

DATE: MAY 11, 2018

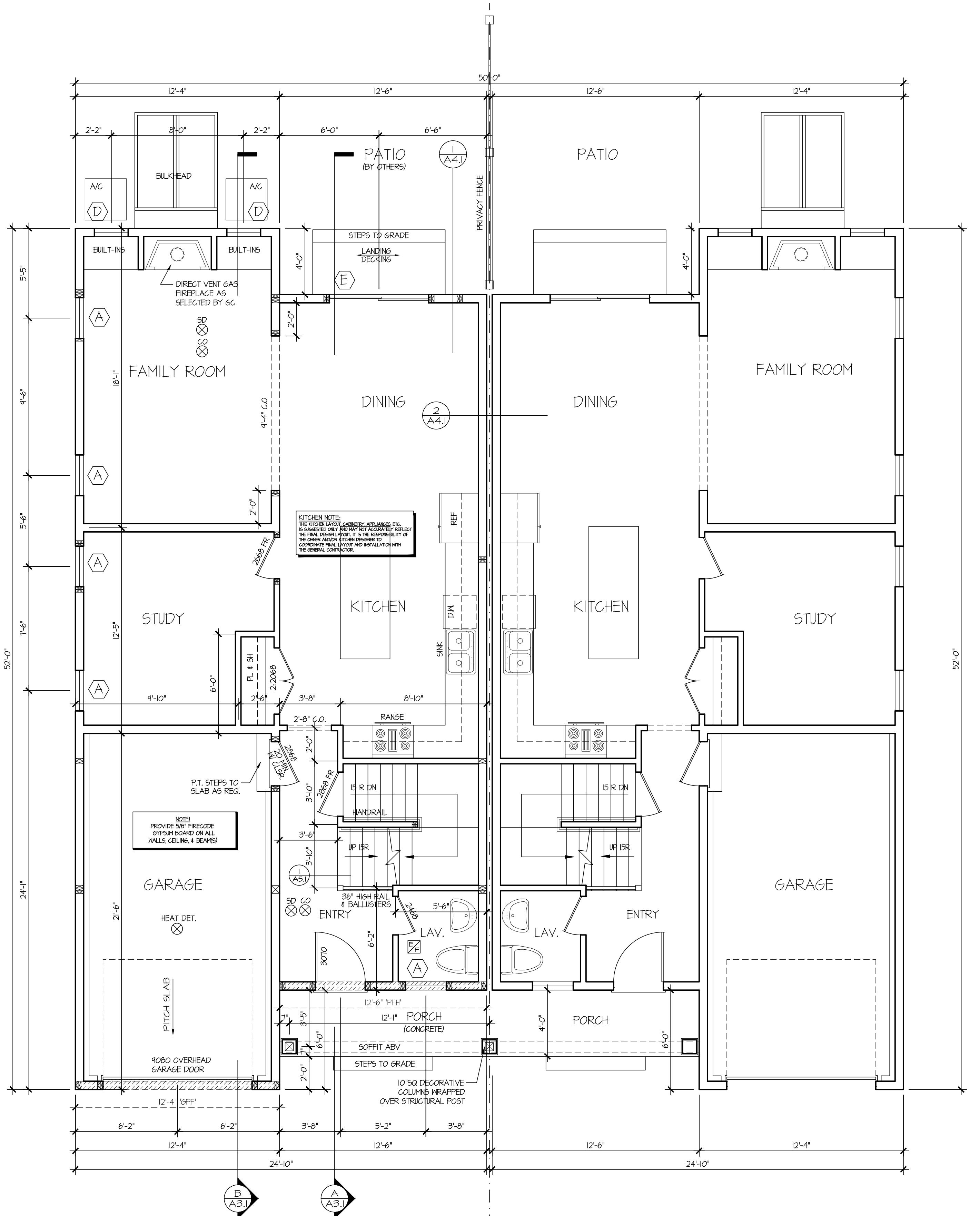
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#	DATE	DESC.
A	5-11-18	INIT PLANS & FAR CALC
B	5-21-18	REVISED PLANS/FAÇADE
C	5-31-18	CLIENT COMMENTS
D	6-24-18	ZONING RE-DESIGN



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FIRST FLOOR PLAN
CONSTRUCTION BY:
TNT BUILDING CORP.
9-11 OAK AVENUE, NEWTON, MA

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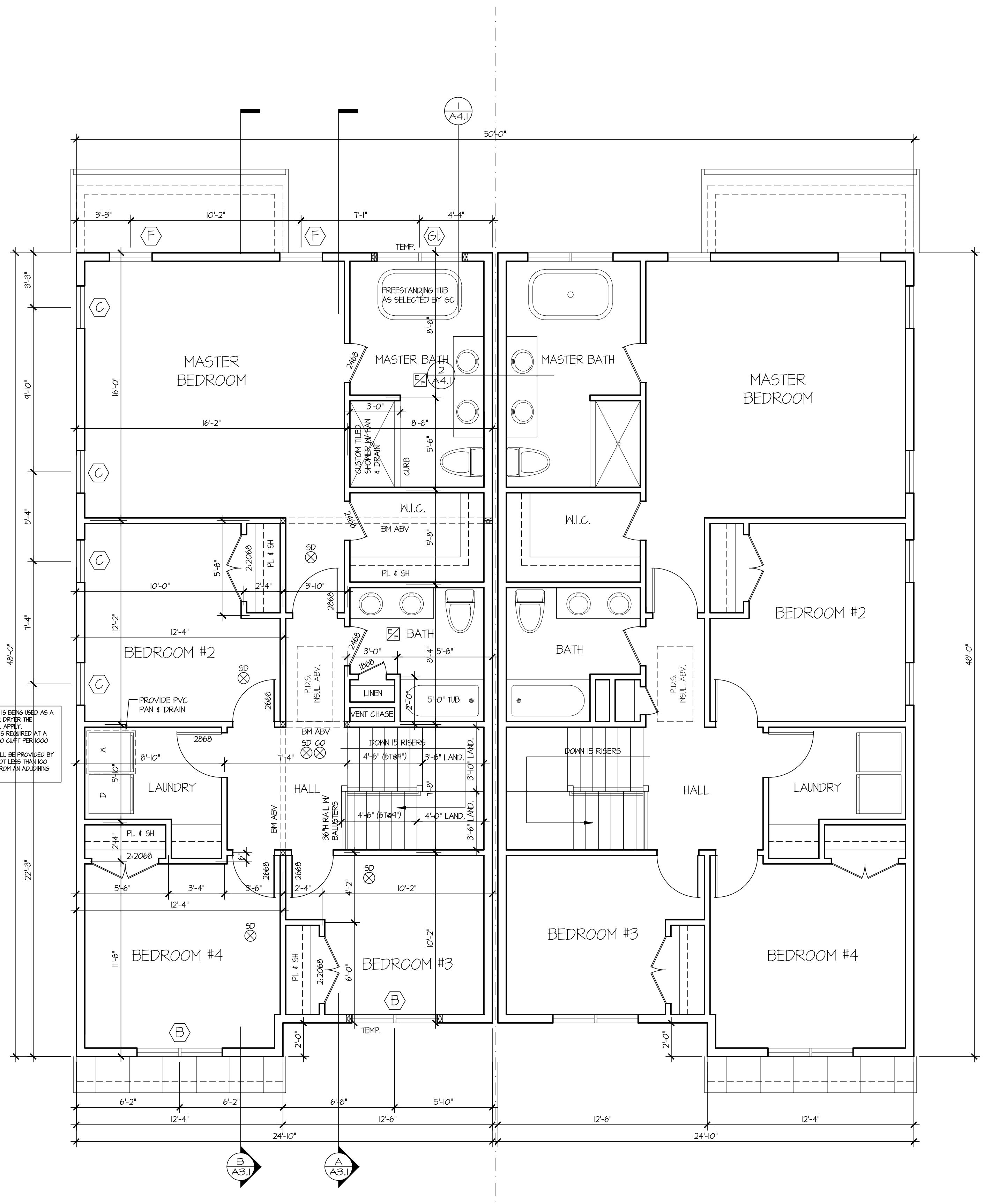
SECOND FLOOR PLAN
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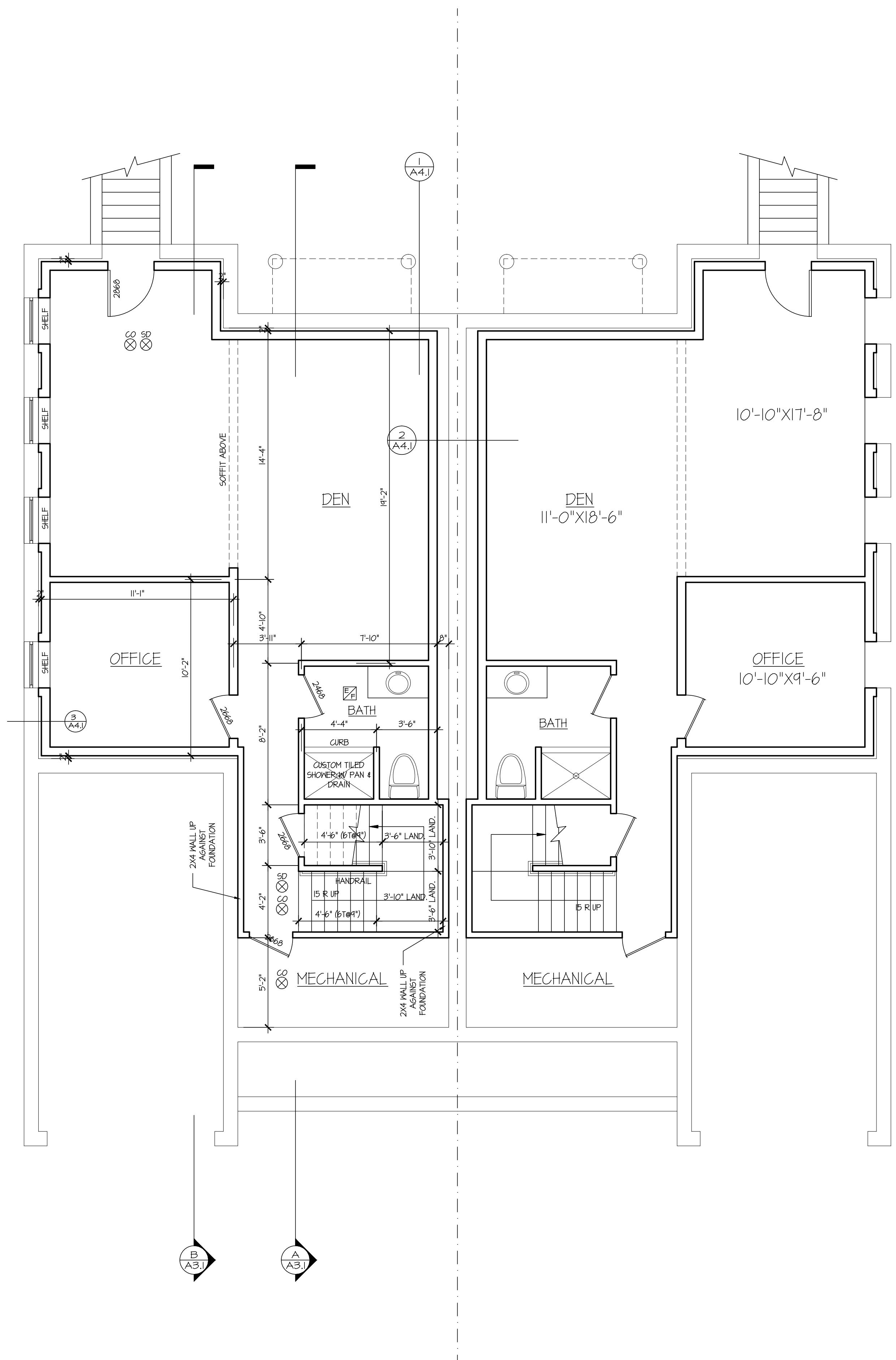
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BASEMENT PLAN

CONSTRUCTION BY:
TNT BUILDING
9-11 OAK AVENUE, NE



BASEMENT PLAN

1/4" = 1'

