* TOPSOIL SHALL CONSIST OF A HUMUS-BEARING LOAM ADAPTED TO SUSTAIN VIGOROUS GRASS GROWTH FREE FROM DELETERIOUS MATERIALS W/ A PH RANGE OF 6.0 TO 7.0. TOPSOIL NOT MEETING THESE REQUIREMENTS SHALL BE AMENDED AT NO ADDITIONAL COST.
- \* ANY PLANTS DELIVERED TO THE PROJECT SITE THAT ARE NOT INSTALLED THE SAME DAY SHALL BE "HEALED IN" W/ TOPSOIL, WOOD CHIPS, SHREDDED BARK, OR SAWDUST & ADEQUATELY WATERED UNTIL SUCH TIME THE PLANTS CAN BE INSTALLED.
- \* CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING ALL PLANT MATERIAL INCLUDING GRASS OR SOD FOR TWO WEEKS AFTER FINAL ACCEPTANCE OF PROJECT. WATER SHALL BE PROVIDED IN AN ADEQUATE AMOUNT TO SUSTAIN VIGOROUS PLANT GROWTH.

SCALE:  
0 10 20 40

LANDSCAPE PLAN

9 OF 11

SHEET NO.

JOB NO.  
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CANNERY TRAIL RESIDENCES INC.  
OXFORD AVENUE  
EAU CLAIRE, WI  
LANDSCAPE PLAN

CONSTRUCTION DETAILS

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**EROSION MAT CHANNEL INSTALLATION** NO SCALE

**NOTES:**

1. PREPARE SOIL BEFORE INSTALLING MATS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE MAT IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
3. ROLL CENTER MAT IN DIRECTION OF WATER FLOW ON BOTTOM OF CHANNEL.
4. PLACE MATS END OVER END (SHINGLE STYLE) WITH A 6" MIN. OVERLAP. USE A DOUBLE ROW OF STAGGERED STAPLES 4" APART TO SECURE MATS.
5. FULL LENGTH EDGE OF MATS AT TOP OF SIDE SLOPES MUST BE ANCHORED IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
6. MATS ON SIDE SLOPES MUST BE OVERLAPPED 4" MIN. OVER THE CENTER MAT AND STAPLED (2" FOR C350 MATTING).
7. IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A ROW OF STAPLES 4" APART OVER ENTIRE WIDTH OF THE CHANNEL. PLACE A SECOND ROW 4" BELOW THE FIRST ROW IN A STAGGERED PATTERN.
8. THE TERMINAL END OF THE MATS MUST BE ANCHORED IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.

NORTH AMERICAN GREEN, USA 1-800-772-2040

**CONCRETE SIDEWALK, 4"** NO SCALE

**STORM MANHOLE** NO SCALE

\*\* FOR MANHOLE (MH) STRUCTURES USE NEENAH R-1726-A CASTING OR APPROVED EQUAL

**AGGREGATE TRACKING AREA** NO SCALE

NOTE: REMOVE & REPLACE AGGREGATE WHEN VOIDS BECOME FILLED W/ SEDIMENT OR IF SURFACE OPENINGS BECOME PLUGGED SO THAT TRACKING AREA DOES NOT FUNCTION.

**DOWNSPOUT INTERCEPTOR** NO SCALE

NOTES:  
 \* COORDINATE DOWNSPOUT LOCATIONS WITH BUILDING PLANS  
 \*\* WHEN USING HDPE PIPE USE APPROPRIATE TEE CONNECTIONS.

**INLET PROTECTION, TYPE C (WITH CURB BOX)**

INLET TYPE	A	B	C	COVER OPENING
I	2'	2'	-	
II	2'	2'-6"	-	
III	2'	3'	-	
IV	42" DIA.	42" DIA.	27" DIA.	
V	27" DIA.	27" DIA.	-	

NOTE: STEPS REQUIRED WHEN D > 4'

**STORM INLET** NO SCALE

GENERAL NOTES

MANUFACTURED ALTERNATIVE APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

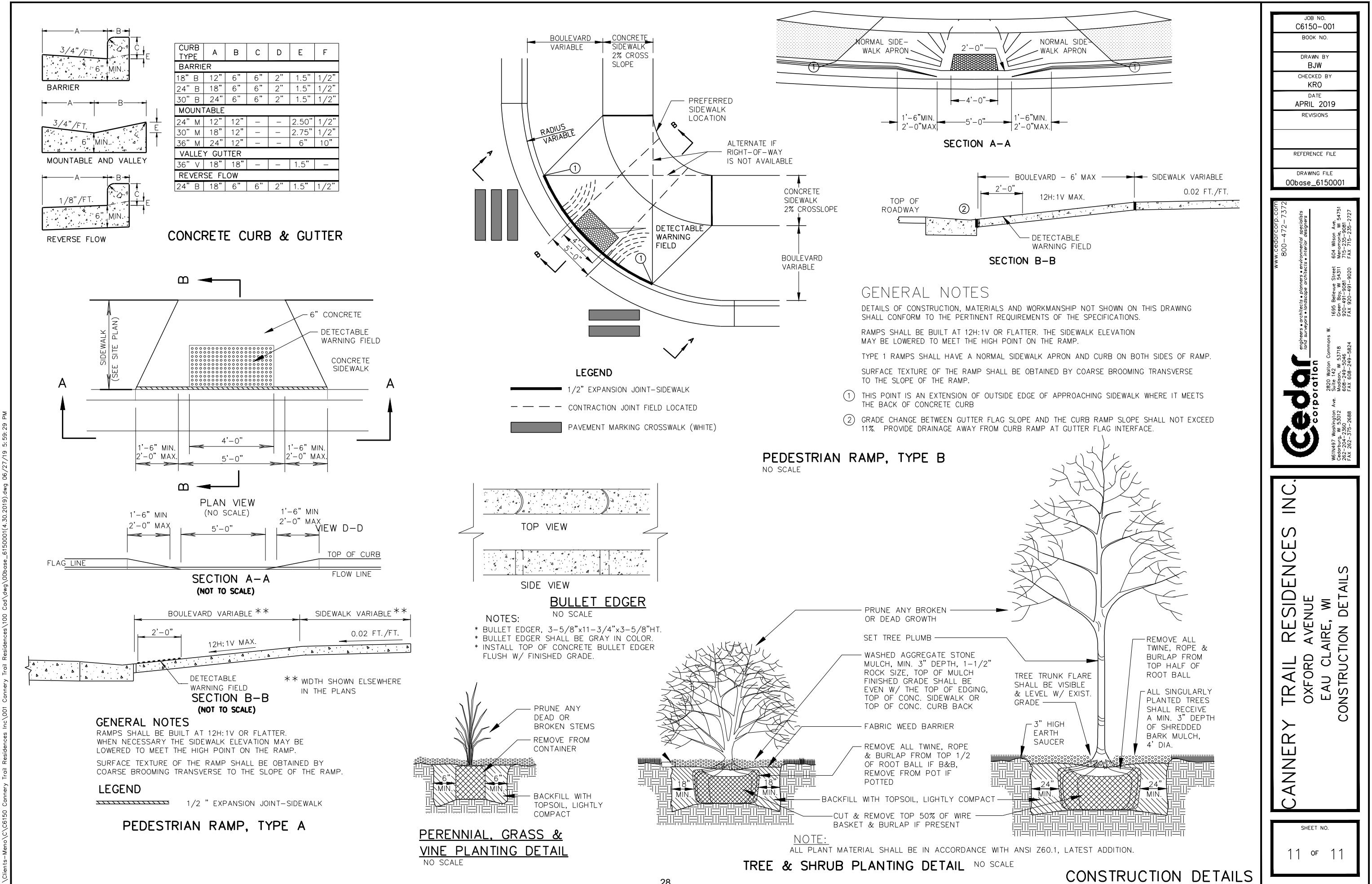
(1) FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.

(2) FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.

**INSTALLATION NOTES**

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

SHEET NO.  
10 OF 11



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4

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C

C

B

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A

A



1 SITE PLAN - VICINITY MAP  
1" = 80'-0"

0 20' 40' 80' 160'  
N

CANNERY TRAIL RESIDENCES - 1750 N OXFORD AVE. - EAU CLAIRE, WI

VICINITY MAP  
A010

Date	Description
06.28.2019	Final Implementation Plan

**CAPITAL GROUP**  
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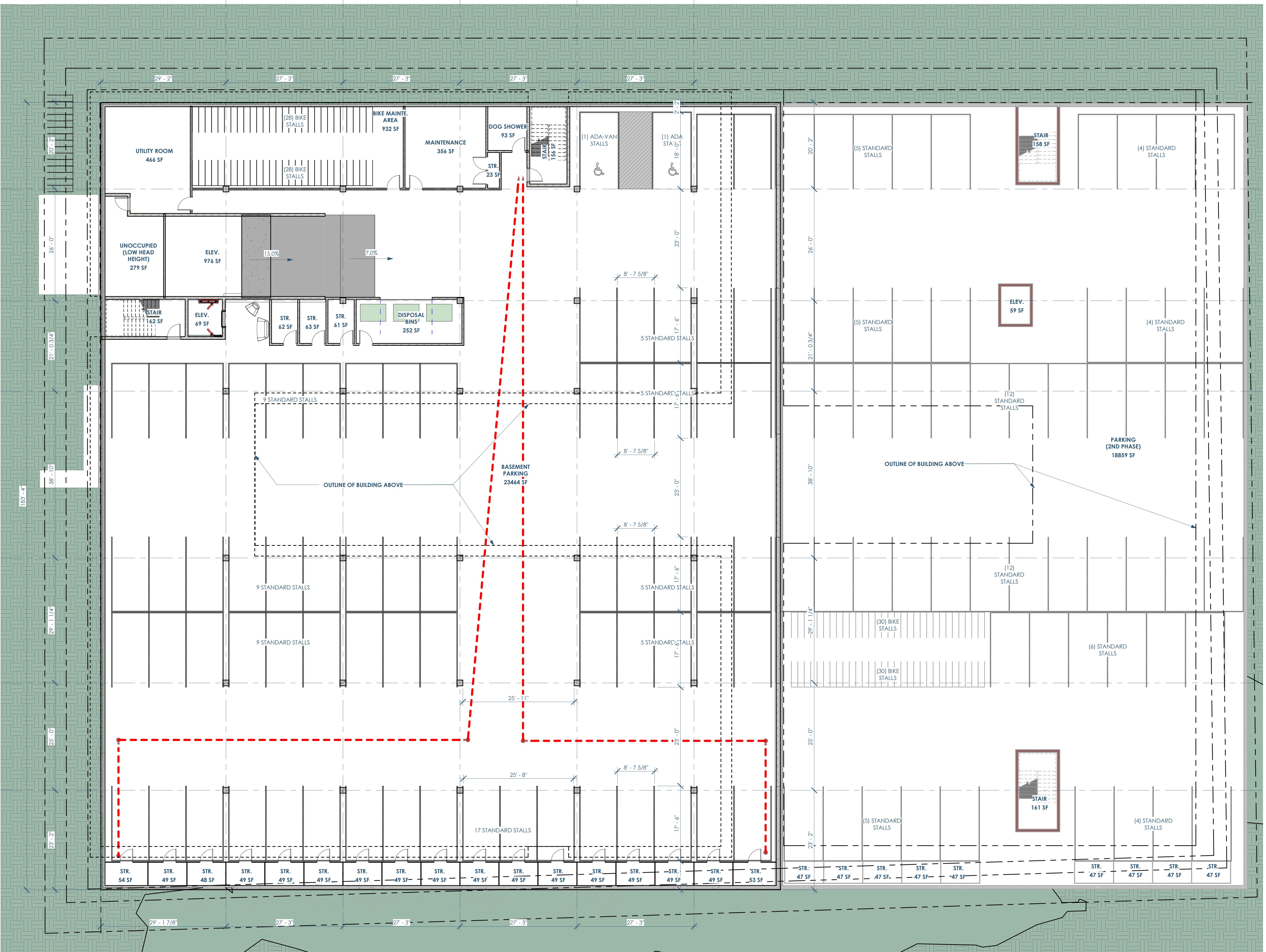
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FLOOR PLAN - BASEMENT  
CANNERY TRAIL RESIDENCES - 1750 N OXFORD AVE. - EAU CLAIRE, WI

Date 06.28.2019 Description Final Implementation Plan

AREA PER FLOOR		
Phase	Level	Area
1st Phase	1ST FLOOR	19330 SF
1st Phase	2ND FLOOR	21417 SF
1st Phase	3RD FLOOR	21451 SF
1st Phase	BASEMENT	27272 SF
		89470 SF
2nd Phase	1ST FLOOR	13097 SF
2nd Phase	2ND FLOOR	14839 SF
2nd Phase	3RD FLOOR	14839 SF
2nd Phase	BASEMENT	19657 SF
		62432 SF
		151902 SF

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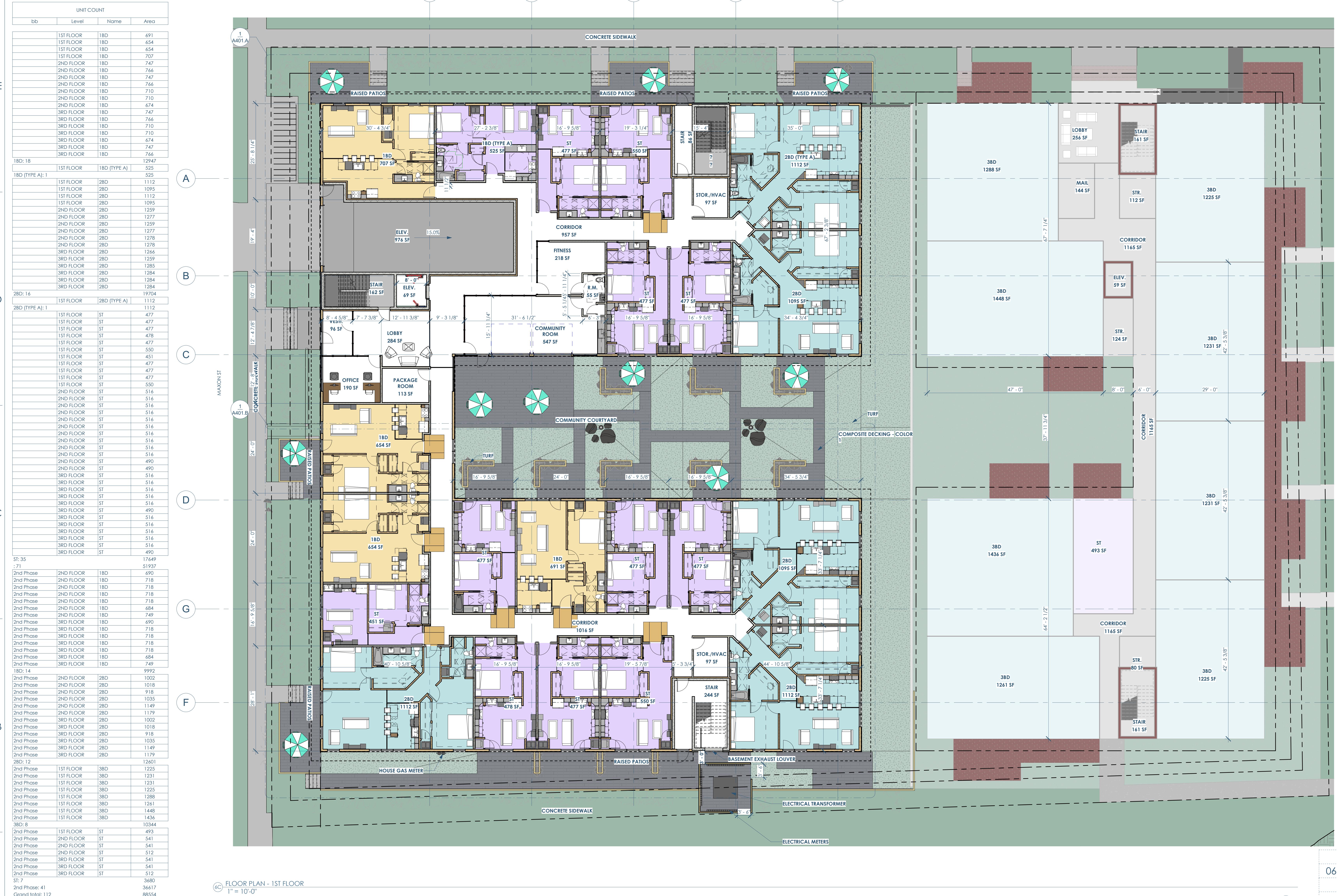
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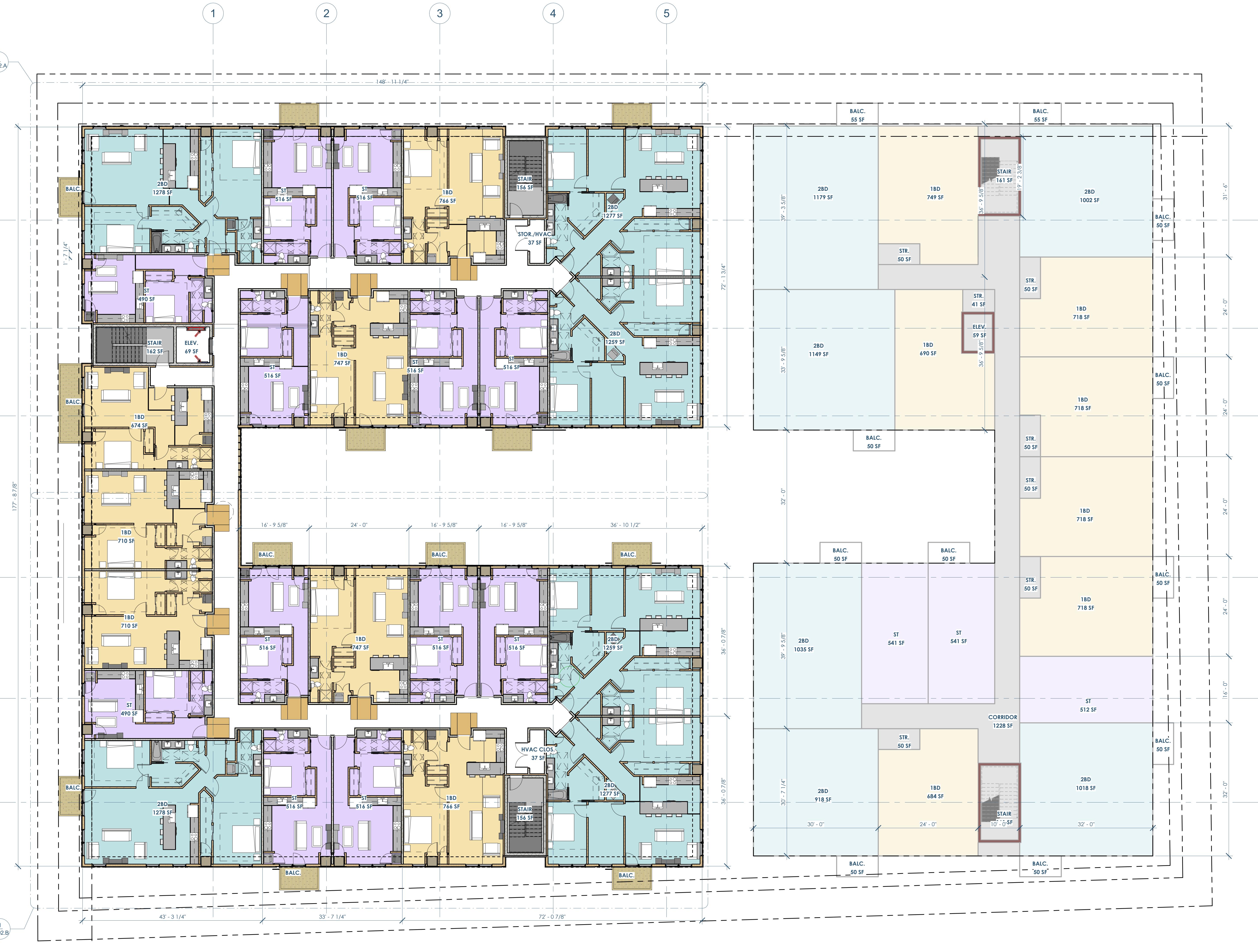
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Date **06.28.2019** Description **Final Implementation Plan**





