

Opacity Comparisons

FIRST COLONY DEVELOPMENT



OWNER / CLIENT:

FIRST COLONY DEV. LLC
929 POST ROAD EAST
MARLBOROUGH, MA 01752
TEL. (508) 481-6095
FAX (508) 460-0578

ARCHITECT:

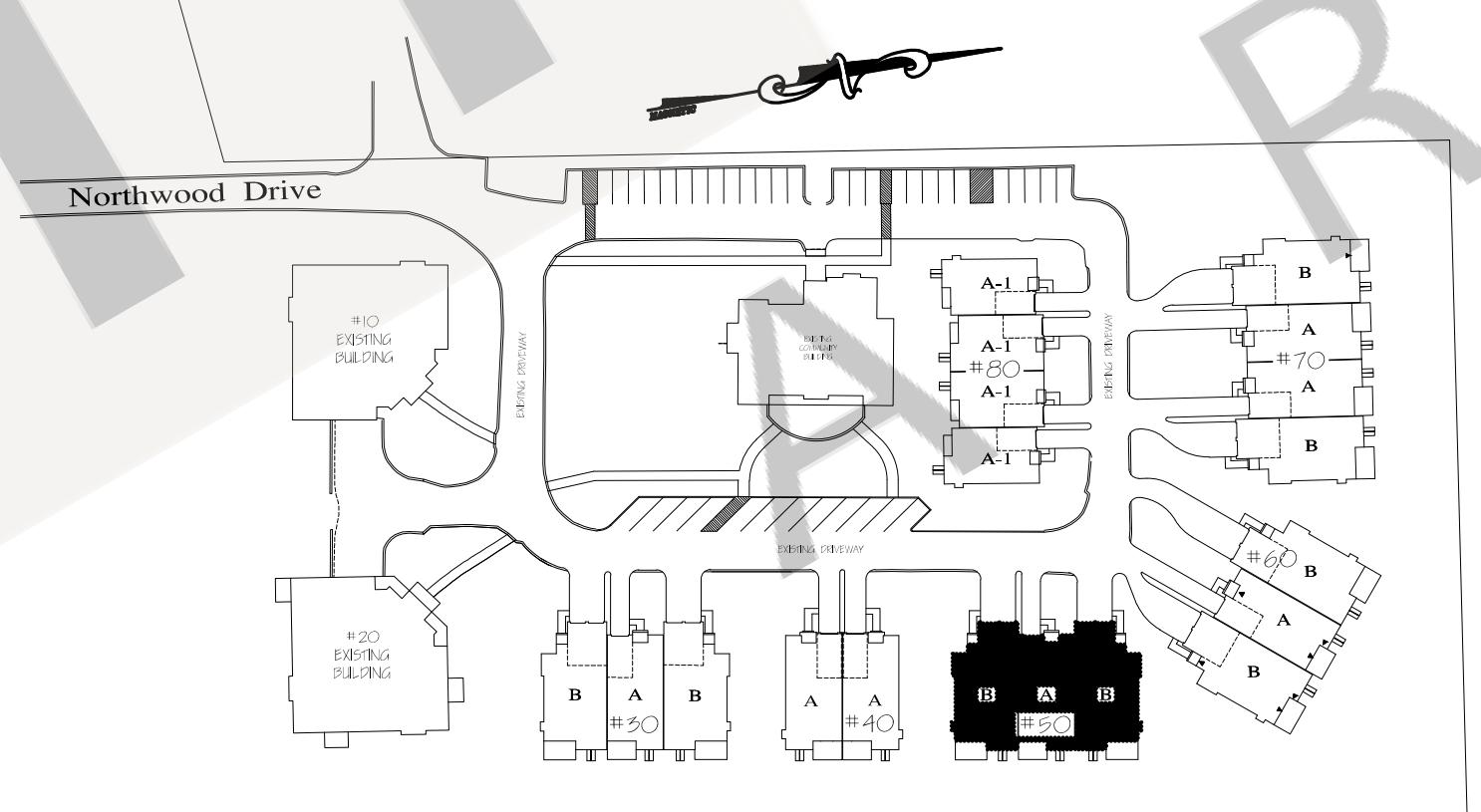
HPA DESIGN, INC.
200 STONEWALL BLVD.
SUITE 5
WRENTHAM, MA 02093
TEL. (508) 384-8838
FAX (508) 384-0483

STRUCTURAL ENGINEER

DWD ENGINEERING, INC.
5 MICHAEL RD.
EAST BRIDGEWATER
TEL. (508) 378-9602
FAX (508) 378-2922

CONTRACTOR:

LOBISSEUR BUILDING CORP.
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747
TEL. (508) 478-6235
FAX (508) 473-0794



KEY PLAN

SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
- S1.3 2ND FLOOR FRAMING
- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
GENERAL	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (RTH EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE SITE CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
DIMENSIONS	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF THAT OPENING FROM THE CENTER OF ANOTHER OPENING OR THE EXTERIOR FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES REFERS TO THE POSITION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSION AT STAR PLACES A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. ALL EXTERIOR DIMENSIONS ARE TO THE CENTER LINE OF THE EXTERIOR WALL AND ALL OTHER BULLETS, MUST BE CONFIRMED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
4. HEIGHTS DEPICTING THE BUILDING HEIGHT, SHOWS THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST STAIRWAY TO THE ROOF. THE ROOF HEIGHT IS THE TOTAL HEIGHT OF THE ROOF DECK, THE ROOFING, AND ALL OTHER DECKS THAT ARE NOT ENDED. THE ROOFING IS FROM THE ST STAIRWAY TO THE ROOF DECK.	
5. GUARDDOORS THAT ARE NOT ENDRESSED ARE TYPICALLY CENTERED WITHIN THE GLOZET.	
6. CLOSET DOORS THAT ARE NOT ENDRESSED ARE TYPICALLY CENTERED ON THE CENTER OF THE CLOSET.	
7. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
STAIRWAYS/DECKS	
1. STAIRWAYS SHALL NOT BE LESS THAN 8'0" IN CLEAR HEIGHT. ALL PORCH ABOVE THE FINISHED HANDBALUST SHALL BE PROVIDED WITH A MINIMUM CLEAR HEIGHT OF 6'0". THE DEPTH OF THE TREAD SHALL BE 10'-0" MAXIMUM AND DEPTH SHALL BE 9'-0" INCHES TO EXCEED 1'-0". WINDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10"-0" MAXIMUM. THE DEPTH OF THE TREADS SHALL BE 9'-0" INCHES TO EXCEED 1'-0" IN THE SLOPED PLANE ADDING THE TREAD NOSE OR FROM THE FLOOR SURFACE OF A LANING OR PLATFOR.	
2. HANDRAILS SHALL BE PROVIDED AT LEAST ONE CONTINUOUS RUN OF TREADS OR FLIGHTS OF STEPS THAT ARE 12'0" OR MORE IN LENGTH. MINIMUM HEIGHT SHALL BE 34"-0" AND MAXIMUM SHALL NOT EXCEED 37"-0" INCHES. GUARDRAILS SHALL BE PROVIDED ON THE FLOOR, PORCH OR BALCONY AREA AND GUARDOORS SHALL NOT EXCEED 4"-0" INCHES.	
3. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOOR, PORCH AND/OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 48"-0" MAXIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30"-0" OR LESS ABOVE A FLOOR OR GRADE BELOW SHALL BE 36"-0" MAXIMUM. GUARDOORS SHALL NOT EXCEED 4"-0" INCHES.	
4. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH A SIZE THAT A 5X5 INCH (6" SPHERE) CANNOT PASS THROUGH. OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIRS SHALL NOT ALLOW A SPHERE 4-3/8" INCHES TO PASS THOUGH.	
5. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND GUARDOORS OF ATTIC STAIRS. ISOLATE THE WALLS AND GUARDOORS OF ATTIC STAIRS AND GUARDOORS SHALL NOT EXCEED 4"-0" INCHES.	
6. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND GUARDOORS OF ATTIC STAIRS AND GUARDOORS SHALL NOT EXCEED 4"-0" INCHES.	
7. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND GUARDOORS OF ATTIC STAIRS AND GUARDOORS SHALL NOT EXCEED 4"-0" INCHES.	
8. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND GUARDOORS OF ATTIC STAIRS AND GUARDOORS SHALL NOT EXCEED 4"-0" INCHES.	
9. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" SQUARE FEET. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL BE PERMITTED TO HAVE A MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. ALL DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
10. THE MINIMUM NET CLEAR OPENING SHALL BE 24"-0" X 30"-0" INCHES IN EITHER DIRECTION.	
11. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE WITHOUT THE USE OF KEYS OR TOOLS.	
12. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
13. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
14. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
15. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
16. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
17. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
18. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
19. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
20. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
21. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
22. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
23. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
24. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
25. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
26. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
27. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
28. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
29. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
30. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
31. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
32. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
33. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
34. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
35. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
36. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
37. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
38. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
39. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
40. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
41. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
42. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
43. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
44. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
45. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
46. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
47. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
48. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
49. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
50. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
51. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
52. IN HALLS, DOORS PROVIDED FOR EMERGENCY ESCAPE SHALL MEET ALL MIN. CLEAR OPENING OF 5'-0" X 3'-0" INCHES. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPER	

FIRST COLONY DEVELOPMENT



OWNER / CLIENT:

FIRST COLONY DEV. LLC
929 POST ROAD EAST
MARLBOROUGH, MA 01752
TEL. (508) 481-6095
FAX (508) 460-0578

ARCHITECT:

