

Applicable Codes:	General: • Residential Dwelling Code BC 2015 • WI Commercial Building Code SPS 362 Existing: • Residential Existing Building Code 2015 • WI Commercial Building Code SPS 366 Energy Conservation: • Residential Energy Conservation Code 2015 • WI Commercial Building Code x365 Plumbing: • WI Commercial Building Code SPS 381-387 Mechanical: • WI Commercial Code IMC 2015 • WI Commercial Building Code SPS 364 Electrical: • Electrical Code NFCC 2017 Fire: • Fire/Life Safety Code 2009 NFPA-1 • WI Commercial Building Code SPS 314 & 330 Accessories: • ANSI Standard A117.1-2009-for Accessibility Fuel Gas: • International Fuel Gas Code 2015 • WI Commercial Building Code Chapter 365
Sprinklers (Section 903): Automatic Sprinkler Systems: Chapter 5 Classification of Work:	Yes, NFPA 13 Sprinkler throughout project (R-2)
Chapter 3 Use and Occupancy Classification:	New
Chapter 4 Special Detailed Requirements Based on Use and Occupancy:	Section 420 Groups R-2 • fire partitions in accordance with Section 708 • horizontal assemblies in accordance with Section 711.
Section 602 Construction Classes:	Type-VB
Total Sx4-A Allowable Number Of Stories Above Grade Plane:	R-2 (sprinklered): • Actual: 3 • Required: 3 S-2 (sprinklered): • Actual: 1 Allowable: 2
604.2 Allowable Area Determination & S-2.3 Frontage Increase:	Facing North: • 174' (60' to R.O.W) Facing East: • 174' (60' to R.O.W) Facing South: • 174' (60' to P.L.) • 171' (61' to P.L.) Facing West: • 145' (131' to P.L.) For R-2: • Allowable area per floor: 23,082sf (w/ Frontage Increase) • 1st Floor:20,889sf • 2nd Floor:22,879sf • Total:43,768sf • Total allowable area:69,244sf For S-2: • Type IB (314,000 w/o Frontage Increase) • Actual: 29,041sf
508.3 Nonseparated Occupancies:	
508.4 Separated Occupancies:	Yes
Section 908.9(B) Beneath Group R:	2hr floor separation between R-2 and S-2.
Table 402 Fire-resistance Requirements for Exterior Walls Based On Fire Separation Distance:	For Type VB: Structural Frame: 0 hr Bearing Walls-exterior: 0 hr Non-Bearing Walls-exterior: 0 hr Fire Separation Distance: Fire X = Sc = 1 hr 5' x 5' = 25 sf = 30 = 1 hr X = 30 = 0 hr Non-Bearing Walls-interior: 0 hr Floor Construction: 0 hr Roof Construction: 0 hr For Type IB: Structural Frame: 2 hr Bearing Walls-exterior: 2 hr Non-Bearing Walls-exterior: 2 hr Non-Bearing Walls-interior: 0 hr Fire Separation Distance: Fire X = Sc = 1 hr 10' x 5' = 50 sf = 30 = 1 hr 10' x 30 = 1 hr Non-Bearing Walls-interior: 0 hr Floor Construction: 2 hr Roof Construction: 1.5 hr
708.3 Fire-Resistance Rating:	Corridor: 1/2hr rated Between Dwelling Units: 1/2hr rated
711.2.4.3 Dwelling Units and Sleeping Units:	Between Dwelling Units: 1/2hr rated
Section 1020 Corridors:	Corridors: 1/2hr rated
1020.2.1 Egress Distances:	For R-2: Maximum Common Path with Sprinkler System: 125ft Maximum Occupant Load Of Space With One Exit: 49 Maximum Common Path with Sprinkler System: 100ft Maximum Occupant Load Of Space With One Exit: 29
Section 1017 Bell Access Travel Distances:	For R-2: 250 (w/sprinkler) For S-2: 400 (w/sprinkler)
1020.4 Dead Ends:	50ft Type 2A: • Maximum floor area per unit of A: 3,000sf • Maximum floor area for extinguisher: 1,250sf • Maximum distance to extinguisher: 75ft • Hazard Classification: Ordinary (Low)
2902.1 Minimum Number of Fixtures:	Classification & Occupancy: — R-2: • Water Closets: 1 per dwelling • (Required/Provided) 7/88 • Lavatories: 1 per dwelling • (Required/Provided) 7/88 — A-2 (144 occupants): • Water Closets: 1 per 75 • Women: 29 • Men: 29 • Lavatories: 1 per 75 • Women: 29 • Men: 29 — S-2 (128 occupants): • Water Closets: 1 per 100 • Women: 34 • Men: 44 • Lavatories: 1 per 100 • Women: 34 • Men: 44 — A-2 & S-2 Combined: • Water Closets: 1 per 100 • Women: 34 • Men: 44 • Lavatories: 1 per 100 • Women: 34 • Men: 44