FLOOR PLANS - 2ND  
CANNERY TRAIL RESIDENCES - 1750 N OXFORD AVE. - EAU CLAIRE, WI

Date 06.28.2019 Description Final Implementation Plan

AREA PER FLOOR		
Phase	Level	Area
1st Phase	1ST FLOOR	19330 SF
2nd Phase	2ND FLOOR	21417 SF
3rd Phase	3RD FLOOR	21451 SF
	BASMENT	27272 SF
		89470 SF
2nd Phase	1ST FLOOR	13097 SF
2nd Phase	2ND FLOOR	14839 SF
2nd Phase	3RD FLOOR	14839 SF
2nd Phase	BASMENT	19657 SF
		62432 SF
		151902 SF

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Date 06.28.2019 Description Final Implementation Plan

FLOOR PLAN - 3RD FLOOR  
CANNERY TRAIL RESIDENCES - 1750 N OXFORD AVE. - EAU CLAIRE, WI

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AREA PER FLOOR		
Phase	Level	Area
1st Phase	1ST FLOOR	19300 SF
1st Phase	2ND FLOOR	21417 SF
1st Phase	3RD FLOOR	21451 SF
1st Phase	BASEMENT	27272 SF
2nd Phase	1ST FLOOR	13097 SF
2nd Phase	2ND FLOOR	14839 SF
2nd Phase	3RD FLOOR	14839 SF
2nd Phase	BASEMENT	62432 SF
		151902 SF

PARKING - AUTO		
Phase	Level	Type
1st Phase	BASEMENT	ADA 1
1st Phase	BASEMENT	ADA-VAN 1
1st Phase	BASEMENT	STANDARD 66
1st Phase	BASEMENT	68
2nd Phase	BASEMENT	STANDARD 57
2nd Phase	BASEMENT	57
		125

PARKING - BIKE		
Phase	Level	Type
1st Phase	1ST FLOOR	BIKE PARKING 15
1st Phase	BASEMENT	BIKE 56
2nd Phase	BASEMENT	BIKE 60
		131

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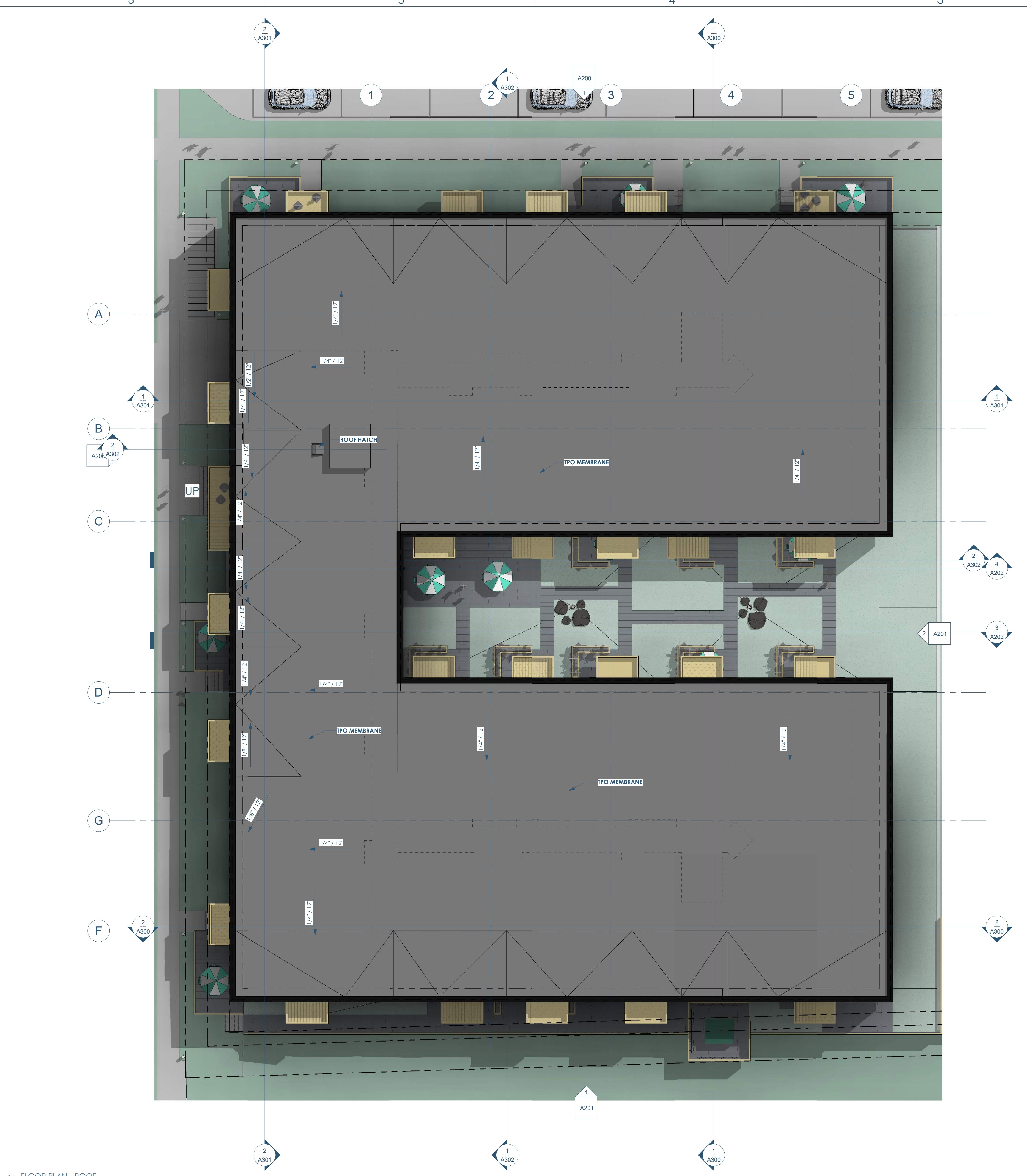
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Date	Description
06.28.2019	Final Implementation Plan





Date	Description
06.28.2019	Final Implementation Plan

## BUILDING ELEVATIONS CANNERY TRAIL RESIDENCES - 1750 N OXFORD AVE. - EAU CLAIRE, WI

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Electrical Engineer: PRISM DESIGN ELECTRICAL CONSULTANTS INC  
68403 State Rd 85 | Mondovi, WI 54755  
bhalgren@prismdesign-electrical.com | 715.797.0602

**TAILORED ENGINEERING**  
Plumbing Engineer: TAILORED ENGINEERING  
1600 Aspen Commons | Ste 210 | Middleton, WI 53562  
bnovak@tailoredeng.com | 608.209.7500

Date: 06.28.2019  
Description: Final Implementation Plan

A201  
6/28/2019 11:50:00 AM

6 | 5 | 4 | 3 | 2 | 1



Developer: W Capital Group  
tyler@wcapitalgroupre.com | 608.345.9848



Architect: OpeningDesign  
316 W Washington Ave | Suite 675  
Madison, WI 53703  
ryan@openingdesign.com | 773.425.6456



General Contractor: ROYAL CONSTRUCTION  
3453 Greenway Street | Eau Claire, WI 54701  
jim@royalbuilt.com | 715-225-6377



Civil Engineer: CEDAR CORPORATION  
404 Wilson Avenue | Menomonie, WI 54751  
kevin.olum@cedarcorp.com | 715-235-9081



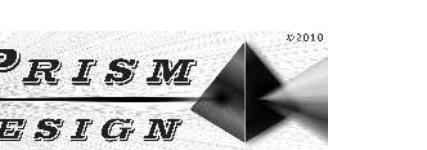
Structural Engineer: XC Structural Engineering  
Calle Apolonia Morales, 628036 Madrid,  
l.perezato@xcengineering.xyz | +34 610 56 26 37



Structural Engineer of Record: Ennovation  
4727 Dale-Curtain Dr. McFarland, WI 53558  
kfrey@innovation-built.com



Mechanical Engineer: HOVLAND'S HVAC  
10954 E Melby Street | Chippewa Falls, WI 54729  
jhansen@hovlands-inc.com | 715.552.5595



Electrical Engineer: PRISM DESIGN ELECTRICAL CONSULTANTS INC  
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bhalgren@prismdesign-electrical.com | 715.797.0602



Plumbing Engineer: TAILORED ENGINEERING  
1600 Aspen Commons | Ste 210 | Middleton, WI 53562  
bnovak@tailoredeng.com | 608.209.7500




SECTION @ CENTER LOOKING EAST  
1/8" = 1'-0"



SECTION @ CENTER LOOKING WEST  
1/8" = 1'-0"

Date	Description
06.28.2019	Final Implementation Plan



6 | 5 | 4 | 3 | 2 | 1



**CAPITAL GROUP**  
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Architect: OpeningDesign  
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ryan@openingdesign.com | 773.425.6456

**ROYAL CONSTRUCTION**  
General Contractor: ROYAL CONSTRUCTION  
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**Cedar Corporation**  
Civil Engineer: CEDAR CORPORATION  
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kevin.colm@cedarcorp.com | 715-235-9081

**XC**  
Structural Engineer: XC Structural Engineering  
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kfrey@innovation-built.com

**Hovland's**  
Heating - Ventilation - Air Conditioning  
Mechanical Engineers  
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jansen@hovlands-inc.com | 715.552.5595

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Electrical Engineer: PRISM DESIGN ELECTRICAL CONSULTANTS INC  
EB403 State Rd 85 | Mondovi, WI 54755  
bhalgren@prismdesign-electrical.com | 715.797.0602

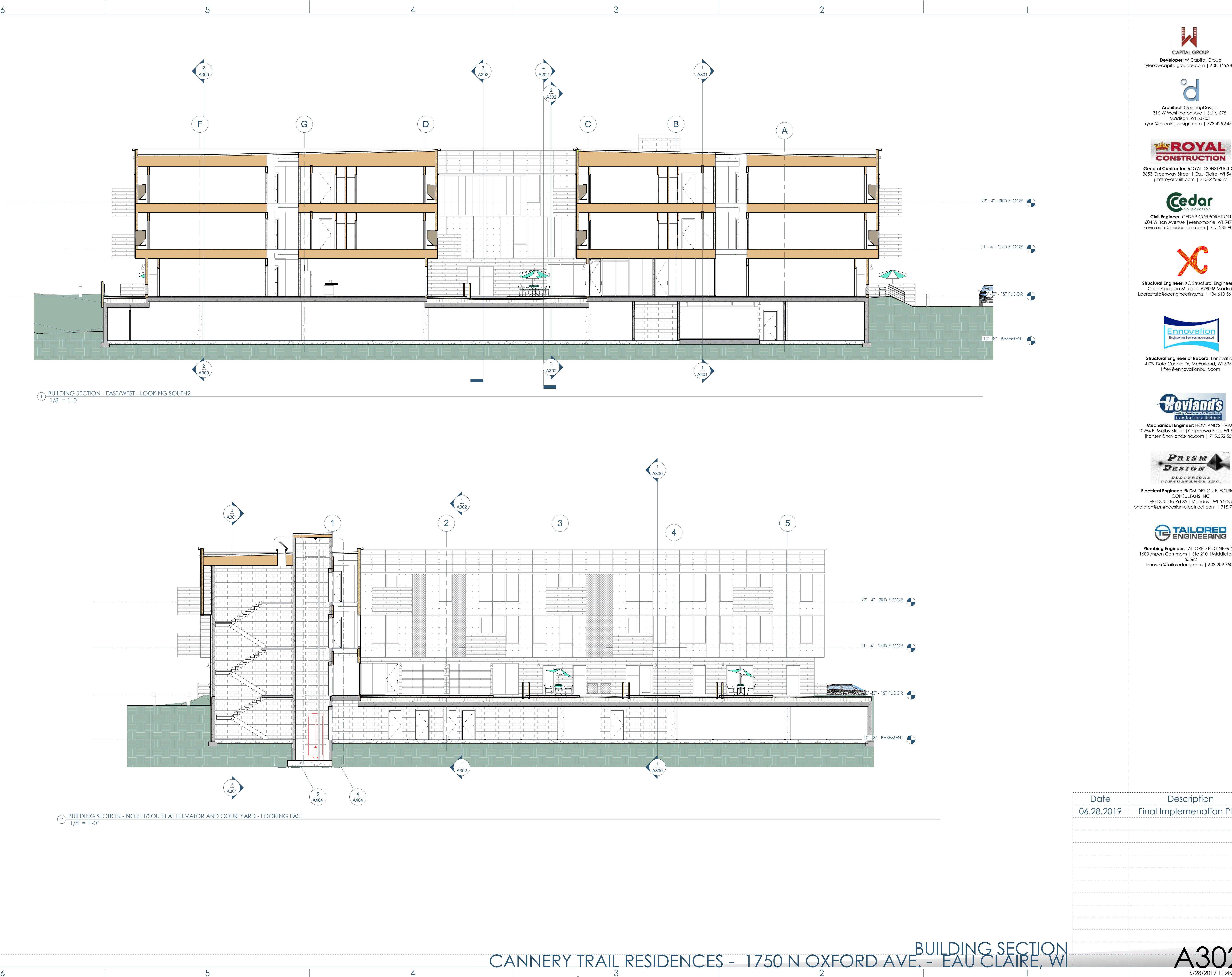
**TAILORED ENGINEERING**  
Plumbing Engineer: TAILORED ENGINEERING  
1600 Aspen Commons | Ste 210 | Middleton, WI 53562  
bnovak@tailoredeng.com | 608.209.7500



Date	Description
06.28.2019	Final Implementation Plan

BUILDING SECTION  
CANNERY TRAIL RESIDENCES - 1750 N OXFORD AVE. - EAU CLAIRE, WI

A301  
6/28/2019 11:17:37 AM



**CAPITAL GROUP**  
Developer: W Capital Group  
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**Architect: OpeningDesign**  
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ryan@openingdesign.com | 773.425.6456

**ROYAL CONSTRUCTION**  
General Contractor: ROYAL CONSTRUCTION  
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**XC Structural Engineering**  
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**Innovation Engineering Services Incorporated**  
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kfrey@innovation-built.com

**Hovland's Heating, Ventilation & Air Conditioning Engineers**  
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**TAILORED ENGINEERING**  
Plumbing Engineer: TAILORED ENGINEERING  
1600 Aspen Commons | Ste 210 | Middleton, WI 53562  
bnovak@tailoredeng.com | 608.209.7500

Date: 06.28.2019 Description: Final Implementation Plan

6

5

4

3

2

1



① 2019-06-28-10-36-48 (Enscape)  
12' = 1'-0"



③ 2019-06-28-10-38-43 (Enscape)  
12' = 1'-0"



② 2019-06-28-10-37-49 (Enscape)  
12' = 1'-0"



④ 2019-06-28-10-42-06 (Enscape)  
12' = 1'-0"

Date	Description
06.28.2019	Final Implementation Plan

## 3D VIEWS CANNERY TRAIL RESIDENCES - 1750 N OXFORD AVE. - EAU CLAIRE, WI

**C**  
W CAPITAL GROUP  
Developer: W Capital Group  
tyler@wcapitalgroup.com | 608.345.9848

**E**  
OPENING DESIGN  
Architect: OpeningDesign  
316 W Washington Ave | Suite 675  
Madison, WI 53703  
ryan@openingdesign.com | 773.425.6456

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General Contractor: ROYAL CONSTRUCTION  
3453 Greenway Street | Eau Claire, WI 54701  
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kfray@innovation-built.com

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1600 Aspen Commons | Ste 210 | Middleton, WI 53562  
bnovak@tailoredeng.com | 608.209.7500

**A900**  
6/28/2019 11:48:41 AM



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## STAFF REPORT

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**TO:** Plan Commission

**HEARING DATE:**

**PLAN COMMISSION:** 8/5/19, 7:00 p.m.

Eau Claire County Courthouse, County Board Room

**FROM:** Community Development

**FILE NO.:** SP-1920

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**AGENDA ITEM:** Request for approval of a site plan for the Theodora Apartments located at 3205 and 3211 Fairfax Street.

**APPLICANT:** Advanced Engineering Concepts

**PROPERTY OWNER:** Beneen Rentals, LLC

**ENGINEER/ARCHITECT/SURVEYOR:** Same

**SURROUNDING LAND USE:** North: Multi-Family  
East: Multi-Family  
South: Multi-Family  
West: Single Family

**AREA:** +/- 1.5 acres

**EXISTING ZONING:** R-3

**PROPOSED ZONING:** Same

**EXISTING LAND USE:** Vacant

**PROPOSED LAND USE:** Apartments

**COMPREHENSIVE PLAN:** Medium to High Density Residential

**RECOMMENDATION:**

The attached draft letter to applicant is provided for Plan Commission's consideration in review of this site plan. If the Plan Commission desires to approve this site plan, staff would recommend the conditions as noted in this letter.

**ANALYSIS:**

Advanced Engineering Concepts on behalf of the owner, Beneen Rentals, LLC is requesting approval of a site plan for two townhome-style buildings located at 3205 and 3211 Fairfax Street. Attached is the site plan with building elevations and narrative from the applicant. The zoning of the property is zoned R-3.

The site plan shows two buildings at approximately 8,300 square foot with townhome-style apartments. Building A which is the northern building is three stories with 15 units. Each of the units on the ground floor have two-car garages, the second floor is the living room, kitchen,

dining room and bathroom. The upper floor is the washer and dryer, two bedrooms and two bathrooms. Building B which is the southern building is two stories with 16 units. The ground floor is one-car garage and the upper floor is the living room, kitchen, washer and dryer, bathroom and bedroom. Each of the proposed units have a patio area (5' x 12' or 60 sq. ft.) with entryway upstairs to the unit.

The proposed driveway is shared between the two buildings with a 30-foot access. The parking for each of the units is within the garage and the garage space would be for bicycle parking. The total number of stalls provided is 57, and the required parking of 46. The additional parking is for storage, guests and some tenants may need more than one stalls. The site plan shows three surface stalls for guest parking. A sidewalk connection is shown from buildings to the public sidewalk. Exterior lighting shall meet the standards of city code. The site plan shows the total open space at approximately 48 percent of the site. The landscape plan shows foundation plantings, street trees and existing trees along the south and east property lines.

Grading and Drainage: The site is tributary to Otter Creek at the Henry Avenue outfall. Storm water best management practices (BMP's) are required to improve runoff water quality. A wet pond is proposed as the water quality BMP. Materials submitted with the site plan indicate that, in this application, these units are calculated to remove approximately 100 percent of Total Suspended Solids. The threshold for new development BMP's identified in NR151 is an 80 percent reduction in Total Suspended Solids. The proposed facility will meet that requirement for the site. The proposed method of handling storm water runoff is to direct runoff to a detention area that discharges to the adjacent property to the north. Calculations show that storage is provided to contain the runoff estimated from the developed site generated by a 24-hour design storm with a one-percent exceedance probability (100-year event).

Public Utilities: Water and sewer service is available to the site; record dimensions of public facilities can be obtained by calling the Engineering Department. Utility connections may require a work in the right-of-way permit and a plumbing permit. Fire sprinkler designs should be based on current fire hydrant flow tests. Contact the Water Utility at 715-839-5045 to obtain fire hydrant flow test data or to request a flow test.

Traffic: It is estimated that the peak hour trip generation will be approximately 25 vehicles entering and exiting the proposed development. The traffic generated by the proposed improvements should not adversely impact traffic flow in the area. The plan calls for a new 24-foot curb cut on Fairfax Street for driveway access, which will serve both buildings.

Transit: The proposed site is serviced by Routes 1 and 6 with bus stops at Fairfax Street and Skeels Avenue. It is anticipated that the development may generate some demand for public transit.



---

**COMMUNITY DEVELOPMENT**

Economic Development: (715) 839-4914  
Inspections: (715) 839-4947  
Planning: (715) 839-4914  
Fax: (715) 839-4939

August 5, 2019

**DRAFT**

Advanced Engineering Concepts  
1360 International Dr  
Eau Claire, WI 54701

RE: SP-1920, Theodora Townhomes – Plan Commission Site Plan Review

Dear Applicant:

The Plan Commission, at its August 5, 2019 meeting, reviewed the above-referenced site plan.

**A. Conditions to be shown/satisfied on a revised site plan:**

The following conditions must be satisfied prior to it being approved:

1. City of Eau Claire Engineering Department approval of drainage calculations and drainage and grading plan.

After the conditions noted above are met, a building permit may be issued.