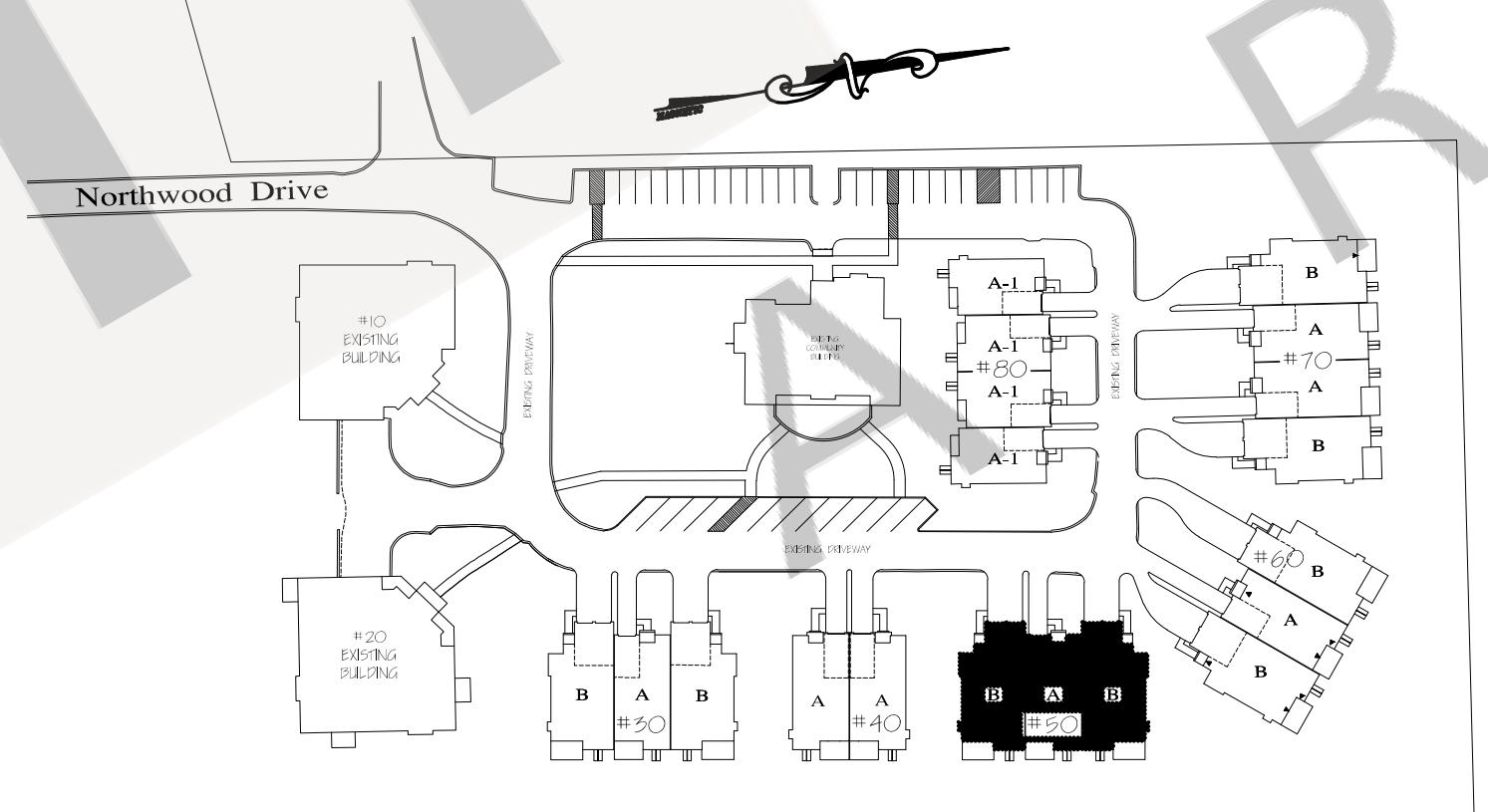
HPA DESIGN, INC.
200 STONEWALL BLVD.
SUITE 5
WRENTHAM, MA 02093
TEL. (508) 384-8838
FAX (508) 384-0483

STRUCTURAL ENGINEER

DWD ENGINEERING, INC.
5 MICHAEL RD.
EAST BRIDGEWATER
TEL. (508) 378-9602
FAX (508) 378-2922

CONTRACTOR:

LOBISSEUR BUILDING CORP.
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747
TEL. (508) 418-6235
FAX (508) 413-0794



KEY PLAN

SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
- S1.3 2ND FLOOR FRAMING
- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
GENERAL	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (RTH EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE SITE CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
DIMENSIONS	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF THAT OPENING FROM THE CENTER OF ANOTHER OPENING OR THE EXTERIOR FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES REFERS TO THE POSITION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSION AT STAIR REPRESENTS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. INTERIOR DIMENSION AT DOOR PLACES REFERS TO THE POSITION TO THE MIDDLE OF THE DOOR (UNLESS OTHERWISE NOTED).	
4. HEIGHTS ARE TO BE DEPICTED THE BUILDING HEIGHT, SHOWS THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST STAIRWAY TO THE ROOF. THE CONTRACTOR SHALL PROVIDE THE EXACT ELEVATION OF THE ROOF LINE AND ALL OTHER BUILDINGS, MUST BE CONFIRMED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED ROOF ATTACHMENT.	
5. ALL OTHER DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY 3'-0" TO 4' (DEPENDING ON THE CLOSET).	
6. CLOSET DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY CENTERED WITHIN THE CLOSET.	
7. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING TYPE, UNLESS OTHERWISE NOTED.	
STAIRWAYS/DECKS	
1. STAIRWAYS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT. IN ALL PORTIONS ABOVE THE FINISHED HANDARAIL, THE CLEAR OPENING FROM THE BOTTOM TREAD DEPTH TO THE MINIMUM CEILING HEIGHT SHALL BE 4'-0". MINIMUM CEILING HEIGHT SHALL BE 7'-0". MAXIMUM TREAD DEPTH SHALL BE 8"-0" INCHES. NO TREAD DEPTH SHALL EXCEED 1 1/4". WINDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10"-0". TREADS SHALL NOT EXCEED 12"-0" IN LENGTH. TREADS SHALL BE PROVIDED IN A SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF A LANDING OR PLATFORM.	
2. HANDRAILS SHALL BE PROVIDED AT LEAST ONE CONTINUOUS RAIL OR TREADS OR FLIGHTS OF STEPS HAVING A MAX. RISE OF 30"-0". MINIMUM HEIGHT SHALL BE 34"-0" AND MAX. NOT EXCEED 40"-0". MAXIMUM DEPTH SHALL BE 8"-0" INCHES. GUARDRAILS SHALL BE PROVIDED ON THE FLOOR, GUARDAILS SHALL NOT EXCEED 40"-0" INCHES.	
3. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL NOT EXCEED 40"-0" INCHES. GUARDAILS SHALL NOT EXCEED 40"-0" INCHES. GUARDAILS, RAILINGS, AND FLOORS SHALL NOT EXCEED 40"-0" INCHES.	
4. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY SHALL NOT BE SUCH A SIZE THAT A 5X5 INCH (6" SPHERE) CANNOT PASS THROUGH. OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIRS SHALL NOT ALLOW A SPHERE 4-3/8" INCHES TO PASS THROUGH.	
5. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF AN INTEGRAL BASEMENT OR INSTITUTE THE WALLS AND UNDERSTAIRS. AN ISOLATED DOOR SHALL NOT EXCEED 30"-0" IN LENGTH. GUARDAILS SHALL NOT EXCEED 40"-0" INCHES. GUARDAILS, RAILINGS, AND FLOORS SHALL NOT EXCEED 40"-0" INCHES.	
6. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND UNDERSTAIRS AND PROVIDE AN ISOLATED DOOR AT THE BOTTOM OF ATTIC STAIRS.	
7. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF EXTERIOR STAIRS. ISOLATE THE WALLS AND UNDERSTAIRS AND PROVIDE AN ISOLATED DOOR AT THE BOTTOM OF EXTERIOR STAIRS.	
8. HATCHES SHOWN ON THE DRAWINGS ARE BASED GENERICALLY ON ANDERSEN AND THE OWNER OR GENERAL CONTRACTOR WHERE APPLICABLE SHALL CHOOSE THE FINA MANUFACTURER. WINDOW SIZES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING. ROUGH OPENINGS SHALL BE PROVIDED BY THE MANUFACTURER.	
9. BASEMENTS, ATTICS, AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW. EACH SHALL HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING. IN ADDITION, A BASEMENT SHALL NOT REQUIRE ONE EMERGENCY ESCAPE AND RESCUE OPENINGS IF THE FOLLOWING CRITERIA:	
a) GILL HEIGHT SHALL NOT BE MORE THAN 48 INCHES ABOVE THE FLOOR.	
b) A DOOR SWINGING THROUGH BELOW THE JACKSON HEIGHT ELEVATION IS USED AS AN EMERGENCY ESCAPE AND RESCUE OPENING AND IS PROVIDED WITH A DELUXE ENCLOSURE. THE SWING SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT AND WHEN THE BULBHEAD IS FULLY OPEN IT SHALL PROVIDED DIRECT ACCESS TO THE BASEMENT.	
c) EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A 5'0" ELEVATION BELOW THE JACKSON GROUND FLOOR SHALL BE PROVIDED IN ACCORDANCE WITH THE JACKSON HEIGHT ELEVATION. THE JACKSON HEIGHT ELEVATION IS 48"-0" IN NOMINAL HEIGHT AND A MINIMUM HORIZONTAL PROJECTION OF 30"-0". THE BULBHEAD SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO FULLY OPENED.	
d) DOUBLE HUNG ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.1" SQUARE FEET.	
10. GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.0" SQUARE FEET.	
11. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL BE PERMITTED TO HAVE A MIN. CLEAR OPENING OF 24"-0" X 30"-0" INCHES IN EITHER DIRECTION.	
12. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE WITHOUT THE USE OF KEYS OR TOOLS.	
13. THE MINIMUM NET CLEAR OPENING SHALL BE 24"-0" X 30"-0" INCHES IN EITHER DIRECTION.	
14. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE WITHOUT THE USE OF KEYS OR TOOLS.	
15. IN HALLS, WHERE THE OPENING OF AN OPERABLE WINDOW LOCATED THEREIN TO HIGHER THAN 48"-0" ABOVE THE FLOOR, THE OPENING SHALL NOT ALLOW A 4-INCH DIAMETER SPHERE TO PASS THROUGH THE OPENING SINCE THE OPENING IS IN THE LARGEST OPEN POSITION.	
16. OPENINGS THAT ARE PROVIDED WITH HINCH FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R402.3.	
17. HINCHES THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R402.4.	
18. HINCHES THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R402.4.	
SPRINKLERS	
1. STARWAYS, RAMP, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS.	
2. REQUIRED EXITS SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES.	
3. EXTERIOR EXIT SPACES UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.	
4. EXITS FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36"-0" WITH A NOMINAL HEIGHT SMALL OF 72"-0" AND A NOMINAL DEPTH OF 30"-0" IN NOMINAL HEIGHT AND MAY BE SLIDING OR SIDE-HINGED. EXITS FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36"-0" WITH A NOMINAL HEIGHT SMALL OF 72"-0" AND A NOMINAL DEPTH OF 30"-0" IN NOMINAL HEIGHT AND MAY BE SLIDING OR SIDE-HINGED.	
5. EXITS FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36"-0" WITH A NOMINAL HEIGHT SMALL OF 72"-0" AND A NOMINAL DEPTH OF 30"-0" IN NOMINAL HEIGHT AND MAY BE SLIDING OR SIDE-HINGED.	
6. ALL OTHER EXTERIOR DOORS IN EXCESS OF THE REQUIRED EXIT DOORS ARE NOT REQUIRED TO COMPLY WITH THE REQUIREMENTS OF THIS SECTION.	
7. ALL INTERIOR DOORS PROVIDING ACCESS TO HABITABLE ROOMS SHALL HAVE A NOMINAL WIDTH OF 30"-0" IN NOMINAL HEIGHT AND A NOMINAL DEPTH OF 30"-0" IN NOMINAL HEIGHT.	
8. THE CONTRACTOR SHALL PROVIDE A 30"-0" DEEP HALLWAY IN FRONT OF THE DOOR TO THE HABITABLE ROOM IN NOMINAL WIDTH.	
9. A DOOR OR LANDING SHALL NOT EXCEED 180 DEGREES FROM THE PLANE OF DRAFT LANDING THAN THE DOOR SERVED AND HAVE A MINIMUM DIMENSION OF 36"-0" INCHES MEASURED IN THE DIRECTION OF TRAVEL.	
10. SPRINKLERS:	
The 3-unit townhouse has an aggregate area of 1,210 SF and shall be designed with a minimum NFPA 13 system.	
CONSTRUCTION BY:	
FIRST COLONY DEV. LLC	
#50 NORTHWOOD DRIVE, NORTHWOOD TOWNSHOUSE CONDO'S, SUDBURY, MA	
TITLE SHEET	
KEY PLAN	
200 Wrentham	
These drawings and specifications were prepared for use at the location indicated herein. They are expressly limited to the identified location and are not to be reproduced by any method, in whole or in part, without the written permission of HPA Design, ©2018	
SHEET:	
A0.1	
JOB NO. 20180101	

