

Opacity Comparisons

FIRST COLONY DEVELOPMENT



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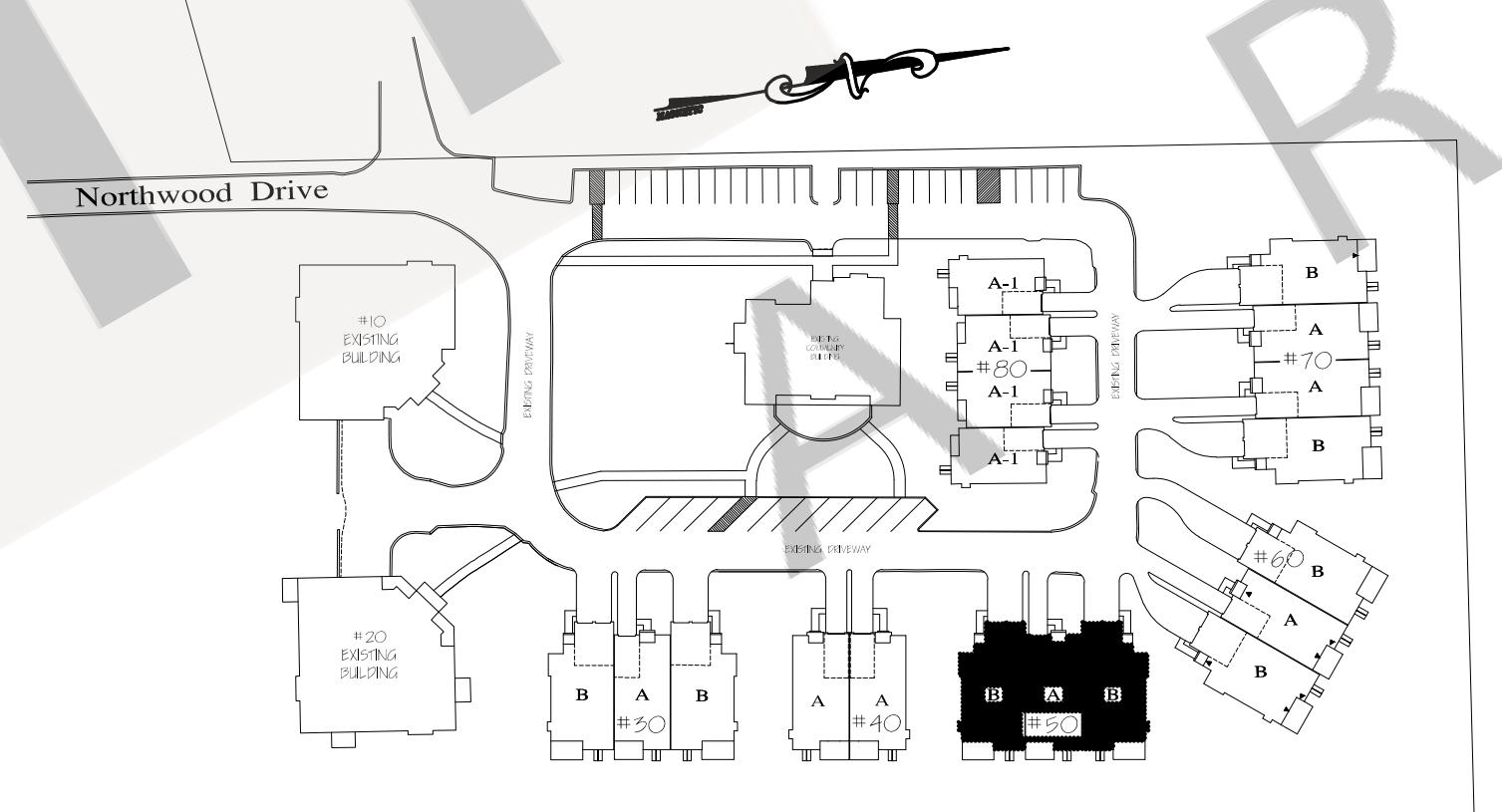
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STRUCTURAL ENGINEER

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CONTRACTOR:

LOBISSEUR BUILDING CORP.
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KEY PLAN

SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
- S1.3 2ND FLOOR FRAMING
- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
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2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
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5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/VALLEY INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
DIMENSIONS	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES A DIMENSION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSIONING AT STAIR REPRESENDS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. ALL EXTERIOR DIMENSIONS ARE TO THE OUTSIDE OF THE EXTERIOR WALL AND DO NOT INCLUDE EXTERIOR BULLETS, MUST BE CONFIRMED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
4. HEIGHTS DEPICTED THE BUILDING HEIGHT, SHOWS THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS ARE FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST. TO THE 1ST FLOOR TO ENSURE COMPLIANCE WITH ZONING AND BUILDING CODE HEIGHT REQUIREMENTS.	
5. ALL OTHER DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY 3'-0" TO 4'-0" DEPENDING ON THE CLOSET.	
6. CLOSET DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY CENTERED WITHIN THE CLOSET.	
7. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING TYPE, UNLESS OTHERWISE NOTED.	
STAIRWAYS/DECKS	
1. STAIRWAYS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT. IN ALL PORTALS ABOVE THE FINISHED HANDBALUST, THE MINIMUM CLEAR HEIGHT, FROM THE FINISHED FLOOR TO THE CEILING, SHALL BE 6'-0". MINIMUM DEPTH SHALL BE 1'-0" IN WHICH NOSE IS NOT TO EXCEED 1/4". WINDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10". ALL OTHER TREADS SHALL BE 1'-0" DEEP. ALL LANDINGS SHALL BE 1'-0" DEEP AND SHALL BE LOCATED ON A SLOPED PLANE ADDING THE TREAD NOSE OR FROM THE FLOOR SURFACE OF A LANING OR PLATFORM.	
2. HANDRAILS SHALL BE PROVIDED AT EACH CONTINUOUS RUN OF TREADS OR FLIGHTS OF STEPS THAT ARE 12' OR MORE IN LENGTH. MINIMUM HEIGHT SHALL BE 34"-0" AND MAXIMUM 34"-0" IN WHICH NOSE IS NOT EXCEEDED. ALL OTHER DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY CENTERED WITHIN THE CLOSET.	
3. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH AND/OR BALCONY AREA'S HIGHER THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 42"-0" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30"-0" OR LESS ABOVE A FLOOR OR GRADE BELOW SHALL BE 36"-0" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS, RAILINGS, AND FLOORS SHALL NOT EXCEED 4" INCHES.	
4. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH A SIZE THAT A 5X 5 INCH (6" SPHERE) CANNOT PASS THROUGH. OPENINGS FOR REQUIRED GUARDRAILS ON THE SIDES OF STAIRS SHALL NOT ALLOW A SPHERE 4-3/8" INCHES TO PASS THROUGH.	
5. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF AN INDEPENDENT BASEMENT STAIRS OR INSTITUTE THE WALLS AND UNDERSTAIRS. AN ISOLATED DOOR SHALL BE PROVIDED AT THE BOTTOM OF AN INDEPENDENT BASEMENT STAIRS.	
6. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND UNDERSTAIRS AND PROVIDE AN ISOLATED DOOR AT THE BOTTOM OF ATTIC STAIRS.	
7. AN ISOLATED DOOR SHALL BE PROVIDED IN THE CEILING OF A SLEEPING ROOM. ISOLATE THE WALLS AND UNDERSTAIRS AND PROVIDE AN ISOLATED DOOR AT THE BOTTOM OF THE SLEEPING ROOM.	
8. HATCHES SHOWN ON THE DRAWINGS ARE BASED GENERICALLY ON ANDERSON AND THE OWNER OR GENERAL CONTRACTOR WHERE APPLICABLE SHALL CHOOSE THE FINA MANUFACTURER. WINDOW SIZES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING. ROUGH OPENINGS SHALL BE PROVIDED BY THE MANUFACTURER.	
9. BASEMENTS, ATTICS, AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW. EACH SHALL HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING. IN WHICH NOSE IS NOT EXCEEDED, ONE SLEEPING ROOM SHALL NOT REQUIRE ONE ESCAPE AND RESCUE OPENINGS. SEE THE FOLLOWING CRITERIA:	
a) GILL HEIGHT SHALL NOT BE MORE THAN 48 INCHES ABOVE THE FLOOR.	
b) A DOOR SWING AND THRESHOLD BELOW THE JACKSON LINE. JACKSON LINE IS THE ELEVATION WHERE THE CENTER OF THE DOOR SWING AND THRESHOLD IS PROVIDED WITH A DELUXE ENCLOSURE. THE SWING SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT AND WHEN THE HEADBULD IS FULLY OPEN IT SHALL PROVIDED DIRECT ACCESS TO THE BASEMENT.	
c) EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE LOCATED IN THE ADJACENT GROUND FLOOR. THE OPENING SHALL BE 3'-0" X 4'-0" IN SIZE. THE OPENING SHALL BE LOCATED IN THE CENTER OF THE GROUND FLOOR AND A MINIMUM HORIZONTAL PROJECTION OF 36"-0" THE PERSON HELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO FULLY OPENED.	
d) DOUBLE HUNG ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.1" SQUARE FEET.	
e) GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.0" SQUARE FEET.	
f) DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL BE PERMITTED TO HAVE A MIN. CLEAR OPENING OF 24"-0" X 30"-0" IN SIZE. THE MINIMUM NET CLEAR OPENING SHALL BE 5.0" IN WIDTH AND 30"-0" IN HEIGHT.	
g) EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE WITHOUT THE USE OF KEYS OR TOOLS.	
h) THE MINIMUM NET CLEAR OPENING SHALL BE 24"-0" X 30"-0" IN SIZE.	
i) EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE WITHOUT THE USE OF KEYS OR TOOLS.	
j) IN HOMES WHERE THE OPENING OF AN OPERABLE WINDOW LOCATED THEREIN TO HIGHEST POINT, PRIOR TO THE OPENING THE OPENING IS IN ITS LOWEST POSITION.	
k) OPENINGS THAT ARE PROVIDED WITH HINCH FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R402.3.	
l) HINCHES THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R402.4.	
m) OPENINGS THAT ARE PROVIDED WITH FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R402.4.	
n) STARWAYS, RAMPS, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS.	
o) REQUIRED EXITS SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES.	
p) REQUIRED EXIT SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.	
q) EXITS FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36"-0" WITH A NOMINAL HEIGHT OF 72"-0" NOMINAL WIDTH OR SIX FEET EIGHT INCHES IN NORMAL HEIGHT AND MAY BE SLIDING OR SIDE-HINGED. EXITS FROM DWELLING UNITS IS PERMITTED PROVIDED THAT THE ATTACHED GARAGE IS ALSO PROVIDED WITH A 32"-0" EXIT DOOR.	
r) ALL OTHER EXTERIOR DOORS IN EXCESS OF ONE REQUIRED EXIT DOOR ARE NOT REQUIRED TO COMPLY WITH THE REQUIREMENTS OF SECTION R402.4.	
s) ALL INTERIOR DOORS PROVIDING ACCESS TO HABITABLE ROOMS SHALL HAVE A NOMINAL WIDTH OF 30"-0" NOMINAL HEIGHT AND 6'-0" NOMINAL HEIGHT. THESE DOORS SHALL BE PROVIDED WITH A NOMINAL WIDTH OF 30"-0" NOMINAL HEIGHT.	
t) A DOOR OR LANDING SHALL MEET THE REQUIREMENT OF AN EXTERIOR EXIT DOOR. THE POINT OF DRAFT LANDING SHALL BE LOCATED IN THE DIRECTION OF TRAVEL.	
u) THESE DRAWINGS AND SPECIFICATIONS ARE PREPARED FOR USE AT THE LOCATION INDICATED HEREIN. THEY ARE EXPRESSLY LIMITED TO THE IDENTIFIED LOCATION AND ARE NOT FOR REPRODUCTION BY ANY METHOD, IN WHOLE OR IN PART, OR FOR ANY OTHER PURPOSE, WITHOUT THE WRITTEN PERMISSION OF HPA Design, Inc. ©2010	
MINIMUM ROOM REQUIREMENTS	
1. HABITABLE ROOMS, HALLWAYS, CORRIDORS, BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS AND BASEMENTS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN SEVEN (7') FEET MEASURED FROM THE FINISH FLOOR TO THE LOWEST PROJECTION FROM THE CEILING.	
EXCEPTIONS:	
2. BEAMS AND GIRDERS SPACED NOT LESS THAN FOUR (4) FEET ON CENTER MAY PROJECT NOT MORE THAN SIX (6) INCHES BELOW THE REQUIRED CEILING HEIGHT.	
3. CEILINGS, WALLS, AND FLOOR AREAS WHICH PROJECT INTO A HABITABLE ROOM FROM AN ADJACENT HALL, CORRIDOR, BATHROOM, OR TOILET ROOM EXCEPT THAT BEAMS, GIRDERS, DUCTS AND OTHER OBSTRUCTIONS MAY PROJECT TO WITHIN SIX FEET OF THE CEILING.	
4. NOT MORE THAN 50% OF THE REQUIRED FLOOR AREA OF A ROOM IS PERMITTED TO HAVE A SLOPED CEILING LESS THAN SEVEN (7') IN HEIGHT IN ANY PORTION OF THE REQUIRED FLOOR AREA.	
5. HABITABLE ROOMS SHALL HAVE A MINIMUM CEILING HEIGHT OF SIX FEET EIGHT INCHES OVER THE FURNITURE AND THE SHOWERHEAD.	
6. EVERY DWELLING SHALL HAVE AT LEAST ONE HABITABLE ROOM WITH A GROSS FLOOR AREA OF AT LEAST 150 SQ FEET.	
7. HABITABLE ROOMS SHALL HAVE A FLOOR AREA OF NOT LESS THAN 70 SQ FEET EXCEPT KITCHENS.	
8. KITCHENS SHALL HAVE A CEILING HEIGHT MEASURING LESS THAN FIVE (5) FEET OR A RAISED CEILING MEASURING LESS THAN SEVEN (7') FEET. NOT BE CONSIDERED AS CONTRIBUTING TO THE MINIMUM REQUIRED HABITABLE AREA FOR THAT ROOM.	
ROOFING AND Siding	
1. PROVIDE CONTINUOUS 6'-0" INCH FIBERGLASS REINFORCED, BITUMEN, ICE AND WATER SHIELD AT ALL ROOF EDGES CENTERED IN ALL VALLEYS AND AT ROOF WALL INTERSECTIONS CARRIED 1'-0" UP THE WALL/FACE TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.	
2. PROVIDE ALUMINUM FLASHING OVER ALL WINDOW AND DOOR WALL INTERSECTIONS.	
3. PROVIDE ALUMINUM FLASHING OVER ALL ROOF/DORMER EDGES.	
4. PROVIDE CONTINUOUS VENTED DRIP EDGE AT ALL SOFFIT OVERHANGS.	
5. PROVIDE FELT UNDER ALL ROOF SHINGLES UNLESS SPECIFIED OTHERWISE.	
6. PROVIDE CONTINUOUS RIDGE VENTS (UNLESS SPECIFIED AS OTHERWISE). SEE BUILDING EXTENT.	
7. ALL GUTTERS AND DOWNGOATS TO BE PREFINISHED ALUM. COLOR TO BE SELECTED BY OWNER.	
8. LIGHTVENTILATION AND INSULATION.	
9. ALL HABITABLE ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING OF NOT LESS THAN 20% OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR. THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA OF THE ROOM.	
EXCEPTIONS:	
1. THE GLAZED AREA SHALL NOT BE OPENABLE WHERE THE OPENING IS NOT A REQUIRED TO BE AN EMERGENCY ESCAPE AND RESCUE OPENING AND AN APPROVED MECHANICAL VENTILATION SYSTEM IS PROVIDED CAPABLE OF PROVIDING 0.05 Q/S ARE OPENING PER HOUR IN THE ROOM OR A ONE-HOUSE MECHANICAL VENTILATION SYSTEM IS PROVIDED CAPABLE OF PROVIDING AN AVERAGE OF 60 CFM PER OCCUPANT PER 24" FOR THE FIRST BEDROOM AND ONE FOR EVERY ADDITIONAL BEDROOM.	
2. ALL BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING AREA OF NOT LESS THAN THREE SQUARE FEET, 1/2 OF WHICH MUST BE OPENABLE.	
EXCEPTION:	
3. THE GLAZED AREA SHALL NOT BE REQUIRED WHERE ARTIFICIAL LIGHT AND A MECHANICAL VENTILATION SYSTEM ARE PROVIDED. VENTILATION AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE.	
4. ATTIC VENTILATION WITH A CEILING VAPOR BARRIER. PROVIDE AT LEAST ONE (1) SQUARE FOOT OF FREE AREA FOR EACH THREE HUNDRED (300) SQUARE FOOT OF CELLIAGE AREA.	
5. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE A MOISTURE BARRIER AND PROPERLY INSULATE ALL WALLS AND CEILINGS.	
6. IF RESIDENTIAL ELECTRICAL OR PLUMBING EQUIPMENT IS TO BE PLACED IN ATTICS, DUES OVERHANGS AND OTHER SIMILAR UNCONDITIONED SPACES, THE CONTRACTOR IS RESPONSIBLE TO PROVIDE A PROPER ENCLOSURE, INSULATION, DUCT VENTILATION, ETC., TO AVOID MOISTURE, CONDENSATION, FREEZING, ICE DAMMING, AND OTHER SIMILAR ISSUES.	
PLUMBING	
1. ALL SANITARY LINES WITHIN WALLS AND FLOORS ADJOINING LIVING SPACES ARE TO BE SOUND INSULATED.	
2. ALL SANITARY LINES WITHIN WALLS OR FLOOR CAVITIES WHICH BORDER UNCONDITIONED SPACES ARE TO BE INSULATED AND ON THE WARM SIDE OF THE GROUT JACKET TO AVOID FREEZING.	
SMOKE & CARBON MONOXIDE DETECTORS	
1. ALL ONE AND TWO FAMILY SHALL BE EQUIPPED WITH A HOUSEHOLD FIRE MAPPING SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS AND THE CONTRACTOR.	
2. SMOKE DETECTORS ARE REQUIRED TO BE PERMANENTLY WIRED TO AN AC-PRIMARY POWER SOURCE AND SHALL RECEIVE STANDBY POWER SUPPLIED FROM BUILT-IN BATTERIES.	
3. WHERE MORE THAN ONE SMOKE DETECTOR IS REQUIRED, ALL REQUIRED DETECTORS SHALL BE INSTALLED SO THAT THE ACTIVATION OF ANY DETECTOR SHALL CAUSE THE ALARM IN ALL REQUIRED SMOKE DETECTORS IN THE DWELLING UNITS TO SOUND 85 DBA AT 10 FEET, 15 FEET IN BEDROOMS.	
4. SMOKE DETECTORS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:	
a) IN EACH BEDROOM.	
b) IN EACH BATHROOM.	
c) IN EACH STORY OF A TWO STORY DWELLING. 1 CELLLARS FOR EACH 100 SQFT OR PART THEREOF. EACH CELLAR WHICH IS LOCATED WITHIN 10 FEET OF THE DWELLING UN	