**B. Conditions to be met prior to occupancy permit:**

Conditions which must be met prior to issuance of the occupancy permit for this project include:

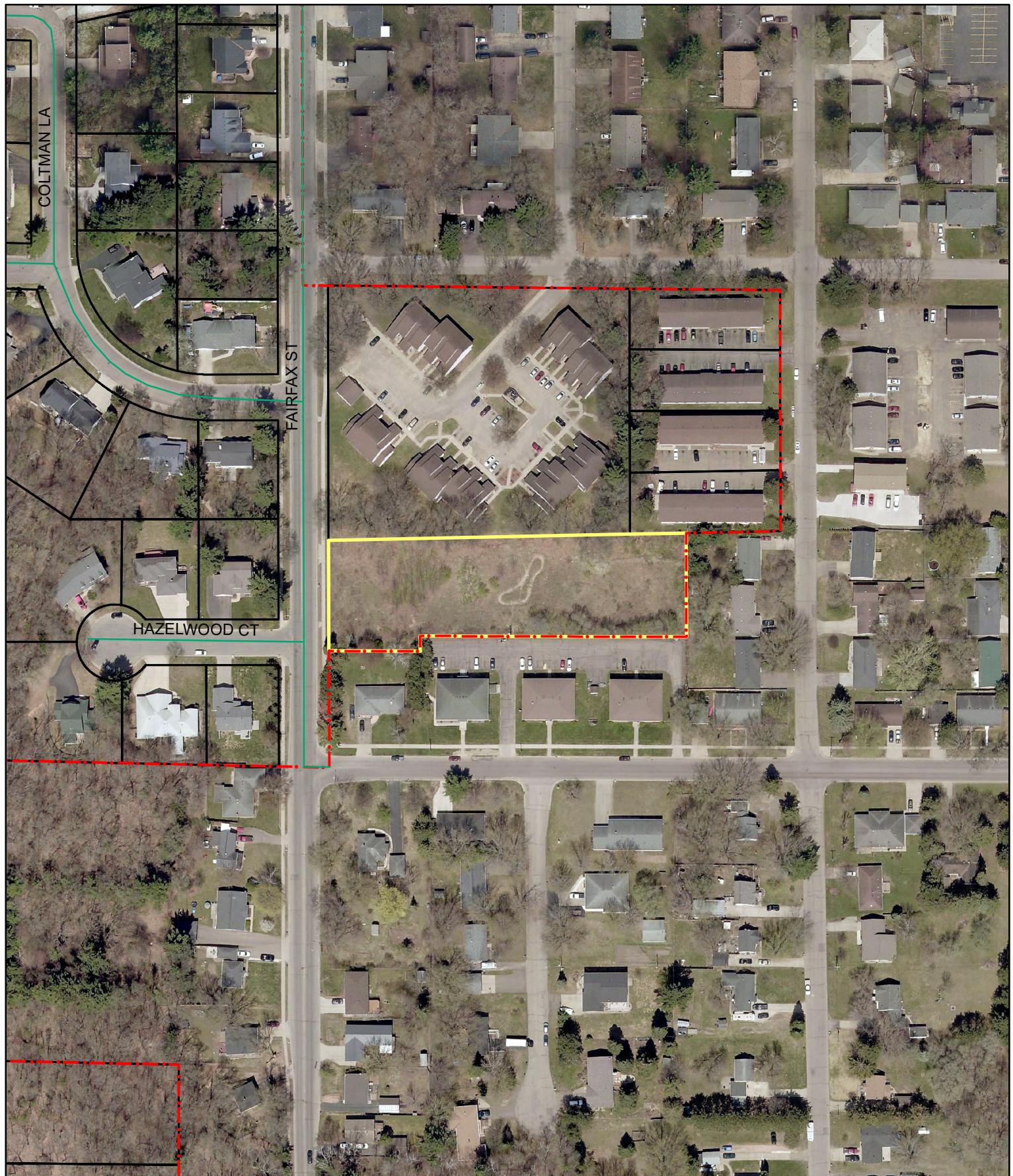
1. Exterior lighting must meet the City's Exterior Lighting standards.

Any changes in your site plan must be reviewed by the Department of Community Development. Please contact me at 715-839-4914 if you have any questions or if you need additional information.

Sincerely,

Ryan Petrie  
Associate Planner

c: File, Calvin Miller



0 100 200 Feet

## Aerial Map Agenda Item SP-1920

45

  Subject Property  
 City Limits





**ROBERT D. JOHNSON**  
**ARCHITECT**

5201 Stonewood Drive  
Eau Claire, WI 54703  
(715)828-8330  
rdjarchitect@gmail.com

**BENEEN RENTALS, LLC**

715-475-9986  
jon@beneenrentals.com

No.	Description	Date

**Theodora  
Townhomes**

**3D Rendering**

Project Number	2019.8
Date	7.19.19
Drawn By	OMC
Checked By	RDJ

**3D-1**

Scale



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715-475-9986  
jon@beneenrentals.com

No.	Description	Date

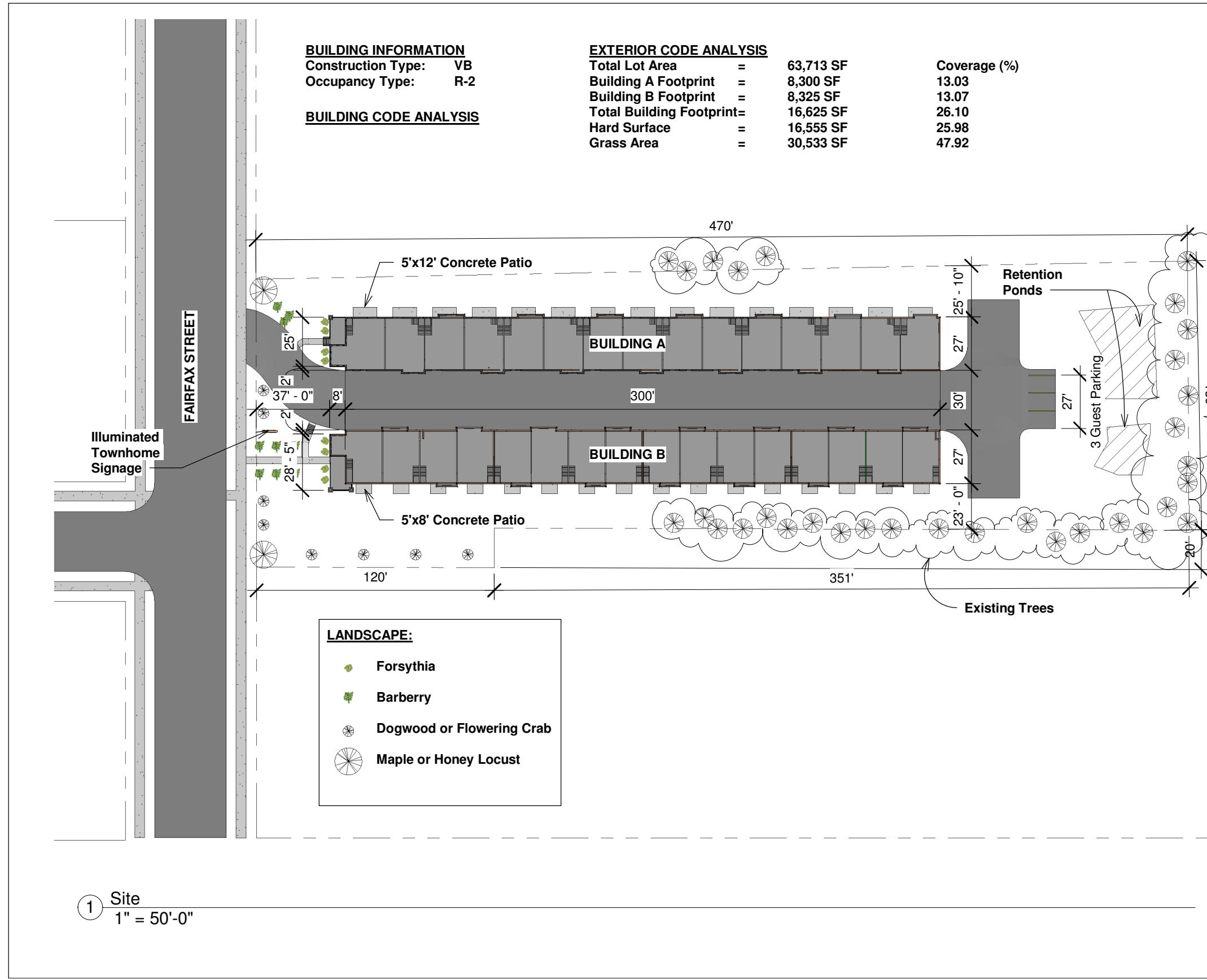
**Theodora  
Townhomes**

**3D Rendering**

Project Number	2019.8
Date	7.19.19
Drawn By	OMC
Checked By	RDJ

**3D-2**

Scale



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**BENEEN RENTALS, LLC**

715-475-9986  
jon@beneenrentals.com

No.	Description	Date
1	Revision 1	Date 1

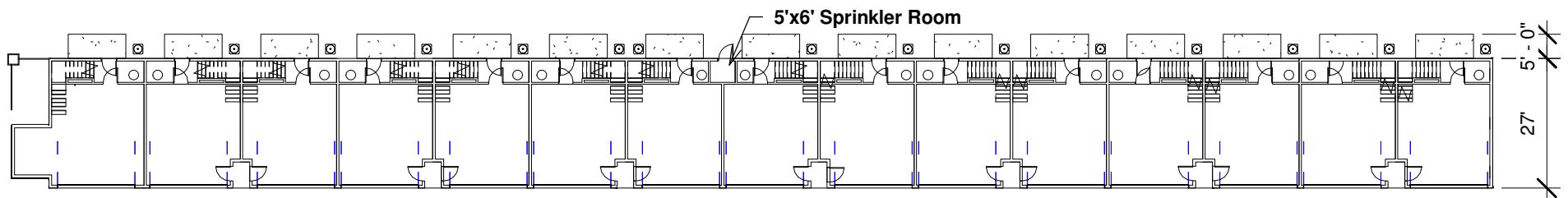
## Theodora Townhomes

### Site Plan

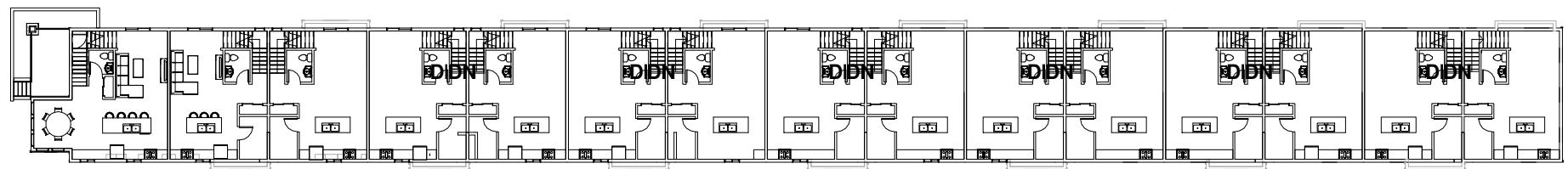
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Drawn By	OMC
Checked By	RDJ

A100

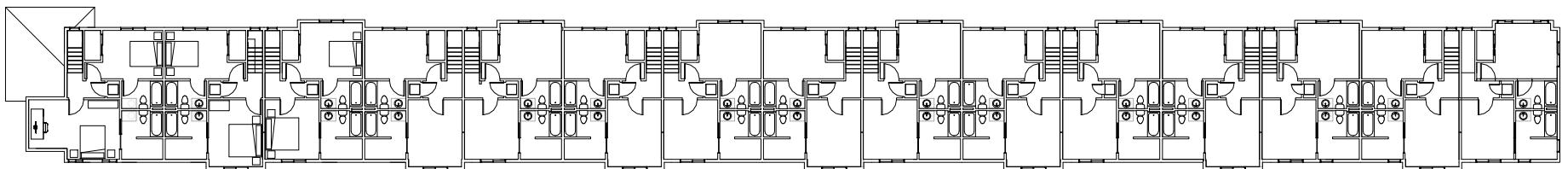
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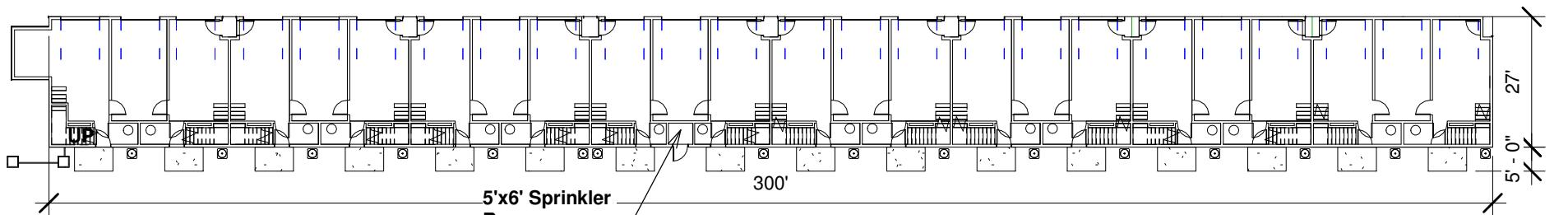
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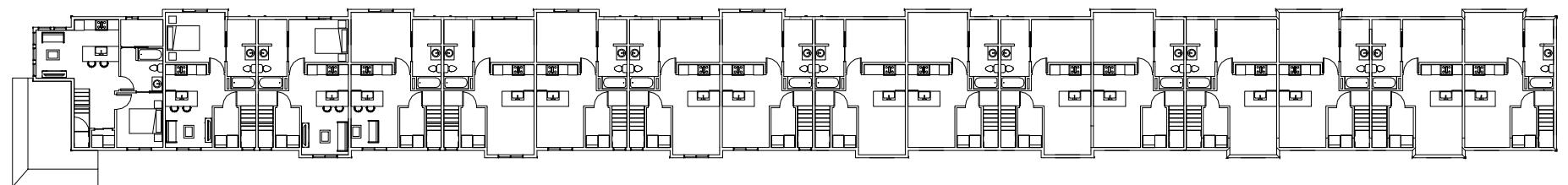
2 Level 2 Building A Full Floorplan  
1" = 30'-0"



3 Level 3 Building A Full Floorplan  
1" = 30'-0"



4 Level 1 Building B Full Floorplan  
1" = 30'-0"



5 Level 2 Building B Full Floorplan  
1" = 30'-0"

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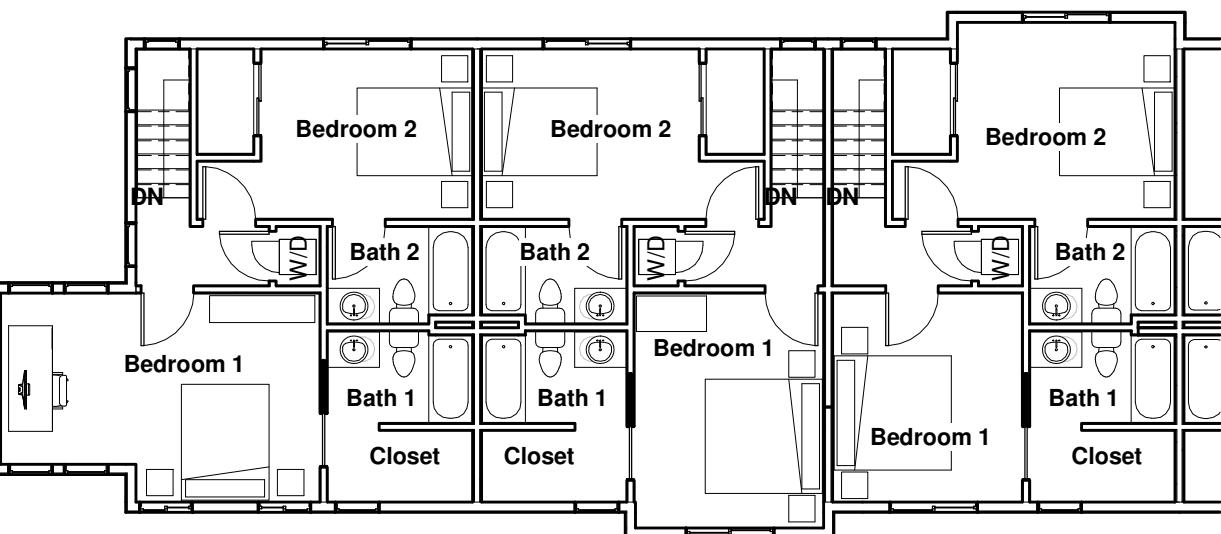
No.	Description	Date

**Theodora  
Townhomes  
Floorplans**

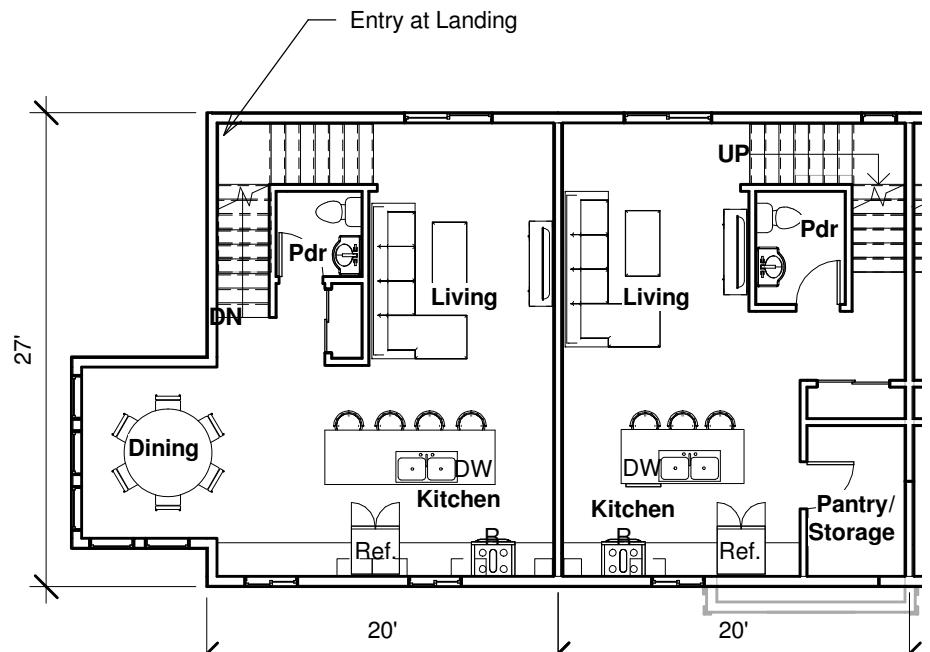
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Date	7.19.19
Drawn By	OMC
Checked By	RDJ

**A101**

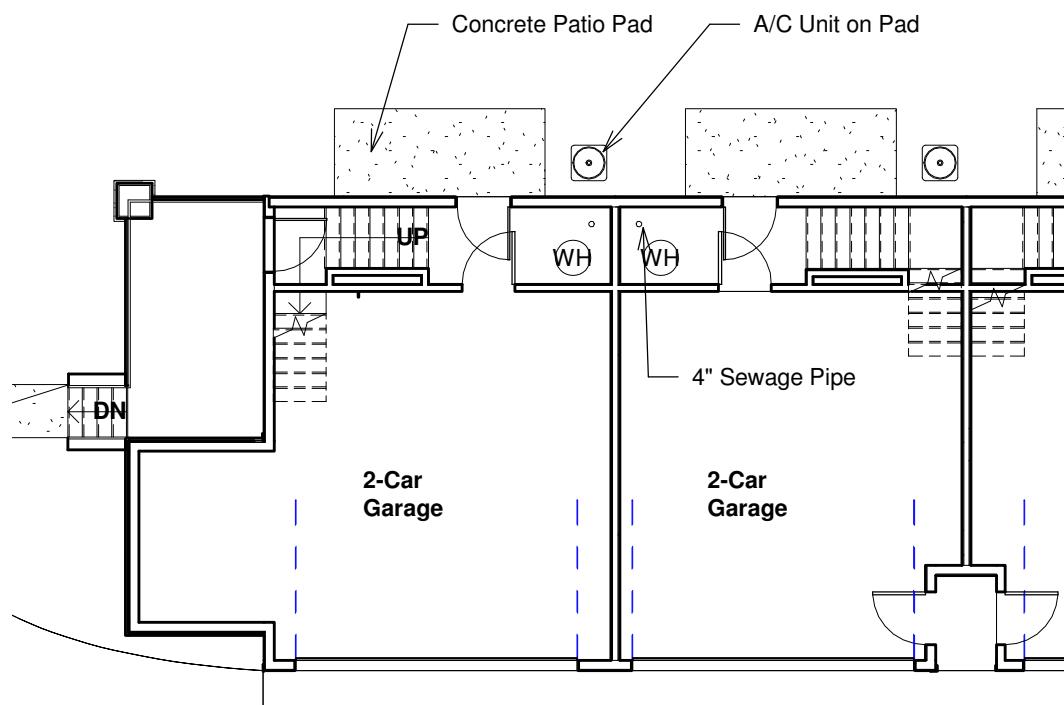
Scale 1" = 30'-0"



