

Opacity Comparisons

The banner features the word "FESTIVAL" in a unique, abstract font. Each letter is formed by several black lines that overlap and loop around each other, creating a complex, textured appearance. The letters are arranged horizontally, with "F" on the far left, followed by "E", "S", "T", "F", "E", "S", "T", "V", "I", "L", "A", "P", "I", and "T" on the far right. The background is plain white.



OWNER / CLIENT:

ARCHITECT:

STRUCTURAL ENGINEER

CONTRACTOR:

FIRST COLONY DEV. LLC
929 POST ROAD EAST
MARLBOROUGH, MA 01752
TEL. (508) 481-6095
FAX (508) 460-0578

HPA DESIGN, INC.
200 STONEWALL BLVD.
SUITE 5
WRENTHAM, MA 02093
TEL. (508) 384-8838
FAX (508) 384-0483

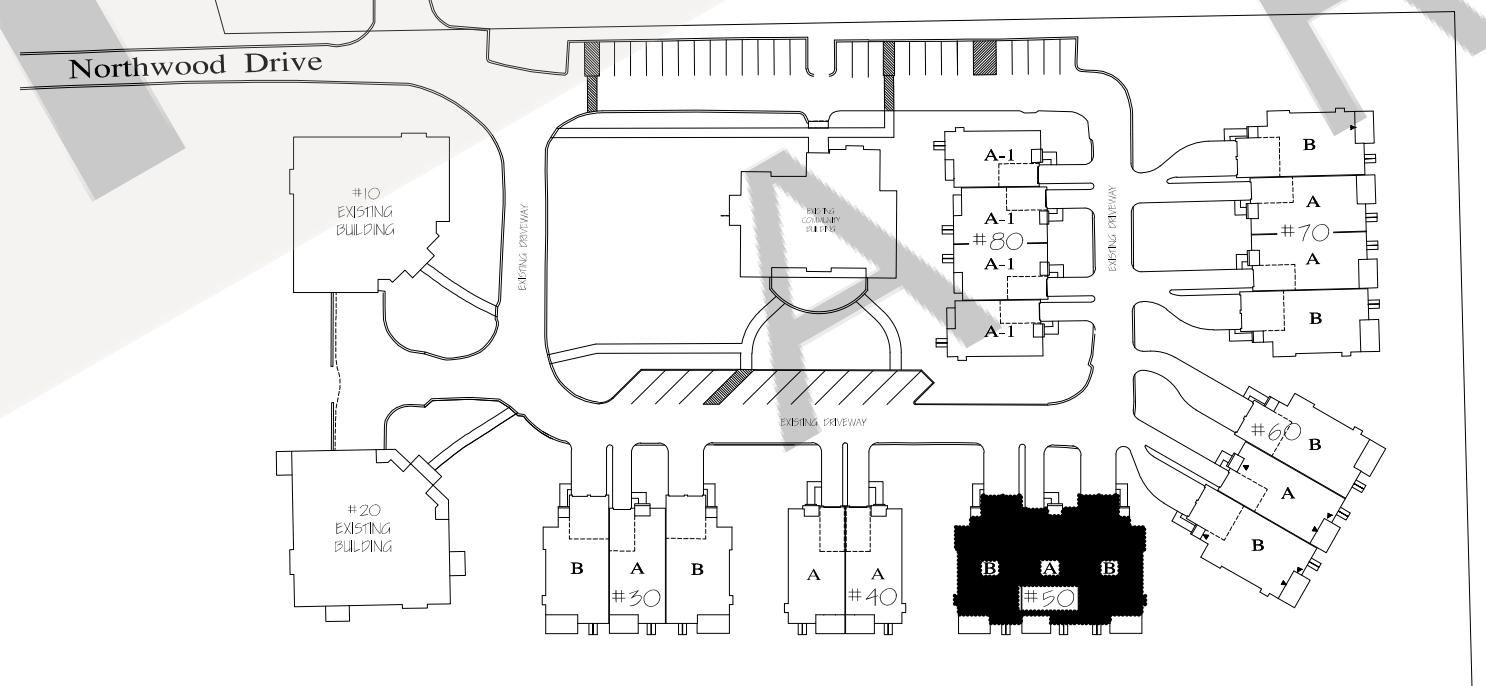
DWD ENGINEERING, INC.
5 MICHAEL RD.
EAST BRIDGEWATER
TEL. (508) 378-9602
FAX. (508) 378-2922

LOBISSEER BUILDING CORP.
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747
TEL. (508) 478-6235
FAX (508) 473-0794

SCHEDULE OF DRAWINGS:

- 0.1 TITLE SHEET
 - 1.1 1ST FLOOR PLAN
 - 1.2 2ND FLOOR PLAN
 - 2.1 ELEVATIONS
 - 2.2 ELEVATIONS
 - 3.1 BUILDING SECTIONS
 - 3.2 BUILDING SECTIONS
 - 4.1 WALL SECTIONS
 - 4.2 AIR BARRIER NOTES & DETAILS
 - 5.1 DETAILS
 - .1 FOUNDATION PLAN
 - .2 1ST FLOOR FRAMING
 - .3 2ND FLOOR FRAMING
 - .4 CEILING FRAMING
 - .5 ROOF FRAMING
 - 2.1 DETAILS
 - 2.2 DETAILS

KEY PLAN



— SEE —

FIRST COLONY DEV. LLC
CONSTRUCTION BY:

#50 NORTHWOOD DRIVE, NORTHWOOD TOWNHOUSE CONDOS, SUDBURY, MA

SHEET:

A.0.1

JOB NO. 20180101

FIRST COLONY DEVELOPMENT



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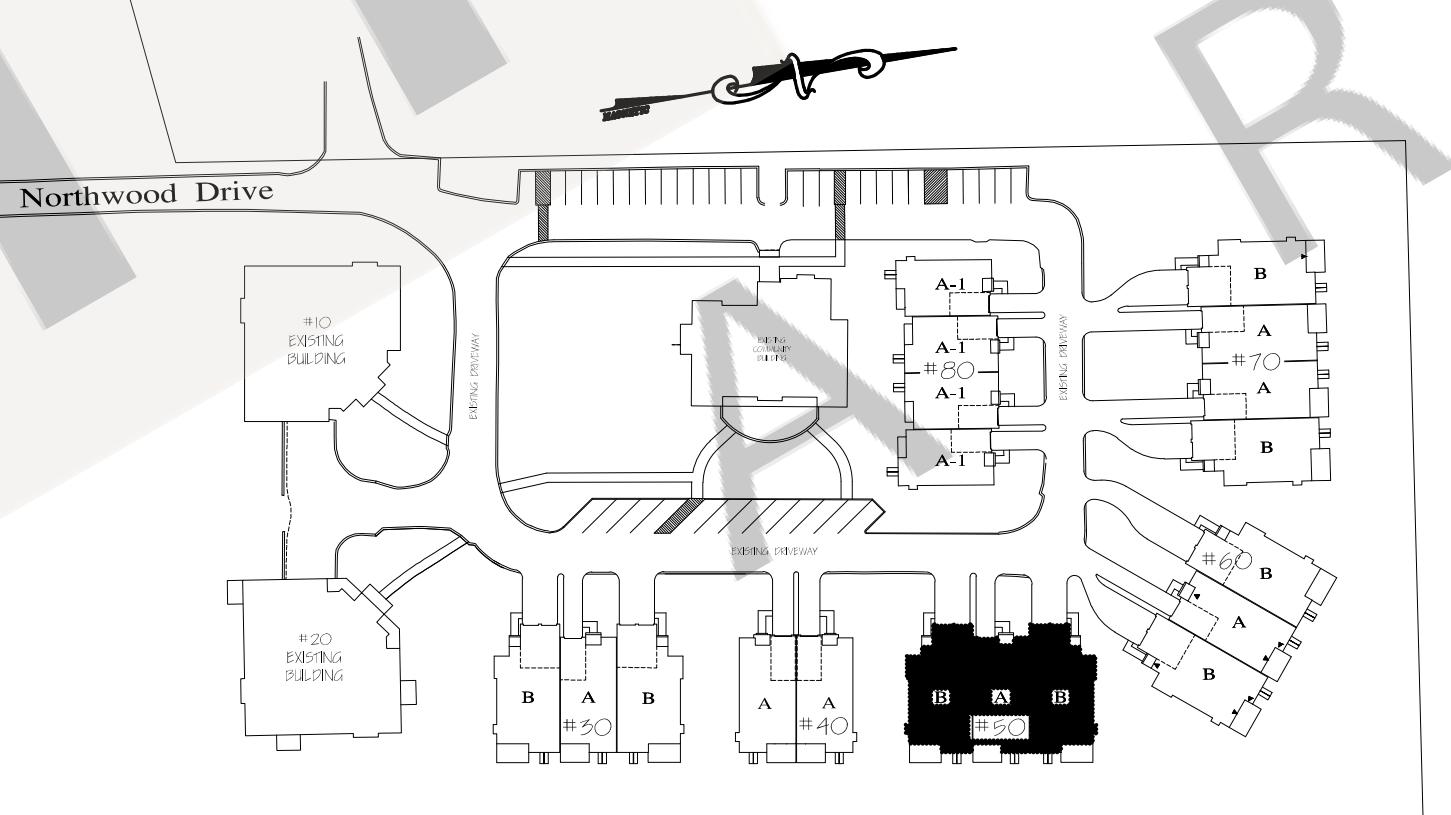
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- S1.5 ROOF FRAMING
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GENERAL NOTES	
GENERAL	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (R10 EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONjunction WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHAP DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROCEEDING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE SITE CONDITIONS, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IF THIS IS INCONSISTENT WITH THE SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNSPOUTS AND WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNSPOUTS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2' ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/RAIL INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
DIMENSIONS	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWS UNLESS OTHERWISE NOTED: a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL. b) DIMENSIONS TO INSIDE FACE OF A STUD OR CONCRETE WALL ARE FROM INSIDE FACE OF THAT OPENING FROM THE CENTER OF ANOTHER OPENING OR THE EXTERIOR FACE OF A STUD OR CONCRETE WALL. c) INTERIOR DIMENSIONS AT STUD WALLS REFER TO THE INSIDE TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE SPECIFIED).	
2. INTERIOR DIMENSIONING AT STAIRS REPRESENTS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. ALL DOORS ARE TO BE CENTERED ON THE OPENING. DOORS ARE TO SWING OUTWARD UNLESS OTHERWISE SPECIFIED. 4. DOORS DEPICTING THE BUILDING HEIGHT, SHOW THE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR THE BUILDING AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST TO THE 1ST FLOOR TO ENSURE COMPLIANCE WITH ZONING AND BUILDING CODE HEIGHT REQUIREMENTS.	
5. ALL OTHER DOORS THAT ARE NOT DIMENSHED ARE TYPICALLY 4' TO 6' (DEPENDING ON THE DOOR SIZE). 6. CLOSET DOORS THAT ARE NOT DIMENSHED ARE TYPICALLY CENTERED WITHIN THE CLOSET.	
7. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
STAIRWAYS/DECKS	
1. STAIRWAYS SHALL NOT BE LESS THAN 40 INCHES HIGH AT ALL POINTS ABOVE THE FINISHED HANRAL. STAIRWAYS SHALL NOT BE LESS THAN 30 INCHES DEEP. DECKS SHALL NOT BE LESS THAN 40 INCHES DEEP. DECK DEPTH SHALL BE 4 INCHES TO EXCEDE 1 1/4". WINDER TREADS SHALL HAVE A MIN DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWEST SIDE WITH A MIN TREAD DEPTH OF 10 INCHES. DECKS SHALL NOT BE LESS THAN 40 INCHES DEEP AT THE DECK LINE, WHICH IS THE SLOPED PLANE ADDING THE TREAD NOSE OR FROM THE FLOOR SURFACE OF A LANING OR PLATFOR.	
2. HANDRAILS SHALL BE PROVIDED ON EACH CONTINUOUS RUN OF TREADS OR FLIGHTS OF STEPS THAT ARE 12' OR MORE IN LENGTH. MINIMUM HEIGHT SHALL BE 34" TO 34 1/2" MAXIMUM NOT TO EXCEDE 36" IN TOTAL. ALL OTHER STEPS THAT ARE NOT 12' OR MORE IN LENGTH SHALL BE 34" TO 34 1/2" MAXIMUM NOT TO EXCEDE 36" IN TOTAL. GUARDRAILS SHALL BE PROVIDED ON THE FLOOR, PORCH OR BALCONY AREA HIGHER THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 34" TO 34 1/2" MAXIMUM NOT TO EXCEDE 36" IN TOTAL. GUARDRAILS ON THE FLOOR, PORCH OR BALCONY AREA HIGHER THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 34" TO 34 1/2" MAXIMUM NOT TO EXCEDE 36" IN TOTAL. RAILINGS, GUARDRAILS AND FLOORS SHALL NOT EXCEDE 4" INCHES.	
3. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOOR, PORCH AND/OR BALCONY AREA HIGHER THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 34" TO 34 1/2" MAXIMUM NOT TO EXCEDE 36" IN TOTAL. GUARDRAILS ON THE FLOOR, PORCH OR BALCONY AREA HIGHER THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 34" TO 34 1/2" MAXIMUM NOT TO EXCEDE 36" IN TOTAL.	
4. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY SHALL NOT BE SUCH A SIZE THAT A 5 INCH (6" SPHERE) CANNOT PASS THROUGH. OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIRS SHALL NOT ALLOW A SPHERE 4-3/8" INCHES TO PASS THROUGH.	
5. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND UNDERSCAPE OF STAIRS AND PROVIDE AN ISOLATED DOOR AT THE BOTTOM OF ATTIC STAIRS.	
6. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND UNDERSCAPE OF STAIRS AND PROVIDE AN ISOLATED DOOR AT THE BOTTOM OF ATTIC STAIRS.	
7. HATCHES SHOWN ON THE DRAWINGS ARE BASED GENERICALLY ON ANDERSEN AND THE OWNER OR GENERAL CONTRACTOR WHERE APPLICABLE SHALL CHOOSE THE FINA MANUFACTURER. WINDOW SHOUL BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO ORDERING. ROUGH OPENINGS SHALL BE PROVIDED BY THE MANUFACTURER.	
8. BASEMENTS, ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW. EACH SHALL HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING. BASEMENT, ATTIC AND SLEEPING ROOMS SHALL NOT REQUIRE ONE ESCAPE AND RESCUE OPENINGS UNLESS THE FOLLOWING CRITERIA:	
a) GILL HEIGHT SHALL NOT BE MORE THAN 48 INCHES ABOVE THE FLOOR. b) A DOOR HAVING A THRESHOLD BELOW THE JACKSON LEVEL AND A MAXIMUM ELEVATION AS AN ENERGY-EFFICIENT DOOR SHALL BE PROVIDED WITH A DELUXE ENCLOSURE. THE DELUXE ENCLOSURE SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT AND WHEN THE HEADBULD IS FULLY OPEN IT SHALL PROVIDE DIRECT ACCESS TO THE ATTIC. c) EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A 5'11" ELEVATION BELOW THE ADJACENT GROUND FLOOR. THE OPENING SHALL BE 30" X 30" MINIMUM. THE OPENING SHALL BE 30" X 30" MINIMUM IN HORIZONTAL PROJECTION OF 30". THE PERSON HELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO FULLY OPENED. d) DOUBLE HUNG ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.1" SQUARE FEET.	
9. STAIRWAYS, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS.	
10. REQUIRED EXITS SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES.	
11. EXTERIOR SPACES UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.	
12. EXITS FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT OF 80 INCHES. THE NOMINAL WIDTH OR HEIGHT OF THE EXIT DOORS SHALL NOT EXCEDE 36" X 80".	
13. EXITS FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT OF 80 INCHES. THE NOMINAL WIDTH OR HEIGHT OF THE EXIT DOORS SHALL NOT EXCEDE 36" X 80".	
14. ALL OTHER EXTERIOR DOORS IN EXCESS OF THE REQUIRED EXIT DOORS ARE NOT REQUIRED TO COMPLY WITH THE 36" X 80" REQUIREMENT.	
15. ALL INTERIOR DOORS PROVIDING ACCESS TO HABITABLE ROOMS SHALL HAVE A NOMINAL WIDTH OF 30 INCHES AND BE 80" IN NOMINAL HEIGHT. THESE DOORS SHALL BE SWINGING IN THE DIRECTION OF EXISTING DOORS IN NOMINAL WIDTH.	
16. A DOOR OR LANDING SHALL MEET THE REQUIREMENT OF AN EXTERIOR EXIT DOOR. THE WIDTH OF EXISTING DOORS IN NOMINAL WIDTH SHALL NOT EXCEDE 36" X 80".	
17. THE 3-UNIT TOWNHOUSE HAS AN AGGREGATE AREA OF 1/2120 SF AND SHALL BE DESIGNED WITH A MINIMUM NFPA 50 SYSTEM.	
MINIMUM ROOM REQUIREMENTS	
1. HABITABLE ROOMS, HALLWAYS, CORRIDORS, BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS AND BASEMENTS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN SEVEN (7) FEET MEASURED FROM THE FINISH FLOOR TO THE LOWEST PROJECTION FROM THE CEILING.	
2. EXEMPTIONS.	
3. NOT MORE THAN 50% OF THE REQUIRED FLOOR AREA OF A ROOM IS PERMITTED TO HAVE A SLOPED CEILING LESS THAN SEVEN (7) FEET IN HEIGHT IN NO PORTION OF THE REQUIRED FLOOR AREA LESS THAN FIVE FEET IN LENGTH.	
4. BATHROOMS SHALL HAVE A MINIMUM CEILING HEIGHT OF SIX FEET EIGHT INCHES OVER THE FIXTURE AND AT THE SHOWERHEAD.	
5. NOT MORE THAN 50% OF THE REQUIRED FLOOR AREA OF A ROOM IS PERMITTED TO HAVE A SLOPED CEILING LESS THAN SEVEN (7) FEET EIGHT INCHES ABOVE A MINIMUM 30% AREA AT THE SHOWERHEAD.	
6. EVERY SLEEPING ROOM SHALL HAVE A FLOOR AREA OF NOT LESS THAN 100 SQUARE FEET.	
7. KITCHENS SHALL HAVE A FLOOR AREA OF NOT LESS THAN 120 SQUARE FEET EXCEPT KITCHENS IN COOKING AREAS WHICH MAY PROJECT TO THE CEILING.	
8. COOKING AREAS SHALL HAVE A FLOOR AREA OF NOT LESS THAN 120 SQUARE FEET.	
9. HABITABLE ROOMS SHALL HAVE A FLOOR AREA OF NOT LESS THAN 120 SQUARE FEET EXCEPT KITCHENS.	
10. NOT MORE THAN 50% OF THE REQUIRED FLOOR AREA OF A ROOM IS PERMITTED TO HAVE A SLOPED CEILING MEASURING LESS THAN SEVEN (7) FEET NOT TO EXCEED 100% OF THE REQUIRED FLOOR AREA FOR THAT ROOM.	
ROOFING AND Siding	
1. PROVIDE CONTINUOUS 6'-0" wide FIBERGLASS REINFORCED BITUMEN ICE AND WATER SHIELD AT ALL ROOF EDGES CENTERED IN ALL VALLEYS AND AT ROOF HALL INTERSECTIONS CARRIED 1'-0" UP THE WALL REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.	
2. PROVIDE ALUMINUM FLASHING OVER ALL WINDOW AND DOOR HEAD TRIM AND AT THE CONNECTION BETWEEN ALL EXTERIOR WALLS AND ROOFING DECKS.	
3. PROVIDE ALUMINUM FLASHING OVER ALL ROOF/WALL AND ROOF/GHIBNEY INTERSECTIONS.	
4. PROVIDE CONTINUOUS VENTED DRIP EDGE AT ALL SOFFIT OVERHANGS.	
5. PROVIDE FELT UNDER ALL ROOF SHINGLES UNLESS SPECIFIED OTHERWISE.	
6. PROVIDE CONTINUOUS RIDGE VENTS (UNLESS SPECIFIED AS OTHERWISE). SEE BUILDING EXTENT.	
7. ALL GUTTERS AND DOWNGUTTERS TO BE PREFINISHED ALUM. COLOR TO BE SELECTED BY OWNER.	
8. LIGHTVENTILATION AND INSULATION.	
9. ALL HABITABLE ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING OF NOT LESS THAN 20% OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR. THE MINIMUM OPERABLE AREA TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA OF SUCH ROOMS.	
10. EXCEPTIONS.	
11. THE GLAZED AREAS NEED NOT BE OPERABLE WHERE THE OPENING IS NOT A REQUIRED TO BE AN EMERGENCY ESCAPE AND RESCUE OPENING AND AN APPROVED MECHANICAL VENTILATION SYSTEM IS PROVIDED CAPABLE OF PRODUCING 0.5 CFM OF EXHAUST AIR PER HOUR IN THE ROOM OR A ONE-HOUSE MECHANICAL VENTILATION SYSTEM IS INSTALLED IN AN ATTIC. THE APPROVED MECHANICAL VENTILATION SYSTEM SHALL BE PROVIDED WITH A MINIMUM OF 50 CFM OF EXHAUST AIR FOR EACH BEDROOM AND ONE FOR EVERY ADDITIONAL BEDROOM.	
12. ALL BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING AREA OF NOT LESS THAN THREE SQUARE FEET, 1/2 OF WHICH MUST BE OPERABLE.	
13. EXEMPTIONS.	
14. ATTIC VENTILATION WITHOUT CEILING VAPOR BARRIERS. PROVIDE AT LEAST ONE (1) SQUARE FOOT OF FREE AREA FOR EACH THREE HUNDRED (300) SQUARE FOOT OF CELLI AREA.	
15. ATTIC VENTILATION WITH CEILING VAPOR BARRIERS. PROVIDE AT LEAST ONE (1) SQUARE FOOT OF FREE AREA FOR EACH ONE HUNDRED-FIFTY (150) SQUARE FOOT OF CELLI AREA.	
16. IF MECHANICAL, ELECTRICAL OR PLUMBING EQUIPMENT IS TO BE PLACED IN ATTICS, DUE OVERHANGS AND OTHER SIMILAR UNCONDITIONED UNPLETED SPACES, THE CONTRACTOR IS RESPONSIBLE TO PROVIDE A PROPER ENCLOSURE, INSULATION, DUCT VENTILATION, ETC., TO AVOID MOISTURE, CONDENSATION THAN ICE DAMMING AND OTHER SIMILAR ISSUES.	
17. ALL SANITARY LINES WITHIN WALLS AND FLOORS ADJOINING LIVING SPACES ARE TO BE SOUND INSULATED.	
18. ON THE WARM SIDE OF THE GUTTY ISOLATION TO AVOID FREEZING.	
19. COMBINATION SMOKE AND CARBON MONOXIDE ALARMS ARE ACCEPTABLE PROVIDED SUCH ALARMS HAVE A SILENCER AND A BELL. THE ALARM SHOULD CLEARLY DISTINCTION BETWEEN THE TWO TYPES OF DETERENCES. IF COMBINATION ALARMS ARE TO BE USED AS ALL REQUIRED CRITERIA FOR SMOKE AND CARBON MONOXIDE ALARMS SHALL BE MET.	
20. FIRE DEPARTMENTS ARE REQUIRED TO BE PERMANENTLY WIRED TO AN AC-PRIARY POWER SOURCE AND SHALL HAVE SECUNDARY STANDBY POWER SUPPLIED FROM CONTINUED BATTERIES.	
21. WHERE MORE THAN ONE SMOKE DETECTOR IS REQUIRED, ALL REQUIRED DETECTORS SHALL BE INSTALLED SO THAT THE ACTIVATION OF ANY DETECTOR SHALL CAUSE THE ALARM IN ALL REQUIRED SMOKE DETECTORS IN THE DWELLING UNIT TO SOUND 85 DBA AT 10 FEET, 15 IN IN BEDROOMS.	
22. SMOKE DETECTORS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: a) IN EACH SLEEPING ROOM. b) IN EACH BATHROOM. c) IN EACH KITCHEN. d) IN EACH DRYING AREA. e) IN EACH DRYING AREA AND EACH DRYING AREA IS LOCATED WITHIN 10 FEET OF A SLEEPING ROOM.	
23. PHOTO ELECTRIC SMOKE DETECTORS ARE REQUIRED IF LOCATED WITHIN 10 FEET OF A KITCHEN OR BATHROOM.	
24. WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED TO AN EXISTING DWELLING, THE ENTIRE DWELLING SHALL BE PROVIDED WITH SMOKE DETECTORS DESIGNED AND LOCATED AS REQUIRED FOR NEW DWELLINGS.	
25. CARBON MONOXIDE ALARMS/DETECTORS.	
26. ALL ONE AND TWO FAMILY DWELLINGS SHALL BE EQUIPPED WITH A HOUSEHOLD CARBON MONOXIDE WARNING SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS AND THE OWNER'S CONTRACT.	
27. CARBON MONOXIDE DETECTORS SHALL BE LOCATED ON EVERY LEVEL OF THE DWELLING UNIT INCLUDING BASEMENTS AND CELLS (NOT INCLUDING GRANL. SPACES AND UNINHABITABLE ATTICS).	
28. ALL ALARM-SOUNDING APPLIANCES SHALL HAVE A MINIMUM RATING OF 85 DBA AT 10 FEET.	
29. HEAT DETECTORS SHALL BE INSTALLED IN ANY INTERNAL OR ATTACHED GARAGE TO THE MAIN HOUSE.	
30. A NEW ADDITION ATTACHED GARAGE TO AN EXISTING DWELLING INSTALLED IN ACCORDANCE WITH THE EXISTING DWELLING SHALL BE PROVIDED WITH A HEAT DETECTOR. THE HEAT DETECTOR SHALL BE INTERCONNECTED TO THE EXISTING DWELLING'S SMOKE DETECTORS.	
31. IF THE EXISTING DWELLING HAS A HEAT DETECTOR, THE NEW ADDITION ATTACHED GARAGE SHALL BE PROVIDED WITH A HEAT DETECTOR.	