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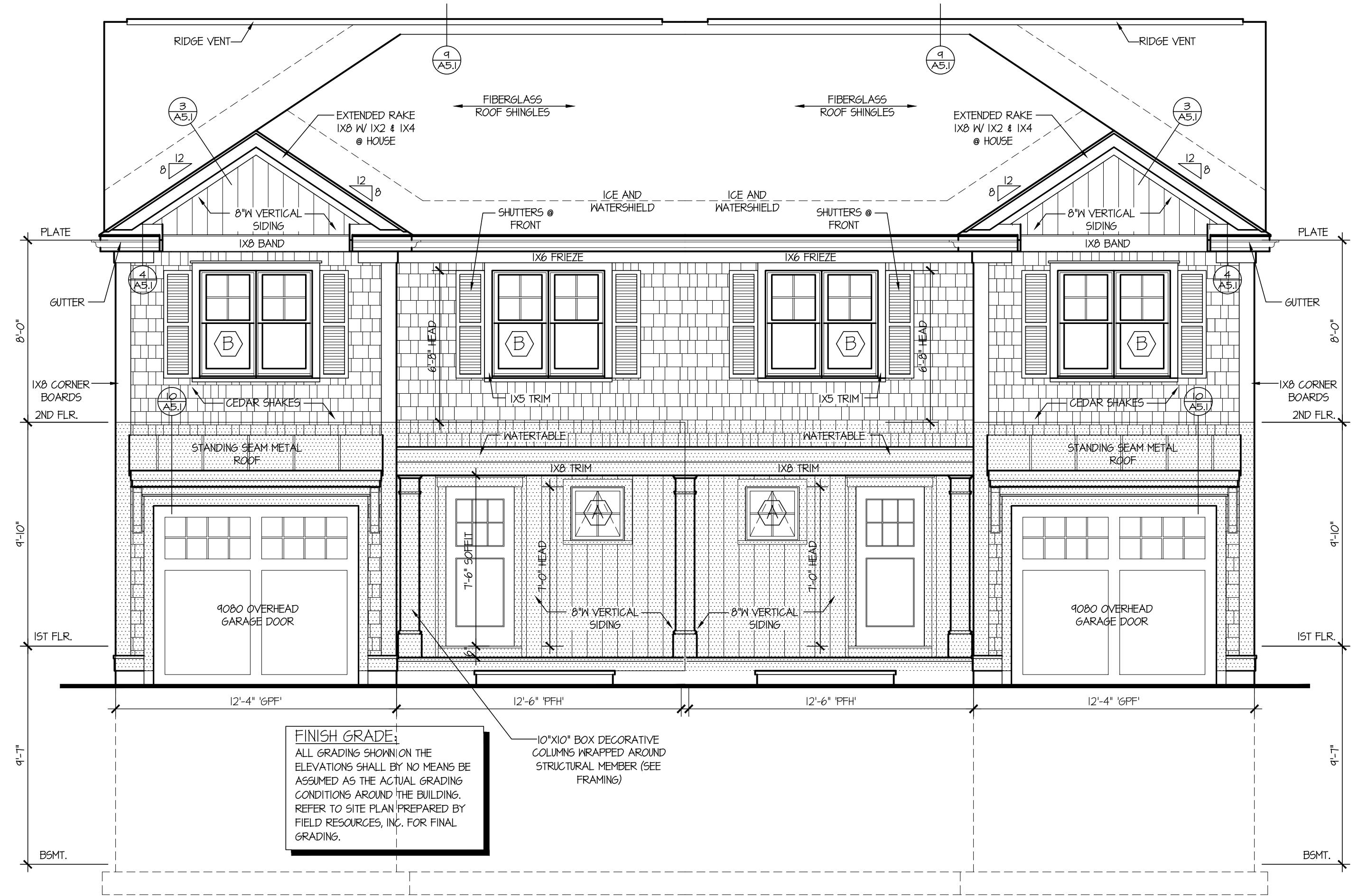
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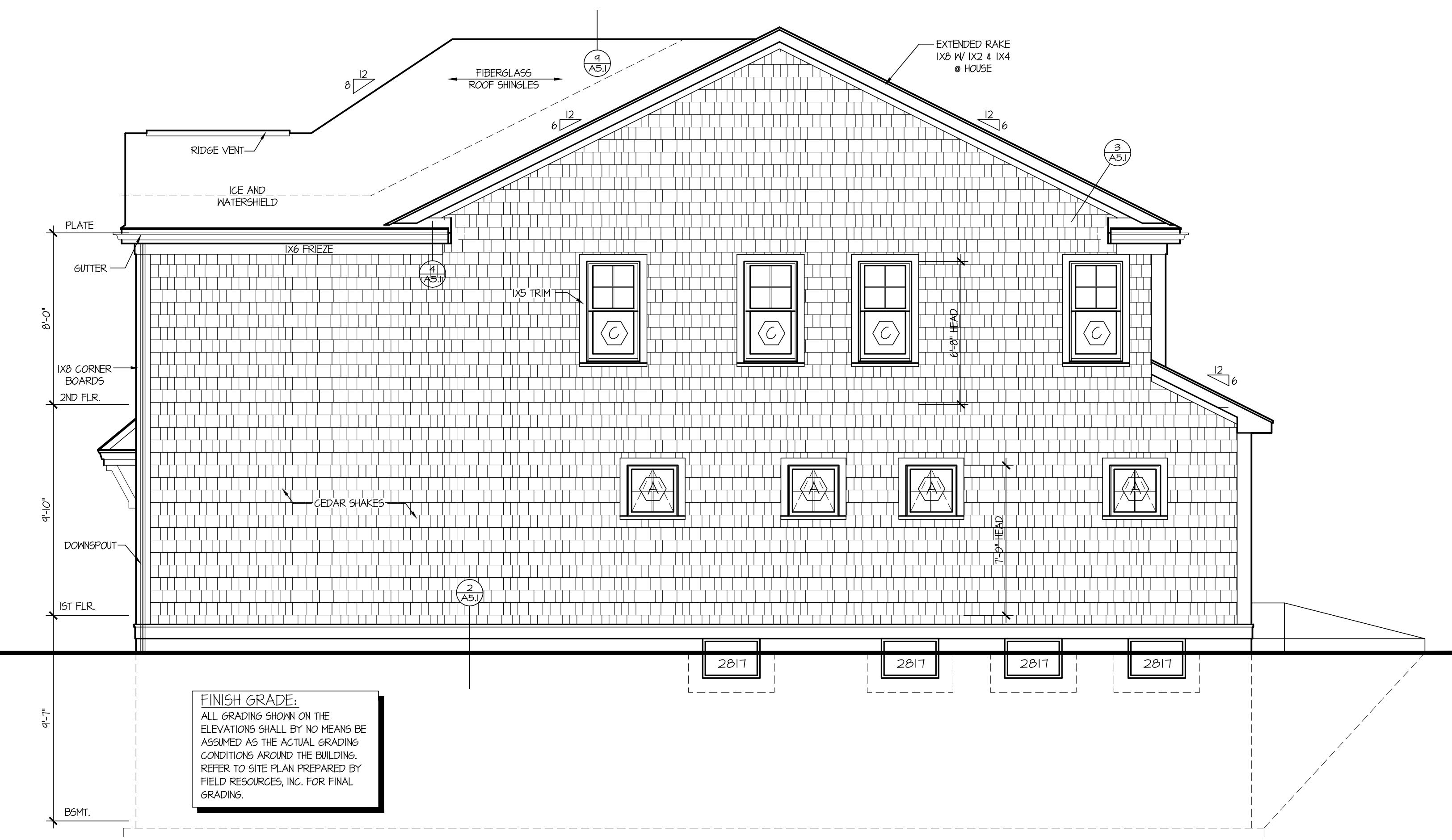
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FRONT ELEVATION
RIGHT ELEVATION
CONSTRUCTION BY:
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FRONT ELEVATION

1/4" = 1'



RIGHT SIDE ELEVATION

1/4" = 1'

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REAR ELEVATION
LEFT SIDE ELEVATION
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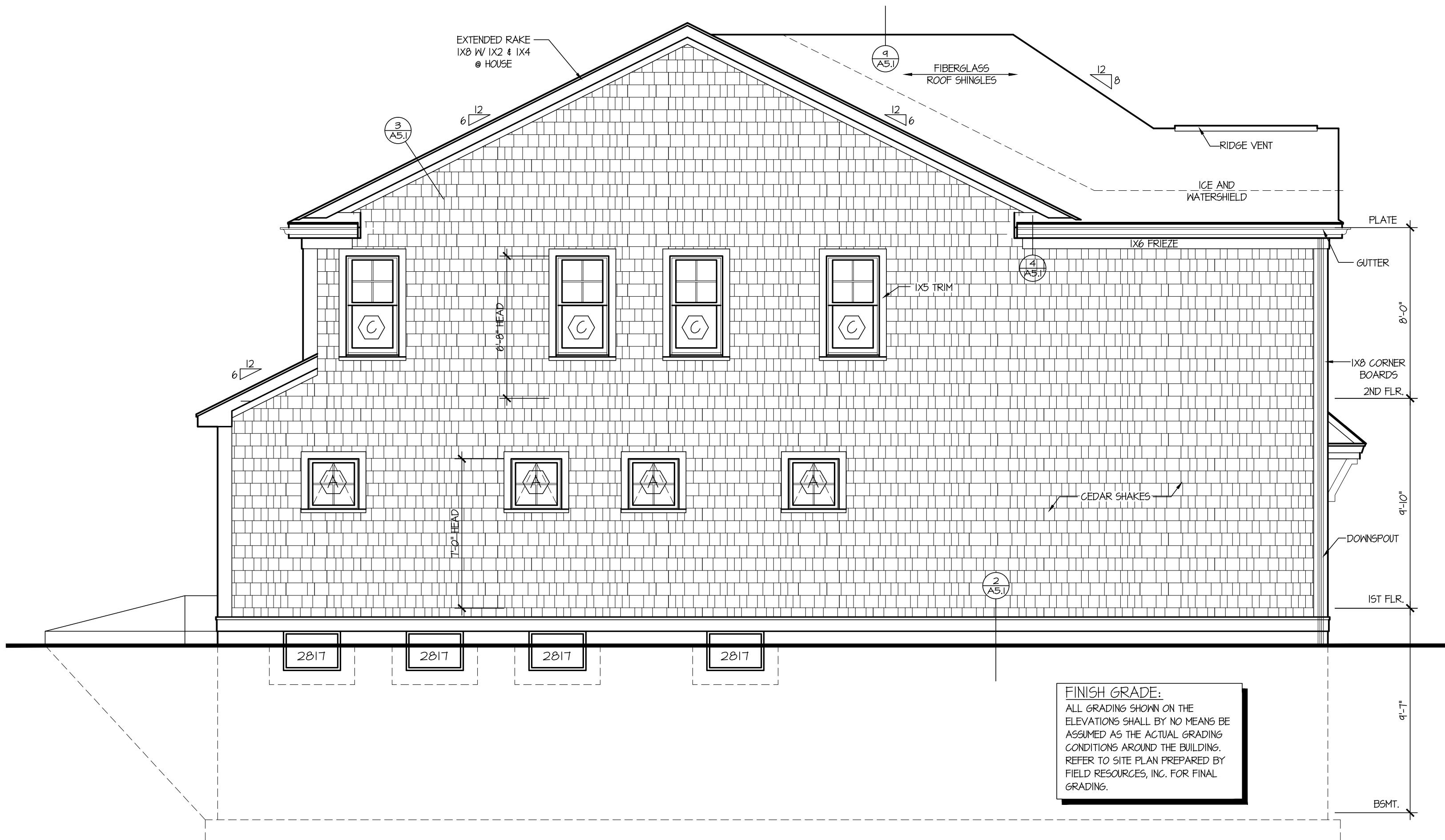


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REAR ELEVATION

(A) 1/4" = 1'



LEFT SIDE ELEVATION

(B) 1/4" = 1'