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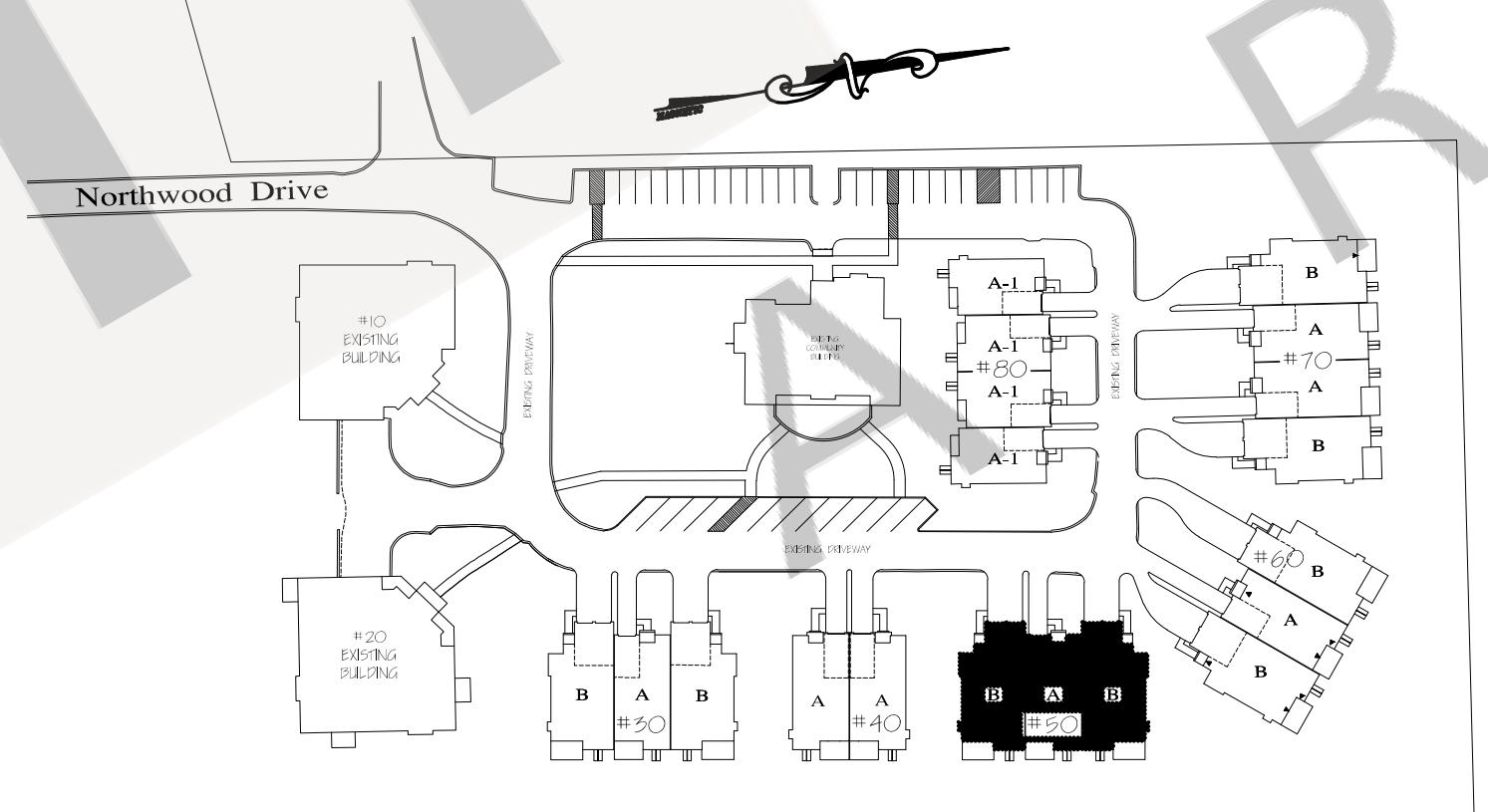
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2. INTERIOR DIMENSIONING AT STAIR REPRESENDS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. ALL EXTERIOR DIMENSIONS ARE TO THE CENTER LINE OF THE EXTERIOR WALL AND ALL OTHER BUILDINGS MUST BE CONFIRMED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
4. HEIGHTS DEPICTED THE BUILDING HEIGHT, SHOWS THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS ARE FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST STAIRWAY TO THE ROOF. THE ROOF HEIGHT IS THE TOTAL HEIGHT OF THE ROOF DECK, THE ROOFING, AND ALL OTHER DECKS THAT ARE NOT ENDED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
5. ALL DOORS THAT ARE NOT ENDRESSED ARE TYPICALLY 4'-0" TO 4'-6" DEPENDING ON THE CLOSET SIZE.	
6. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
STAIRWAYS/DECKS	
1. STAIRWAYS SHALL NOT BE LESS THAN 8'-0" IN CLEAR HEIGHT. ALL PORCH ABOVE THE FINISHED HORIZONTAL SURFACE SHALL BE PROVIDED WITH A RAILING. THE DEPTH OF THE RAILING SHALL BE 1 1/2" MINIMUM. THE DEPTH SHALL BE 4"-0" WHEN NOSING IS NOT EXCEED 1 1/4". WINDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10" AND A MAX. DEPTH OF 12". THE DEPTH OF THE TREADS SHALL BE 1 1/2" MINIMUM IN THE SLOPED PLANE ADDING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF A LANDING OR PLATFORM.	
2. HANDRAILS SHALL BE PROVIDED AT EACH CONTINUOUS RUN OF TREADS OR FLIGHTS OF STEPS. THE MINIMUM HEIGHT SHALL BE 34"-0" AND A MAXIMUM NOT EXCEED 34"-0" IN ORDER TO ENSURE COMPLIANCE WITH ZONING AND BUILDING CODE HEIGHT REQUIREMENTS.	
3. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE NOT LESS THAN 48"-0" IN ORDER TO ENSURE COMPLIANCE WITH ZONING AND BUILDING CODE HEIGHT REQUIREMENTS.	
4. AN ISOLATED DOOR 28"-0" HIGH, MINIMUM HEIGHT SHALL BE 34"-0" AND A MAXIMUM NOT EXCEED 34"-0" IN ORDER TO ENSURE COMPLIANCE WITH ZONING AND BUILDING CODE HEIGHT REQUIREMENTS.	
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The banner features the word "FESTIVAL" in a unique, abstract font. Each letter is formed by several black lines that overlap and loop around each other, creating a complex, textured appearance. The letters are arranged horizontally, with "F" on the far left, followed by "E", "S", "T", "F", "E", "S", "T", "V", "I", "L", "A", "P", "I", and "T" on the far right. The background is plain white.



OWNER / CLIENT:

ARCHITECT:

STRUCTURAL ENGINEER

CONTRACTOR:

FIRST COLONY DEV. LLC
929 POST ROAD EAST
MARLBOROUGH, MA 01752
TEL. (508) 481-6095
FAX (508) 460-0578

HPA DESIGN, INC.
200 STONEWALL BLVD.
SUITE 5
WRENTHAM, MA 02093
TEL. (508) 384-8838
FAX (508) 384-0483

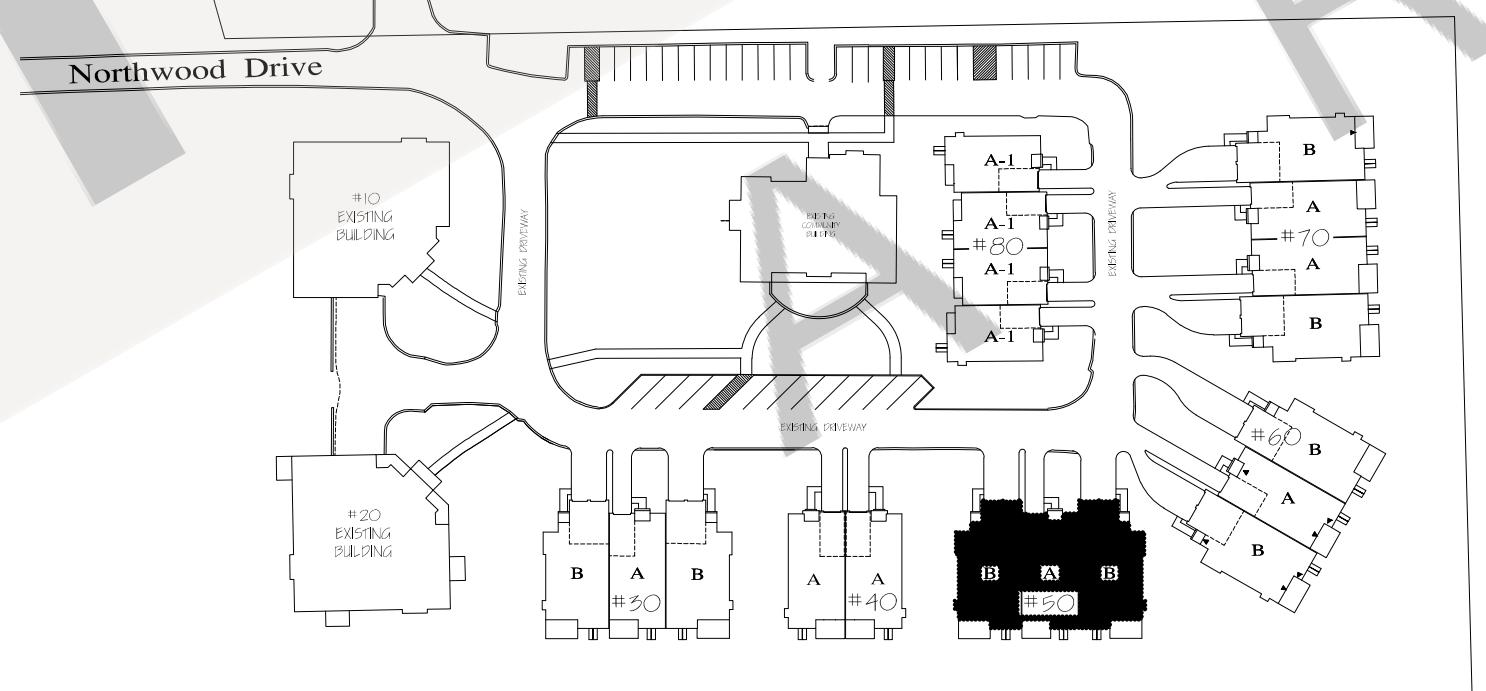
DWD ENGINEERING, INC.
5 MICHAEL RD.
EAST BRIDGEWATER
TEL. (508) 378-9602
FAX. (508) 378-2922

LOBISSEER BUILDING CORP.
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747
TEL. (508) 478-6235
FAX (508) 473-0794

SCHEDULE OF DRAWINGS:

- 0.1 TITLE SHEET
 - 0.1 1ST FLOOR PLAN
 - 0.2 2ND FLOOR PLAN
 - 0.2 ELEVATIONS
 - 0.2 ELEVATIONS
 - 0.3 BUILDING SECTIONS
 - 0.3 BUILDING SECTIONS
 - 0.4 WALL SECTIONS
 - 0.4 AIR BARRIER NOTES & DETAILS
 - 0.5 DETAILS
 - 0.5 FOUNDATION PLAN
 - 0.6 1ST FLOOR FRAMING
 - 0.6 2ND FLOOR FRAMING
 - 0.7 CEILING FRAMING
 - 0.7 ROOF FRAMING
 - 0.8 DETAILS
 - 0.8 DETAILS

KEY PLAN



The logo consists of a vertical bar on the left with a dotted pattern. To its right, the words "HPA Design, Inc." are written in a large, bold, black serif font. Below this, the word "ARCHITECTS" is written in a smaller, bold, black sans-serif font, where each letter is enclosed in a separate square box.

