

KEYNOTES

NOTE: ITEMS IDENTIFIED ARE TYPICAL TO ALL LIKE ITEMS UNLESS NOTED OTHERWISE

<b>01 - GENERAL REQUIREMENTS</b>	10.05 SHOWER CURTAIN ROD
	10.06 TOWEL BAR
	10.07 ROBE HOOK
	10.08 RECESSED MEDICINE CABINET, W/ FLUSH PAINTED DOOR
<b>02 - NOT USED</b>	10.09 FIRE EXTINGUISHER, SURFACE MOUNT IN GARAGE, RECESSED CABINET ELSEWHERE
<b>03 - CONCRETE</b>	10.10 RECESSED EXTERIOR UNIT ENTRY INTERCOM SYSTEM AND MOUNTING
3.01 CONC. SLAB ON GRADE, LIGHT BROOM FINISH AT PARKING GARAGE, TYP.	10.11 GRAB BAR
3.02 PRE-CAST CONC. STAIR TREADS/LANDING	<b>11 - EQUIPMENT/APPLIANCES (SEE EQMT. SCHEDULE)</b>
3.03 CONC. STRUCT'L SLAB, SLOPE TO DRAIN AT INDICATED AREAS, BUFF FLAT/SMOOTH AND CLEAR SEAL AT LOBBY AND COMMERCIAL SPACES	11.01 REFRIGERATOR, CFCI
3.04 CONC. WALL	11.02 GAS RANGE/OVEN, CFCI
3.05 CONC. COLUMNS	11.03 KITCHEN RANGE EXHAUST HOOD, CFCI
3.06 CONC. FOUNDATION	11.04 DISHWASHER, CFCI
3.07 CONC. GUARDRAIL, 3'-7" HIGH	11.05 CLOTHES WASHER, OFCI
3.08 CONC. STAIR/STEPS	11.06 DRYER, OFCI
3.09 6" TALL X 6" U.N.O. WIDE CONC. CURB	11.07 TRASH CHUTES: LABEL AS 'REFUSE' AND 'RECYCLABLES'
3.10 CONC. WHEEL STOP	<b>12 - FURNISHINGS</b>
3.11 CONC. PLANTER	12.01 VERTICAL WINDOW SHADE SLATS, WHITE, TYP. @ ALL UNITS
<b>04 - MASONRY</b>	12.02 ROLLING WINDOW SHADE, SEE DETAIL
4.01 CMU WALL PER STRUCT'L	12.03 BICYCLE RACKS FOR LONG TERM BIKE STORAGE
4.02 NON-BEARING CMU WALL W/ 2" CMU CAP @ EXTERIOR LOCATION	12.04 BICYCLE RACK FOR SHORT TERM BIKE PARKING
<b>05 - METALS</b>	12.05 FURNITURE, N/C
5.01 STEEL COLUMN, SEE STRUCTURAL	<b>13 - SPECIAL CONSTRUCTION (NOT USED)</b>
5.02 STEEL TRESSIS, SEE STRUCTURAL	
5.03 STEEL STAIR CHANNEL STRINGERS/SOLID RISER	<b>14 - CONVEYING EQUIPMENT</b>
5.04 STEEL PIPE HANDRAIL, PAINTED	14.01 THYSSENKRUPP ENDURA HOLELESS HYDRAULIC ELEVATOR, 3,000 LBS., 150 FPM
5.05 5" DIA. CONCRETE FILLED GALV. PIPE BOLLARD PER 9/49.31	<b>21 - FIRE SUPPRESSION</b>
5.06 GUARDRAIL, PAINTED, MIN 3'-6" HIGH ABOVE FINISH DECK, SEE DETAILS	21.01 NFPA 13 FIRE SPRINKLER RISER AT EACH STAIR, RECESSED
5.07 2X8 MTL. STAIR FURRED PLUMBING WALL	21.02 FIRE SPRINKLER HORIZ. MAIN (SEE DIAGRAM)
5.08 METAL STUD WALL FRAMING, TYP. @ GROUND FLOOR	21.03 ROLLING FIRE ALARM BELL, ARCHITECT SHALL APPROVE FINAL LOCATION
