

# Opacity Comparisons

The banner features the word "FESTIVAL" in a unique, abstract font. Each letter is formed by several black lines that overlap and loop around each other, creating a complex, textured appearance. The letters are arranged horizontally, with "F" on the far left, followed by "E", "S", "T", "F", "E", "S", "T", "V", "I", "L", "A", "P", "I", and "T" on the far right. The background is plain white.



OWNER / CLIENT:

# ARCHITECT:

# STRUCTURAL ENGINEER

## CONTRACTOR:

FIRST COLONY DEV. LLC  
929 POST ROAD EAST  
MARLBOROUGH, MA 01752  
TEL. (508) 481-6095  
FAX (508) 460-0578

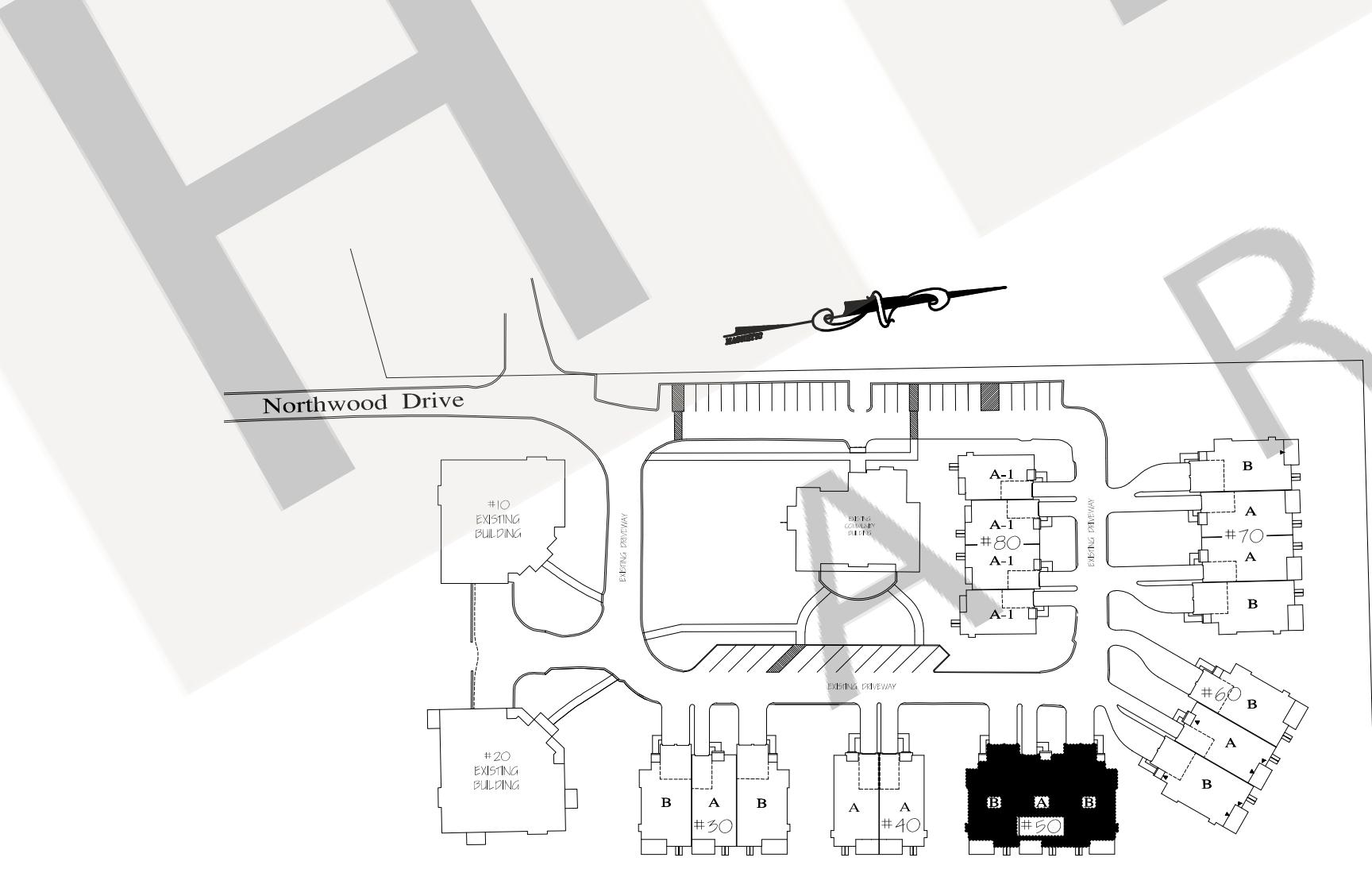
HPA DESIGN, INC.  
200 STONEWALL BLVD.  
SUITE 5  
WRENTHAM, MA 02093  
TEL. (508) 384-8838  
FAX (508) 384-0483

DWD ENGINEERING, INC.  
5 MICHAEL RD.  
EAST BRIDGEWATER  
TEL. (508) 378-9602  
FAX. (508) 378-2922

# SCHEDULE OF DRAWINGS:

- 0.1 TITLE SHEET
  - 1.1 1ST FLOOR PLAN
  - 1.2 2ND FLOOR PLAN
  - 2.1 ELEVATIONS
  - 2.2 ELEVATIONS
  - 3.1 BUILDING SECTIONS
  - 3.2 BUILDING SECTIONS
  - 4.1 WALL SECTIONS
  - 4.2 AIR BARRIER NOTES & DETAILS
  - 5.1 DETAILS
  - .1 FOUNDATION PLAN
  - .2 1ST FLOOR FRAMING
  - .3 2ND FLOOR FRAMING
  - .4 CEILING FRAMING
  - .5 ROOF FRAMING
  - 2.1 DETAILS
  - 2.2 DETAILS