CONSTRUCTION BY:
FIRST COLONY DEV. LLC
#50 NORTHWOOD DRIVE, NORTHWOOD TOWNHOUSE CONDOS, SUDBURY, MA

MEET:

A.0.1

DB NO. 20180101

For more information about the study, please contact Dr. John D. Cawley at (609) 258-4626 or via email at jdcawley@princeton.edu.

#50 NORTHOOD DRIVE, NORTHOOD TOWNHOUSE CONDOS, SUDBURY, MA

10

FIRST COLONY DEVELOPMENT



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929 POST ROAD EAST
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TEL. (508) 481-6095
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ARCHITECT:

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KEY PLAN

SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
- S1.3 2ND FLOOR FRAMING
- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
GENERAL	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (R10 EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORRECT, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT. IF THIS IS INCORRECT WITH THE SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/VALLEY INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
DIMENSIONS	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES A DIMENSION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSIONING AT STAIR REPRESENDS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. ALL EXTERIOR DIMENSIONS ARE TO THE CENTER LINE OF THE EXTERIOR WALL AND ALL OTHER BUILDINGS MUST BE CONFIRMED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
4. HEIGHTS DEPICTED THE BUILDING HEIGHT, SHOWS THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS ARE FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST. TO THE 1ST FLOOR TO ENSURE COMPLIANCE WITH ZONING AND BUILDING CODE HEIGHT REQUIREMENTS.	
5. ALL DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY 3'-0" TO 4'-0" DEPENDING ON THE CLOSET.	
6. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
STAIRWAYS/DECKS	
1. STAIRWAYS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT. ALL PORCH ABOVE THE FINISHED HANDBALUST SHALL BE PROVIDED WITH AN OPENABLE RAILING. THE MINIMUM CLEAR HEIGHT SHALL BE 4'-0" AND DEPTH SHALL BE 4'-0" INCHES TO EXCEED 1'-0". WINDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10"-0". ALL OTHER TREADS SHALL BE PROVIDED WITH A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A SLOPED PLANE ADDING THE TREAD NOSE OR FROM THE FLOOR SURFACE OF A LANING OR PLATFOR.	
2. HANDRAILS SHALL BE PROVIDED AT EACH CONTINUOUS RUN OF TREADS OR FLIGHTS OF STEPS. HANDRAILS SHALL BE 3'-0" IN HEIGHT. MINIMUM HEIGHT SHALL BE 3'-0" AND MAXIMUM SHALL NOT EXCEED 3'-6". ALL OTHER DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY CENTERED WITHIN THE CLOSET.	
3. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW, SHALL BE 3'-0" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW, SHALL BE 3'-0" IN HEIGHT. GUARDRAILS, RAILINGS, AND FLOORS SHALL NOT EXCEED 4'-0" INCHES.	
4. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH A SIZE THAT A 5X 5 INCH (6" SPHERE) CANNOT PASS THROUGH. OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIRS SHALL NOT ALLOW A SPHERE 4'-0" INCHES TO PASS THOUGH.	
5. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF AN INDEPENDENT BASEMENT OR INSTITUTE THE WALLS AND UNDERSTAIRS. AN ISOLATED DOOR SHALL BE PROVIDED AT THE BOTTOM OF AN INDEPENDENT BASEMENT STAIRS.	
6. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND UNDERSTAIRS AND PROVIDE AN ISOLATED DOOR AT THE BOTTOM OF ATTIC STAIRS.	
7. HATCHES SHOWN ON THE DRAWINGS ARE BASED GENERICALLY ON ANDERSON AND THE OWNER OR GENERAL CONTRACTOR WHERE APPLICABLE SHALL CHOOSE THE FINA MANUFACTURER. WINDOW SHOUL BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDER. ROUGH OPENINGS SHALL BE PROVIDED BY THE MANUFACTURER.	
8. BASEMENTS, EXTERIOR ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW. EACH SHALL HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING. THESE OPENINGS SHALL NOT REQUIRE ONE SIDE TO SWING OUT. ESCAPE AND RESCUE OPENINGS SHALL FULLY OPEN.	
a) SILL HEIGHT SHALL NOT BE MORE THAN 4'-0" ABOVE THE FLOOR.	
b) A DOOR SWINGING THROUGH BELOW THE JACKSON FLOOR LEVEL AND ELEVATION IS USED AS AN EMERGENCY ESCAPE AND RESCUE OPENING. THE DOOR SHALL BE PROVIDED WITH A BELT-UP ENCLOSURE. THE BELT-UP SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT AND WHEN THE BELT-UP IS FULLY OPEN IT SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT.	
c) EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A 5'0" ELEVATION BELOW THE ADJACENT GROUND FLOOR. THE OPENING SHALL BE PROVIDED IN THE FLOOR. THE OPENING SHALL BE 3'-0" IN HEIGHT AND 3'-0" IN NOMINAL WIDTH. THE OPENING SHALL BE 3'-0" IN NOMINAL LENGTH AND 3'-0" IN NOMINAL PROJECTION. 3'-0" IN NOMINAL LENGTH SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO FULLY OPENED.	
d) DOUBLE HUNG ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.1" SQUARE FEET.	
e) GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.0" SQUARE FEET.	
f) DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL BE PERMITTED TO HAVE A MIN. CLEAR OPENING OF 24"-0" X 30"-0" INCHES IN EITHER DIRECTION.	
g) EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE WITHOUT THE USE OF KEYS OR TOOLS.	
h) THE MINIMUM NET CLEAR OPENING SHALL BE 24"-0" X 30"-0" INCHES IN EITHER DIRECTION.	
i) EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE WITHOUT THE USE OF KEYS OR TOOLS.	
j) IN HOMES WHERE THE OPENING OF A OPERABLE WINDOW LOCATED MORE THAN 7'-0" ABOVE THE FLOOR, THE OPENING IS NOT ALLOWED TO PASS THROUGH THE OPENING WHEN THE OPENING IS IN ITS LARGEST OPEN POSITION.	
k) OPENINGS THAT ARE PROVIDED WITH HINCH FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R402.3.	
l) HINCHES THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R402.4.	
m) OPENINGS THAT ARE PROVIDED WITH FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R402.4.	
n) STARWAYS, RAMPS, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS.	
o) REQUIRED EXITS SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES.	
p) EXTERIOR EXIT SPACES UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.	
q) EXTERIOR DOORS FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36"-0" WITH A NOMINAL HEIGHT SHALL OF 72"-0" IN NOMINAL WIDTH OR SIX FEET EIGHT INCHES IN NOMINAL HEIGHT AND MAY BE SLIDING OR SIDE-HINGED. EXTERIOR DOORS FROM DWELLING UNITS IS PERMITTED PROVIDED THAT THE ATTACHED GARAGE IS ALSO PROVIDED WITH A 32"-0" EXIT DOOR.	
r) ALL OTHER EXTERIOR DOORS IN EXCESS OF THE REQUIRED EXIT DOORS ARE NOT REQUIRED TO COMPLY.	
s) ALL INTERIOR DOORS PROVIDING ACCESS TO HABITABLE ROOMS SHALL HAVE A NOMINAL WIDTH OF 30"-0" IN NOMINAL WIDTH AND 72"-0" IN NOMINAL HEIGHT. THESE DOORS SHALL BE PROVIDED WITH A NOMINAL HEIGHT OF 80"-0" IN NOMINAL WIDTH.	
t) A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED IN THE DIRECTION OF TRAVEL.	
SPRINKLERS	
The 3-unit townhouse has an aggregate area of 1,210 SF and shall be designed with a minimum NFPA 13 system.	
HEAT DETECTORS	
1. HEAT DETECTORS SHALL BE INSTALLED IN ANY INTEGRAL OR ATTACHED GARAGE TO THE MAIN HOUSE. A NEW ADDITION ATTACHED GARAGE TO AN EXISTING DWELLING INSTALLED IN ACCORDANCE WITH THE EXISTING DWELLING SHALL BE PROVIDED WITH A COMPATIBLE HEAT DETECTOR. THE EXISTING DWELLING SHALL BE CONNECTED TO A CANISTER OR A COMPATIBLE HEAT DETECTOR CONTAINING A SOUNING DEVICE LOCATED IN THE GARAGE.	
2. FOR FLAT-FINISHED CEILINGS, THE DETECTOR SHALL BE LOCATED ON OR NEAR THE CENTER OF THE GARAGE CEILING. FOR VALETFLOOR/GLOVED CEILINGS, THE DETECTOR SHALL BE PLACED IN THE APPROXIMATE CENTER OF THE CEILING.	
3. FOR THE REAR DWELLING, THE DETECTOR SHALL BE LISTED FOR AND REQUIRED TO BE INTERCONNECTED TO ALL SMOKE DETECTORS. THE REAR DWELLING SHALL BE PROVIDED WITH A REAR DWELLING FIRE ALARM SYSTEM SUCH THAT THE ACTIVATION OF THE REAR DWELLING FIRE ALARM WILL ACTIVATE ALL OF THE SMOKE ALARMS IN THE DWELLING.	
4. A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED IN THE DIRECTION OF TRAVEL.	
SMOKE ALARMS/DETECTORS	
1. ALL ONE AND TWO FAMILY SHALL BE EQUIPPED WITH A HOUSEHOLD CARBON MONOXIDE WARNING SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS AND THE OWNER'S AGREEMENT.	
2. SMOKE ALARMS DETECTORS SHALL BE LOCATED ON EVERY LEVEL OF THE DWELLING UNIT INCLUDING BASEMENTS AND CELLS (NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS).	
3. ALL ALARM-SOUNDING APPLIANCES SHALL HAVE A MINIMUM RATING OF 85 dB-A at 10 feet, 15 dB in bedrooms.	
4. SMOKE ALARMS DETECTORS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: a) IN ALL BEDROOMS. b) IN EACH STORY OF THE DWELLING UNITS / CELLS FOR EACH 100 SQFT OR PART THEREOF. c) IN EACH DWELLING UNITS OF STAYS WHERE SMOKE STAYS LEAD TO ANOTHER OCCUPIED FLOOR.	
5. PHOTO-ELECTRIC SMOKE DETECTORS ARE REQUIRED IF LOCATED WITHIN 15 FEET OF A KITCHEN OR BATHROOM.	
6. WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED TO AN EXISTING DWELLING, THE ENTIRE DWELLING SHALL BE PROVIDED WITH SMOKE DETECTORS DESIGNED AND LOCATED AS REQUIRED FOR NEW DWELLINGS.	
CARBON MONOXIDE ALARM/DETECTORS	
1. ALL ONE AND TWO FAMILY DWELLINGS SHALL BE EQUIPPED WITH A HOUSEHOLD CARBON MONOXIDE WARNING SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS AND THE OWNER'S AGREEMENT.	
2. CARBON MONOXIDE DETECTORS SHALL BE LOCATED ON EVERY LEVEL OF THE DWELLING UNIT INCLUDING BASEMENTS AND CELLS (NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS).	
3. ALL ALARM-SOUNDING APPLIANCES SHALL HAVE A MINIMUM RATING OF 85 dB-A at 10 feet, 15 dB in bedrooms.	
4. HEAT DETECTORS SHALL BE INSTALLED IN ANY INTEGRAL OR ATTACHED GARAGE TO THE MAIN HOUSE. A NEW ADDITION ATTACHED GARAGE TO AN EXISTING DWELLING INSTALLED IN ACCORDANCE WITH THE EXISTING DWELLING SHALL BE PROVIDED WITH A COMPATIBLE HEAT DETECTOR. THE EXISTING DWELLING SHALL BE CONNECTED TO A CANISTER OR A COMPATIBLE HEAT DETECTOR CONTAINING A SOUNING DEVICE LOCATED IN THE GARAGE.	
5. FOR FLAT-FINISHED CEILINGS, THE DETECTOR SHALL BE LOCATED ON OR NEAR THE CENTER OF THE GARAGE CEILING. FOR VALETFLOOR/GLOVED CEILINGS, THE DETECTOR SHALL BE PLACED IN THE APPROXIMATE CENTER OF THE CEILING.	
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7. A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED IN THE DIRECTION OF TRAVEL.	
SPRINKLERS	
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JOB NO. 20180101	