<b>06 - WOODS &amp; PLASTIC</b>	21.04 FIRE DEPARTMENT MAIN CONNECTION @ FRONT OF PROJECT, ARCHITECT SHALL APPROVE FINAL LOCATION
6.01 WOOD POST	21.05 FD ANNUNCIATOR PANEL
6.02 WOOD BEAMJOIST	<b>22 - PLUMBING</b>
6.03 WOOD WALL FRAMING WITH PLY SHEAR WHERE OCCURS	22.01 MCP-SINK
6.04 WOOD T/J IF FLOOR JOIST	22.02 KITCHEN SINK/FAUCET
6.05 MIN. 5/8" PLY OVER 2X WIP RIP STRIPS FOR ROOF SLOPE AND/OR CRICKET	22.03 LAV. SINK/FAUCET
6.06 RUBBER WALL BASE	22.04 PRE-FAB FIBERGLASS BATHTUB
6.07 SOLID SURFACE COUNTERTOP BY 'LG H-MACS', BLACK TYP. @ KITCHENS, BATHROOMS, AND LAUNDRY ROOM	22.05 BATH TUB FAUCET
6.08 WOOD WALL BASE, PAINTED	22.06 SHOWER HEAD AND CONTROLS
6.09 WOOD CABINETS: BEECH FACES, SOLID FLAT DOORS, EUROPEAN CONCEALED HINGES AND SELF CLOSE DRAWERS, CASEWORK SHALL BE 'CUSTOM GRADE' FOR MATERIAL, HARDWARE, JOINERY AND INSTALLATION, TYP.	22.07 ULTRA LOW FLOW TOILET
6.10 WOOD MDF SHELF	22.08 BOLTER PER PLUMBING DWGS
6.11 WOOD POLE CLOTHES ROD, DOUGLAS FIR, 1-3/8" DIA., PAINTED	22.09 HOT WATER TANK PER PLUMBING DWGS
<b>07 - THERMAL &amp; MOISTURE PROTECTION</b>	22.10 ROOF DRAIN OVER/LOW DRAINLIGHT SCUPPER, REFER TO DETAIL 11/A9.02
7.01 DECK COATINGS OVER STRUCTURAL SLAB OR PLYWOOD	22.11 FLOOR DRAIN
7.02 THERMAL BATT INSULATION, R-21MIN @ WALLS, R-38 MIN @ ROOF	22.12 PLUMBING VENT PIPE
7.03 W.P. MEMBRANE	<b>23 - HEATING, VENTILATING, AND AIR-CONDITIONING</b>
7.04 VAPOR PERMEABLE MEMBRANE AIR BARRIER AT EXTERIOR WALLS, TYP.	23.01 HVAC UNIT PER MECH
7.05 SINGLE-PLY PVC WHITE SHEET ROOFING, FLOOR OR DECK DRAIN	23.02 AIR REGISTER WALL MOUNTED
7.06 SCUPPER	23.03 CEILING AIR REGISTER
7.07 UNDERSLAB MOISTURE VAPOR BARRIER	23.04 KITCHEN HOOD EXHAUST DUCT
7.08 ROOF DRAIN	23.05 ENERGY STAR RATED BATHROOM EXHAUST FAN PER SPECS
7.09 18 GA. 'BONDERIZED' METAL COPING, PTD, TYP. AT ALL FRAMED PARAPETS	23.06 BATHROOM EXHAUST DUCT
7.10 PLASTER CONTROL JOINT PER DETAIL	23.07 MECH. EXHAUST LOUVER, PER MECH.
<b>08 - OPENINGS (SEE DOOR/WINDOW SCHEDULE)</b>	26.01 ROOF AREA FOR FUTURE SOLAR SYSTEM PER 2018 CBC SECT. 110.10.00.13 PROVIDE CONDUIT TO ROOF FOR FUTURE SOLAR SYSTEM
8.01 VINYL WINDOW, PER SPECS	26.02 FUTURE ELECTRICAL VEHICLE CHARGING STATION
