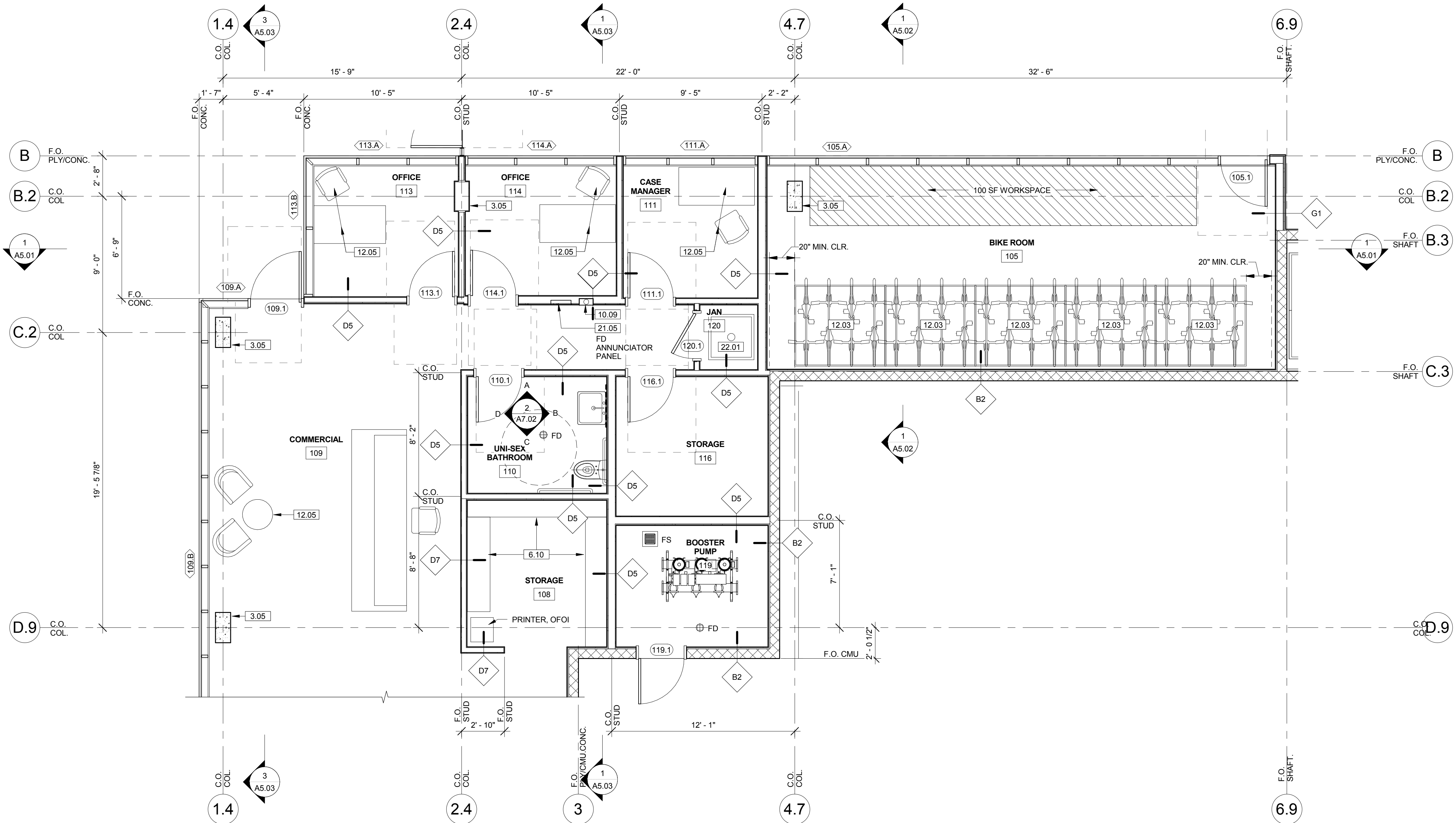


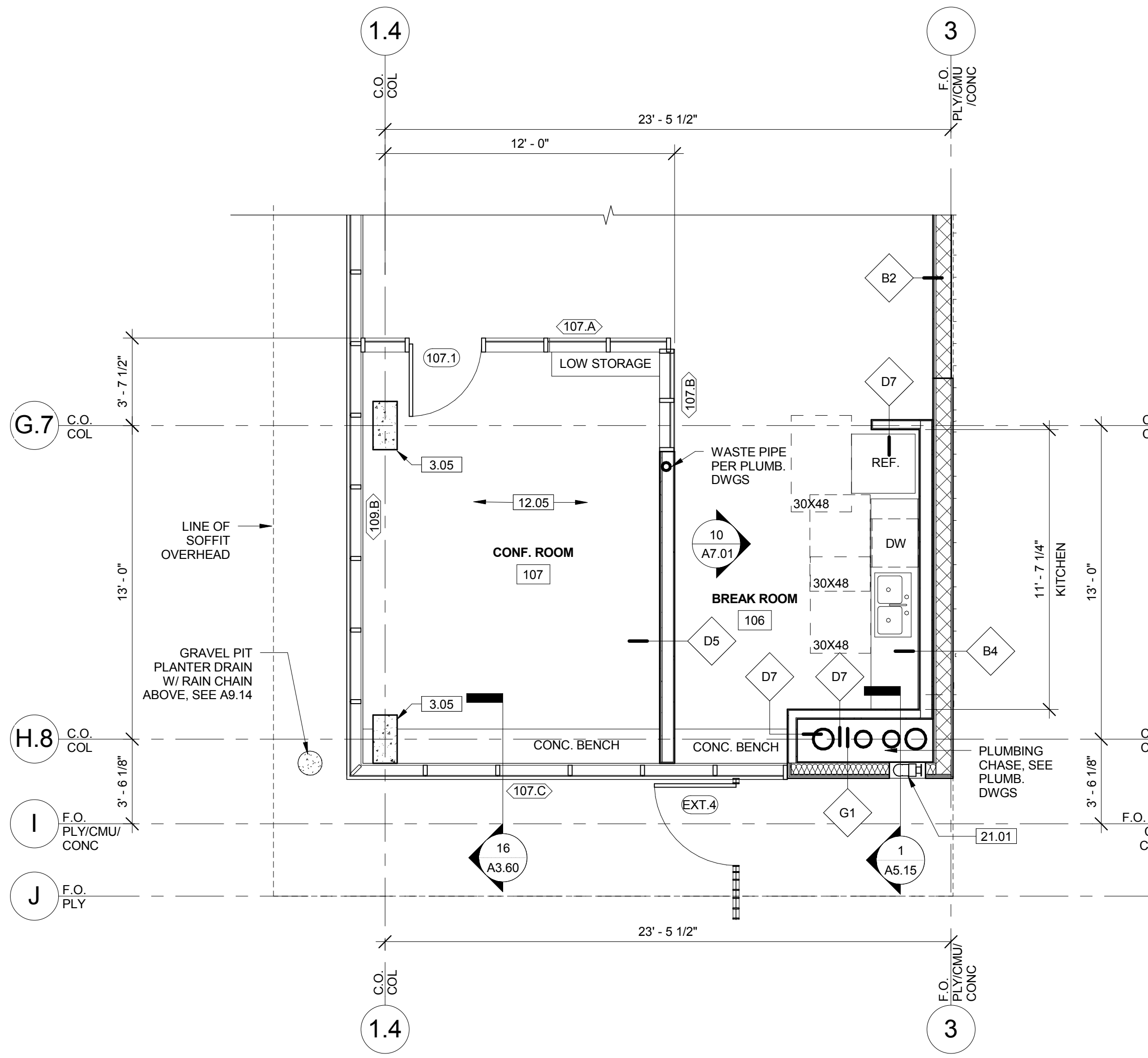
KEYNOTES

NOTE: ITEMS IDENTIFIED ARE TYPICAL TO ALL LIKE ITEMS UNLESS NOTED OTHERWISE	
<b>01 - GENERAL REQUIREMENTS</b>	10.05 SHOWER CURTAIN ROD
<b>02 - NOT USED</b>	10.06 TOWEL BAR
	10.07 ROBE HOOK
	10.08 RECESSED MEDICINE CABINET, W/ FLUSH PAINTED DOOR
<b>03 - CONCRETE</b>	10.09 FIRE EXTINGUISHER, SURFACE MOUNT IN GARAGE, RECESSED CABINET ELSEWHERE
3.01 CONC. SLAB ON GRADE, LIGHT BROOM FINISH AT PARKING GARAGE, TYP.	10.10 RECESSED, EXTERIOR UNIT ENTRY INTERCOM SYSTEM AND MOUNTING HARDWARE
3.02 PRE-CAST CONC. STAIR TREADS/LANDING	10.11 GRAB BAR
3.03 CONC. STRUCT'L SLAB, SLOPE TO DRAIN AT INDICATED AREAS, BUFF FLAT/SMOOTH AND CLEAR SEAL AT LOBBY AND COMMERCIAL SPACES	<b>11 - EQUIPMENT/APPLIANCES (SEE EQMT. SCHEDULE)</b>
3.04 CONC. WALL	11.01 REFRIGERATOR, CFCI
3.05 CONC. COLUMNS	11.02 GAS RANGE/OVEN, CFCI
3.06 CONC. FOUNDATION	11.03 KITCHEN RANGE EXHAUST HOOD, CFCI
3.07 CONC. GUARDRAIL, 3'-7" HIGH	11.04 DISHWASHER, CFCI
3.08 CONC. STAIR/STEPS	11.05 CLOTHES WASHER, OFCI
3.09 6" TALL X 6" U.N.O. WIDE CONC. CURB	11.06 DRYER, OFCI
3.10 CONC. WHEEL STOP	11.07 TRASH CHUTES: LABEL AS 'REFUSE' AND 'RECYCLABLES'
3.11 CONC. PLANTER	<b>12 - FURNISHINGS</b>
<b>04 - MASONRY</b>	12.01 VERTICAL WINDOW SHADE SLATS, WHITE, TYP. @ ALL UNITS
