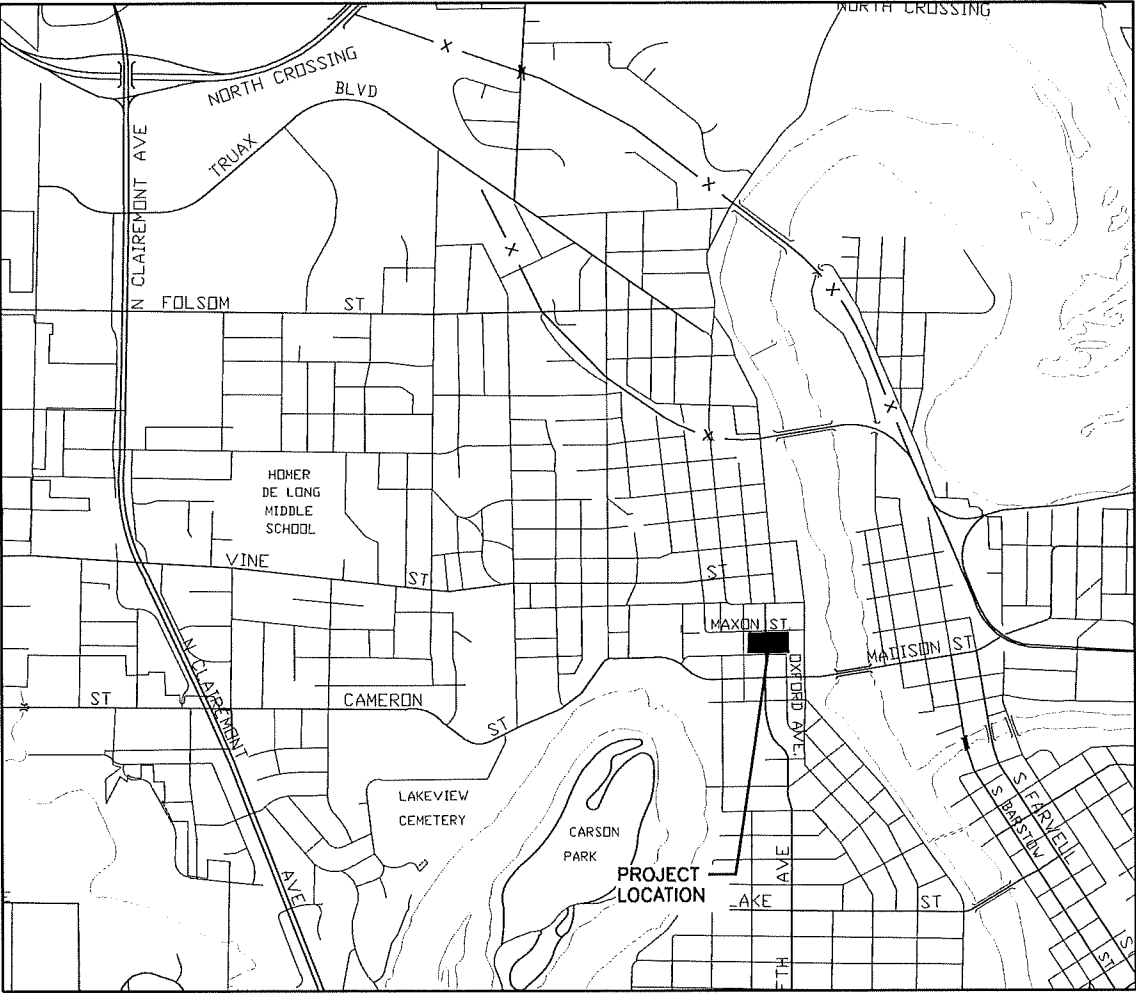
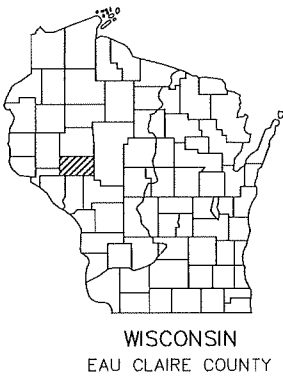


CANNERY TRAIL RESIDENCES INC.
OXFORD AVENUE
CITY OF EAU CLAIRE, WISCONSIN



LOCATION MAP
CITY OF EAU CLAIRE

SHEET	SHEET DESCRIPTION
1	TITLE SHEET
2	EXISTING SITE CONDITIONS
3	DEMOLITION PLAN
4	SITE PLAN, FIRST FLOOR
5	SITE PLAN, SECOND FLOOR
6	GRADING PLAN
7	UTILITY PLAN
8	EROSION PLAN
9	LANDSCAPE PLAN
10	CONSTRUCTION DETAILS
11	CONSTRUCTION DETAILS

WISCONSIN

PROFESSIONAL ENGINEER

KEVIN R. OIUM

E-34303-008

MENOMONIE WI

6-28-19

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY PERSONAL DIRECTION AND CONTROL AND THAT I AM A DULY REGISTERED PROFESSIONAL UNDER THE LAWS OF THE STATE OF WISCONSIN.

JOB NO. C1650-001
BOOK NO.
DRAWN BY BJW
CHECKED BY KRO
DATE APRIL 2019
REVISIONS
REFERENCE FILE
DRAWING FILE 010101_u

www.cedarcorp.com
800-472-7372

Cedar

corporation

engineers • architects • planners • environmental specialists
land surveys • landscape architects • interior designers

1496 Bellevue Street
Suite 202
Eau Claire, WI 54601
920-497-5081
FAX 920-491-9020

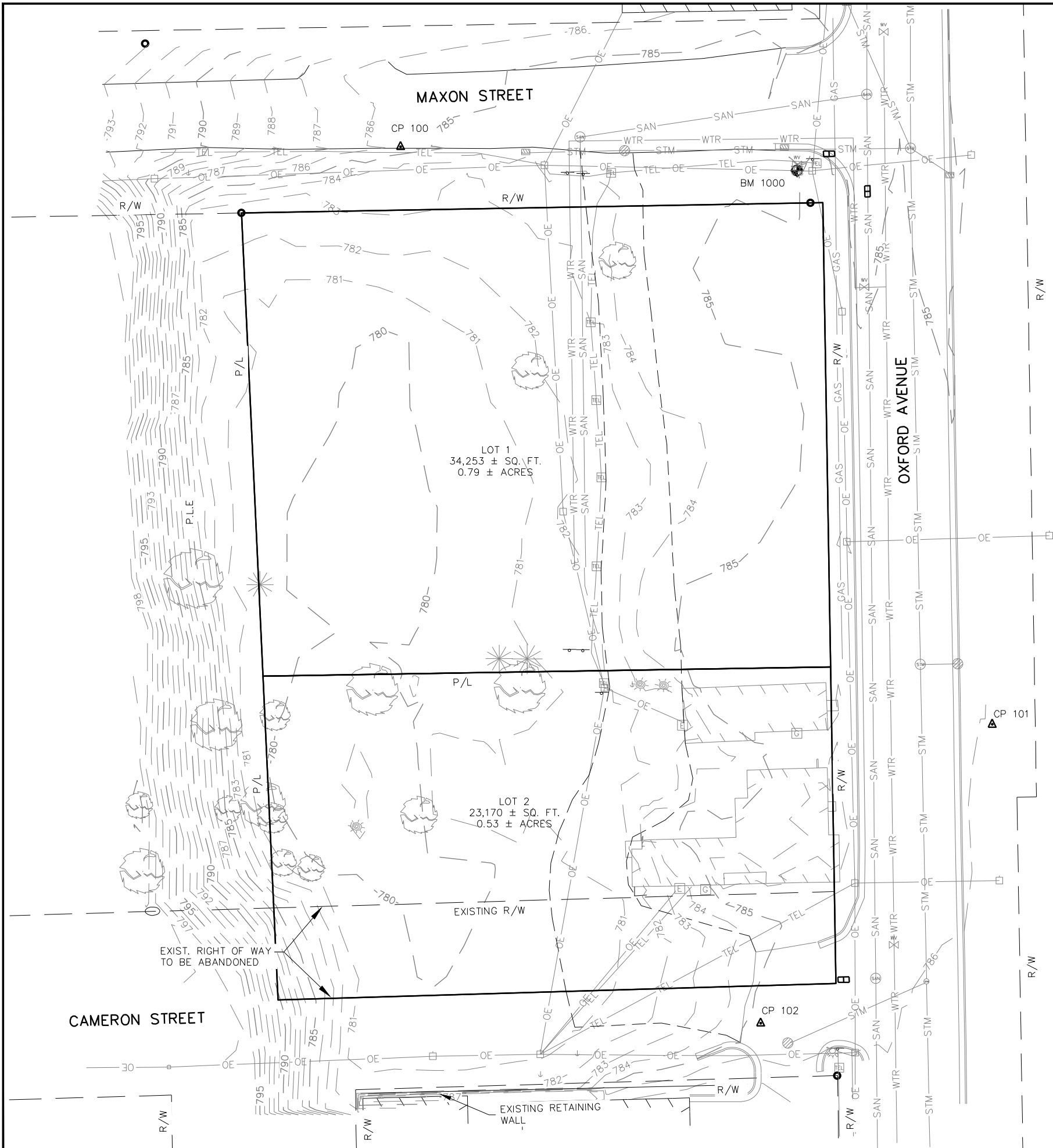
2820 Walton Commons W.
Suite 142
Eau Claire, WI 54601
608-248-5046
FAX 608-249-5824

604 Wilson Ave.
Suite 202
Eau Claire, WI 54601
715-235-9081
FAX 715-235-2727

CANNERY TRAIL RESIDENCES INC.
OXFORD AVE
EAU CLAIRE, WI
TITLE SHEET

SHEET NO.
1 OF 11

I:\Clients-Memo\C\6150 Cannery Trail Residences Inc\001 Cannery Trail Residences\100 Cad\dwg\00base_6150001(4.30.2019).dwg 06/27/19 5:56:18 PM



LEGEND

- 985 --- EXISTING CONTOUR LINE
- 984 ---
- OE --- OVERHEAD ELECTRIC LINES
- WTR --- WATERMAIN PIPE
- STM --- STORM SEWER
- SAN --- SANITARY SEWER PIPE
- GAS --- UNDERGROUND GAS
- T --- UNDERGROUND TELEPHONE
- TV --- UNDERGROUND CABLE TV
- ===== BUILDING WALL
- ===== CURB & GUTTER
- ===== WOOD FENCE
- ===== WOVEN WIRE FENCE
- ===== TREE LINE
- DECIDUOUS TREE
- EVERGREEN TREE
- FIRE HYDRANT
- CURBSTOP
- GATE VALVE
- POWER POLE
- LIGHT POLE
- GUY WIRE
- UTILITY PEDESTAL
- PARKING METER
- SIGN
- CATCH BASIN
- MANHOLE
- IRON PIPE
- REBAR

ABBREVIATIONS

- CONC. CONCRETE
- CMP. CORRUGATED METAL PIPE
- ELEV. ELEVATION
- EXIST. EXISTING
- EX. EXISTING
- HYD. HYDRANT
- INL. STORM INLET
- INV. INVERT
- FL. FLOW LINE
- FF. FIRST FLOOR
- LAT. LATERAL
- MH. MANHOLE
- PVC. POLYVINYL CHLORIDE PIPE
- RCP. REINFORCED CONCRETE PIPE
- R/W. RIGHT OF WAY
- SAN. SANITARY
- SDWK. SIDEWALK
- SEW. SEWER
- STM. STORM
- TC. TOP OF CURB
- TYP. TYPICAL
- VAR. VARIABLE

