

Opacity Comparisons

The banner features the word "FESTIVAL" in a unique, abstract font. Each letter is formed by several black lines that overlap and loop around each other, creating a complex, textured appearance. The letters are arranged horizontally, with "F" on the far left, followed by "E", "S", "T", "F", "E", "S", "T", "V", "I", "L", "A", "P", "I", and "T" on the far right. The background is plain white.



OWNER / CLIENT:

ARCHITECT:

STRUCTURAL ENGINEER

CONTRACTOR:

FIRST COLONY DEV. LLC
929 POST ROAD EAST
MARLBOROUGH, MA 01752
TEL. (508) 481-6095
FAX (508) 460-0578

HPA DESIGN, INC.
200 STONEWALL BLVD.
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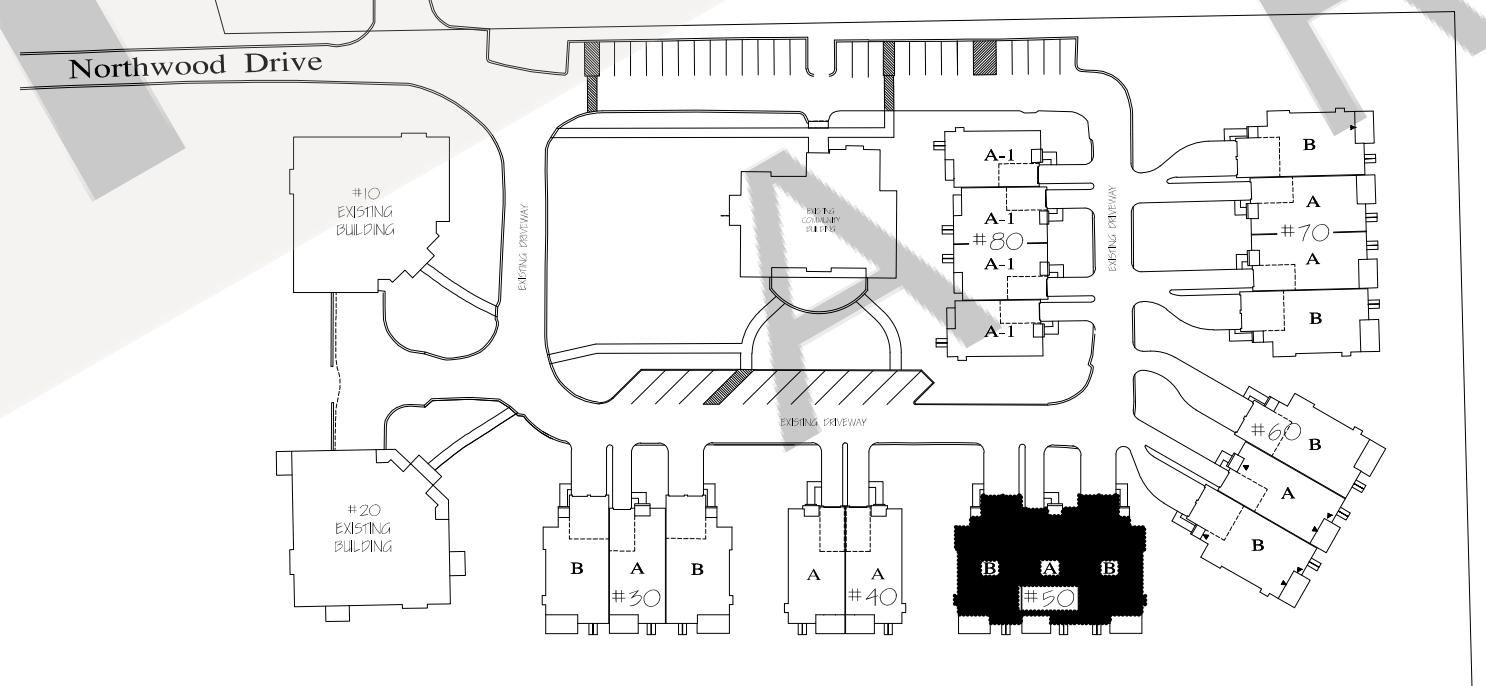
DWD ENGINEERING, INC.
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LOBISSEER BUILDING CORP.
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747
TEL. (508) 478-6235
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SCHEDULE OF DRAWINGS:

- 0.1 TITLE SHEET
 - 1.1 1ST FLOOR PLAN
 - 1.2 2ND FLOOR PLAN
 - 2.1 ELEVATIONS
 - 2.2 ELEVATIONS
 - 3.1 BUILDING SECTIONS
 - 3.2 BUILDING SECTIONS
 - 4.1 WALL SECTIONS
 - 4.2 AIR BARRIER NOTES & DETAILS
 - 5.1 DETAILS
 - .1 FOUNDATION PLAN
 - .2 1ST FLOOR FRAMING
 - .3 2ND FLOOR FRAMING
 - .4 CEILING FRAMING
 - .5 ROOF FRAMING
 - 2.1 DETAILS
 - 2.2 DETAILS

KEY PLAN



— STEELE —

**CONSTRUCTION BY:
FIRST COLONY DEY, LLC**

#50 NORTHWOOD DRIVE, NORTHWOOD TOWNHOUSE CONDOS, SUDBURY, MA

SHEET:

A.0.1

JOB NO. 20180101

FIRST COLONY DEVELOPMENT



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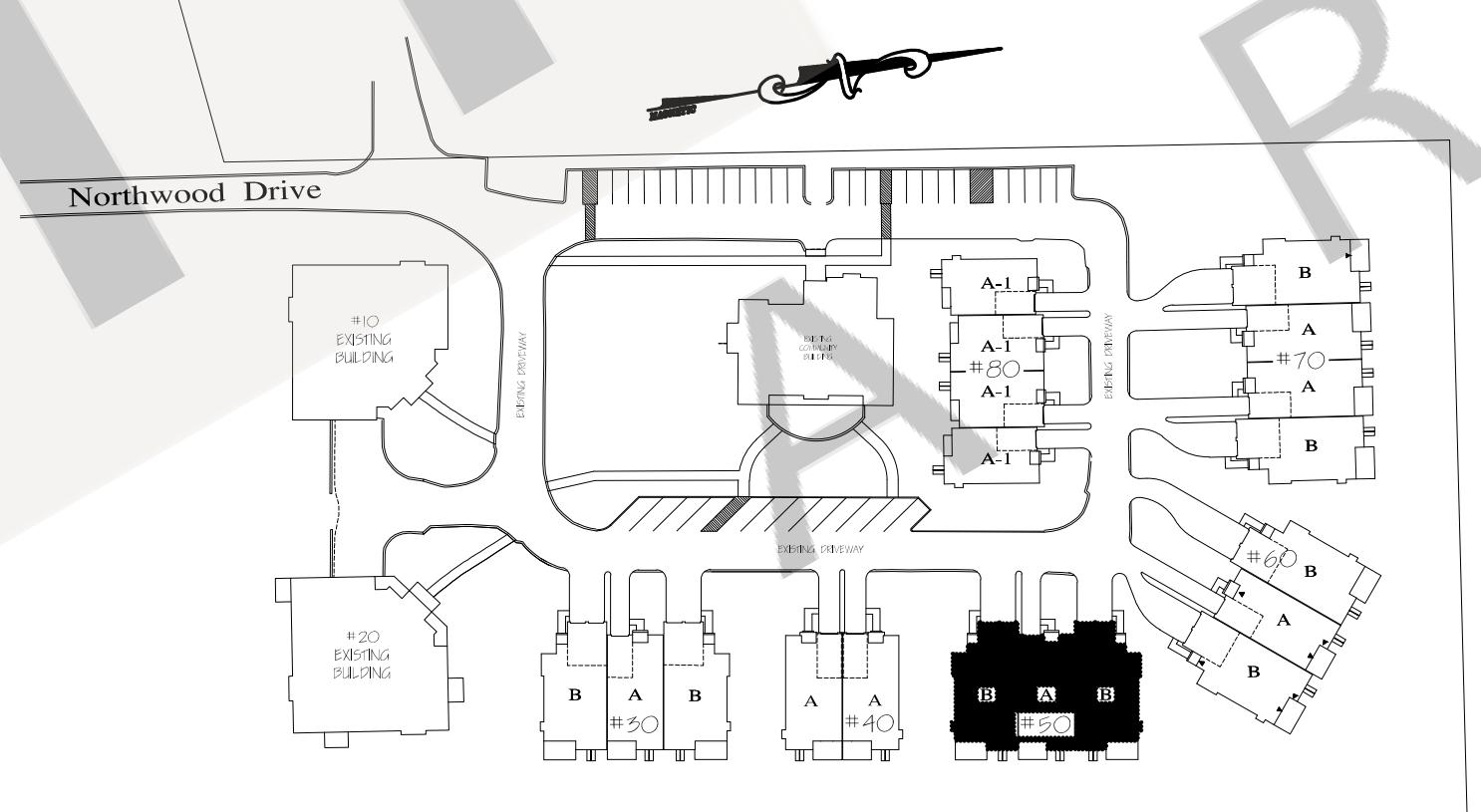
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GENERAL NOTES	
GENERAL	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (R10 EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONjunction WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHAP DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROCEEDING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE SITE CONDITIONS, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IF THIS IS INCONSISTENT WITH THE SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
DIMENSIONS	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF THAT OPENING FROM THE CENTER OF ANOTHER OPENING OR THE EXTERIOR FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES REFERS TO THE POSITION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSION AT STAIR REPRESENTS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. INTERIOR DIMENSION AT DOOR PLACES REFERS TO THE POSITION TO THE MIDDLE OF THE DOOR (UNLESS OTHERWISE NOTED).	
4. HEIGHTS ARE TO BE DEPICTED THE BUILDING HEIGHT, SHOWS THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST STAIRWAY TO THE ROOF. THE ROOF HEIGHT IS TO BE DEPICTED AS THE TOTAL HEIGHT OF THE ROOF FROM THE STAIRWAY TO THE ROOF. TO ENSURE COMPLIANCE WITH ZONING AND BUILDING CODE HEIGHT REQUIREMENTS.	
5. ALL OTHER DOORS THAT ARE NOT DIMENSHED ARE TYPICALLY 3'-0" TO 4'-0" DEPENDING ON THE CLOSET.	
6. CLOSET DOORS THAT ARE NOT DIMENSHED ARE TYPICALLY CENTERED WITHIN THE CLOSET.	
7. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING TYPE, UNLESS OTHERWISE NOTED.	
STAIRWAYS/DECKS	
1. STAIRWAYS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT. ALL PORCH ABOVE THE FINISHED HANDBALUST SHALL BE PROVIDED WITH A RAILING. THE MINIMUM CLEAR HEIGHT FROM THE FINISHED FLOOR TO THE CEILING DEPTH SHALL BE 6'-0" INCHES. NO DEEP TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10" AND A MAX. TREAD DEPTH OF 12". NO DEEP TREADS SHALL BE PROVIDED ON THE WIDEST SIDE OF THE STAIRWAY. NO SLOPED PLANE ADDING TO THE TREAD NOSE OR FROM THE FLOOR SURFACE OF A LANING OR PLATFOR.	
2. HANDRAILS SHALL BE PROVIDED AT THE TOP OF CONTINUOUS RUN OF TREADS OR FLIGHT OF STEPS. ALL HANDRAILS MUST BE ATTACHED TO THE STAIR Treads. ALL HANDRAILS MUST BE ATTACHED TO THE STAIR Treads. ALL OTHER RAILINGS, MUST BE CONFIRMED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
3. DEPOTING THE BUILDING HEIGHT, SHOWS THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST STAIRWAY TO THE ROOF. THE ROOF HEIGHT IS TO BE DEPICTED AS THE TOTAL HEIGHT OF THE ROOF FROM THE STAIRWAY TO THE ROOF. TO ENSURE COMPLIANCE WITH ZONING AND BUILDING CODE HEIGHT REQUIREMENTS.	
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MINIMUM ROOM REQUIREMENTS	
1. HABITABLE ROOMS, HALLWAYS, CORRIDORS, BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS AND BASEMENTS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN SEVEN (7) FEET MEASURED FROM THE FINISH FLOOR TO THE LOWEST PROJECTION FROM THE CEILING.	
EXCEPTIONS:	
1. BEAMS AND GIRDERS SPACED NOT LESS THAN FOUR (4) FEET ON CENTER MAY PROJECT NOT MORE THAN SIX (6) INCHES BELOW THE REQUIRED CEILING HEIGHT.	
2. AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE SITE CONDITIONS, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT, PRIOR TO PROCEEDING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
3. NOT MORE THAN 50% OF THE REQUIRED FLOOR AREA OF A ROOM IS PERMITTED TO HAVE A SLOPED CEILING LESS THAN SEVEN (7) FEET IN HEIGHT IN ANY PORTION OF THE REQUIRED FLOOR AREA LESS THAN FIVE FEET IN LENGTH.	