## KEY PLAN



**HPA Design, Inc.**  
**ARCHITECTS**

- 200 Stonewall Blvd, Suite 5
- Wrentham, MA 02093
- 508.384.8838 (T)
- 508.384.0483 (F)
- contact@hpadesign.com
- www.HPAdesign.com

**CONSTRUCTION BY:  
FIRST COLONY DEV. LLC**

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## **HEET:**

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OB NO. 20180101



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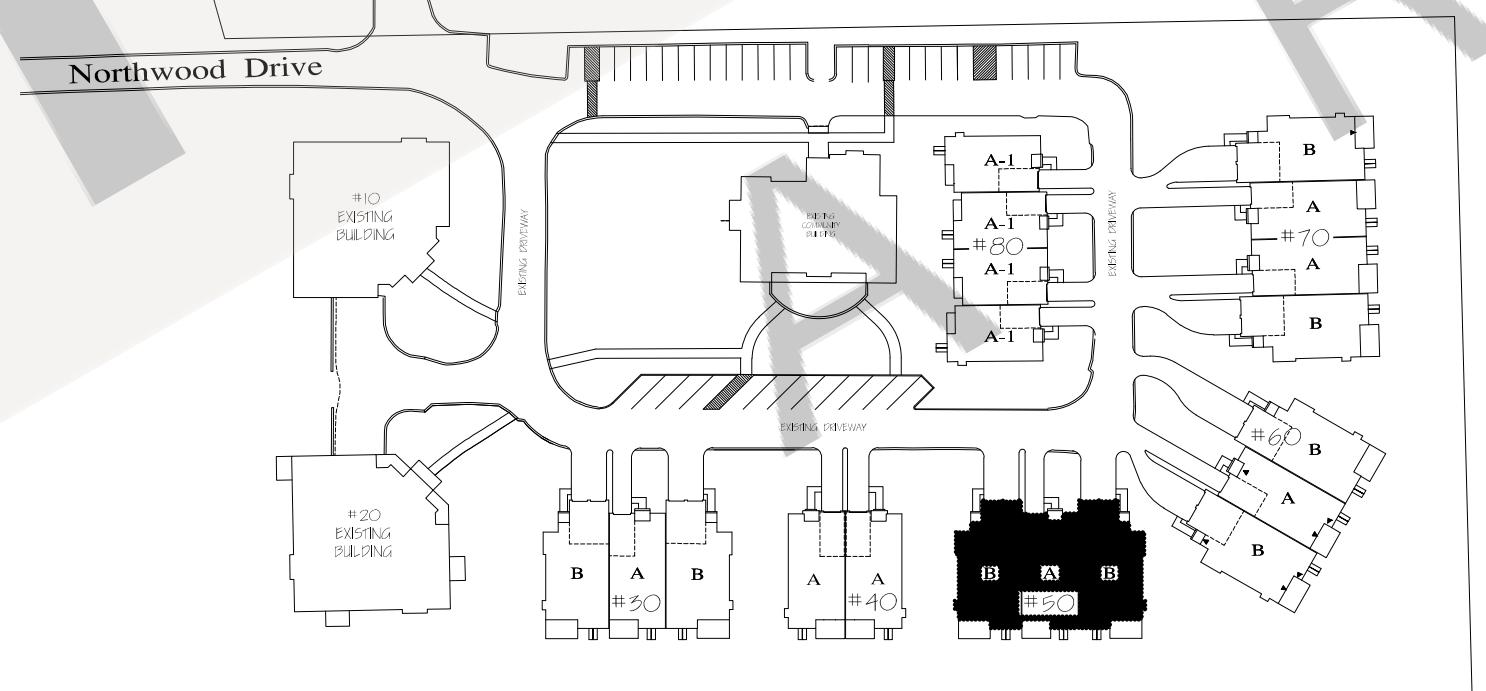
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LOBISSEER BUILDING CORP.  
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HOPEDALE, MA 01747  
TEL. (508) 478-6235  
FAX (508) 473-0794

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  - [www.HPAdesign.com](http://www.HPAdesign.com)