CONTROL

CP	NORTHING	EASTING	DESCRIPTION	ELEV.
100	280833.091	336586.632	PK NAIL	785.79
101	280626.011	336798.723	12" SPIKE	786.17
102	280518.858	336715.756	PK NAIL	882.193
BM 1000	280824.599	336728.775	TOP NUT-HYD	788.295



EXISTING SITE CONDITIONS

JOB NO.
C6150-001
BOOK NO.
DRAWN BY
BJW
CHECKED BY
KRO
DATE
APRIL
REVISIONS
REFERENCE FILE
DRAWING FILE
00base_6150001

www.cedarcorp.com
800-472-7372

Cedar corporation
landscape architects • planning • environmental specialists
land surveys • landscape architects • interior designers

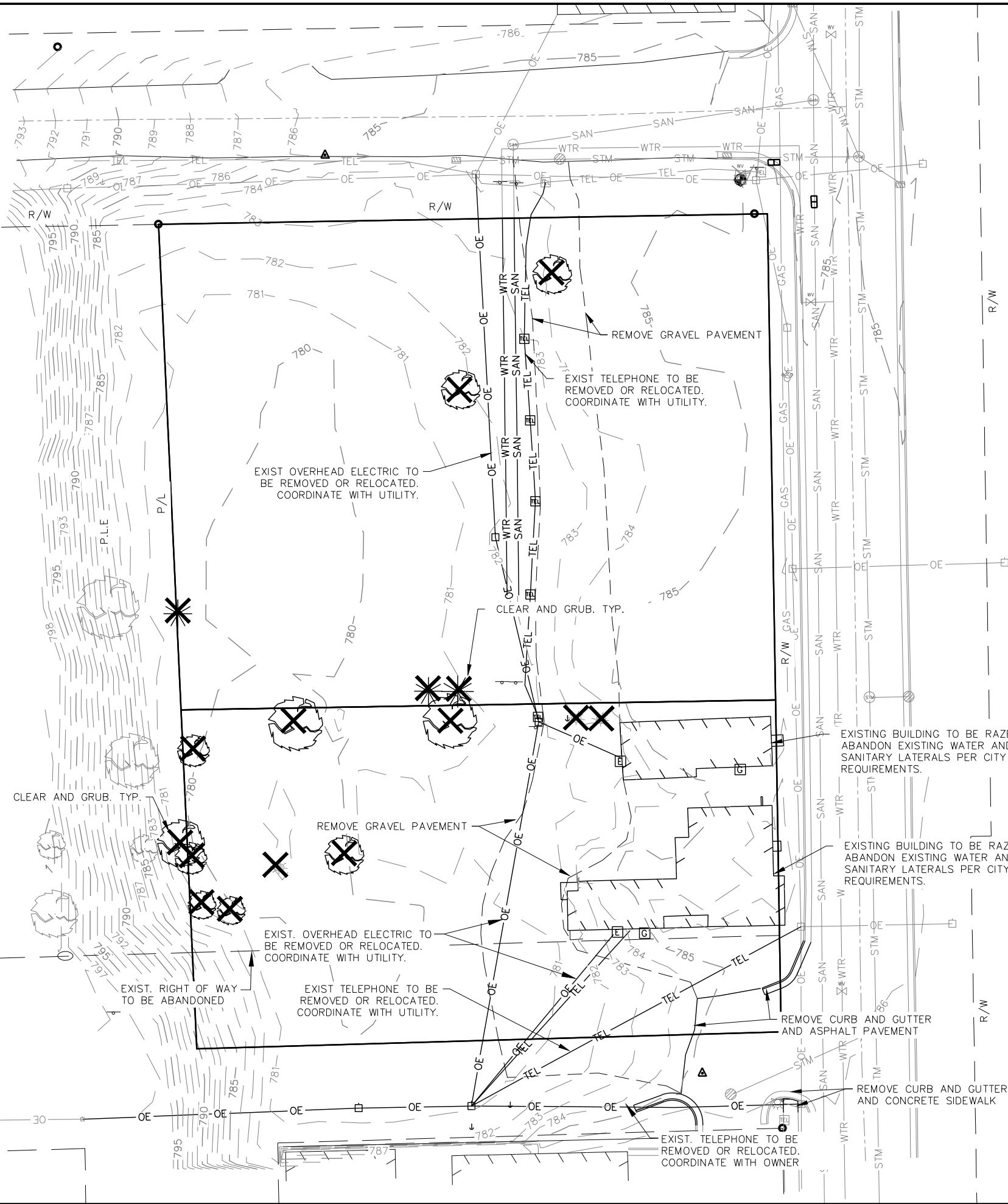
1695 Bellevue Street
Suite 142
Eau Claire, WI 54601
TEL: 715-235-9475
FAX: 715-235-9081

2820 Walton Commons W.
Suite 142
Eau Claire, WI 54601
TEL: 715-235-9475
FAX: 715-235-9081

CANNERY TRAIL RESIDENCES INC.
OXFORD AVENUE
EAU CLAIRE, WI
EXISTING CONDITIONS PLAN

SHEET NO.
2 OF 11

I:\Clients-Memo\C\6150 Cannery Trail Residences Inc\001 Cannery Trail Residences\100 Cad\dwg\00base_6150001(4.30.2019).dwg 06/27/19 5:56:41 PM



NOTES:

- * ALL DEMOLITION MATERIAL SHALL BE REMOVED FROM THE SITE & DISPOSED OF OFF SITE AS PER CITY & STATE REQUIREMENTS UNLESS OTHERWISE NOTED.
- * ANY REMOVALS OR RELOCATIONS WITHIN THE PROJECT LIMITS NOT SHOWN SHALL BE CONSIDERED INCIDENTAL TO THE DEMOLITION COSTS, FIELD VERIFY.
- * THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXIST. UTILITIES. REMOVE, ABANDON, RELOCATE EXIST. UTILITIES AS REQUIRED. ALL UNDERGROUND UTILITIES MAY NOT BE SHOWN, FIELD VERIFY W/ DIGGERS HOTLINE.
- * REMOVE EXISTING FACILITIES AS REQUIRED TO COMPLETE PROPOSED CONSTRUCTION.
- * ANY REMOVALS OR RELOCATIONS REQUIRED FOR CONSTRUCTION, NOT SHOWN SHALL BE CONSIDERED INCIDENTAL TO THE DEMOLITION COSTS, FIELD VERIFY.

SCALE:
0 10 20 40

DEMOLITION PLAN

JOB NO.
C6150-001
BOOK NO.
DRAWN BY
BJW
CHECKED BY
KRO
DATE
APRIL 2019
REVISIONS
REFERENCE FILE
DRAWING FILE
00base_6150001

www.cedarcorp.com
800-472-7372

Cedar corporation
landscape architects • planning • environmental specialists
land surveys • landscape architects • interior designers

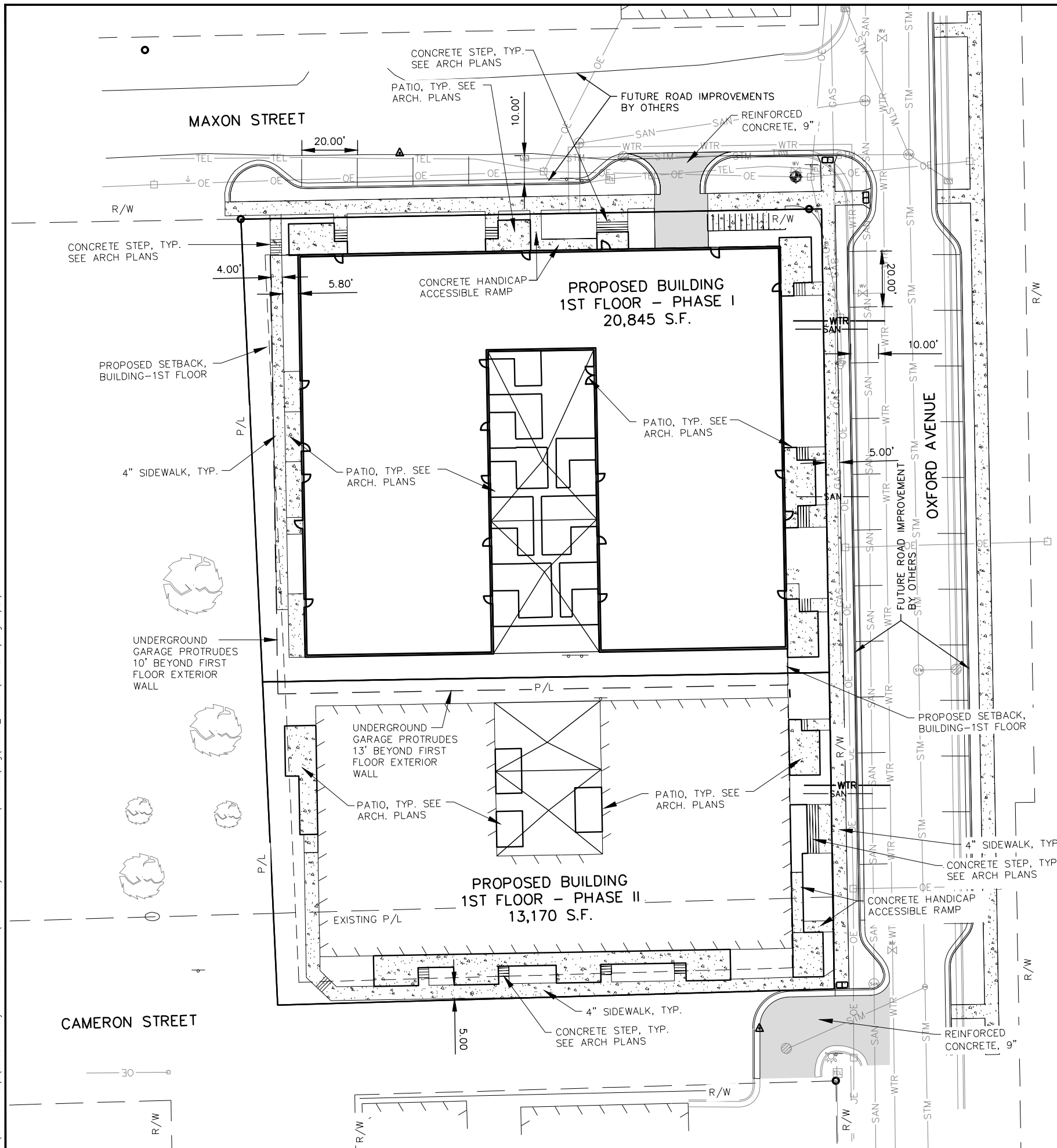
1695 Bellevue Street
Suite 142
Bellevue, WA 98005
Phone: 206-461-5475
Fax: 206-461-5475

2820 Walton Commons W.
Suite 142
Bellevue, WA 98005
Phone: 206-461-5475
Fax: 206-461-5475

CANNERY TRAIL RESIDENCES INC.
OXFORD AVENUE
EAU CLAIRE, WI
DEMOLITION PLAN

SHEET NO.
3 OF 11

I:\Clients-Memo\C6150 Cannery Trail Residences Inc\001 Cannery Trail Residences\100 Cad\dwg\00base_6150001(4.30.2019).dwg 06/27/19 5:57:01 PM



NOTES:

- * THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION & NOTIFY THE ENGINEER OF ANY DIFFERENCES.
- * THE CONTRACTOR SHALL VERIFY ALL PLAN DIMENSIONS BEFORE INSTALLATION & NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- * THE CONTRACTOR SHALL VERIFY ALL BUILDING DIMENSIONS WITH THE ARCHITECTURAL PLANS.
- * THE CONTRACTOR SHALL FIELD VERIFY THE LOCATIONS & SIZES OF ALL EXISTING UTILITIES.
- * ALL DIMENSIONS ARE FROM THE FACE OF CURB WHERE APPLICABLE.
- * INSTALL ACCESSIBLE PARKING SIGNS AT ALL ACCESSIBLE PARKING STALLS AS PER STATE & FEDERAL ADA GUIDELINES.
- * THE CONTRACTOR SHALL WARRANTY ALL WORK AND LABOR FOR ONE YEAR AFTER FINAL ACCEPTANCE OF PROJECT.
- * THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY CONSTRUCTION PERMITS.
- * 4" WIDE YELLOW PARKING LOT STRIPING AS PER WDOT SSHSC SECT. 646 & 647, NON EPOXY.
- * ANY REMOVALS, RELOCATIONS OR ABANDONMENTS REQUIRED FOR CONSTRUCTION NOT SHOWN, SHALL BE CONSIDERED INCIDENTAL TO OTHER CONSTRUCTION COSTS, FIELD VERIFY.