4. BATHROOMS SHALL HAVE A MINIMUM CEILING HEIGHT OF SIX FEET EIGHT INCHES OVER THE FIXTURE AND AT THE SHOWERHEAD.	
5. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
ROOFING AND Siding	
1. PROVIDE CONTINUOUS 6'-0" INCH FIBERGLASS REINFORCED, BITUMEN, ICE AND WATER SHIELD AT ALL ROOF EDGES CENTERED IN ALL VALLEYS AND AT ROOF HALL INTERSECTIONS CARRIED 1'-0" UP THE WALL/FEE TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.	
2. PROVIDE ALUMINUM FLASHING OVER ALL WINDOW AND DOORS HEAD TRIM AND AT THE CONNECTION BETWEEN ALL EXTERIOR WALLS AND ROOF/ROOFING INTERSECTIONS.	
3. PROVIDE ALUMINUM FLASHING OVER ALL WINDOW AND DOORS HEAD TRIM AND AT THE CONNECTION BETWEEN ALL EXTERIOR WALLS AND ROOF/ROOFING INTERSECTIONS.	
4. PROVIDE CONTINUOUS VENTED DRIP EDGE AT ALL SOFFIT OVERHANGS.	
5. PROVIDE ALUMINUM FLASHING OVER ALL ROOF SHANKLES UNLESS SPECIFIED OTHERWISE.	
6. PROVIDE CONTINUOUS RIDGE VENTS (UNLESS SPECIFIED AS OTHERWISE). SEE BUILDING EXTENT.	
7. ALL GUTTERS AND DOWNSPOUTS TO BE PREFINISHED ALUM. COLOR TO BE SELECTED BY OWNER.	
8. LIGHTING/VENTILATION AND INSULATION.	
9. ALL HABITABLE ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING OF NOT LESS THAN 28% OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, LOUVRES OR OTHER APPLIED OPENINGS TO THE OUTDOOR AIR. THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA OF SUCH ROOMS.	
EXCEPTIONS:	
1. THE GLAZED AREA SHALL NOT BE OPENABLE WHERE THE OPENING IS NOT A REQUIRED TO BE AN EMERGENCY ESCAPE AND RESCUE OPENING AND AN APPROVED MECHANICAL VENTILATION SYSTEM IS PROVIDED CAPABLE OF PRODUCING 0.5 CFM OF EXHAUST AIR PER HOUR IN THE ROOM OR A ONE-HOUSE MECHANICAL VENTILATION SYSTEM IS PROVIDED CAPABLE OF PRODUCING 0.5 CFM OF EXHAUST AIR PER OCCUPANT PER 10' FOR THE FIRST BEDROOM AND ONE FOR EVERY ADDITIONAL BEDROOM.	
2. THE GLAZED AREA SHALL NOT BE PROVIDED IN ROOMS WHERE THE ABOVE EXCEPTION IS MET AND ARTIFICIAL LIGHTING IS PROVIDED CAPABLE OF PROVIDING AN AVERAGE ILLUMINATION OF SIX FOOTCANDLES OVER THE AREA OF THE GLAZED AREA.	