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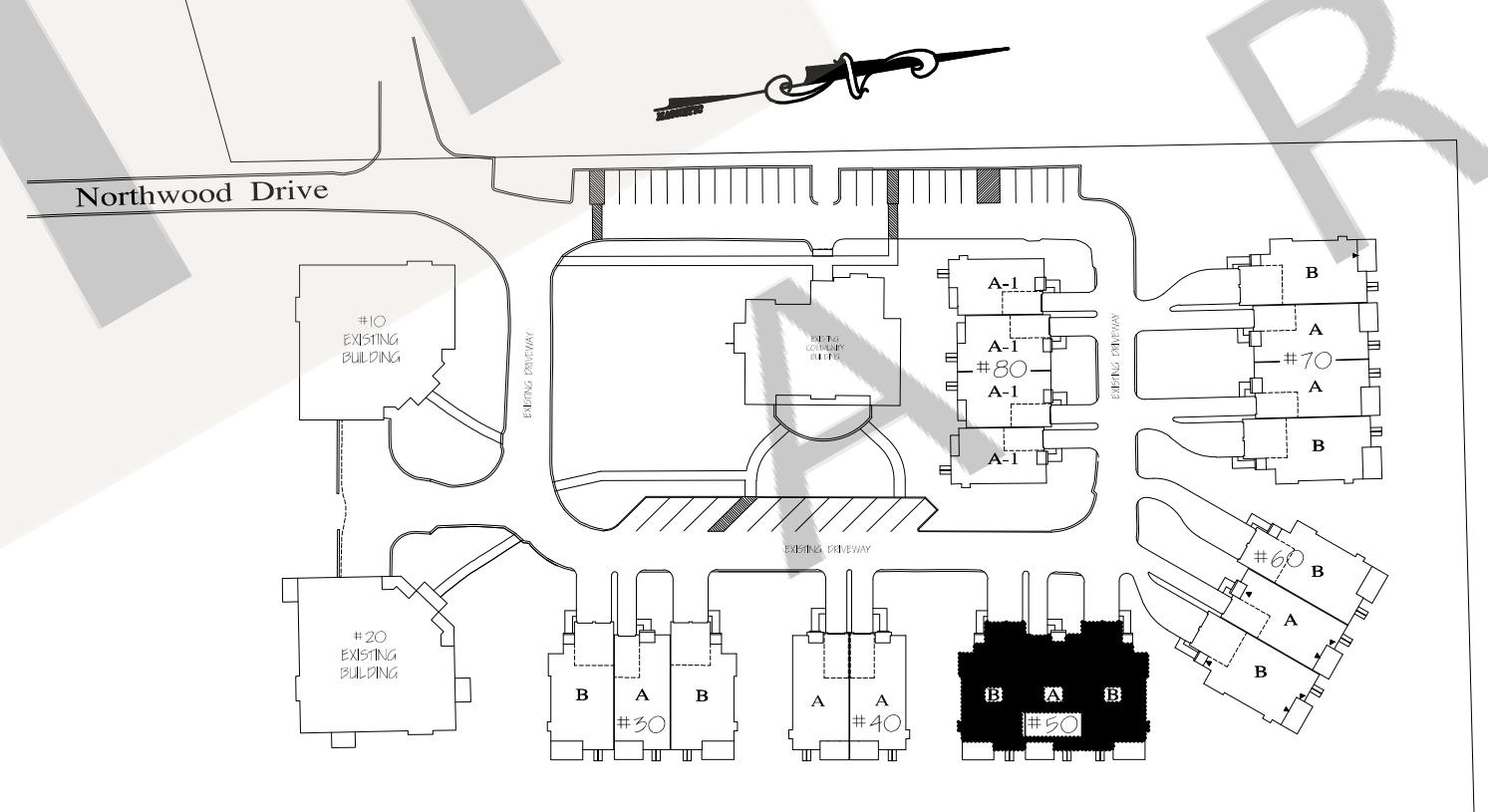
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KEY PLAN

SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
- S1.3 2ND FLOOR FRAMING
- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
GENERAL	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (RTH EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE SITE CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES SHALL BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
DIMENSIONS	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES A DIMENSION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSIONING AT STAIR REPRESENDS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. INTERIOR DIMENSIONING AT DOORS REFERS TO THE CENTER LINE OF THE DOOR.	
4. DIMENSIONS DEPICTING THE BUILDING HEIGHT, SHOW THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS FOR THE BUILDING AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST STAIRWAY TO THE ROOF. THE CONTRACTOR SHALL PROVIDE THE EXACT ELEVATION OF THE ROOF AND ALL OTHER BUILDINGS, MUST BE CONFIRMED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
5. DIMENSIONS LOCATING CLOSETS, ETC. ARE DEPICTED ON THE DRAWINGS.	
6. ALL DOWNTROPS AND HOT WATER PIPES ARE TYPICALLY CENTERED WITHIN THE CLOSET.	
7. ALL OTHER DOORS THAT ARE NOT CENTERED ARE TYPICALLY 4'-0" TO 4'-6" DEPENDING ON THE DRAWING.	
8. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
STAIRWAYS/DECKS	
1. STAIRWAYS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT. ALL PORCH ABOVE THE FINISHED HANDBALUST SHALL BE PROVIDED WITH AN OPENABLE RAILING. THE MINIMUM CLEAR HEIGHT SHALL BE 4'-0" AND DEPTH SHALL BE 4'-0" INCHES TO EXCEED 1'-0". WINDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 1'-0" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 1'-0" AND A MAXIMUM DEPTH OF 1'-6". ALL TREADS SHALL BE PROVIDED WITH A SMOOTH, SLOPED PLANE ADJOINING THE TREAD NOSE OR FROM THE FLOOR SURFACE OF A LANING OR PLATFOR.	
2. HANDRAILS SHALL BE PROVIDED AT THE TOP OF CONTINUOUS RUNS OF STAIRS OR FLIGHTS OF STEPS. ALL HANDRAILS SHALL BE PROVIDED WITH A MINIMUM HEIGHT OF 34"-0" AND A MAXIMUM NOT TO EXCEED 36"-0". MINIMUM HEIGHT SHALL NOT BE LESS THAN 34"-0" AND A MAXIMUM NOT TO EXCEED 36"-0".	
3. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH AND/OR BALCONY AREA'S MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE PROVIDED WITH A MAXIMUM CLEAR OPENING BETWEEN RAILS, BALusters, and floors, SHALL NOT EXCEED 4" INCHES.	
4. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED ON INSIDE OF STAIRS OR INSTEAD OF GUARDRAILS ON OUTSIDE OF STAIRS. GUARDRAILS ON OUTSIDE OF STAIRS SHALL NOT ALLOW A SPHERE 3"-0" INCHES TO PASS THROUGH.	
5. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH AND/OR BALCONY AREA'S MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE PROVIDED WITH A MAXIMUM CLEAR OPENING BETWEEN RAILS, BALusters, and floors, SHALL NOT EXCEED 4" INCHES.	
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31. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH AND/OR BALCONY AREA'S MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE PROVIDED WITH A MAXIMUM CLEAR OPENING BETWEEN RAILS, BALusters, and floors, SHALL NOT EXCEED 4" INCHES.	
32. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH AND/OR BALCONY AREA'S MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE PROVIDED WITH A MAXIMUM CLEAR OPENING BETWEEN RAILS, BALusters, and floors, SHALL NOT EXCEED 4" INCHES.	
33. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH AND/OR BALCONY AREA'S MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE PROVIDED WITH A MAXIMUM CLEAR OPENING BETWEEN RAILS, BALusters, and floors, SHALL NOT EXCEED 4" INCHES.	
34. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE	