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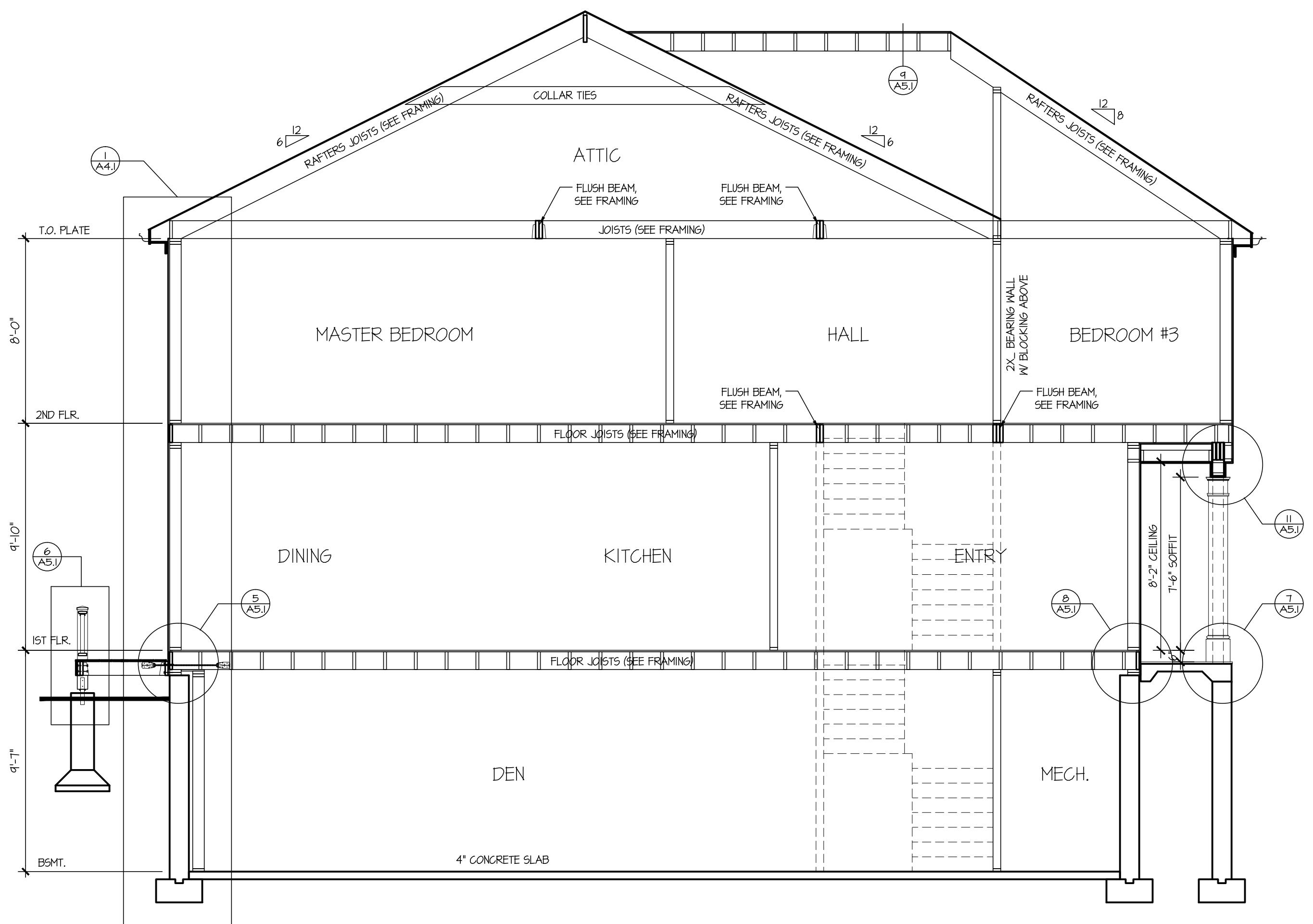
BUILDING SECTIONS
CONSTRUCTION BY:
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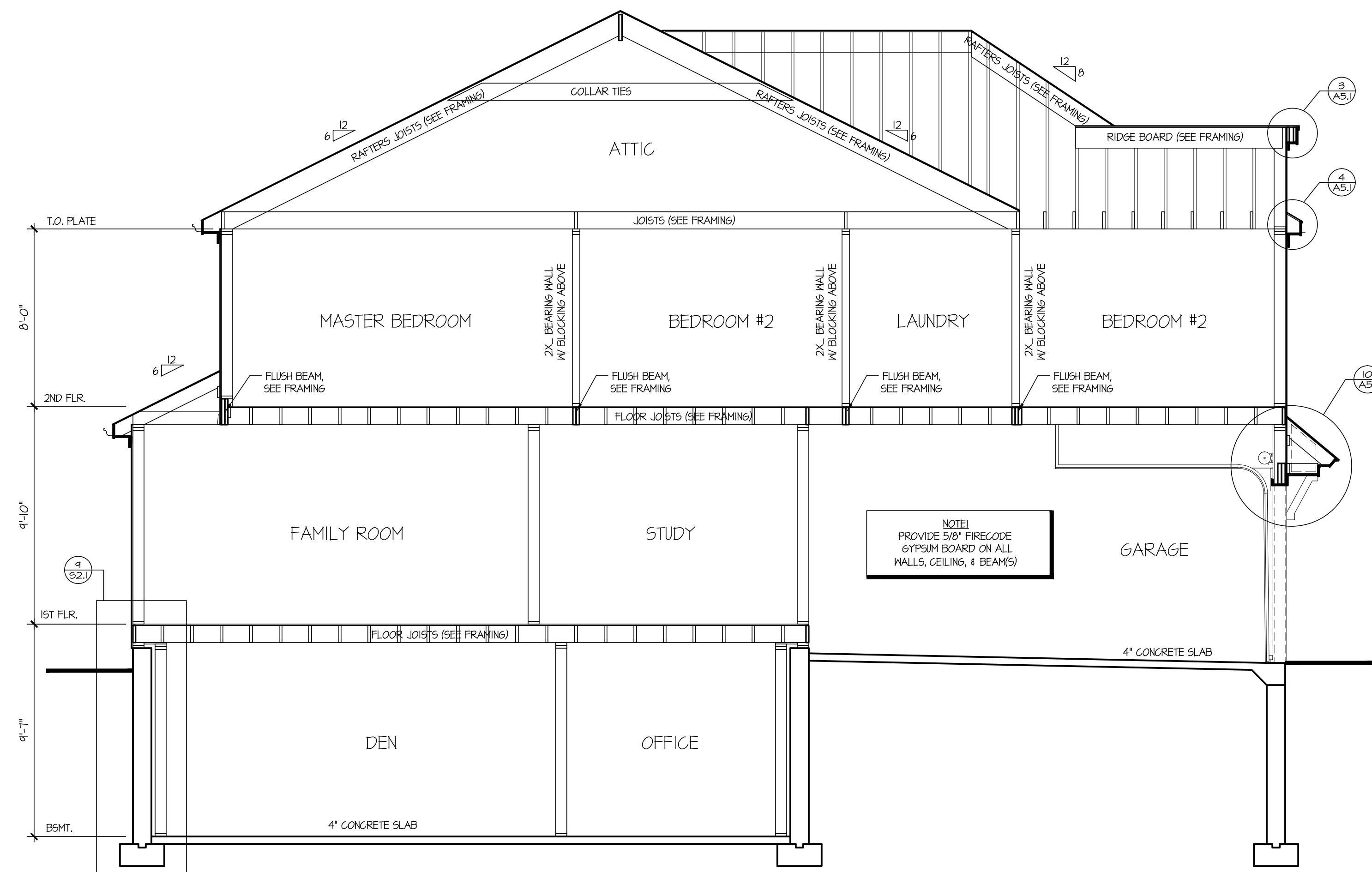
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BUILDING SECTION
@ DINING/KITCHEN/ENTRY
A
 $1/4'' = 1'$



BUILDING SECTION
@ FAMILY/STUDY/GARAGE
B
 $1/4'' = 1'$

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NAIL SECTIONS

CONSTRUCTION BY:
TNT BUILDING CORP.
TUNISIA TAKA VENUE

This technical drawing provides a detailed cross-section of a house's exterior wall and foundation, illustrating the following key components and notes:

- Roof Section (Top 12 feet):** Shows the roof assembly with Fiberglass Roof Shingles, 15# Felt, 1/2" CDX Plywood Sheathing, 3'-0" Wide Ice & Water Shield, and Roof Rafters (see Framing Plans). The wall section includes 1x8 Fascia Board, Alum. Gutter, 2" Continuous Screened Aluminum Soffit Vents, 1x Soffit, 1x3 Blocking, and 1x6 Freize. A vertical dimension of 10" is indicated between the roof and the top of the wall.
- Air Barrier Notes:** A box contains six numbered instructions regarding the installation of an air barrier (Tyvek/Tybar) as the exterior air barrier/vapor barrier:
 1. TYVEK/TYBAR IS INTENDED TO BE THE EXTERIOR AIR BARRIER. VAPOR BARRIER TO BE INSTALLED ON INTERIOR OF WALLS.
 2. SEAL AND TAPE ALL JOINTS IN AIR BARRIERS.
 3. SEAL ALL PENETRATIONS THROUGH AIR BARRIER: CONDUIT, WIRING, STRUCTURE, ETC.
 4. SEAL PERIMETER OF AIR BARRIER AT FRAMED FLOORS AND AROUND DOOR AND WINDOW OPENINGS.
 5. AIR BARRIER IS TO RUN CONTINUOUSLY AND UNINTERRUPTED AROUND ENTIRE EXTERIOR HEATED BUILDING ENVELOPE. (WALLS & CEILING)
 6. REFER TO A4.2 FOR ADDITIONAL AIR-BARRIER NOTES AND DETAILS
- Second Floor Wall Section:** Shows the second floor joist system with 3/4" Tongue & Groove Sturdifloor Plywood. The wall section includes 2x6 Shoe, 2x Band Joist, and 2:2x6 Top Plate.
- First Floor Wall Section:** Shows the first floor joist system with 3/4" Tongue & Groove Sturdifloor Plywood. The wall section includes 2:2x6 Sill (Bottom Sill Pressure Treated), 1/2" Dia. x 12" Anchor Bolts @ 4'-0" O.C. & 1'-0" @ CORNERS, 8" Min. Embedment, and Grade (varies).
- Foundation and Basement Slab:** The foundation wall is 10" wide concrete. The basement slab is 4" concrete slab on 6 mil. PVC vapor barrier and 8" compacted gravel. The perimeter concrete footing is 24"x12". A 4" PVC perimeter footing drain is shown, with a note that it is not required if Type I soil. Undisturbed soil is indicated at the bottom.
- Structural Notes:** A box notes that floor assemblies not using dimensional 2x lumber, or equivalent, shall have 1/2" GWP or 5/8" wood structural panel applied to underside of joists.
- Insulation Notes:** A box states: "REFER TO HERS REPORT FOR THESE R-VALUES." It also specifies R-* INSUL. W/ PAPER FACE OR 4 MIL PVC VAPOR BARRIER.

WALL SECTION

This technical drawing provides a detailed cross-section of a building's exterior wall and foundation, illustrating the following components and specifications:

- Roof Area:** The roof features a ridge board (see framing plans) and 1/2" CDX plywood sheathing. A note specifies "CONTINUE FIRE SEPARATION TO UNDERSIDE OF ROOF SHEATHING".
- Exterior Wall:** The wall is built with 2x4 studs @ 16" O.C. It includes an R-13 fiberglass insulation layer, 1/2" gypsum base w/ skimcoat plaster, and 3/4" tongue & groove Sturdifloor plywood. A 2x4 shoe is used at the top plate.
- Interior Wall:** The interior wall is a solid area separation wall consisting of two 1" gypsum liner panels between one piece steel H-studs 24" O.C. min. 3/4" air space both sides separating liner panels from any construction - UL DES U336.
- Floor Joists:** The floor joists are labeled as per framing plans, supported by 2x4 studs @ 16" O.C. and 3/4" tongue & groove Sturdifloor plywood.
- Foundation and Footing:** The foundation consists of a 12" wide concrete foundation wall, a 4" concrete slab on 6 mil poly vapor barrier on 8" crushed stone, and a 24" x 12" d cont. concrete footing. Reinforcement includes 2-#5 rods @ bottom of footing, typ., and 1/2" dia. anchor bolts @ 4'-0" O.C. (8" minimum embedded into footing).
- Vertical Channels:** Vertical channels are shown connecting the exterior wall to the interior wall, with aluminum clip angles provided for fire-safing at each floor line at the airspace each side.
- Structural Notes:** Refer to structural notes # 9/S2.1 for min. wall reinforcement.

This technical drawing shows a vertical cross-section of a wall assembly. At the top, it represents the 'FIRST FLOOR' with a horizontal line labeled 'FLOOR JOIST (SEE FRAMING PLANS)'. Below this, a series of layers are detailed from top to bottom:

- 1x3 STRAPPING @ 16" O.C.
- 1/2" GYP. BASE W/ SKIMCOAT PLASTER
- 3/4" PLYWOOD FIRESTOPPING
ADD DOUBLE LAYER 3/4"
PLYWOOD AT JOINTS
DOUBLE LAYER IS NOT NEEDED
IF JOINTS INTERSECT FLOOR JOISTS
- 2:2X6 TOP PLATE
- R-* INSUL. W/ PAPER FACE
OR 4 MIL PVC VAPOR BARR.
- 1/2" GYP. BASE W/ SKIMCOAT PLASTER
- 2" MIN AIRSPACE
- 2:2X6 PLATE
(BOTTOM PLATE
PRESSURE TREATED)

The wall terminates at the 'BASEMENT SLAB' at the bottom. To the right, a thick black horizontal line is labeled 'FOUNDATION WALL'. A vertical dimension line on the left indicates a height of '9'-7".