3. THE GLAZED AREA SHALL NOT BE PROVIDED IN ROOMS WHERE THE ABOVE EXCEPTION IS NOT MET AND ARTIFICIAL LIGHTING IS PROVIDED CAPABLE OF PROVIDING AN AVERAGE ILLUMINATION OF SIX FOOTCANDLES OVER THE AREA OF THE GLAZED AREA.	
4. ATTIC VENTILATION WITH A CELING VAPOR BARRIER. PROVIDE AT LEAST ONE (1) SQUARE FOOT OF FREE AREA FOR EACH THREE HUNDRED (300) SQUARE FOOT OF CEILING AREA.	
5. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE A MOISTURE BARRIER AND PROPERLY INSULATE ALL WALLS AND CEILINGS. PROVIDE A MOISTURE BARRIER AND PROPERLY INSULATE ALL WALLS AND CEILINGS.	
6. IF MECHANICAL ELECTRICAL OR PLUMBING EQUIPMENT IS TO BE PLACED IN ATTICS, DUES OVERHANGS AND OTHER UNCONDITIONED UNQUALIFIED SPACES, THE CONTRACTOR IS RESPONSIBLE TO PROVIDE A PROPER ENCLOSURE, INSULATION, DUCT VENTILATION, ETC., TO AVOID MOISTURE, CONDENSATION, THAW, ICE DAMMING, AND OTHER SIMILAR ISSUES.	
PLUMBING	
1. ALL SANITARY LINES WITHIN WALLS AND FLOORS ADJOINING LIVING SPACES ARE TO BE SOUND INSULATED.	
2. ALL SANITARY LINES WITHIN WALLS AND FLOORS ADJOINING LIVING SPACES ARE TO BE INSULATED AND TO THE WARM SIDE OF THE GROUT JACKET TO AVOID FREEZING.	
3. COMBINATION SMOKE AND CARBON MONOXIDE ALARMS ARE ACCEPTABLE PROVIDED SUCH ALARMS HAVE SEPARATE SENSORS FOR SMOKE AND CARBON MONOXIDE.	
4. FIRE DEPARTMENTS ARE REQUIRED TO BE PERMANENTLY WIRED TO AN AC PRIMARY POWER SOURCE AND SHALL HAVE SECUNDARY STANDBY POWER SUPPLIED FROM CONTINUED BATTERIES.	
5. MORE THAN ONE SMOKE DETECTOR IS REQUIRED. ALL REQUIRED DETECTORS SHALL BE INSTALLED SO THAT THE ACTIVATION OF ANY DETECTOR SHALL CAUSE THE ALARM IN ALL REQUIRED SMOKE DETECTORS IN THE DWELLING UNLESS TO SOUND 85 DBA AT 10 FEET, 15% IN BEDROOMS.	
6. SMOKE DETECTORS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: a) IN EACH SLEEPING QUARTER; b) IN EACH BATHROOM; c) IN EACH KITCHEN; d) IN EACH DRYING AREA; e) IN EACH DRYING AREA;	
7. PHOTO ELECTRIC SMOKE DETECTORS ARE REQUIRED IF LOCATED WITHIN 15 FEET OF A KITCHEN OR BATHROOM.	
8. WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED TO AN EXISTING DWELLING, THE ENTIRE BUILDING SHALL BE PROVIDED WITH SMOKE DETECTORS DESIGNED AND LOCATED AS REQUIRED FOR NEW DWELLINGS.	
