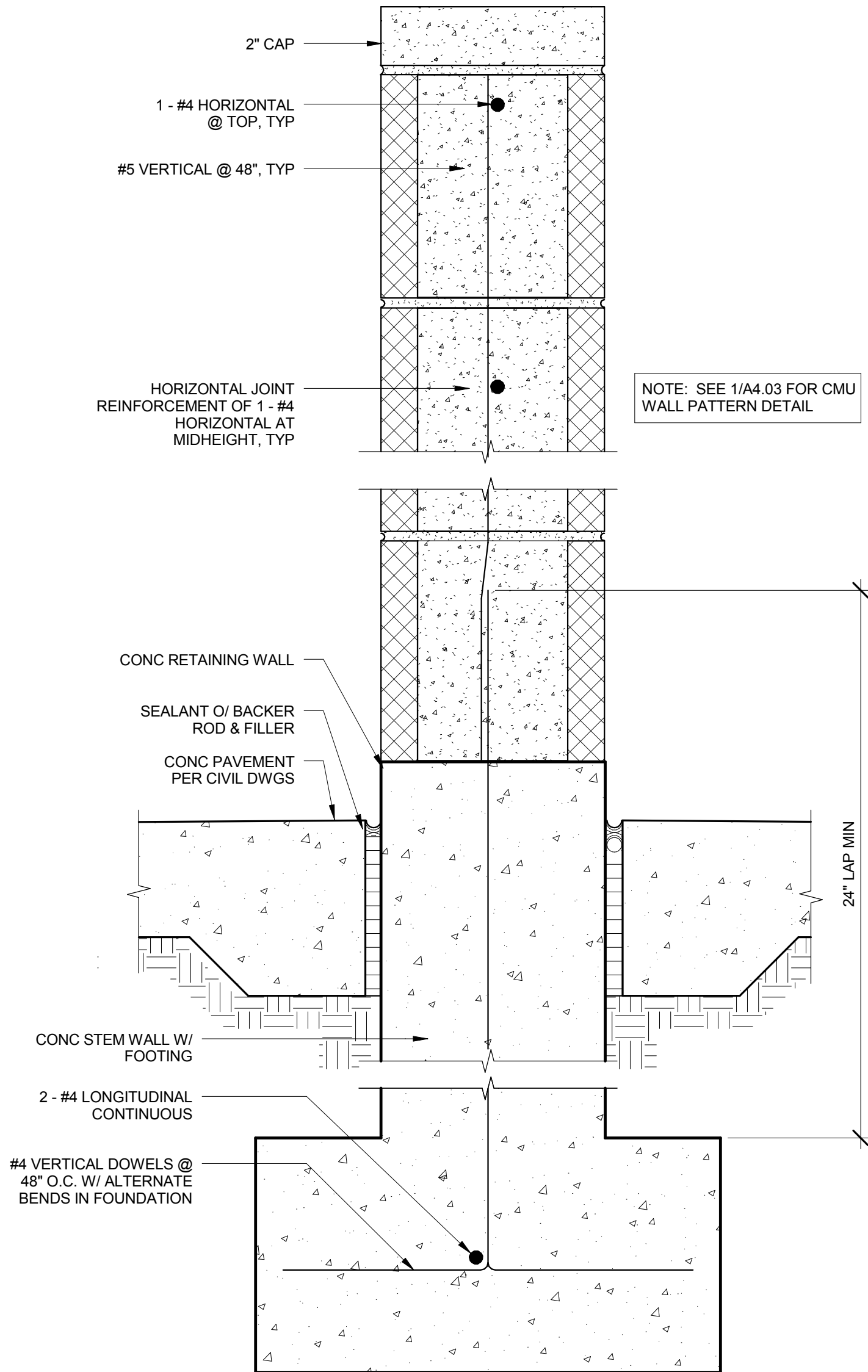


KEYNOTES

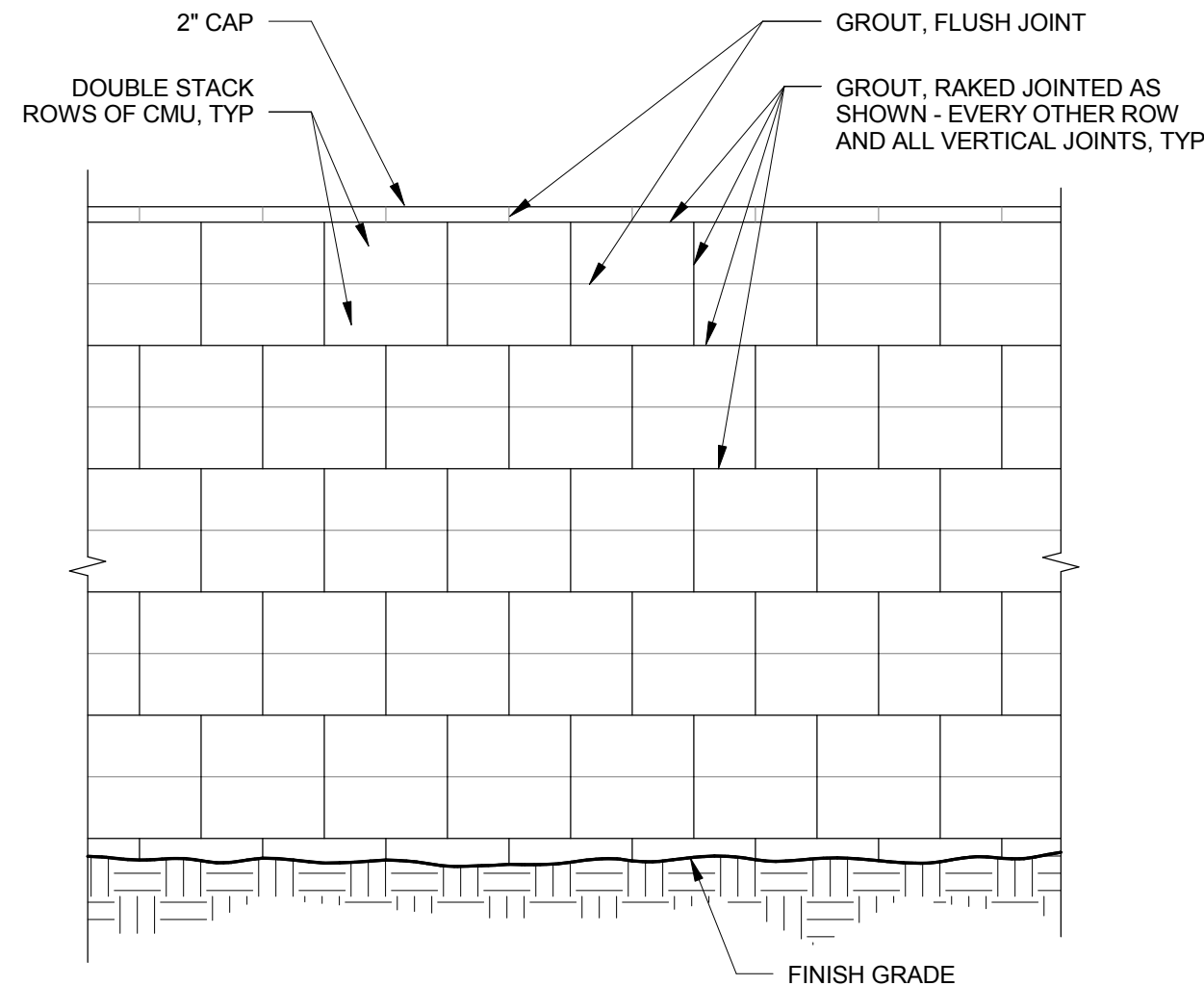
NOTE: ITEMS IDENTIFIED ARE TYPICAL TO ALL LIKE ITEMS UNLESS NOTED OTHERWISE	
01 - GENERAL REQUIREMENTS	10.05 SHOWER CURTAIN ROD
02 - NOT USED	10.06 TOWEL BAR
	10.07 ROBE HOOK
03 - CONCRETE	10.08 RECESSED MEDICINE CABINET, W/ FLUSH PAINTED DOOR
3.01 CONC. SLAB ON GRADE, LIGHT BROOM FINISH AT PARKING GARAGE, TYP.	10.09 FIRE EXTINGUISHER, SURFACE MOUNT IN GARAGE, RECESSED CABINET ELSEWHERE
3.02 PRE-CAST CONC. STAIR TREADS/LANDING	10.10 RECESSED, EXTERIOR UNIT ENTRY INTERCOM SYSTEM AND MOUNTING HARDWARE
3.03 CONC. STRUCT'L SLAB, SLOPE TO DRAIN AT INDICATED AREAS, BUFF FLAT/SMOOTH AND CLEAR SEAL AT LOBBY AND COMMERCIAL SPACES	10.11 GRAB BAR
3.04 CONC. WALL	11 - EQUIPMENT/APPLIANCES (SEE EQMT. SCHEDULE)
3.05 CONC. COLUMNS	11.01 REFRIGERATOR, CFCI
3.06 CONC. FOUNDATION	11.02 GAS RANGE/OVEN, CFCI
3.07 CONC. GUARDRAIL, 3'-7" HIGH	11.03 KITCHEN RANGE EXHAUST HOOD, CFCI
3.08 CONC. STAIR/STEPS	11.04 DISHWASHER, CFCI
3.09 6" TALL X 6" U.N.O. WIDE CONC. CURB	11.05 CLOTHES WASHER, OFCI
3.10 CONC. WHEEL STOP	11.06 DRYER, OFCI
3.11 CONC. PLANTER	11.07 TRASH CHUTES: LABEL AS 'REFUSE' AND 'RECYCLABLES'
04 - MASONRY	12 - FURNISHINGS
4.01 CMU WALL PER STRUCT'L	12.01 VERTICAL WINDOW SHADE SLATS, WHITE, TYP. @ ALL UNITS
4.02 NON-BEARING CMU WALL W/ 2" CMU CAP @ EXTERIOR LOCATION	12.02 ROLLING WINDOW SHADE. SEE DETAIL
05 - METALS	12.03 BICYCLE RACKS FOR LONG TERM BIKE STORAGE
5.01 STEEL COLUMN, SEE STRUCTURAL	12.04 BICYCLE RACK FOR SHORT TERM BIKE PARKING
5.02 STEEL TRELLIS, SEE STRUCTURAL	12.05 FURNITURE, NIC