4.01 CMU WALL PER STRUCT'L	12.02 ROLLING WINDOW SHADE, SEE DETAIL
4.02 NON-BEARING CMU WALL W/ 2" CMU CAP @ EXTERIOR LOCATION	12.03 BICYCLE RACKS FOR LONG TERM BIKE STORAGE
<b>05 - METALS</b>	12.04 BICYCLE RACK FOR SHORT TERM BIKE PARKING
5.01 STEEL COLUMN, SEE STRUCTURAL	12.05 FURNITURE, NIC
5.02 STEEL TRELIS, SEE STRUCTURAL	<b>13 - SPECIAL CONSTRUCTION (NOT USED)</b>
5.03 STEEL STAIR CHANNEL STRINGERS/SOLID RISER	<b>14 - CONVEYING EQUIPMENT</b>
5.04 STEEL PIPE HANDRAIL, PAINTED	14.01 THYSSENKRUPP ENDURA HOLELESS HYDRAULIC ELEVATOR, 3,500 LBS, 150 FPM
5.05 5" DIA. CONCRETE FILLED GALV. PIPE BOLLARD PER S&B 31	<b>21 - FIRE SUPPRESSION</b>
5.06 GUARDRAIL, PAINTED, MIN 3'-6" HIGH ABOVE FINISH DECK, SEE DETAILS	21.01 NFPA 13 FIRE SPRINKLER RISER AT EACH STAIR, RECESSED
5.07 2X8 MTL. STUD FURRED PLUMBING	21.02 FIRE SPRINKLER HORIZ. MAIN (SEE DIAGRAM)
5.08 METAL STUD WALL FRAMING, TYP. @ GROUND FLOOR	21.03 ROUND FIRE ALARM BELL, ARCHITECT SHALL APPROVE FINAL LOCATION
<b>06 - WOODS &amp; PLASTIC</b>	21.04 FIRE DEPARTMENT MAIN CONNECTION @ FRONT OF PROJECT, ARCHITECT SHALL APPROVE FINAL LOCATION
6.01 WOOD POST	21.05 FD ANNUNCIATOR PANEL.
6.02 WOOD BEAM/JOIST	<b>22 - PLUMBING</b>
6.03 WOOD WALL FRAMING WITH PLY SHEAR WHERE OCCURS	22.01 VERTICAL SINK
6.04 WOOD TYP. FLOOR JOIST	22.02 KITCHEN SINK/FAUCET