9. CARBON MONOXIDE ALARMS/DETECTORS	
1. ALL ONE AND TWO FAMILY DWELLINGS SHALL BE EQUIPPED WITH A HOUSEHOLD CARBON MONOXIDE WARNING SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS AND THE CONTRACTOR'S CONTRACT.	
2. CARBON MONOXIDE DETECTORS SHALL BE LOCATED ON EVERY LEVEL OF THE DWELLING UNIT INCLUDING BASEMENTS AND CELLS (NOT INCLUDING CRAWL SPACES AND UNINHABITED ATTICS).	
3. ALL ALARM-SOUNDING APPLIANCES SHALL HAVE A MINIMUM RATING OF 85 DBA AT 10 FEET.	
4. HEAT DETECTORS SHALL BE INSTALLED IN ANY INTERNAL OR ATTACHED GARAGE TO THE MAIN HOUSE.	
5. A NEW ADDITION ATTACHED GARAGE TO AN EXISTING DWELLING INSTALLED IN ACCORDANCE WITH THE CONTRACTOR'S CONTRACT AND THE CONTRACTOR'S CONTRACT.	
6. EXISTING DWELLINGS THAT HAVE BEEN MODIFIED TO BE ATTACHED TO THE MAIN HOUSE SHALL BE CONSIDERED AS AN ADDITION IF THE EXISTING DWELLING IS NOT COMPATIBLE WITH THE GARAGE HEAT DETECTOR.	
7. FOR A DWELLING UNIT ATTACHED TO THE MAIN HOUSE, THE GARAGE HEAT DETECTOR SHALL BE CONNECTED TO A SMOKE OR A COMPATIBLE HEAT DETECTOR CONTAINING A SOUNDED DEVICE LOCATED IN THE DWELLING UNIT.	
8. FOR A DWELLING UNIT ATTACHED TO THE MAIN HOUSE, THE GARAGE HEAT DETECTOR SHALL BE LOCATED ON OR NEAR THE CENTER OF THE GARAGE CEILING. FOR VALETIZED/GLOVED CEILINGS, THE DETECTOR SHALL BE PLACED IN THE APPROXIMATE CENTER OF THE CEILING.	
9. THE REQUIRED HEAT DETECTOR SHALL BE LISTED FOR AND REQUIRED TO BE INTERCONNECTED TO ALL SMOKE DETECTORS.	
10. THE REQUIRED HEAT DETECTOR SHALL BE LISTED FOR AND REQUIRED TO BE INTERCONNECTED TO ALL SMOKE DETECTORS.	
11. A SMOKE ALARM SHALL BE PROVIDED IN THE DWELLING UNIT ATTACHED TO THE MAIN HOUSE.	
12. THE 3-UNIT TOWNHOUSE HAS AN AGGREGATE AREA OF 1/2120 SF AND SHALL BE DESIGNED WITH A MINIMUM NFPA 1 SYSTEM.	
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HPA Design, Inc. ARCHITECTS	
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CONSTRUCTION BY: FIRST COLONY DEV. LLC #50 NORTHWOOD DRIVE, NORTHWOOD TOWNSHIP CONDOS, SUDBURY, MA	
TITLE SHEET	
JOB NO. 20180101	
SHEET: A0.1	