8.02 ALUM. STOREFRONT, PER SPECS	26.03 ELEC. PANEL PER PLANS & SCHEDULE
8.03 TRANSOM WINDOW, PER SPECS	26.04 EXTERIOR LIGHT PER SCHEDULE
8.04 ALUM. STOREFRONT DOOR, PER SPECS	26.05 INTERIOR LIGHT PER SCHEDULE
8.05 STL. DOOR & FRAME, PER SPECS	<b>27 - COMMUNICATION</b>
8.06 SLIDING DOOR, PER SPECS	
8.07 SOLID WOOD DOOR, SPEC SPECS	<b>28 - ELECTRONIC SAFETY AND SECURITY</b>
8.08 INTERIOR WOOD DOOR, PER SPECS	28.01 SMOKE ALARM
8.09 CLOSET DOOR, PTD	28.02 SECURITY CAMERA
8.10 ACCESS PANEL, COLOR AND MATERIAL SHALL MATCH ADJACENT MATERIAL	28.03 FIRE ALARM MAIN PANEL, ARCHITECT SHALL APPROVE FINAL LOCATION
8.11 DOOR HARDWARE SET PER SCHEDULE	<b>31 - EARTHWORK</b>
8.12 EXTERIOR WALL LOUVER	31.01 APPROVED COMPACT FILL PER GEO AND SOIL ENGINEER REPORT
8.13 EXTERIOR WALL VENT CAP	<b>32 - EXTERIOR IMPROVEMENTS</b>
<b>09 - FINISHES (SEE FINISH SCHEDULE)</b>	32.01 NEW CONCRETE SIDEWALK
9.01 NOT USED	32.02 PARKING STALL STRIPING PER CITY OF LA REQUIREMENTS
9.02 7/8" PERFORATED CORRUGATED MTL. ALUM. PANELS, PTD.	32.03 EPIC STORM WATER SYSTEM, SEE CIVIL
9.03 7/8" INTEGRAL COLOR EXT. CEMENT PLASTER OVER MTL. LATH & BUILDING PAPER, SEE ELEVATIONS/DETAILS FOR 'SPARKLE' ADDITIVE AND FURRED SCALLOPING	32.04 STEEL SECURITY GATE, PTD.
9.04 5/8" TYP. X GYP BOARD, TYP. PROVIDE AS EXTERIOR OR 'WET RATED' AS REQUIRED	32.05 STEEL SECURITY FENCE, PTD.
9.05 NOT USED	32.06 EXTERIOR PLANTER DRAIN
9.06 VINYL PLANK FLOORING	32.07 MOTORIZED STL. OVERHEAD GATE
9.07 CERAMIC TILE	32.08 IPE WOOD TILES
9.08 GRAFFITI COATING, TYP. @ ALL EXTERIOR SOLID WALLS FROM GRADE UP TO SECOND FLOOR DECK	32.09 TREE, SEE LANDSCAPE DRAWINGS
9.09 2" X 2" ACOUSTICAL SUSPENDED CEILING SYSTEM	32.10 PLANTINGS, SEE LANDSCAPE DRAWINGS
9.10 SUSPENDED GYP. BOARD CEILING	<b>33 - UTILITIES</b>
<b>10 - SPECIALTIES (SEE SPECS/ACCESSORY SCHEDULE)</b>	33.01 WATER METER
10.01 MIRROR, WALL MOUNTED	33.02 GAS METER, PROTECT W/ BOLLARDS AS REQUIRED
10.02 SIGNAGE	33.03 ELECTRIC METERS
10.03 MAILBOXES, FRONT LOAD, RECESSED, PROVIDE FOR 35 UNITS PLUS 2 COMM.	33.04 DOMESTIC WATER BACKFLOW PREVENTER
10.04 TOILET PAPER ROLL HOLDER	33.05 FIRE METER BACKFLOW PREVENTER
	33.06 IRRIGATION BACKFLOW PREVENTER
	33.07 ELECTRICAL TRANSFORMER IN UNDERGROUND VAULT
	33.08 SUMP PUMP PER CIVIL

