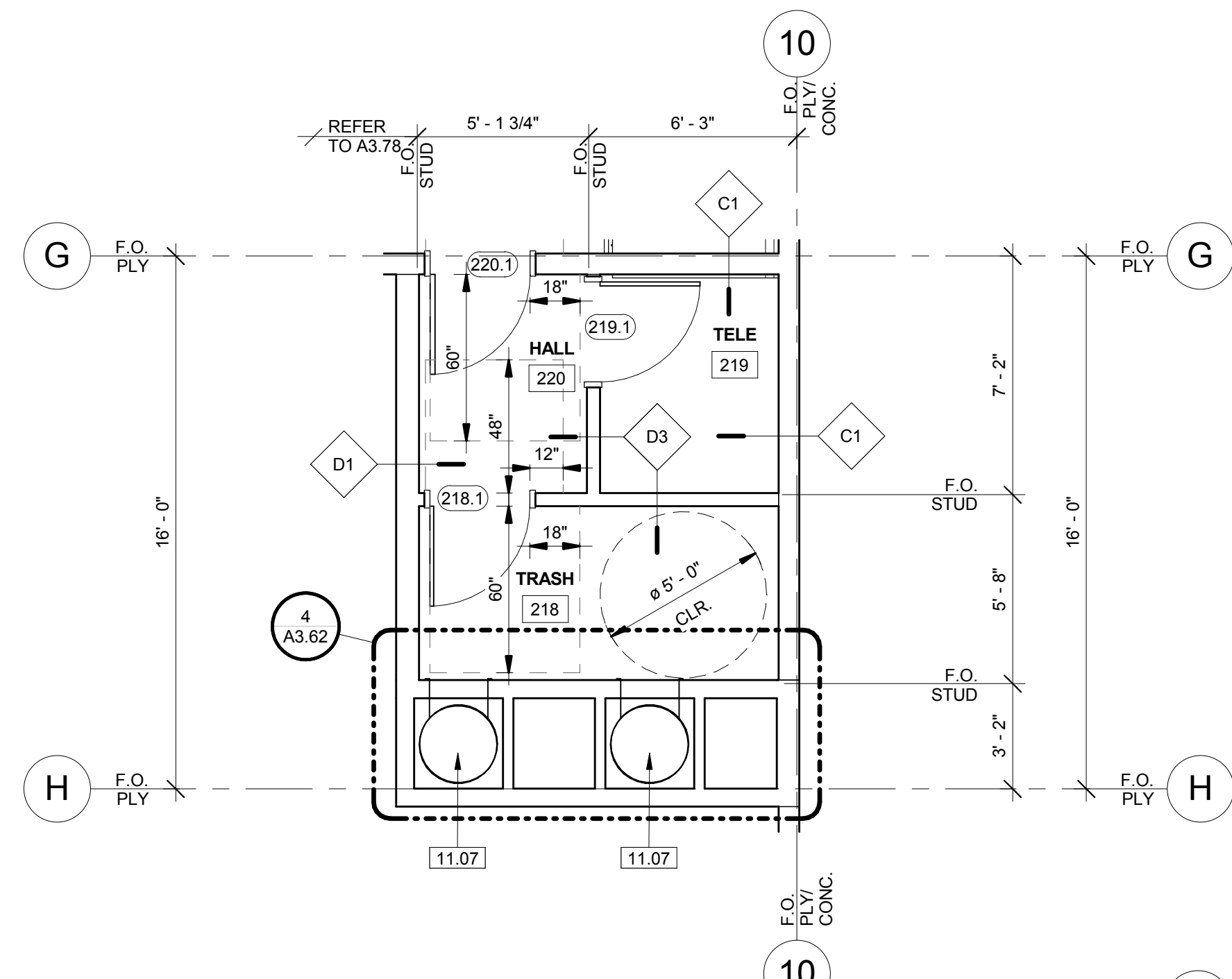