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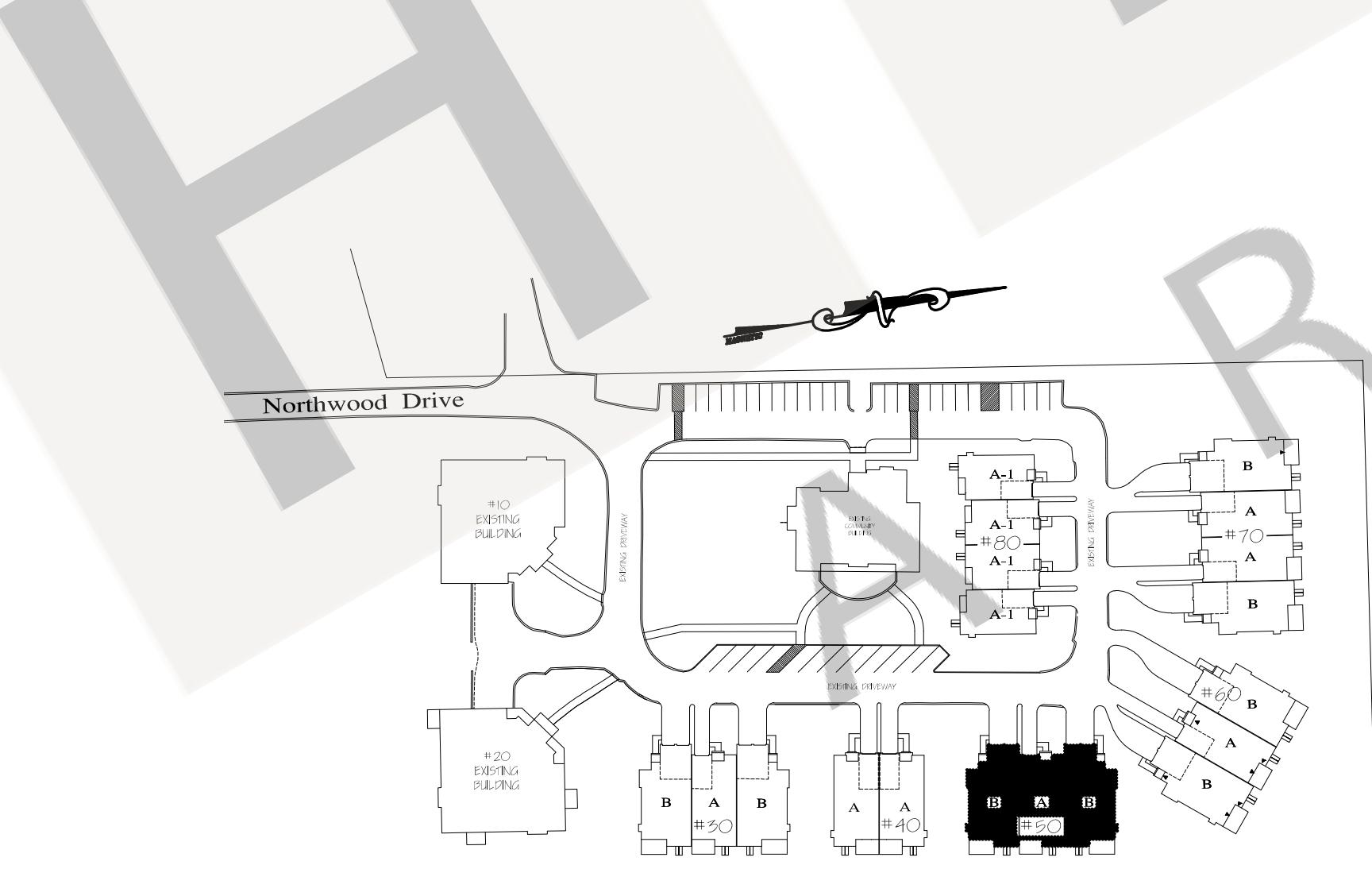
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— STEELE —