DATE: AUGUST 1, 2016
DRAWN BY: RWB contact@hpadesign.com
CHECKED BY: HPA
PATH: 20180101_FIRST COLONY DEV 20180101LCDs
SCALE: SEE DRAWING
REVISIONS: # DATE DESC.
O ISSUED FOR CONSTRUCTION

FIRST COLONY DEVELOPMENT



OWNER / CLIENT:

FIRST COLONY DEV. LLC
929 POST ROAD EAST
MARLBOROUGH, MA 01752
TEL. (508) 481-6095
FAX (508) 460-0578

ARCHITECT:

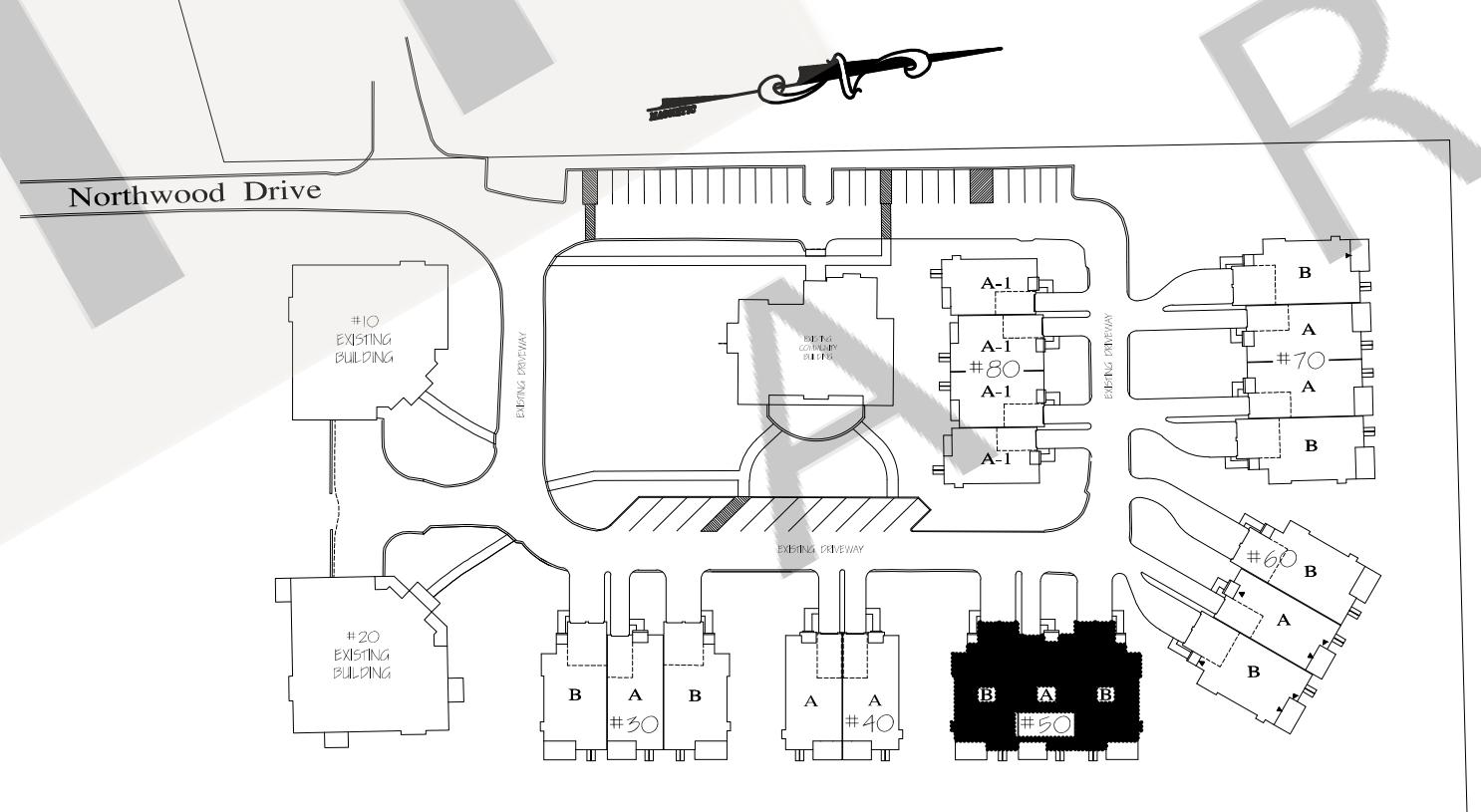
HPA DESIGN, INC.
200 STONEWALL BLVD.
SUITE 5
WRENTHAM, MA 02093
TEL. (508) 384-8838
FAX (508) 384-0483

STRUCTURAL ENGINEER

DWD ENGINEERING, INC.
5 MICHAEL RD.
EAST BRIDGEWATER
TEL. (508) 378-9602
FAX (508) 378-2922

CONTRACTOR:

LOBISSEUR BUILDING CORP.
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747
TEL. (508) 478-6235
FAX (508) 473-0794



KEY PLAN

SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
- S1.3 2ND FLOOR FRAMING
- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
GENERAL	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (RTH EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE SITE CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
DIMENSIONS	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF THAT OPENING FROM THE CENTER OF ANOTHER OPENING OR THE EXTERIOR FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES REFERS TO THE POSITION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSION AT STAIR REPRESENTS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. INTERIOR DIMENSION AT DOOR PLACES REFERS TO THE POSITION TO THE MIDDLE OF THE DOOR (UNLESS OTHERWISE NOTED).	
4. HEIGHTS ARE TO BE DEPICTED THE BUILDING HEIGHT, SHOWS THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST TO THE GROUND. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ELEVATION OF THE GROUND LEVEL AND ALL OTHER BUILDINGS, MUST BE CONFIRMED WITH THE FUTURE MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
5. HEIGHTS ARE TO BE DEPICTED THE BUILDING HEIGHT, SHOWS THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST TO THE GROUND. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE ELEVATION OF THE GROUND LEVEL AND ALL OTHER BUILDINGS, MUST BE CONFIRMED WITH THE FUTURE MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
6. ALL DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY 36" TO 38" (DEPENDING ON THE CLOSET).	
7. DOORS LOCATED IN EASING AREAS ARE TYPICALLY DIMENCHED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
STAIRWAYS/DECKS	
1. STAIRWAYS SHALL NOT BE LESS THAN 48" IN CLEAR HEIGHT. ALL PORCH ABOVE THE FINISHED HANDBALUST SHALL BE PROVIDED WITH A MINIMUM CLEARANCE OF 42". THE DEPTH OF THE TREAD SHALL BE 10" MINIMUM AND DEPTH SHALL BE 10" MAXIMUM. DEPTH OF THE NOSING SHALL NOT EXCEED 1 1/4". WINDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE HANDBALUST SIDE WITH A MIN. TREAD DEPTH OF 10" AND A MAX. DEPTH OF 12". THE DEPTH OF THE NOSING SHALL NOT EXCEED 1 1/4" AND THE DEPTH OF THE TREAD SHALL BE 10" IN A SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF A LANING OR PLATFORM.	
2. HANDRAILS SHALL BE PROVIDED AT EACH CONTINUOUS RUN OF TREADS OR FLIGHTS OF STEPS. ALL HANDRAILS SHALL BE PROVIDED AT A MINIMUM HEIGHT OF 34" AND A MAXIMUM NOT TO EXCEED 38". ALL OTHER DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY CENTERED WITHIN THE CLOSET.	
3. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S HIGHER THAN 30" ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 36" MINIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 36" MINIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 48" MAXIMUM. GUARDRAILS, RAILS, BALUSTERS, AND FLOORS SHALL NOT EXCEED 4" INCHES.	
4. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S HIGHER THAN 30" ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 36" MINIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 48" MAXIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 4" INCHES.	
5. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S HIGHER THAN 30" ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 36" MINIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 48" MAXIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 4" INCHES.	
6. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S HIGHER THAN 30" ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 36" MINIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 48" MAXIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 4" INCHES.	
7. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S HIGHER THAN 30" ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 36" MINIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 48" MAXIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 4" INCHES.	
8. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S HIGHER THAN 30" ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 36" MINIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 48" MAXIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 4" INCHES.	
9. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S HIGHER THAN 30" ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 36" MINIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 48" MAXIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 4" INCHES.	
10. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S HIGHER THAN 30" ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 36" MINIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 48" MAXIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 4" INCHES.	
11. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S HIGHER THAN 30" ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 36" MINIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 48" MAXIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 4" INCHES.	
12. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S HIGHER THAN 30" ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 36" MINIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 48" MAXIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 4" INCHES.	
13. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S HIGHER THAN 30" ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 36" MINIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 48" MAXIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 4" INCHES.	
14. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S HIGHER THAN 30" ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 36" MINIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 48" MAXIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 4" INCHES.	
15. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S HIGHER THAN 30" ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 36" MINIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 48" MAXIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 4" INCHES.	
16. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S HIGHER THAN 30" ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 36" MINIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 48" MAXIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 4" INCHES.	
17. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S HIGHER THAN 30" ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 36" MINIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 48" MAXIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 4" INCHES.	
18. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S HIGHER THAN 30" ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 36" MINIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 48" MAXIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 4" INCHES.	
19. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S HIGHER THAN 30" ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 36" MINIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 48" MAXIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 4" INCHES.	
20. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S HIGHER THAN 30" ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 36" MINIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 48" MAXIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 4" INCHES.	
21. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S HIGHER THAN 30" ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 36" MINIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 48" MAXIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 4" INCHES.	
22. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S HIGHER THAN 30" ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 36" MINIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 48" MAXIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 4" INCHES.	
23. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S HIGHER THAN 30" ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A F	