CONSTRUCTION BY:  
**FOREST COLONY DEV. LLC**  
#50 NORTHWOOD DRIVE, NORTHWOOD TOWNHOUSE CONDOS, SUDBURY, MA

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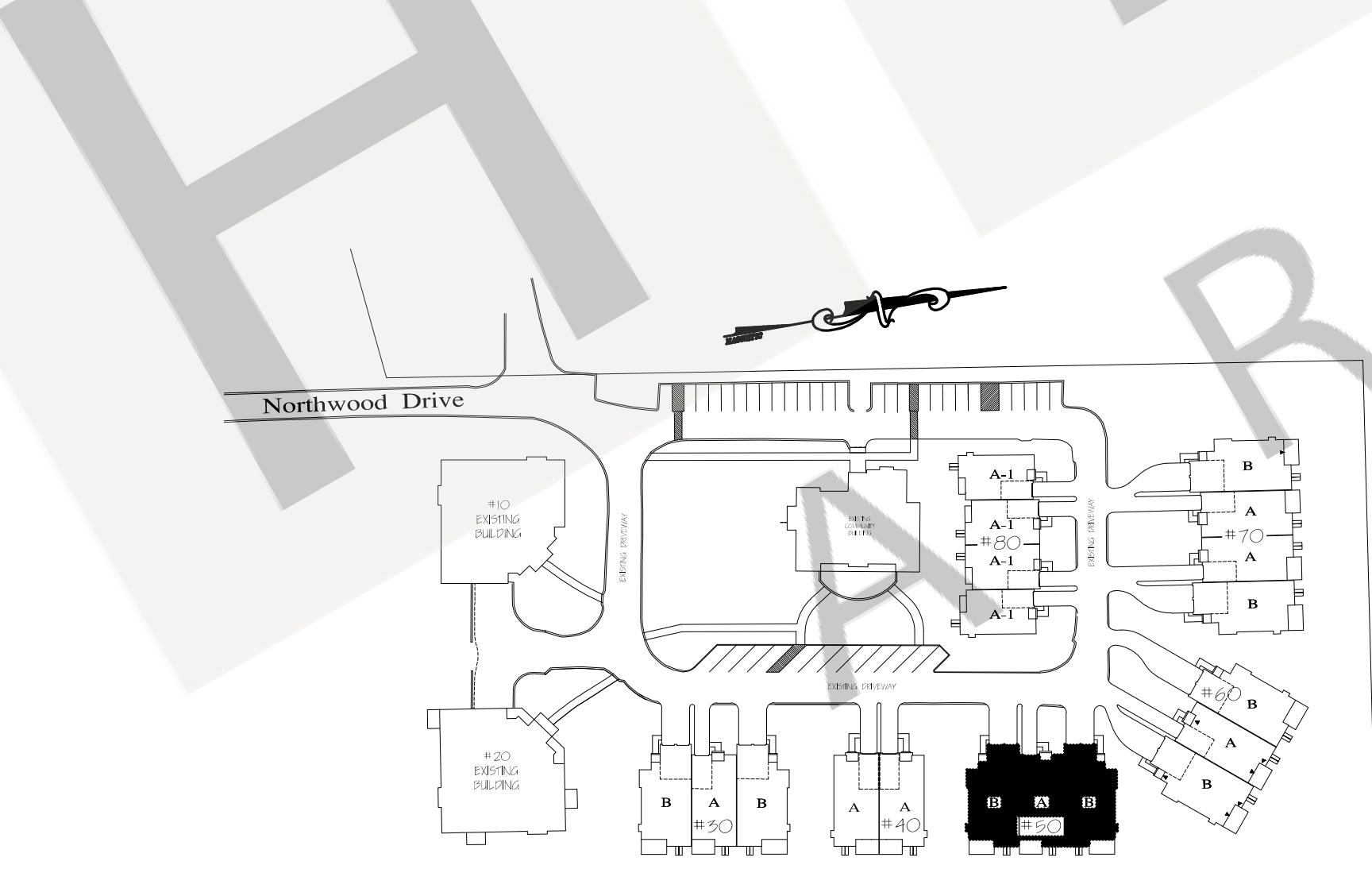
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  - 2.2 DETAILS

## KEY PLAN



— STEELE —

**FIRST COLONY DEV. LLC**

#50 NORTHWOOD DRIVE, NORTHWOOD TOWNHOUSE CONDOS, SUDBURY, MA

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**SHEET:**

A.0.1

JOB NO. 20180101

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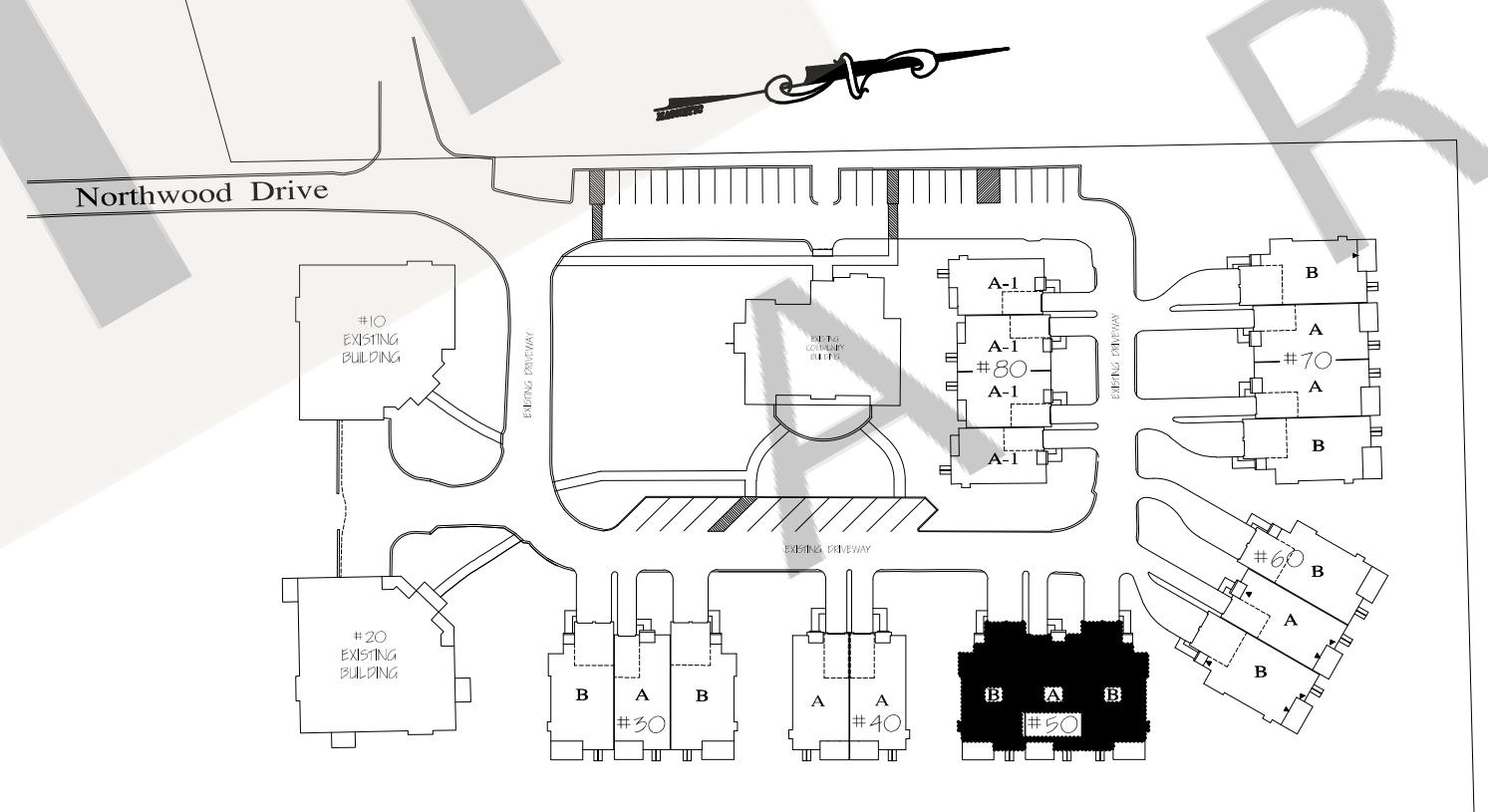
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STRUCTURAL ENGINEER