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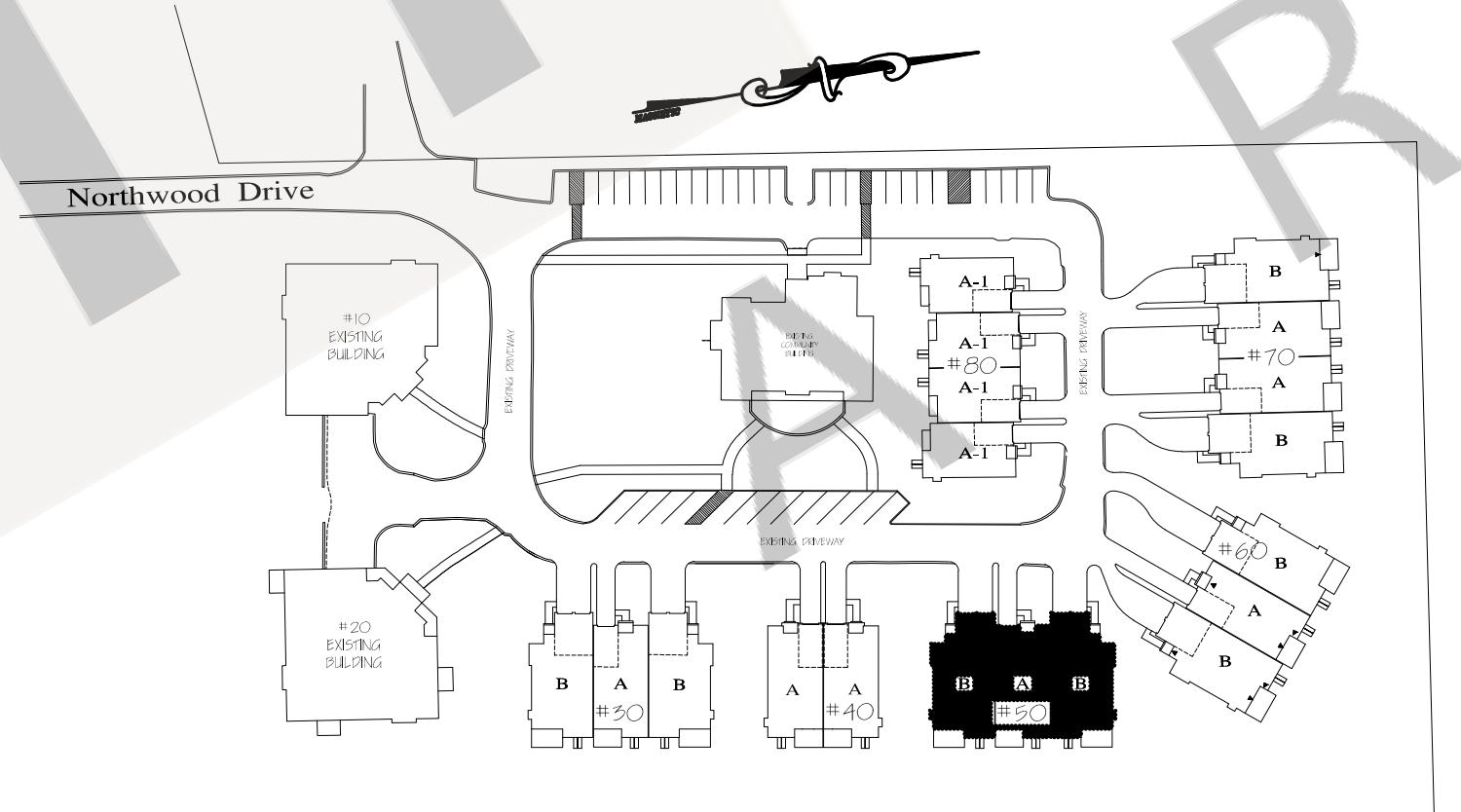
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AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORRECT, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, PRIOR TO BEGINNING CONSTRUCTION.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
DIMENSIONS	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO THE CENTER OF AN OPENING ARE FROM THE CENTER OF THAT OPENING OR THE EXTERIOR FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLATE REFERENCED TO THE INSIDE FACE OF THE STUD OR CONCRETE WALL.	
2. INTERIOR DIMENSIONING AT STAIR REPRESENDS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. ALL EXTERIOR DOORS ARE TO BE CENTERED ON THE EXTERIOR WALL AND SHALL BE CENTERED ON THE INSIDE WALL AND ALL OTHER DOORS THAT ARE NOT CENTERED MUST BE CENTERED ON THE INSIDE WALL.	
4. HEIGHTS ARE TO BE CENTERED ON THE EXTERIOR WALL AND ALL OTHER DOORS THAT ARE NOT CENTERED ARE TYPICALLY 4" TO 6" DEPENDING ON THE FINISH CASING.	
5. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
STAIRWAYS/DECKS	
1. STAIRWAYS SHALL NOT BE LESS THAN 40" IN CLEAR HEIGHT AT ALL POINTS ABOVE THE FINISHED HANDEL. STAIRS SHALL BE PROVIDED WITH A MINIMUM 10' DEPTH. STAIRS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10". STAIRS SHALL NOT BE PROVIDED WITH A DEEP TREAD DEPTH, WHICH WOULD CREATE A SLOPED PLANE ADDING TO THE TREAD NOSE OR FROM THE FLOOR SURFACE OF A LANDING OR PLATFORM.	
2. HANDRAILS SHALL BE PROVIDED AT STAIRS, RAILINGS, AND STAIRS. RAILINGS SHALL NOT EXCEED 48" MAXIMUM FROM THE FLOOR. TO ENSURE COMPLIANCE WITH ZONING AND BUILDING CODE HEIGHT REQUIREMENTS, ALL OTHER DOORS THAT ARE NOT CENTERED MUST BE CENTERED ON THE INSIDE WALL.	
3. GUARDRAILS THAT ARE NOT CENTERED ARE TYPICALLY CENTERED WITHIN THE GLOST.	
4. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH AND/OR BALCONY AREA'S MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 48" IN TOTAL LENGTH. GUARDRAILS SHALL NOT EXCEED 48" IN TOTAL LENGTH. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL NOT EXCEED 48" IN TOTAL LENGTH. GUARDRAILS, RAILS, BALUSTERS AND FLOORS SHALL NOT EXCEED 4" INCHES.	
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FIRST COLONY DEVELOPMENT