CONCEPTUAL DESIGN	2017-12-01
SCHEMATIC DESIGN	2018-05-10
DESIGN DEVELOPMENT	2018-06-29
50% CONTRUCTION DOCUMENTS	2018-12-14
PLAN CHECK SUBMITTAL (95% CDS)	2019-03-05
PERMIT SET	
BID ISSUE	
CONSTRUCTION ISSUE	

720 ROSE AVE.  
MIXED-USED 35 UNITS

718-720 E. ROSE AVENUE  
VENICE, LOS ANGELES, 90921  
PROJECT NUMBER: 01712.0

REVISIONS:

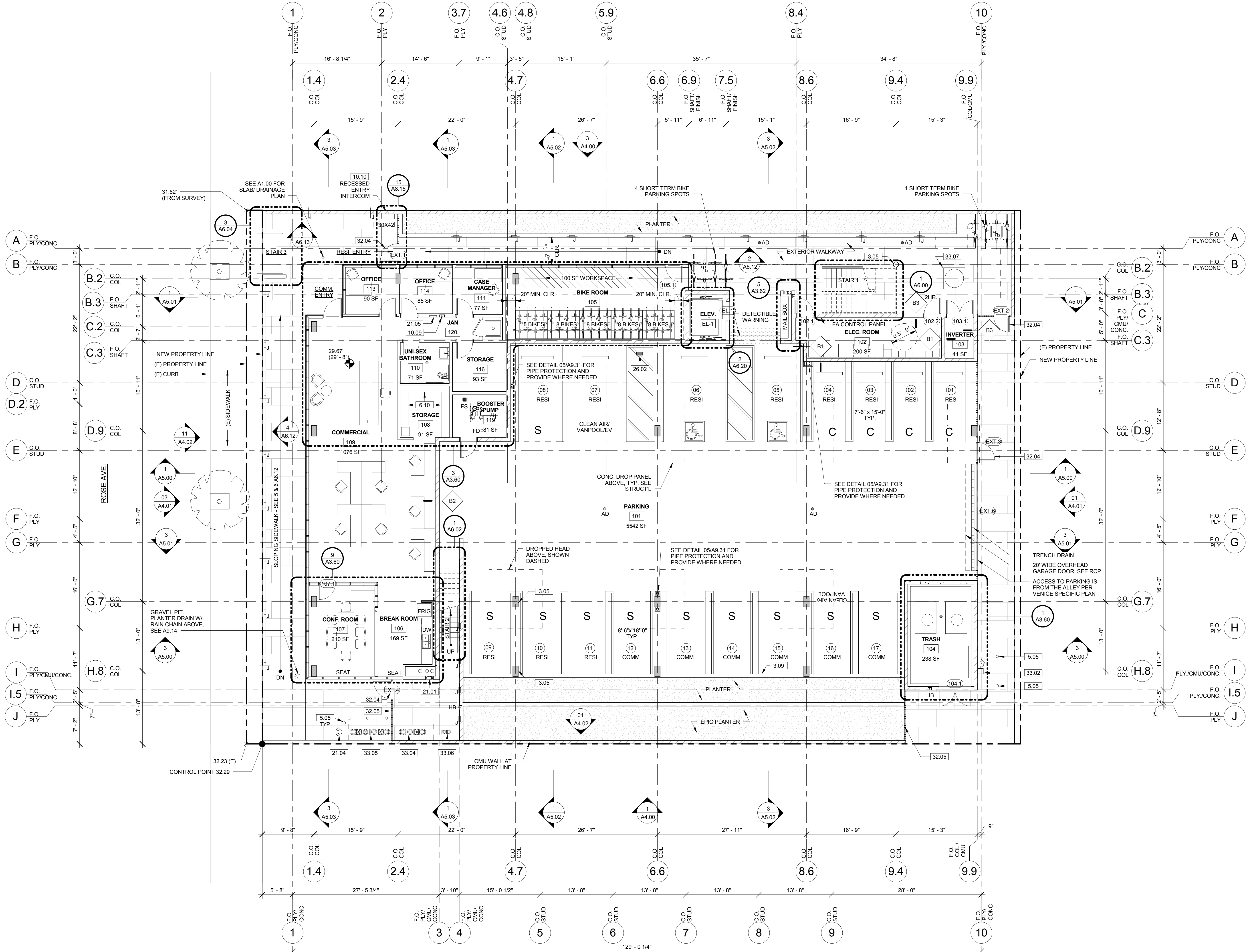
SHEET TITLE: 1ST FLOOR PLAN  
SCALE: As indicated  
DATE PRINTED: 2/28/2019 4:21:31 PM