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CONTRACTOR:

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- S2.2 DETAILS

| GENERAL NOTES  |  |
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| <b>GENERAL</b>   |  |
| 1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (RTH EDITION).   |  |
| 2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.   |  |
| 3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.   |  |
| AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE DESIGN, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.   |  |
| 4. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IF THIS IS INCORPORATED WITHIN THE SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.   |  |
| 5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.  |  |
| 6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.   |  |
| 7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".   |  |
| 8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/VALLEY INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.   |  |
| <b>DIMENSIONS</b>  |  |
| 1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.   |  |
| a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.  |  |
| b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF THAT OPENING FROM THE CENTER OF THE OPENING OR THE EXTERIOR FACE OF A STUD OR CONCRETE WALL.   |  |
| c) INTERIOR DIMENSIONS AT STUD WALLS REFER TO A DIMENSION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).  |  |
| 2. INTERIOR DIMENSION AT STAIR REPRESENDS A DIMENSION TO THE FINISHED FACE OF THE STAR.  |  |
| 3. INTERIOR DIMENSION AT DOORS REFER TO A DIMENSION TO THE INSIDE EDGE OF THE DOOR AND ALL OTHER DOORS THAT ARE NOT DIMENSIONED MUST BE CONFIRMED WITH THE FUTURE MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.   |  |
| 4. HEIGHTS DEPICTED THE BUILDING HEIGHT, SHOWS OF THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS ARE FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST STAIRWAY TO THE ROOF. THE ROOF HEIGHT IS THE TOTAL HEIGHT OF THE ROOF DECK, THE ROOFING, AND THE STAIRS. THE ROOF HEIGHT IS THE TOTAL HEIGHT OF THE ROOF DECK, THE ROOFING, AND THE STAIRS. |  |
| 5. ALL OTHER DOORS THAT ARE NOT DIMENSIONED ARE TYPICALLY 3'-0" TO 4' (DEPENDING ON THE CLOSET).   |  |
| 6. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.   |  |
| <b>STAIRWAYS/DECKS</b>   |  |
| 1. STAIRWAYS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT. ALL PORCH ABOVE THE FINISHED HORIZONTAL SURFACE SHALL BE PROVIDED WITH A RAILING. THE DEPTH OF THE RAILING SHALL NOT EXCEED 1 1/4".   |  |
| 2. STAIRS SHALL HAVE A MINIMUM DEPTH OF 10'-0".  |  |
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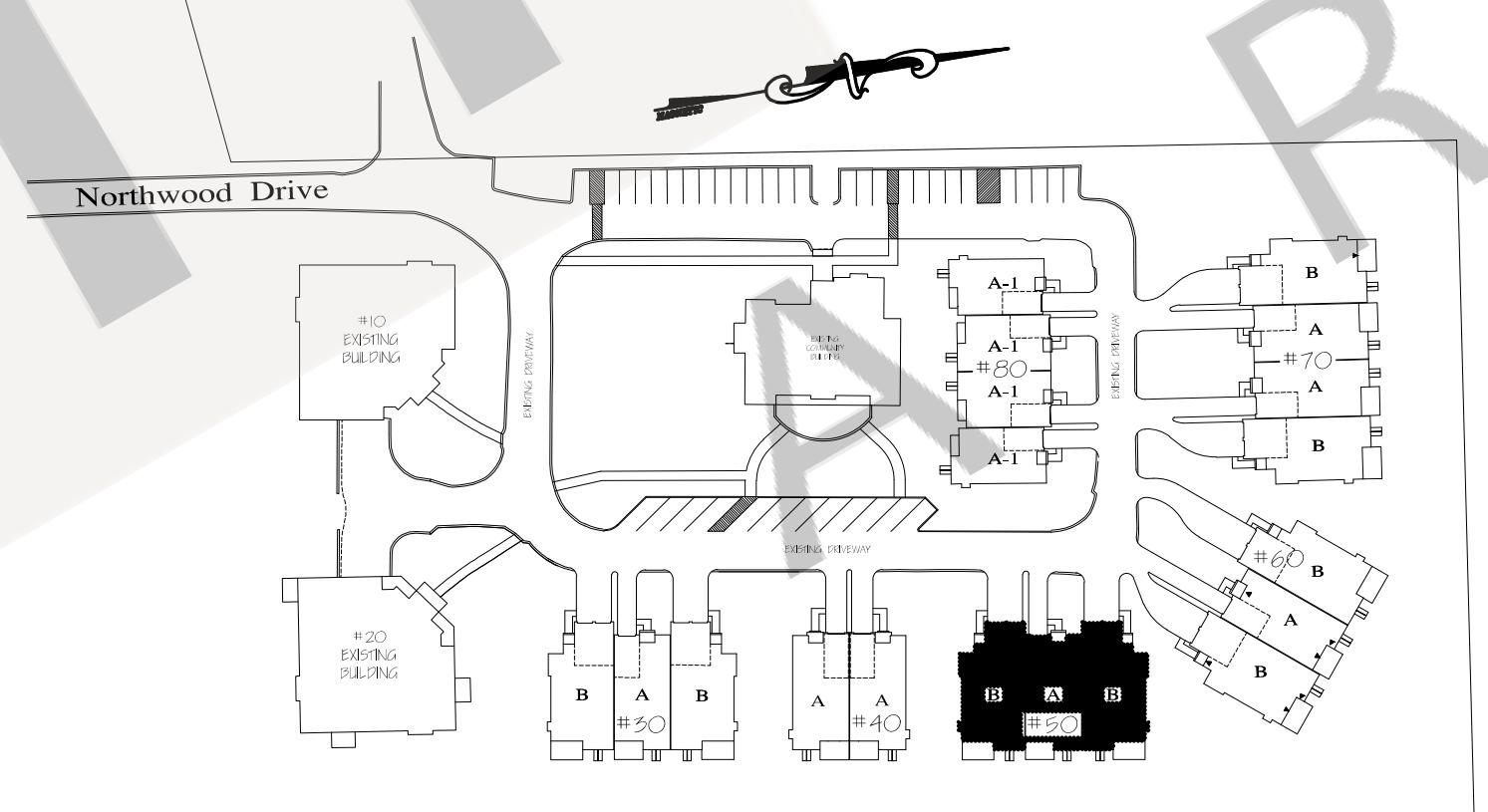
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KEY PLAN