③ Building A Level 3  
1" = 10'-0"



② Building A Level 2  
1" = 10'-0"



① Building A Level 1  
1" = 10'-0"

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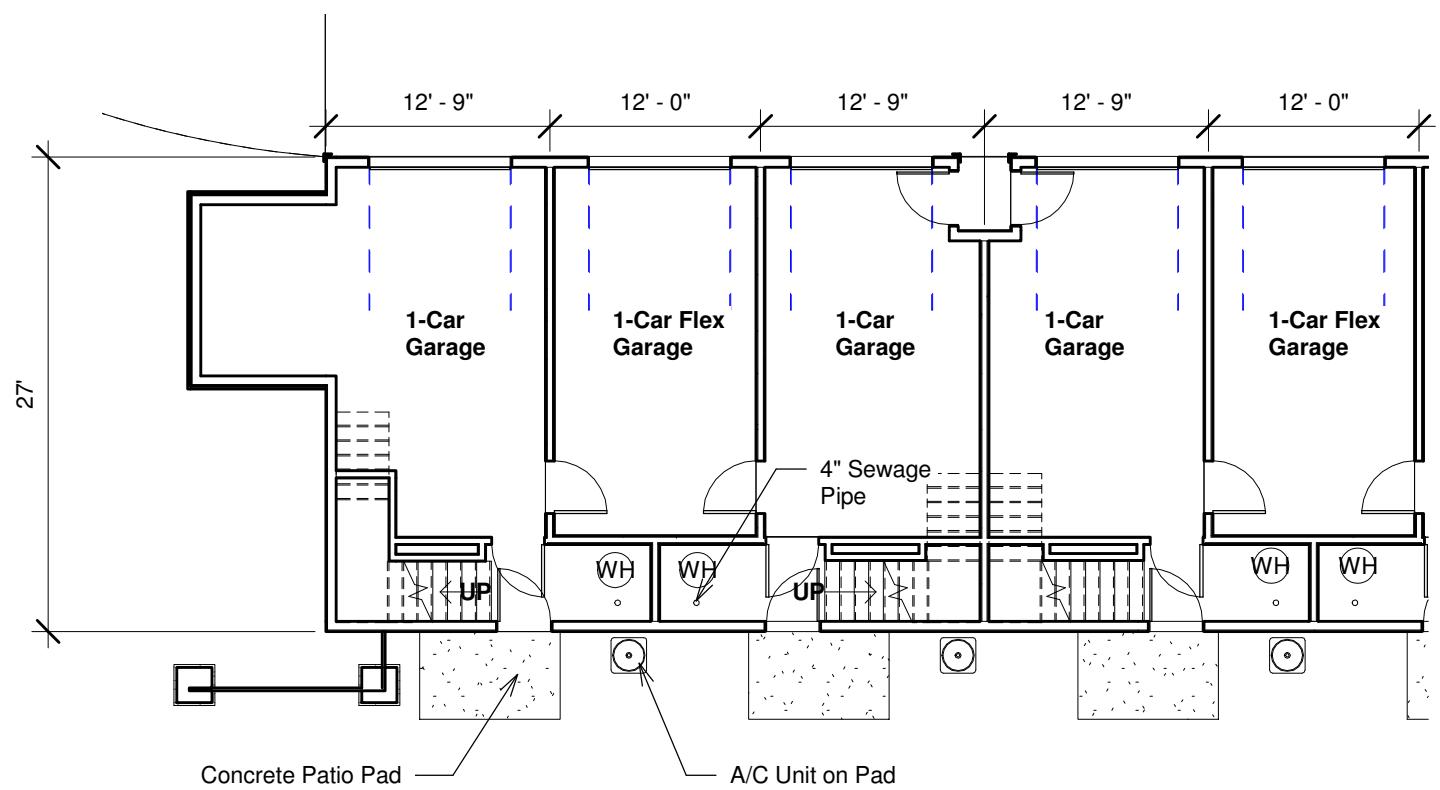
No.	Description	Date

## Theodora Townhomes Building A Floorplans

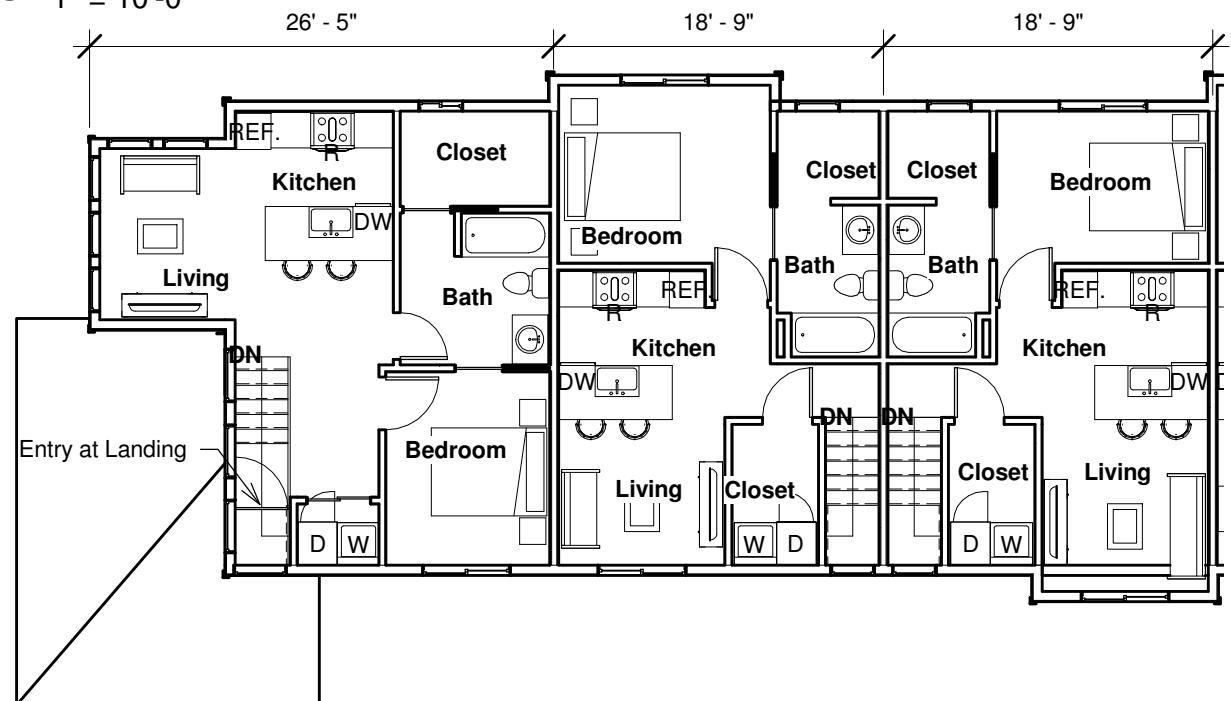
Project Number	2019.8
Date	7.19.19
Drawn By	OMC
Checked By	RDJ

**A102**

Scale 1" = 10'-0"



1 Building B Level 1  
1" = 10'-0"



2 Building B Level 2  
1" = 10'-0"

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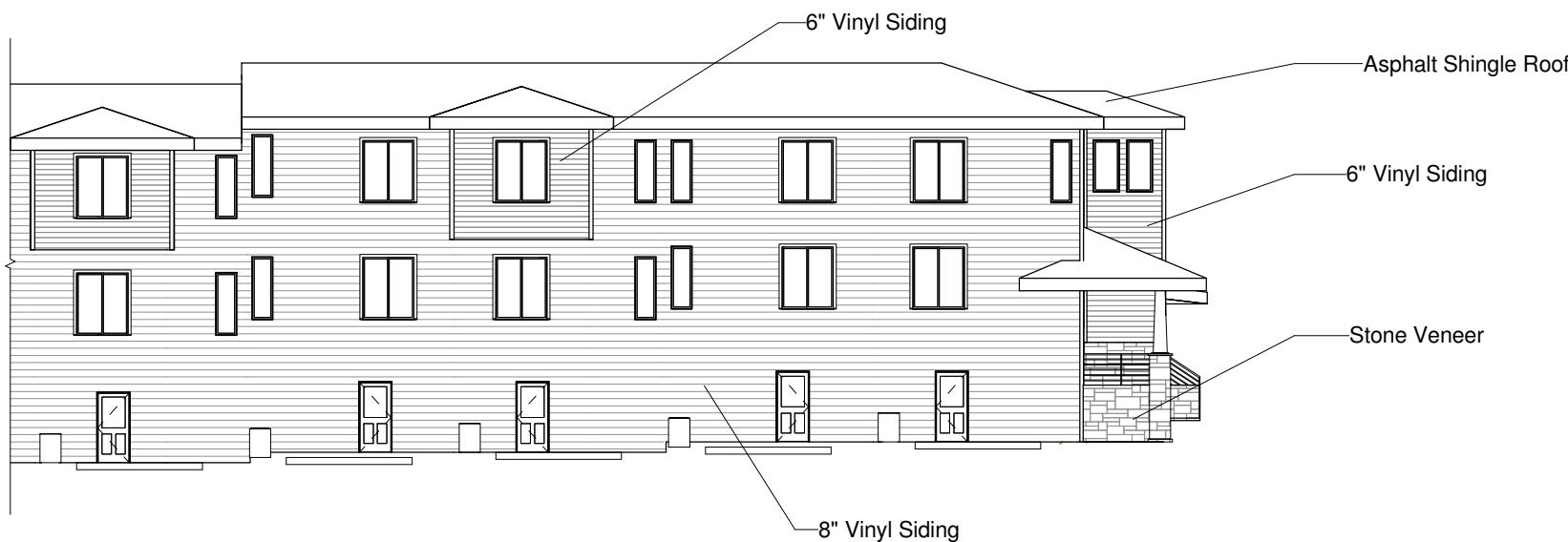
No.	Description	Date

## Theodora Townhomes Building B Floorplans

Project Number	2019.8
Date	7.19.19
Drawn By	OMC
Checked By	RDJ

**A103**

Scale      1" = 10'-0"



1 Building A North 1  
1/16" = 1'-0"



2 Building A North 2  
1/16" = 1'-0"

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jon@beneenrentals.com

No.	Description	Date

## Theodora Townhomes Elevations

Project Number	2019.8
Date	7.19.19
Drawn By	OMC
Checked By	RDJ

**A104**

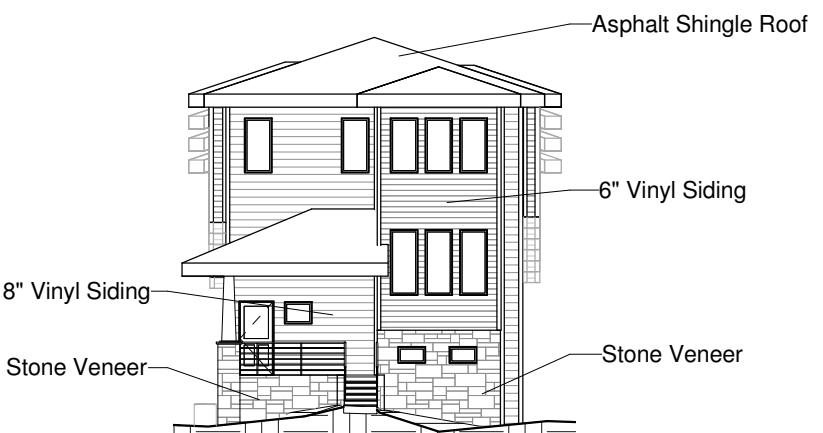
Scale      1/16" = 1'-0"



① Building A North 3  
1/16" = 1'-0"



② Building A East  
1/16" = 1'-0"



③ Building A West  
1/16" = 1'-0"



④ Building A South 1  
1/16" = 1'-0"

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No.	Description	Date

## Theodora Townhomes Elevations

Project Number	2019.8
Date	7.19.19
Drawn By	OMC
Checked By	RDJ

**A105**

Scale      1/16" = 1'-0"

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No.	Description	Date



① Building A South 2  
1/16" = 1'-0"



② Building A South 3  
1/16" = 1'-0"

## Theodora Townhomes Elevations

Project Number 2019.8

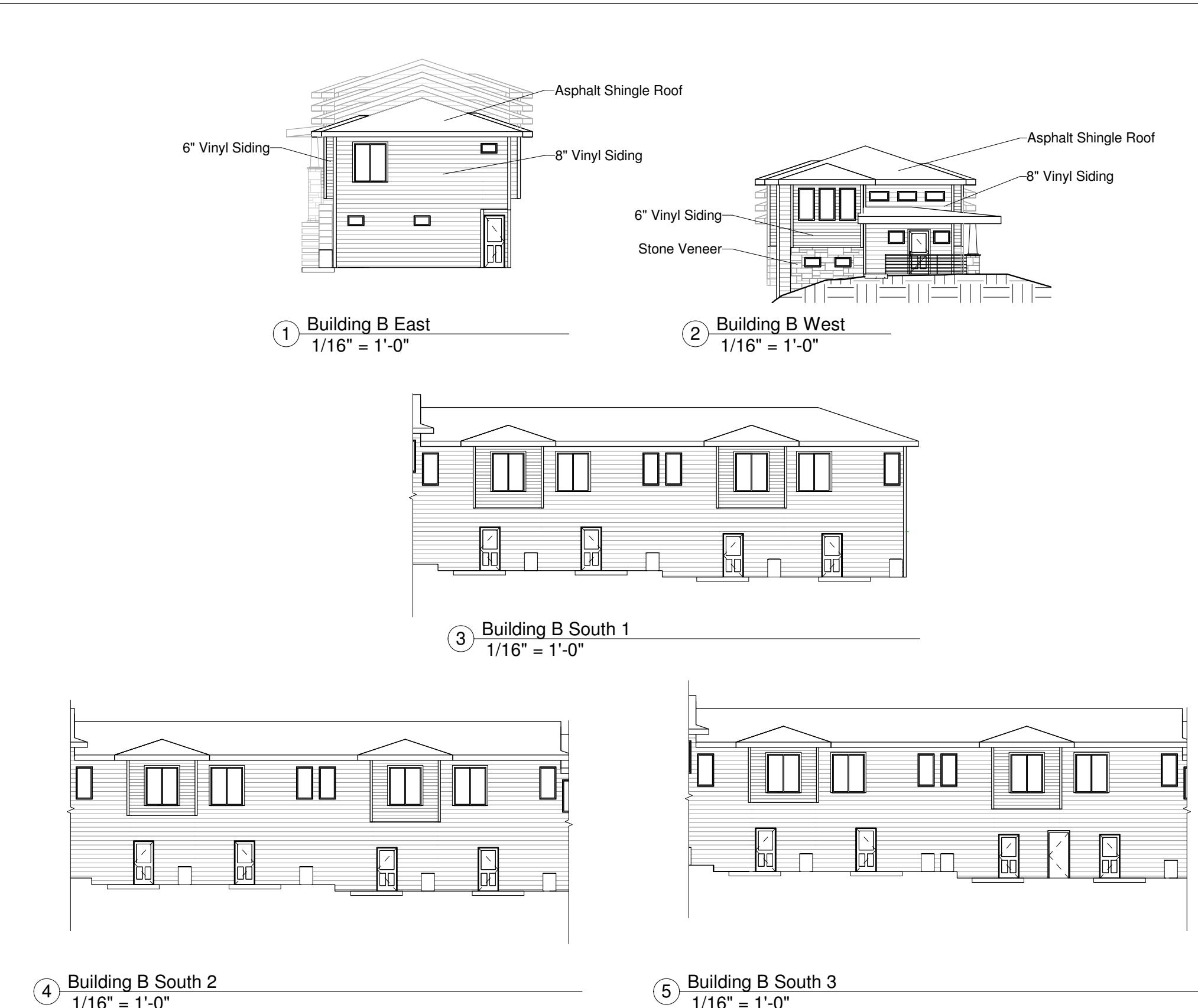
Date 7.19.19

Drawn By OMC

Checked By RDJ

**A106**

Scale 1/16" = 1'-0"



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No.	Description	Date

## Theodora Townhomes Elevations

Project Number	2019.8
Date	7.19.19
Drawn By	OMC
Checked By	RDJ
Scale	1/16" = 1'-0"

**A107**



① Building B South 4  
1/16" = 1'-0"



② Building B North 1  
1/16" = 1'-0"



③ Building B North 2  
1/16" = 1'-0"



④ Building B North 3  
1/16" = 1'-0"



⑤ Building B North 4  
1/16" = 1'-0"

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No.	Description	Date

## Theodora Townhomes Elevations

Project Number 2019.8

Date 7.19.19

Drawn By OMC

Checked By RDJ

A108

Scale 1/16" = 1'-0"



1 Building A South  
1" = 30'-0"



2 Building A North  
1" = 30'-0"



3 Building B South  
1" = 30'-0"



4 Building B North  
1" = 30'-0"

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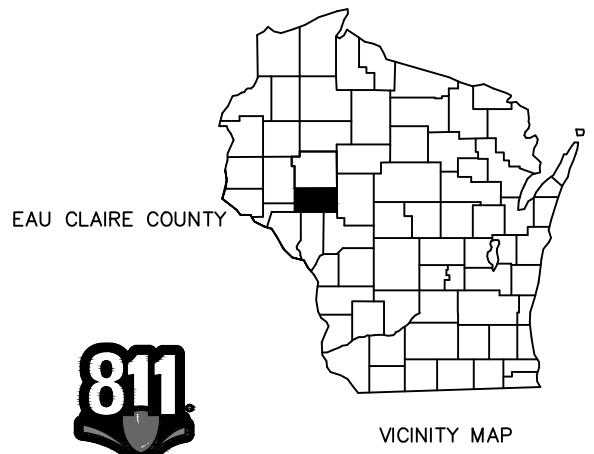
No.	Description	Date

**Theodora  
Townhomes  
Full Elevations**

Project Number	2019.8
Date	7.19.19
Drawn By	OMC
Checked By	RDJ

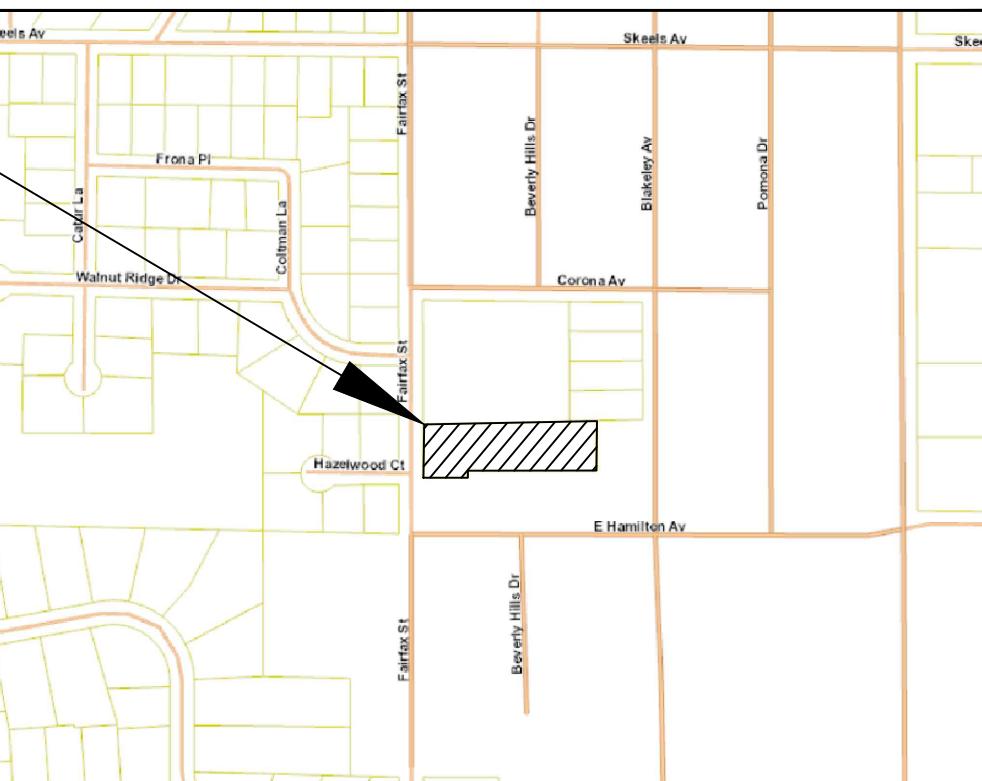
**A109**

Scale      1" = 30'-0"



Know what's below.  
Call before you dig.

