

Applicable Codes:	General: • Residential Dwelling Code BC 2015 • WI Commercial Building Code SPS 362 Existing: • Residential Existing Code 2015 • WI Commercial Building Code SPS 364 Energy Conservation: • Residential Energy Conservation Code 2015 • WI Commercial Building Code SPS 365 Plumbing: • WI Commercial Building Code SPS 381-387 Mechanical: • WI Commercial Code IMC 2015 • WI Commercial Building Code SPS 364 Electrical: • Electrical Code NEC 2017 • WI Commercial Building Code SPS 316 Fire: • Fire/Life Safety Code 2009 NFPA-1 • WI Commercial Building Code SPS 314 & 330 Accessories: • ANSI Standard A117.1-2009-for Accessibility Fuel Gas: • International Fuel Gas Code 2015 • WI Commercial Building Code Chapter 365
Sprinklers (Section 903): Automatic Sprinkler Systems: Chapter 5 Classification of Work:	Yes, NFPA 13 Sprinkler throughout project (R-2)
Chapter 3 Use and Occupancy Classification:	1st-3rd Floors: 310.4 Residential Group R-2 Basement Parking: Low-Hazard Storage, Group S-2 1st Floor Common Area: A-2
Chapter 4 Special Detailed Requirements Based on Use and Occupancy:	Section 420 Groups R-2 • fire partitions in accordance with Section 708 • horizontal assemblies in accordance with Section 711.
Section 602 Construction Classes:	Type-VB
Total SxK-A Allowable Number Of Stories Above Grade Plane:	R-2 (sprinklered): • Actual: 3 • Allowed: 3 S-2 (sprinklered): • Actual: 1 • Allowed: 2
604.2 Allowable Area Determination & 906.3 Frontage Increase:	Facing North: • 174sf (60ft to R.O.W) Facing East: • 174sf (60ft to R.O.W) Facing South: • 174sf (60ft to P.L.) • 331sf (117ft to P.L.) Facing West: • 73sf (13ft to P.L.) Total: • 459sf (137ft to P.L.) For R-2: • Available area per floor: 23.082sf (w/ Frontage Increase) • 1st Floor:20.889sf • 2nd Floor:22.875sf • Total:43.764sf • Total allowable area:69.244sf For S-2: • Available area per floor: 66.725sf • Type IB (314.000 w/o Frontage Increase) • Actual: 29.041sf
508.3 Nonseparated Occupancies:	
508.4 Separated Occupancies:	Yes
906.999@Beneath Group R	2hr Floor separation between R-2 and S-2
Table 402 Fire-resistance Requirements for Exterior Walls Based On Fire Separation Distances:	For Type VB: Structural Frame: 0 hr Bearing Walls-exterior: 0 hr Non-Bearing Walls-exterior: Fire Separation Distance: • 5' X = Sc = 1 hr • 5' X = 10' = 1 hr • 5' X = 30' = 0 hr Non-Bearing Walls-interior: 0 hr Floor Construction: 0 hr Roof Construction: 0 hr For Type IB: Structural Frame: 2 hr Bearing Walls-exterior: 2 hr Non-Bearing Walls-exterior: Fire Separation Distance: • 5' X = Sc = 1 hr • 5' X = 10' = 1 hr • 10' X = 30' = 1 hr Non-Bearing Walls-interior: 0 hr Floor Construction: 2 hr Roof Construction: 1.5 hr
708.3 Fire-Resistance Rating:	Condition: 1/2hr rated Between Dwelling Units: 1/2hr rated
711.2.4.3 Dwelling Units and Sleeping Units:	Between Dwelling Units: 1/2hr rated
Section 1020 Corridors:	Condition: 1/2hr rated
1020.2.1 Egress Distance:	For R-2: Maximum Common Path with Sprinkler System: 125ft Maximum Occupant Load Of Space With One Exit: 49 Maximum Common Path with Sprinkler System: 100ft Maximum Occupant Load Of Space With One Exit: 29
Section 1017 Bell Access Travel Distance:	For R-2: 250 (w/sprinkler) For S-2: 400 (w/sprinkler)
1020.4 Dead Ends:	50ft Type 2A: • Maximum floor area per unit of A: 3,000sf • Maximum floor area for extinguisher: 11,250sf • Maximum distance to extinguisher: 75ft • Hazard classification: Ordinary (Low)
2902.1 Minimum Number of Fixtures:	Classification & Occupancy: — R-2: • Water Closets: 1 per dwelling • (Required/Provided) 7/88 • Lavatories: 1 per dwelling • (Required/Provided) 7/88 — A-2 (44 occupants): • Water Closets: 1 per 75 • Women: 29 • Men: 29 • Lavatories: 1 per 75 • Women: 29 • Men: 29 — S-2 (128 occupants): • Water Closets: 1 per 100 • Women: 54 • Men: 44 • Lavatories: 1 per 100 • Women: 44 • Men: 44 — A-2 & S-2 Combined: • Water Closets: 1 per 100 • Women: 54 • Men: 44 • Lavatories: 1 per 100 • Women: 44 • Men: 44

