

KEYNOTES

NOTE: ITEMS IDENTIFIED ARE TYPICAL TO ALL LIKE ITEMS UNLESS NOTED OTHERWISE

01 - GENERAL REQUIREMENTS

02 - NOT USED

03 - CONCRETE

- 3.01 CONC. SLAB ON GRADE, LIGHT BROOM FINISH AT PARKING GARAGE, TYP.
- 3.02 PRE-CAST CONC. STAIR TREAD/LANDING
- 3.03 CONC. STRUCT'L SLAB, SLOPE TO DRAIN AT INDICATED AREAS, BUFF FLAT(SMOOTH) AND CLEAR SEAL AT LOBBY AND COMMERCIAL SPACES
- 3.04 CONC. WALL
- 3.05 CONC. COLUMNS
- 3.06 CONC. FOUNDATION
- 3.07 CONC. GUARDRAIL, 3'-7" HIGH
- 3.08 CONC. STAIR/STEPS
- 3.09 6" TALL X 6" U.N.O. WIDE CONC. CURB
- 3.10 CONC. WHEEL STOP
- 3.11 CONC. PLANTER

04 - MASONRY

- 4.01 CMU WALL PER STRUCT'L
- 4.02 NON-BEARING CMU WALL W/ 2" CMU CAP @ EXTERIOR LOCATION
- 5.01 STEEL COLUMN, SEE STRUCTURAL
- 5.02 STEEL TRELLIS, SEE STRUCTURAL
- 5.03 STEEL STAIR CHANNEL STRINGER/SOLID RISER
- 5.04 STEEL PIPE HANDRAIL, PAINTED
- 5.05 5" DIA. CONCRETE FILLED GALV. PIPE BOLLARD PER 9/A9.31
- 5.06 GUARDRAIL, PAINTED, MIN 3'-6" HIGH ABOVE FINISH DECK, SEE DETAILS
- 5.07 2X6 MTL. STUD FURRED PLUMBING WALL
- 5.08 METAL STUD WALL FRAMING, TYP. @ GROUND FLOOR

06 - WOODS & PLASTIC

- 6.01 WOOD POST
- 6.02 WOOD BEAM/JOIST
- 6.03 WOOD WALL FRAMING WITH PLY SHEAR WHERE OCCURS
- 6.04 WOOD T/J FLOOR JOIST
- 6.05 MIN. 5/8" PLY OVER 2X WD RIP STRIPS FOR ROOF SLOPE AND/OR CRICKET
- 6.06 RUBBER WALL BASE
- 6.07 SOLID SURFACE COUNTERTOP BY 'LG HI-MACS', BLACK TYP. @ KITCHENS, BATHROOMS, AND LAUNDRY ROOM
- 6.08 WOOD WALL BASE, PAINTED
- 6.09 WOOD CABINETS: BEECH FACES, SOLID FLAT DOORS, EUROPEAN CONCEALED HINGES AND SELF CLOSE DRAWERS. CASEWORK SHALL BE 'CUSTOM GRADE' FOR MATERIAL, HARDWARE, JOINERY AND INSTALLATION, TYP.
- 6.10 WOOD MDF SHELF
- 6.11 WOOD POLE CLOTHES ROD, DOUGLAS FIR, 1-3/8" DIA, PAINTED

07 - THERMAL & MOISTURE PROTECTION

- 7.01 DECK COATING OVER STRUCTURAL SLAB OR PLYWOOD
- 7.02 THERMAL BATT INSULATION, R-21MIN @ WALLS, R-38 MIN @ ROOF
- 7.03 W.P. MEMBRANE
- 7.04 VAPOR PERMEABLE MEMBRANE AIR BARRIER AT EXTERIOR WALLS, TYP.
- 7.05 SINGLE-PLY PVC WHITE SHEET ROOFING.
- 7.06 FLOOR OR DECK DRAIN
- 7.07 SCUPPER
- 7.08 UNDERSLAB MOISTURE VAPOR BARRIER
- 7.09 ROOF DRAIN
- 7.10 18 GA. 'BONDERIZED' METAL COPING, PTD. TYP. AT ALL FRAMED PARAPETS