FIRST COLONY DEVELOPMENT



OWNER / CLIENT:

FIRST COLONY DEV. LLC
929 POST ROAD EAST
MARLBOROUGH, MA 01752
TEL. (508) 481-6095
FAX (508) 460-0578

ARCHITECT:

HPA DESIGN, INC.
200 STONEWALL BLVD.
SUITE 5
WRENTHAM, MA 02093
TEL. (508) 384-8838
FAX (508) 384-0483

STRUCTURAL ENGINEER

DWD ENGINEERING, INC.
5 MICHAEL RD.
EAST BRIDGEWATER
TEL. (508) 378-9602
FAX (508) 378-2922

CONTRACTOR:

LOBISSEUR BUILDING CORP.
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747
TEL. (508) 418-6235
FAX (508) 413-0794



KEY PLAN

SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
- S1.3 2ND FLOOR FRAMING
- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
GENERAL	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (RTH EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE SITE CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
DIMENSIONS	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF THAT OPENING FROM THE CENTER OF ANOTHER OPENING OR THE EXTERIOR FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES REFERS TO THE POSITION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSIONING AT STAIR REPRESENTS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. INTERIOR DIMENSIONING AT DOORS REFERS TO THE INSIDE EDGE OF THE DOOR FRAME AND ALL OTHER DOORS, MUST BE CONFIRMED WITH THE FUTURE MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
4. HEIGHTS DEPICTING THE BUILDING HEIGHT, SHOWS THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS ARE FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST STAIRWAY TO THE ROOF. THE ROOF HEIGHT IS THE TOTAL HEIGHT OF THE ROOF, INCLUDING THE SLOPED PLANE OF THE 1ST FLOOR, TO ENSURE COMPLIANCE WITH ZONING AND BUILDING CODE HEIGHT REQUIREMENTS.	
5. ALL OTHER DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY 3'-0" TO 4' (DEPENDING ON THE FLOOR/CASEMENT).	
6. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
STAIRWAYS/DECKS	
1. STAIRWAYS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT. IN ALL PORTALS ABOVE THE RISER/TREAD, THE CLEARANCE FROM THE BOTTOM OF THE RISER/TREAD TO THE CEILING SHALL BE 6'-0" MINIMUM. THE DEPTH SHALL BE 1'-0" INCHES NOT TO EXCEED 1'-4". RISER/TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10" INCHES. THE DEPTH OF THE RISER/TREADS SHALL BE EQUAL TO THE DEPTH OF THE TREADS ON THE SLOPED PLANE ADDING THE TREAD NOSE OR FROM THE FLOOR SURFACE OF A LANDING OR PLATFORM.	
2. HANDRAILS SHALL BE PROVIDED AT EACH CONTINUOUS RUN OF TREADS OR FLIGHTS OF STEPS. THE MINIMUM HEIGHT SHALL BE 34"-0" MAXIMUM NOT TO EXCEED 37"-0".	
3. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLORAL, PORCH OR BALCONY AREA'S HIGHER THAN 30"-0" INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30') INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 36"-0" INCHES HIGH. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF 30"-0" INCHES OR LESS, SHALL BE 34"-0" INCHES HIGH. GUARDRAILS, RAILS, BALUSTERS AND FLOORS SHALL NOT EXCEED 4" INCHES.	
4. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY SHALL NOT BE SUCH A SIZE THAT A 5X5 INCH (6" SPHERE) CANNOT PASS THROUGH. OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIRS SHALL NOT ALLOW A SPHERE 4-3/8" INCHES TO PASS THROUGH.	
5. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF AN INTEGRAL BASEMENT OR INSTITUTE THE WALLS AND UNDERSTAIRS. AN ISOLATED DOOR SHALL NOT BE PROVIDED IN AN INTEGRAL BASEMENT STAIRS.	
6. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND UNDERSTAIRS AND PROVIDE AN ISOLATED DOOR AT THE BOTTOM OF ATTIC STAIRS.	
7. HATCHES SHOWN ON THE DRAWINGS ARE BASED GENERICALLY ON ANDERSEN AND THE OWNER OR GENERAL CONTRACTOR WHERE APPLICABLE SHALL CHOOSE THE FINA MANUFACTURER. WINDOW SIZES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING. ROUGH OPENINGS SHALL BE PROVIDED BY THE MANUFACTURER.	
8. BASEMENTS, EXTERIOR ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW. EACH SHALL HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING. INTEGRAL BASEMENT WILL NOT REQUIRE ONE ESCAPE AND RESCUE OPENINGS DUE TO THE FOLLOWING CRITERIA:	
a) GILL HEIGHT SHALL NOT BE MORE THAN 48 INCHES ABOVE THE FLOOR.	
b) A DOOR SWINGING THROUGH BELOW THE JACKSON LEVEL AND THE ELEVATION IS USED AS AN EMERGENCY ESCAPE AND RESCUE OPENING. IF THE DOOR IS PROVIDED WITH A DELUXE ENCLOSURE, THE DOOR SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT AND WHEN THE BULBHEAD IS FULLY OPEN IT SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT.	
c) EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A 5'0" ELEVATION BELOW THE ADJACENT GROUND FLOOR. THE OPENING SHALL BE 3'-0" INCHES HIGH AND 3'-0" INCHES WIDE. THE OPENING SHALL BE 3'-0" INCHES HIGH AND A MINIMUM HORIZONTAL PROJECTION OF 36". THE PERSON HELD SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO FULLY OPENED.	
d) DOUBLE HUNG ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.1" SQUARE FEET.	
e) GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.0" SQUARE FEET.	
f) DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL BE PERMITTED TO HAVE A MIN. CLEAR OPENING OF 24"-0" X 30"-0" INCHES. THE MINIMUM NET CLEAR OPENING SHALL BE 5.0" INCHES HIGH AND 30" INCHES WIDE.	
g) THE MINIMUM NET CLEAR OPENING SHALL BE 24"-0" X 30"-0" INCHES IN EITHER DIRECTION.	
h) EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE WITHOUT THE USE OF KEYS OR TOOLS.	
i) IN HOMES WHERE THE OPENING OF AN OPERABLE WINDOW LOCATED THEREIN TO ACCES THE OPENING, THE OPENING IS IN THE LARGEST POSSIBLE POSITION.	
j) OPENINGS THAT ARE PROVIDED WITH HINCH FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R402.12.	
k) HINCHES THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R402.12.	
l) OPENINGS THAT ARE PROVIDED WITH FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R402.12.	
m) OPENINGS THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R402.12.	
n) STARWAYS, RAMPS, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS.	
o) REQUIRED EXITS SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES.	
p) REQUIRED EXIT SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.	
q) EXITS FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT SHALL OF 72" NOMINAL INCHES. THE NOMINAL WIDTH OR HEIGHT SHALL NOT EXCEED 36" NOMINAL INCHES. THE NOMINAL WIDTH OR HEIGHT SHALL BE 36" NOMINAL INCHES IN NORMAL HEIGHT AND MAY BE SLIDING OR SIDE-HINGED. EXCEPT FOR DWELLING UNITS THAT ARE PROVIDED WITH A 36" EXIT DOOR.	
r) ALL OTHER EXTERIOR DOORS IN EXCESS OF THE REQUIRED EXIT DOORS ARE NOT REQUIRED TO COMPLY.	
s) ALL INTERIOR DOORS PROVIDING ACCESS TO HABITABLE ROOMS SHALL HAVE A NOMINAL WIDTH OF 30 INCHES NOMINAL INCHES AND A NOMINAL HEIGHT OF 80 INCHES NOMINAL INCHES. THE NOMINAL WIDTH AND HEIGHT SHALL BE 30" NOMINAL INCHES.	
t) A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED IN THE DIRECTION OF TRAVEL.	
u) A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED IN THE DIRECTION OF TRAVEL.	
MINIMUM ROOM REQUIREMENTS	
1. HABITABLE ROOMS, HALLWAYS, CORRIDORS, BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS AND BASEMENTS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN SEVEN (7) FEET MEASURED FROM THE FINISH FLOOR TO THE LOWEST PROJECTION FROM THE CEILING.	
EXCEPTIONS:	
2. BEAMS AND GIRDERS SPACED NOT LESS THAN FOUR (4) FEET ON CENTER MAY PROJECT NOT MORE THAN SIX (6) INCHES BELOW THE REQUIRED CEILING HEIGHT.	
3. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE SITE CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.	
5. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
6. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
ROOFING AND Siding	
1. PROVIDE CONTINUOUS 6'-0" INCH FIBERGLASS REINFORCED, BITUMEN, ICE AND WATER SHIELD AT ALL ROOF EDGES CENTERED IN ALL VALLEYS AND AT ROOF WALL INTERSECTIONS CARRIED 1'-0" UP THE WALL REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.	
2. PROVIDE ALUMINUM FLASHING OVER ALL WINDOW AND DOOR HEAD IRON AND AT THE CONNECTION BETWEEN ALL EXTERIOR ROOF EDGES.	
3. PROVIDE ALUMINUM FLASHING OVER ALL ROOF/WALL AND ROOF/GABLE INTERSECTIONS.	
4. PROVIDE DRIP EDGE AND Drip Edge Flashing.	
5. PROVIDE FELT UNDER ALL ROOF SHINGLES UNLESS SPECIFIED OTHERWISE.	
6. PROVIDE CONTINUOUS RIDGE VENTS (UNLESS SPECIFIED AS OTHERWISE). SEE BUILDING EXTENT.	
7. ALL GUTTERS AND DOWNGOATS TO BE PREFINISHED ALUM. COLOR TO BE SELECTED BY OWNER.	
8. LIGHTVENTILATION AND INSULATION.	
9. ALL HABITABLE ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING OF NOT LESS THAN 28% OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, LOUVRES OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR. THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA OF SUCH ROOMS.	
EXCEPTIONS:	
1. THE GLAZED AREAS SHALL NOT BE OPENABLE WHERE THE OPENING IS NOT A REQUIRED TO BE AN EMERGENCY ESCAPE AND RESCUE OPENING AND AN APPROVED MECHANICAL VENTILATION SYSTEM IS PROVIDED CAPABLE OF PROVIDING 0.05 Q/S ARE OPENING PER HOUR IN THE ROOM OR A ONE-HOUSE MECHANICAL VENTILATION SYSTEM IS PROVIDED CAPABLE OF PROVIDING AN AVERAGE OF 60 CFM PER OCCUPANT PER 24 HRS FOR THE FIRST BEDROOM AND ONE FOR EVERY ADDITIONAL BEDROOM.	
2. ALL BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING AREA OF NOT LESS THAN THREE SQUARE FEET, 1/2 OF WHICH MUST BE OPENABLE.	
EXCEPTION:	
THE GLAZED AREA SHALL NOT BE REQUIRED WHERE ARTIFICIAL LIGHT AND A MECHANICAL VENTILATION SYSTEM ARE PROVIDED. VENTILATION AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE.	
3. ATTIC VENTILATION WITH A CEILING VAPOR BARRIER. PROVIDE AT LEAST ONE (1) SQUARE FOOT OF FREE AREA FOR EACH THREE HUNDRED (300) SQUARE FOOT OF CEILING AREA.	
4. ATTIC VENTILATION WITHOUT A CEILING VAPOR BARRIER. PROVIDE AT LEAST ONE (1) SQUARE FOOT OF FREE AREA FOR EACH ONE HUNDRED-FIFTY (150) SQUARE FOOT OF CEILING AREA.	
5. IF MECHANICAL, ELECTRICAL OR PLUMBING EQUIPMENT IS TO BE PLACED IN ATTICS, DUE OVERHEATING AND OTHER SIMILAR UNINTENDED SPACES, THE CONTRACTOR IS RESPONSIBLE TO PROVIDE A PROPER ENCLOSURE, INSULATION, DUCT VENTILATION, ETC., TO AVOID MOISTURE, CONDENSATION, FREEZING, ICE DAMMING, AND OTHER SIMILAR ISSUES.	
PLUMBING:	
1. ALL SANITARY LINES WITHIN WALLS AND FLOORS ADJOINING LIVING SPACES ARE TO BE SOUND INSULATED.	
2. ALL SANITARY LINES WITHIN WALLS OR FLOORS CAVITIES WHICH BORDER UNCONDITIONED SPACES ARE TO BE INSULATED AND ON THE WARM SIDE OF THE GROUT JACKET TO AVOID FREEZING.	
SMOKE & CARBON MONOXIDE DETECTORS:	
1. ALL ONE AND TWO FAMILY SHALL BE EQUIPPED WITH A HOUSEHOLD FIRE MAPPING SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS AND THE CONTRACTOR'S OWNERS MANUAL.	
2. SMOKE DETECTORS ARE REQUIRED TO BE PERMANENTLY WIRED TO AN AC-PRIMARY POWER SOURCE AND SHALL RECEIVE SECONDARY STANDBY POWER SUPPLIED FROM CONTINUED BATTERIES.	
3. WHERE MORE THAN ONE SMOKE DETECTOR IS REQUIRED, ALL REQUIRED DETECTORS SHALL BE INSTALLED SO THAT THE ACTIVATION OF ANY DETECTOR SHALL CAUSE THE ALARM IN ALL REQUIRED SMOKE DETECTORS IN THE DWELLING UNITS TO SOUND 85 DBA AT 10 FEET, 15 FEET IN BEDROOMS.	
4. SMOKE DETECTORS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:	
a) IN EACH BEDROOM.	
b) IN EACH STORY OF THE HOME, WHETHER IT BE A BASEMENT, GROUND FLOOR OR AN ATTIC.	
c) IN EACH STORY OF THE HOME, WHETHER IT BE A BASEMENT, GROUND FLOOR OR AN ATTIC.	
5. PHOTO ELECTRIC SMOKE DETECTORS ARE REQUIRED IF LOCATED WITHIN 10 FEET OF A KITCHEN OR BATHROOM.	
6. WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED TO AN EXISTING DWELLING, THE ENTIRE BUILDING SHALL BE PROVIDED WITH SMOKE DETECTORS DESIGNED AND LOCATED AS REQUIRED FOR NEW DWELLINGS.	
CARBON MONOXIDE ALARM/DETECTOR:	
1. ALL ONE AND TWO FAMILY DWELLINGS SHALL BE EQUIPPED WITH A HOUSEHOLD CARBON MONOXIDE MAPPING SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS AND THE CONTRACTOR'S OWNERS MANUAL.	
2. CARBON MONOXIDE DETECTORS SHALL BE LOCATED ON EVERY LEVEL OF THE DWELLING UNIT INCLUDING	