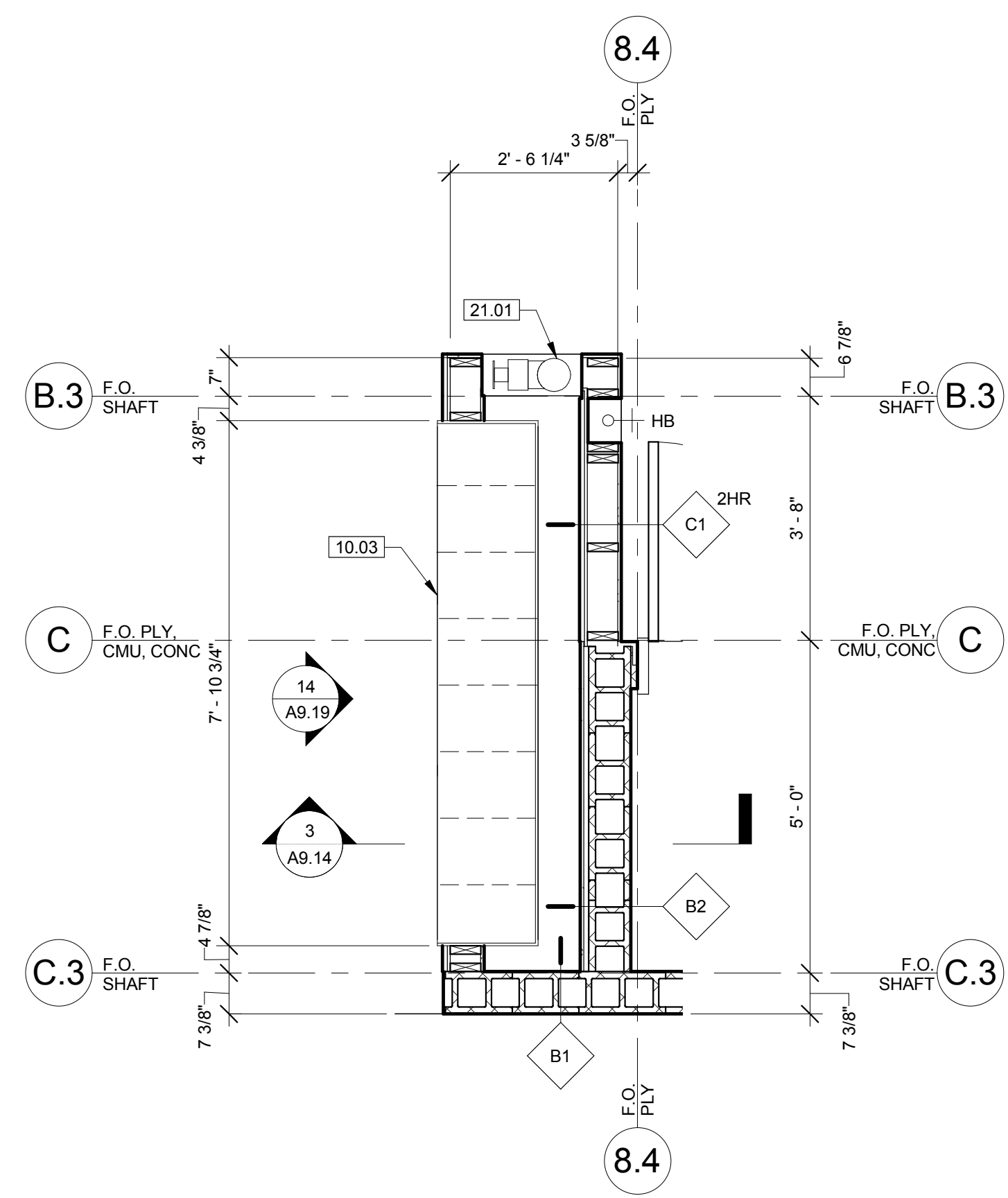