6.05 MIN. 5/8" PLY OVER 2X WIP RIPS FOR ROOF SLOPE AND/OR CRICKET	22.03 LAV. SINK/FAUCET
6.06 RUBBER WALL BASE	22.04 PRE-FAB FIBERGLASS BATHTUB
6.07 SOLID SURFACE COUNTERTOP BY 'LG HI-MACS', BLACK TYP. @ KITCHENS, BATHROOMS, AND LAUNDRY ROOM	22.05 BATH TUB FAUCET
6.08 WOOD WALL BASE, PAINTED	22.06 SHOWER HEAD AND CONTROLS
6.09 WOOD CABINETS: BEECH FACES, SOLID FLAT DOORS, EUROPEAN CONCEALED HINGES AND SELF CLOSE DRAWERS, CASEWORK SHALL BE 'CUSTOM GRADE' FOR MATERIAL, HARDWARE, JOINERY AND INSTALLATION, TYP.	22.07 ULTRA LOW FLOW TOILET
6.10 WOOD MDF SHELF	22.08 BOILER PER PLUMBING DWGS
6.11 WOOD POLE CLOTHES ROD, DOUGLAS FIR, 1-3/8" DIA, PAINTED	22.09 HOT WATER TANK PER PLUMBING DWGS
<b>07 - THERMAL &amp; MOISTURE PROTECTION</b>	22.10 ROOF DRAIN OVERFLOW DAYLIGHT SCUPPER, REFER TO DETAIL 11/A9.02
7.01 DECK COATINGS OVER STRUCTURAL SLAB OR PLYWOOD	22.11 FLOOR DRAIN
7.02 THERMAL BATT. INSULATION, R-21MIN @ WALLS, R-38 MIN @ ROOF	22.12 PLUMBING VENT PIPE
7.03 W.P. MEMBRANE	<b>23 - HEATING, VENTILATING, AND AIR-CONDITIONING</b>
7.04 VAPOR PERMEABLE MEMBRANE AIR BARRIER AT EXTERIOR WALLS, TYP.	23.01 HVAC UNIT PER MECH
7.05 SINGLE-PLY PVC WHITE SHEET ROOFING, FLOOR OR DECK DRAIN	23.02 AIR REGISTER WALL MOUNTED
7.06 SCUPPER	23.03 CEILING AIR REGISTER
7.07 UNDERSLAB MOISTURE VAPOR BARRIER	23.04 KITCHEN HOOD EXHAUST DUCT
7.08 ROOF DRAIN	23.05 ENERGY STAIR RATED BATHROOM EXHAUST FAN PER SPECS