ZONING: CBDP - CENTRAL BUSINESS DISTRICT

- * SETBACKS, FRONT YARD = 13 FT
- * SETBACKS, SIDE YARD = 15 FT
- * SETBACKS, REAR YARD = 8 FT

SITE AREA:

- * PROPERTY BOUNDARY = 57,423 SF (1.32 AC)
- * GREEN SPACE = 7,245 SF (0.17 AC) = 13%
- * IMPERVIOUS = 50,178 SF (1.15 AC) = 87%
- * LOT DISTURBED = 57,423 SF (1.32 AC) = 100%

PARKING:

- * BUILDING STALL DIMENSIONS ARE 17.5' DEEP X 9' WIDE
- * STREET STALL DIMENSIONS ARE 20' DEEP X 10' WIDE
- * PHASE 1 PARKING = 2 HANDICAP ACCESSIBLE + 66 SPACES = 68 SPACES
- * PHASE 2 PARKING = 57 SPACES

- * TOTAL STALL COUNT = 125 STALLS WITH 3 HANDICAP ACCESSIBLE

SITE PLAN - 1ST FLOOR

JOB NO.
C6150-001
BOOK NO.
DRAWN BY
BJW
CHECKED BY
KRO
DATE
APRIL 2019
REVISIONS
REFERENCE FILE
DRAWING FILE
00base_6150001

www.cedarcorp.com

800-472-7372

landscape architects • planning • environmental specialists

land surveys • landscape architects • interior designers

Cedar

corporation

1695 Bellevue Street

Seattle, WA 98101

206-461-9081

FAX 206-461-9081

2820 Walton Commons W.

Suite 142

Bellevue, WA 98004

206-461-5044

FAX 206-461-5044

1695 Bellevue Street

Seattle, WA 98101

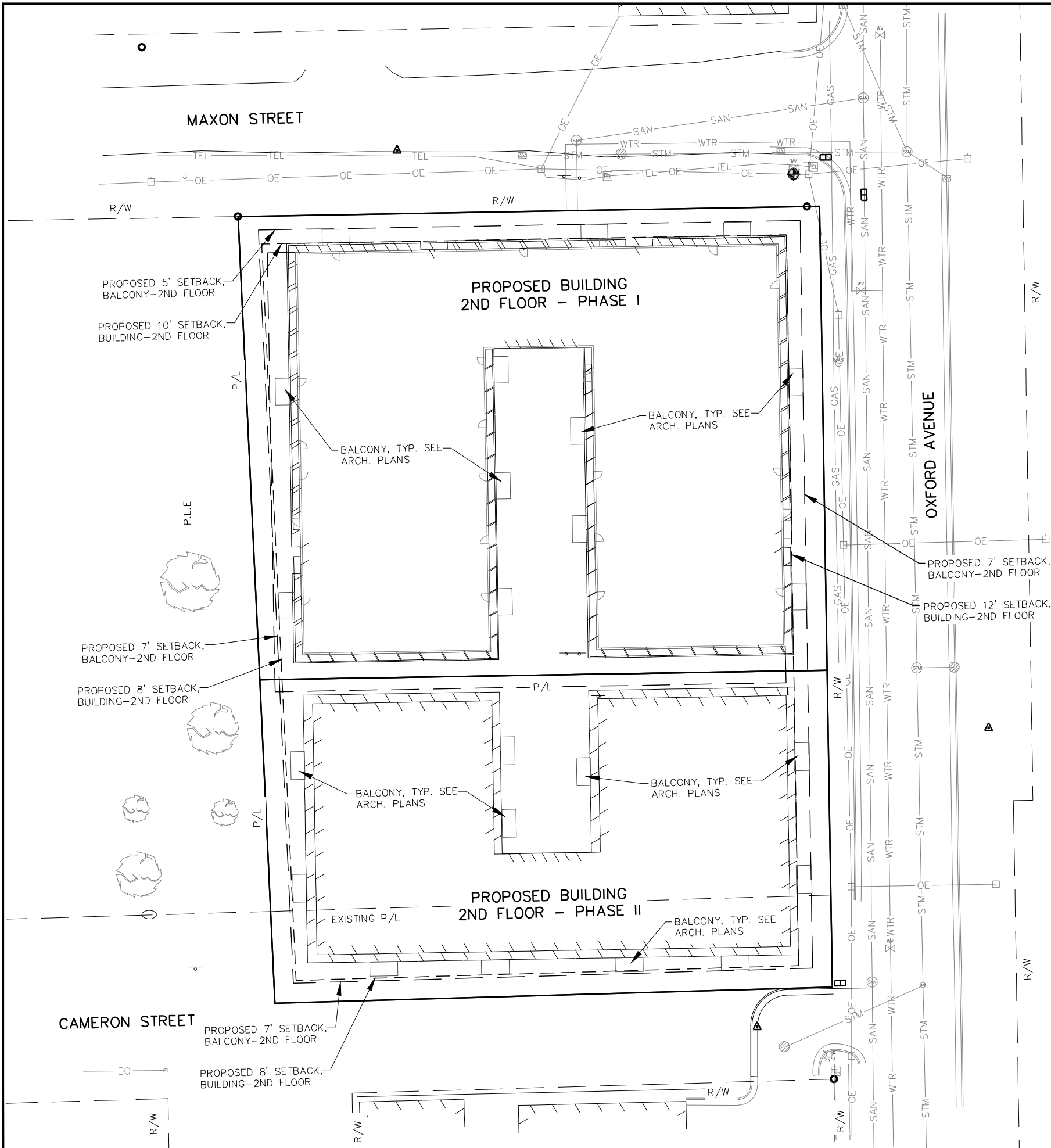
206-461-9081

FAX 206-461-9081

CANNERY TRAIL RESIDENCES INC.
OXFORD AVENUE
EAU CLAIRE, WI
SITE PLAN - 1ST FLOOR

SHEET NO.
4 OF 11

I:\Clients-Memo\C\6150 Cannery Trail Residences Inc\001 Cannery Trail Residences\100 Cad\dwg\00base_6150001(4.30.2019).dwg 06/27/19 5:57:23 PM



SETBACKS:

- * SETBACKS, FRONT YARD = 5' BALCONY & 10' BUILDING
- * SETBACKS, SIDE YARD = 7' BALCONY & 12' BUILDING
- * SETBACKS, SIDE YARD = 7' BALCONY & 12' BUILDING

SITE PLAN - 2ND & 3RD FLOOR

JOB NO.
C6150-001
BOOK NO.
DRAWN BY
BJW
CHECKED BY
KRO
DATE
APRIL 2019
REVISIONS
REFERENCE FILE
DRAWING FILE
00base_6150001

www.cedarcorp.com
800-472-7372

Cedar
corporation

landscape architects • planning • environmental specialists
land surveys • landscape architects • interior designers

1695 Bellevue Street
Eau Claire, WI 54601
920-491-9081
FAX 920-491-9020

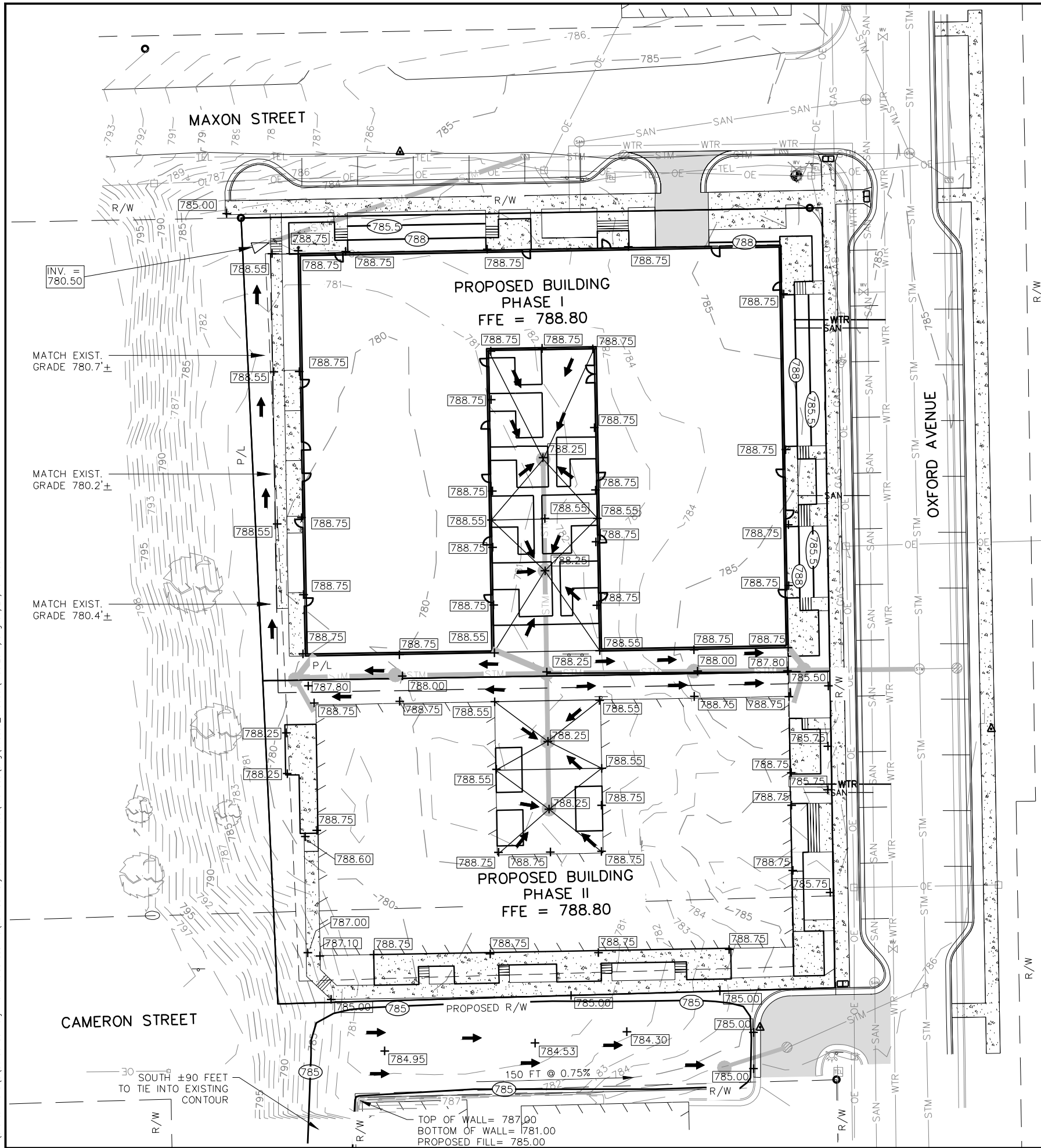
2820 Walton Commons W.
Suite 142
Eau Claire, WI 54601
920-242-2668
FAX 920-242-2688