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A3.10



1ST FLOOR

REF: SECTIONS, ELEVATIONS  
SEE DIMENSION PLAN A3.12

SCALE: 1/8" = 1'-0"

0 2 6 14 30 FT

PLAN LEGEND	
	NEW CONCRETE WALL PER STRUCTURAL
	NEW MASONRY WALL, PAINT PER SPECS. SEE PLANS & DETAILS FOR VARIOUS WALL TYPES
	NEW STUD WALL, PAINT PER SPECS. SEE PLANS & DETAILS FOR VARIOUS WALL TYPES
	(N) SCORED CONC. SLAB / PAVING
	(N) LANDSCAPE / PLANTING AREA
	(N) WATER CURTAIN
	RECESSED HOSE BIB
	RECESSED LIGHT FIXTURE

ELECTRIC VEHICLE CHARGING STATIONS (EVCS) AND KEYNOTE 28.02:	
1.	COMMERCIAL: PER 2017 LABC CALGREEN TABLE 5.106.5.2 & SECT. 5.106.5.3.1, PROVIDE 1 EV CHARGING SPACE W/ RACEWAY.
2.	RESIDENTIAL: PER 2017 LABC CALGREEN SECT. 4.106.4.2 PROVIDE 3% OF TOTAL SPACES (3% X 15 = 0.45 = 1) ONE SHALL BE EQUIPPED WITH CHARGER, MIN SIZE = 9'-0" X 18'-0" PER LA AMENDMENT ORD. 184892, ONE EV SPACE SHALL HAVE 8'-0" WIDE AISLE MIN.
3.	PER LABC SECT. 115-228.3 ELECTRIC VEHICLE CHARGING STATIONS, FOR TOTAL NUMBER OF EVCS BETWEEN 1 & 4, PROVIDE A MIN. OF 1 THAT IS VAN ACCESSIBLE.

GENERAL NOTES	
1.	SEE ENLARGED PLANS FOR ADDITIONAL DIMENSIONS AND NOTES, SEE A0.12 FOR STRIPING OF EV SPACE AND ADDITIONAL NOTES.
2.	ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE. GRID DIMENSIONS ARE TO FACE OF PLY, FACE OF SHAFT, OR CENTERLINE OF WALL/COLUMN UNLESS NOTED OTHERWISE.
3.	FOR DRAINAGE PLAN AND FLOOR ELEVATIONS, SEE SLAB OR DRAINAGE PLAN.
4.	DOUBLE STRIPING OF STALLS FOR COMMERCIAL SHALL BE PER FIG. 7 OF THE CITY OF LA BLDG. DEPT. STANDARDS. DOUBLE STRIPING OF STALLS FOR RESIDENTIAL STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO.5. SEE SHEET A0.12.
5.	FOR BOLLARDS AT ELECTRICAL METERING EQUIPMENT, SEE 9/A9.31

6.	THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VALVES, PUMPS, VALVES, METERS, APPLIANCE, ETC.) OR TO THE LOCATION OF THE HOOKUP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
7.	AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170.159) (INCLUDES COMMERCIAL ADDITIONS AND TI WORK OVER \$10,000.) SEPARATE PLUMBING PERMIT IS REQUIRED.
8.	PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION.

9.	SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO HEIGHT NOT LESS THAN 70 INCHES ABOVE THE DRAIN INLET. SECTION 1210.2.3 USE OF WATER-RESISTANT GYPSUM BACKING BOARD SHALL BE AS STATED IN SECTION 2509.3
10.	WATER HEATERS MUST BE STRAPPED TO A WALL (SEC. 507.3, UPC)
11.	PROVIDE PIPE PROTECTION AT GARAGE PER 5/A9.31