OWNER / CLIENT:

FIRST COLONY DEV. LLC
929 POST ROAD EAST
MARLBOROUGH, MA 01752
TEL. (508) 481-6095
FAX (508) 460-0578

ARCHITECT:

HPA DESIGN, INC.
200 STONEWALL BLVD.
SUITE 5
WRENTHAM, MA 02093
TEL. (508) 384-8838
FAX (508) 384-0483

STRUCTURAL ENGINEER

DWD ENGINEERING, INC.
5 MICHAEL RD.
EAST BRIDGEWATER
TEL. (508) 378-9602
FAX (508) 378-2922

CONTRACTOR:

LOBISSEUR BUILDING CORP.
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747
TEL. (508) 418-6235
FAX (508) 413-0794



KEY PLAN

SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
- S1.3 2ND FLOOR FRAMING
- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
GENERAL	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (RTH EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE SITE CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
DIMENSIONS	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF THAT OPENING FROM THE CENTER OF ANOTHER OPENING OR THE EXTERIOR FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES REFERS TO THE POSITION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSIONING AT STAIR REPRESENTS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. INTERIOR DIMENSIONING AT DOORS REFERS TO THE INSIDE EDGE OF THE DOOR FRAME AND ALL OTHER DOORS, MUST BE CONFIRMED WITH THE FUTURE MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
4. HEIGHTS DEPICTING THE BUILDING HEIGHT, SHOWS THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST STAIRWAY TO THE ROOF. THE ROOF HEIGHT IS THE TOTAL HEIGHT OF THE ROOF, INCLUDING THE SLOPED PLANE OF THE 1ST FLOOR, TO ENSURE COMPLIANCE WITH ZONING AND BUILDING CODE HEIGHT REQUIREMENTS.	
5. ALL OTHER DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY 3'-0" TO 4' (DEPENDING ON THE FLOOR/CASEMENT).	
6. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
STAIRWAYS/DECKS	
1. STAIRWAYS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT. IN ALL PORTALS ABOVE THE FINISHED HANDBALUST, THE CLEAR HEIGHT FROM THE BOTTOM OF THE TREAD TO THE CEILING SHALL BE 6'-0". MINIMUM DEPTH SHALL BE 18"-0" AND MAXIMUM DEPTH SHALL BE 24"-0". WINDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10"-0". ALL OTHER TREADS SHALL BE 12"-0" DEEP. ALL LANDINGS SHALL BE 12"-0" DEEP AND SHALL BE LOCATED ON A SLOPED PLANE ADDING THE TREAD NOSE OR FROM THE FLOOR SURFACE OF A LANING OR PLATFOR.	
2. HANDRAILS SHALL BE PROVIDED AT LEAST ONE CONTINUOUS RUN OF TREADS OR FLIGHTS OF STEPS THAT ARE 12'-0" OR MORE IN LENGTH. MINIMUM HEIGHT SHALL BE 34"-0" AND MAXIMUM SHALL NOT EXCEED 37"-0". ALL OTHER DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY CENTERED WITHIN THE GLOWS.	
3. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH OR BALCONY AREA'S HIGHER THAN 30"-0" ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 36"-0" HIGH. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30"-0" OR LESS ABOVE A FLOOR OR GRADE BELOW SHALL BE 34"-0" HIGH. GUARDRAILS, RAILINGS, AND FLOORS SHALL NOT EXCEED 4" INCHES.	
4. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH A SIZE THAT A 5X5 INCH (6" SPHERE) CANNOT PASS THROUGH. OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIRS SHALL NOT ALLOW A SPHERE 4-3/8" INCHES TO PASS THOUGH.	
5. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND UNDERSCAPE OF STAIRS AND PROVIDE AN ISOLATED DOOR AT THE BOTTOM OF ATTIC STAIRS.	
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7. HATCHES SHOWN ON THE DRAWINGS ARE BASED GENERICALLY ON ANDERSEN AND THE OWNER OR GENERAL CONTRACTOR WHERE APPLICABLE SHALL CHOOSE THE FINA MANUFACTURER. WINDOW SIZES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING. ROUGH OPENINGS SHALL BE PROVIDED BY THE MANUFACTURER.	
8. BASEMENTS, ATTICS, AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW. EACH SHALL HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING. IN ADDITION, A BASEMENT SHALL NOT REQUIRE ONE EMERGENCY ESCAPE AND RESCUE OPENINGS IF THE FOLLOWING CRITERIA:	
a) GILL HEIGHT SHALL NOT BE MORE THAN 48 INCHES ABOVE THE FLOOR.	
b) A DOOR SWINGING THROUGH BELOW THE JACKSON LEVEL AND THE ELEVATION IS USED AS AN EMERGENCY ESCAPE AND RESCUE OPENING AND IS PROVIDED WITH A DELUXE ENCLOSURE. THE SWING SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT AND WHEN THE BULBHEAD IS FULLY OPEN IT SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT.	
c) EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A 5'0" ELEVATION BELOW THE ADJACENT GROUND FLOOR. THE OPENING SHALL BE 3'-0" DEEP AND 3'-0" HIGH. THE OPENING SHALL BE LOCATED 3'-0" FROM THE GROUND FLOOR AND A MINIMUM HORIZONTAL PROJECTION OF 30"-0". THE PERSON HELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO FULLY OPENED.	
d) DOUBLE HUNG ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.1" SQUARE FEET.	
EXCEPTIONS:	
1. STARWAYS, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS.	
2. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL BE PERMITTED TO HAVE A MIN. CLEAR OPENING OF 24"-0" X 30"-0" INCHES IN EITHER DIRECTION.	
3. DOUBLE HUNG WINDOWS THAT ARE PROVIDED WITH HINCH FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R402.3.	
4. OPENINGS THAT ARE PROVIDED WITH HINCH FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R402.4.	
5. HINCHES THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R402.4.	
6. STARWAYS, RAMP, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS.	
7. REQUIRED EXITS SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES.	
8. REQUIRED EXIT SPACES UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.	
9. EXITS FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36"-0" WITH A NOMINAL HEIGHT SMALL OF 72"-0" AND A NOMINAL DEPTH OF 36"-0". THE NOMINAL WIDTH OF THE OTHER EXIT DOOR SHALL BE 30"-0" AND A NOMINAL DEPTH OF SIX FEET EIGHT INCHES IN NOMINAL HEIGHT AND MAY BE SLIDING OR SIDE-HINGED. EXITS FROM DWELLING UNITS IS PERMITTED PROVIDED THAT THE ATTACHED GARAGE IS ALSO PROVIDED WITH A 32"-0" EXIT DOOR.	
10. ALL OTHER EXTERIOR DOORS IN EXCESS OF THE REQUIRED EXIT DOORS ARE NOT REQUIRED TO COMPLY WITH THE REQUIREMENTS OF SECTION R402.1.	
11. ALL INTERIOR DOORS PROVIDING ACCESS TO HABITABLE ROOMS SHALL HAVE A NOMINAL WIDTH OF 30"-0" IN NOMINAL HEIGHT AND A NOMINAL DEPTH OF 36"-0" IN NOMINAL HEIGHT. THE NOMINAL WIDTH OF THE DOOR SHALL BE 30"-0" AND THE NOMINAL DEPTH SHALL BE 36"-0".	
12. A DOOR OR LANDING SHALL MEET THE REQUIREMENT OF AN EXTERIOR EXIT DOOR IF THE POINT OF DRAFT LANDING IS LOCATED ON THE SIDE OF THE DOOR SERVED AND HAVE A MINIMUM DIMENSION OF 36"-0" INCHES MEASURED IN THE DIRECTION OF TRAVEL.	
SPRINKLERS:	
The 3-unit townhouse has an aggregate area of 1,210 SF and shall be designed with a minimum NFPA 13 system.	
REVISIONS:	
# DATE DESC.	
O	ISSUED FOR CONSTRUCTION