CANNERY TRAIL RESIDENCES

1750 N OXFORD AVE. - EAU CLAIRE, WI



From Oxford Avenue - Looking Northwest



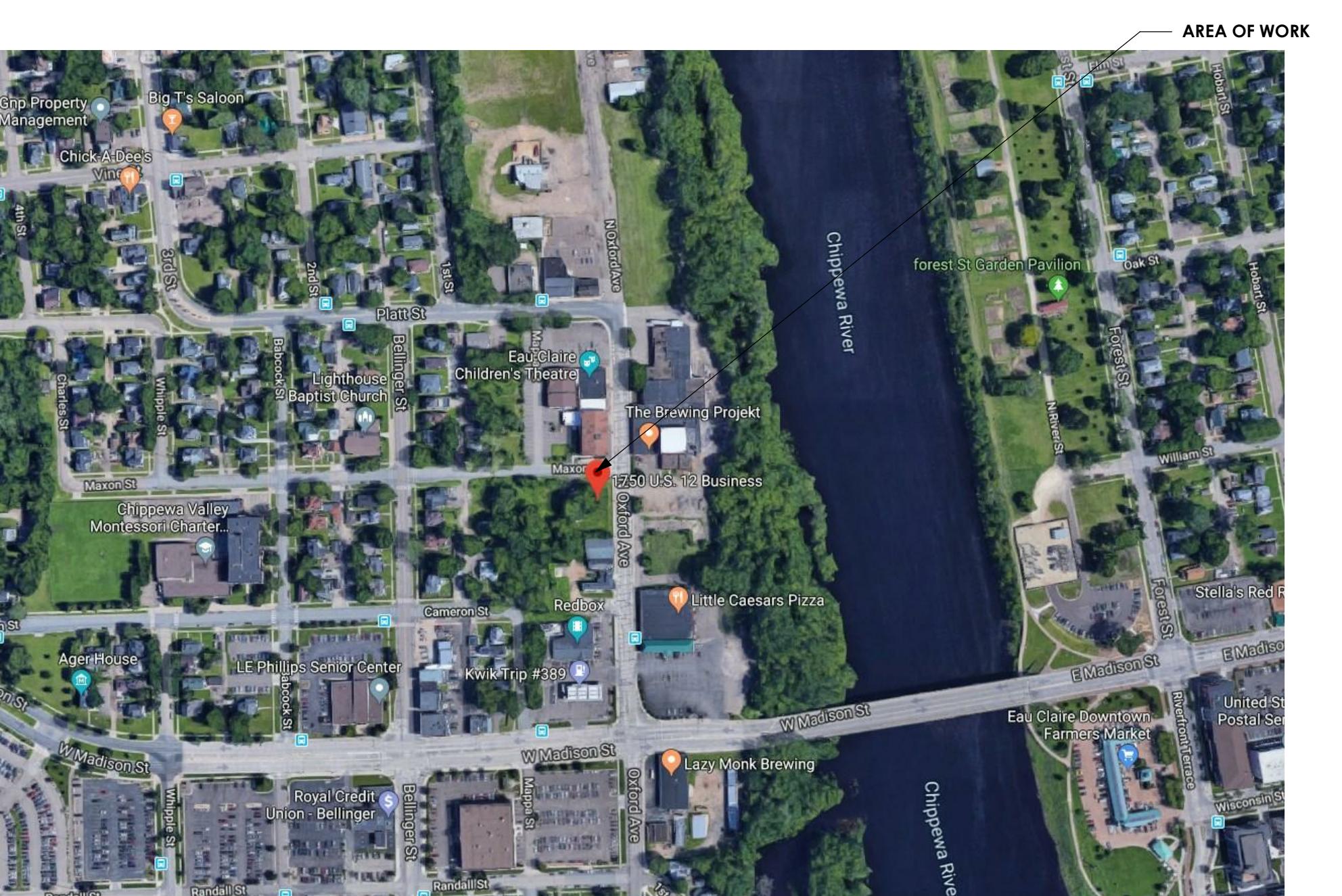
Inside Courtyard - Looking North



From Maxon Street - At Entry



Corner of Oxford Avenue & Mason St - Looking Southwest



VICINITY MAP

1" = 300'-0"

CANNERY TRAIL RESIDENCES - 1750 N OXFORD AVE. - EAU CLAIRE, WI

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Conditionally APPROVED	
DEPT. OF SAFETY AND PROFESSIONAL SERVICES	
DIVISION OF INDUSTRY SERVICES	
	
SEE CORRESPONDENCE	
Transaction ID: 331643	
REVISION	
BLDG + HVAC	
Appr: 08/03/2020	

Date 08.21.2019

Description Permit
Permit Revision #1
Permit Revision #2
Updates
Permit Revision #5
Permit Revision #6

H
CAPITAL GROUP
Developer: W Capital Group

HVAC NOTES:

GENERAL- Hovland's, Inc. will provide all items, articles, materials, operations or methods listed, mentioned or, scheduled on the drawings and or herein specified, including equipment and incidentals necessary to produce a complete and operating system.

LOW PRESSURE DUCTWORK- will be fabricated of prime, lock forming quality galvanized steel sheets unless specified otherwise. Duct will be installed in a neat, workmanlike manner and sealed with caulk or hardcast tape according to current SMACNA low pressure duct standards.

ACCESS DOORS- will be provided at all automatic dampers, filters and other pieces of equipment requiring service or inspection. Ceiling access doors to be provided by G.C.

THERMOSTATS- to be mounted 48" above finished floor for handicap accessibility.

DRYER VENTING - Use smooth metal duct. Dryer manufacturer must be listed for use with a maximum allowed vent length greater than the longest unit run.

TESTING AND BALANCE- New air systems shall be balanced to the specified CFM's stated on the plan. Test reports shall be typed on appropriate forms and included with operating and maintenance manuals.

H-0: BASEMENT FLOOR - HVAC PLAN
 H-1: FIRST FLOOR - HVAC PLAN
 H-2: SECOND FLOOR - HVAC PLAN
 H-3: THIRD FLOOR - HVAC PLAN
 H-4: ROOF LEVEL - HVAC PLAN