7.09 18 GA. 'BONDERIZED' METAL COPING, PTD, TYP. AT ALL FRAMED PARAPETS	23.06 BATHROOM EXHAUST DUCT
7.10 PLASTER CONTROL JOINT PER DETAIL	23.07 MECH. EXHAUST LOUVER, PER MECH.
<b>08 - OPENINGS (SEE DOOR/WINDOW SCHEDULE)</b>	28.01 ROOF AREA FOR FUTURE SOLAR SYSTEM PER 2018 CBC SECT. 110.10.0(B) PROVIDE CONDUIT TO ROOF FOR FUTURE SOLAR SYSTEM
8.01 VINYL WINDOW, PER SPECS	28.02 FUTURE ELECTRICAL VEHICLE CHARGING STATION
8.02 ALUM. STOREFRONT, PER SPECS.	28.03 ELEC. PANEL PER PLANS & SCHEDULE
8.03 TRANSOM WINDOW, PER SPECS.	28.04 EXTERIOR LIGHT PER SCHEDULE
8.04 ALUM. STOREFRONT DOOR, PER SPECS	28.05 INTERIOR LIGHT PER SCHEDULE
8.05 STL. DOOR & FRAME, PER SPECS.	<b>27 - COMMUNICATION</b>
8.06 SLIDING DOOR, PER SPECS	<b>28 - ELECTRONIC SAFETY AND SECURITY</b>
8.07 SOLID WOOD DOOR, SPEC SPECS	28.01 SMOKE ALARM
8.08 INTERIOR WOOD DOOR, PER SPECS	28.02 SECURITY CAMERA
8.09 CLOSET DOOR, PTD	28.03 FIRE ALARM MAIN PANEL, ARCHITECT SHALL APPROVE FINAL LOCATION
8.10 ACCESS PANEL, COLOR AND MATERIAL SHALL MATCH ADJACENT MATERIAL	<b>31 - EARTHWORK</b>
8.11 DOOR HARDWARE SET PER SCHEDULE	31.01 APPROVED COMPACT FILL PER GEO AND SOIL ENGINEER REPORT
8.12 EXTERIOR WALL LOUVER	<b>32 - EXTERIOR IMPROVEMENTS</b>
8.13 EXTERIOR WALL VENT CAP	32.01 NEW CONCRETE SIDEWALK
<b>09 - FINISHES (SEE FINISH SCHEDULE)</b>	32.02 PARKING STALL STRIPING PER CITY OF LA REQUIREMENTS