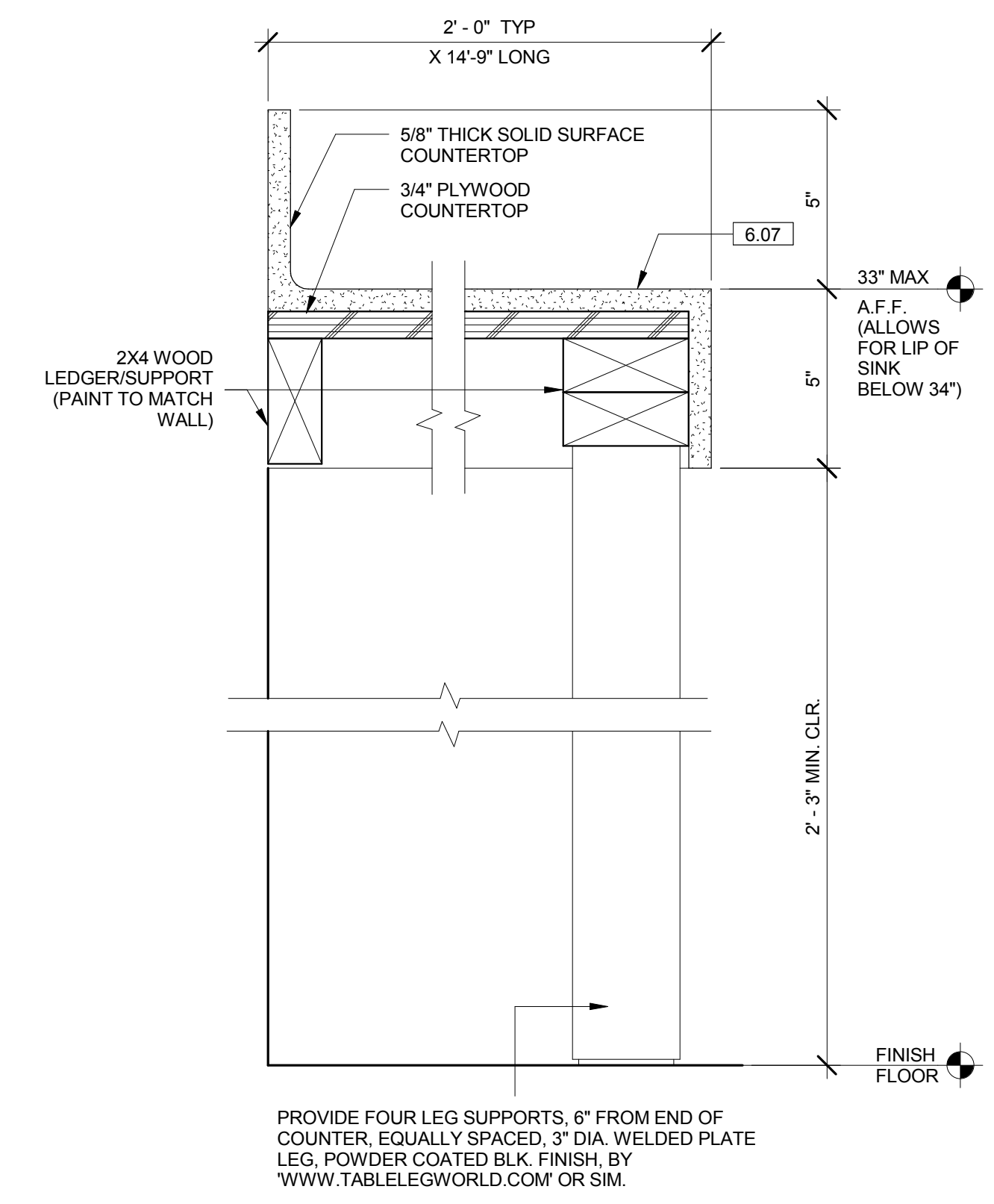
ENLARGED PLAN - TRASH CHUTE
REF : 3/A3.62 SCALE: 1/2" = 1'-0"