1695 Bellevue Street
Eau Claire, WI 54601
920-491-9081
FAX 920-491-9020

CANNERY TRAIL RESIDENCES INC.
OXFORD AVENUE
EAU CLAIRE, WI
SITE PLAN - 2ND & 3RD FLOORS

SHEET NO.
5 OF 11

I:\Clients-Memo\C6150 Cannery Trail Residences Inc\001 Cannery Trail Residences\100 Cad\dwg\00base_6150001(4.30.2019).dwg 06/27/19 5:58:01 PM

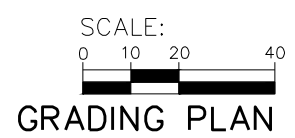


NOTES:

- * THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSURING DRAINAGE OF SURFACE WATER AWAY FROM THE BUILDING.
- * THE CONTRACTOR SHALL VERIFY ALL EXIST. CONDITIONS.
- * THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF EXIST. UTILITIES.
- * SLOPE ALL SIDEWALKS AT 2% AWAY FROM BUILDING UNLESS OTHERWISE NOTED.
- * PROPOSED CONTOUR LINE LOCATIONS ARE APPROXIMATE, SPOT ELEVATIONS SHALL BE USED FOR EXACT ELEVATIONS.
- * PROPOSED SPOT ELEVATIONS SHOWN AT THE CURB & GUTTER ARE THE ELEVATIONS OF THE FLOW LINE OF THE GUTTER.
- * CONTRACTOR SHALL INSURE THAT ALL ACCESSIBLE STALLS & ROUTES COMPLY WITH CURRENT ADA STANDARDS.
- * ALL GRADING, & EARTHWORK SHALL BE AS PER WI DOT STAND-ARD SPEC FOR HWY & STRUCTURE CONSTRUCTION LATEST ED. & ALL SUPPLEMENTAL SPEC.
- * ADJUST PROPOSED RETAINING WALL ELEVATIONS AS REQUIRED TO MATCH EXISTING & PROPOSED GRADES.

KEY

- 785 --- DENOTES EXISTING CONTOUR LINE.
- 783 --- DENOTES EXISTING CONTOUR LINE.
- (781) DENOTES PROPOSED CONTOUR LINE, FINISHED GRADE.
- 783.75 + DENOTES PROPOSED SPOT ELEVATION, FINISHED GRADE.
- ➔ DENOTES DIRECTION OF PROPOSED SURFACE WATER FLOW.
- TC = TOP OF CURB
- FL = FLOW LINE OF CURB & GUTTER
- LP = LOW POINT
- HP = HIGH POINT
- TW = TOP OF RETAINING WALL
- BW = BOTTOM OF RETAINING WALL



JOB NO.
C6150-001
BOOK NO.
DRAWN BY
BJW
CHECKED BY
KRO
DATE
APRIL 2019
REVISIONS
REFERENCE FILE
DRAWING FILE
00base_6150001

www.cedarcorp.com
800-472-7372

landscape architects • planning • environmental specialists
land surveys • landscape architects • interior designers

1695 Bellevue Street
Suite 142
Eau Claire, WI 54601
920.242.2668
FAX 920.242.2688

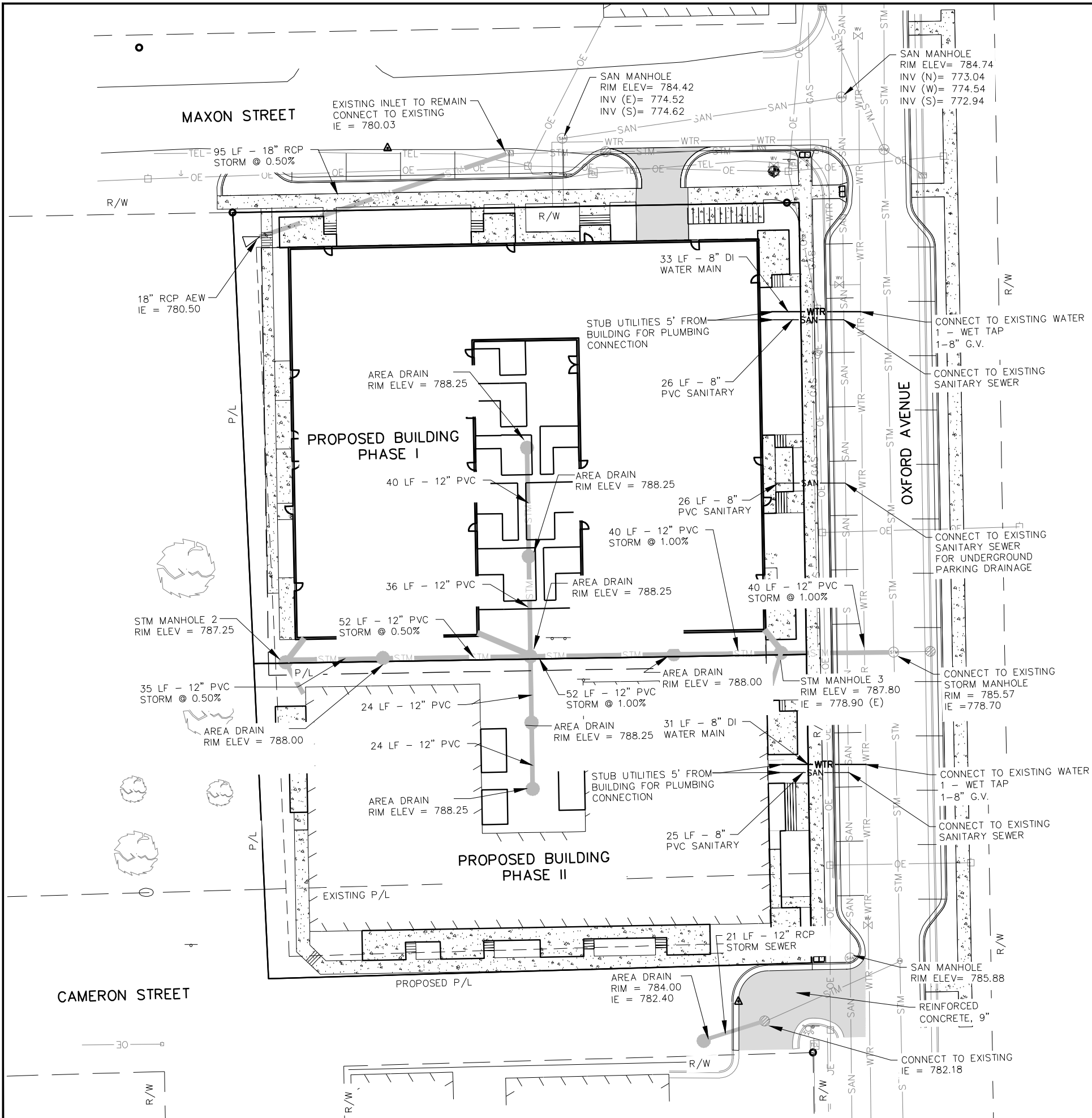
2820 Walton Commons W.
Suite 142
Eau Claire, WI 54601
920.242.2668
FAX 920.242.2688

604 Wilson Ave.
Eau Claire, WI 54601
715.235.9081
FAX 715.235.2727

CANNERY TRAIL RESIDENCES INC.
OXFORD AVENUE
EAU CLAIRE, WI
GRADING PLAN

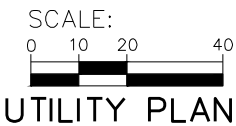
SHEET NO.
6 OF 11

I:\Clients-Memo\C\6150 Cannery Trail Residences Inc\001 Cannery Trail Residences\100 Cad\dwg\00base_6150001(4.30.2019).dwg 06/27/19 5:58:17 PM



NOTES:

- * CONTRACTOR SHALL LOCATE ALL EXIST. UTILITIES IN & AROUND CONSTRUCTION AREA.
- * CONTRACTOR SHALL FIELD VERIFY DEPTHS, LOCATIONS & SIZES OF ALL EXIST. UTILITIES, LOCATIONS ARE APPROXIMATE.
- * ALL PVC SANITARY SEWER PIPES SHALL BE SDR. 35.
- * ALL PVC STORM SEWER PIPES SHALL BE SCH. 40.
- * CONTRACTOR SHALL COORDINATE SEW. & WTR. CONNECTIONS WITH MUNICIPALITY.
- * IF THE WATERMAIN OR WATER LATERAL PIPE CROSSING A SEWER PIPE IS BELOW THE SEWER PIPE, THERE SHALL BE AN 18" MIN. SEPARATION, IF THE WATER PIPE IS ABOVE THE SEWER PIPE, THERE SHALL BE A 12" MIN. SEPARATION.
- * CONTRACTOR SHALL MAINTAIN A MIN. OF 8' COVER OVER TOP OF 8" WATERMAIN & LATERALS.
- * WATER LATERAL SHALL BE DUCTILE IRON, CLASS 52.
- * INSTALL 12 GAUGE SOLID COPPER TRACER WIRE W/ PLASTIC COATING ON TOP OF ALL PLASTIC SEWER & WATER PIPES.
- * TRACER WIRE SHALL BE ATTACHED TO PLASTIC PIPE EVERY 10 FT. & AT EVERY BEND.
- * SPLICES IN TRACER WIRE SHALL BE MADE W/ SPLIT BOLT OR COMPRESSION-TYPE CONNECTORS. ALL SPLICES SHALL BE WATER PROOF.
- * TRACER WIRE SHALL HAVE ACCESS POINTS TO GRADE AT A MIN. OF EVERY 300' W/ VAULTS, CLEANOUTS, MANHOLES, VALVE BOXES OR OTHER COVERED ACCESS.
- * CONTRACTOR SHALL VERIFY LOCATIONS & ELEVATIONS FOR ALL UTILITY CROSSINGS (EXIST. & PROP.) TO ELIMINATE POSSIBLE CONFLICTS. REPORT ANY CONFLICTS TO ARCHITECT IMMEDIATELY.
- * ALL ELECTRIC, TELEPHONE & GAS SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY CO. SPECS. LOCATIONS SHALL BE COORDINATED W/ APPROPRIATE UTILITY CO.
- * ALL UTILITIES SHALL BE INSTALLED ACCORDING TO STATE & LOCAL REQUIREMENTS, WI DOT STANDARD SPEC FOR HWY & STRUCTURE CONSTRUCTION LATEST ED. & ALL SUPPLEMENTALS & STANDARD SPEC FOR SEWER & WATER CONST. IN WI LATEST ED. INCLUDING ALL ADDENDUMS & REVISIONS.
- * THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL APPLICABLE LOCAL & STATE PERMITS AND PERMITS FEES.
- * THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXIST. UTILITIES. REMOVE, ABANDON, RELOCATE EXIST. UTILITIES AS REQUIRED, FIELD VERIFY. ALL UNDERGROUND UTILITIES MAY NOT BE SHOWN, FIELD VERIFY W/ DIGGERS HOTLINE, OWNER & MUNICIPALITY.
- * WHEN WORKING ON AN EXISTING INLET OR MANHOLE THE CONTRACTOR SHALL ASSURE THAT THE INLET OR MANHOLE IS COMPLETELY SEALED TO PREVENT LEAKAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REQUIRED REPAIRS TO THE EXISTING INLETS OR MANHOLES IF REQUIRED.
- * SITE CONTRACTOR SHALL INSTALL SANITARY SEWER, STORM SEWER AND WATER LATERALS 5' FROM BUILDING FOUNDATION WALL. CONTRACTOR SHALL CONNECT TO LATERAL STUBS IF IN PLACE BY BUILDING PLUMBING CONTRACTOR.