* REFER TO

* REFER TO
HERS REPORT
FOR THESE R-VALUES

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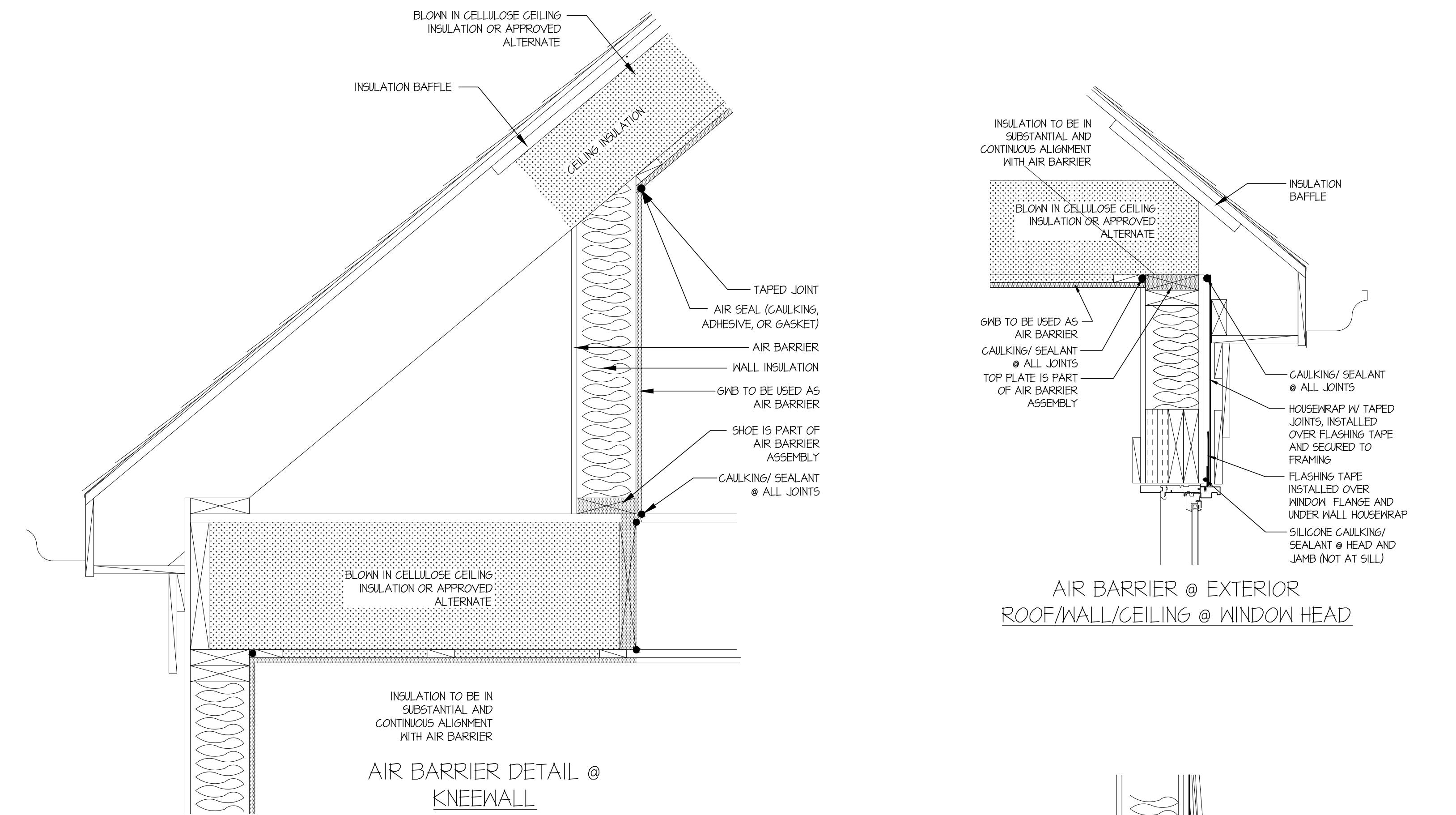
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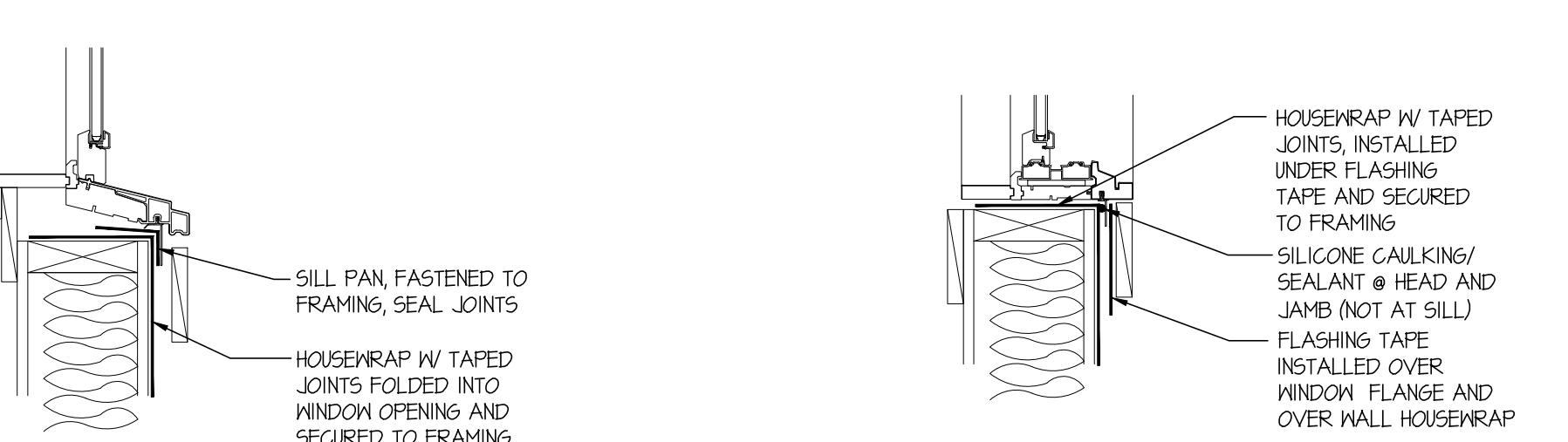
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AIR BARRIER AND INSULATION INSTALLATION

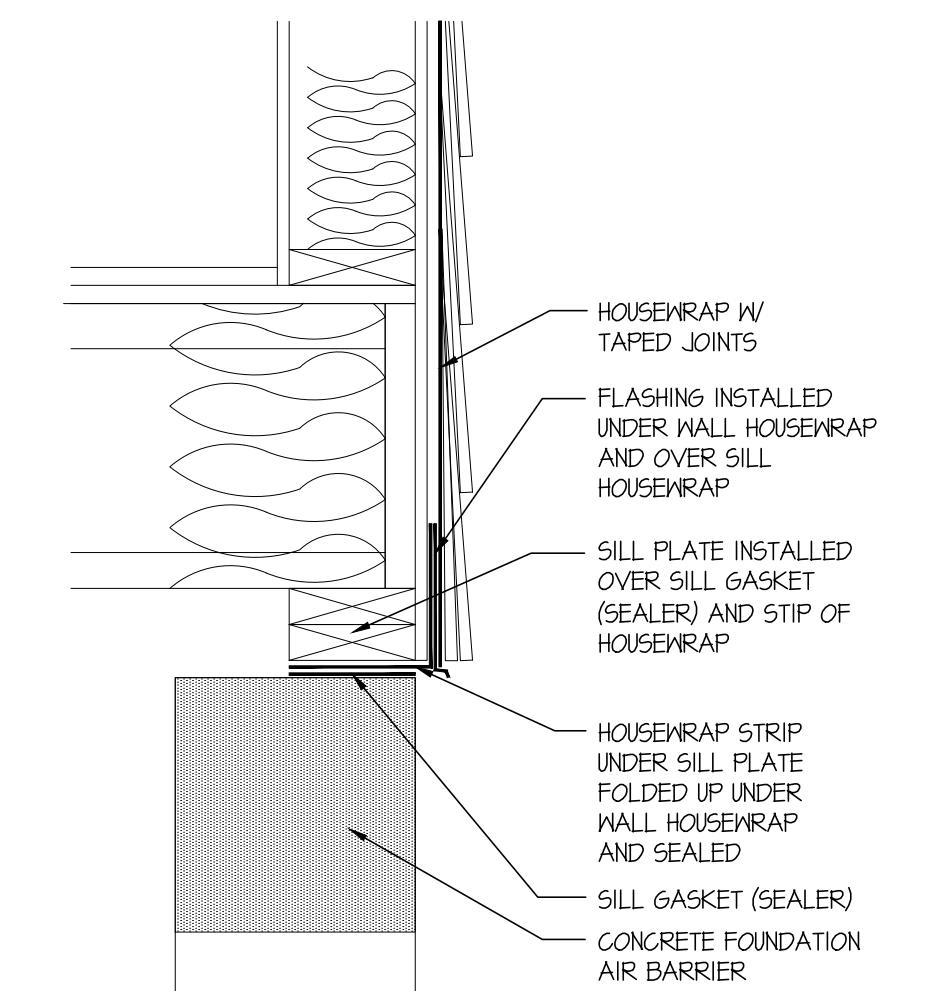
COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA
GENERAL REQUIREMENTS	A CONTINUOUS AIR BARRIER SHALL BE INSTALLED IN THE BUILDING ENVELOPE. THE EXTERIOR THERMAL ENVELOPE CONTAINS A CONTINUOUS AIR BARRIER. BREAKS OR JOINTS IN THE AIR BARRIER SHALL BE SEALED.	AIR-PERMEABLE INSULATION SHALL NOT BE USED AS A SEALING MATERIAL
CEILING/ATTIC	THE AIR BARRIER IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE INSULATION AND ANY GAPS IN THE AIR BARRIER SHALL BE SEALED. ACCESS OPENINGS, DROP DOWN STAIRS OR KNEE WALL DOORS TO UNCONDITIONED ATTIC SPACES SHALL BE SEALED.	THE INSULATION IN ANY DROPPED CEILING/SOFFIT SHALL BE ALIGNED WITH THE AIR BARRIER.
WALLS	THE JUNCTION OF THE FOUNDATION AND SILL PLATE SHALL BE SEALED. THE JUNCTION OF THE TOP PLATE AND THE TOP OF THE EXTERIOR WALLS SHALL BE SEALED. KNEE WALLS SHALL BE SEALED.	CAVITIES WITHIN CORNERS AND HEADERS OF FRAME WALLS SHALL BE INSULATED BY COMPLETELY FILLING THE CAVITY WITH A MATERIAL HAVING A THERMAL RESISTANCE OF R-3 PER INCH MINIMUM. EXTERIOR THERMAL ENVELOPE INSULATION FOR FRAMED WALLS SHALL BE INSTALLED IN SUBSTANTIAL CONTACT AND CONTINUOUS ALIGNMENT WITH THE AIR BARRIER.
WINDOWS, SKYLIGHTS AND DOORS	THE SPACE BETWEEN WINDOW/DOOR JAMBS AND FRAMING, AND SKYLIGHTS AND FRAMING SHALL BE SEALED.	
RIM JOISTS	RIM JOISTS SHALL INCLUDE THE AIR BARRIER.	RIM JOISTS SHALL BE INSULATED.
FLOORS (INCLUDING ABOVE GARAGE AND CANTILEVERED FLOORS)	THE AIR BARRIER SHALL BE INSTALLED AT ANY EXPOSED EDGE OF INSULATION.	FLOOR FRAMING CAVITY INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF SUBFLOOR DECKING; OR FLOOR FRAMING CAVITY INSULATION SHALL BE PERMITTED TO BE IN CONTACT THE TOP SIDE OF SHEATHING, OR CONTINUOUS INSULATION INSTALLED ON THE UNDERSIDE OF FLOOR FRAMING AND EXTENDS FROM THE BOTTOM TO THE TOP OF ALL PERIMETER FLOOR FRAMING MEMBERS.
CRAWL SPACE WALLS	EXPOSED EARTH IN UNVENTED CRAWL SPACES SHALL BE COVERED WITH A CLASS I VAPOR RETARDER WITH OVERLAPPING JOINTS TAPE.	WHERE PROVIDED INSTEAD OF FLOOR INSULATION, INSULATION SHALL BE PERMANENTLY ATTACHED TO THE CRAWLSPACE WALLS.
SHAFTS, PENETRATIONS	DUCT SHAFTS/UTILITY PENETRATIONS AND FLUE SHAFTS OPENING TO EXTERIOR OR UNCONDITIONED SPACE SHALL BE SEALED.	
NARROW CAVITIES		BATTS IN NARROW CAVITIES SHALL BE CUT TO FIT, OR NARROW CAVITIES SHALL BE FILLED BY INSULATION THAT ON INSTALLATION READILY CONFORMS TO THE AVAILABLE CAVITY SPACE.
GARAGE SEPARATION	AIR SEALING SHALL BE PROVIDED BETWEEN THE GARAGE AND CONDITIONED SPACES.	
RECESSED LIGHTING	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE DRYWALL.	RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT AND IC RATED.
PLUMBING AND WIRING		BATT INSULATION SHALL BE CUT NEATLY TO FIT AROUND WIRING AND PLUMBING IN EXTERIOR WALLS, OR INSULATION THAT ON INSTALLATION READILY CONFORMS TO AVAILABLE SPACE SHALL EXTEND BEHIND PIPING AND WIRING.
SHOWER/TUB ON EXTERIOR WALLS	THE AIR BARRIER INSTALLED AT EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL SEPARATE THEM FROM THE SHOWERS AND TUBS.	EXTERIOR WALLS ADJACENT TO SHOWERS AND TUBS SHALL BE INSULATED.
ELECTRICAL/PHONE BOX ON EXTERIOR WALLS	THE AIR BARRIER SHALL BE INSTALLED BEHIND ELECTRICAL OR COMMUNICATION BOXES OR AIR-SEALED BOXES SHALL BE INSTALLED.	
HVAC REGISTER BOOTS	HVAC REGISTER BOOTS THAT PENETRATE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO THE SUBFLOOR OR DRYWALL.	
CONCEALED SPRINKLERS	WHEN REQUIRED TO BE SEALED, CONCEALED FIRE SPRINKLERS SHALL ONLY BE SEALED IN A MANNER THAT IS RECOMMENDED BY THE MANUFACTURER. CAULKING OR OTHER ADHESIVE SEALANTS SHALL NOT BE USED TO FILL VOIDS BETWEEN FIRE SPRINKLER COVER PLATES AND WALLS OR CEILINGS.	