CANNERY TRAIL RESIDENCES

1750 N OXFORD AVE. - EAU CLAIRE, WI



From Oxford Avenue - Looking NorthWest



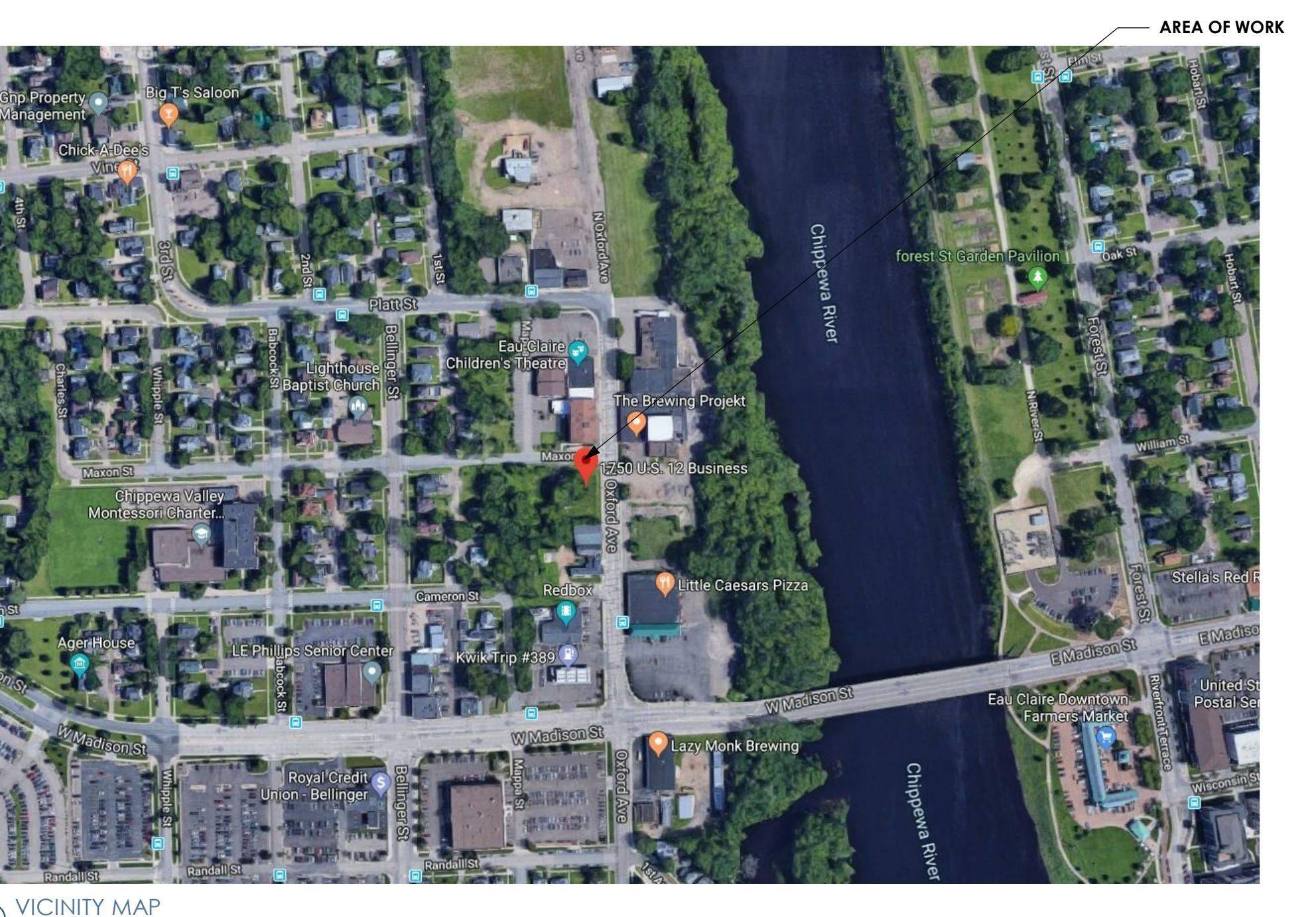
From Maxon Street - At Entry



Inside Courtyard - Looking North



Corner of Oxford Avenue & Mason St - Looking Southwest



VICINITY MAP

1" = 300'-0"

CANNERY TRAIL RESIDENCES - 1750 N OXFORD AVE. - EAU CLAIRE, WI

Date	Description
08.21.2019	Permit
09.21.2019	Permit Revision #1
10.23.2019	Permit Revision #2
03.27.2020	Updates
05.15.2020	Permit Revision #4
07.02.2020	Permit Revision #5