JOB NO.
C6150-001
BOOK NO.
DRAWN BY
BJW
CHECKED BY
KRO
DATE
APRIL 2019
REVISIONS
REFERENCE FILE
DRAWING FILE
00base_6150001

www.cedarcorp.com 800-472-7372

Cedar corporation
landscape architects • planners • environmental specialists
and surveyors • landscape architects • interior designers

1695 Bellevue Street
Suite 142
Eau Claire, WI 54601
715-235-9081
FAX 715-235-2727

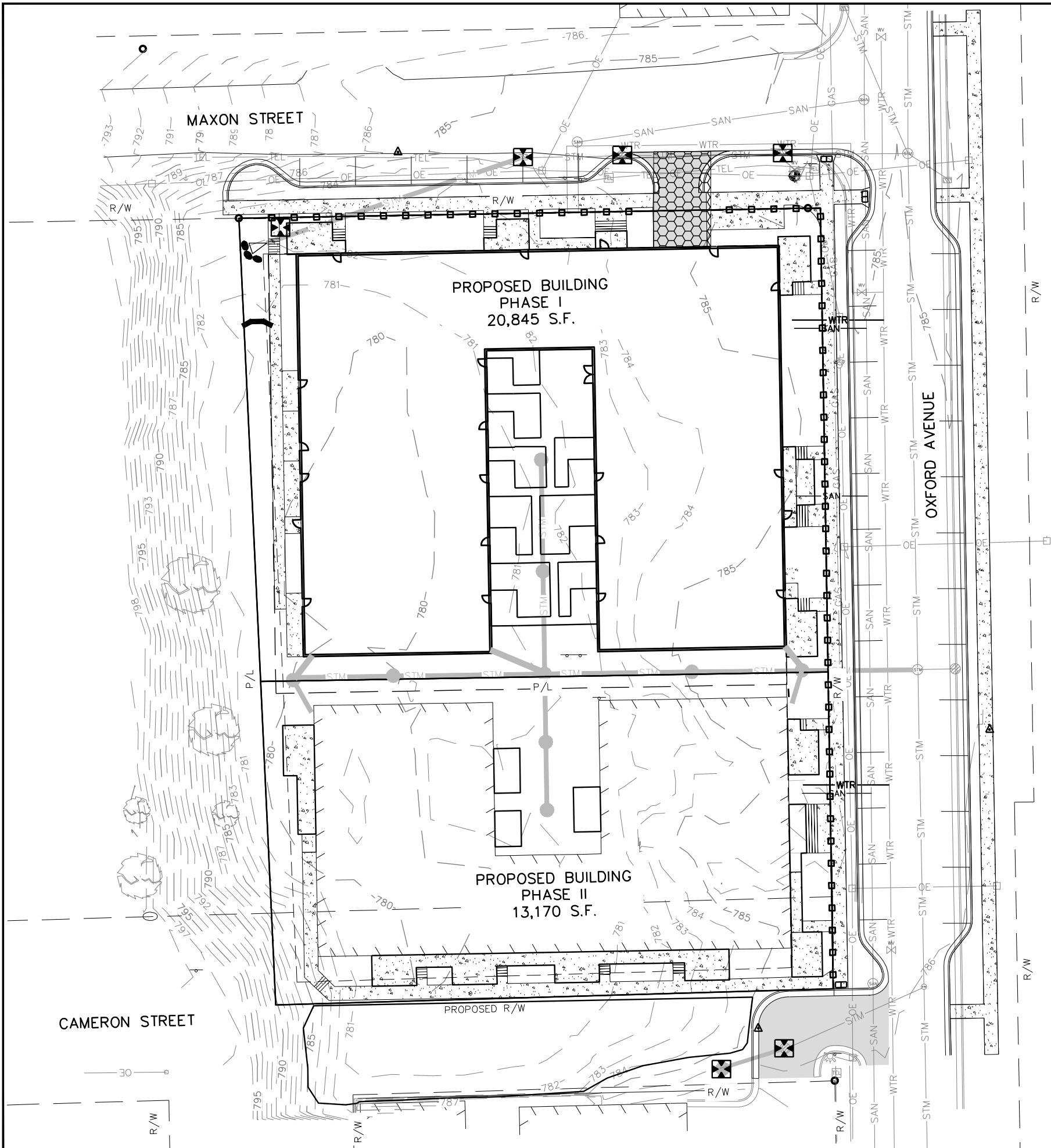
2820 Walton Commons W.
Suite 142
Eau Claire, WI 54601
715-235-9081
FAX 715-235-2727

161497 Washington Ave.
Suite 142
Eau Claire, WI 54601
715-235-9081
FAX 715-235-2727

CANNERY TRAIL RESIDENCES INC.
OXFORD AVENUE
EAU CLAIRE, WI
UTILITY PLAN

SHEET NO.
7 OF 11

I:\Clients-Memo\C\6150 Cannery Trail Residences Inc\001 Cannery Trail Residences\100 Cad\dwg\00base_6150001(4.30.2019).dwg 06/27/19 5:58:36 PM



NOTES:

- * THE CONTRACTOR SHALL INSTALL APPROPRIATE EROSION CONTROL MEASURES AS THE FIRST CONSTRUCTION ACTIVITY.
- * SEED & MULCH & FERTILIZE ALL DISTURBED AREAS OVER 5" OF TOPSOIL.
- * SEEDING SHALL BE SEED MIXTURE No. 40 AS PER WI DOT STANDARD SPEC'S. FOR HIGHWAY & STRUCTURE CONSTRUCTION, LATEST EDITION.
- * SEED SHALL BE SOWN IN ACCORDANCE WITH WI DOT STANDARD SPEC'S. FOR HIGHWAY & STRUCTURE CONSTRUCTION, SECTION 630.3 EITHER METHOD A OR B.
- * SEED MULCH SHALL BE IN ACCORDANCE WITH WI DOT STANDARD SPEC'S. FOR HIGHWAY & STRUCTURE CONSTRUCTION, SECTION 627.2.
- * SEED MULCH SHALL BE APPLIED IN ACCORDANCE WITH WI DOT STANDARD SPEC'S. FOR HIGHWAY & STRUCTURE CONSTRUCTION, SECTION 627.3.2 METHOD B OR C.
- * TOPSOIL SHALL BE SUPPLIED & INSTALLED IN ACCORDANCE WITH WI DOT STANDARD SPEC'S. FOR HIGHWAY & STRUCTURE CONSTRUCTION, SECTION 625.
- * ADJUST OR ADD SILT FENCE AS NEEDED TO PREVENT SEDIMENT FROM LEAVING THE CONSTRUCTION SITE.
- * INSTALL SILT FENCE AS NEEDED AROUND ANY TEMPORARY SOIL STORAGE PILES.
- * TRACKING AREA, REMOVE & REPLACE AGGREGATE WHEN VOIDS BECOME FILLED W/ SEDIMENT OR IF SURFACE OPENINGS BECOME PLUGGED SO THAT TRACKING AREA DOES NOT FUNCTION.
- * SUPPLY EROSION CONTROL MAT AS PER WI DOT PAL REQUIREMENTS. INSTALL EROSION CONTROL MAT AS PER MFR'S SPEC'S.
- * ALL DISTURBED AREAS LEFT FOR MORE THAN 14 DAYS SHALL BE STABILIZE W/ SEED & MULCH TO PREVENT EROSION.
- * ALL WASTE & UNUSED BUILDING MATERIAL SHALL BE REMOVED FROM THE SITE & DISPOSED OF & NOT ALLOWED TO BE CARRIED OFF BY STORM WATER RUNOFF.
- * THE CONTRACTOR SHALL FOLLOW ALL PRACTICES AS DEFINED IN THE WI DNR TECHNICAL STANDARDS FOR CONSTRUCTION SITE EROSION & SEDIMENT CONTROL.

KEY

- X— SILT FENCE
- ▨ EROSION MAT CLASS I, TYPE B (DOUBLE NET STRAW BLANKET)
- ⤿ TEMPORARY DITCH CHECK
- CULVERT PIPE DITCH CHECK
- ▨ AGGREGATE TRACKING AREA
- ⊗ INLET PROTECTION

SCALE:
0 10 20 40
EROSION CONTROL PLAN

JOB NO.
C6150-001
BOOK NO.
DRAWN BY
BJW
CHECKED BY
KRO
DATE
APRIL 2019
REVISIONS
REFERENCE FILE
DRAWING FILE
00base_6150001

www.cedarcorp.com
800-472-7372

Cedar corporation
landscape architects • planning • environmental specialists
land surveys • landscape architects • interior designers