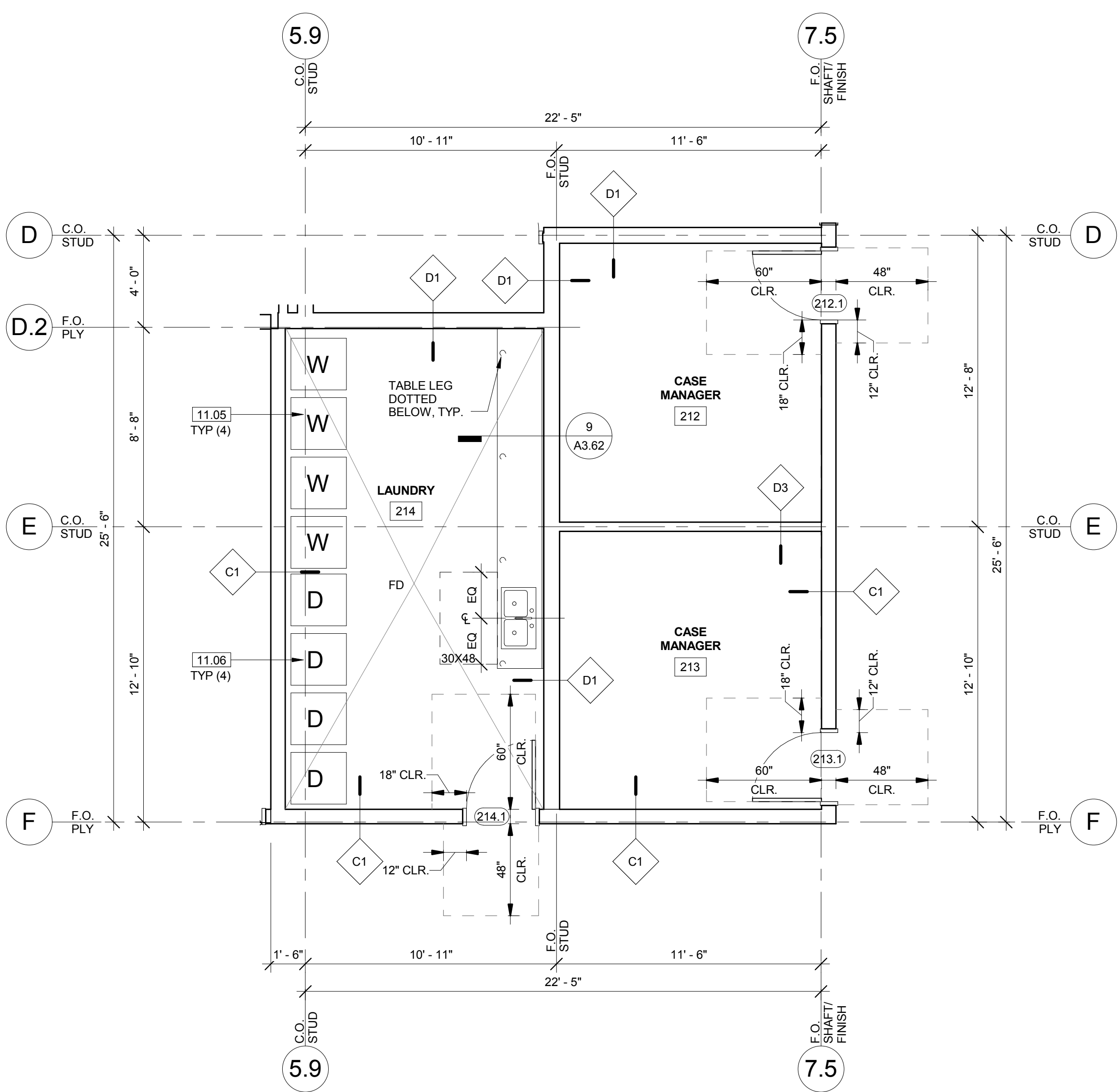
ENLARGED FLOOR PLAN - TRASH & TELE
REF : 1/A3.20, 1/A3.30, 1/A3.40 SCALE: 1/4" = 1'-0"