FIRST COLONY DEVELOPMENT



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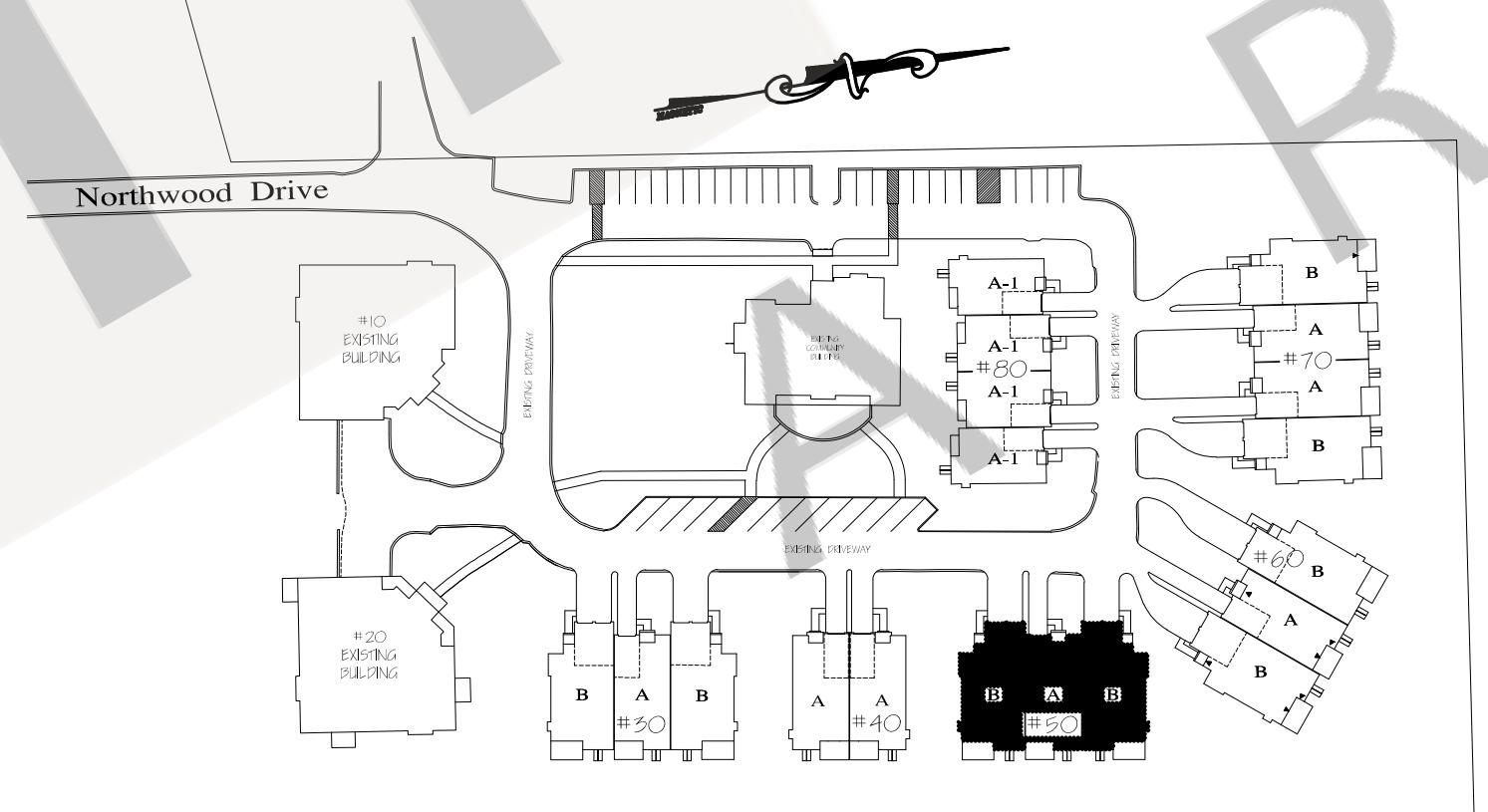
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STRUCTURAL ENGINEER

DWD ENGINEERING, INC.
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CONTRACTOR:

LOBISSEUR BUILDING CORP.
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FAX (508) 473-0794



KEY PLAN

SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
- S1.3 2ND FLOOR FRAMING
- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
GENERAL	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (RTH EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE SITE CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
DIMENSIONS	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES A DIMENSION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSIONING AT STAIR REPRESENDS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. INTERIOR DIMENSIONING AT DOORS REFERS TO THE INSIDE EDGE OF THE STUD OR CONCRETE WALL AND ALL OTHER BULLETS, MUST BE CONFIRMED WITH THE FUTURE MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
4. HEIGHTS DEPICTING THE BUILDING HEIGHT, SHOWS THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS FOR THE BUILDING AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST. ON THE GROUND FLOOR TO THE ROOF. THE TOTAL BUILDING HEIGHT IS THE SUM OF THE ELEVATION DIFFERENCE RELATIVE TO THE 1ST FLOOR, TO ENSURE COMPLIANCE WITH ZONING AND BUILDING CODE HEIGHT REQUIREMENTS.	
5. ALL OTHER DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY 3'-0" TO 4' (DEPENDING ON THE FLOOR/CASEMENT).	
6. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
STAIRWAYS/DECKS	
1. STAIRWAYS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT. IN ALL PORTIONS ABOVE THE FINISHED HANRAL RAILING, THE CLEAR HEIGHT, FROM THE FINISHED FLOOR TO THE CEILING, SHALL BE 6'-0". MINIMUM DEPTH SHALL BE 18"-0" AND MAXIMUM DEPTH SHALL NOT EXCEED 1'-0". UNDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10"-0". Treads shall be 12"-0" wide and nosings shall be 1"-0" thick. All treads shall be set in a sloped plane defining the tread nosing or from the floor surface of a landing or platform.	
2. HANDRAILS SHALL BE PROVIDED AT EACH CONTINUOUS RUN OF TREADS OR FLIGHTS OF STEPS. ALL HANDRAILS SHALL BE 36"-0" HIGH. MINIMUM HEIGHT SHALL BE 34"-0" AND MAXIMUM NOT EXCEED 38"-0". ALL OTHER DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY CENTERED WITHIN THE GLOSER.	
3. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S HIGHER THAN 30"-0" ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 36"-0" HIGH. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 36"-0" HIGH. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 4" INCHES.	
4. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH A SIZE THAT A 5X 5 INCH (6" SPHERE) CANNOT PASS THROUGH. OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIRS SHALL NOT ALLOW A SPHERE 4-3/8" INCHES TO PASS THROUGH.	
5. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF AN INDEPENDENT STAIRCASE OR INSTITUTE THE WALLS AND UNDERNEATH THE STAIRS. AN ISOLATED DOOR SHALL NOT BE PROVIDED IN THE WALKWAY OR BASEMENT STAIRS.	
6. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND UNDERNEATH STAIRS AND PROVIDE AN ISOLATED DOOR AT THE BOTTOM OF ATTIC STAIRS.	
7. HATCHES SHOWN ON THE DRAWINGS ARE BASED GENERICALLY ON ANDERSON AND THE OWNER OR GENERAL CONTRACTOR WHERE APPLICABLE SHALL CHOOSE THE FINA MANUFACTURER. WINDOW SIZES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDER. ROUGH OPENINGS SHALL BE PROVIDED BY THE MANUFACTURER.	
8. BASEMENTS, ATTICS, EXTERIOR SLEEPING ROOMS SHALL HAVE AT LEAST ONE OPERABLE WINDOW. EACH SHALL HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING. IN ADDITION, BASEMENT SHALL NOT REQUIRE ONE EMERGENCY ESCAPE AND RESCUE OPENINGS DUE TO THE FOLLOWING CRITERIA:	
a) GILL HEIGHT SHALL NOT BE MORE THAN 48 INCHES ABOVE THE FLOOR.	
b) A DOOR SWINGING THROUGH BELOW THE JACKSON LEVEL AND THE ELEVATION DIFFERENCE IS USED AS AN ENERGY SOURCE FOR THE DOOR TO SWING THROUGH. IF THE DOOR IS SWUNG THROUGH A BULWELL, IT SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT AND WHEN THE BULWELL IS FULLY OPEN IT SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT.	
c) EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A 5'0" ELEVATION BELOW THE ADJACENT GROUND FLOOR. THE OPENING SHALL BE 3'-0" HIGH AND 3'-0" WIDE. THE OPENING SHALL BE LOCATED 3'-0" FROM THE GROUND FLOOR AND A MINIMUM HORIZONTAL PROJECTION OF 3'-0". THE PERSON HELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO FULLY OPENED.	
d) DOUBLE HUNG ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.1" SQUARE FEET.	
EXCEPTIONS:	
1. STARWAYS, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS.	
2. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL BE PERMITTED TO HAVE A MIN. CLEAR OPENING OF 24"-0" X 30"-0" INCHES IN EITHER DIRECTION.	
3. DOUBLE HUNG WINDOWS THAT ARE PROVIDED WITH HINCH FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R402.3.	
4. OPENINGS THAT ARE PROVIDED WITH HINCH FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R402.4.	
5. HINCHES THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R402.4.	
6. STARWAYS, RAMP, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS.	
7. REQUIRED EXITS SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES.	
8. REQUIRED EXIT SPACE UNDER STAIRS SHALL BE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.	
9. EGRESS FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36"-0" WITH A NOMINAL HEIGHT OF 72"-0" NOMINAL WIDTH OR SIX FEET EIGHT INCHES IN NOMINAL HEIGHT AND MAY BE SLIDING OR SIDE-HINGED. EGRESS FROM DWELLING UNITS IS PERMITTED PROVIDED THAT THE ATTACHED GARAGE IS ALSO PROVIDED WITH A 32"-0" EXIT DOOR.	
10. ALL OTHER EXTERIOR DOORS IN EXCESS OF THE REQUIRED EXIT DOORS ARE NOT REQUIRED TO COMPLY.	
11. ALL INTERIOR DOORS PROVIDING ACCESS TO HABITABLE ROOMS SHALL HAVE A NOMINAL WIDTH OF 30"-0" NOMINAL HEIGHT AND 6'-0" NOMINAL HEIGHT. THE NOMINAL WIDTH OF THE DOOR SHALL BE IN NOMINAL WIDTH.	
12. A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR THAT IS LOCATED IN THE DIRECTION OF TRAVEL.	
SPRINKLERS:	
The 3-unit townhouse has an aggregate area of 1,210 SF and shall be designed with a minimum NFPA 13 system.	
REVISIONS:	
# DATE DESC.	
O	ISSUED FOR CONSTRUCTION