9.01 NOT USED	32.03 EPIC STORM WATER SYSTEM, SEE CIVIL
9.02 7/8" PERFORATED CORRUGATED MTL. ALUM. PANELS, PTD.	32.04 STEEL SECURITY GATE, PTD.
9.03 7/8" INTEGRAL COLOR EXT. CEMENT PLASTER OVER MTL. LATH & BUILDING PAPER, SEE ELEVATIONS/DETAILS FOR 'SPARKLE' ADDITIVE AND FURRED SCALLOPING	32.05 STEEL SECURITY FENCE, PTD.
9.04 5/8" TYPE 'X' GYP BOARD, TYP. PROVIDE AS 'EXTERIOR' OR 'WET RATED' AS REQUIRED	32.06 EXTERIOR PLANTER DRAIN
9.05 NOT USED	32.07 MOTORIZED STL. OVERHEAD GATE
9.06 VINYL PLANK FLOORING	32.08 IPE WOOD TILES
9.07 CERAMIC TILE	32.09 TREE, SEE LANDSCAPE DRAWINGS
9.08 GRAFFITI COATING, TYP. @ ALL EXTERIOR SOLID WALLS FROM GRADE UP TO SECOND FLOOR DECK	32.10 PLANTINGS, SEE LANDSCAPE DRAWINGS
9.09 2' X 2' ACOUSTICAL SUSPENDED CEILING SYSTEM	<b>33 - UTILITIES</b>
9.10 SUSPENDED GYP. BOARD CEILING	33.01 WATER METER
<b>10 - SPECIALTIES (SEE SPECS/ACCESSORY SCHEDULE)</b>	33.02 GAS METER, PROTECT W/ BOLLARDS AS REQUIRED
10.01 MIRROR, WALL MOUNTED	33.03 ELECTRIC METERS
10.02 SIGNAGE	33.04 DOMESTIC WATER BACKFLOW PREVENTER
10.03 MAILBOXES, FRONT LOAD, RECESSED, PROVIDE FOR 35 UNITS PLUS 2 COMM. TOILET PAPER ROLL HOLDER	33.05 FIRE-METER BACKFLOW PREVENTER
	33.06 IRRIGATION BACKFLOW PREVENTER
	33.07 ELECTRICAL TRANSFORMER IN UNDERGROUND VAULT
	33.08 SUMP PUMP PER CIVIL