ENLARGED PLAN AT MAILBOXES
REF : 1/A3.10 SCALE: 1/2" = 1'-0"



LAUNDRY ROOM COUNTER
REF : 1/A3.62 SCALE: 3" = 1'-0"



ENLARGED PLAN - CASE MANAGER & LAUNDRY
REF : 1/A3.20 SCALE: 1/4" = 1'-0"

KEYNOTES

NOTE: ITEMS IDENTIFIED ARE TYPICAL TO ALL LIKE ITEMS UNLESS NOTED OTHERWISE

- 01 - GENERAL REQUIREMENTS**
- 02 - NOT USED**
- 03 - CONCRETE**
 - 3.01 CONC. SLAB ON GRADE, LIGHT BROOM FINISH AT PARKING GARAGE, TYP.
 - 3.02 PRE-CAST CONC. STAIR TREADS/LANDING
 - 3.03 CONC. STRUCT'L SLAB, SLOPE TO DRAIN AT INDICATED AREAS, BUFF FLAT/SMOOTH AND CLEAR SEAL AT LOBBY AND COMMERCIAL SPACES
 - 3.04 CONC. WALL
 - 3.05 CONC. COLUMNS
 - 3.06 CONC. FOUNDATION
 - 3.07 CONC. GUARDRAIL, 3'-7" HIGH
 - 3.08 CONC. STAIR/STEPS
 - 3.09 6" TALL X 6" U.N.O. WIDE CONC. CURB
 - 3.10 CONC. WHEEL STOP
 - 3.11 CONC. PLANTER
- 04 - MASONRY**
 - 4.01 CMU WALL PER STRUCT'L
 - 4.02 NON-BEARING CMU WALL W/ 2" CMU CAP @ EXTERIOR LOCATION
- 05 - METALS**
 - 5.01 STEEL COLUMN, SEE STRUCTURAL
 - 5.02 STEEL TRELLIS, SEE STRUCTURAL
 - 5.03 STEEL STAIR CHANNEL STRINGERS/SOLID RISER
 - 5.04 STEEL PIPE HANDRAIL, PAINTED
 - 5.05 5" DIA. CONCRETE FILLED GALV. PIPE BOLLARD PER 9A9.31
 - 5.06 GUARDRAIL, PAINTED, MIN 3'-6" HIGH ABOVE FINISH DECK, SEE DETAILS
 - 5.07 2X6 MTL. STUD FURRED PLUMBING WALL
 - 5.08 METAL STUD WALL FRAMING, TYP. @ GROUND FLOOR
- 06 - WOODS & PLASTIC**
 - 6.01 WOOD POST
 - 6.02 WOOD BEAM/JOIST
 - 6.03 WOOD WALL FRAMING WITH PLY SHEAR WHERE OCCURS
 - 6.04 WOOD TYP. FLOOR JOIST
 - 6.05 MIN. 5/8" PLY OVER 2X WD RIP STRIPS FOR ROOF SLOPE AND/OR CRICKET
 - 6.06 RUBBER WALL BASE
 - 6.07 SOLID SURFACE COUNTERTOP BY 'LG HI-MACS', BLACK TYP. @ KITCHENS, BATHROOMS, AND LAUNDRY ROOM
 - 6.08 WOOD WALL BASE, PAINTED
 - 6.09 WOOD CABINETS: BEECH FACES, SOLID FLAT DOORS, EUROPEAN CONCEALED HINGES AND SELF CLOSE DRAWERS. CASEWORK SHALL BE 'CUSTOM GRADE' FOR MATERIAL, HARDWARE, JOINERY AND INSTALLATION, TYP.
 - 6.10 WOOD MDF SHELF
 - 6.11 WOOD POLE CLOTHES ROD, DOUGLAS FIR, 1-3/8" DIA, PAINTED
- 07 - THERMAL & MOISTURE PROTECTION**
 - 7.01 DECK COATINGS OVER STRUCTURAL SLAB OR PLYWOOD
 - 7.02 THERMAL BATT INSULATION, R-21MIN @ WALLS, R-38 MIN @ ROOF
 - 7.03 W.P. MEMBRANE
 - 7.04 VAPOR PERMEABLE MEMBRANE AIR BARRIER AT EXTERIOR WALLS, TYP.
 - 7.05 SINGLE-PLY PVC WHITE SHEET ROOFING, FLOOR OR DECK DRAIN
 - 7.06 SCUPPER
 - 7.07 UNDERSLAB MOISTURE VAPOR BARRIER
 - 7.08 ROOF DRAIN
 - 7.09 18 GA. 'BONDERIZED' METAL COPING, PTD. TYP. AT ALL FRAMED PARAPETS
 - 7.11 PLASTER CONTROL JOINT PER DETAIL
- 08 - OPENINGS (SEE DOOR/WINDOW SCHEDULE)**