5.03 STEEL STAIR CHANNEL STRINGER/SOLID RISER	13 - SPECIAL CONSTRUCTION (NOT USED)
5.04 STEEL PIPE HANDRAIL, PAINTED	
5.05 5" DIA. CONCRETE FILLED GALV. PIPE BOLLARD PER 949.31	14 - CONVEYING EQUIPMENT
5.06 GUARDRAIL, PAINTED, MIN 3'-6" HIGH ABOVE FINISH DECK, SEE DETAILS	14.01 THYSSENKRUPP ENDURA HOLELESS HYDRAULIC ELEVATOR, 3,500 LBS., 150 FPM
5.07 2X6 MTL. STUD FURRED PLUMBING WALL	21 - FIRE SUPPRESSION
5.08 METAL STUD WALL FRAMING, TYP. @ GROUND FLOOR	21.01 NFPA 13 FIRE SPRINKLER RISER AT EACH STAIR, RECESSED
06 - WOODS & PLASTIC	21.02 FIRE SPRINKLER HORIZ. MAIN (SEE DIAGRAM)
6.01 WOOD POST	21.03 ROUND FIRE ALARM BELL, ARCHITECT SHALL APPROVE FINAL LOCATION
6.02 WOOD BEAM/JOIST	21.04 FIRE DEPARTMENT MAIN CONNECTION @ FRONT OF PROJECT, ARCHITECT SHALL APPROVE FINAL LOCATION
6.03 WOOD WALL FRAMING WITH PLY SHEAR WHERE OCCURS	21.05 FD ANNUNCIATOR PANEL.
6.04 WOOD T/J IF FLOOR JOIST	22 - PLUMBING
6.05 MIN. 5/8" PLY OVER 2X WD RIP STRIPS FOR ROOF SLOPE AND/OR CRICKET	22.01 MOP-SINK
6.06 RUBBER WALL BASE	22.02 KITCHEN SINK/FAUCET
6.07 SOLID SURFACE COUNTERTOP BY 'LG HI-MACS', BLACK TYP. @ KITCHENS, BATHROOMS, AND LAUNDRY ROOM	22.03 LAV. SINK/FAUCET
6.08 WOOD WALL BASE, PAINTED	22.04 PRE-FAB FIBERGLASS BATHTUB
6.09 WOOD CABINETS: BEECH FACES, SOLID FLAT DOORS, EUROPEAN CONCEALED HINGES AND SELF CLOSE DRAWERS. CASEWORK SHALL BE 'CUSTOM GRADE' FOR MATERIAL, HARDWARE, JOINERY AND INSTALLATION, TYP.	22.05 BATH TUB FAUCET
	22.06 SHOWER HEAD AND CONTROLS
	22.07 ULTRA LOW FLOW TOILET
6.10 WOOD MDF SHELF	22.08 BOILER PER PLUMBING DWGS
6.11 WOOD POLE CLOTHES ROD, DOUGLAS FIR, 1-3/8" DIA, PAINTED	22.09 HOT WATER TANK PER PLUMBING DWGS