08 - OPENINGS (SEE DOOR/WINDOW SCHEDULE)

- 8.01 VINYL WINDOW, PER SPECS
- 8.02 TRANSOM WINDOW, PER SPECS
- 8.03 ALUM. STOREFRONT DOOR, PER SPECS
- 8.04 ALUM. STOREFRONT DOOR, PER SPECS
- 8.05 STL. DOOR & FRAME, PER SPECS
- 8.06 SLIDING DOOR, PER SPECS
- 8.07 SOLID WOOD DOOR, SPEC SPECS
- 8.08 INTERIOR WOOD DOOR, PER SPECS
- 8.09 CLOSET DOOR, PTD
- 8.10 ACCESS PANEL, COLOR AND MATERIAL SHALL MATCH ADJACENT MATERIAL
- 8.11 DOOR HARDWARE SET PER SCHEDULE
- 8.12 EXTERIOR WALL LOUVER
- 8.13 EXTERIOR WALL VENT CAP

09 - FINISHES (SEE FINISH SCHEDULE)

- 9.01 NOT USED
- 9.02 7/8" PERFORATED CORRUGATED MTL. ALUM. PANELS, PTD.
- 9.03 7/8" INTEGRAL COLOR EXT. CEMENT PLASTER OVER MTL. LATH & BUILDING PAPER, SEE ELEVATIONS/DETAILS FOR 'SPARKLE' ADDITIVE AND FURRED SCALLOPING
- 9.04 5/8" TYPE 'X' GYP BOARD, TYP. PROVIDE AS 'EXTERIOR' OR 'WET RATED' AS REQUIRED
- 9.05 NOT USED
- 9.06 VINYL PLANK FLOORING
- 9.07 CERAMIC TILE
- 9.08 GRAFFITI COATING, TYP. @ ALL EXTERIOR SOLID WALLS FROM GRADE UP TO SECOND FLOOR DECK
- 9.09 2' X 2' ACOUSTICAL SUSPENDED CEILING SYSTEM
- 9.10 SUSPENDED GYP. BOARD CEILING
- 10.01 MIRROR, WALL MOUNTED SIGNAGE
- 10.02 MAILBOXES, FRONT LOAD, RECESSED, PROVIDE FOR 35 UNITS PLUS 2 COMM.
- 10.04 TOILET PAPER ROLL HOLDER

- 10.05 SHOWER CURTAIN ROD
- 10.06 TOWEL BAR
- 10.07 ROBE HOOK
- 10.08 RECESSED MEDICINE CABINET, W/ FLUSH PAINTED DOOR
- 10.09 FIRE EXTINGUISHER, SURFACE MOUNT IN GARAGE, RECESSED CABINET ELSEWHERE
- 10.10 RECESSED, EXTERIOR UNIT ENTRY INTERCOM SYSTEM AND MOUNTING HARDWARE
- 10.11 GRAB BAR
- 11 - EQUIPMENT/APPLIANCES (SEE EQMT. SCHEDULE)
- 11.01 REFRIGERATOR, CFCl
- 11.02 GAS RANGE/OVEN, CFCl
- 11.03 KITCHEN RANGE EXHAUST HOOD, CFCl
- 11.04 DISHWASHER, CFCl
- 11.05 CLOTHES WASHER, OFCl
- 11.06 DRYER, OFCl
- 11.07 TRASH CHUTES: LABEL AS 'REFUSE' AND 'RECYCLABLES'
- 12 - FURNISHINGS
- 12.01 VERTICAL WINDOW SHADE SLATS, WHITE, TYP. @ ALL UNITS
- 12.02 ROLLING WINDOW SHADE, SEE DETAIL
- 12.03 BICYCLE RACKS FOR LONG TERM BIKE STORAGE
- 12.04 BICYCLE RACK FOR SHORT TERM BIKE PARKING
- 12.05 FURNITURE, NIC
- 13 - SPECIAL CONSTRUCTION (NOT USED)
- 14.01 THYSSENKRUPP ENDURURA HOLELESS HYDRAULIC ELEVATOR, 3,500 LBS, 150 FPM