FIRST COLONY DEVELOPMENT



OWNER / CLIENT:

FIRST COLONY DEV. LLC
929 POST ROAD EAST
MARLBOROUGH, MA 01752
TEL. (508) 481-6095
FAX (508) 460-0578

ARCHITECT:

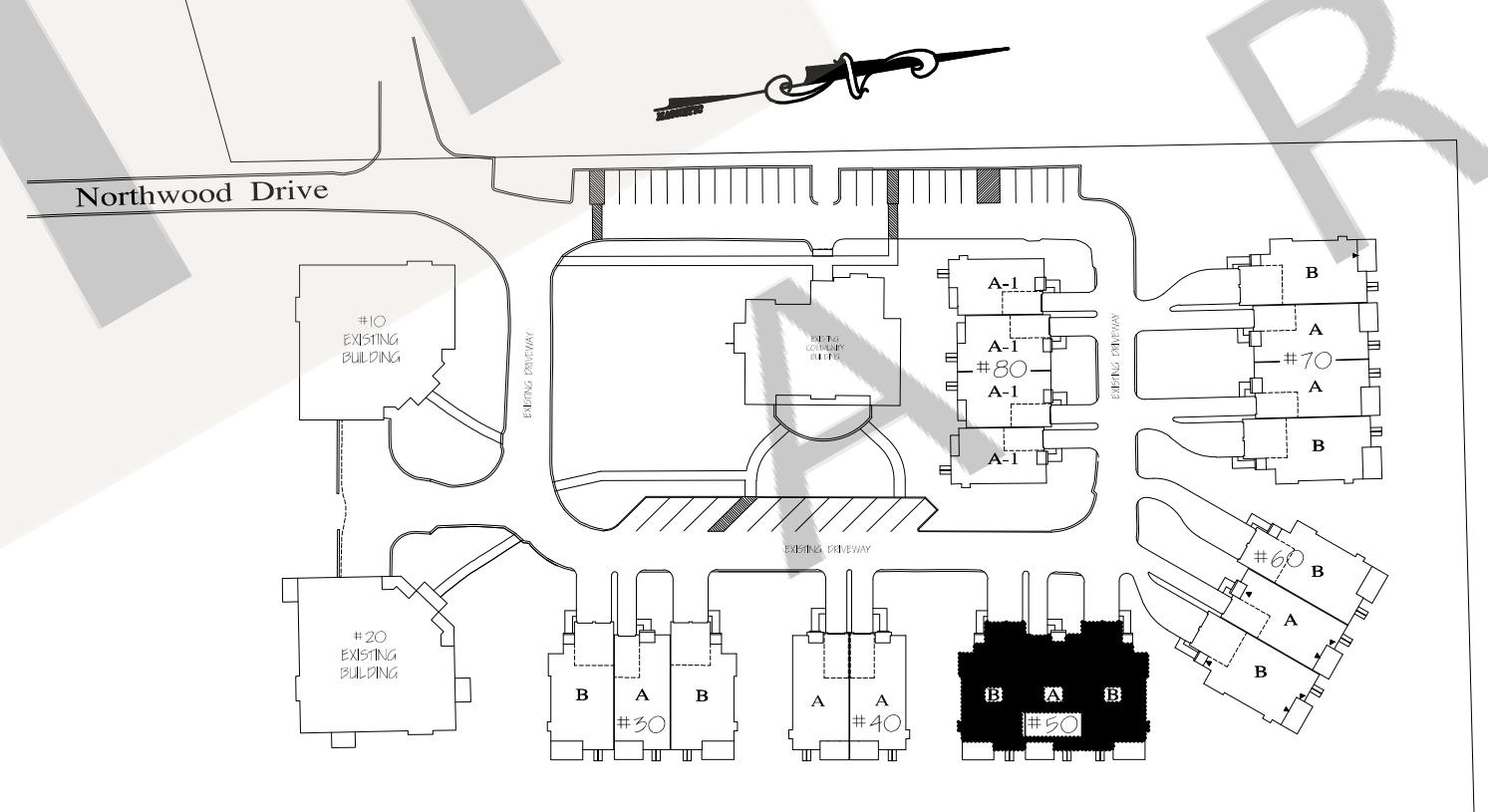
HPA DESIGN, INC.
200 STONEWALL BLVD.
SUITE 5
WRENTHAM, MA 02093
TEL. (508) 384-8838
FAX (508) 384-0483

STRUCTURAL ENGINEER

DWD ENGINEERING, INC.
5 MICHAEL RD.
EAST BRIDGEWATER
TEL. (508) 378-9602
FAX (508) 378-2922

CONTRACTOR:

LOBISSEUR BUILDING CORP.
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747
TEL. (508) 478-6235
FAX (508) 473-0794