07 - THERMAL & MOISTURE PROTECTION	22.10 ROOF DRAIN OVERFLOW DAYLIGHT SCUPPER, REFER TO DETAIL 11/A9.02
7.01 DECK COATINGS OVER STRUCTURAL SLAB OR PLYWOOD	22.11 FLOOR DRAIN
7.02 THERMAL BATT INSULATION, R-21MIN @ WALLS, R-38 MIN @ ROOF	22.12 PLUMBING VENT PIPE
7.03 W.P. MEMBRANE	23 - HEATING, VENTILATING, AND AIR-CONDITIONING
7.04 VAPOR PERMEABLE MEMBRANE AIR BARRIER AT EXTERIOR WALLS, TYP.	23.01 HVAC UNIT PER MECH
7.05 SINGLE-PLY PVC WHITE SHEET ROOFING.	23.02 AIR REGISTER WALL MOUNTED
7.06 FLOOR OR DECK DRAIN	23.03 CEILING AIR REGISTER
7.07 SCUPPER	23.04 KITCHEN HOOD EXHAUST DUCT
7.08 UNDERSLAB MOISTURE VAPOR BARRIER	23.05 ENERGY STAIR RATED BATHROOM EXHAUST FAN PER SPECS
7.09 ROOF DRAIN	23.06 BATHROOM EXHAUST DUCT
7.10 18 GA. 'BONDERIZED' METAL COPING, PTD, TYP. AT ALL FRAMED PARAPETS	23.07 MECH. EXHAUST LOUVER, PER MECH.
7.11 PLASTER CONTROL JOINT PER DETAIL	26 - ELECTRICAL
08 - OPENINGS (SEE DOOR/WINDOW SCHEDULE)	26.01 ROOF AREA FOR FUTURE SOLAR SYSTEM PER 2018 CBC SECT. 110.10.0(1)B PROVIDE CONDUIT TO ROOF FOR FUTURE SOLAR SYSTEM
8.01 VINYL WINDOW, PER SPECS	26.02 FUTURE ELECTRICAL VEHICLE CHARGING STATION
8.02 ALUM. STOREFRONT, PER SPECS.	26.03 ELEC. PANEL PER PLANS & SCHEDULE
8.03 TRANSOM WINDOW, PER SPECS.	26.04 EXTERIOR LIGHT PER SCHEDULE
8.04 ALUM. STOREFRONT DOOR, PER SPECS	26.05 INTERIOR LIGHT PER SCHEDULE
8.05 STL. DOOR & FRAME, PER SPECS.	27 - COMMUNICATION
8.06 SLIDING DOOR, PER SPECS	
8.07 SOLID WOOD DOOR, SPEC SPECS	28 - ELECTRONIC SAFETY AND SECURITY
8.08 INTERIOR WOOD DOOR, PER SPECS	28.01 SMOKE ALARM
8.09 CLOSET DOOR, PTD.	28.02 SECURITY CAMERA
8.10 ACCESS PANEL, COLOR AND MATERIAL SHALL MATCH ADJACENT MATERIAL	28.03 FIRE ALARM MAIN PANEL, ARCHITECT SHALL APPROVE FINAL LOCATION