DATE: AUGUST 1, 2016
DRAWN BY: RWB
contact@hpadesign.com
CHECKED BY: HPA
PATH: 20180101_FIRST COLONY DEV
20180101LCDs
SCALE: SEE DRAWING
REVISIONS:
DATE DESC.
O ISSUED FOR CONSTRUCTION

HPA Design, Inc.
ARCHITECTS

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CONSTRUCTION BY:
FIRST COLONY DEV. LLC
#50 NORTHWOOD DRIVE, NORTHWOOD TOWNSHOUSE CONDO'S, SUDBURY, MA

TITLE SHEET

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SHEET:
A0.1
JOB NO. 20180101

FIRST COLONY DEVELOPMENT



OWNER / CLIENT:

FIRST COLONY DEV. LLC
929 POST ROAD EAST
MARLBOROUGH, MA 01752
TEL. (508) 481-6095
FAX (508) 460-0578

ARCHITECT:

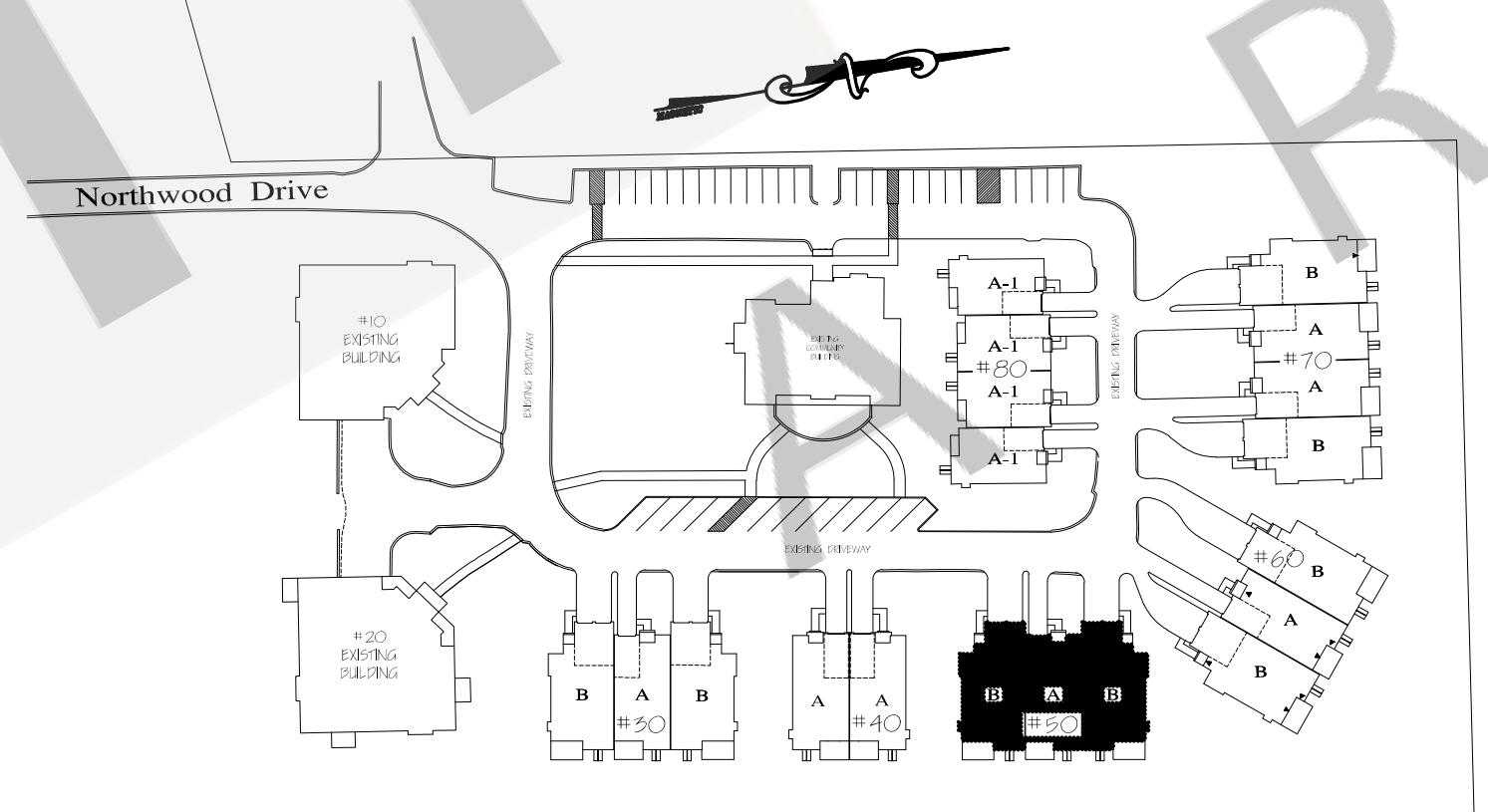
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STRUCTURAL ENGINEER

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CONTRACTOR:

LOBISSEUR BUILDING CORP.
1 CHARLESVIEW ROAD
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TEL. (508) 478-6235
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KEY PLAN

SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
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- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
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- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
GENERAL	
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AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE SITE CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES SHALL BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
DIMENSIONS	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES A DIMENSION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSIONING AT STAIR REPRESENDS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. INTERIOR DIMENSIONING AT DOORS REFERS TO THE CENTER LINE OF THE DOOR.	
4. DIMENSIONS DEPICTING THE BUILDING HEIGHT, SHOW THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS FOR THE BUILDING AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST STAIRWAY TO THE ROOF. THE CONTRACTOR SHALL PROVIDE THE EXACT ELEVATION OF THE ROOF AND ALL OTHER BUILDINGS, MUST BE CONFIRMED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED ROOF ATTACHMENT.	
5. ALL OTHER DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY 3'-0" TO 4'-0" (DEPENDING ON THE CLOSET).	
6. CLOSET DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY CENTERED WITHIN THE CLOSET.	
7. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
STAIRWAYS/DECKS	
1. STAIRWAYS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT. ALL PORCH ABOVE THE FINISHED HANDBALUST SHALL BE PROVIDED WITH A MINIMUM 4'-0" CLEAR HEIGHT. MINIMUM DEPTH SHALL BE 1'-0" MINIMUM DEPTH SHALL BE 1'-0" IN DEPTH. MAXIMUM DEPTH SHALL NOT EXCEED 1'-0". WINDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 1'-0" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 1'-0". ALL OTHER TREADS SHALL BE PROVIDED WITH A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A SLOPED PLANE ADDING THE TREAD NOSE OR FROM THE FLOOR SURFACE OF A LANING OR PLATFOR.	
2. HANDRAILS SHALL BE PROVIDED AT EACH CONTINUOUS RUN OF TREADS OR FLIGHTS OF STEPS. ALL HANDRAILS SHALL BE PROVIDED WITH A MINIMUM HEIGHT OF 34"-0" AND A MAXIMUM NOT TO EXCEED 36"-0". MINIMUM HEIGHT SHALL NOT EXCEED 34"-0" AND A MAXIMUM NOT TO EXCEED 36"-0".	
3. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH AND/OR BALCONY AREA'S MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE NOT LESS THAN 48"-0" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30"-0" OR LESS SHALL BE NOT LESS THAN 36"-0" IN HEIGHT. RAILS, BALUSTERS, AND FLOORS SHALL NOT EXCEED 4"-0" INCHES.	
4. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH A SIZE THAT A 5X 5 INCH (6" SPHERE) CANNOT PASS THROUGH. OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIR GUARDS SHALL NOT ALLOW A SPHERE 4"-0" INCHES TO PASS THROUGH.	
5. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF AN INDEPENDENT STAIRCASE OR INSTITUTE THE WALLS AND UNDERNEATH THE STAIRS. AN ISOLATED DOOR SHALL NOT ALLOW A SPHERE 4"-0" INCHES TO PASS THROUGH.	
6. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND UNDERNEATH STAIRS AND PROVIDE AN ISOLATED DOOR AT THE BOTTOM OF ATTIC STAIRS.	
7. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF SLEEPING PORCHES. ISOLATE THE WALLS AND UNDERNEATH STAIRS AND PROVIDE AN ISOLATED DOOR AT THE BOTTOM OF SLEEPING PORCHES.	
8. HATCHES SHOWN ON THE DRAWINGS ARE BASED GENERICALLY ON ANDERSON AND THE OWNER OR GENERAL CONTRACTOR WHERE APPLICABLE SHALL CHOOSE THE FINA MANUFACTURER. WINDOW SHOALS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDER. ROUGH OPENINGS SHALL BE PROVIDED BY THE MANUFACTURER.	
9. BASEMENTS, ATTICS, EXTERIOR SLEEPING ROOMS SHALL HAVE AT LEAST ONE OPERABLE WINDOW. EACH SHALL HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING. THESE OPENINGS SHALL NOT REQUIRE ONE SIDE TO SWING OUT. ESCAPE AND RESCUE OPENINGS SHALL FULLY OPEN.	
a) SILL HEIGHT SHALL NOT BE MORE THAN 4'-0" ABOVE THE FLOOR.	
b) A DOOR SWINGING THROUGH BELOW THE JACKSTOCK LEVEL AND THE ELEVATION IS USED AS AN EMERGENCY ESCAPE AND RESCUE OPENING. IF THE DOOR IS PROVIDED WITH A DELUXE ENCLOSURE, THE DOOR SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT AND WHEN THE HEADSLID IS FULLY OPEN IT SHALL PROVIDED DIRECT ACCESS TO THE BASEMENT.	
c) EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A SILL ELEVATION BELOW THE ADJACENT GROUND SHALL BE PROVIDED WITH A MIN. NET CLEAR OPENING OF 5'-0" AND A MAX. NET CLEAR OPENING OF 5'-0" AND A MIN. HORIZONTAL PROJECTION OF 36"-0". THE PERSON HELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO FULLY OPENED.	
d) DOUBLE HUNG ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5'-0" IN SQUARE FEET.	
10. GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5'-0" IN SQUARE FEET.	
11. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL BE PERMITTED TO HAVE A MIN. NET CLEAR OPENING OF 5'-0" IN SQUARE FEET AND A MAX. NET CLEAR OPENING OF 5'-0" IN SQUARE FEET.	
12. REQUIRED EXIT SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES.	
13. REQUIRED EXIT SPACE UNDER STAIRS SHALL BE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.	
14. ESCAPE FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36"-0" WITH A NOMINAL HEIGHT SMALL OF 72"-0" AND A MAXIMUM HEIGHT OF 78"-0". THE NOMINAL WIDTH OF THE OTHER EXIT DOOR SHALL BE 30"-0" AND A NOMINAL HEIGHT OF SIX FEET EIGHT INCHES IN NOMINAL HEIGHT AND MAY BE SLIDING OR SIDE-HINGED. Emergency exit from the garage or attached garage is permitted provided that the attached garage is also provided with a 32"-0" EXIT DOOR.	
15. ALL OTHER EXTERIOR DOORS IN EXCESS OF THE REQUIRED EXIT DOORS ARE NOT REQUIRED TO COMPLY.	
16. ALL INTERIOR DOORS PROVIDING ACCESS TO HABITABLE ROOMS SHALL HAVE A NOMINAL WIDTH OF 30"-0" AND A NOMINAL HEIGHT OF 8'-0" IN NOMINAL HEIGHT AND MAY BE SLIDING OR SIDE-HINGED.	
17. THE RECOMMENDED NUMBER OF FIRE ALARMS DEPENDS ON THE NUMBER OF DWELLINGS IN THE DWELLING. THE REQUIRED NUMBER OF FIRE ALARMS DEPENDS ON THE NUMBER OF DWELLINGS IN THE DWELLING.	
18. A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE POINT OF DRAFT LANDING AND HAVE A MINIMUM DIMENSION OF 36"-0" INCHES MEASURED IN THE DIRECTION OF TRAVEL.	
EXCEPTIONS	
1. STAIRWAYS, RAMP, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS.	
2. REQUIRED EXITS SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES.	
3. REQUIRED EXIT SPACE UNDER STAIRS SHALL BE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.	
4. ESCAPE FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36"-0" WITH A NOMINAL HEIGHT SMALL OF 72"-0" AND A MAXIMUM HEIGHT OF 78"-0". THE NOMINAL WIDTH OF THE OTHER EXIT DOOR SHALL BE 30"-0" AND A NOMINAL HEIGHT OF SIX FEET EIGHT INCHES IN NOMINAL HEIGHT AND MAY BE SLIDING OR SIDE-HINGED. Emergency exit from the garage or attached garage is permitted provided that the attached garage is also provided with a 32"-0" EXIT DOOR.	
5. ALL OTHER EXTERIOR DOORS IN EXCESS OF THE REQUIRED EXIT DOORS ARE NOT REQUIRED TO COMPLY.	
6. ALL INTERIOR DOORS PROVIDING ACCESS TO HABITABLE ROOMS SHALL HAVE A NOMINAL WIDTH OF 30"-0" AND A NOMINAL HEIGHT OF 8'-0" IN NOMINAL HEIGHT AND MAY BE SLIDING OR SIDE-HINGED.	
7. THE RECOMMENDED NUMBER OF FIRE ALARMS DEPENDS ON THE NUMBER OF DWELLINGS IN THE DWELLING.	
8. A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE POINT OF DRAFT LANDING AND HAVE A MINIMUM DIMENSION OF 36"-0" INCHES MEASURED IN THE DIRECTION OF TRAVEL.	
MINIMUM ROOM REQUIREMENTS	
1. HABITABLE ROOMS, HALLWAYS, CORRIDORS, BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS AND BASEMENTS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN SEVEN (7') FEET MEASURED FROM THE FINISH FLOOR TO THE LOWEST PROJECTION FROM THE CEILING.	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
4. AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE SITE CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES SHALL BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
DIMENSIONS	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES A DIMENSION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSIONING AT STAIR REPRESENDS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. INTERIOR DIMENSIONING AT DOORS REFERS TO THE CENTER LINE OF THE DOOR.	
4. DIMENSIONS DEPICTING THE BUILDING HEIGHT, SHOW THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS FOR THE BUILDING AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST STAIRWAY TO THE ROOF. THE CONTRACTOR SHALL PROVIDE THE EXACT ELEVATION OF THE ROOF AND ALL OTHER BUILDINGS, MUST BE CONFIRMED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED ROOF ATTACHMENT.	
5. ALL OTHER DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY 3'-0" TO 4'-0" (DEPENDING ON THE CLOSET).	
6. CLOSET DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY CENTERED WITHIN THE CLOSET.	
7. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
ROOFING AND Siding	
1. PROVIDE CONTINUOUS 6'-0" INCH FIBERGLASS REINFORCED, BITUMEN, ICE AND WATER SHIELD AT ALL ROOF EDGES CENTERED IN ALL VALLEYS AND AT ROOF WALL INTERSECTIONS CARRIED 1'-0" UP THE WALL REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.	
2. PROVIDE ALUMINUM FLASHING OVER ALL WINDOW AND DOOR WALL AND ROOF/GHIBNEY INTERSECTIONS.	
3. PROVIDE ALUMINUM FLASHING OVER ALL WINDOW AND DOOR WALL AND ROOF/GHIBNEY INTERSECTIONS.	
4. PROVIDE CONTINUOUS SOFFIT VENTS OR CONTINUOUS VENTED DRIP EDGE AT ALL SOFFIT OVERHANGS.	
5. PROVIDE FELT UNDER ALL ROOF SHAKLES UNLESS SPECIFIED OTHERWISE.	
6. PROVIDE CONTINUOUS RIDGE VENTS (UNLESS SPECIFIED AS OTHERWISE). SEE BUILDING EXTENT.	
7. ALL GUTTERS AND DOWNGOATS TO BE PREFINISHED ALUM. COLOR TO BE SELECTED BY OWNER.	
8. LIGHTVENTILATION AND INSULATION.	
a) ALL HABITABLE ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING OF NOT LESS THAN 28% OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, LOUVRES OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR. THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA OF SUCH ROOMS.	
b) EXCEPTIONS	
1. THE GLAZED AREAS SHALL NOT BE OPENABLE WHERE THE OPENING IS NOT REQUIRED TO BE AN EMERGENCY ESCAPE AND RESCUE OPENING AND AN APPROVED MECHANICAL VENTILATION SYSTEM IS PROVIDED CAPABLE OF PRODUCING 0.50 AIR EXCHANGE PER HOUR. IN THE ROOM OR A ONE-HOUSE MECHANICAL VENTILATION SYSTEM IS INSTALLED, THE CONTRACTOR SHALL PROVIDE AN APPROVED MECHANICAL VENTILATION SYSTEM OF AT LEAST 0.50 AIR EXCHANGE PER HOUR FOR EACH BEDROOM AND ONE FOR EVERY ADDITIONAL BEDROOM.	
2. ALL BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING AREA OF NOT LESS THAN THREE SQUARE FEET, 1/2 OF WHICH MUST BE OPENABLE.	
3. EXEMPTION	
THE GLAZED AREA SHALL NOT BE REQUIRED WHERE ARTIFICIAL LIGHT, AND A MECHANICAL VENTILATION SYSTEM ARE PROVIDED. VENTILATION AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE.	
4. ATTIC VENTILATION WITH A CEILING VAPOR BARBEE. PROVIDE AT LEAST ONE (1) SQUARE FOOT OF FREE AREA FOR EACH THREE HUNDRED (300) SQUARE FOOT OF CELLIAGE AREA.	
5. ATTIC VENTILATION WITHOUT A CEILING VAPOR BARBEE. PROVIDE AT LEAST ONE (1) SQUARE FOOT OF FREE AREA FOR EACH ONE HUNDRED	