KEY PLAN

SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
- S1.3 2ND FLOOR FRAMING
- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
GENERAL	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (RTH EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONjunction WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHAP DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF THE CONTRACTOR NOTIFIES THE ARCHITECT OF A DISCREPANCY, THE ARCHITECT SHALL NOTIFY THE CONTRACTOR, PRIOR TO PROCEEDING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORRECT, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT. IF THIS IS INCORRECT WITH THE SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/VALLEY INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
DIMENSIONS	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLATE REPRESENT A DIMENSION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSIONING AT STAIR REPRESENTS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. EXTERIOR DIMENSIONING TO A DOOR REFERS TO THE CENTER LINE OF THE DOOR.	
4. ATTACHMENT POINTS FOR THE BUILDING HEIGHT, SHOW THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS FOR THE BUILDING AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST STAIRWAY TO THE ROOF. THE CONTRACTOR SHALL PROVIDE THE EXACT ELEVATION OF THE STAIRWAY AND ALL OTHER BUILDINGS MUST BE CONFIRMED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
5. DIMENSIONS DEPICTING THE BUILDING HEIGHT, SHOW THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS FOR THE BUILDING AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST STAIRWAY TO THE ROOF. THE CONTRACTOR SHALL PROVIDE THE EXACT ELEVATION OF THE STAIRWAY AND ALL OTHER BUILDINGS MUST BE CONFIRMED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
6. ALL OTHER DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY 3'-0" TO 4' (DEPENDING ON THE STAIRCASE).	
7. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
STAIRWAYS/DECKS	
1. STAIRWAYS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT. IN ALL PORTIONS ABOVE THE FINISHED HANDBALUST, THE MINIMUM CLEAR HEIGHT SHALL BE 6'-0". IN ALL PORTIONS BELOW THE FINISHED HANDBALUST, THE DEPTH SHALL BE 4'-0" INCHES TO EXCEDE 1'-0". WINDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10"-0". ALL OTHER TREADS SHALL BE 10"-0" DEEP. ALL TREADS SHALL BE 10"-0" DEEP AND 10"-0" WIDE IN THE SLOPED PLANE ADDING THE TREAD NOSE OR FROM THE FLOOR SURFACE OF A LANING OR PLATFOR.	
2. HANDRAILS SHALL BE PROVIDED AT EACH CONTINUOUS RUN OF TREADS OR FLIGHTS OF STEPS. ALL HANDRAILS SHALL BE 3'-0" IN HEIGHT. MINIMUM HEIGHT SHALL BE 3'-0" AND MAXIMUM SHALL BE 3'-4" IN HEIGHT. ALL OTHER DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY CENTERED WITHIN THE GLOWS.	
3. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 36" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30" OR MORE SHALL BE 30" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30" OR MORE SHALL BE 30" IN HEIGHT. GUARDRAILS, RAILINGS, AND FLOORS SHALL NOT EXCEDE 4" INCHES.	
4. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED ON INSIDE OF STAIRS OR INSTEAD OF GUARDRAILS ON OUTSIDE OF STAIRS. GUARDRAILS ON OUTSIDE OF STAIRS OR INSTEAD OF GUARDRAILS ON INSIDE OF STAIRS SHALL NOT EXCEDE 4" INCHES.	
5. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 36" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30" OR MORE SHALL BE 30" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30" OR MORE SHALL BE 30" IN HEIGHT. GUARDRAILS, RAILINGS, AND FLOORS SHALL NOT EXCEDE 4" INCHES.	
6. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 36" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30" OR MORE SHALL BE 30" IN HEIGHT. GUARDRAILS, RAILINGS, AND FLOORS SHALL NOT EXCEDE 4" INCHES.	
7. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 36" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30" OR MORE SHALL BE 30" IN HEIGHT. GUARDRAILS, RAILINGS, AND FLOORS SHALL NOT EXCEDE 4" INCHES.	
8. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 36" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30" OR MORE SHALL BE 30" IN HEIGHT. GUARDRAILS, RAILINGS, AND FLOORS SHALL NOT EXCEDE 4" INCHES.	
9. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 36" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30" OR MORE SHALL BE 30" IN HEIGHT. GUARDRAILS, RAILINGS, AND FLOORS SHALL NOT EXCEDE 4" INCHES.	
10. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 36" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30" OR MORE SHALL BE 30" IN HEIGHT. GUARDRAILS, RAILINGS, AND FLOORS SHALL NOT EXCEDE 4" INCHES.	
11. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 36" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30" OR MORE SHALL BE 30" IN HEIGHT. GUARDRAILS, RAILINGS, AND FLOORS SHALL NOT EXCEDE 4" INCHES.	
12. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 36" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30" OR MORE SHALL BE 30" IN HEIGHT. GUARDRAILS, RAILINGS, AND FLOORS SHALL NOT EXCEDE 4" INCHES.	
13. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 36" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30" OR MORE SHALL BE 30" IN HEIGHT. GUARDRAILS, RAILINGS, AND FLOORS SHALL NOT EXCEDE 4" INCHES.	
14. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 36" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30" OR MORE SHALL BE 30" IN HEIGHT. GUARDRAILS, RAILINGS, AND FLOORS SHALL NOT EXCEDE 4" INCHES.	
15. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 36" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30" OR MORE SHALL BE 30" IN HEIGHT. GUARDRAILS, RAILINGS, AND FLOORS SHALL NOT EXCEDE 4" INCHES.	
16. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 36" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30" OR MORE SHALL BE 30" IN HEIGHT. GUARDRAILS, RAILINGS, AND FLOORS SHALL NOT EXCEDE 4" INCHES.	
17. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 36" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30" OR MORE SHALL BE 30" IN HEIGHT. GUARDRAILS, RAILINGS, AND FLOORS SHALL NOT EXCEDE 4" INCHES.	
18. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 36" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30" OR MORE SHALL BE 30" IN HEIGHT. GUARDRAILS, RAILINGS, AND FLOORS SHALL NOT EXCEDE 4" INCHES.	
19. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 36" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30" OR MORE SHALL BE 30" IN HEIGHT. GUARDRAILS, RAILINGS, AND FLOORS SHALL NOT EXCEDE 4" INCHES.	
20. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 36" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30" OR MORE SHALL BE 30" IN HEIGHT. GUARDRAILS, RAILINGS, AND FLOORS SHALL NOT EXCEDE 4" INCHES.	
21. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 36" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30" OR MORE SHALL BE 30" IN HEIGHT. GUARDRAILS, RAILINGS, AND FLOORS SHALL NOT EXCEDE 4" INCHES.	
22. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 36" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30" OR MORE SHALL BE 30" IN HEIGHT. GUARDRAILS, RAILINGS, AND FLOORS SHALL NOT EXCEDE 4" INCHES.	
23. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 36" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30" OR MORE SHALL BE 30" IN HEIGHT. GUARDRAILS, RAILINGS, AND FLOORS SHALL NOT EXCEDE 4" INCHES.	
24. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 36" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30" OR MORE SHALL BE 30" IN HEIGHT. GUARDRAILS, RAILINGS, AND FLOORS SHALL NOT EXCEDE 4" INCHES.	
25. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 36" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30" OR MORE SHALL BE 30" IN HEIGHT. GUARDRAILS, RAILINGS, AND FLOORS SHALL NOT EXCEDE 4" INCHES.	
26. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 36" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30" OR MORE SHALL BE 30" IN HEIGHT. GUARDRAILS, RAILINGS, AND FLOORS SHALL NOT EXCEDE 4" INCHES.	
27. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 36" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30" OR MORE SHALL BE 30" IN HEIGHT. GUARDRAILS, RAILINGS, AND FLOORS SHALL NOT EXCEDE 4" INCHES.	
28. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A	

FIRST COLONY DEVELOPMENT



OWNER / CLIENT:

FIRST COLONY DEV. LLC
929 POST ROAD EAST
MARLBOROUGH, MA 01752
TEL. (508) 481-6095
FAX (508) 460-0578

ARCHITECT:

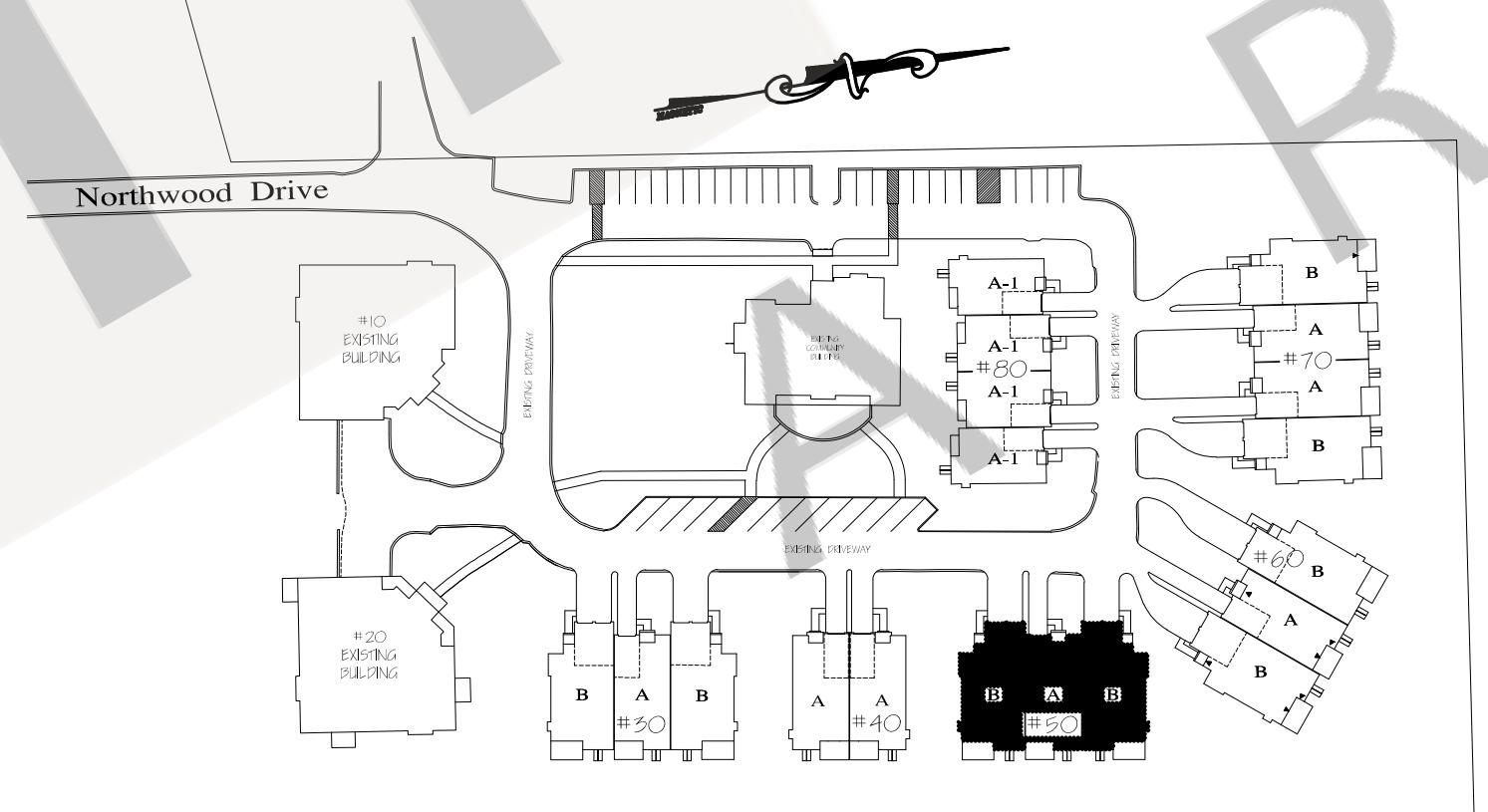
HPA DESIGN, INC.
200 STONEWALL BLVD.
SUITE 5
WRENTHAM, MA 02093
TEL. (508) 384-8838
FAX (508) 384-0483