# THEODORA TOWNHOMES FAIRFAX STREET EAU CLAIRE, WI



## PROJECT LOCATION

CONTACTS	
DEPUTY CITY ENGINEER	CITY OF EAU CLAIRE ATTN: LEAH NESS (715) 839-4934
ELECTRIC	XCEL ENERGY: DESIGN SECTION ATTN: JOHN KELSER (715) 737-1431
GAS	XCEL ENERGY: DESIGN SECTION ATTN: SCOTT SEAHOLM (715) 727-2584
TELEPHONE	AT&T ATTN: KEN SCHICK (715) 839-5820
CABLE	CHARTER COMMUNICATIONS ATTN: CURT MOORE (715) 831-8940 ext. 51148
SANITARY	CITY OF EAU CLAIRE BEN SPANEL (715) 839-4950
WATER	CITY OF EAU CLAIRE SCOTT KWIK (715) 379-4336
FIRE DEPT.	CITY OF EAU CLAIRE ALLYN BERTRANG (715) 839-2911

<b>DEVELOPER:</b> BENEEN RENTALS E10490 E MALLARD ROAD FALL CREEK, WI 54742 PHONE: 715-475-9986 EMAIL: <a href="mailto:jon@beneenrentals.com">jon@beneenrentals.com</a>
<b>PROJECT ENGINEER:</b> ADVANCED ENGINEERING CONCEPTS, LLC. SEAN BOHAN, P.E. 1360 INTERNATIONAL DRIVE, SUITE #1 EAU CLAIRE, WI 54701 PH: 715.552.0330 EMAIL: <a href="mailto:sbohan@rls-aec.com">sbohan@rls-aec.com</a>

SCHEDULE OF REQUIRED PERMITS		
REQUIRED PERMITS	SUBMITTED	APPROVED
CITY OF EAU CLAIRE – SITE PLAN		
WIDNR – WRAPP PERMIT		
CITY OF EAU CLAIRE – EXTERIOR PLUMBING		

## LEGEND

### EXISTING



### PROPOSED



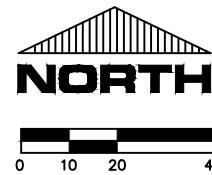
**ABBREVIATIONS:**  
 BC=BACK OF CURB  
 BLK=BLOCK NUMBER  
 BOT=BOTTOM (ELEV)  
 CL=CENTERLINE  
 CS=CURB STOP  
 ELEV=ELEVATION  
 EOP=EDGE OF PAVEMENT  
 EX=EXISTING  
 FES=FLARED END SECTION  
 FF=FINISHED FLOOR (ELEV)  
 FL=FLOWLINE  
 GF=GARAGE FLOOR (ELEV)  
 GLG=GROUND LINE GROOVE  
 HWL=HIGH WATER LEVEL  
 INV=INVERT  
 LF=LINEAR FEET  
 LO=LOOKOUT STYLE HOME  
 LT=LEFT  
 MIN=MINIMUM  
 NWL=NORMAL WATER LEVEL  
 PC=POINT OF CURVE  
 PRC=CURVE REVERSAL POINT  
 PT=POINT OF TANGENCY  
 RAD=RADIUS  
 RT=RIGHT  
 R/W=RIGHT OF WAY  
 SAN=SANITARY SEWER  
 SP=SPOT ELEVATION  
 STA=STATION  
 STM=STORM SEWER  
 TC=TOP OF CURB  
 TYP=TYPICAL  
 W=WATER FITTINGS  
 WAT=WATER  
 WM=WATERMAIN  
 WO=WALKOUT STYLE HOME

SHEET SCHEDULE	
SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	EXISTING SITE & DEMOLITION PLAN
3	SITE PLAN
4	GRADING PLAN
5	UTILITY PLAN
6	EROSION CONTROL PLAN
7-8	DETAILS

AEC PROJ#: 19135 PLANS DATED: JULY 2019

ADVANCED ENGINEERING CONCEPTS  
1360 INTERNATIONAL DRIVE, SUITE #1  
EAU CLAIRE, WI 54701  
PH 715-552-0330  
[INFO@RLS-AEC.COM](mailto:INFO@RLS-AEC.COM)  
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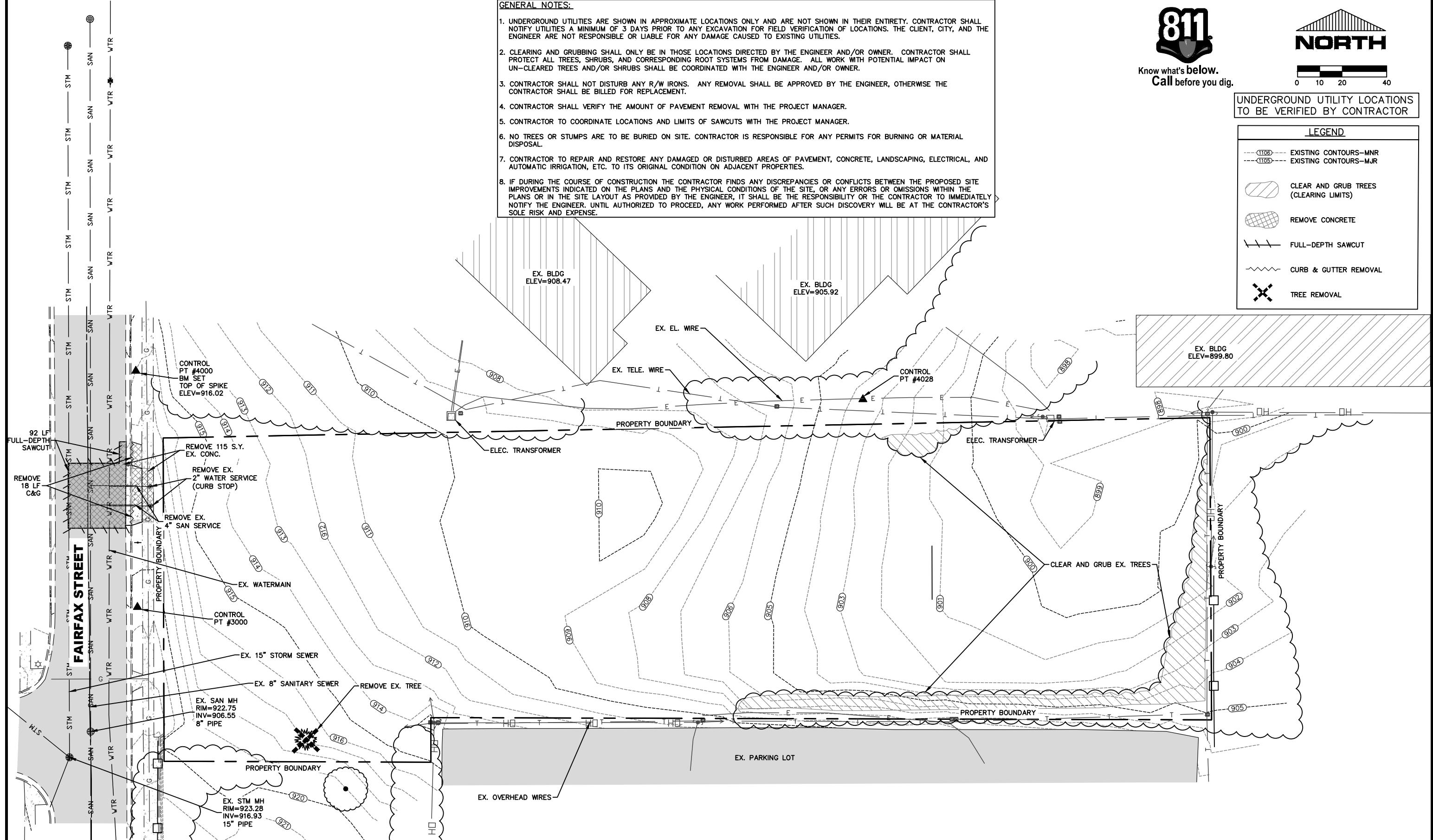


Know what's below.  
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UNDERGROUND UTILITY LOCATIONS  
TO BE VERIFIED BY CONTRACTOR

LEGEND

- EXISTING CONTOURS—MNR
- EXISTING CONTOURS—MJR
- CLEAR AND GRUB TREES (CLEARING LIMITS)
- REMOVE CONCRETE
- FULL-DEPTH SAWCUT
- CURB & GUTTER REMOVAL
- TREE REMOVAL



NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED
-	-	-	-	-	-

PROJ. NO.

19135



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EXISTING CONDITIONS AND DEMOLITION PLAN

THEODORA TOWNHOMES  
BENEEN RENTALS  
E10490 E MALLARD ROAD  
EAU CLAIRE, WI 54742

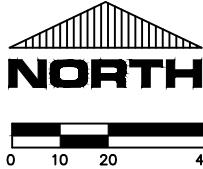
DWG NAME  
19135 PG 2  
EXISTING

DATE  
7/2019

2  
8



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SITE NOTES:

- DOWNCAST LIGHTING WILL BE LOCATED ON THE FRONT AND SIDES OF THE BUILDINGS IN ADDITION TO WALL PACKS AT SERVICE ENTRANCES. ANY NEW EXTERIOR LIGHTING MUST MEET THE CITY'S EXTERIOR LIGHTING MANUAL STANDARDS.
- THIS SITE WILL UTILIZE MULTIPLE GRASS SWALES, CELL, AND INFILTRATION CELL TO PROVIDED A MINIMUM 80% TSS REDUCTION IN STORM WATER RUNOFF.
- GARBAGE WILL BE KEPT IN GARAGES, NO TRASH ENCLOSURE IS BEING PROPOSED.
- IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER, UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.

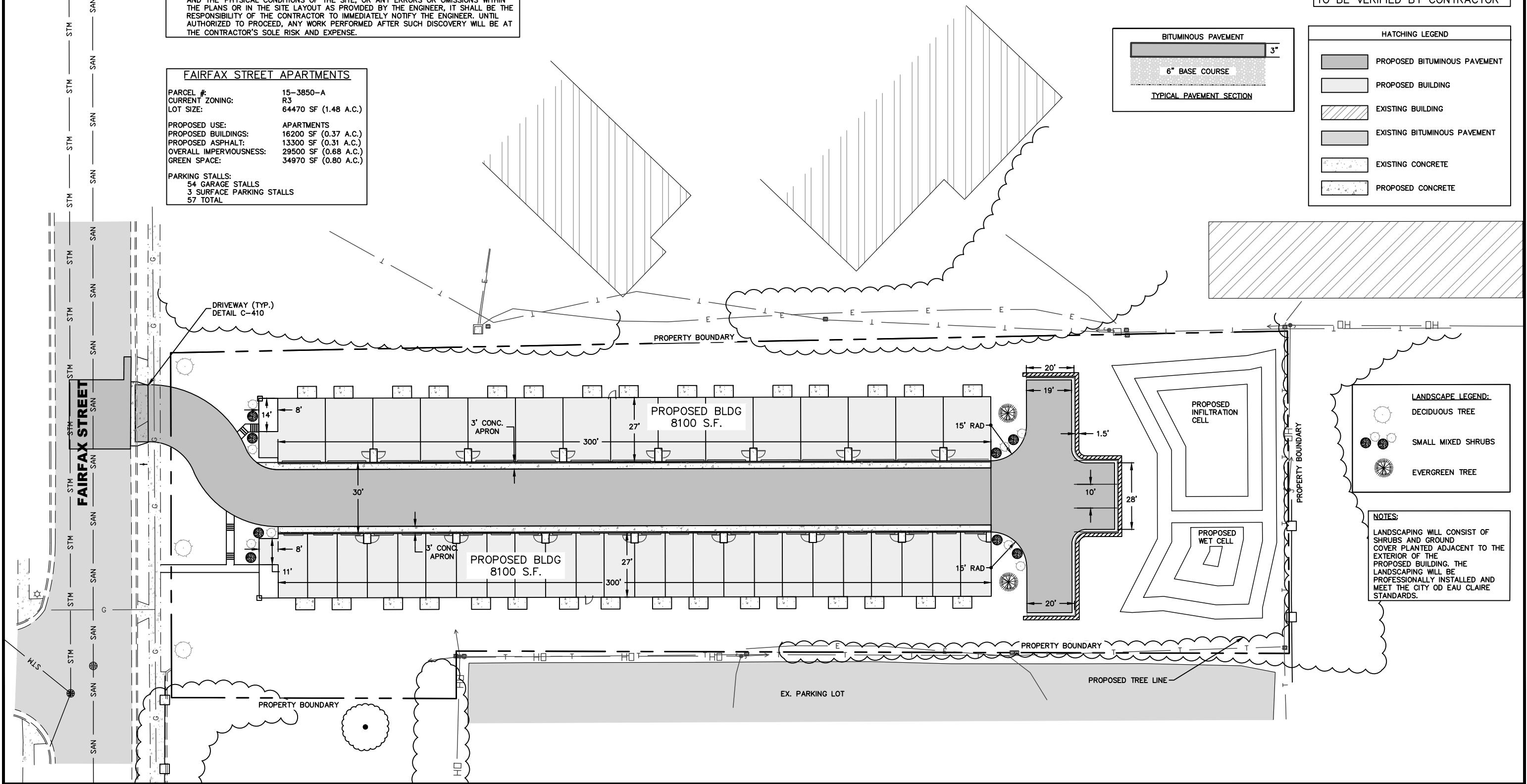
FAIRFAX STREET APARTMENTS

PARCEL #: 15-3850-A  
CURRENT ZONING: R3  
LOT SIZE: 64470 SF (1.48 A.C.)  
PROPOSED USE: APARTMENTS  
PROPOSED BUILDINGS: 16200 SF (0.37 A.C.)  
PROPOSED ASPHALT: 13300 SF (0.31 A.C.)  
OVERALL IMPERVIOUSNESS: 29500 SF (0.68 A.C.)  
GREEN SPACE: 34970 SF (0.80 A.C.)  
PARKING STALLS:  
54 GARAGE STALLS  
3 SURFACE PARKING STALLS  
57 TOTAL

Know what's below.  
Call before you dig.

UNDERGROUND UTILITY LOCATIONS  
TO BE VERIFIED BY CONTRACTOR

HATCHING LEGEND	
	PROPOSED BITUMINOUS PAVEMENT
	PROPOSED BUILDING
	EXISTING BUILDING
	EXISTING BITUMINOUS PAVEMENT
	EXISTING CONCRETE
	PROPOSED CONCRETE



NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED
-	-	-	-	-	-

PROJ. NO.

19135



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SITE PLAN

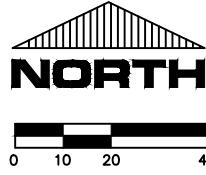
THEODORA TOWNHOMES  
BENEEN RENTALS  
E10490 E MALLARD ROAD  
EAU CLAIRE, WI 54742

DWG NAME  
19135 PG 3  
SITE  
DATE  
7/2019

3  
8



Know what's below.  
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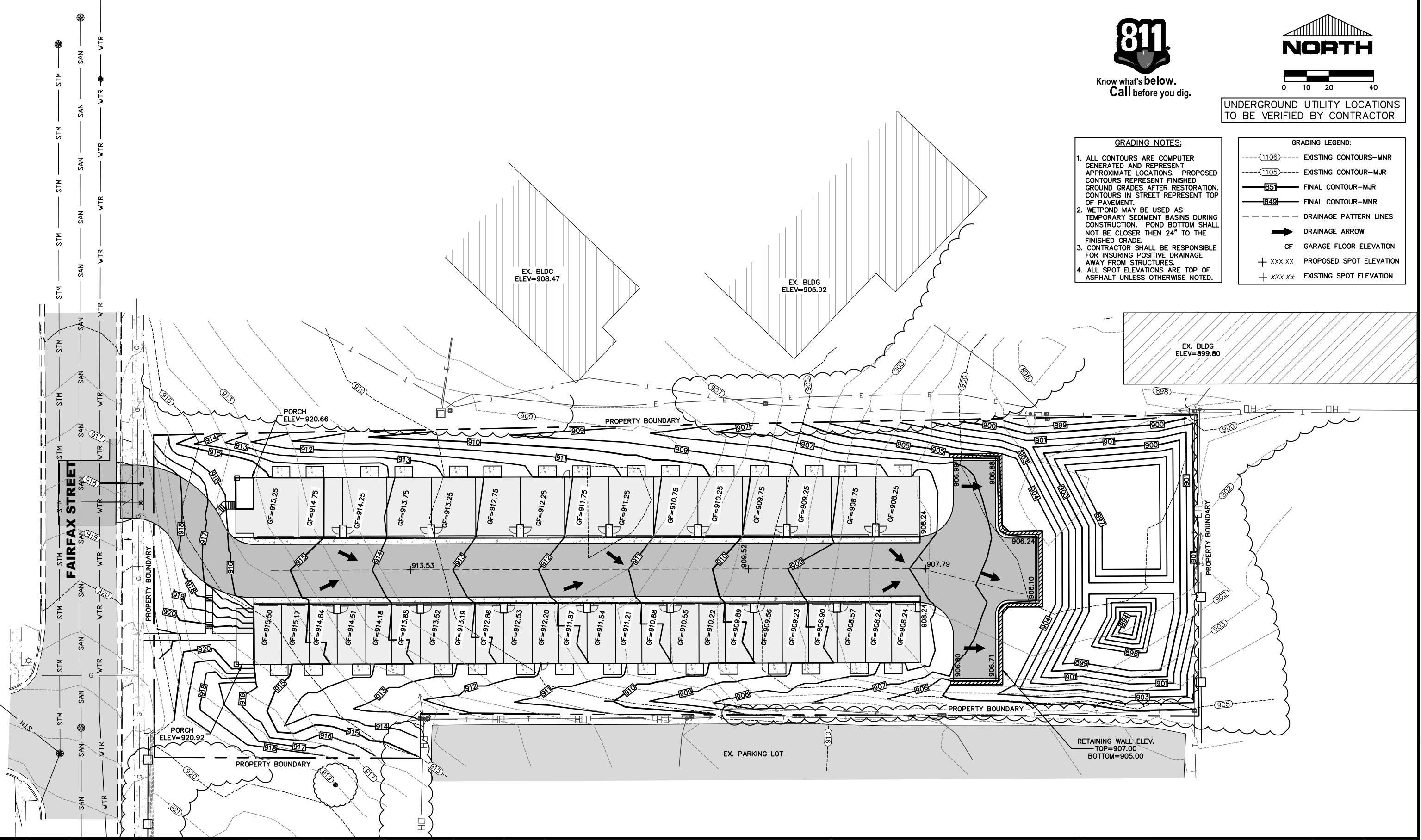


UNDERGROUND UTILITY LOCATIONS  
TO BE VERIFIED BY CONTRACTOR

GRADING NOTES:

- ALL CONTOURS ARE COMPUTER GENERATED AND REPRESENT APPROXIMATE LOCATIONS. PROPOSED CONTOURS REPRESENT FINISHED GROUND GRADES AFTER RESTORATION. CONTOURS IN STREET REPRESENT TOP OF PAVEMENT.
- WETPOND MAY BE USED AS TEMPORARY SEDIMENT BASINS DURING CONSTRUCTION. POND BOTTOM SHALL NOT BE CLOSER THAN 24" TO THE FINISHED GRADE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING POSITIVE DRAINAGE AWAY FROM STRUCTURES.
- ALL SPOT ELEVATIONS ARE TOP OF ASPHALT UNLESS OTHERWISE NOTED.