SHEET INDEX		
Sheet Number	Sheet Name	Last Issued Date
A000	COVER SHEET	07/02/20
A001	SHOOT INDEX	07/02/20
A020	LIFE SAFETY	07/02/20
A021	LIFE SAFETY - LIST OF ROOMS	07/02/20
A100	FLOOR PLANS - BASEMENT	07/02/20
A101	FLOOR PLANS - 1ST FLOOR	07/02/20
A102	FLOOR PLANS - 2ND FLOOR	07/02/20
A103	FLOOR PLANS - ROOF	07/02/20
A200	ELEVATIONS - BUILDING	07/02/20
A201	ELEVATIONS - BUILDING	07/02/20
A202	ELEVATIONS - BUILDING	07/02/20
A300	SECTIONS - BUILDING	07/02/20
A301	SECTIONS - BUILDING	07/02/20
A302	SECTIONS - BUILDING	07/02/20
A400	SECTIONS - WALL	07/02/20
A401	SECTIONS - WALL	07/02/20
A402	SECTIONS - WALL	07/02/20
A403	SECTIONS - WALL	07/02/20
A404	SECTIONS - WALL	07/02/20
A405	SECTIONS - WALL	07/02/20
A410-A	ENLARGED FLOOR PLANS - BASEMENT EAST	07/02/20
A410-B	ENLARGED FLOOR PLANS - BASEMENT WEST	07/02/20
A411-A	ENLARGED PLAN 1ST - AREA A (NORTHWEST)	07/02/20
A411-B	ENLARGED PLAN 1ST - AREA B (SOUTHEAST)	07/02/20
A411-C	ENLARGED PLAN 1ST - AREA C (NORTHCENTER)	07/02/20
A411-D	ENLARGED PLAN 1ST - AREA D (SOUTHCENTER)	07/02/20
A411-E	ENLARGED PLAN 1ST - AREA E (NORTHWEST)	07/02/20
A411-F	ENLARGED PLAN 1ST - AREA F (SOUTHWEST)	07/02/20
A412-A	ENLARGED PLAN 2ND - AREA A (NORTHWEST)	07/02/20
A412-B	ENLARGED PLAN 2ND - AREA B (SOUTHEAST)	07/02/20
A412-C	ENLARGED PLAN 2ND - AREA C (NORTHCENTER)	07/02/20
A412-D	ENLARGED PLAN 2ND - AREA D (SOUTHCENTER)	07/02/20
A412-E	ENLARGED PLAN 2ND - AREA E (NORTHWEST)	07/02/20
A412-F	ENLARGED PLAN 2ND - AREA F (SOUTHWEST)	07/02/20
A413-A	ENLARGED PLAN 3RD - AREA A (NORTHWEST)	07/02/20
A413-B	ENLARGED PLAN 3RD - AREA B (SOUTHEAST)	07/02/20
A413-C	ENLARGED PLAN 3RD - AREA C (NORTHCENTER)	07/02/20
A413-D	ENLARGED PLAN 3RD - AREA D (SOUTHCENTER)	07/02/20
A413-E	ENLARGED PLAN 3RD - AREA E (NORTHWEST)	07/02/20
A413-F	ENLARGED PLAN 3RD - AREA F (SOUTHWEST)	07/02/20
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A421-B	RCP PLANS - 1ST FLOOR WEST SIDE	07/02/20
A422-A	RCP PLANS - 2ND FLOOR EAST SIDE	07/02/20
A422-B	RCP PLANS - 2ND FLOOR WEST SIDE	07/02/20
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A423-B	RCP PLANS - 3RD FLOOR WEST SIDE	07/02/20
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A451	ELEVATIONS - INTERIOR	07/02/20
A452	ELEVATIONS - INTERIOR	07/02/20
A453	ELEVATIONS - INTERIOR	07/02/20
A454	ELEVATIONS - INTERIOR	07/02/20
A455	ELEVATIONS - INTERIOR	07/02/20
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A461	STAIRS - WEST	07/02/20
A462	STAIRS - ELEVATOR NORTH	07/02/20
A463	STAIRS - ELEVATOR NORTH & SECTIONS	07/02/20
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A471	1ST FLOOR 1BD UNITS	07/02/20
A472	1ST FLOOR 1BD UNITS	07/02/20
A473	1ST FLOOR 2BD UNITS	07/02/20
A474	1ST FLOOR 2BD UNITS	07/02/20
A475	2ND FLOOR STUDIO UNITS	07/02/20
A476	2ND FLOOR 1BD UNITS	07/02/20
A477	2ND FLOOR 1BD UNITS	07/02/20
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A801	WALL PARTITION DETAILS	07/02/20
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