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| GENERAL NOTES   |  |
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| <b>DIMENSIONS</b>   |  |
| 1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.  |  |
| a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.   |  |
| b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF A STUD OR CONCRETE WALL.  |  |
| c) INTERIOR DIMENSIONS AT STUD PLACES A DIMENSION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).   |  |
| 2. INTERIOR DIMENSIONING AT STAIR REPRESENDS A DIMENSION TO THE FINISHED FACE OF THE STAR.  |  |
| 3. ALL EXTERIOR DIMENSIONS ARE TO THE CENTER LINE OF THE EXTERIOR WALL AND ALL OTHER BUILDINGS MUST BE CONFIRMED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.   |  |
| 4. HEIGHTS DEPICTED THE BUILDING HEIGHT, SHOWS THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS ARE FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST. TO THE 1ST FLOOR TO ENSURE COMPLIANCE WITH ZONING AND BUILDING CODE HEIGHT REQUIREMENTS.   |  |
| 5. ALL DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY 3'-0" TO 4'-0" DEPENDING ON THE CLOSET.   |  |
| 6. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.  |  |
| <b>STAIRWAYS/DECKS</b>  |  |
| 1. STAIRWAYS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT. ALL PORCH ABOVE THE FINISHED HANDBALUST SHALL BE PROVIDED WITH A MINIMUM 4'-0" CLEAR HEIGHT. STAIRCASE DEPTH SHALL BE 10'-0" MINIMUM AND DEPTH SHALL BE 8'-0" MAXIMUM. TREAD DEPTH SHALL NOT EXCEED 1'-0". WINDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 1'-0" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10'-0" AND A MAXIMUM DEPTH OF 11'-0". TREADS SHALL BE PROVIDED IN A SLOPED PLANE ADJOINING THE TREAD NOSE OR FROM THE FLOOR SURFACE OF A LANING OR PLATFOR. |  |
| 2. HANDRAILS SHALL BE PROVIDED AT EACH CONTINUOUS RUN OF TREADS OR FLIGHTS OF STEPS. HANDRAILS SHALL BE 3'-0" HIGH. MINIMUM HEIGHT SHALL BE 3'-0" AND 34"-0" MAXIMUM NOT TO EXCEED 3'-0" HIGH. THE CENTER LINE OF THE HANDRAIL SHALL BE 3'-0" FROM THE FLOOR SURFACE OF THE LANING OR PLATFOR.  |  |
| 3. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 3'-0" HIGH. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30"-0" OR LESS SHALL BE 3'-0" HIGH. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30"-0" OR LESS SHALL BE 3'-0" HIGH. GUARDRAILS, RAILINGS, AND FLOORS SHALL NOT EXCEED 4"-0" INCHES.                              |  |
| 4. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH A SIZE THAT A 5X 5 INCH (6" SPHERE) CANNOT PASS THROUGH. OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIRS SHALL NOT ALLOW A SPHERE 4"-0" INCHES TO PASS THROUGH.  |  |
| 5. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF AN INDEPENDENT BASEMENT OR INSTITUTE THE WALLS AND UNDERSTAIRS. AN ISOLATED DOOR SHALL NOT BE PROVIDED IN AN INDEPENDENT BASEMENT STAIRS.   |  |
| 6. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND UNDERSTAIRS AND PROVIDE AN ISOLATED DOOR AT THE BOTTOM OF ATTIC STAIRS.   |  |
| 7. HATCHES SHOWN ON THE DRAWINGS ARE BASED GENERICALLY ON ANDERSON AND THE OWNER OR GENERAL CONTRACTOR WHERE APPLICABLE SHALL CHOOSE THE FINA MANUFACTURER. WINDOW SHOES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDER. ROUGH OPENINGS SHALL BE PROVIDED BY THE MANUFACTURER.  |  |
| 8. BASEMENTS, ATTICS, AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW. EACH SHALL HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING. THESE OPENINGS SHALL NOT REQUIRE ONE SIDE TO SWING OUT. ESCAPE AND RESCUE OPENINGS SHALL FOLLOW THE FOLLOWING CRITERIA:  |  |
| a) SILL HEIGHT SHALL NOT BE MORE THAN 4'-0" ABOVE THE FLOOR.  |  |