1695 Bellevue Street
Menasha, WI 54951
920-491-9081
FAX 920-491-9020

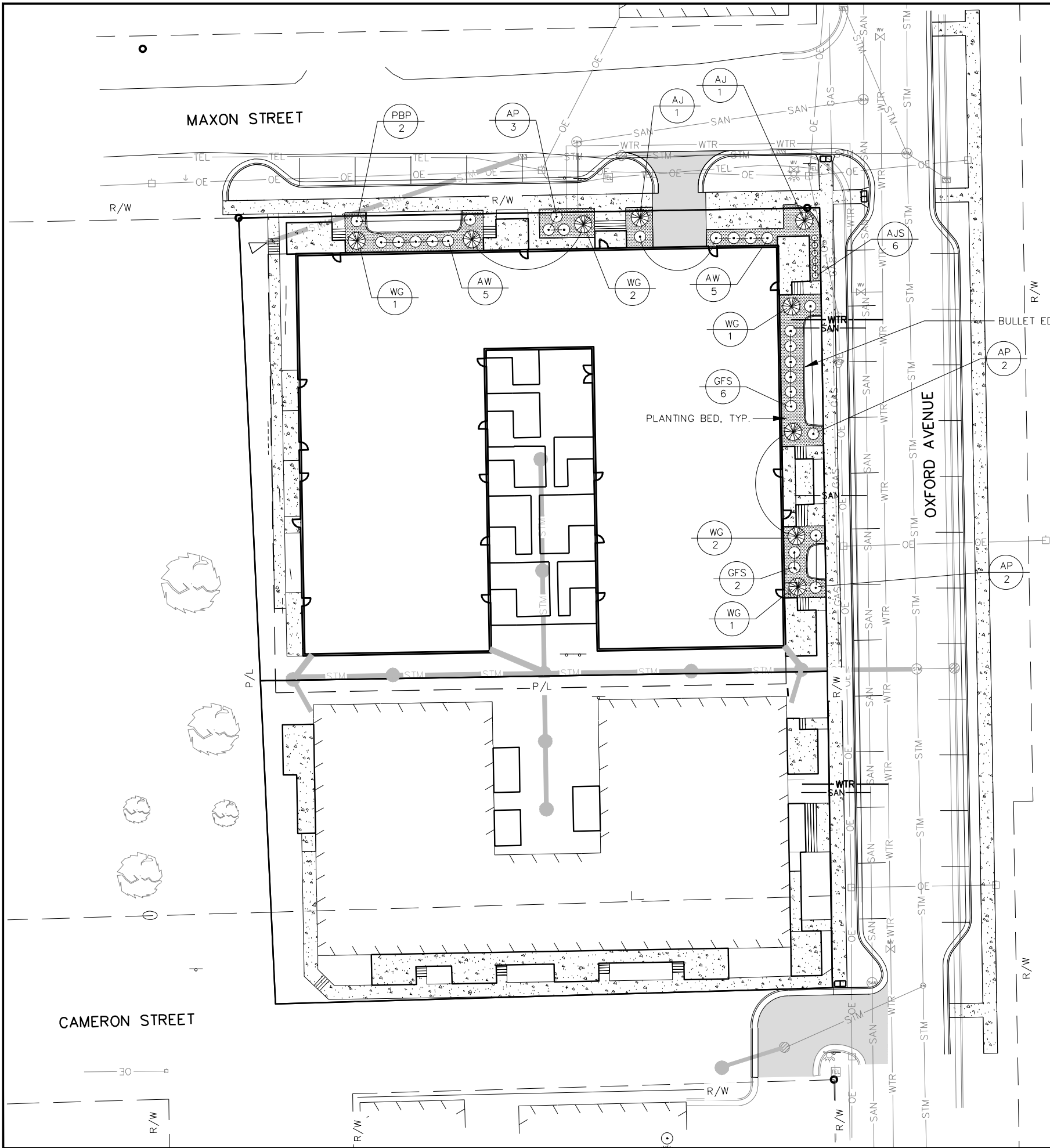
2820 Walton Commons W.
Suite 142
Menasha, WI 54951
920-246-5044
FAX 920-246-5044

161M497 Washington Ave.
Suite 142
Menasha, WI 54951
920-246-5044
FAX 920-246-5044

CANNERY TRAIL RESIDENCES INC.
OXFORD AVENUE
EAU CLAIRE, WI
EROSION CONTROL PLAN

SHEET NO.
8 OF 11

I:\Clients-Memo\C6150 Cannery Trail Residences Inc\001 Cannery Trail Residences\100 Cad\dwg\00base_6150001(4.30.2019).dwg 06/27/19 5:58:56 PM



PLANTING SCHEDULE

KEY	QTY.	COMMON NAME	BOTANIC NAME	SIZE	ROOT	REMARKS
AW	10	ANTHONY WATERER SPIREA	SPIREA x BUMALDA 'ANTHONY WATERER'	18" HT.	#3 CONT.	FULL
GFS	8	GOLDFLAME SPIREA	SPIREA x BUMALDA 'GOLDFLAME'	18" HT.	#3 CONT.	FULL
PBP	2	PINK BEAUTY POTENTILLA	POTENTILLA FRUTICOSA 'PINK BEAUTY'	12" HT.	#3 CONT.	FULL
AP	7	ABBOTSWOOD POTENTILLA	POTENTILLA FRUTICOSA 'ABBOTSWOOD'	12" HT.	#3 CONT.	FULL
WG	7	WOODWARD GLOBE ARBORVITAE	TUJA OCCIDENTALIS 'WOODWARDII'	18" HT.	#3 CONT.	FULL GLOBE
AJ	2	ANDORRA JUNIPER	JUNIPERUS HORIZONTALIS 'COMPACTA'	24" SP.	#5 CONT.	FULL
AJS	6	AUTUMN JOY SEDUM	SEDUM SPECTABILE 'AUTUMN JOY'	18" SP.	#1 CONT.	FULL

NOTES:

- * THE CONTRACTOR SHALL VERIFY ALL EXIST. CONDITIONS.
- * THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING LOCATIONS OF EXIST. UTILITIES.
- * USE GEOTEXTILE FABRIC WEED BARRIER UNDER ALL PLANTING BED MULCH UNLESS OTHERWISE NOTED. FABRIC WEED BARRIER SHALL CONFORM TO WI DOT SSHSC SECT. 632.
- * USE 1-1/2" WASHED AGGREGATE STONE MULCH IN PLANTING BEDS, 3" DEPTH. STONE MULCH SHALL BE CLEAN, & FREE FROM DELETERIOUS MATERIALS, STICKS, STONES, NOXIOUS WEEDS, SALT & FINE SILTS, CLAYS OR TOPSOIL.
- * TOP OF MULCH IN PLANTING BEDS SHALL BE EVEN W/ TOP OF SURROUNDING SURFACES.
- * IF DISCREPANCIES OCCUR, PLANT QUANTITIES SHOWN ON PLAN TAKE PRECEDENCE OVER PLANTING SCHEDULE.
- * ALL PLANTS SHALL BE "SPECIMEN GRADE" AS PER AMERICAN STANDARD FOR NURSERY STOCK, LATEST EDITION.
- * ALL PLANT MATERIAL SHALL HAVE A ONE YEAR WARRANTY AGAINST DEATH & UNHEALTHY CONDITION, EXCEPT AS A RESULT OF NEGLECT BY OWNER, DAMAGE BY OTHERS & UNUSUAL PHENOMENA BEYOND CONTRACTOR'S CONTROL. PLANT WARRANTY SHALL BEGIN ON THE DATE OF FINAL ACCEPTANCE OF THE PROJECT.
- * ALL PLANTS SHALL CONFORM TO THE VARIETIES SPECIFIED IN THE PLANT LIST & SHALL BE TRUE TO BOTANICAL NAME AS IN HORTUS THIRDS.
- * ALL PLANTS INCLUDING THEIR ROOTS SHALL BE FREE FROM DISEASE INSECTS & OTHER INJURIOUS QUALITIES & SHALL BE WELL FORMED, FULL, IN A HEALTHY VIGOROUS GROWING CONDITION, REAR OR AT SPECIMEN QUALITY.
- * ALL PLANTS SHALL BE SUBJECT TO INSPECTION BY THE OWNERS REPRESENTATIVE UPON DELIVERY. ANY PLANTS DEEMED NOT ACCEPTABLE BY THE OWNERS REPRESENTATIVE SHALL BE REMOVED FROM THE SITE & REPLACED WITH ACCEPTABLE MATERIAL.
- * ANY ADDITIONAL TOPSOIL NEEDED FOR INSTALLING THE TREES & SHRUBS AS PER THE PLANTING DETAIL SHALL BE CONSIDERED INCIDENTAL TO THE PLANT MATERIAL PRICE.
- * TOPSOIL SHALL CONSIST OF A HUMUS-BEARING LOAM ADAPTED TO SUSTAIN VIGOROUS GRASS GROWTH FREE FROM DELETERIOUS MATERIALS W/ A Ph RANGE OF 6.0 TO 7.0. TOPSOIL NOT MEETING THESE REQUIREMENTS SHALL BE AMENDED AT NO ADDITIONAL COST.
- * ANY PLANTS DELIVERED TO THE PROJECT SITE THAT ARE NOT INSTALLED THE SAME DAY SHALL BE "HEALED IN" W/ TOPSOIL, WOOD CHIPS, SHREDDED BARK, OR SAWDUST & ADEQUATELY WATERED UNTIL SUCH TIME THE PLANTS CAN BE INSTALLED.
- * CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING ALL PLANT MATERIAL INCLUDING GRASS OR SOD FOR TWO WEEKS AFTER FINAL ACCEPTANCE OF PROJECT. WATER SHALL BE PROVIDED IN AN ADEQUATE AMOUNT TO SUSTAIN VIGOROUS PLANT GROWTH.



LANDSCAPE PLAN

JOB NO. C6150-001
BOOK NO.
DRAWN BY BJW
CHECKED BY KRO
DATE APRIL 2019
REVISIONS
REFERENCE FILE
DRAWING FILE 00base_6150001

www.cedarcorp.com
800-472-7372

landscape architects • planning • environmental specialists
land surveys • landscape architects • interior designers

Cedar corporation

1695 Bellevue Street
Suite 142
Bellevue, WA 98005
Phone: 206-437-7178
Fax: 206-437-7179

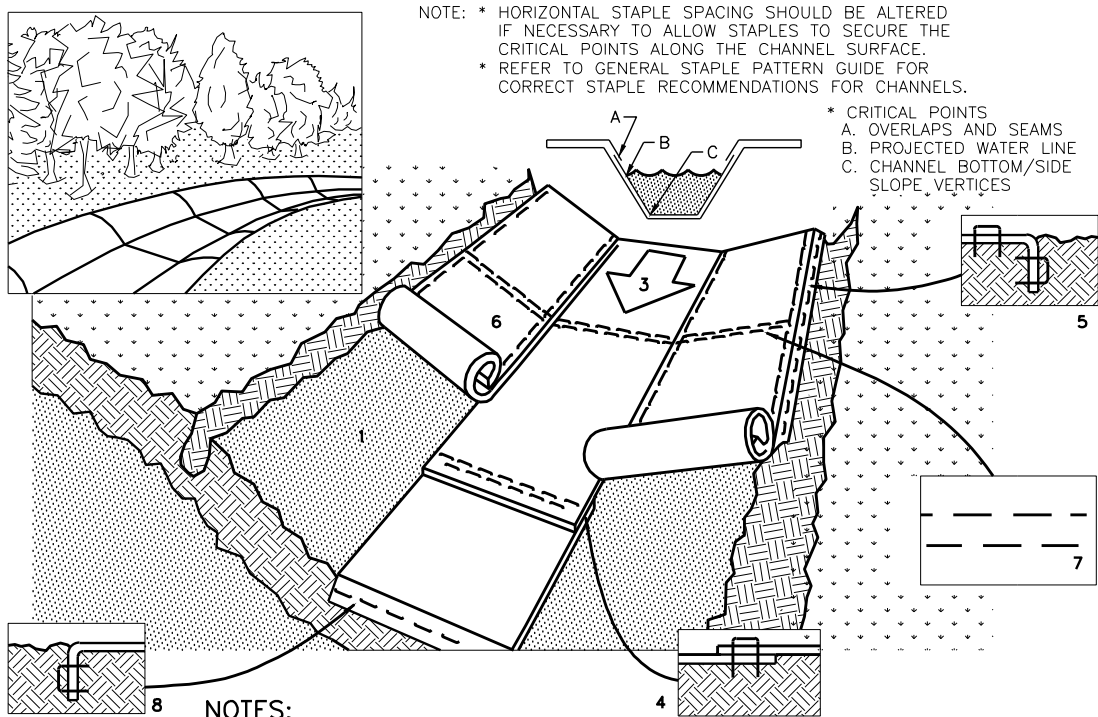
2820 Walton Commons W.
Suite 142
Bellevue, WA 98005
Phone: 206-437-7178
Fax: 206-437-7179

WG1M497 Washington Ave.
Suite 142
Bellevue, WA 98005
Phone: 206-437-7178
Fax: 206-437-7179

CANNERY TRAIL RESIDENCES INC.
OXFORD AVENUE
EAU CLAIRE, WI
LANDSCAPE PLAN

SHEET NO.
9 OF 11

I:\Clients-Memo\C\6150 Cannery Trail Residences Inc\001 Cannery Trail Residences\100 Cad\dwg\00base_6150001(4,30,2019).dwg 06/27/19 5:59:12 PM