DATE: AUGUST 1, 2016
DRAWN BY: RWB contact@hpadesign.com
CHECKED BY: HPA
PATH: 20180101_FIRST COLONY DEV 20180101LCDs
SCALE: SEE DRAWING
REVISIONS:
DATE DESC.
O ISSUED FOR CONSTRUCTION

HPA Design, Inc.
ARCHITECTS

200 Stonewall Blvd, Suite 5
Wrentham, MA 02093
 508.384.8838 (T)
 508.384.0483 (F)
 contact@hpadesign.com
 www.HPAdesign.com

CONSTRUCTION BY:
FIRST COLONY DEV. LLC
#50 NORTHWOOD DRIVE, NORTHWOOD TOWNSHOUSE CONDO'S, SUDBURY, MA

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SHEET:
A0.1
JOB NO. 20180101

22%

FIRST COLONY DEVELOPMENT



OWNER / CLIENT:

FIRST COLONY DEV. LLC
929 POST ROAD EAST
MARLBOROUGH, MA 01752
TEL. (508) 481-6095
FAX (508) 460-0578

ARCHITECT:

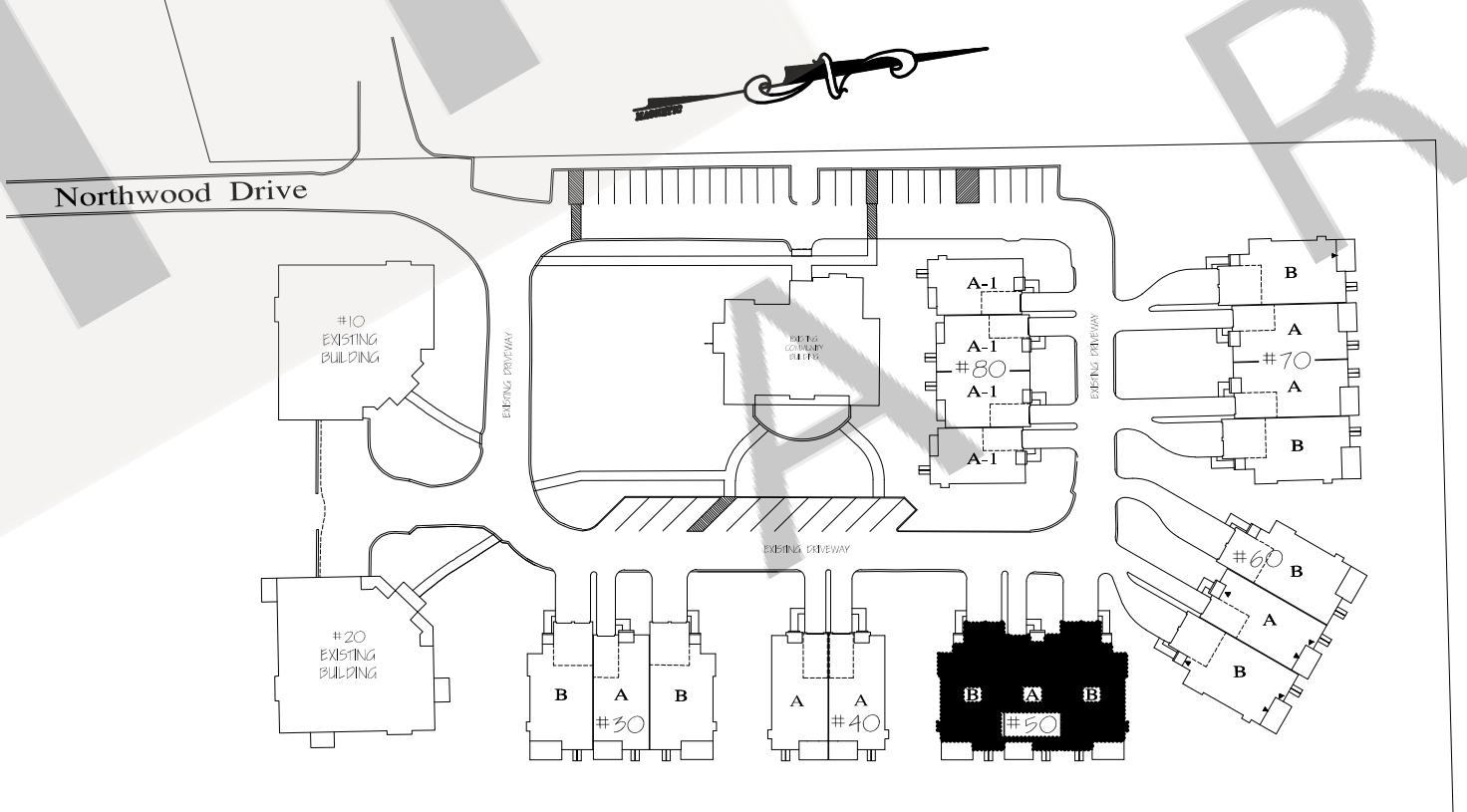
HPA DESIGN, INC.
200 STONEWALL BLVD.
SUITE 5
WRENTHAM, MA 02093
TEL. (508) 384-8838
FAX (508) 384-0483

STRUCTURAL ENGINEER

DWD ENGINEERING, INC.
5 MICHAEL RD.
EAST BRIDGEWATER
TEL. (508) 378-9602
FAX (508) 378-2922

CONTRACTOR:

LOBISSEUR BUILDING CORP.
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747
TEL. (508) 418-6235
FAX (508) 413-0794