21 - FIRE SUPPRESSION

- 21.01 NFPA 13 FIRE SPRINKLER RISER AT EACH STAIR, RECESSED
- 21.02 FIRE SPRINKLER HORIZ. MAIN (SEE DIAGRAM)
- 21.03 ROUND FIRE ALARM BELL, ARCHITECT SHALL APPROVE FINAL LOCATION
- 21.04 FIRE DEPARTMENT MAIN CONNECTION @ FRONT OF PROJECT, ARCHITECT SHALL APPROVE FINAL LOCATION
- 21.05 FD ANNUNCIATOR PANEL
- 22 - PLUMBING
- 22.01 MOP SINK
- 22.02 KITCHEN SINK/FAUCET
- 22.03 LAV. SINK/FAUCET
- 22.04 PRE-FAB FIBERGLASS BATHTUB
- 22.05 BATHTUB FAUCET
- 22.06 SHOWER HEAD AND CONTROLS
- 22.07 ULTRA LOW FLOW TOILET
- 22.08 BOILER PER PLUMBING DWGS
- 22.09 HOT WATER TANK PER PLUMBING DWGS
- 22.10 ROOF DRAIN OVERFLOW DAYLIGHT SCUPPER, REFER TO DETAIL 11/A9.02
- 22.11 FLOOR DRAIN
- 22.12 PLUMBING VENT PIPE

23 - HEATING, VENTILATING, AND AIR-CONDITIONING

- 23.01 HVAC UNIT PER MECH
- 23.02 AIR REGISTER WALL MOUNTED
- 23.03 CEILING AIR REGISTER
- 23.04 KITCHEN HOOD EXHAUST DUCT
- 23.05 ENERGY STAR RATED BATHROOM EXHAUST FAN PER SPECS
- 23.06 BATHROOM EXHAUST DUCT
- 23.07 MECH. EXHAUST LOUVER, PER MECH.

26 - ELECTRICAL

- 26.01 ROOF AREA FOR FUTURE SOLAR SYSTEM PER 2018 CBC SECT. 110.0(b) B PROVIDE CONDUIT TO ROOF FOR FUTURE SOLAR SYSTEM
- 26.02 FUTURE ELECTRICAL VEHICLE CHARGING STATION
- 26.03 ELEC. PANEL PER PLANS & SCHEDULE
- 26.04 EXTERIOR LIGHT PER SCHEDULE
- 26.05 INTERIOR LIGHT PER SCHEDULE

27 - COMMUNICATION

- 28 - ELECTRONIC SAFETY AND SECURITY
- 28.01 SMOKE ALARM
- 28.02 SECURITY CAMERA
- 28.03 FIRE ALARM MAIN PANEL, ARCHITECT SHALL APPROVE FINAL LOCATION