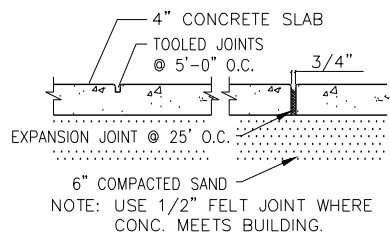


NOTES:

1. PREPARE SOIL BEFORE INSTALLING MATS, INCLUDING APPLICATION OF LIME, FERTILIZER, AND SEED.
 2. BEGIN AT THE TOP OF THE CHANNEL BY ANCHORING THE MAT IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
 3. ROLL CENTER MAT IN DIRECTION OF WATER FLOW ON BOTTOM OF CHANNEL.
 4. PLACE MATS END OVER END (SHINGLE STYLE) WITH A 6" MIN. OVERLAP. USE A DOUBLE ROW OF STAGGERED STAPLES 4" APART TO SECURE MATS.
 5. FULL LENGTH EDGE OF MATS AT TOP OF SIDE SLOPES MUST BE ANCHORED IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
 6. MATS ON SIDE SLOPES MUST BE OVERLAPPED 4" MIN. OVER THE CENTER MAT AND STAPLED (2" FOR C350 MATTING).
 7. IN HIGH FLOW CHANNEL APPLICATIONS, A STAPLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A ROW OF STAPLES 4" APART OVER ENTIRE WIDTH OF THE CHANNEL. PLACE A SECOND ROW 4" BELOW THE FIRST ROW IN A STAGGERED PATTERN.
 8. THE TERMINAL END OF THE MATS MUST BE ANCHORED IN A 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
- NORTH AMERICAN GREEN, USA 1-800-772-2040

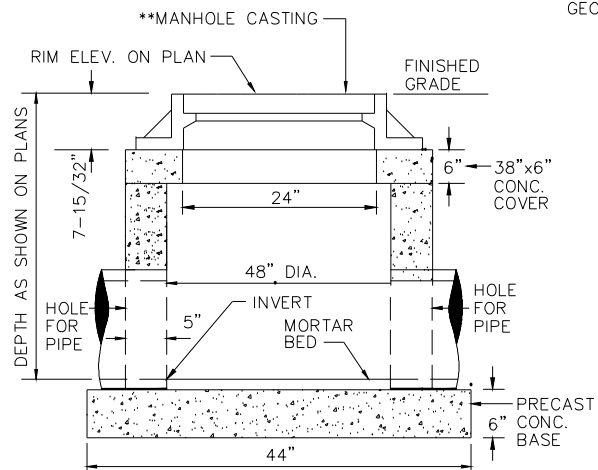
EROSION MAT CHANNEL INSTALLATION

NO SCALE



CONCRETE SIDEWALK, 4"

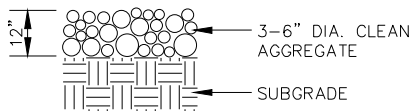
NO SCALE



STORM MANHOLE

NO SCALE

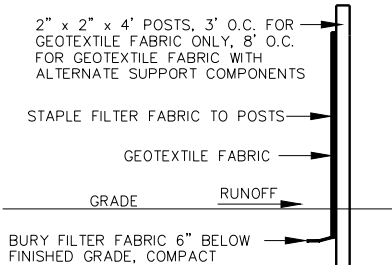
** FOR MANHOLE (MH) STRUCTURES USE NEENAH R-1726-A CASTING OR APPROVED EQUAL



AGGREGATE TRACKING AREA

NO SCALE

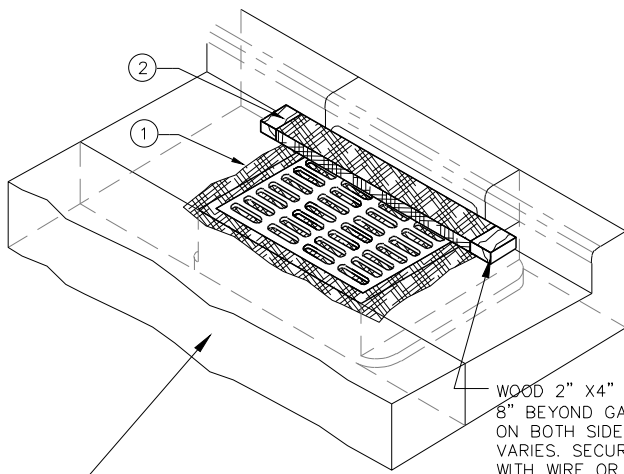
NOTE: REMOVE & REPLACE AGGREGATE WHEN VOIDS BECOME FILLED W/ SEDIMENT OR IF SURFACE OPENINGS BECOME PLUGGED SO THAT TRACKING AREA DOES NOT FUNCTION.



SILT FENCE DETAIL

NO SCALE

NOTES:
* SILT FENCE SHALL BE SUPPLIED & INSTALLED AS PER THE W DOT STANDARD SPECIFICATIONS FOR HIGHWAY & STRUCTURE CONSTRUCTION.



INLET PROTECTION, TYPE C (WITH CURB BOX)

GENERAL NOTES

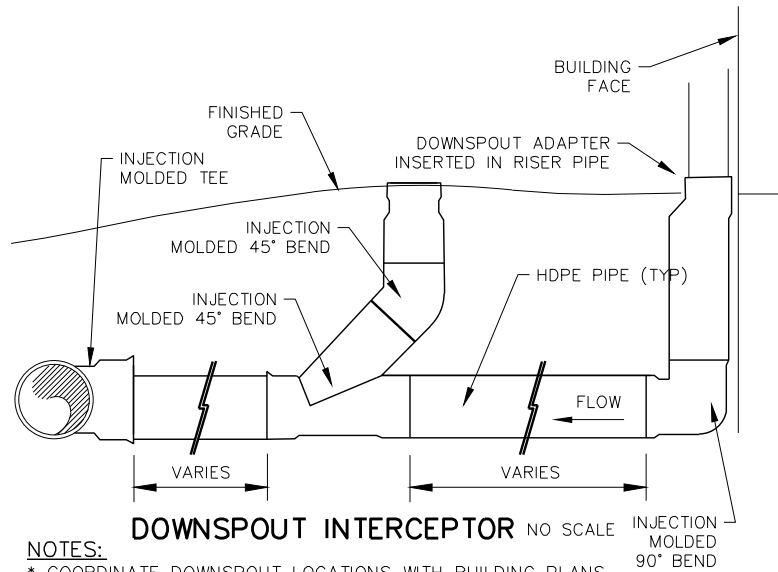
MANUFACTURED ALTERNATIVE APPROVED AND LISTED ON THE DEPARTMENT'S EROSION CONTROL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

1. FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
2. FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.

INSTALLATION NOTES

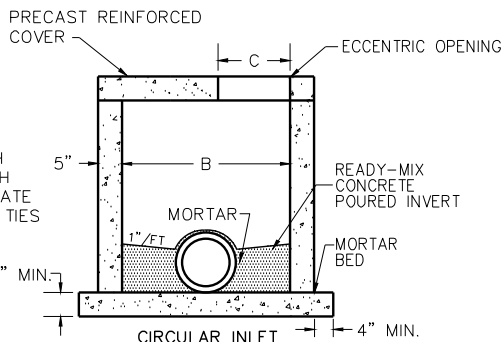
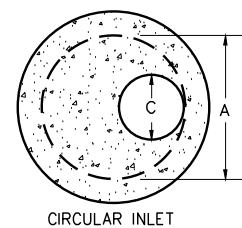
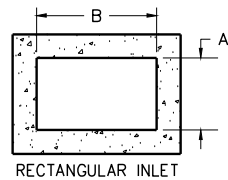
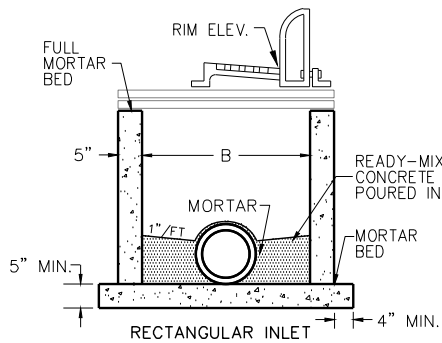
TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE. THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.



DOWNSPOUT INTERCEPTOR

NO SCALE

NOTES:
* COORDINATE DOWNSPOUT LOCATIONS WITH BUILDING PLANS
** WHEN USING HDPE PIPE USE APPROPRIATE TEE CONNECTIONS.



INLET TYPE	A	B	COVER OPENING C
I	2'	2'	-
II	2'	2'-6"	-
III	2'	3'	-
IV	42" DIA.	42" DIA.	27" DIA.
V	27" DIA.	27" DIA.	-

NOTE: STEPS REQUIRED WHEN D > 4'

STORM INLET

NO SCALE

JOB NO. C6150-001
BOOK NO.
DRAWN BY BJW
CHECKED BY KRO
DATE APRIL 2019
REVISIONS
REFERENCE FILE
DRAWING FILE 00base_6150001

www.cedarcorp.com
800-472-7372

Cedar Corporation
landscape architects • planning • environmental specialists
land surveys • landscape architects • interior designers

1695 Bellevue Street
Suite 142
Seattle, WA 98101
Tel: 206-461-9081
Fax: 206-461-9081

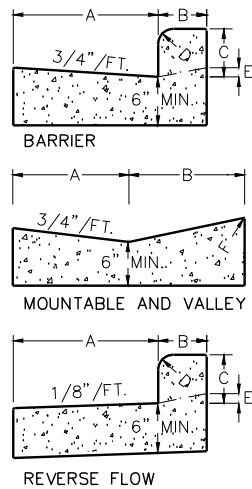
2820 Walton Commons W.
Suite 142
Burien, WA 98148
Tel: 206-837-1718
Fax: 206-837-1718

1695 Bellevue Street
Suite 142
Seattle, WA 98101
Tel: 206-461-9081
Fax: 206-461-9081

CANNERY TRAIL RESIDENCES INC.
OXFORD AVENUE
EAU CLAIRE, WI
CONSTRUCTION DETAILS

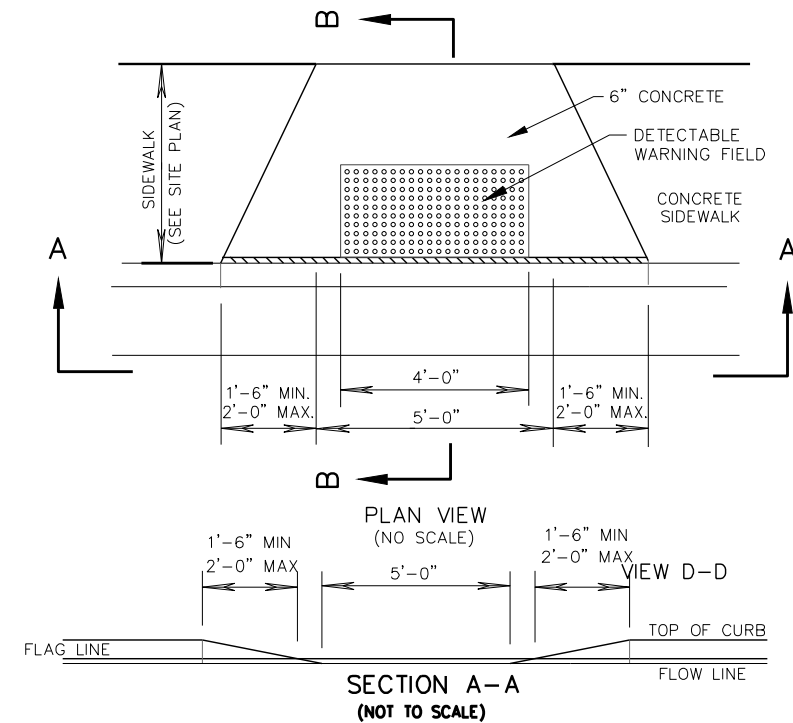
SHEET NO.
10 OF 11

I:\Clients-Memo\C6150 Cannery Trail Residences Inc\001 Cannery Trail Residences\100 Cad\dwg\00base_6150001(4.30.2019).dwg 06/27/19 5:59:29 PM