STRUCTURAL ENGINEER

DWD ENGINEERING, INC.
5 MICHAEL RD.
EAST BRIDGEWATER
TEL. (508) 378-9602
FAX (508) 378-2922

CONTRACTOR:

LOBISSEUR BUILDING CORP.
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747
TEL. (508) 478-6235
FAX (508) 473-0794



KEY PLAN

SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
- S1.3 2ND FLOOR FRAMING
- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
GENERAL	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (RTH EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONjunction WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHAP DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF THE CONTRACTOR NOTIFIES THE ARCHITECT OF A DISCREPANCY, THE ARCHITECT SHALL NOTIFY THE CONTRACTOR, PRIOR TO PROCEEDING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORRECT, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT. IF THIS IS INCORRECT WITH THE SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
DIMENSIONS	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STAIR WELLS REFERS TO THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
d) DIMENSIONS TO CEILINGS ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
e) DIMENSIONS TO FLOOR ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
f) DIMENSIONS TO DECKING ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
g) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
h) DIMENSIONS TO ATTIC ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
i) DIMENSIONS TO DECKING ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
j) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
k) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
l) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
m) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
n) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
o) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
p) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
q) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
r) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
s) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
t) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
u) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
v) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
w) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
x) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
y) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
z) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
AA) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
BB) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
CC) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
DD) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
EE) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
FF) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
GG) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
HH) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
II) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
JJ) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
KK) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
LL) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
MM) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
NN) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
OO) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
PP) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
QQ) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
RR) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
SS) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
TT) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
UU) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
VV) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
WW) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
XX) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
YY) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
ZZ) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
AA) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
BB) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
CC) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
DD) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
EE) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
FF) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
GG) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
HH) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
II) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
JJ) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
KK) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
LL) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
MM) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
NN) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
OO) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
PP) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
QQ) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
RR) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
UU) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
VV) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
WW) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
XX) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
YY) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
ZZ) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
AA) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
BB) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
CC) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
DD) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
EE) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
FF) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
GG) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
HH) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
II) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
JJ) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
KK) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
LL) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
MM) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
NN) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
OO) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
PP) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
QQ) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
RR) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
UU) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
VV) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
WW) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
XX) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
YY) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
ZZ) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
AA) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
BB) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
CC) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
DD) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
EE) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
FF) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
GG) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
HH) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
II) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
JJ) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
KK) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
LL) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
MM) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
NN) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
OO) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
PP) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
QQ) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
RR) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
UU) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
VV) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
WW) DIMENSIONS TO ROOF ARE	

FIRST COLONY DEVELOPMENT



OWNER / CLIENT:

FIRST COLONY DEV. LLC
929 POST ROAD EAST
MARLBOROUGH, MA 01752
TEL. (508) 481-6095
FAX (508) 460-0578

ARCHITECT:

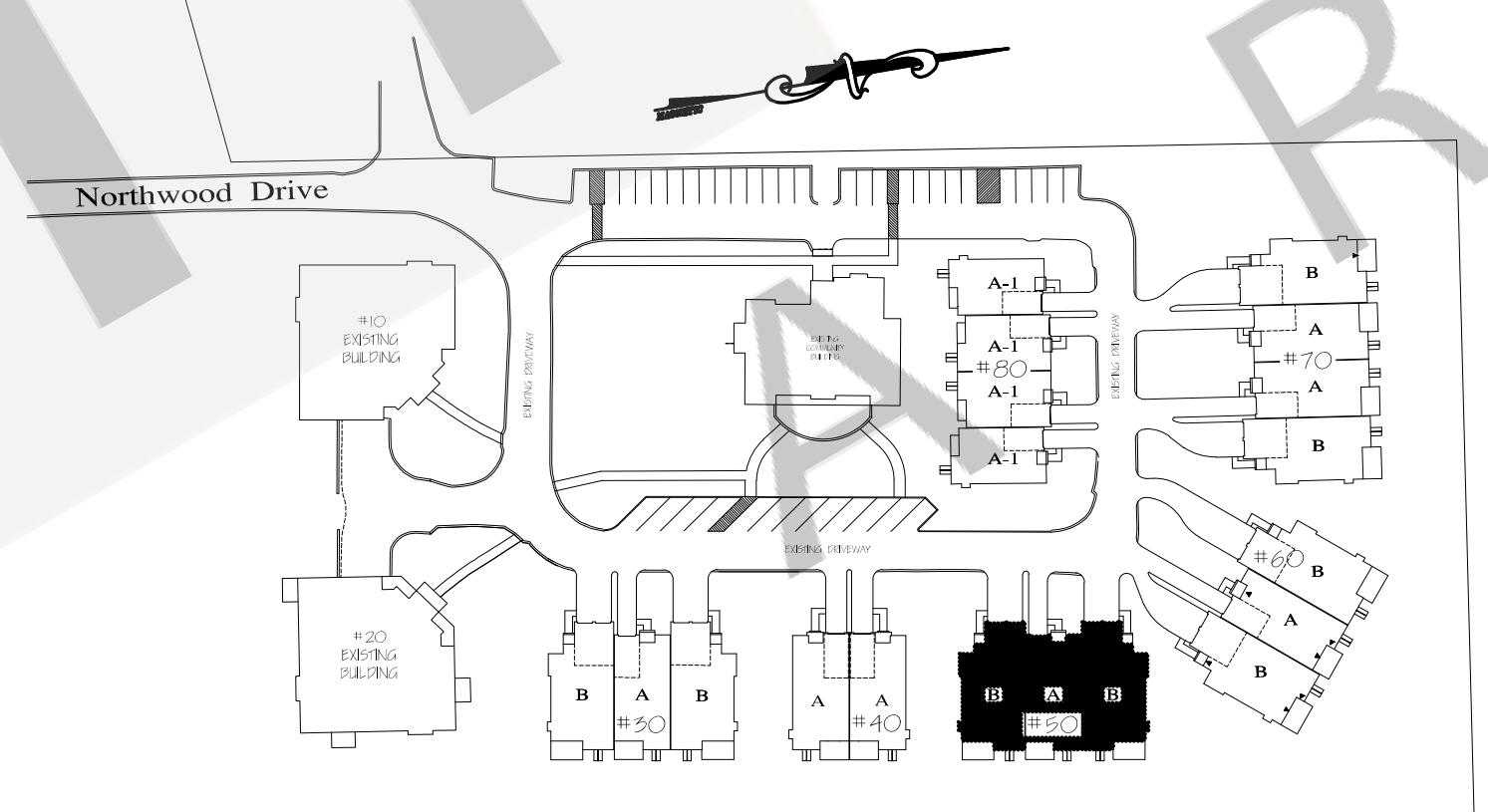
HPA DESIGN, INC.
200 STONEWALL BLVD.
SUITE 5
WRENTHAM, MA 02093
TEL. (508) 384-8838
FAX (508) 384-0483

STRUCTURAL ENGINEER

DWD ENGINEERING, INC.
5 MICHAEL RD.
EAST BRIDGEWATER
TEL. (508) 378-9602
FAX (508) 378-2922

CONTRACTOR:

LOBISSEUR BUILDING CORP.
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747
TEL. (508) 418-6235
FAX (508) 413-0794