| b) A DOOR SWINGING THROUGH BELOW THE JACKSON HEIGHT ELEVATION IS USED AS AN EMERGENCY ESCAPE AND RESCUE OPENING. IF THE DOOR IS PROVIDED WITH A DEADBOLT ENCLOSURE, THE DOOR SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT AND WHEN THE DEADBOLT IS FULLY OPENED IT SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT.  |  |
| c) EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A SILL ELEVATION BELOW THE JACKSON HEIGHT ELEVATION SHALL BE PROVIDED IN ACCORDANCE WITH THE JACKSON HEIGHT ELEVATION. THE JACKSON HEIGHT ELEVATION IS 3'-0" ABOVE THE FLOOR AND 3'-0" MAXIMUM HORIZONTAL PROJECTION OF 30"-0". THE PERSON HELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO FULLY OPENED.   |  |
| d) DOUBLE HUNG ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.1" SQUARE FEET.   |  |
| e) GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.0" SQUARE FEET.   |  |
| f) DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL BE PERMITTED TO HAVE A MIN. CLEAR OPENING OF 24"-0" X 30"-0" INCHES IN EITHER DIRECTION.   |  |
| g) EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE WITHOUT THE USE OF KEYS OR TOOLS.  |  |
| h) THE MINIMUM NET CLEAR OPENING SHALL BE 24"-0" X 30"-0" INCHES IN EITHER DIRECTION.   |  |
| i) DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL MEET ALL MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.  |  |
| j) DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL MEET ALL MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.  |  |
| k) IN HALLWAYS, WHERE THE OPENING OF AN OPERABLE WINDOW LOCATED THEREIN TO HIGHER THAN THE FLOOR, THEN THE OPENING SHALL NOT ALLOW A 4 INCH DIAMETER SPHERE TO PASS THROUGH THE OPENING SINCE THE OPENING IS IN THE LARGEST OPEN POSITION.  |  |
| l) OPENINGS THAT ARE PROVIDED WITH HINCH FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R402.3.   |  |
| m) OPENINGS THAT ARE PROVIDED WITH HINCH FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R402.4.   |  |
| n) OPENINGS THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R402.4.  |  |
| o) STARWAYS, RAMPS, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS.  |  |
| p) REQUIRED EXITS SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES.   |  |
| q) EXTERIOR EXIT SPACES UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.   |  |
| r) EXTERIOR DOORS FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36"-0" WITH A NOMINAL HEIGHT OF 72"-0" NOMINAL WIDTH OR SIX FEET EIGHT INCHES IN NORMAL HEIGHT AND MAY BE SLIDING OR SIDE-HINGED. EXTERIOR DOORS FROM DWELLING UNITS IS PERMITTED PROVIDED THAT THE ATTACHED GARAGE IS ALSO PROVIDED WITH A 32"-0" EXIT DOOR.  |  |
| s) ALL OTHER EXTERIOR DOORS IN EXCESS OF THE REQUIRED EXIT DOORS ARE NOT REQUIRED TO COMPLY WITH THE REQUIREMENTS OF SECTION R402.4.  |  |
| t) ALL INTERIOR DOORS PROVIDING ACCESS TO HABITABLE ROOMS SHALL HAVE A NOMINAL WIDTH OF 30"-0" NOMINAL HEIGHT AND 6'-0" NOMINAL HEIGHT. THESE DOORS SHALL BE SWINGING IN THE DIRECTION OF TRAVEL.   |  |
| u) A DOOR OR LANDING SHALL MEET THE REQUIREMENT OF AN EXTERIOR EXIT DOOR. THE POINT OF DRAFT LANDING SHALL BE LOCATED ON THE SIDE OF THE DOOR SERVED AND HAVE A MINIMUM DIMENSION OF 36"-0" INCHES MEASURED IN THE DIRECTION OF TRAVEL.   |  |
| <b>SPRINKLERS</b>   |  |
| The 3-unit townhouse has an aggregate area of 1,210 SF and shall be designed with a minimum NFPA 13 system.   |  |
| <b>HEAT DETECTORS</b>   |  |
| 1. ALL ONE AND TWO FAMILY SHALL BE EQUIPPED WITH A HOUSEHOLD FIRE ALARM SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS, AND THE OWNER'S AGREED UPON CONTRACT.   |  |
| 2. HEAT DETECTORS ARE REQUIRED TO BE PERMANENTLY WIRED TO AN AC-PRIAL POWER SOURCE AND SHALL RECEIVE STANDBY POWER SUPPLIED FROM CONTINUED BATTERIES.   |  |