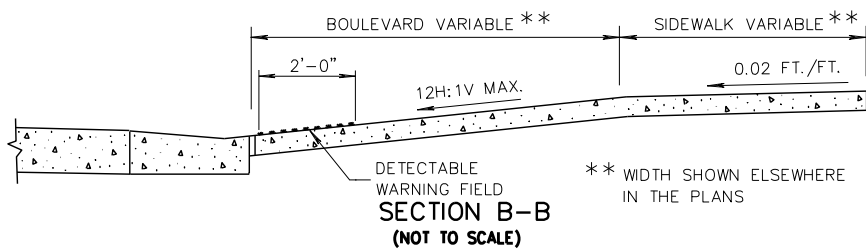


CURB TYPE	A	B	C	D	E	F
BARRIER						
18" B	12"	6"	6"	2"	1.5"	1/2"
24" B	18"	6"	6"	2"	1.5"	1/2"
30" B	24"	6"	6"	2"	1.5"	1/2"
MOUNTABLE						
24" M	12"	12"	-	-	2.50"	1/2"
30" M	18"	12"	-	-	2.75"	1/2"
36" M	24"	12"	-	-	6"	10"
VALLEY GUTTER						
36" V	18"	18"	-	-	1.5"	-
REVERSE FLOW						
24" B	18"	6"	6"	2"	1.5"	1/2"

CONCRETE CURB & GUTTER



SECTION A-A
(NOT TO SCALE)



SECTION B-B
(NOT TO SCALE)

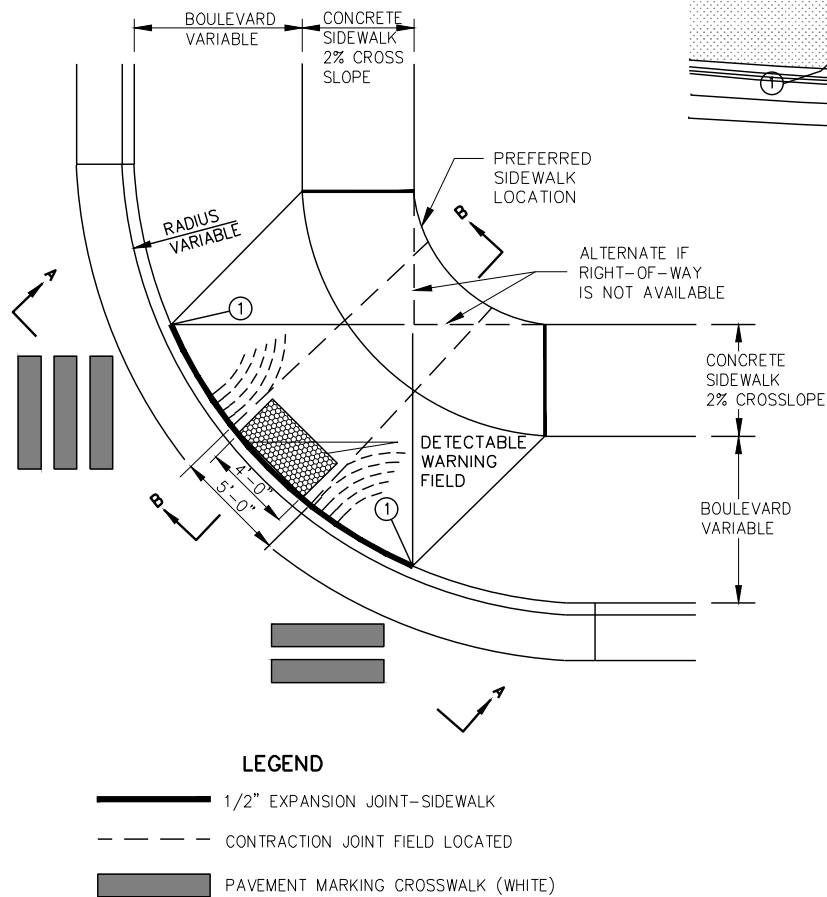
GENERAL NOTES

RAMPS SHALL BE BUILT AT 12H:1V OR FLATTER. WHEN NECESSARY THE SIDEWALK ELEVATION MAY BE LOWERED TO MEET THE HIGH POINT ON THE RAMP. SURFACE TEXTURE OF THE RAMP SHALL BE OBTAINED BY COARSE BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP.

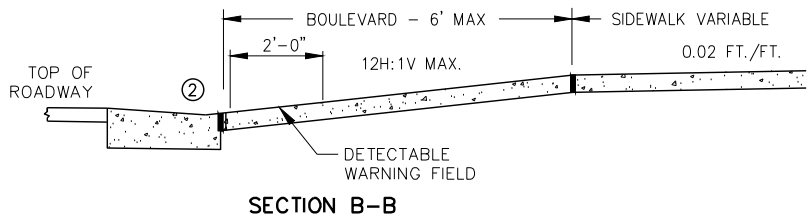
LEGEND

1/2" EXPANSION JOINT-SIDEWALK

PEDESTRIAN RAMP, TYPE A



SECTION A-A



SECTION B-B

GENERAL NOTES

DETAILS OF CONSTRUCTION, MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE SPECIFICATIONS.

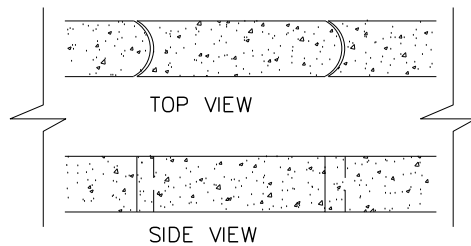
RAMPS SHALL BE BUILT AT 12H:1V OR FLATTER. THE SIDEWALK ELEVATION MAY BE LOWERED TO MEET THE HIGH POINT ON THE RAMP.

TYPE 1 RAMPS SHALL HAVE A NORMAL SIDEWALK APRON AND CURB ON BOTH SIDES OF RAMP.

SURFACE TEXTURE OF THE RAMP SHALL BE OBTAINED BY COARSE BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP.

- THIS POINT IS AN EXTENSION OF OUTSIDE EDGE OF APPROACHING SIDEWALK WHERE IT MEETS THE BACK OF CONCRETE CURB
- GRADE CHANGE BETWEEN GUTTER FLAG SLOPE AND THE CURB RAMP SLOPE SHALL NOT EXCEED 11%. PROVIDE DRAINAGE AWAY FROM CURB RAMP AT GUTTER FLAG INTERFACE.

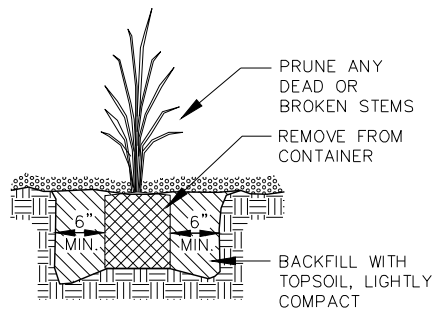
PEDESTRIAN RAMP, TYPE B NO SCALE



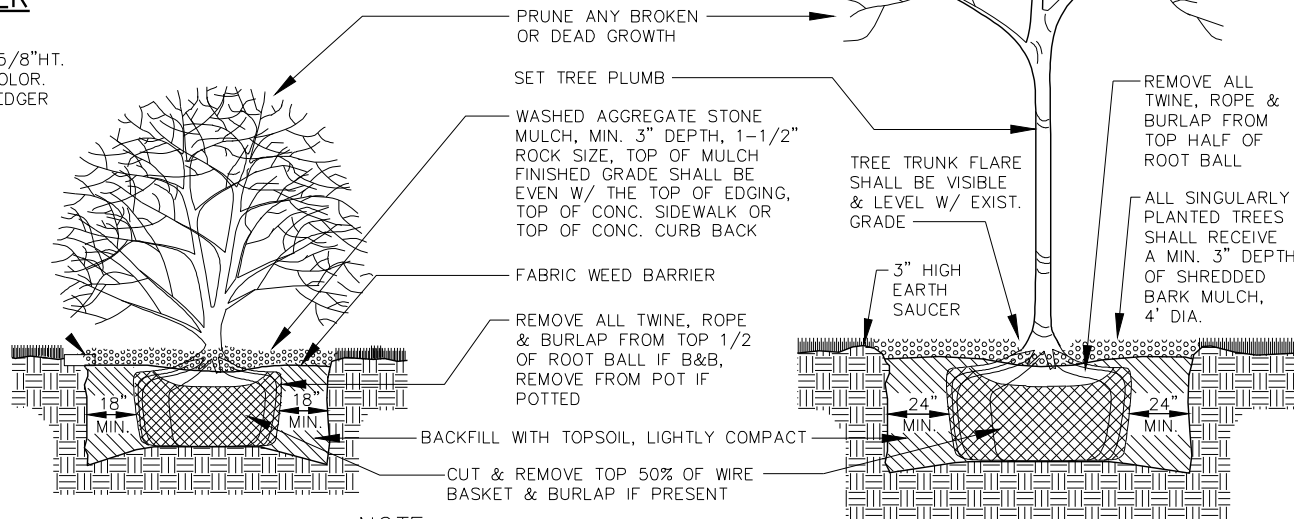
BULLET EDGER
NO SCALE

NOTES:

- BULLET EDGER, 3-5/8"x11-3/4"x3-5/8"HT.
- BULLET EDGER SHALL BE GRAY IN COLOR.
- INSTALL TOP OF CONCRETE BULLET EDGER FLUSH W/ FINISHED GRADE.



PERENNIAL, GRASS & VINE PLANTING DETAIL
NO SCALE



NOTE:

ALL PLANT MATERIAL SHALL BE IN ACCORDANCE WITH ANSI Z60.1, LATEST ADDITION.

TREE & SHRUB PLANTING DETAIL NO SCALE

CONSTRUCTION DETAILS

JOB NO.	C6150-001
BOOK NO.	
DRAWN BY	BJW
CHECKED BY	KRO
DATE	APRIL 2019
REVISIONS	
REFERENCE FILE	
DRAWING FILE	00base_6150001

www.cedarcorp.com
800-472-7372

Cedar Corporation
landscape architects • planning • environmental specialists
land surveys • landscape architects • interior designers

1695 Bellevue Street
Suite 142
Seattle, WA 98101
Phone: 206-461-5311
Fax: 206-461-5312

2820 Walton Commons W.
Suite 142
Burien, WA 98148
Phone: 206-835-9081
Fax: 206-835-9082

1695 Bellevue Street
Suite 142
Seattle, WA 98101
Phone: 206-461-5311
Fax: 206-461-5312

CANNERY TRAIL RESIDENCES INC.
OXFORD AVENUE
EAU CLAIRE, WI
CONSTRUCTION DETAILS

SHEET NO.
11 OF 11