GRADING LEGEND:	
1106	EXISTING CONTOURS-MNR
1105	EXISTING CONTOUR-MJR
551	FINAL CONTOUR-MJR
549	FINAL CONTOUR-MNR
- - -	DRAINAGE PATTERN LINES
→	DRAINAGE ARROW
GF	GARAGE FLOOR ELEVATION
+ XXX.XX	PROPOSED SPOT ELEVATION
+ XXX.X±	EXISTING SPOT ELEVATION



NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED
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GRADING PLAN

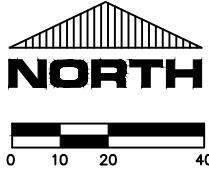
THEODORA TOWNHOMES  
BENEEN RENTALS  
E10490 E MALLARD ROAD  
EAU CLAIRE, WI 54742

DWG NAME  
19135 PG 4  
GRADING  
DATE  
7/2019

4  
80



Know what's below.  
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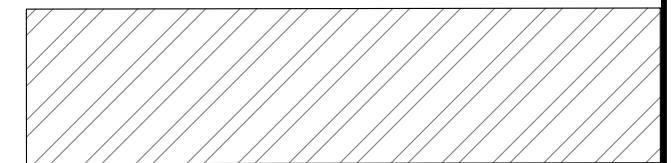


0 10 20 40

UNDERGROUND UTILITY LOCATIONS  
TO BE VERIFIED BY CONTRACTOR

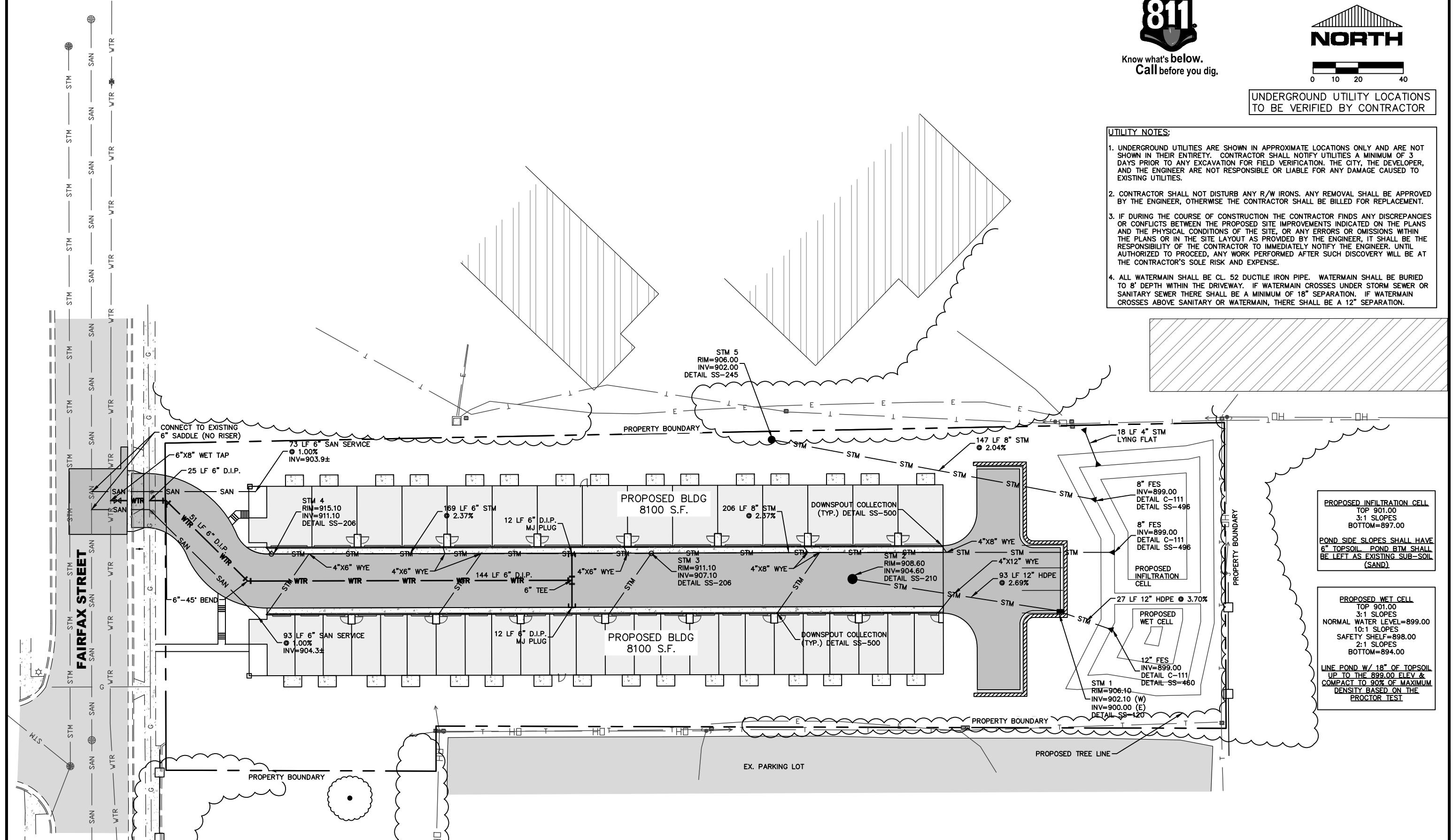
UTILITY NOTES:

1. UNDERGROUND UTILITIES ARE SHOWN IN APPROXIMATE LOCATIONS ONLY AND ARE NOT SHOWN IN THEIR ENTIRETY. CONTRACTOR SHALL NOTIFY UTILITIES A MINIMUM OF 3 DAYS PRIOR TO ANY EXCAVATION FOR FIELD VERIFICATION. THE CITY, THE DEVELOPER, AND THE ENGINEER ARE NOT RESPONSIBLE OR LIABLE FOR ANY DAMAGE CAUSED TO EXISTING UTILITIES.
2. CONTRACTOR SHALL NOT DISTURB ANY R/W IRONS. ANY REMOVAL SHALL BE APPROVED BY THE ENGINEER, OTHERWISE THE CONTRACTOR SHALL BE BILLED FOR REPLACEMENT.
3. IF DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR FINDS ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PROPOSED SITE IMPROVEMENTS INDICATED ON THE PLANS AND THE PHYSICAL CONDITIONS OF THE SITE, OR ANY ERRORS OR OMISSIONS WITHIN THE PLANS OR IN THE SITE LAYOUT AS PROVIDED BY THE ENGINEER, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IMMEDIATELY NOTIFY THE ENGINEER. UNTIL AUTHORIZED TO PROCEED, ANY WORK PERFORMED AFTER SUCH DISCOVERY WILL BE AT THE CONTRACTOR'S SOLE RISK AND EXPENSE.
4. ALL WATERMAIN SHALL BE CL. 52 DUCTILE IRON PIPE. WATERMAIN SHALL BE BURIED TO 8' DEPTH WITHIN THE DRIVEWAY. IF WATERMAIN CROSSES UNDER STORM SEWER OR SANITARY SEWER THERE SHALL BE A MINIMUM OF 18" SEPARATION. IF WATERMAIN CROSSES ABOVE SANITARY OR WATERMAIN, THERE SHALL BE A 12" SEPARATION.



PROPOSED INFILTRATION CELL  
TOP 901.00  
3:1 SLOPES  
BOTTOM=897.00  
POND SIDE SLOPES SHALL HAVE  
6" TOPSOIL. POND BM SHALL  
BE LEFT AS EXISTING SUB-SOIL  
(SAND)

PROPOSED WET CELL  
TOP 901.00  
3:1 SLOPES  
NORMAL WATER LEVEL=899.00  
10:1 SLOPES  
SAFETY SHELF=898.00  
2:1 SLOPES  
BOTTOM=894.00  
LINE POND W/ 18" OF TOPSOIL  
UP TO THE 899.00 ELEV &  
COMPACT TO 90% OF MAXIMUM  
DENSITY BASED ON THE  
PROCTOR TEST



NO.	DATE	REVISIONS	DRAFTED BY	DESIGN BY	CHECKED
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PROJ. NO.  
19135



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UTILITY PLAN

THEODORA TOWNHOMES  
BENEEN RENTALS  
E10490 E MALLARD ROAD  
EAU CLAIRE, WI 54742

DWG NAME  
19135 PG 3  
SITE AND UTIL.  
DATE  
7/2019

5  
8



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## STAFF REPORT

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**TO:** Plan Commission

**HEARING DATE:**

**PLAN COMMISSION:** 8/5/19, 7:00 p.m.

Eau Claire County Courthouse, County Board Room

**FROM:** Community Development

**FILE NO.:** SP-1921

---

**AGENDA ITEM:** Request for approval of a site plan for Associated Bank located at 2520 Mall Drive.

**APPLICANT:** Kapur Inc.

**PROPERTY OWNER:** Midland Commercial Development Corp.

**ENGINEER/ARCHITECT/SURVEYOR:** Same

**SURROUNDING LAND USE:**

North: Commercial  
East: Hastings Way  
South: Commercial  
West: Commercial

**AREA:** +/- 2 acres

**EXISTING ZONING:** C-3

**PROPOSED ZONING:** Same

**EXISTING LAND USE:** Vacant Building

**PROPOSED LAND USE:** Bank

**COMPREHENSIVE PLAN:** Commercial

**RECOMMENDATION:**

The attached draft letter to applicant is provided for Plan Commission's consideration in review of this site plan. If the Plan Commission desires to approve this site plan, staff would recommend the conditions as noted in this letter.

**ANALYSIS:**

Kapur on behalf of the owner, Midland Commercial Development Corp. is requesting approval of a site plan for an Associated Bank located at 2520 Mall Drive. Attached is the site plan with building elevations and narrative from the applicant. The zoning of the property is zoned C-3.

The site plan shows a 2,800 – 3,600 square foot bank building with two teller drive up and one ATM drive up. The one-story bank branch has a glass signage tower within the architecture of the building, with a maximum height of 30' 7". This property was most recently the Halloween Express store, but prior to that was the Bargain City store and prior to that it was the Hancock

Fabrics. The proposed site improvements include demolition of the existing building and asphalt parking areas.

The site plan shows 25 parking stalls with the required parking of 18 stalls. The site plan notes two bike parking spaces are provided and should meet the city code. The proposed driveway is a 24-foot access with shared access to the parcels to the south. A sidewalk connection is shown from the building to the parking lot and public sidewalk. Exterior lighting shall meet the standards of city code. The landscape plan shows foundation plantings along with street trees and other trees and shrubs throughout the site.

Grading and Drainage: The site is tributary to Otter Creek at the Henry Avenue outfall. Storm water best management practices (BMP's) are required to improve runoff water quality. The narrative states that a bio-retention cell will be proposed as the BMP. The threshold for redevelopment BMP's identified in NR151 is a 40 percent reduction in Total Suspended Solids. Calculations will need to be submitted showing that requirement is met. A utility plan and grading plan will need to be submitted for review.

Public Utilities: Water and sewer service is available to the site; record dimensions of public facilities can be obtained by calling the Engineering Department. Utility connections may require a work in the right-of-way permit and a plumbing permit. Fire sprinkler designs should be based on current fire hydrant flow tests. Contact the Water Utility at 715-839-5045 to obtain fire hydrant flow test data or to request a flow test.

Traffic: The traffic generated by the proposed improvements should not adversely impact traffic flow in the area. The plan calls for utilizing the existing driveway approaches, one on London Road and one on Mall Drive. The plan also shows three separate driveways to access the existing parking lot to the parcel immediately south of the proposed site. Access easements will need to be obtained for those three driveways to the adjacent parcel. There is an existing sidewalk gap along the east side of London Road to Clairemont Avenue from the proposed development. Sidewalk is proposed along the west side of the property, east side of London Road, to the front door of the development, but a connection is not proposed to continue to the north. The connection to the north beyond the proposed sidewalk would need to have an easement by the City of Eau Claire for sidewalk on private property due to the needed geometry of the London Road and USH 12 (Clairemont Avenue) intersection. Additionally, an easement would be needed from the property to the north as well for a sidewalk connection.

Transit: This site is located approximately two blocks from bus stops for Route 6 and Route 1. Minimal demand for public transit is expected with this development.



---

**COMMUNITY DEVELOPMENT**

Economic Development: (715) 839-4914  
Inspections: (715) 839-4947  
Planning: (715) 839-4914  
Fax: (715) 839-4939

August 5, 2019

**DRAFT**

Kapur Inc  
7711 N Port Washington Rd  
Milwaukee, WI 53217

RE: SP-1921, Associated Bank – Plan Commission Site Plan Review

Dear Applicant:

The Plan Commission, at its August 5, 2019 meeting, reviewed the above-referenced site plan.

**A. Conditions to be shown/satisfied on a revised site plan:**

The following conditions must be satisfied prior to it being approved:

1. City of Eau Claire Engineering Department approval of drainage calculations and drainage and grading plan.
2. Submit a utility plan, grading plan, and storm water calculations for water quality treatment.

After the conditions noted above are met, a building permit may be issued.

**B. Conditions to be met prior to occupancy permit:**

Conditions which must be met prior to issuance of the occupancy permit for this project include:

1. Exterior lighting must meet the City's Exterior Lighting standards.
2. Bicycle parking on site must meet City's standard.

Any changes in your site plan must be reviewed by the Department of Community Development. Please contact me at 715-839-4914 if you have any questions or if you need additional information.

Sincerely,

Ryan Petrie  
Associate Planner

c: File, Calvin Miller

## Plan Commission Project Narrative for Associated Bank

Address: 2520 Mall Drive, Eau Claire, WI 54701

Existing Zoning: C-3 – Community Commercial District

Proposed Zoning: C-3 – Community Commercial District

### Project Description:

The subject site consists of an existing storefront building and mainly asphalt parking areas with very little landscaping areas. The area of the subject parcel is 87,212 SF or 2.00 Acres in which the entire parcel is intended to be disturbed as part of the proposed project.

The proposed site improvements include demolition of the existing building and asphalt parking areas and construction of a new 2,800 to 3,600 SF one story bank branch with a glass signage tower reaching a maximum height of 30'-7". The site improvements include new asphalt parking lots and drive lanes, concrete sidewalks, utility improvements, mass grading and construction of a new storm water management device. The storm water management device will likely be in the form of a bio-retention basin or underground storage pipe designed to meet City of Eau Claire and WDNR requirements.

### Site Statistics:

#### Building Use:

- Bank
  - o Per City of Eau Claire Title 18 – Zoning Code, Chapter 18.05.040(C)(3), banks are categorized as a “Accessory use to personal service” in which is a permitted use within the C-3 – Community Commercial District.

#### Maximum Building Height:

- 30'-7"
  - o Per City of Eau Claire Title 18 – Zoning Code, Chapter 18.05.050(A)(2), “there shall be no height limit in the C-3”

#### Parking:

- 25 Stalls Total (1 ADA Van Accessible Stall)
  - o Per City of Eau Claire Title 18 – Zoning Code, Chapter 18.25.030(A)(19), personal services shall have once space for every 200 square feet of floor area. The maximum total square footage of the proposed building is 3,600 SF, therefore 18 parking stalls are required to meet the code in which we are exceeding by 7 stalls. The additional stalls are provided for the banks operational parking needs.
- Stall Dimensions
  - o 9'W x 18'L per City of Eau Claire Title 18 – Zoning Code, Chapter 18.25.040 diagrams for 90-degree parking.
- Aisle Width
  - o 24' W per City of Eau Claire Title 18 – Zoning Code, Chapter 18.25.040 diagrams for 90-degree parking.





Bicycle Parking:

- 2 Bike Parking Spaces (One Rack)
  - o Per City of Eau Claire Title 18 – Zoning Code, Chapter 18.25.031(A)(6)(c), one bicycle space is required per 10 required automobile spaces in non-residential uses. For this project, 18 automobile parking spaces are required, therefore two bicycle parking spaces are required.

Impervious Areas:

- Existing Impervious Area: 87,212 SF
- Proposed Impervious Area: 31,884 SF
- There will be a reduction in impervious area of 55,328 SF (1.27 Acres).

**Design/Construction Schedule:**

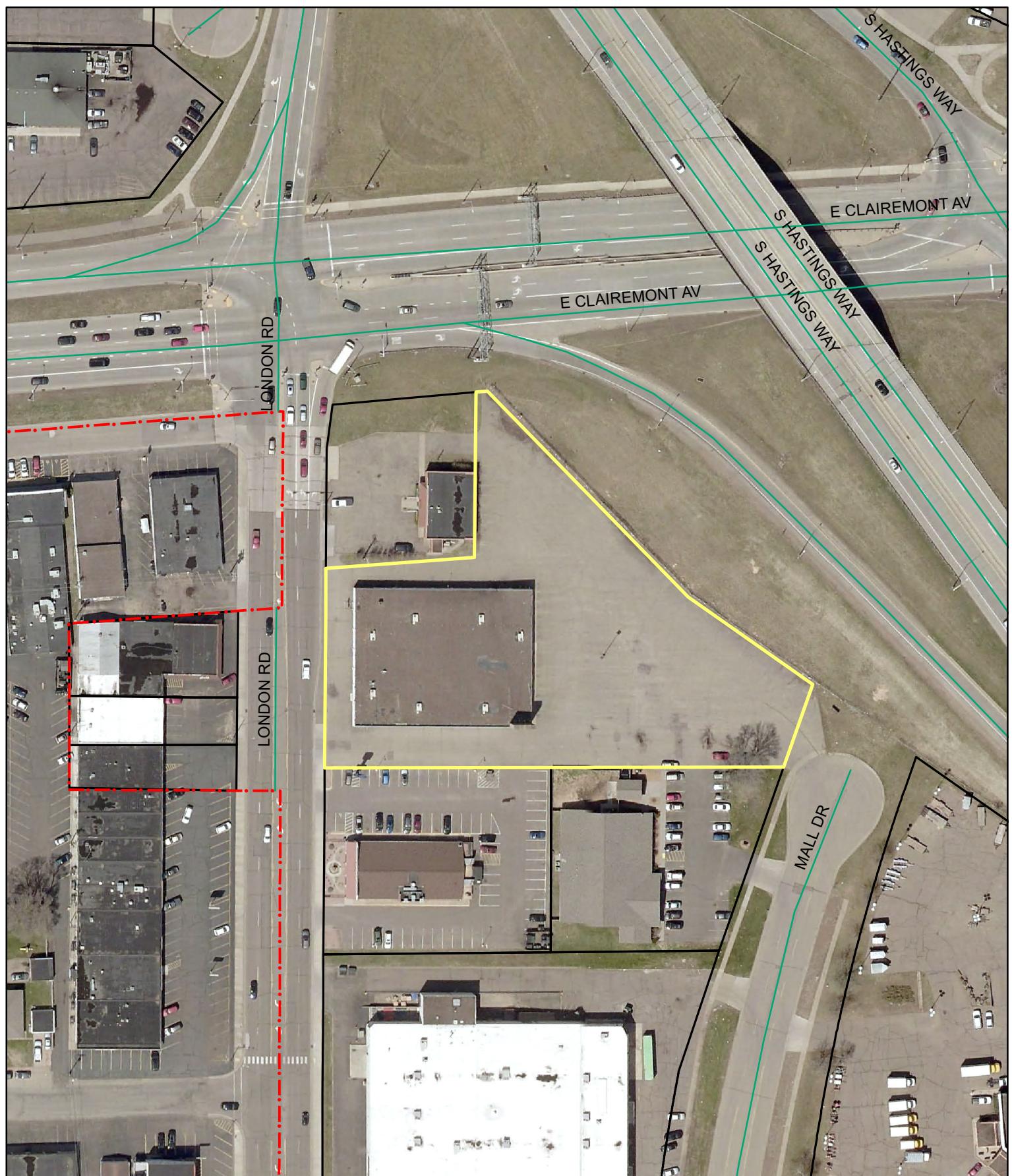
- Plan Commission Submittal: July 19, 2019
- Plan Commission Meeting: August 5, 2019
- City Council Meeting: August 13, 2019
- Design and Construction Documents: November 5, 2019 (12 Weeks)
- Bidding/Contracts/Permitting: December 31, 2019 (8 Weeks)
- Construction Start: Early Spring of 2020
- Construction End: Summer/Fall of 2020

Please review the above narrative, site statistics and attached drawings and let me know if you have any additional questions or comments. Thank you for your time and efforts during the review and approval process.