31 - EARTHWORK

- 31.01 APPROVED COMPACT FILL PER GEO AND SOIL ENGINEER REPORT

32 - EXTERIOR IMPROVEMENTS

- 32.01 NEW CONCRETE SIDEWALK
- 32.02 PARKING STALL STRIPING PER CITY OF LA REQUIREMENTS
- 32.03 EPIC STORM WATER SYSTEM, SEE CIVIL
- 32.04 STEEL SECURITY GATE, PTD.
- 32.05 STEEL SECURITY FENCE, PTD.
- 32.06 EXTERIOR PLANTER DRAIN
- 32.07 MOTORIZED STL. OVERHEAD GATE
- 32.08 IPE WOOD TILES
- 32.09 TREE, SEE LANDSCAPE DRAWINGS
- 32.10 PLANTINGS, SEE LANDSCAPE DRAWINGS
- 33 - UTILITIES
- 33.01 WATER METER
- 33.02 GAS METER, PROTECT W/ BOLLARDS AS REQUIRED
- 33.03 ELECTRIC METERS
- 33.04 DOMESTIC WATER BACKFLOW PREVENTER
- 33.05 FIRE METER BACKFLOW PREVENTER
- 33.06 IRRIGATION BACKFLOW PREVENTER
- 33.07 ELECTRICAL TRANSFORMER IN UNDERGROUND VAULT
- 33.08 SLUMP PUMP PER CIVIL

CONCEPTUAL DESIGN 2017-12-01

SCHEMATIC DESIGN 2018-05-10

DESIGN DEVELOPMENT 2018-06-29

50% CONSTRUCTION DOCUMENTS 2018-12-14

PLAN CHECK SUBMITTAL (95% CDS) 2019-03-05

PERMIT SET

BID ISSUE

CONSTRUCTION ISSUE

720 ROSE AVE.

MIXED-USED 35 UNITS

718-720 E. ROSE AVENUE

VENICE, LOS ANGELES, 90921

PROJECT NUMBER: 01712.0

REVISIONS:

SHEET TITLE: 3RD FLOOR PLAN

SCALE: As indicated

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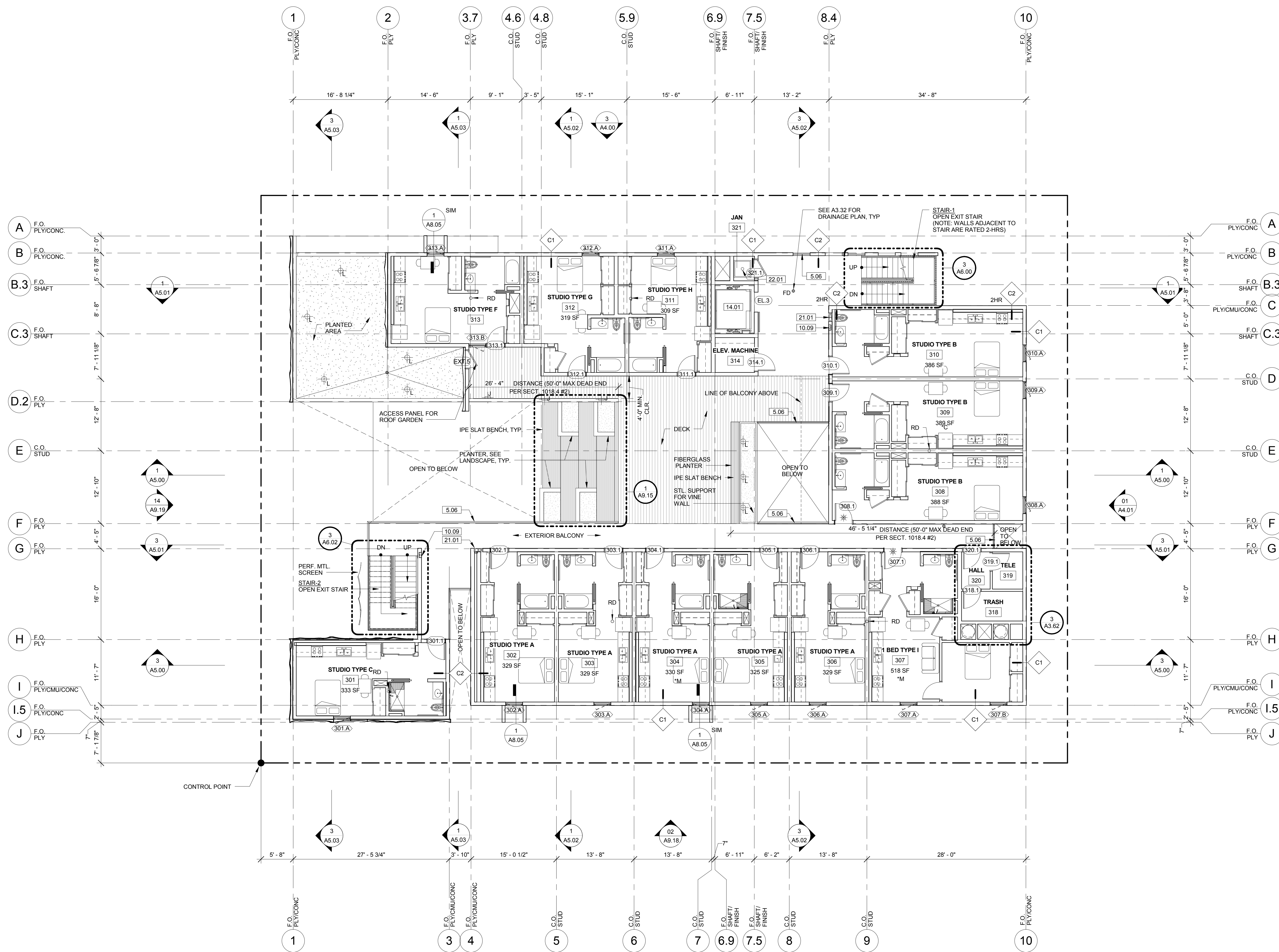
3929 W. 139TH STREET