8.11 DOOR HARDWARE SET PER SCHEDULE	31 - EARTHWORK
8.12 EXTERIOR WALL LOUVER	31.01 APPROVED COMPACT FILL PER GEO AND SOIL ENGINEER REPORT
8.13 EXTERIOR WALL VENT CAP	32 - EXTERIOR IMPROVEMENTS
09 - FINISHES (SEE FINISH SCHEDULE)	32.01 NEW CONCRETE SIDEWALK
9.01 NOT USED	32.02 PARKING STALL STRIPING PER CITY OF LA REQUIREMENTS
9.02 7/8" PERFORATED CORRUGATED MTL. ALUM. PANELS, PTD.	32.03 EPIC STORM WATER SYSTEM, SEE CIVIL
9.03 7/8" INTEGRAL COLOR EXT. CEMENT PLASTER OVER MTL. LATH & BUILDING PAPER, SEE ELEVATIONS/DETAILS FOR 'SPARKLE' ADDITIVE AND FURRED SCALLOPING	32.04 STEEL SECURITY GATE, PTD.
9.04 5/8" TYPE 'X' GYP BOARD, TYP. PROVIDE AS 'EXTERIOR' OR 'WET RATED' AS REQUIRED	32.05 STEEL SECURITY FENCE, PTD.
9.05 NOT USED	32.06 EXTERIOR PLANTER DRAIN
9.06 VINYL PLANK FLOORING	32.07 MOTORIZED STL. OVERHEAD GATE
9.07 CERAMIC TILE	32.08 IPE WOOD TILES
9.08 GRAFFITI COATING, TYP. @ ALL EXTERIOR SOLID WALLS FROM GRADE UP TO SECOND FLOOR DECK	32.09 TREE, SEE LANDSCAPE DRAWINGS
9.09 2' X 2' ACOUSTICAL SUSPENDED CEILING SYSTEM	32.10 PLANTINGS, SEE LANDSCAPE DRAWINGS
9.10 SUSPENDED GYP. BOARD CEILING	33 - UTILITIES
10 - SPECIALTIES (SEE SPECS/ACCESSORY SCHEDULE)	33.01 WATER METER
10.01 MIRROR, WALL MOUNTED	33.02 GAS METER, PROTECT W/ BOLLARDS AS REQUIRED
10.02 SIGNAGE	33.03 ELECTRIC METERS
10.03 MAILBOXES, FRONT LOAD, RECESSED. PROVIDE FOR 35 UNITS PLUS 2 COMM.	33.04 DOMESTIC WATER BACKFLOW PREVENTER
10.04 TOILET PAPER ROLL HOLDER	33.05 FIRE METER BACKFLOW PREVENTER
	33.06 IRRIGATION BACKFLOW PREVENTER
	33.07 ELECTRICAL TRANSFORMER IN UNDERGROUND VAULT
	33.08 SUMP PUMP PER CIVIL