Thanks,

Ryan Birschbach, P.E.  
Kapur  
Direct: 262-758-6035  
Email: [rbirschbach@kapurinc.com](mailto:rbirschbach@kapurinc.com)





0 70 140 Feet

## Aerial Map Agenda Item SP-1921

68

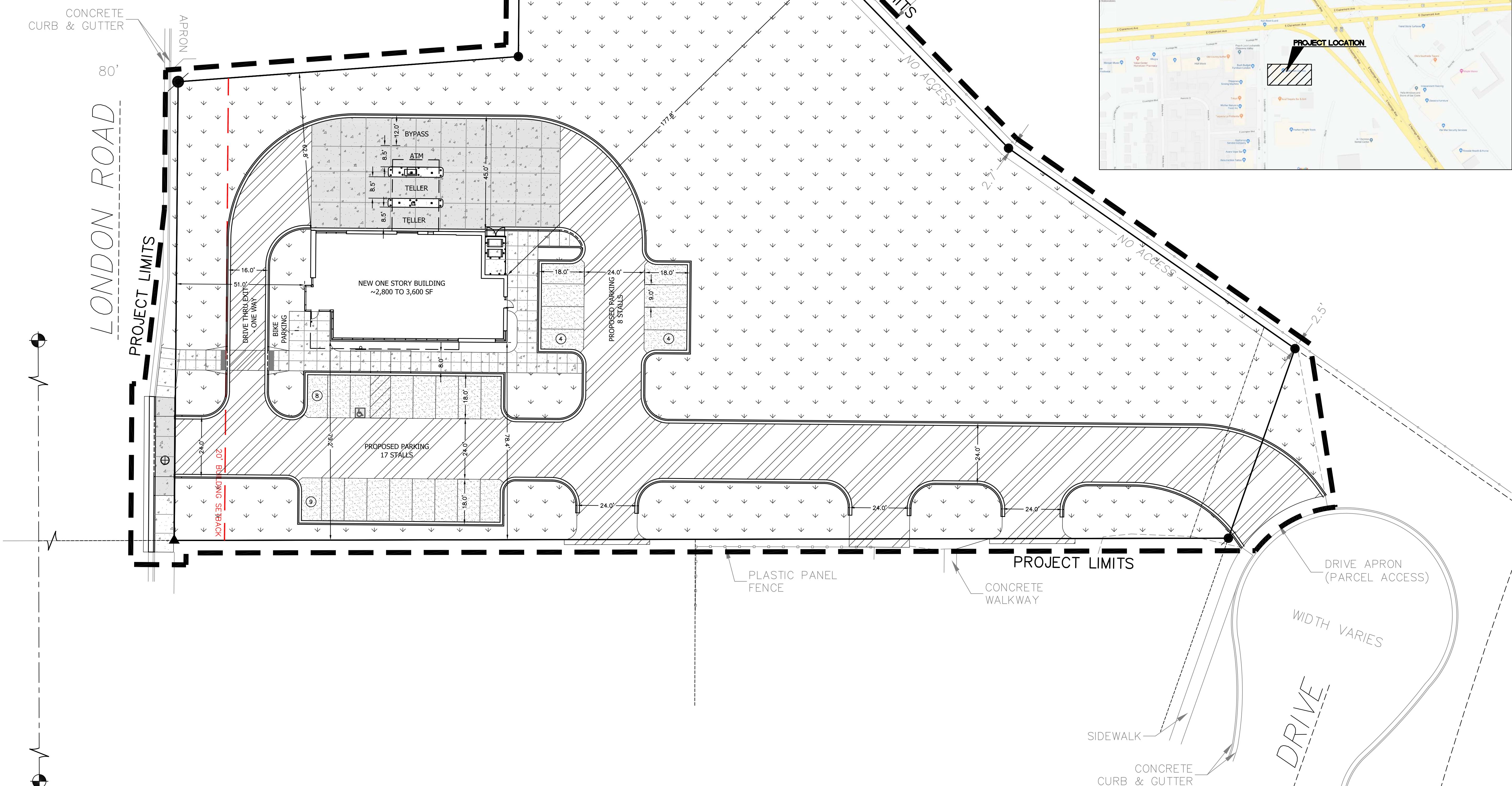
  Subject Property  
  City Limits



SITE PLAN PREPARER:  
RYAN BIRSCHBACH — KAPUR & ASSOCIATES, INC.  
7711 N. PORT WASHINGTON ROAD, MILWAUKEE, WI 53217  
RBIRSCHBACH@KAPURINC.COM 262.758.6035

DATE PREPARED: 07/19/2019

PARCEL LEGAL DESCRIPTION:  
LOT 1 OF CERTIFIED SURVEY MAP NO. 3430 RECORDED IN VOLUME 19 OF CERTIFIED SURVEY  
MAPS PAGE 185 AS DOCUMENT NO. 1169384 BEING PART OF THE SOUTHEAST QUARTER OF  
THE NORTHWEST QUARTER, SECTION 27, TOWNSHIP 27 NORTH, RANGE 7 WEST, CITY OF EAU  
CLAIRE, EAU CLAIRE COUNTY, WISCONSIN.



#### HATCH LEGEND

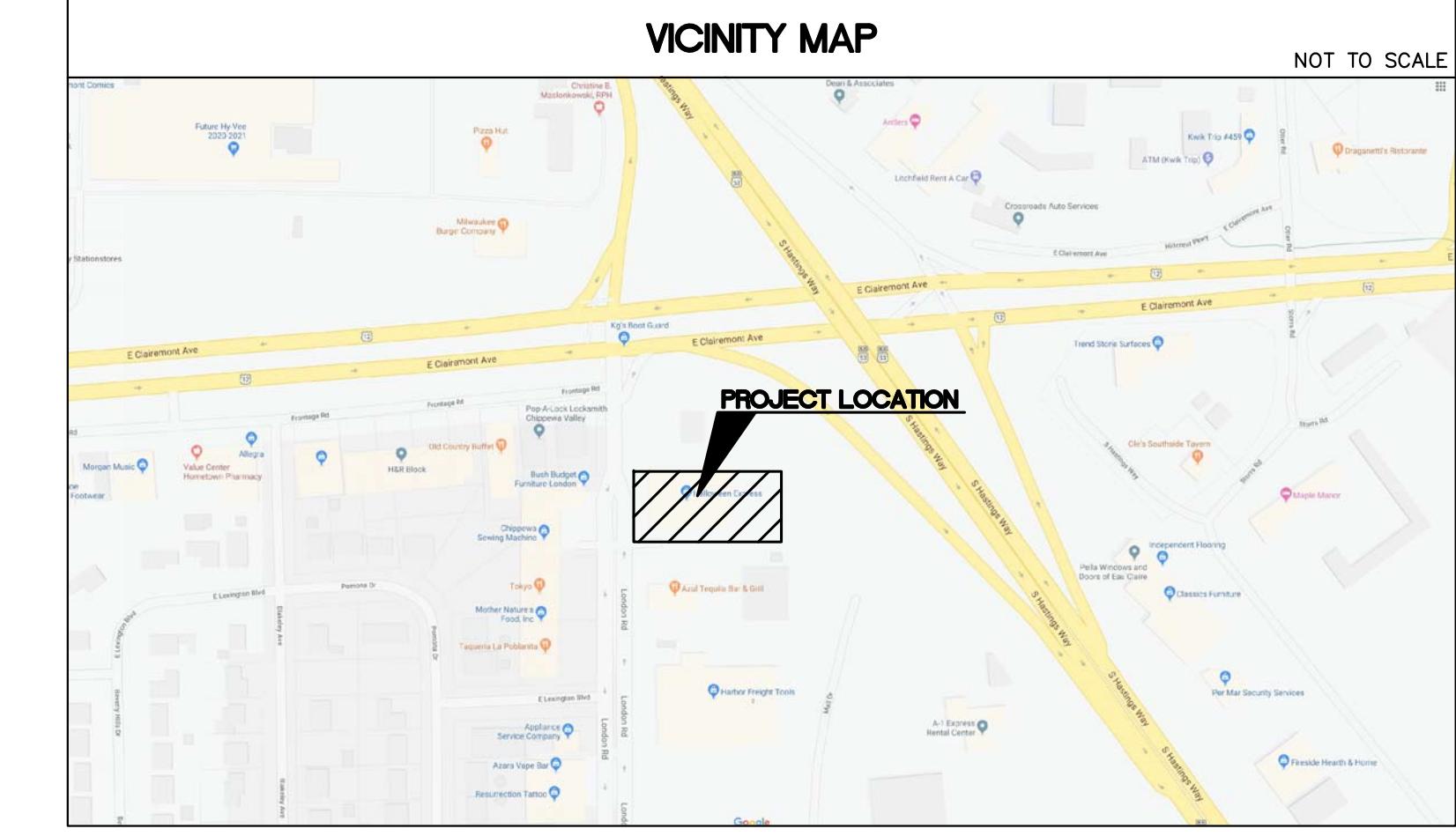
▼ ▼	AREAS DISTURBED BY CONSTRUCTION (NOT SPECIFICALLY CALLED OUT ON THE LANDSCAPE PLANS) TO BE RESTORED WITH MINIMUM 4" TOPSOIL, SEED, FERTILIZER, AND MULCH (TYPE). USE SALVAGED TOPSOIL OR IMPORT TOPSOIL IF REQUIRED.
[New Asphaltic Concrete Light Duty Hatching]	NEW ASPHALTIC CONCRETE (LIGHT DUTY)
[New Asphaltic Concrete Heavy Duty Hatching]	NEW ASPHALTIC CONCRETE (HEAVY DUTY)
[New Asphaltic Concrete Public Roadway Hatching]	NEW ASPHALTIC CONCRETE (PUBLIC ROADWAY)
[New Concrete Slab Light Duty Hatching]	NEW CONCRETE SLAB (LIGHT DUTY)
[New Concrete Slab Heavy Duty Hatching]	NEW CONCRETE SLAB (HEAVY DUTY)
—	NEW HIGH-SIDE CURB & GUTTER
—	NEW LOW-SIDE CURB & GUTTER

Scale: 0 10 20 40  
Scale: 1" = 20'

DIGGERS HOTLINE

Dial 811 or (800)242-8511  
www.DiggersHotline.com

#### VICINITY MAP



©RINKA+  
2019

756 North Milwaukee Street, Suite 250  
Milwaukee, Wisconsin 53202  
p 414.431.8101



△ Revisions

PLAN COMMISSION  
ASSOCIATED BANK  
CC 88063

Address  
Date Issued: 07/19/2019  
RINKA project #: 88063  
Sheet Title

SITE LAYOUT PLAN

Sheet #

C102

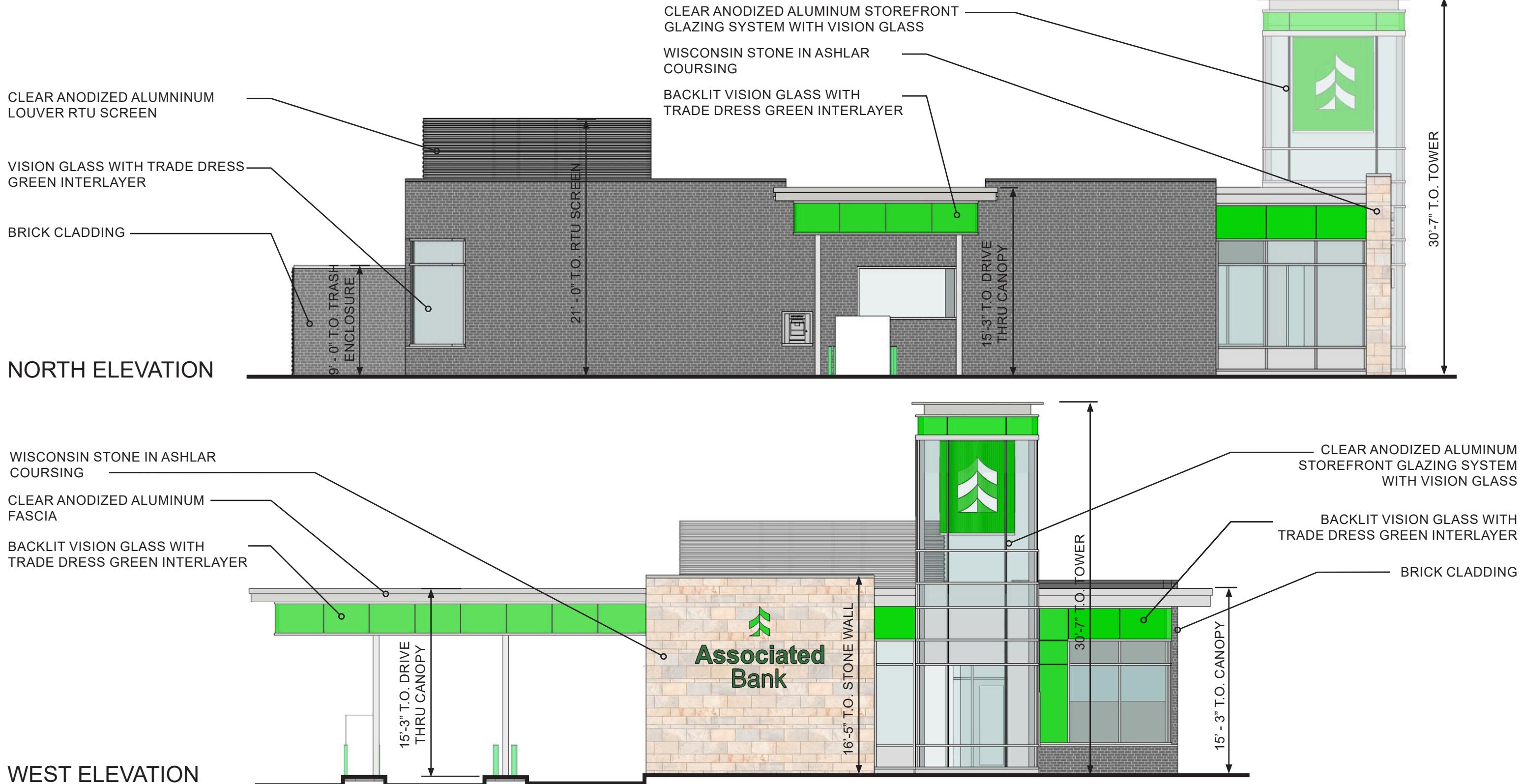
NOTE: ELEVATIONS SHOWN BELOW ARE CONCEPTUAL AND ARE BASED ON BRAND STANDARD PROTOTYPE. BUILDING AS SHOWN REPRESENTS A 3400 SF BRANCH. ACTUAL BRANCH WILL BE 2800 SF - 3600 SF.

# EXTERIOR ELEVATIONS



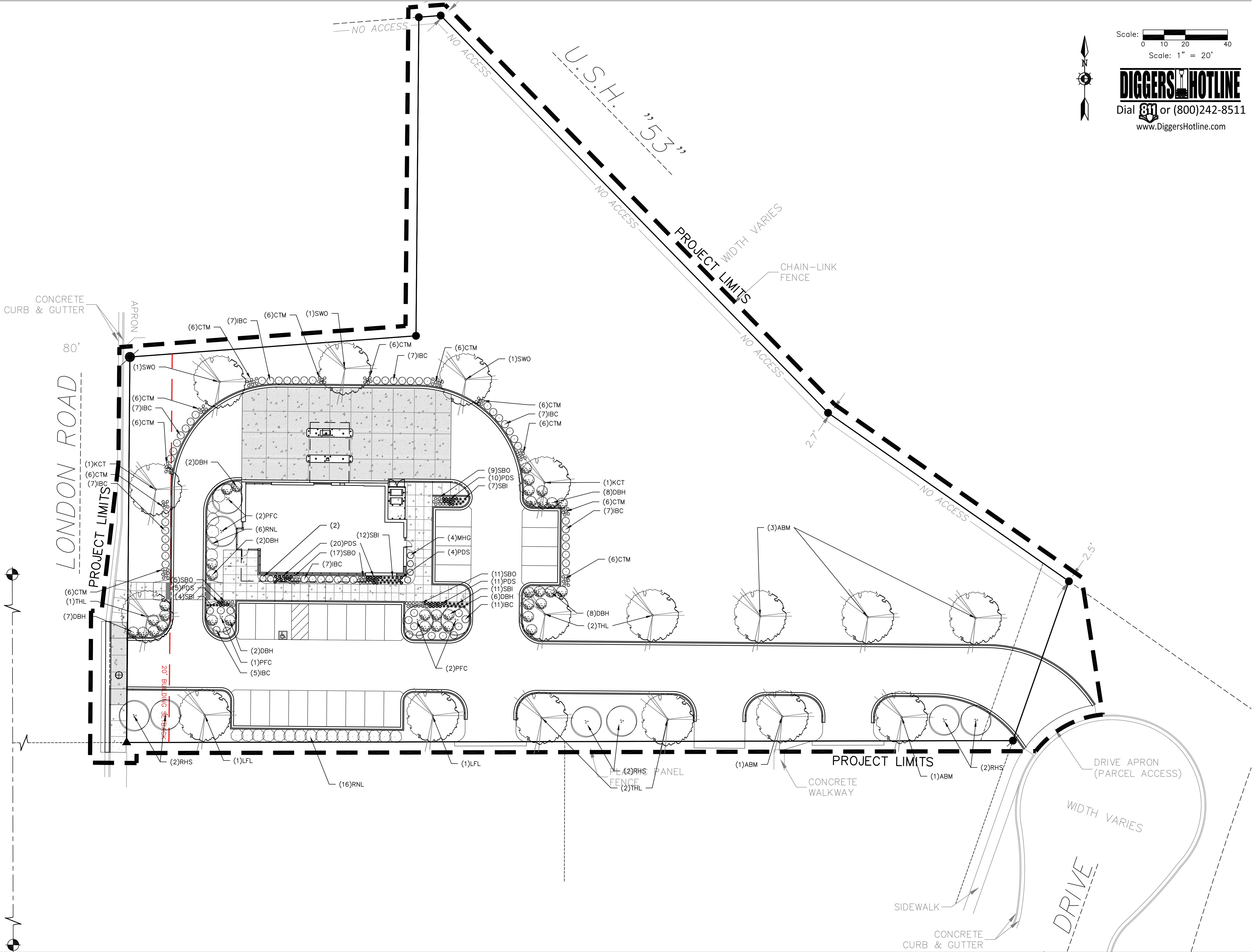
NOTE: ELEVATIONS SHOWN BELOW ARE CONCEPTUAL AND ARE BASED ON BRAND STANDARD PROTOTYPE. BUILDING AS SHOWN REPRESENTS A 3400 SF BRANCH. ACTUAL BRANCH WILL BE 2800 SF - 3600 SF.