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A3.30



3RD FLOOR

SCALE: 1/8" = 1'-0"

REF : SECTIONS, ELEVATIONS



GENERAL NOTES

1. SEE ENLARGED PLANS FOR ADDITIONAL DIMENSIONS AND NOTES, SEE A0.12 FOR STRIPING OF EV SPACE AND ADDITIONAL NOTES.
2. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE. GRID DIMENSIONS ARE TO FACE OF PLY, FACE OF SHAFT, OR CENTERLINE OF WALL/COLUMN UNLESS NOTED OTHERWISE
3. FOR DRAINAGE PLAN AND FLOOR ELEVATIONS, SEE SLAB OR DRAINAGE PLAN
4. DOUBLE STRIPING OF STALLS FOR COMMERCIAL SHALL BE PER FIG. 7 OF THE CITY OF LA BLDG. DEPT. STANDARDS. DOUBLE STRIPING OF STALLS FOR RESIDENTIAL STALLS SHALL BE PER ZONING CODE SECTION 12.21A5, CHART NO.5. SEE SHEET A0.12.
5. FOR BOLLARDS AT ELECTRICAL METERING EQUIPMENT, SEE 9/A9.31

6. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOKUP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES
7. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING. (PER ORDINANCE 170.158) (INCLUDES COMMERCIAL ADDITIONS AND T1 WORK OVER \$10,000.) SEPARATE PLUMBING PERMIT IS REQUIRED.
8. PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION.

9. SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO HEIGHT NOT LESS THAN 70 INCHES ABOVE THE DRAIN INLET. SECTION 12.02.2.3 USE OF WATER-RESISTANT GYPSUM BACKING BOARD SHALL BE AS STATED IN SECTION 2509.3
10. WATER HEATERS MUST BE STRAPPED TO A WALL (SEC. 507.3, UPC)
11. PROVIDE PIPE PROTECTION AT GARAGE PER 5/A9.31

PLAN LEGEND

- NEW CONCRETE WALL PER STRUCTURAL
- NEW MASONRY WALL, PAINT PER SPECS. SEE PLANS & DETAILS FOR VARIOUS WALL TYPES
- NEW STUD WALL, PAINT PER SPECS. SEE PLANS & DETAILS FOR VARIOUS WALL TYPES
- (N) SCORED CONC. SLAB / PAVING
- (N) LANDSCAPE / PLANTING AREA
- (N) WATER CURTAIN
- RECESSED HOSE BIB
- RECESSED LIGHT FIXTURE