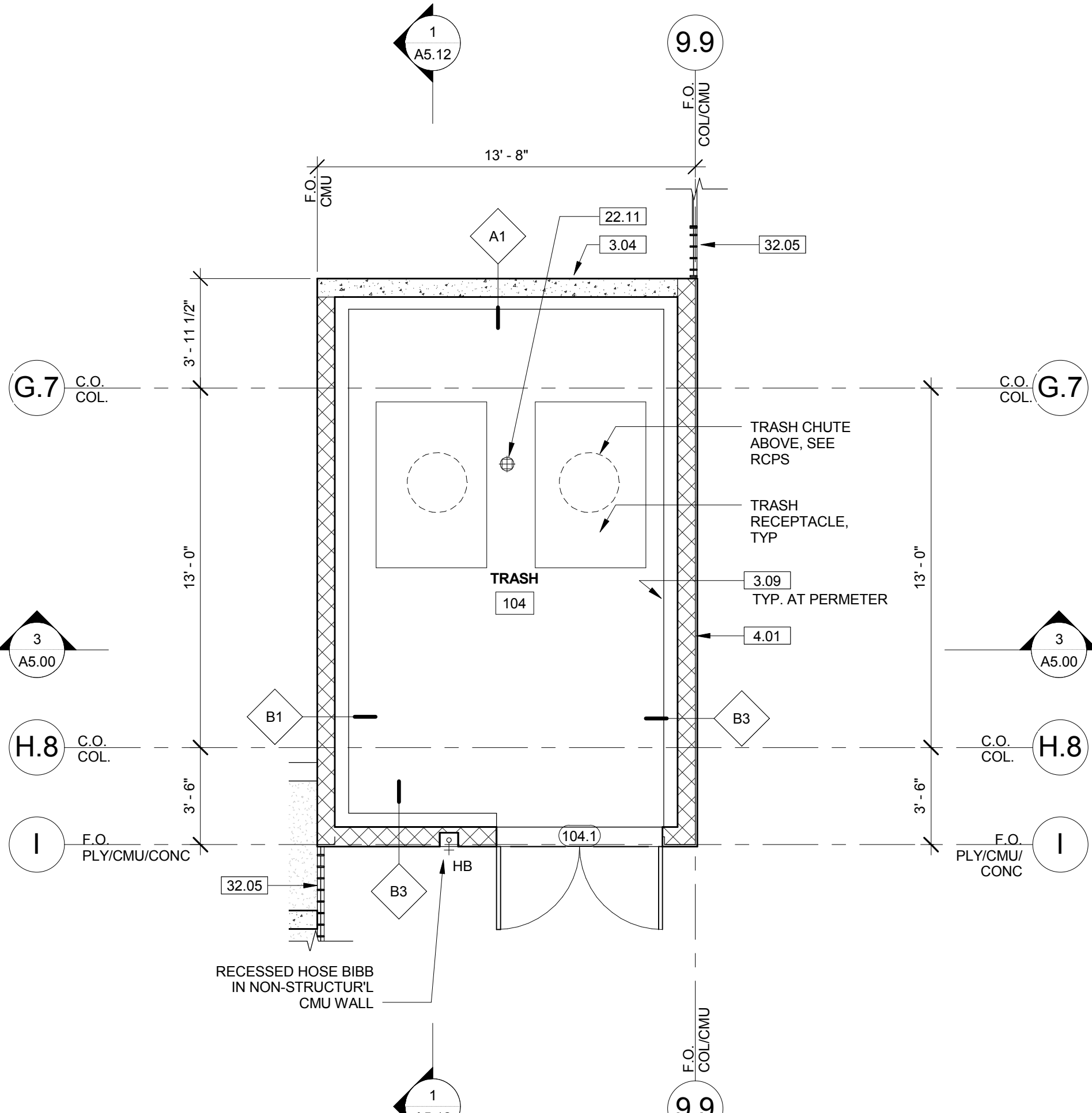
ENLARGED FLOOR PLAN - OFFICES

REF: 1/A3.10 SCALE: 1/4" = 1'-0"