| 3. WHERE MORE THAN ONE SPACE DETECTOR IS REQUIRED, ALL REQUIRED DETECTORS SHALL BE INSTALLED SO THAT THE ACTIVATION OF ANY DETECTOR SHALL CAUSE THE ALARM IN ALL REQUIRED SMOKE DETECTORS IN THE DWELLING UNITS TO SOUND 85 DBA AT 10' FEET, 15' IN BEDROOMS.   |  |
| 4. SMOKE DETECTORS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:<br>a) IN EACH BEDROOM.<br>b) IN EACH BATHROOM.<br>c) IN EACH KITCHEN.<br>d) IN EACH DRYING AREA.<br>e) IN EACH DRYING AREA AND IN EACH BATHROOM.   |  |
| 5. PHOTO-ELECTRIC SMOKE DETECTORS ARE REQUIRED IF LOCATED WITHIN 15' FEET OF A KITCHEN OR BATHROOM.   |  |
| 6. WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED TO AN EXISTING DWELLING, THE ENTIRE BUILDING SHALL BE PROVIDED WITH SMOKE DETECTORS DESIGNED AND LOCATED AS REQUIRED FOR NEW DWELLINGS.   |  |
| <b>CARBON MONOXIDE ALARM/DETECTORS</b>  |  |
| 1. ALL ONE AND TWO FAMILY DWELLINGS SHALL BE EQUIPPED WITH A HOUSEHOLD CARBON MONOXIDE WARNING SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS, AND THE OWNER'S AGREED UPON CONTRACT.  |  |
| 2. CARBON MONOXIDE DETECTORS SHALL BE LOCATED ON EVERY LEVEL OF THE DWELLING UNIT INCLUDING BASEMENTS AND CELLS (NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS).  |  |
| 3. ALL ALARM-SOUNDING APPLIANCES SHALL HAVE A MINIMUM RATING OF 85 DBA AT 10' FEET.   |  |
| <b>HEAT DETECTORS</b>   |  |
| 1. HEAT DETECTORS SHALL BE INSTALLED IN ANY INTERNAL OR ATTACHED GARAGE TO THE MAIN HOUSE. A NEW ADDITION ATTACHED GARAGE TO AN EXISTING DWELLING INSTALLED IN ACCORDANCE WITH THE EXISTING DWELLING UNITS SHALL BE PROVIDED WITH A COMPATIBLE HEAT DETECTOR. THE EXISTING DWELLING UNITS SHALL BE CONNECTED TO A CANISTER OR A COMPATIBLE HEAT DETECTOR CONTAINING A SOUNING DEVICE LOCATED IN THE ATTACHED GARAGE.  |  |
| 2. FOR FLAT-FINISHED CEILINGS, THE DETECTOR SHALL BE LOCATED ON OR NEAR THE CENTER OF THE GARAGE CEILING. FOR VALETFLOOR/GLOVED CEILINGS, THE DETECTOR SHALL BE PLACED IN THE APPROXIMATE CENTER OF THE CEILING.  |  |
| 3. FOR THE REAR DWELLING, THE DETECTOR SHALL BE LISTED FOR AND REQUIRED TO BE INTERCONNECTED TO ALL SMOKE DETECTORS IN THE REAR DWELLING.   |  |
| 4. THE REQUIRED HEAT DETECTOR SHALL BE LISTED FOR AND REQUIRED TO BE INTERCONNECTED TO ALL SMOKE DETECTORS IN THE REAR DWELLING. THE REAR DWELLING FIRE ALARM SYSTEM SHALL BE LISTED FOR AND REQUIRED TO BE INTERCONNECTED TO THE REAR DWELLING HEAT DETECTOR.  |  |
| 5. A DOOR OR LANDING SHALL MEET THE REQUIREMENT OF AN EXTERIOR EXIT DOOR. THE POINT OF DRAFT LANDING SHALL BE LOCATED ON THE SIDE OF THE DOOR SERVED AND HAVE A MINIMUM DIMENSION OF 36"-0" INCHES MEASURED IN THE DIRECTION OF TRAVEL.   |  |
| <b>SPRINKLERS</b>   |  |
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| <b>TITLE SHEET</b>  |  |
| <b>FIRST COLONY DEV. LLC</b>  |  |
| #50 NORTHWOOD DRIVE, NORTHWOOD TOWNSHOUSE CONDO'S, SUDBURY, MA  |  |
| CONSTRUCTION BY:  |  |
| 200 Wrentham  |  |
| Wrentham, MA 02093  |  |
| DATE: AUGUST 1, 2010  |  |
| DRAWN BY: RWB   |  |
| contact@hpadesign.com   |  |
| CHECKED BY: HPA   |  |
| PATH: 20100101_FIRST COLONY DEV   |  |
| 20100101.CLDs   |  |
| SCALE: SEE DRAWING  |  |
| REVISIONS:  |  |
| # DATE DESC.  |  |
| 0 ISSUED FOR CONSTRUCTION   |  |
| HPA Design, Inc.  |  |
| ARCHITECTS  |  |
| <input type="checkbox"/> 200 Stonewall Blvd, Suite 5  |  |
| <input type="checkbox"/> Wrentham, MA 02093   |  |
| <input type="checkbox"/> 508.384.8838 (T)   |  |
| <input type="checkbox"/> 508.384.0483 (F)   |  |
| <input type="checkbox"/> contact@hpadesign.com  |  |
| <input type="checkbox"/> www.HPAdesign.com  |  |
| JOB NO. 20100101  |  |