AIR BARRIER @ EXTERIOR
ROOF/WALL/CEILING @ WINDOW HEAD

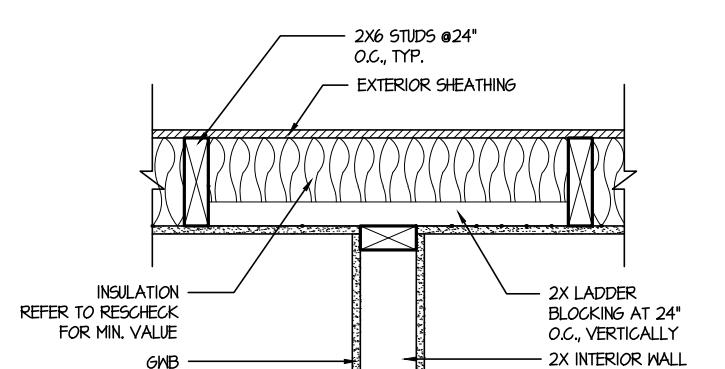


AIR BARRIER DETAIL @
KNEEWALL

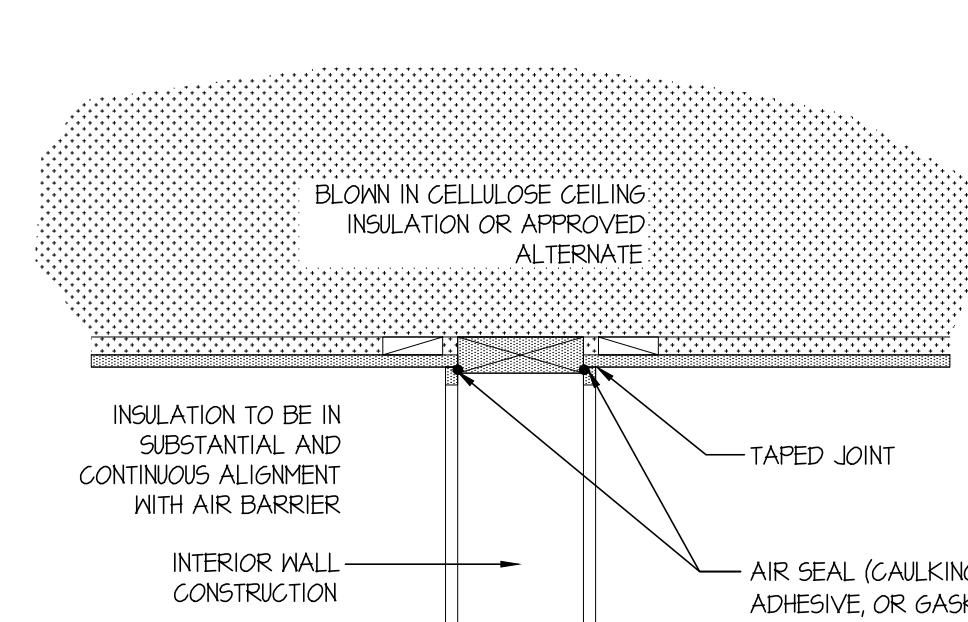


AIR BARRIER DETAIL @
WINDOW SILL

AIR BARRIER DETAIL @
FLOOR/FOUNDATION



WALL INTERSECTION DETAIL



AIR BARRIER @ INTERIOR
WALL/CEILING INTERSECTION

AIR BARRIER NOTES AND DETAILS
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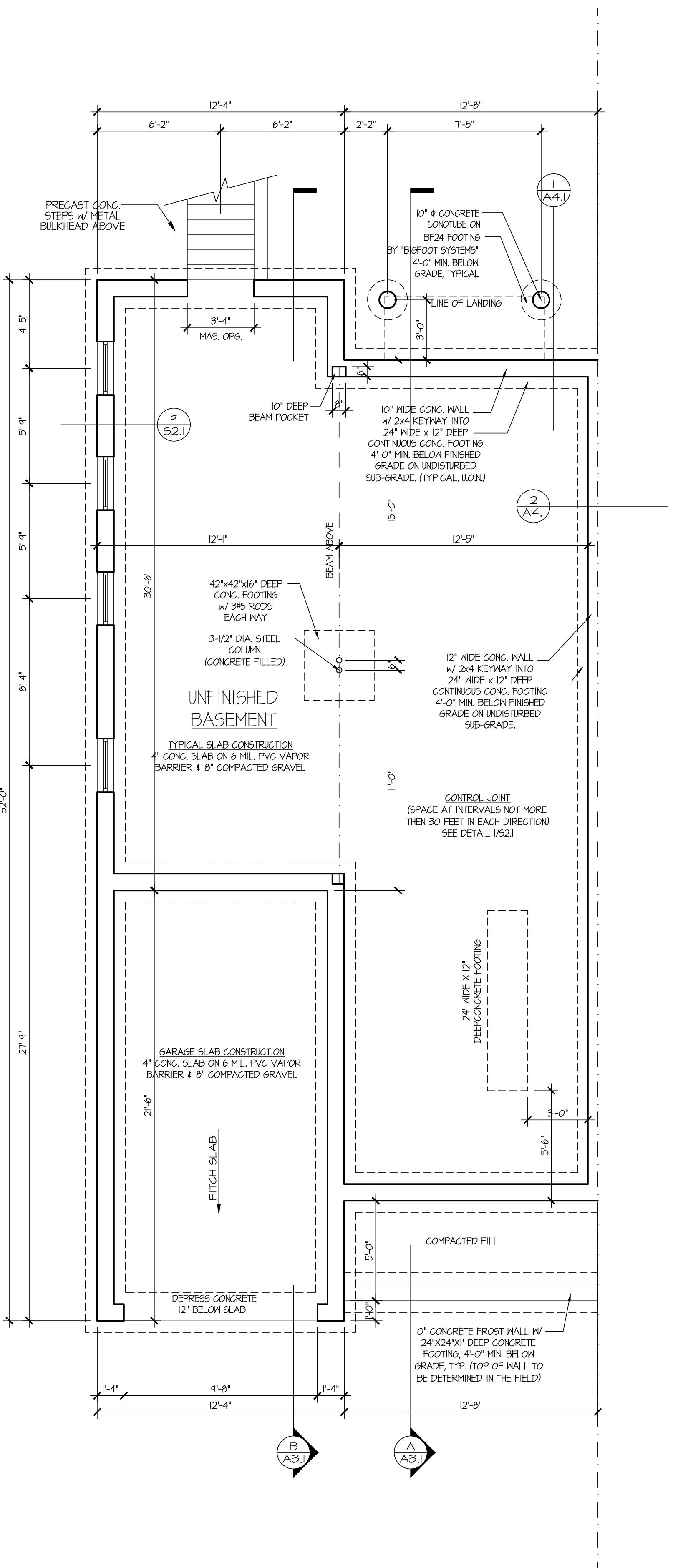
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FOUNDATION PLAN
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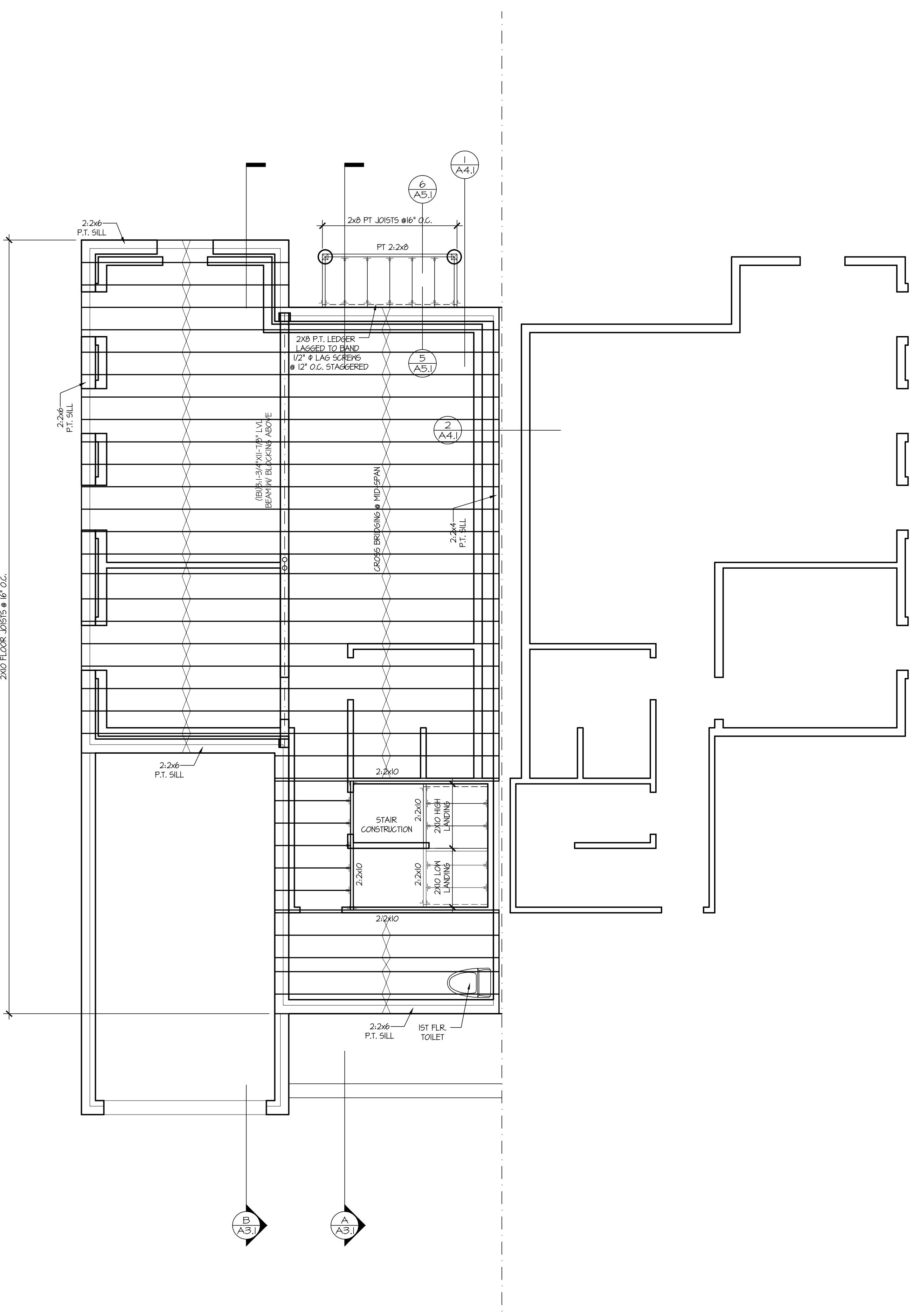
FIRST FLOOR FRAMING PLAN
CONSTRUCTION BY:
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FIRST FLOOR FRAMING PLAN
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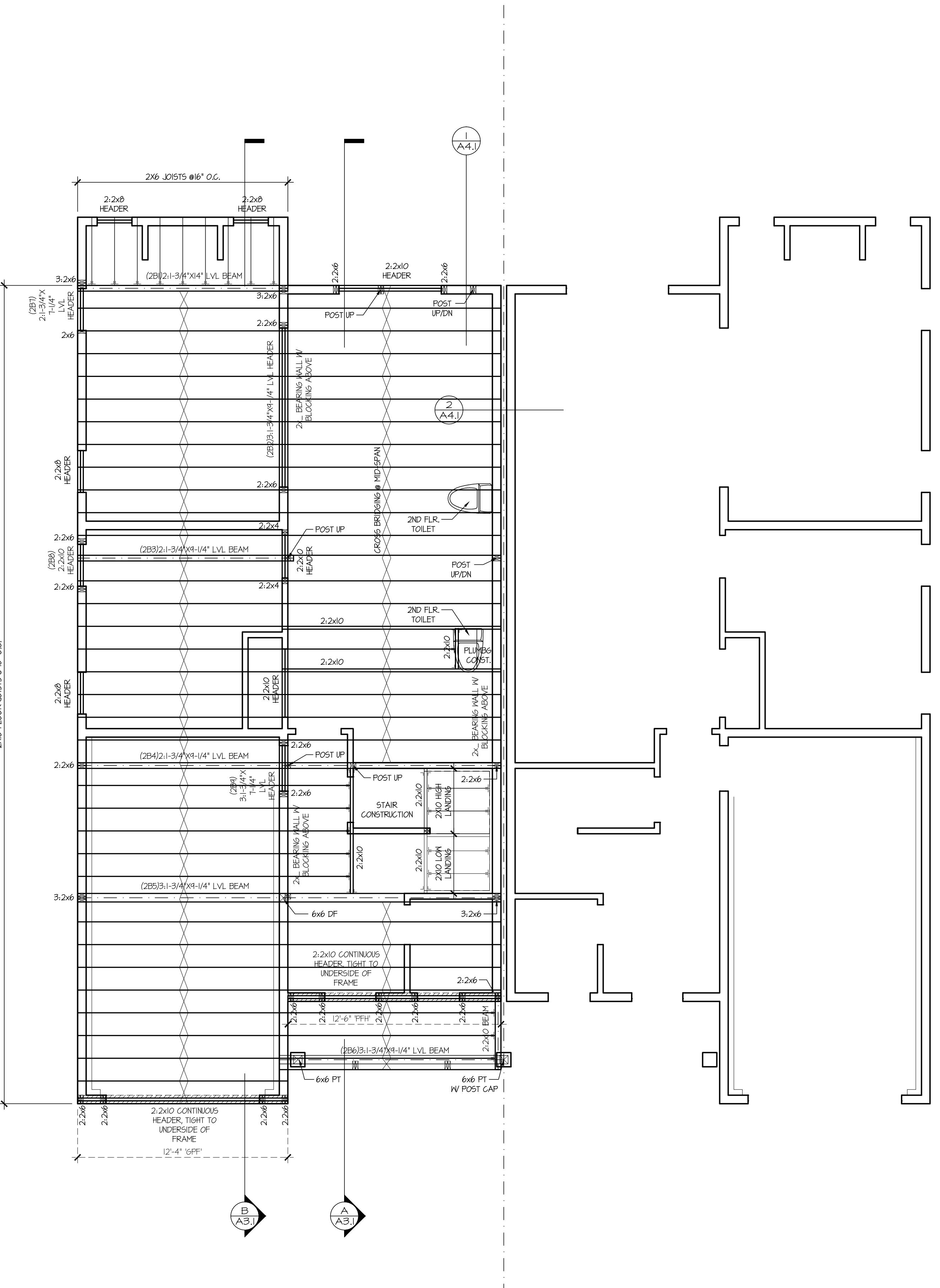
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SECOND FLOOR FRAMING PLAN
A
1/4" = 1'