KEY PLAN

SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
- S1.3 2ND FLOOR FRAMING
- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
GENERAL	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (RTH EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONjunction WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHAP DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROCEEDING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE SITE CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
DIMENSIONS	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLATES REPRESENT A DIMENSION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE SPECIFIED).	
2. INTERIOR DIMENSIONING AT STAIRS REPRESENTS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. ALL FLOOR SPANS ARE TO BE CENTER TO CENTER. ALL FLOOR SPANS ARE TO BE CENTER TO CENTER AND ALL OTHER SPANS, MUST BE CONFIRMED WITH THE FUTURE MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
4. HEIGHTS DEPICTED THE BUILDING HEIGHT, SHOWS THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST. TO THE GROUND. THE CONTRACTOR IS RESPONSIBLE FOR THE ELEVATION OF THE BUILDING, WHICH IS TO BE DETERMINED BY THE 1ST FLOOR TO ENSURE COMPLIANCE WITH ZONING AND BUILDING CODE HEIGHT REQUIREMENTS.	
5. CLOSET DOORS THAT ARE NOT ENDSIZED ARE TYPICALLY 4' 0" TO 4' 6" DEPENDING ON THE CLOSET SIZE.	
6. DIMENSIONS LOCATING EASING OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING TYPE, UNLESS OTHERWISE NOTED.	
STAIRWAYS/DECKS	
1. STAIRWAYS SHALL NOT BE LESS THAN 40 INCHES HIGH AT ALL POINTS ABOVE THE FINISHED HANDBAR. THE DEPTH OF THE TREAD AND THE DEPTH OF THE RISER SHALL NOT EXCEED 10 INCHES. THE DEPTH OF THE RISER SHALL BE 6 INCHES OR LESS TO EXCEED 1 1/4". WIDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10 INCHES. THE DEPTH OF THE RISER SHALL NOT EXCEED 8 INCHES. THE DEPTH OF THE TREAD SHALL BE 6 INCHES OR LESS TO EXCEED 1 1/4" AND THE DEPTH OF THE RISER SHALL BE 6 INCHES OR LESS TO EXCEED 1 1/4".	
2. HANDRAILS SHALL BE PROVIDED AT LEAST ONE CONTINUOUS RAIL OR TREADS OR FLIGHT OF STEPS OR STAIRS. THE MINIMUM HEIGHT SHALL BE 34" MAX. WITH A MAXIMUM OF 42" TO EXCEED 1 1/4" IN LENGTH. GUARDRAILS SHALL BE PROVIDED ON THE OUTSIDE OF THE STAIRS. GUARDRAILS SHALL NOT EXCEED 4 INCHES IN LENGTH.	
3. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLURRY OR Grade BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLURRY OR Grade BELOW, SHALL NOT EXCEED 4 INCHES IN LENGTH. GUARDRAILS SHALL NOT EXCEED 4 INCHES IN LENGTH. RAILS, BALUSTERS AND FLOORS SHALL NOT EXCEED 4 INCHES.	
4. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH A SIZE THAT A 5 INCH (5" DIAMETER) SPHERE CANNOT PASS THROUGH. OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIRS SHALL NOT ALLOW A SPHERE 5-3/8" INCHES TO PASS THROUGH.	
5. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF AN INDEFINITE BASEMENT OR INSTITUTE THE WALLS AND UNDERSTAIRS. AN ISOLATED DOOR SHALL NOT EXCEED 36" IN LENGTH. AN ISOLATED DOOR SHALL NOT EXCEED 36" IN LENGTH. AN ISOLATED DOOR SHALL NOT EXCEED 36" IN LENGTH. AN ISOLATED DOOR SHALL NOT EXCEED 36" IN LENGTH.	
6. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND UNDERSTAIRS AND PROVIDE AN ISOLATED DOOR AT THE BOTTOM OF ATTIC STAIRS.	
7. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND UNDERSTAIRS AND PROVIDE AN ISOLATED DOOR AT THE BOTTOM OF ATTIC STAIRS.	
8. HOLLOW SIZES SHOWN ON THE DRAWINGS ARE BASED GENERICALLY ON ANDERSON AND THE OWNER OR GENERAL CONTRACTOR WHERE APPLICABLE SHALL CHOOSE THE FINA MANUFACTURER. WINDOW SIZES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING. ROOF OPENINGS SHALL BE PROVIDED BY THE MANUFACTURER.	
9. BASEMENTS, EXTERIOR ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW. NO EMERGENCY ESCAPE AND RESCUE OPENINGS ARE REQUIRED FOR SLEEPING ROOMS. EACH SLEEPING ROOM SHALL HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING BUT ADDITIONAL SPACES SHALL NOT REQUIRE ONE ESCAPE AND RESCUE OPENINGS.	
a) GILL HEIGHT SHALL NOT BE MORE THAN 48 INCHES ABOVE THE FLOOR.	
b) A DOOR SWINGING THROUGH BELOW THE JACKSON FLOOR LEVEL AND THE ELEVATION IS USED AS AN EMERGENCY ESCAPE AND RESCUE OPENING. IF THE DOOR SWINGS THROUGH A BUILT-IN ENCLOSURE, THE DOOR SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT AND WHEN THE BULD-IN IS FULLY OPENED IT SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT.	
c) EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A 5' 11" ELEVATION BELOW THE ADJACENT GROUND SURFACE SHALL NOT EXCEED 36" IN LENGTH. THE MINIMUM NET CLEAR OPENING SHALL BE 36" IN LENGTH AND A MINIMUM HORIZONTAL PROJECTION OF 36". THE PERSON HELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO FULLY OPENED.	
d) EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.1" SQUARE FEET.	
EXCEPTIONS:	
1. STARWAYS, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS.	
2. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL BE PERMITTED TO HAVE A MIN. CLEAR OPENING OF 36" X 24" INCHES.	
3. REQUIRED EXIT SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES.	
4. REQUIRED EXIT SPACES UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.	
5. EGRESS FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT SMALL OF 84" NOMINAL. THE NOMINAL WIDTH OF EACH EXIT DOOR SHALL NOT EXCEED 36" NOMINAL. THE NOMINAL HEIGHT OF SIX FEET EIGHT INCHES IN NORMAL HEIGHT AND MAY BE SLIDING OR SIDE-HINGED. EGRESS FROM DWELLING UNITS IS PERMITTED PROVIDED THAT THE ATTACHED GARAGE IS ALSO PROVIDED WITH A 32" EXIT DOOR.	
6. ALL OTHER EXTERIOR DOORS IN EXCESS OF ONE REQUIRED EXIT DOOR ARE NOT REQUIRED TO COMPLY.	
7. ALL INTERIOR DOORS PROVIDING ACCESS TO HABITABLE ROOMS SHALL HAVE A NOMINAL WIDTH OF 30 INCHES AND A NOMINAL HEIGHT OF 84" NOMINAL. THE NOMINAL WIDTH OF THE DOOR SHALL NOT EXCEED 36" NOMINAL.	
8. A DOOR OR LANDING SHALL NOT EXCEED 36" IN LENGTH ON THE SIDE OF AN EXTERIOR DOOR. THE WIDTH OF EACH DOOR SERVED AND HAVE A MINIMUM DIMENSION OF 36" INCHES MEASURED IN THE DIRECTION OF TRAVEL.	
SPRINKLERS:	
The 3-unit townhouse has an aggregate area of 1,210 SF and shall be designed with a minimum NFPA 13 system.	
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REVISIONS:	
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0 ISSUED FOR CONSTRUCTION	
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CHECKED BY: HPA	
PATH: 20180101_FIRST COLONY DEV 20180101LCDs	
SCALE: SEE DRAWING	
DATE: AUGUST 1, 2010	
HPA Design, Inc.	
ARCHITECTS	
□ 200 Stonewall Blvd, Suite 5	
□ Wrentham, MA 02093	
□ 508.384.8838 (T)	
□ 508.384.0483 (F)	
□ contact@hpadesign.com	
□ www.HPAdesign.com	