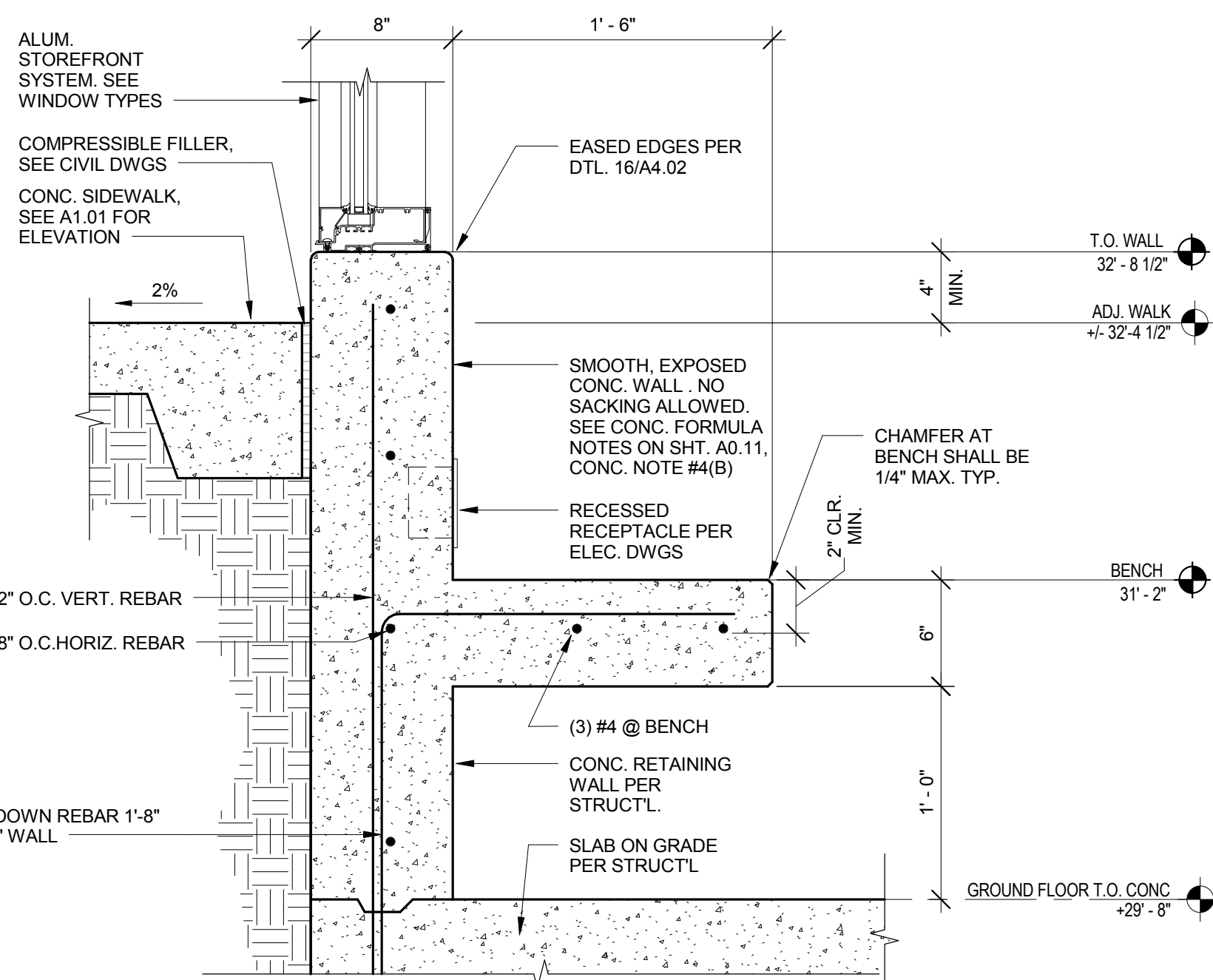
ENLARGED FLOOR PLAN - CONF. & BREAK

REF: 1/A3.10 SCALE: 1/4" = 1'-0"



ENLARGED FLOOR PLAN - TRASH ROOM

REF: 1/A3.10 SCALE: 1/4" = 1'-0"



ENLARGED MILLWORK SECTION AT BREAK ROOM BENCH

REF: 9/A3.60 SCALE: 1 1/2" = 1'-0"

CONCEPTUAL DESIGN	2017-12-01
SCHEMATIC DESIGN	2018-05-10
DESIGN DEVELOPMENT	2018-06-29
50% CONSTRUCTION DOCUMENTS	2018-12-14
PLAN CHECK SUBMITTAL (95% CDS)	2019-03-05
PERMIT SET	
BID ISSUE	
CONSTRUCTION ISSUE	

720 ROSE AVE.  
MIXED-USED 35 UNITS

**BROOKS  
SCARPA**

REVISIONS:

SHEET TITLE:  
ENLARGED PLANS

SCALE:  
DATE PRINTED:  
As indicated  
2/28/2019 4:38:10 PM

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

BROOKS SCARPA ARCHITECTURE  
3929 W. 139TH STREET  
HAWTHORNE, CA. 90250  
t: 323.596.4700  
f: 310.453.9606

A3.60