- GENERAL SPECIFICATIONS
- Concrete mix for footing to be 1 part cement to 2.5 parts sand to 3.5 parts gravel with a maximum of 7.5 gallons of water per sack of cement/minimum f=2,500 psi
 - Concrete block units shall conform to ASTM C90
 - Reinforcing steel to be deformed and conformed to ASTM standard A615 Grade 40 or Grade 60
 - Rebar shall be centered in the concrete block cell in which it is located.
 - Concrete block units shall be placed in a running band with head joints in successive courses horizontally offset at least one-quarter the unit length.
 - Concrete block units to have vertical continuity of cells unobstructed. All cells containing reinforcing shall be solid grouted (vertical & horizontal reinforcement.)
 - Mortar mix for concrete to be 1 part cement to 0.5 part lime to 3 parts damp loose sand.
 - Grout mix for concrete block wall to be 1 parts cement to 3 parts sand to which may be added not more than 0.1 part lime. Sufficient water to be added to produce consistency for pouring without segregation of constituents. The grout may contain 2 parts pea gravel, maximum size 3/8".
 - Block fence may be placed in the center of the "T" type foundation and at either edge to "L" type foundation.
 - A first inspection is required when trenches are ready for concrete and all required steel is tied in place. A second inspection is required when first horizontal bar and all vertical bars are in place but not grouted.
 - Foundation must be poured against undisturbed soil with no appreciable slope of sidewalls on all types of foundation.
 - Masonry or concrete fences over 3'-6" in height measured from adjacent grade shall require a building permit.
 - Height of fence shall comply with all provisions of the zoning code.

NON-BEARING CMU WALL DETAIL

REF : SCALE: 3" = 1'-0"



JOINT PATTERN AT CMU WALL

REF : SCALE: 1" = 1'-0"

CONCEPTUAL DESIGN	2017-12-01
SCHEMATIC DESIGN	2018-05-10
DESIGN DEVELOPMENT	2018-06-29
50% CONSTRUCTION DOCUMENTS	2018-12-14
PLAN CHECK SUBMITTAL (95% CDS)	2019-03-05

PERMIT SET

BID ISSUE

CONSTRUCTION ISSUE

720 ROSE AVE.
MIXED-USED 35 UNITS

718-720 E. ROSE AVENUE
VENICE, LOS ANGELES, 90921
PROJECT NUMBER: 01712.0

REVISIONS:

SHEET TITLE:
ENLARGED ELEVATIONS

SCALE:
DATE PRINTED: 2/28/2019 5:05:57 PM

As indicated

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