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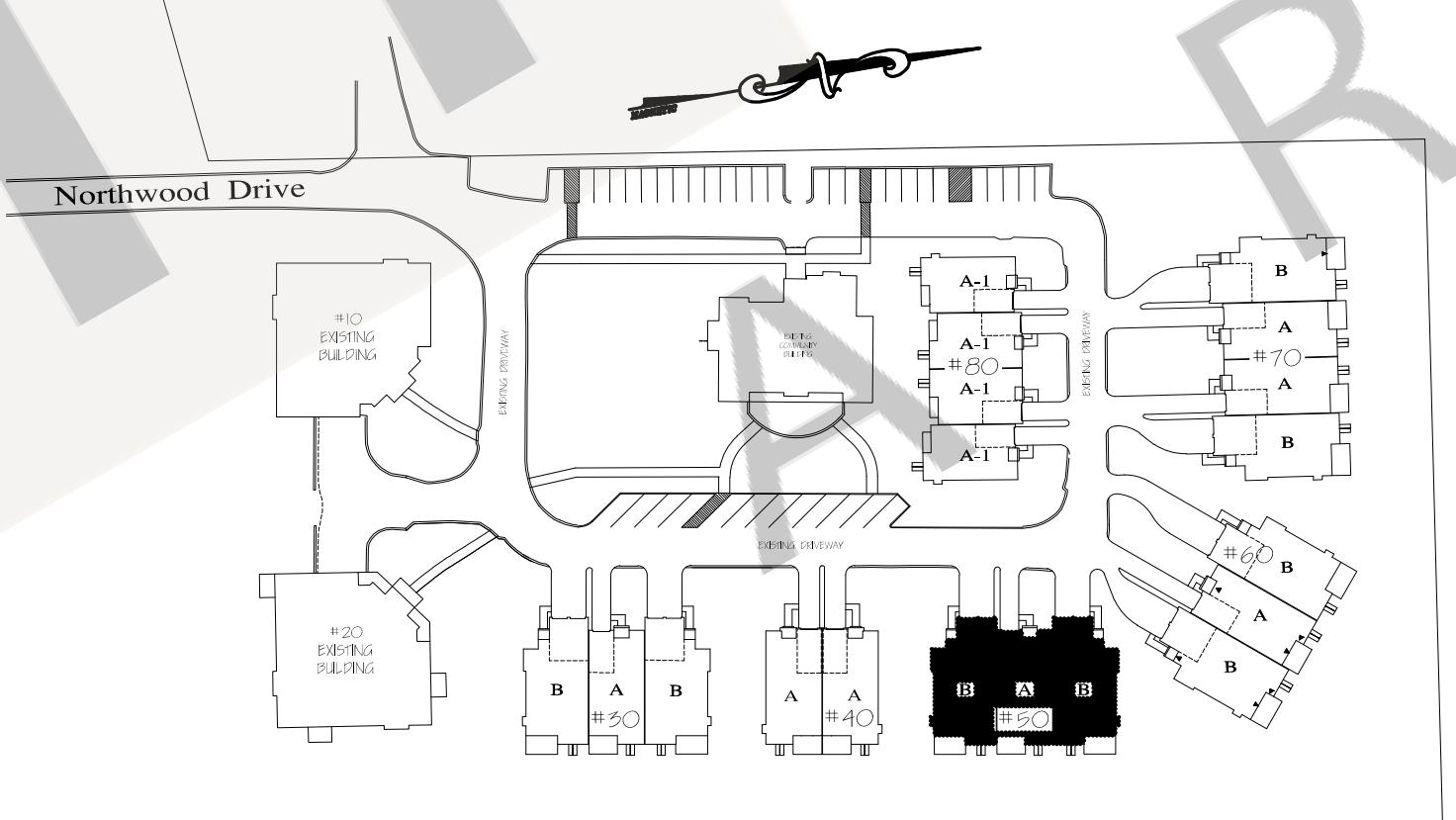
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2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOP DRAWINGS.	
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AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IF THIS IS INCONSISTENT WITH THE SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/VALLEY INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
DIMENSIONS	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWS UNLESS OTHERWISE NOTED: a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL. b) DIMENSIONS TO INSIDE FACE OF A STUD OR CONCRETE WALL ARE FROM INSIDE FACE OF THAT OPENING FROM THE CENTER OF ANOTHER OPENING OR THE EXTERIOR FACE OF A STUD OR CONCRETE WALL. c) INTERIOR DIMENSION AT STUD WALL REFERS TO THE DISTANCE TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSION AT STAIR REPRESENDS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. INTERIOR DIMENSION AT DOOR REFERS TO THE DISTANCE TO THE INSIDE EDGE OF THE DOOR AND ALL OTHER DOORS THAT ARE NOT DIMENSIONED MUST BE CONFIRMED WITH THE FUTURE MANUFACTURER FOR THE REQUIRED RD. AND ATTACHMENT.	
4. HEIGHTS DEPICTING THE BUILDING HEIGHT, SHOWS THE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST TO THE 1ST FLOOR TO ENSURE COMPLIANCE WITH ZONING AND BUILDING CODE HEIGHT REQUIREMENTS.	
5. ALL OTHER DOORS THAT ARE NOT DIMENSIONED ARE TYPICALLY 3'-0" TO 4' DEPENDING ON THE DRAWING.	
6. DIMENSIONS LOCATING EASING OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
STAIRWAYS/DECKS	
1. STAIRWAYS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT. IN ALL PORTIONS ABOVE THE RISER/TREAD, THE CLEARANCE FROM THE TOP OF THE RISER/TREAD TO THE CEILING SHALL BE 6'-0". MINIMUM DEPTH SHALL BE 1'-0" IN WHICH NOSE TO EXCEED 1"-1/4". RISER/TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE HARNESS SIDE WITH A MIN. TREAD DEPTH OF 9"-1/2" AND A MAXIMUM TREAD DEPTH OF 10"-0". Treads shall be provided in a single plane defining the nosing and the riser.	
2. HANDRAILS SHALL BE PROVIDED AT LEAST ONE CONTINUOUS RAIL OR TREADS OR FLIGHT OF STEPS HAVING A 12" HORSE SHOE. MINIMUM HEIGHT SHALL BE 34"-0" WITH A MAXIMUM NOT TO EXCEED 36"-0". RAILINGS SHALL NOT EXCEED 45"-0" IN TOTAL LENGTH. GUARDRAILS SHALL BE PROVIDED ON THE FLOOR SURFACE OF A LANING OR PLATFOR.	
3. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOOR, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE PROVIDED ON THE FLOOR SURFACE OF THE STAIRS. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE PROVIDED ON THE FLOOR SURFACE OF A LANING OR PLATFOR.	
4. AN ISOLATED DOOR 28"-0" HIGH, 36"-0" WIDE, 12"-0" DEEP, SHALL BE PROVIDED IN THE CENTER OF THE BASEMENT STAIRS OR INSTEAD OF THE BASEMENT STAIRS. GUARDRAILS ON THE SIDES OF STAIRS SHALL NOT ALLOW A SPHERE 3'-0" IN DIAMETER TO PASS THROUGH.	
5. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND UNDERSCAPE AND ESCAPE AND RESCUE OPENINGS. PROVIDE AN ISOLATED DOOR AT THE BOTTOM OF ATTIC STAIRS. EMERGENCY ESCAPE AND RESCUE OPENINGS.	
6. HATCHES SHOWN ON THE DRAWINGS ARE BASED GENERICALLY ON ANDERSON AND THE OWNER OR GENERAL CONTRACTOR WHERE APPLICABLE SHALL CHOOSE THE FINA MANUFACTURER. HATCHES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDER. ROUGH OPENINGS SHALL BE PROVIDED BY THE MANUFACTURER.	
7. BASEMENTS, ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW. EACH SHALL HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING BUT ADDITIONAL SPACES SHALL NOT REQUIRE ONE ESCAPE AND RESCUE OPENINGS. FOLLOW THE FOLLOWING CRITERIA:	
a) GILL HEIGHT SHALL NOT BE MORE THAN 48 INCHES ABOVE THE FLOOR. b) A DOOR SWINGING THROUGH BELOW THE JACKSON POINT ELEVATION IS USED AS AN EMERGENCY ESCAPE AND RESCUE OPENING AND PROVIDED WITH A DELUXE ENCLOSURE. THE SWING SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT AND WHEN THE BULBHEAD IS FULLY OPEN IT SHALL PROVIDE DIRECT ACCESS TO THE ATTIC. c) EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A 5' ELL ELEVATION BELOW THE JACKSON GROUND FLOOR SHALL BE PROVIDED IN THE JACKSON GROUND FLOOR. THE ELL ELEVATION SHALL BE 1'-0" IN NOMINAL HEIGHT AND A MINIMUM HORIZONTAL PROJECTION OF 30"-0". THE PERSON HELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO FULLY OPENED. d) DOUBLE HUNG ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.1" SQUARE FEET.	
8. STAIRWAYS, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS FOR ESCAPE AND RESCUE OPENINGS. ALL DOORS SHALL MEET THE REQUIREMENTS FOR ESCAPE AND RESCUE OPENINGS.	
9. REQUIRED EXITS SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES.	
10. REQUIRED EXIT SPACES UNDER STAIRS SHALL BE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.	
11. ESCAPE FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36"-0" WITH A NOMINAL HEIGHT SMALL OF 72"-0" AND A MAXIMUM HEIGHT OF 78"-0". THE NOMINAL WIDTH OF THE OTHER EXIT DOOR SHALL BE 30"-0" AND A NOMINAL HEIGHT OF SIX FEET EIGHT INCHES IN NOMINAL HEIGHT AND MAY BE SLIDING OR SIDE-HINGED. Emergency exit from attached garage is permitted provided that the attached garage is also provided with a 32"-0" EXIT DOOR.	
12. ALL OTHER EXTERIOR DOORS IN EXCESS OF THE REQUIRED EXIT DOORS ARE NOT REQUIRED TO COMPLY WITH THE 36"-0" NOMINAL WIDTH AND 72"-0" NOMINAL HEIGHT.	
13. ALL INTERIOR DOORS PROVIDING ACCESS TO HABITABLE ROOMS SHALL HAVE A NOMINAL WIDTH OF 30"-0" NOMINAL HEIGHT AND A NOMINAL HEIGHT OF 78"-0". THE NOMINAL WIDTH OF THE DOOR SHALL BE 30"-0" AND A NOMINAL HEIGHT OF 78"-0".	
14. A DOOR OR LANDING SHALL MEET THE NOMINAL WIDTH OF THE DOOR SERVED AND HAVE A MINIMUM DIMENSION OF 36"-0" IN THE DIRECTION OF TRAVEL.	
SPRINKLERS	
The 3-unit townhouse has an aggregate area of 1,210 SF and shall be designed with a minimum NFPA 13 system.	
HEAT DETECTORS	
1. ALL ONE AND TWO FAMILY SHALL BE EQUIPPED WITH A HOUSEHOLD FIRE MAPPING SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS AND THE OWNER'S CONTRACT.	
2. SMOKE DETECTORS ARE REQUIRED TO BE PERMANENTLY WIRED TO AN AC-Powered Power Source and shall have secondary Standby Power supplied from Unintended Batteries.	
3. WHERE MORE THAN ONE SMOKE DETECTOR IS REQUIRED, ALL REQUIRED DETECTORS SHALL BE INSTALLED SO THAT THE ACTIVATION OF ANY DETECTOR SHALL CAUSE THE ALARM IN ALL REQUIRED SMOKE DETECTORS IN THE DWELLING UNT TO SOUND 85 DBA AT 10 FEET, 15% IN BEDROOMS.	
4. SMOKE DETECTORS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: a) IN EACH BEDROOM. b) IN EACH STORY OF THE DWELLING. c) IN EACH STORY OF THE DWELLING, WHETHER OR NOT THERE ARE SMOKE ALARMS LOCATED WITHIN THE DWELLING.	
5. PHOTO-ELECTRIC SMOKE DETECTORS ARE REQUIRED IF LOCATED WITHIN A KITCHEN OR BATHROOM.	
6. WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED TO AN EXISTING DWELLING, THE ENTIRE BUILDING SHALL BE PROVIDED WITH SMOKE DETECTORS DESIGNED AND LOCATED AS REQUIRED FOR NEW DWELLINGS.	
CARBON MONOXIDE ALARM/DETECTORS	
1. ALL ONE AND TWO FAMILY DWELLINGS SHALL BE EQUIPPED WITH A HOUSEHOLD CARBON MONOXIDE MAPPING SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS AND THE OWNER'S CONTRACT.	
2. CARBON MONOXIDE DETECTORS SHALL BE LOCATED ON EVERY LEVEL OF THE DWELLING UNIT INCLUDING BASEMENTS AND CELLS (NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS).	
3. ALL ALARM-SOUNDING APPLIANCES SHALL HAVE A MINIMUM RATING OF 85 DBA AT 10 FEET.	
HEAT DETECTORS	
1. HEAT DETECTORS SHALL BE INSTALLED IN ANY INTEGRAL OR ATTACHED GARAGE TO THE MAIN HOUSE. A NEW ADDITION ATTACHED GARAGE TO AN EXISTING DWELLING INSTALLED IN ACCORDANCE WITH THE EXISTING DWELLING SHALL BE PROVIDED WITH A COMPATIBLE HEAT DETECTOR. THE EXISTING DWELLING HEAT DETECTOR SHALL BE CONNECTED TO A CANISTER OR A COMPATIBLE HEAT DETECTOR CONTAINING A SOUNDBING DEVICE LOCATED IN THE GARAGE.	
2. FOR FLAT-FINISHED CEILINGS, THE DETECTOR SHALL BE LOCATED ON OR NEAR THE CENTER OF THE GARAGE CEILING. FOR VAULTED/GLOPED CEILINGS, THE DETECTOR SHALL BE PLACED IN THE APPROXIMATE CENTER OF THE CEILING.	
3. FOR THE RECOMMENDED MODELED FIRE ALARM SYSTEM, SUCH THAT THE ACTIVATION OF THE HEAT DETECTOR WILL ACTIVATE ALL OF THE ADDRESS ALARMS OF THE MODELED FIRE ALARM SYSTEM THROUGHOUT THE DWELLING.	
SPRINKLERS	
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TITLE SHEET	
FIRST COLONY DEV. LLC #50 NORTHWOOD DRIVE, NORTHWOOD TOWNSHOUSE CONDO'S, SUDBURY, MA	
DATE: AUGUST 1, 2016 DRAWN BY: RWB contact@hpadesign.com CHECKED BY: HPA PATH: 20180101_FIRST COLONY DEV 20180101LCDs SCALE: SEE DRAWING REVISIONS: # DATE DESC. 0 ISSUED FOR CONSTRUCTION	
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SCALE: SEE DRAWING
REVISIONS: # DATE DESC.
0 ISSUED FOR CONSTRUCTION