 - 8.01 VINYL WINDOW, PER SPECS
 - 8.02 ALUM. STOREFRONT, PER SPECS.
 - 8.03 TRANSOM WINDOW, PER SPECS.
 - 8.04 ALUM. STOREFRONT DOOR, PER SPECS
 - 8.05 STL. DOOR & FRAME, PER SPECS.
 - 8.06 SLIDING DOOR, PER SPECS
 - 8.07 SOLID WOOD DOOR, SPEC SPECS
 - 8.08 INTERIOR WOOD DOOR, PER SPECS
 - 8.09 CLOSET DOOR, PTD.
 - 8.10 ACCESS PANEL, COLOR AND MATERIAL SHALL MATCH ADJACENT MATERIAL
 - 8.11 DOOR HARDWARE SET PER SCHEDULE
 - 8.12 EXTERIOR WALL LOUVER
 - 8.13 EXTERIOR WALL VENT CAP
- 09 - FINISHES (SEE FINISH SCHEDULE)**
 - 9.01 NOT USED
 - 9.02 7/8" PERFORATED CORRUGATED MTL. ALUM. PANELS, PTD.
 - 9.03 7/8" INTEGRAL COLOR EXT. CEMENT PLASTER OVER MTL. LATH & BUILDING PAPER. SEE ELEVATIONS/DETAILS FOR 'SPARKLE' ADDITIVE AND FURRED SCALLOPING
 - 9.04 5/8" TYPE 'X' GYP BOARD, TYP. PROVIDE AS 'EXTERIOR' OR 'WET RATED' AS REQUIRED
 - 9.05 NOT USED
 - 9.06 VINYL PLANK FLOORING
 - 9.07 CERAMIC TILE
 - 9.08 GRAFFITI COATING, TYP. @ ALL EXTERIOR SOLID WALLS FROM GRADE UP TO SECOND FLOOR DECK
 - 9.09 2" X 2" ACOUSTICAL SUSPENDED CEILING SYSTEM
 - 9.10 SUSPENDED GYP. BOARD CEILING
- 10 - SPECIALTIES (SEE SPECS/ACCESSORY SCHEDULE)**
 - 10.01 MIRROR, WALL MOUNTED
 - 10.02 SIGNAGE
 - 10.03 MAILBOXES, FRONT LOAD, RECESSED. PROVIDE FOR 35 UNITS PLUS 2 COMM. TOILET PAPER ROLL HOLDER
- 10.05 SHOWER CURTAIN ROD
- 10.06 TOWEL BAR
- 10.07 ROBE HOOK
- 10.08 RECESSED MEDICINE CABINET, W/ FLUSH PAINTED DOOR
- 10.09 FIRE EXTINGUISHER, SURFACE MOUNT IN GARAGE, RECESSED CABINET ELSEWHERE
- 10.10 RECESSED, EXTERIOR UNIT ENTRY INTERCOM SYSTEM AND MOUNTING HARDWARE
- 10.11 GRAB BAR
- 11 - EQUIPMENT/APPLIANCES (SEE EQMT. SCHEDULE)**
 - 11.01 REFRIGERATOR, CFCI
 - 11.02 GAS RANGE/OVEN, CFCI
 - 11.03 KITCHEN RANGE EXHAUST HOOD, CFCI
 - 11.04 DISHWASHER, CFCI
 - 11.05 CLOTHES WASHER, OFCI
 - 11.06 DRYER, OFCI
 - 11.07 TRASH CHUTES: LABEL AS 'REFUSE' AND 'RECYCLABLES'
- 12 - FURNISHINGS**
 - 12.01 VERTICAL WINDOW SHADE SLATS, WHITE, TYP. @ ALL UNITS
 - 12.02 ROLLING WINDOW SHADE, SEE DETAIL
 - 12.03 BICYCLE RACKS FOR LONG TERM BIKE STORAGE
 - 12.04 BICYCLE RACK FOR SHORT TERM BIKE PARKING
 - 12.05 FURNITURE, NMC
- 13 - SPECIAL CONSTRUCTION (NOT USED)**
- 14 - CONVEYING EQUIPMENT**
 - 14.01 THYSSENKRUPP ENDURA HOLELESS HYDRAULIC ELEVATOR, 5,500 LBS., 150 FPM
- 21 - FIRE SUPPRESSION**
 - 21.01 NFPA 13 FIRE SPRINKLER RISER AT EACH STAIR, RECESSED
 - 21.02 FIRE SPRINKLER HORIZ. MAIN (SEE DIAGRAM)
 - 21.03 ROUND FIRE ALARM BELL, ARCHITECT SHALL APPROVE FINAL LOCATION
 - 21.04 FIRE DEPARTMENT MAIN CONNECTION @ FRONT OF PROJECT, ARCHITECT SHALL APPROVE FINAL LOCATION