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ROOF FRAMING PLAN
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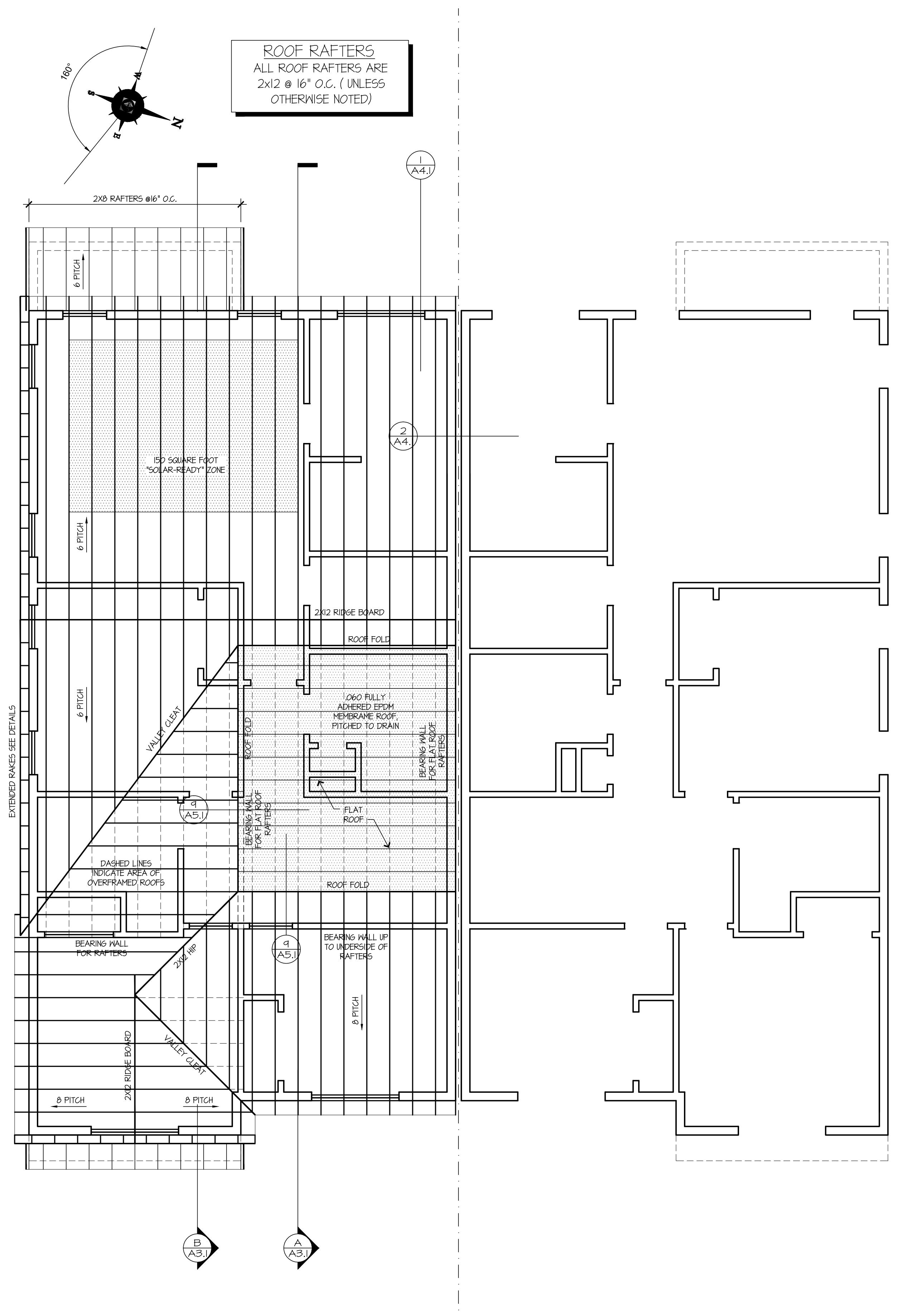
516

JOB NO. 20180053

DESIGN LOADS

1. DESIGN LIVE LOADS GROUND SNOW LOAD 40 PSF (DRIFT WHERE APPLICABLE)
FLAT ROOF SNOW LOAD 35 PSF
2. DESIGN DEAD LOADS 15 PSF FOR RAFTERS AND/OR TOP CHORDS OF ROOF TRUSSES)

ROOF FRAMING PLAN
1/4" = 1'



JOB NO. 20180053

DATE: MAY 11, 2018
DRAWN BY: RNB contact@hpadesign.com
CHECKED BY: HPA
PATH: 20180053_BOBOLA 20180053 GDS
SCALE: SEE DRAWING
REVISIONS: # DATE DESC.

HPA Design, Inc.

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5 MICHAEL ROAD, E. BRIDGEWATER
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CONSTRUCTION BY:
TNT BUILDING CORP.
9-11 OAK AVENUE, NEWTON, MA

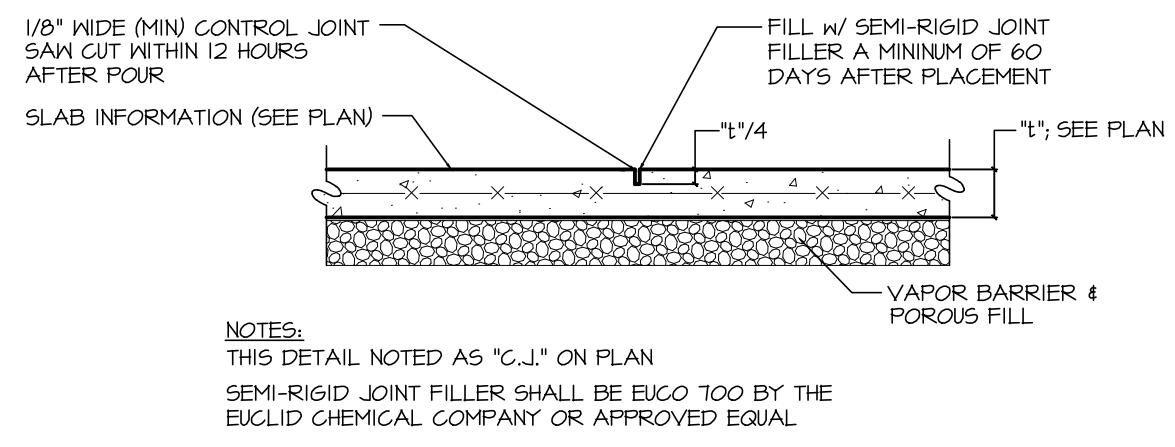
DETAILS

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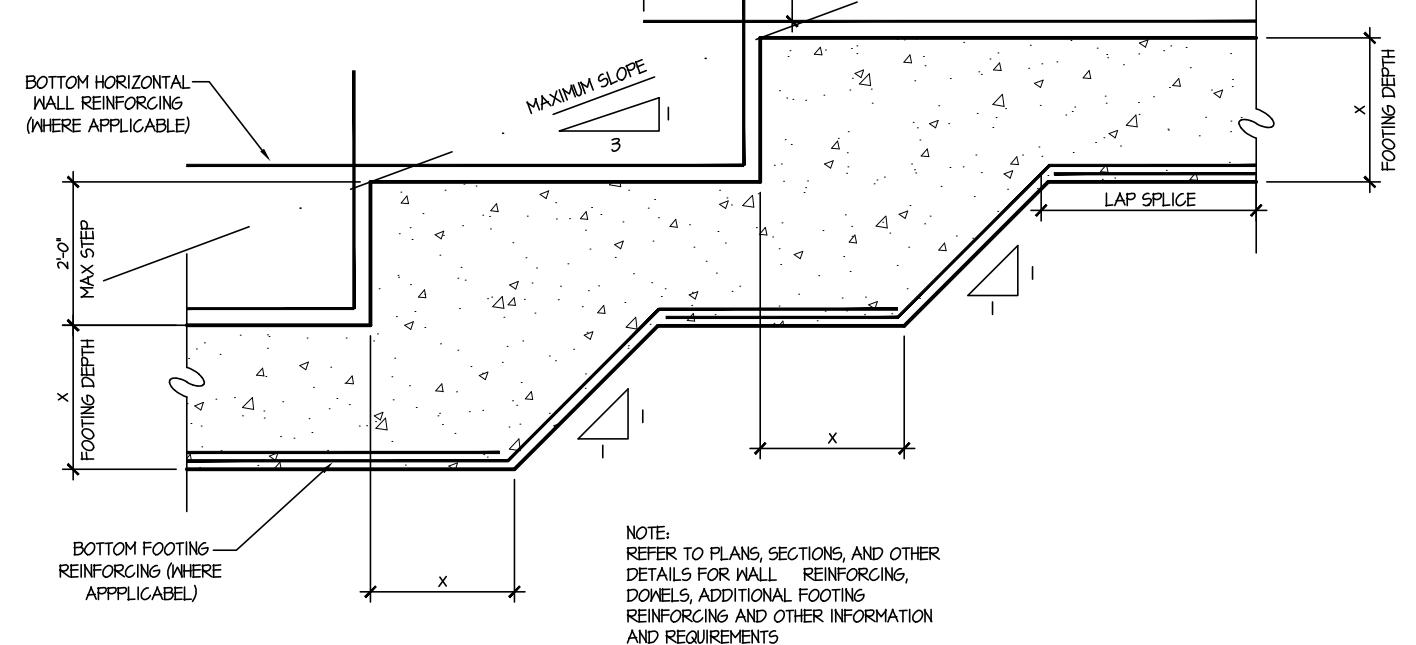
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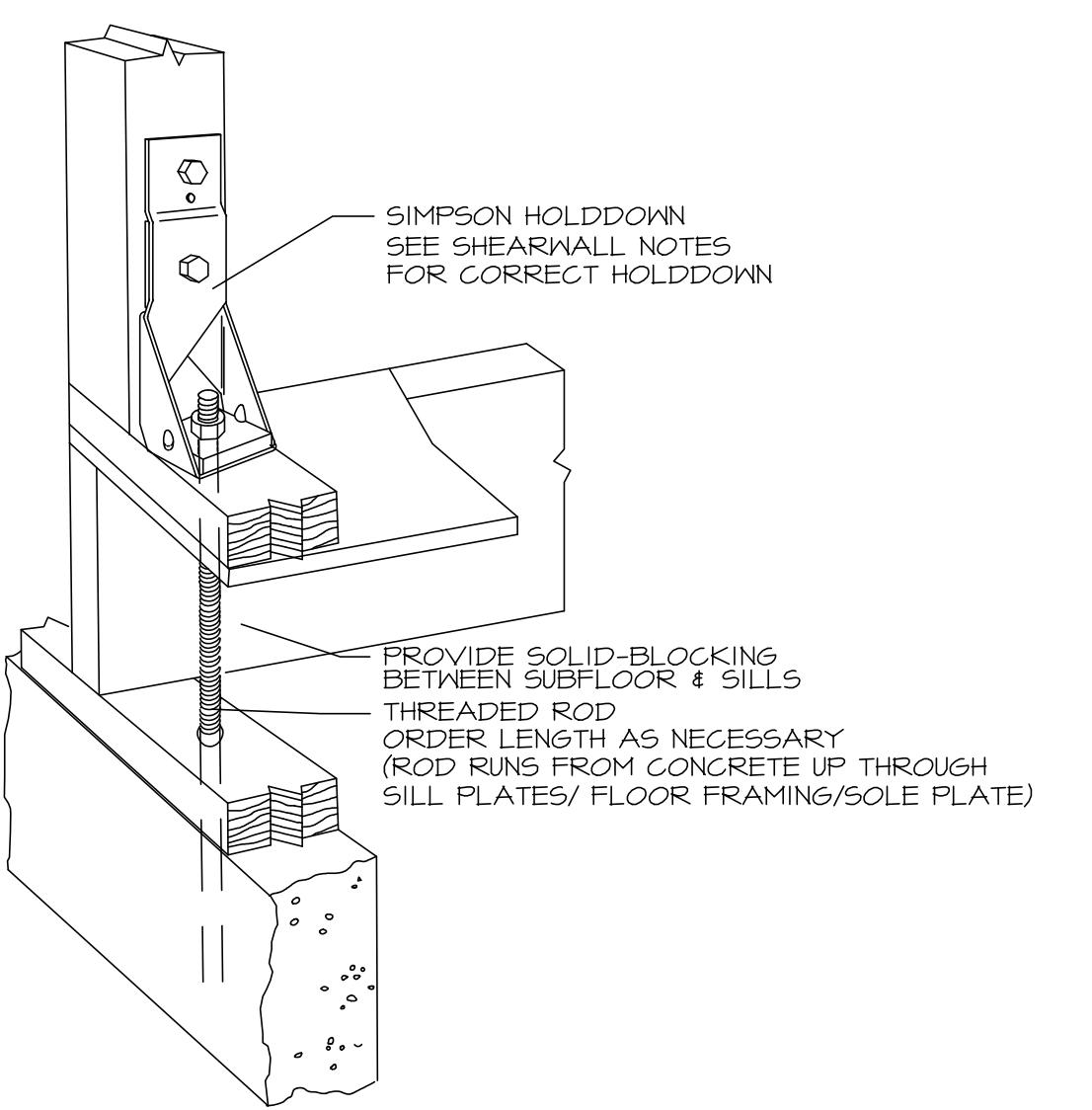
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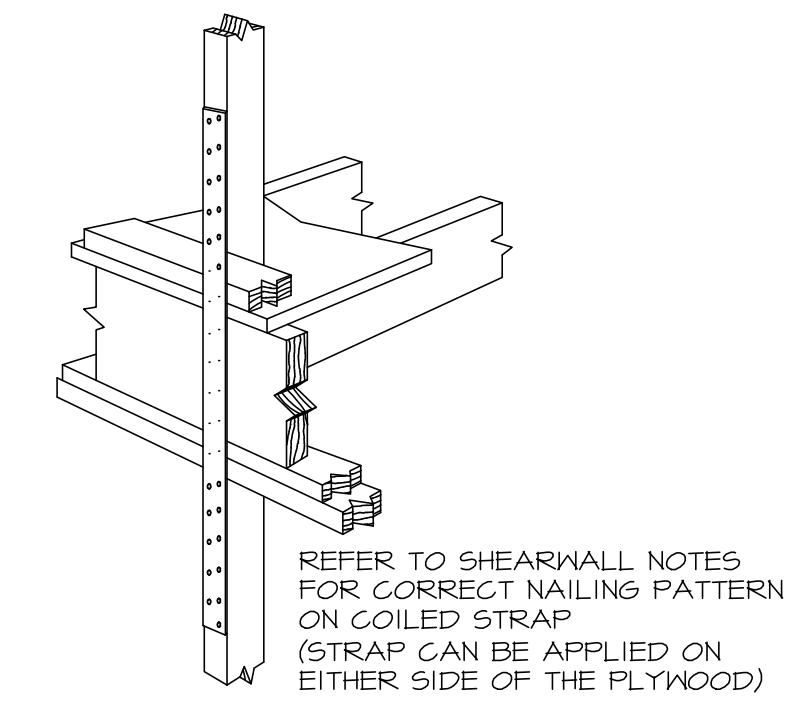
① CONTROL JOINT DETAIL
N.T.S.