# FIRST COLONY DEVELOPMENT



OWNER / CLIENT:

FIRST COLONY DEV. LLC  
929 POST ROAD EAST  
MARLBOROUGH, MA 01752  
TEL. (508) 481-6095  
FAX (508) 460-0578

ARCHITECT:

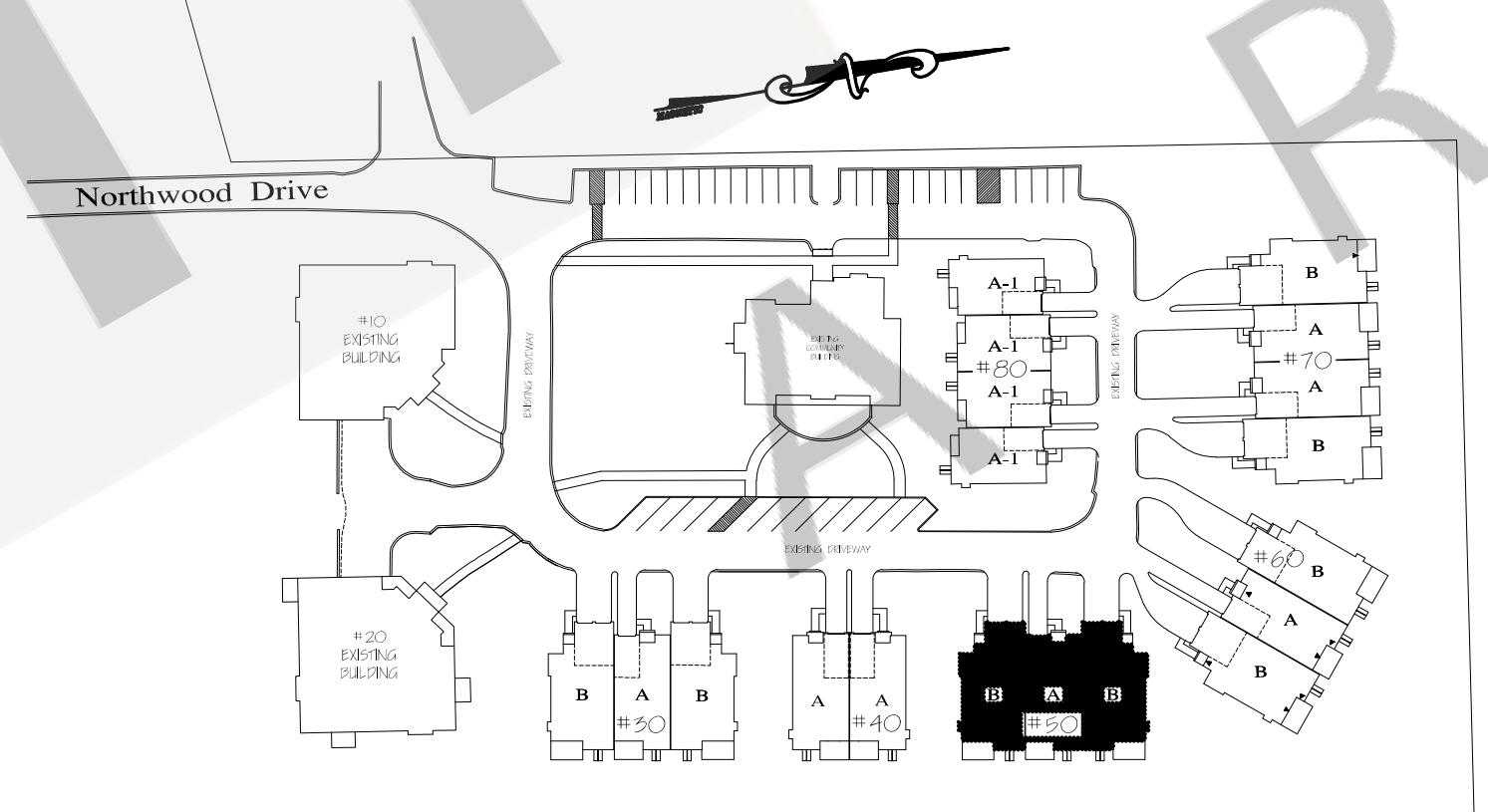
HPA DESIGN, INC.  
200 STONEWALL BLVD.  
SUITE 5  
WRENTHAM, MA 02093  
TEL. (508) 384-8838  
FAX (508) 384-0483

STRUCTURAL ENGINEER

DWD ENGINEERING, INC.  
5 MICHAEL RD.  
EAST BRIDGEWATER  
TEL. (508) 378-9602  
FAX (508) 378-2922

CONTRACTOR:

LOBISSEUR BUILDING CORP.  
1 CHARLESVIEW ROAD  
HOPEDALE, MA 01747  
TEL. (508) 478-6235  
FAX (508) 473-0794



KEY PLAN

## SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
- S1.3 2ND FLOOR FRAMING
- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

| GENERAL NOTES  |  |
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| <b>GENERAL</b>   |  |
| 1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (RTH EDITION).   |  |
| 2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.   |  |
| 3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.   |  |
| AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE DESIGN, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.   |  |
| 4. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IF THIS IS INCORPORATED WITHIN THE SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.   |  |
| 5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.  |  |
| 6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.   |  |
| 7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".   |  |
| 8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/VALLEY INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.   |  |
| <b>DIMENSIONS</b>  |  |
| 1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.   |  |
| a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.  |  |
| b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF THAT OPENING FROM THE CENTER OF THE OPENING OR THE EXTERIOR FACE OF A STUD OR CONCRETE WALL.   |  |
| c) INTERIOR DIMENSIONS AT STUD WALLS REFER TO A DIMENSION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).  |  |
| 2. INTERIOR DIMENSION AT STAIR REPRESENDS A DIMENSION TO THE FINISHED FACE OF THE STAR.  |  |
| 3. INTERIOR DIMENSION AT DOORS REFER TO A DIMENSION TO THE INSIDE EDGE OF THE DOOR AND ALL OTHER DOORS THAT ARE NOT DIMENSIONED MUST BE CONFIRMED WITH THE FUTURE MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.   |  |
| 4. HEIGHTS DEPICTED THE BUILDING HEIGHT, SHOWS OF THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS ARE FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST STAIRWAY TO THE ROOF. THE ROOF HEIGHT IS THE TOTAL HEIGHT OF THE ROOF DECK, THE ROOFING, AND THE STAIRS. THE ROOF HEIGHT IS THE TOTAL HEIGHT OF THE ROOF DECK, THE ROOFING, AND THE STAIRS. |  |
| 5. ALL OTHER DOORS THAT ARE NOT DIMENSIONED ARE TYPICALLY 3'-0" TO 4' (DEPENDING ON THE CLOSET).   |  |
| 6. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.   |  |
| <b>STAIRWAYS/DECKS</b>   |  |
| 1. STAIRWAYS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT. ALL PORCH ABOVE THE FINISHED HORIZONTAL SURFACE SHALL BE PROVIDED WITH A RAILING. THE DEPTH OF THE RAILING SHALL NOT EXCEED 1 1/4".   |  |
| 2. STAIRS SHALL HAVE A MINIMUM DEPTH OF 10'-0".  |  |
| 3. STAIRS SHALL HAVE A MINIMUM DEPTH OF 10'-0".  |  |
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