 - 21.05 FD ANNUNCIATOR PANEL.
- 22 - PLUMBING**
 - 22.01 MOP SINK
 - 22.02 KITCHEN SINK/FAUCET
 - 22.04 PRE-FAB FIBERGLASS BATHTUB
 - 22.05 BATH TUB FAUCET
 - 22.06 SHOWER HEAD AND CONTROLS
 - 22.07 ULTRA LOW FLOW TOILET
 - 22.08 BOILER PER PLUMBING DWGS
 - 22.09 HOT WATER TANK PER PLUMBING DWGS
 - 22.10 ROOF DRAIN OVERFLOW DAYLIGHT SCUPPER, REFER TO DETAIL 11/A9.02
 - 22.11 FLOOR DRAIN
 - 22.12 PLUMBING VENT PIPE
- 23 - HEATING, VENTILATING, AND AIR-CONDITIONING**
 - 23.01 HVAC UNIT PER MECH
 - 23.02 AIR REGISTER WALL MOUNTED
 - 23.03 CEILING AIR REGISTER
 - 23.04 KITCHEN HOOD EXHAUST DUCT
 - 23.05 ENERGY STAIR RATED BATHROOM EXHAUST FAN PER SPECS
 - 23.06 BATHROOM EXHAUST DUCT
 - 23.07 MECH. EXHAUST LOUVER, PER MECH.
- 26 - ELECTRICAL**
 - 26.01 ROOF AREA FOR FUTURE SOLAR SYSTEM PER 2018 CBC SECT. 110.10.01B PROVIDE CONDUIT TO ROOF FOR FUTURE SOLAR SYSTEM
 - 26.02 FUTURE ELECTRICAL VEHICLE CHARGING STATION
 - 26.03 ELEC. PANEL PER PLANS & SCHEDULE
 - 26.04 EXTERIOR LIGHT PER SCHEDULE
 - 26.05 INTERIOR LIGHT PER SCHEDULE
- 27 - COMMUNICATION**
- 28 - ELECTRONIC SAFETY AND SECURITY**
 - 28.01 SMOKE ALARM
 - 28.02 SECURITY CAMERA
 - 28.03 FIRE ALARM MAIN PANEL, ARCHITECT SHALL APPROVE FINAL LOCATION
- 31 - EARTHWORK**
 - 31.01 APPROVED COMPACT FILL PER GEO AND SOIL ENGINEER REPORT
- 32 - EXTERIOR IMPROVEMENTS**
 - 32.01 NEW CONCRETE SIDEWALK
 - 32.02 PARKING STALL STRIPING PER CITY OF LA REQUIREMENTS
 - 32.03 EPIC STORM WATER SYSTEM, SEE CIVIL
 - 32.04 STEEL SECURITY GATE, PTD.
 - 32.05 STEEL SECURITY FENCE, PTD.
 - 32.06 EXTERIOR PLANTER DRAIN
 - 32.07 MOTORIZED STL. OVERHEAD GATE REQUIRED
 - 32.08 IPE WOOD TILES
 - 32.09 TREE, SEE LANDSCAPE DRAWINGS
 - 32.10 PLANTINGS, SEE LANDSCAPE DRAWINGS
- 33 - UTILITIES**
 - 33.01 WATER METER
 - 33.02 GAS METER, PROTECT W/ BOLLARDS AS REQUIRED
 - 33.03 ELECTRIC METERS
 - 33.04 DOMESTIC WATER BACKFLOW PREVENTER
 - 33.05 FIRE METER BACKFLOW PREVENTER
 - 33.06 IRRIGATION BACKFLOW PREVENTER
 - 33.07 ELECTRICAL TRANSFORMER IN UNDERGROUND VAULT
 - 33.08 SUMP PUMP PER CIVIL

CONCEPTUAL DESIGN	2017-12-01
SCHEMATIC DESIGN	2018-05-10
DESIGN DEVELOPMENT	2018-06-29
50% CONTRUCTION DOCUMENTS	2018-12-14
PLAN CHECK SUBMITTAL (95% CDS)	2019-03-05
PERMIT SET	
BID ISSUE	
CONSTRUCTION ISSUE	

720 ROSE AVE.
MIXED-USED 35 UNITS

BROOKS
SCARPA

+

REVISIONS:

SHEET TITLE:
ENLARGED PLANS

SCALE:
DATE PRINTED:

As indicated
2/28/2019 4:39:53 PM

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PROJECT NUMBER: 01712.0

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