② STEPPED FOOTING DETAIL
N.T.S.



③ SIMPSON HOLD DOWN DETAIL
N.T.S.

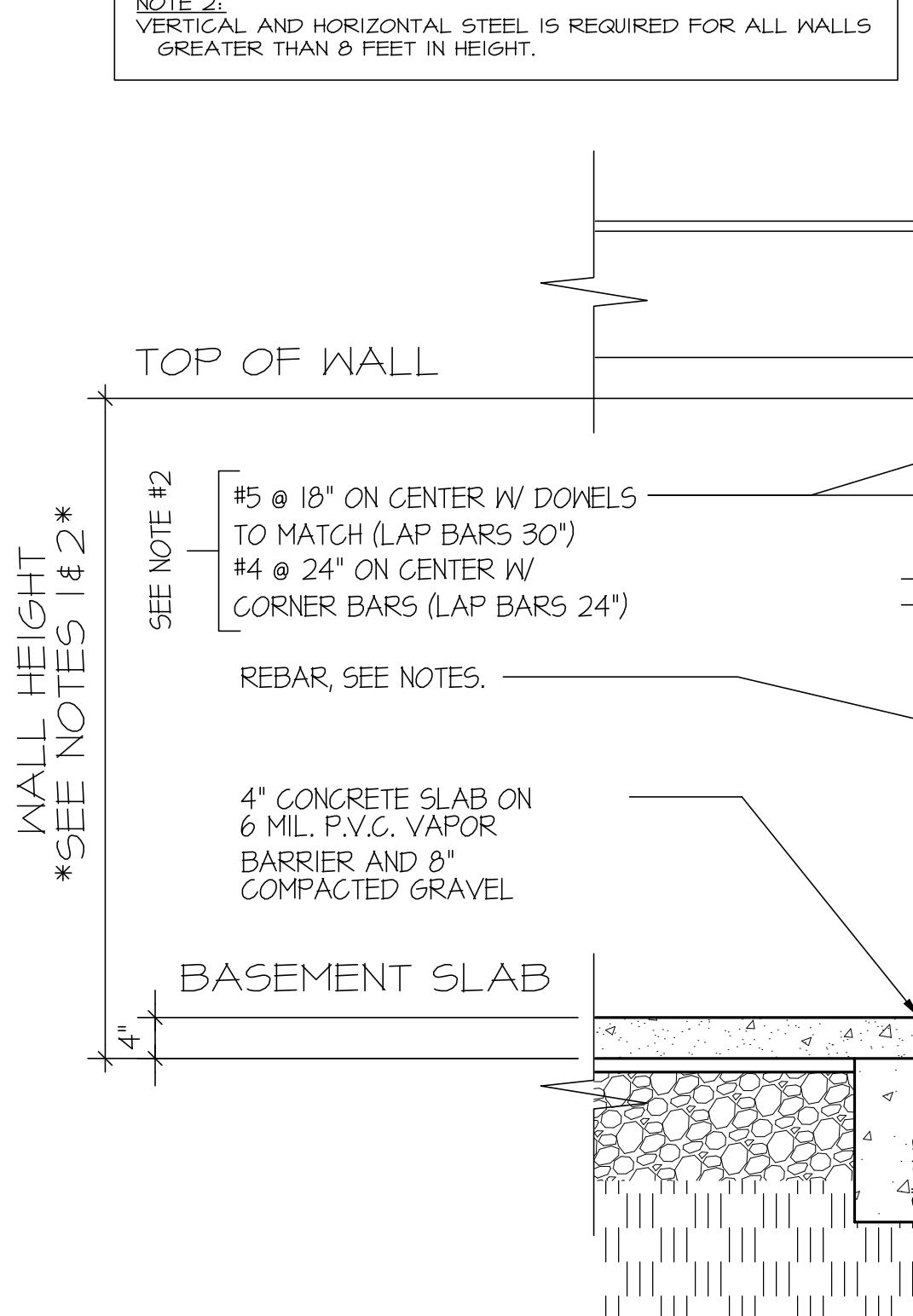


④ SIMPSON STRAP TIE DETAIL
N.T.S.

A FOUNDATION WALL IS CONSIDERED UNSUPPORTED WHEN THE FIRST FLOOR FRAMING DOES NOT BEAR DIRECTLY ON THE TOP OF THE FOUNDATION.

NOTE 1:
WALL REINFORCING SHALL FOLLOW THE MINIMAL REQUIREMENTS FOR UNSUPPORTED WALLS.
A. FOR FOUNDATION WALLS LESS THAN OR EQUAL TO 8'-0", USE ONE #4 BAR WITHIN 12" OF THE TOP OF THE WALL AND ONE #4 BAR NEAR THE MID-HEIGHT OF THE WALL.
B. FOR FOUNDATION WALLS GREATER THAN 8'-0", USE ONE #4 BAR WITHIN 12" OF THE TOP AND ONE #4 BAR NEAR THE THIRD POINT IN THE WALL.

NOTE 2:
VERTICAL AND HORIZONTAL STEEL IS REQUIRED FOR ALL WALLS GREATER THAN 8 FEET IN HEIGHT.



⑤ TYPICAL FOUNDATION WALL REINFORCING
1'-0"-0"

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DATE DESC.
A 5-11-18 INIT PLANS & FAR CALC