The banner features the word "FESTIVAL" in a unique, abstract font. Each letter is formed by several black lines that overlap and loop around each other, creating a complex, textured appearance. The letters are arranged horizontally, with "F" on the far left, followed by "E", "S", "T", "F", "E", "S", "T", "V", "I", "L", "A", "P", "I", and "T" on the far right. The background is plain white.



OWNER / CLIENT:

ARCHITECT:

STRUCTURAL ENGINEER

CONTRACTOR:

FIRST COLONY DEV. LLC
929 POST ROAD EAST
MARLBOROUGH, MA 01752
TEL. (508) 481-6095
FAX (508) 460-0578

HPA DESIGN, INC.
200 STONEWALL BLVD.
SUITE 5
WRENTHAM, MA 02093
TEL. (508) 384-8838
FAX (508) 384-0483

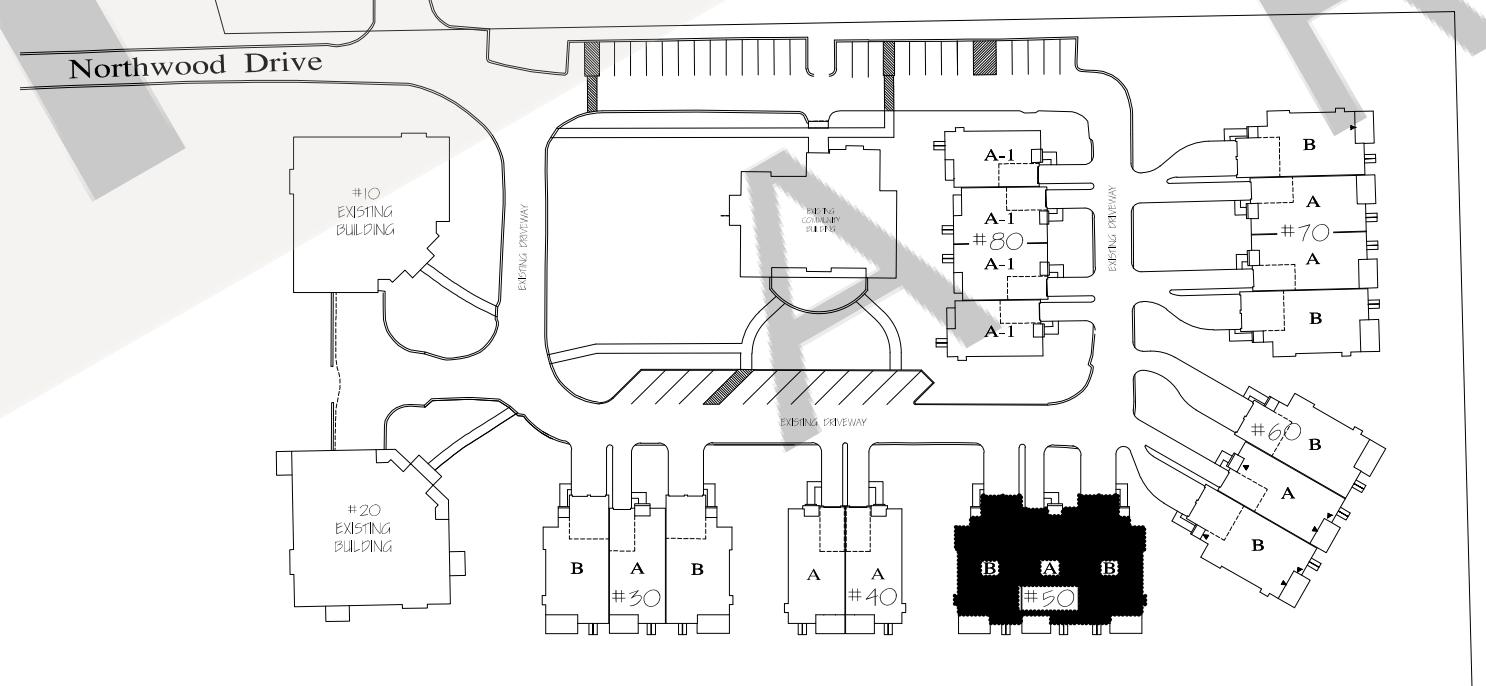
DWD ENGINEERING, INC.
5 MICHAEL RD.
EAST BRIDGEWATER
TEL. (508) 378-9602
FAX. (508) 378-2922

LOBISSEER BUILDING CORP.
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747
TEL. (508) 478-6235
FAX (508) 473-0794

SCHEDULE OF DRAWINGS:

- 0.1 TITLE SHEET
 - 1.1 1ST FLOOR PLAN
 - 1.2 2ND FLOOR PLAN
 - 2.1 ELEVATIONS
 - 2.2 ELEVATIONS
 - 3.1 BUILDING SECTIONS
 - 3.2 BUILDING SECTIONS
 - 4.1 WALL SECTIONS
 - 4.2 AIR BARRIER NOTES & DETAILS
 - 5.1 DETAILS
 - .1 FOUNDATION PLAN
 - .2 1ST FLOOR FRAMING
 - .3 2ND FLOOR FRAMING
 - .4 CEILING FRAMING
 - .5 ROOF FRAMING
 - 2.1 DETAILS
 - 2.2 DETAILS

KEY PLAN



— SEE —

**CONSTRUCTION BY:
FIRST COLONY DEY, LLC**

#50 NORTHWOOD DRIVE, NORTHWOOD TOWNHOUSE CONDOS, SUDBURY, MA

SHEET:

A.0.1

JOB NO. 20180101