KEY PLAN

SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
- S1.3 2ND FLOOR FRAMING
- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
GENERAL	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (RTH EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE SITE CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
DIMENSIONS	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF THAT OPENING FROM THE CENTER OF ANOTHER OPENING OR THE EXTERIOR FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES REFERS TO THE POSITION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSION AT STAR PLACES A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. ALL EXTERIOR DIMENSIONS ARE TO THE CENTER LINE OF THE EXTERIOR WALL AND ALL OTHER BULLETS, MUST BE CONFIRMED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
4. HEIGHTS DEPICTING THE BUILDING HEIGHT, SHOWS THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST STAIRWAY TO THE ROOF. THE ROOF HEIGHT IS THE TOTAL HEIGHT OF THE ROOF DECK, THE ROOFING, AND ALL OTHER DECKS THAT ARE NOT ENDED. THE ROOFING IS FROM THE ST STAIRWAY TO THE ROOF DECK.	
5. GUARDDOORS THAT ARE NOT ENDRESSED ARE TYPICALLY CENTERED WITHIN THE GLOZET.	
6. CLOSET DOORS THAT ARE NOT ENDRESSED ARE TYPICALLY CENTERED ON THE CENTER OF THE CLOSET.	
7. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
STAIRWAYS/DECKS	
1. STAIRWAYS SHALL NOT BE LESS THAN 40 INCHES HIGH AT ALL POINTS ABOVE THE FINISHED HANDBAR. THE DEPTH OF THE TREAD AND THE DEPTH OF THE RISER SHALL NOT EXCEED 10 INCHES. THE DEPTH OF THE TREAD AND THE DEPTH OF THE RISER SHALL NOT EXCEED 1 1/4". WIDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10 INCHES. THE DEPTH OF THE RISER SHALL NOT EXCEED 7 1/4" AND THE DEPTH OF THE TREAD SHALL NOT EXCEED 10 INCHES. THE DEPTH OF THE TREAD AND THE DEPTH OF THE RISER SHALL BE SLOPED PLANE ADJUSTING THE TREAD NOSE OR FROM THE FLOOR SURFACE OF A LANDING OR PLATFORM.	
2. HANDRAILS SHALL BE PROVIDED AT LEAST ONE CONTINUOUS RUN OF TREADS OR FLIGHTS OF STEPS THAT ARE 12' OR MORE IN LENGTH. MINIMUM HEIGHT SHALL BE 34" AND MAXIMUM SHALL BE 34" WITH A MAXIMUM NOT TO EXCEED 30" FROM THE FLOOR SURFACE. GUARDRAILS SHALL BE PROVIDED ON THE FLOOR SURFACE OF A LANDING OR PLATFORM.	
3. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH AND/OR BALCONY AREA'S HIGHER THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE INSTALLED ON THE FLOOR SURFACE OF THE STAIRS. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30" OR LESS ABOVE A FLOOR OR GRADE BELOW SHALL BE INSTALLED ON THE FLOOR SURFACE OF THE STAIRS. RAILINGS, GUARDRAILS, AND FLOORS SHALL NOT EXCEED 4" INCHES.	
4. GUARDRAILS ON OPEN SIDES OF STAIRS SHALL BE SUCH A SIZE THAT A 5X5 INCH (6" SPHERE) CANNOT PASS THROUGH. OPENINGS ON GUARDRAILS ON OPEN SIDES OF STAIRS OR INSTEAD OF GUARDRAILS ON OPEN SIDES OF STAIRS SHALL NOT ALLOW A SPHERE 4-3/8" INCHES TO PASS THROUGH.	
5. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH AND/OR BALCONY AREA'S HIGHER THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE INSTALLED ON THE FLOOR SURFACE OF THE STAIRS. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30" OR LESS ABOVE A FLOOR OR GRADE BELOW SHALL BE INSTALLED ON THE FLOOR SURFACE OF THE STAIRS. RAILINGS, GUARDRAILS, AND FLOORS SHALL NOT EXCEED 4" INCHES.	
6. GUARDRAILS ON OPEN SIDES OF STAIRS SHALL BE SUCH A SIZE THAT A 5X5 INCH (6" SPHERE) CANNOT PASS THROUGH. OPENINGS ON GUARDRAILS ON OPEN SIDES OF STAIRS OR INSTEAD OF GUARDRAILS ON OPEN SIDES OF STAIRS SHALL NOT ALLOW A SPHERE 4-3/8" INCHES TO PASS THROUGH.	
7. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND UNDERSCAPE OF STAIRS AND PROVIDE AN ISOLATED DOOR AT THE BOTTOM OF ATTIC STAIRS.	
8. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND UNDERSCAPE OF STAIRS AND PROVIDE AN ISOLATED DOOR AT THE BOTTOM OF ATTIC STAIRS.	
9. HATCHES SHOWN ON THE DRAWINGS ARE BASED GENERICALLY ON ANDERSEN AND THE OWNER OR GENERAL CONTRACTOR WHERE APPLICABLE SHALL CHOOSE THE FINA MANUFACTURER. WINDOW SIZES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING. ROOF OPENINGS SHALL BE PROVIDED BY THE MANUFACTURER.	
10. BASEMENTS, ATTICS, EXTERIOR ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW. EACH SLEEPING ROOM SHALL HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING. THESE OPENINGS SHALL NOT REQUIRE ONE SIDE TO SWING OUT. ALL RECESS OPENINGS SHALL MEET THE FOLLOWING CRITERIA:	
a) SILL HEIGHT SHALL NOT BE MORE THAN 48 INCHES ABOVE THE FLOOR.	
b) A DOOR SWINGING THROUGH BELOW THE JACKSON HEIGHT ELEVATION IS USED AS AN EMERGENCY ESCAPE AND RESCUE OPENING AND IS PROVIDED WITH A DELUXE ENCLOSURE. THE DELUXE ENCLOSURE SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT AND WHEN THE BULBHEAD IS FULLY OPEN IT SHALL PROVIDE A MAXIMUM NET CLEAR OPENING OF 5.1 SQUARE FEET.	
c) EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A SILL ELEVATION BELOW THE JACKSON HEIGHT ELEVATION SHALL NOT EXCEED 48 INCHES ABOVE THE FLOOR. THE MAXIMUM NET CLEAR OPENING SHALL NOT EXCEED 5.1 SQUARE FEET AND A MINIMUM HORIZONTAL PROJECTION OF 36". THE BULBHEAD SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO FULLY OPENED.	
d) EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.1 SQUARE FEET.	
11. GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.0 SQUARE FEET.	
12. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL BE PERMITTED TO HAVE A MIN. CLEAR OPENING OF 24 INCHES X 30 INCHES. DOUBLE HUNG WINDOWS SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
e) THE MINIMUM NET CLEAR OPENING SHALL BE 24 INCHES X 30 INCHES IN EITHER DIRECTION.	
f) EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE WITHOUT THE USE OF KEYS OR TOOLS.	
g) IN HOMES WHERE THE OPENING IS IN A LAVATORY LOCATED THEREIN, THE OPENING SHALL NOT ALLOW A 4 INCH DIAMETER SPHERE TO PASS THROUGH THE OPENING SINCE THE OPENING IS IN THE LAVATORY POCKET.	
h) OPENINGS THAT ARE PROVIDED WITH HINCH FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R402.3.	
i) OPENINGS THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R402.4.	
j) HINCHES THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R402.4.	
k) STARWAYS, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS.	
l) REQUIRED EXITS SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES.	
m) EXTERIOR ATTICS AND SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" OSB/5MM.	
n) EXTERIOR ATTICS AND SPACE UNDER STAIRS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT SMALL OF 72 INCHES. THE NOMINAL WIDTH AND HEIGHT SHALL BE 36" X 72" INCHES. THE NOMINAL WIDTH AND HEIGHT SHALL BE 36" X 72" INCHES.	
o) EXTERIOR ATTICS AND SPACE UNDER STAIRS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT SMALL OF 72 INCHES. THE NOMINAL WIDTH AND HEIGHT SHALL BE 36" X 72" INCHES.	
p) EXTERIOR ATTICS AND SPACE UNDER STAIRS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT SMALL OF 72 INCHES. THE NOMINAL WIDTH AND HEIGHT SHALL BE 36" X 72" INCHES.	
q) EXTERIOR ATTICS AND SPACE UNDER STAIRS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT SMALL OF 72 INCHES. THE NOMINAL WIDTH AND HEIGHT SHALL BE 36" X 72" INCHES.	
r) EXTERIOR ATTICS AND SPACE UNDER STAIRS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT SMALL OF 72 INCHES. THE NOMINAL WIDTH AND HEIGHT SHALL BE 36" X 72" INCHES.	
s) EXTERIOR ATTICS AND SPACE UNDER STAIRS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT SMALL OF 72 INCHES. THE NOMINAL WIDTH AND HEIGHT SHALL BE 36" X 72" INCHES.	
t) EXTERIOR ATTICS AND SPACE UNDER STAIRS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT SMALL OF 72 INCHES. THE NOMINAL WIDTH AND HEIGHT SHALL BE 36" X 72" INCHES.	
u) EXTERIOR ATTICS AND SPACE UNDER STAIRS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT SMALL OF 72 INCHES. THE NOMINAL WIDTH AND HEIGHT SHALL BE 36" X 72" INCHES.	
v) EXTERIOR ATTICS AND SPACE UNDER STAIRS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT SMALL OF 72 INCHES. THE NOMINAL WIDTH AND HEIGHT SHALL BE 36" X 72" INCHES.	
w) EXTERIOR ATTICS AND SPACE UNDER STAIRS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT SMALL OF 72 INCHES. THE NOMINAL WIDTH AND HEIGHT SHALL BE 36" X 72" INCHES.	
x) EXTERIOR ATTICS AND SPACE UNDER STAIRS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT SMALL OF 72 INCHES. THE NOMINAL WIDTH AND HEIGHT SHALL BE 36" X 72" INCHES.	
y) EXTERIOR ATTICS AND SPACE UNDER STAIRS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT SMALL OF 72 INCHES. THE NOMINAL WIDTH AND HEIGHT SHALL BE 36" X 72" INCHES.	
z) EXTERIOR ATTICS AND SPACE UNDER STAIRS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT SMALL OF 72 INCHES. THE NOMINAL WIDTH AND HEIGHT SHALL BE 36" X 72" INCHES.	
aa) EXTERIOR ATTICS AND SPACE UNDER STAIRS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT SMALL OF 72 INCHES. THE NOMINAL WIDTH AND HEIGHT SHALL BE 36" X 72" INCHES.	
bb) EXTERIOR ATTICS AND SPACE UNDER STAIRS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT SMALL OF 72 INCHES. THE NOMINAL WIDTH AND HEIGHT SHALL BE 36" X 72" INCHES.	
cc) EXTERIOR ATTICS AND SPACE UNDER STAIRS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT SMALL OF 72 INCHES. THE NOMINAL WIDTH AND HEIGHT SHALL BE 36" X 72" INCHES.	
dd) EXTERIOR ATTICS AND SPACE UNDER STAIRS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT SMALL OF 72 INCHES. THE NOMINAL WIDTH AND HEIGHT SHALL BE 36" X 72" INCHES.	
ee) EXTERIOR ATTICS AND SPACE UNDER STAIRS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT SMALL OF 72 INCHES. THE NOMINAL WIDTH AND HEIGHT SHALL BE 36" X 72" INCHES.	
ff) EXTERIOR ATTICS AND SPACE UNDER STAIRS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT SMALL OF 72 INCHES. THE NOMINAL WIDTH AND HEIGHT SHALL BE 36" X 72" INCHES.	
gg) EXTERIOR ATTICS AND SPACE UNDER STAIRS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT SMALL OF 72 INCHES. THE NOMINAL WIDTH AND HEIGHT SHALL BE 36" X 72" INCHES.	
hh) EXTERIOR ATTICS AND SPACE UNDER STAIRS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT SMALL OF 72 INCHES. THE NOMINAL WIDTH AND HEIGHT SHALL BE 36" X 72" INCHES.	
ii) EXTERIOR ATTICS AND SPACE UNDER STAIRS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT SMALL OF 72 INCHES. THE NOMINAL WIDTH AND HEIGHT SHALL BE 36" X 72" INCHES.	
jj) EXTERIOR ATTICS AND SPACE UNDER STAIRS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT SMALL OF 72 INCHES. THE NOMINAL WIDTH AND HEIGHT SHALL BE 36" X 72" INCHES.	
kk) EXTERIOR ATTICS AND SPACE UNDER STAIRS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT SMALL OF 72 INCHES. THE NOMINAL WIDTH AND HEIGHT SHALL BE 36" X 72" INCHES.	
ll) EXTERIOR ATTICS AND SPACE UNDER STAIRS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 3	