# EXTERIOR ELEVATIONS



Scale: 0 10 20 40

Scale: 1" = 20'

**DIGGERS HOTLINE**Dial 811 or (800)242-8511  
[www.DiggersHotline.com](http://www.DiggersHotline.com)

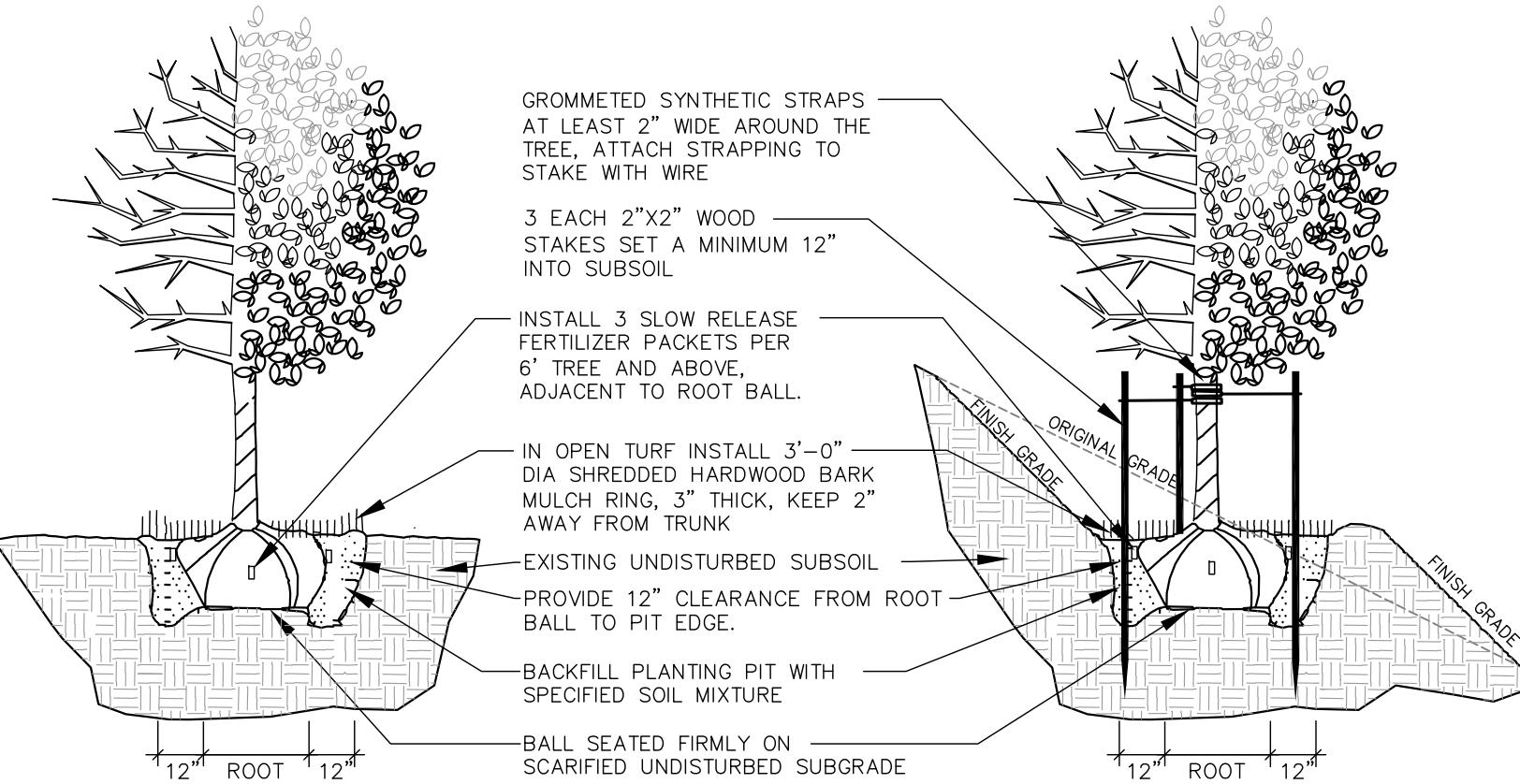
## Plant Schedule

Scientific Name	Common Name	Quantity	Spacing	Install Size	Size
Maturity in ft. (Height/Spread)					
<b>Deciduous Trees:</b>					
ABM	Acer x freemanii 'Jeffersred' PP 4864	Autumn Blaze Maple	5	Per Plan	2.5" caliper B&B
KCT	Gymnocladus dioicus	Kentucky Coffee Tree	2	Per Plan	2.5" caliper B&B
LFL	Tilia cordata 'Greenspire' PP 2086	Little Leaf Linden 'Greenspire'	1	Per Plan	2" caliper B&B
PFC	Malus 'Prairiefire'	Prairiefire Crabapple	3	Per Plan	1.5" caliper B&B
RHS	Amerlanchier x grandiflora 'Robin Hill'	Robin Hill Serviceberry	6	Per Plan	1.5" caliper B&B
SWO	Quercus bicolor	Swamp White Oak	3	Per Plan	2.5" caliper B&B
THL	Gleditsia triacanthos inermis	Thornless Honeylocust	5	Per Plan	2.5" caliper B&B
<b>Deciduous Shrubs:</b>					
DBH	Dervilla lonicera	Dwarf Bush Honeysuckle	35	Per Plan	#2 cont.
IBC	Aronia melanocarpa 'Morton'	Iroquois Beauty Black Chokeberry	65	Per Plan	#2 cont.
RNL	Rhododendron x 'Northern Hi-Lights'	Azalea "Northern Lights"	22	Per Plan	#2 cont.
<b>Perennials</b>					
CTM	Nepeta x faassenii 'Walkers Low'	Walkers Low Catmint	36	Per Plan	#1 cont.
MHG	Miscanthus sinensis	Maidengrass	6	Per Plan	#1 cont.
PDS	Sporobulus heterolepis	Prairie Dropseed	36	Per Plan	#1 cont.
SBI	Iris siberica	Siberian Iris	34	Per Plan	#1 cont.
SBO	Allium cernuum	Nodding Pink Ornamental Onion	42	Per Plan	#1 cont.

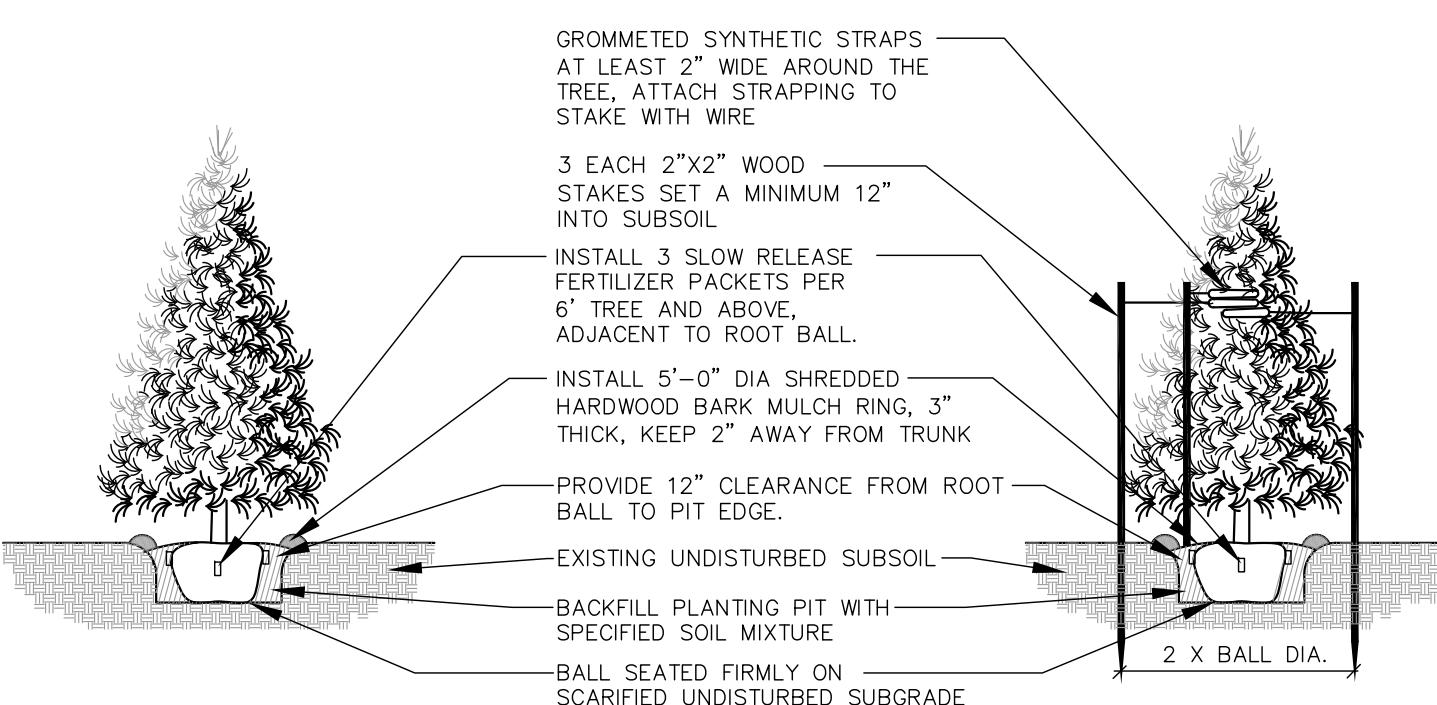
NOTE: Installation contractor is responsible for verifying plant count from plan. Plan quantities take precedence over list.

### 1 LANDSCAPE SCHEDULE

REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION



3 DECIDUOUS TREE PLANTING, STAKING, & PLANTING ON A SLOPE



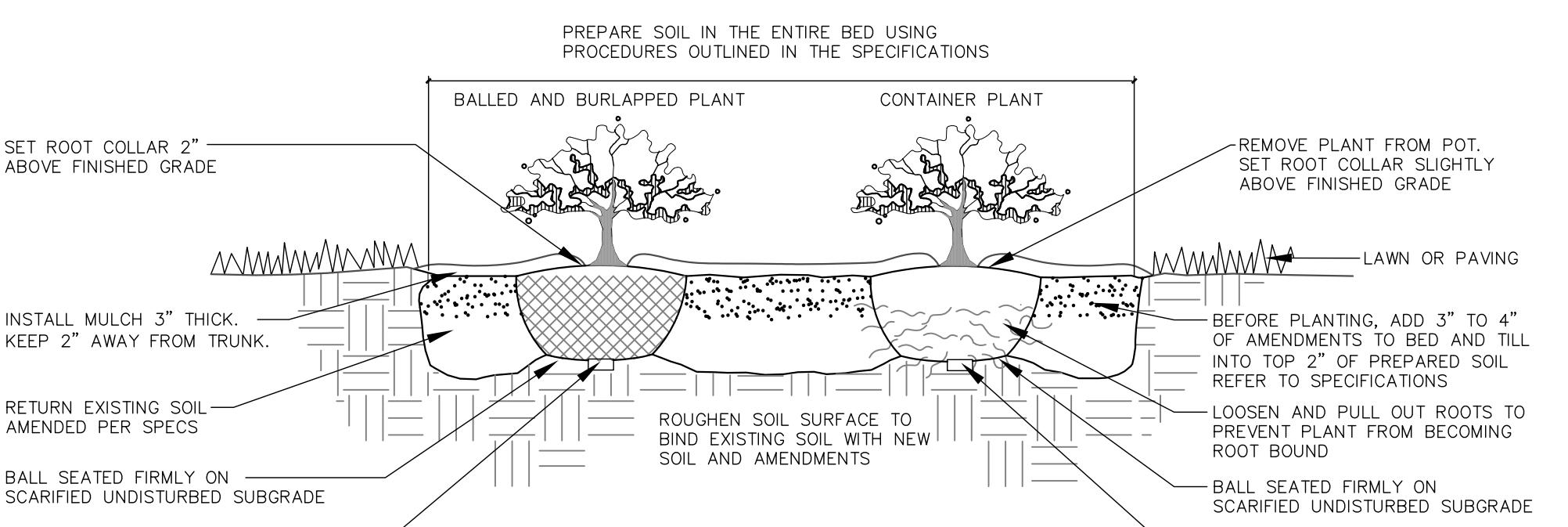
4 EVERGREEN TREE PLANTING & STAKING

△ Revisions

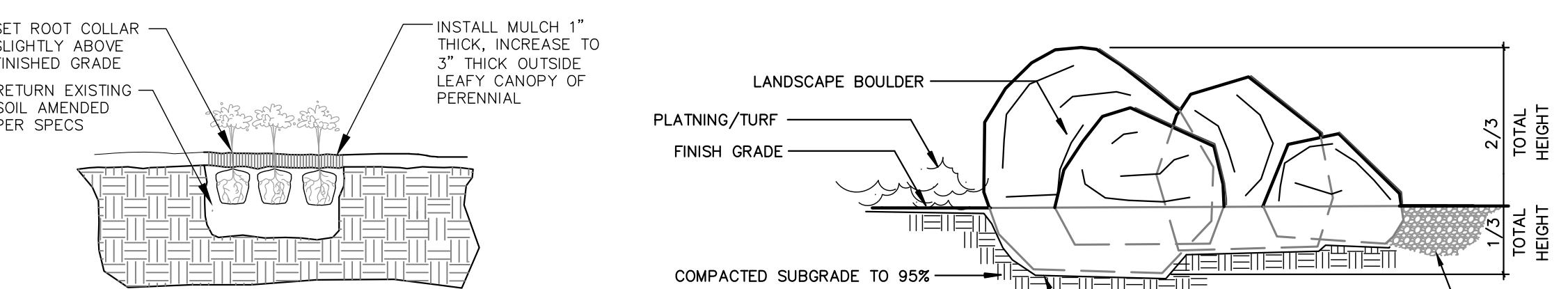
- ALL PLANT MATERIAL SHALL BE OBTAINED FROM A NURSERY LOCATED IN ZONE 5, CONFORM TO APPLICABLE REQUIREMENTS OF THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK, AND BOTANICAL NAMES SHALL BE ACCORDING TO THE CURRENT EDITION OF "STANDARDIZED PLANT NAMES PREPARED BY THE AMERICAN JOINT COMMITTEE ON HORTICULTURE NOMENCLATURE".
- CONTRACTOR TO PROVIDE TO THE LANDSCAPE ARCHITECT SAMPLES OF ALL BARK AND MINERAL/STONE MULCHES, DECORATIVE GRAVELS, MAINTENANCE STRIP STONE, OR OTHER GROUND COVER MATERIALS FOR APPROVAL PRIOR TO INSTALLATION.
- BARK MULCH TO BE FRESHLY ACQUIRED HARDWOOD SHREDDED BARK MULCH. NOT DOUBLE MILLED, EXCESSIVE DIRT AND DUST LIKE MATERIAL OR OLD MATERIAL IS NOT ACCEPTABLE.
- LANDSCAPE EDGING TO BE ALUMINUM EDGING. REFER TO SPECIFICATION 32 93 00 PLANTS FOR ADDITIONAL INFORMATION.
- ALL PLANTING AREAS TO RECEIVE A 3-INCH THICK LAYER OF HARDWOOD SHREDDED BARK MULCH OVER TYPAR WEED FABRIC WITH EDGING. EDGING TO BE INSTALLED BETWEEN DIFFERENT TYPES OF MULCHES, BETWEEN MULCHES AND TURF, AND/OR WHERE SPECIFICALLY NOTED ON THE PLAN. REFER TO SPECIFICATION 32 93 00 PLANTS FOR ADDITIONAL INFORMATION.
- INSTALL SHOVEL CUT EDGE AROUND ALL INDIVIDUAL TREES AND SHRUBS IN LAWN AREAS AND ALONG PAVEMENT WHERE PLANTING AREAS ABUT TO PREVENT HARDWOOD SHREDDED BARK MULCH FROM SPILLING OUT OF PLANTING AREA.
- CONTRACTOR RESPONSIBLE FOR MAINTENANCE OF PLANT MATERIAL FOR 90 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF SEEDED AREAS FOR 60 DAYS FROM INSTALLATION, INCLUDING WATERING, WEEDING, ETC. CONTRACTOR TO PROVIDE AND REVIEW MAINTENANCE INSTRUCTIONS WITH THE OWNER PRIOR TO THE COMPLETION OF THESE MAINTENANCE PERIODS. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS.
- CLEANLY PRUNE AND REMOVE DAMAGED BRANCHES, DEAD WOOD, AND ROOTS IMMEDIATELY PRIOR TO PLANTING. DO NOT CUT LEADERS OR LEAVE "V" CROTCHES OR DOUBLE LEADERS UNLESS A MULTI-STEM TREE IS SPECIFIED.
- REMOVE BURLAP, WIRE BASKET, ROPE, TWINE, AND ALL SYNTHETIC MATERIAL FROM THE ROOTS, TRUNK, OR CROWN OF PLANT.
- REMOVE EXCESS SOIL ABOVE ROOT COLLAR.
- PLANT TREES AND SHRUBS SO THAT THE ROOT COLLAR IS 2" ABOVE FINISHED GRADE OR SEVERAL INCHES ABOVE GRADE IF PLANT IS INSTALLED IN POOR SOILS.
- PLANT TREES AND SHRUBS WITH SAME ORIENTATION AS WHEN HARVESTED FROM THE NURSERY OR TO SHOWCASE THE MOST AESTHETIC VIEW.
- PLANT ALL TREES WITH THREE SLOW RELEASE FERTILIZER PACKETS, SPACED EQUIDISTANT AROUND THE EDGE OF THE ROOT BALL.
- PLANT ALL SHRUBS WITH ONE SLOW RELEASE FERTILIZER PACKET, PLACED BELOW THE ROOTING SYSTEM.
- WATER AND TAMP BACKFILL AND ROOTS OF ALL NEWLY SET PLANT MATERIAL SO THE SOIL AND ROOTS ARE THOROUGHLY SOAKED AND AIR POCKETS ARE REMOVED.
- FOR INDIVIDUAL TREES & SHRUBS PLANTED IN TURF AREAS, PROVIDE CONTINUOUS 3" SOIL SAUCER TO CONTAIN WATER & MULCH (TREES ON SLOPES SHALL BE SAUCERED ON THE DOWNSHILL SIDE).
- INSTALL 3" THICK SHREDDED HARDWOOD MULCH RING 3"-0" DIA. FOR DECIDUOUS TREES AND ALL INDIVIDUAL SHRUBS IN LAWN AREAS, 5"-0" DIA. FOR EVERGREEN TREES. KEEP MULCH 2" AWAY FROM TRUNKS.
- STAKING – ONLY STAKE EVERGREEN TREES 5'-0" OR GREATER IN HEIGHT OR TREES THAT ARE UNABLE TO REMAIN UPRIGHT AFTER PLANTING. TREES WILL BECOME STRONGER FASTER WHEN THE TOP 2/3 OF THE TREE IS FREE TO SWAY. DO NOT ATTACH WIRE DIRECTLY TO TREES OR THROUGH HOSES – UTILIZE GROMMETED, SYNTHETIC STRAPS AT LEAST 2" WIDE AROUND THE TREE, ATTACH STRAPPING TO STAKE WITH WIRE. STAKE ONLY WHEN NECESSARY. STAKES SHOULD BE DRIVEN DEEPLY INTO THE GROUND TO PREVENT DISLOCATING. CHECK AT LEAST EVERY THREE MONTHS FOR BINDING OR OTHER PROBLEMS. STAKES AND TIES SHOULD BE REMOVED SIX MONTHS TO ONE YEAR AFTER PLANTING.
- STONE CHIP MAINTENANCE STRIP TO BE 3-INCHES DEEP OVER WEED FABRIC WITH ALUMINUM EDGING. CONTRACTOR TO INSTALL MAINTENANCE STRIP 2 FEET WIDE ALONG BUILDING EDGE, WHERE INDICATED ON L101 SITE LANDSCAPE PLAN.
- STONE CHIP TO BE  $\frac{3}{4}$ -INCH RAVENS BLACK DECORATIVE STONE CHIP FROM HALQUIST STONE. CONTRACTOR TO CONTACT HALQUIST STONE N51 W23563 LISBON ROAD SUSSEX, WI 53089 TELEPHONE (262)246-9000 EMAIL: INFO@HALQUISTSTONE.COM.
- NO MOW TO BE NO MOW FESCUE SEED MIX WITH ANNUAL RYE NURSE CROP FROM PRAIRIE NURSERY, INC. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION. PRAIRIE NURSERY ADDRESS: PO BOX 306 WESTFIELD, WI 53964. TELEPHONE: 1-800-476-9453 FAX: 608-296-2741.
- NATIVE SEED MIX TO BE SHORT GRASS PRAIRIE FOR MESIC SOILS SEED MIX WITH ANNUAL RYE NURSE CROP FROM AGRECOL, LLC. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION. AGRECOL, LLC ADDRESS: 10101 NORTH CASEY ROAD EVANSVILLE, WI 53536. TELEPHONE: 608-223-3571 FAX: 608-884-4640 EMAIL: ECOSOLUTIONS@AGRECOL.COM.
- REFER TO SPECIFICATIONS 32 93 00 PLANTS AND 32 92 00 TURF AND GRASSES FOR ADDITIONAL INFORMATION.

### 2 LANDSCAPE NOTES

REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION



5 DECIDUOUS & EVERGREEN SHRUB PLANTING



6 PERENNIAL PLANTING

7 TYPICAL BOULDER INSTALLATION

PLAN COMMISSION  
ASSOCIATED BANK  
CC 88063

Address  
Date Issued: 07/19/2019  
RINKA project #: 88063  
Sheet Title

SITE LANDSCAPE DETAILS

Sheet #

L201