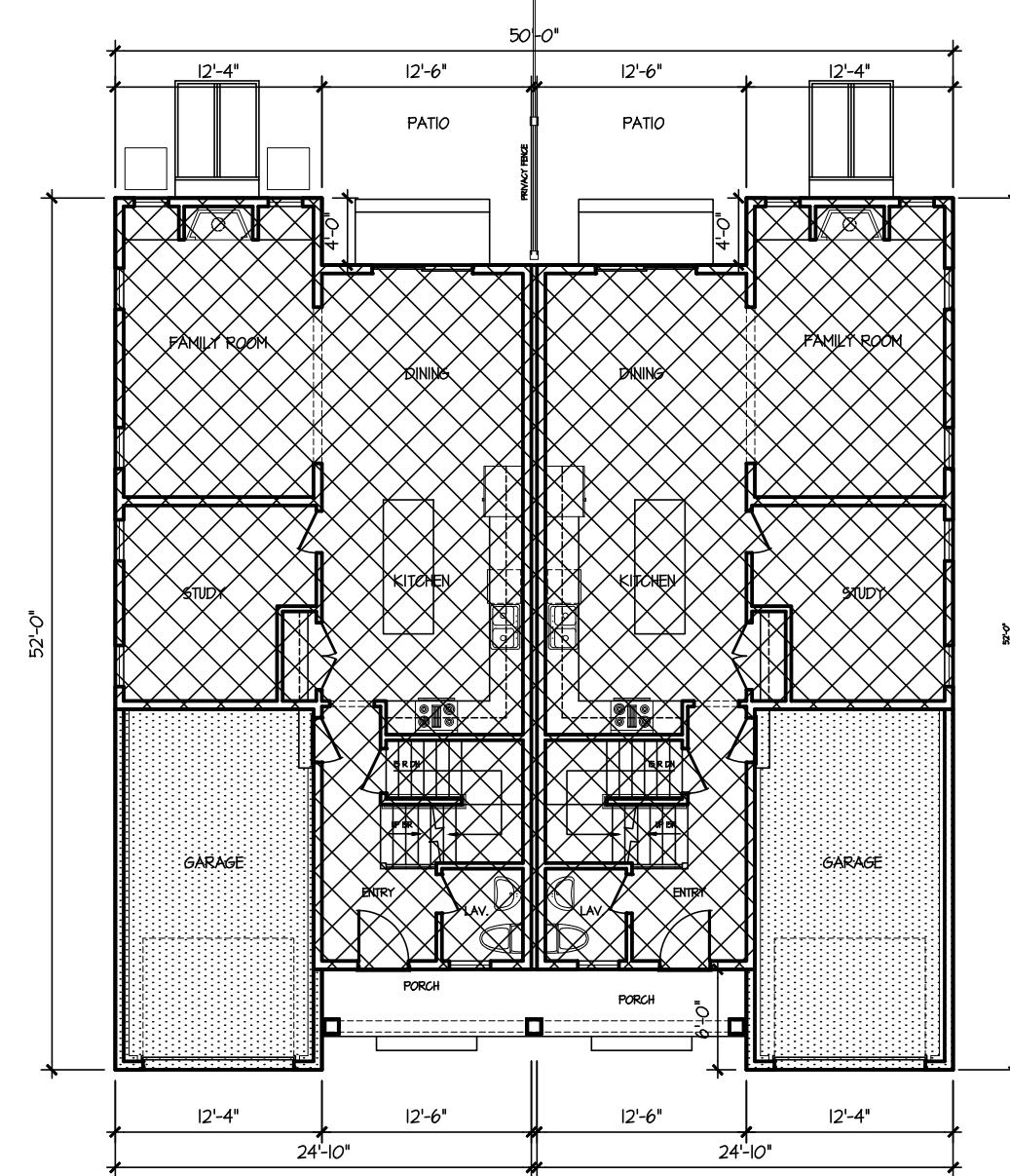
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F.A.R. ANALYSIS
CONSTRUCTION BY:
TNT BUILDING CORP.
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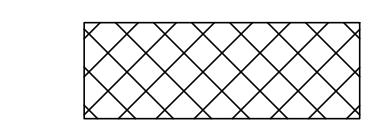
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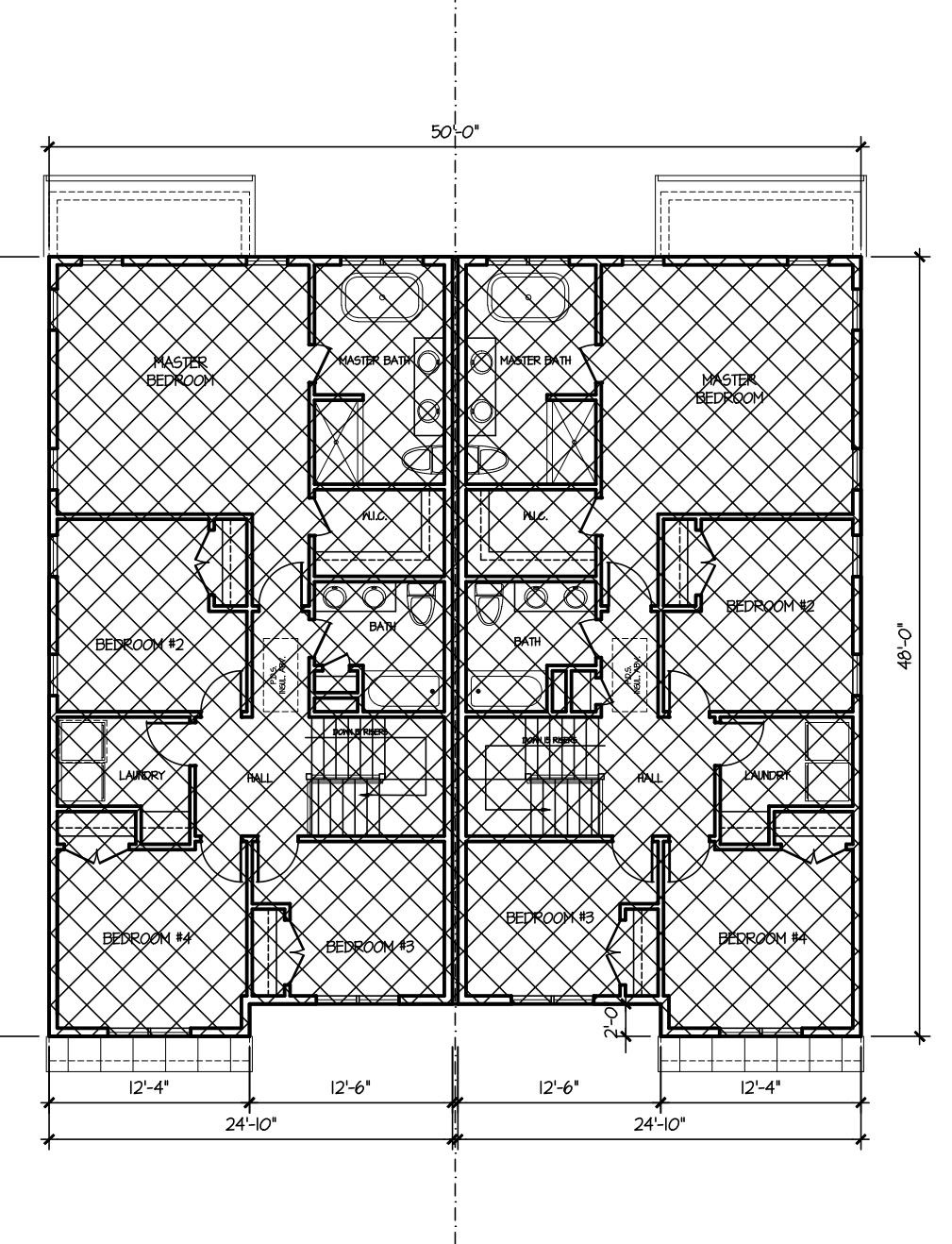
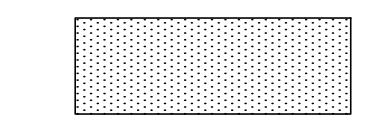
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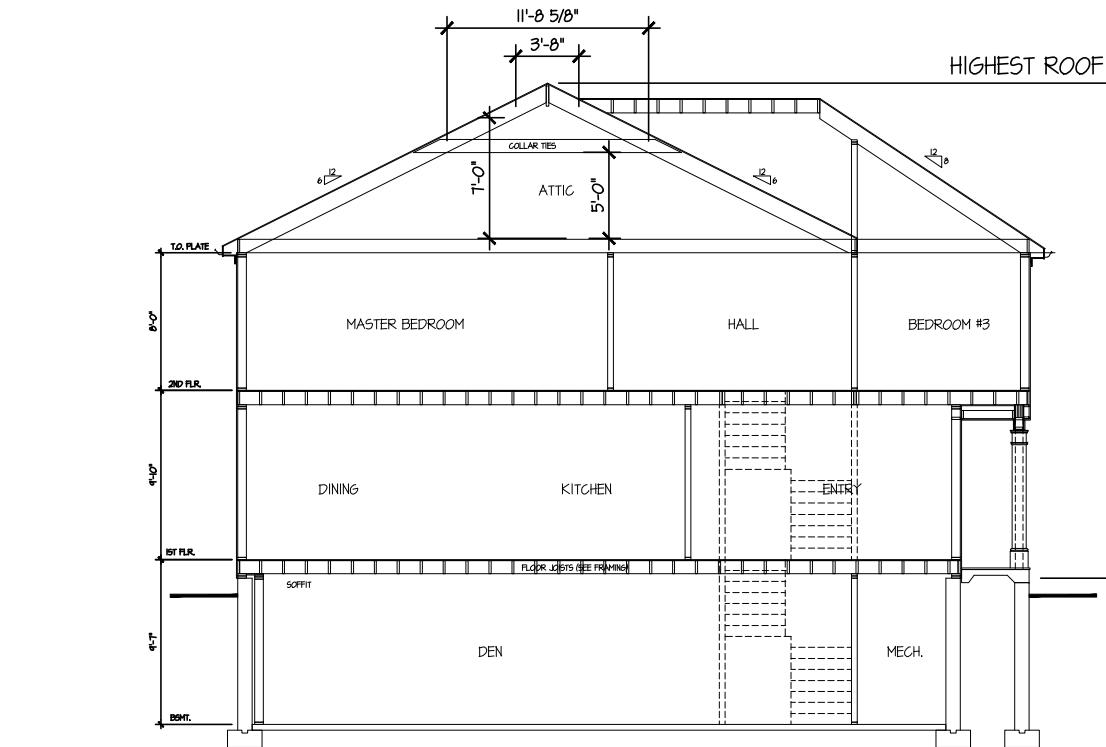
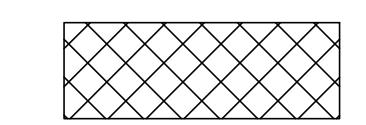
Gross Floor Area
1st FL = 1,832 SF



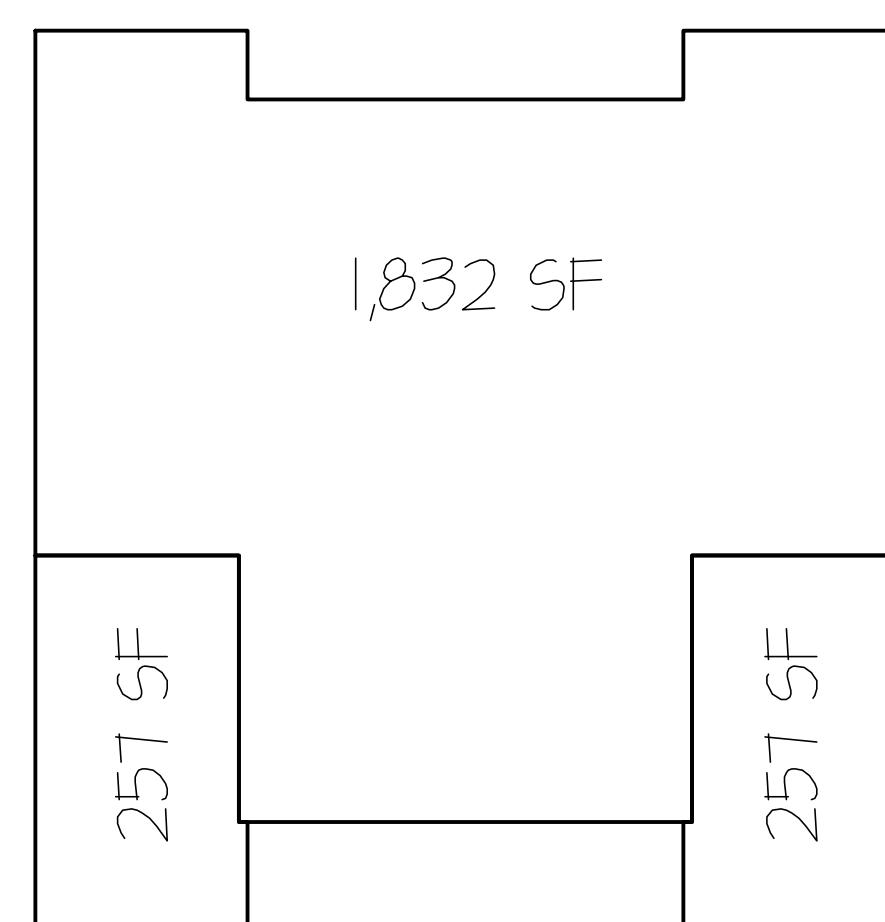
Gross Floor Area
Garage = 515 SF



Gross Floor Area
2nd Floor = 2,350 SF



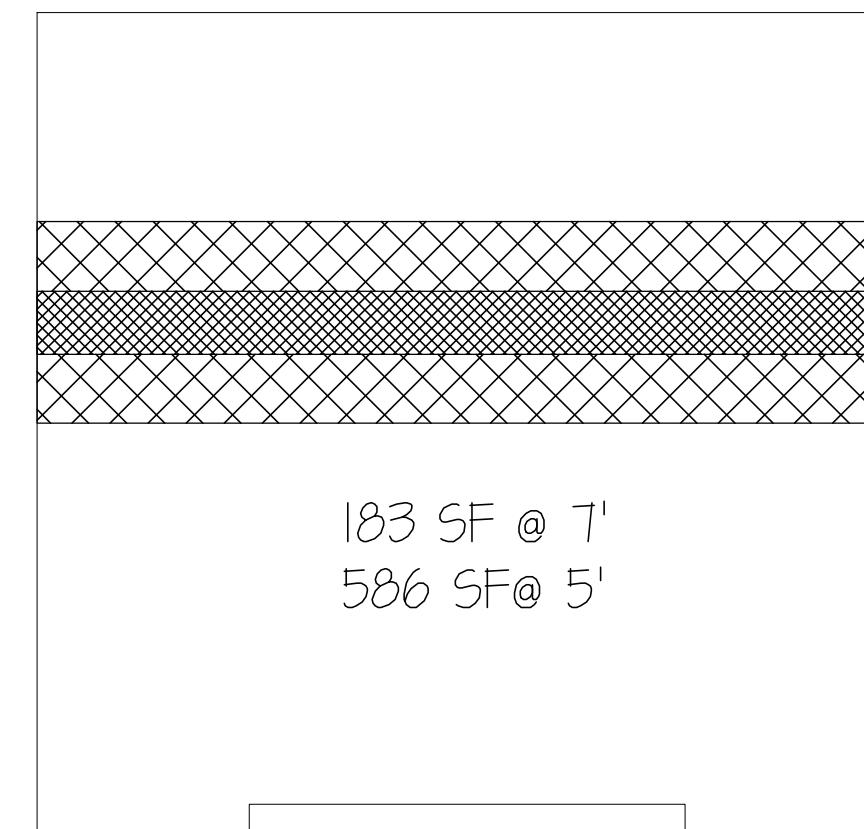
* Note: REFER TO FINAL SITE PLAN PREPARED BY FIELD RESOURCES FOR OVERALL BUILDING HEIGHT FROM AVERAGE GRADE PLANE. AVERAGE GRADE PLANE CALCULATED BY CIVIL ENGINEER.



1,832 SF



2,350 SF FAR



183 SF @ 7'
586 SF @ 5'

183 SF / 586 SF = .312 * 100 = 31.2%
SINCE THE AREA OF THE ATTIC AT 7' IS LESS
THAN 50% OF THE AREA OF THE ATTIC AT 5',
THE ATTIC DOES NOT NEED TO BE COUNTED TOWARDS
THE FAR.

LOT INFORMATION

Lot Zone MR-I*
Lot Area 9,920 sf +/-*
Max. Allowed FAR .48**
Max. Gross Floor Area Allowed 4,761.6 sf**

* Note: LOT AREA, ZONE ETC., WAS TRANSFERRED
FROM DRAWINGS PREPARED BY;
Field Resources, dated 04/04/18

** Note: MAXIMUM ALLOWABLES TRANSFERRED FROM
CIYD OF NEWTON'S 'FAR' CALCULATOR

PROPOSED GROSS FLOOR AREA INFORMATION

Gross Floor Area 1st Floor	1,832 sf
Gross Floor Area Garage	515 sf
Gross Floor Area 2nd Floor	2,350 sf
Mass Below 1st Story	0 *
Gross Floor Area Above the 2nd Story	0sf***

Total Proposed Gross Floor Area 4,697 sf

Total Proposed Gross Floor Area 4,697 sf

Lot Area 9,920 sf +/-*

= Proposed FAR .473

Proposed FAR .473 < Max. Allowed FAR .48

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