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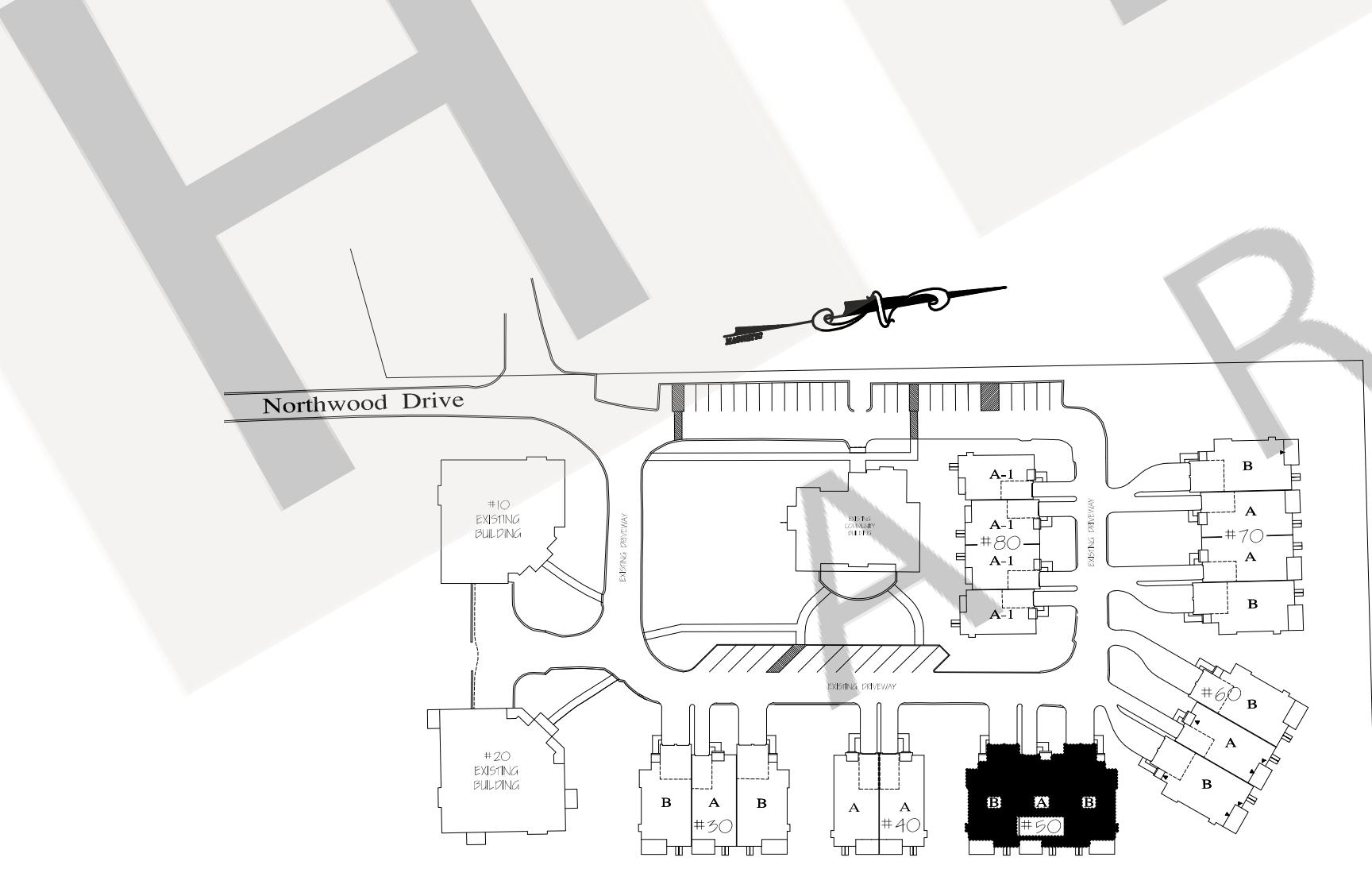
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FIRST COLONY DEVELOPMENT



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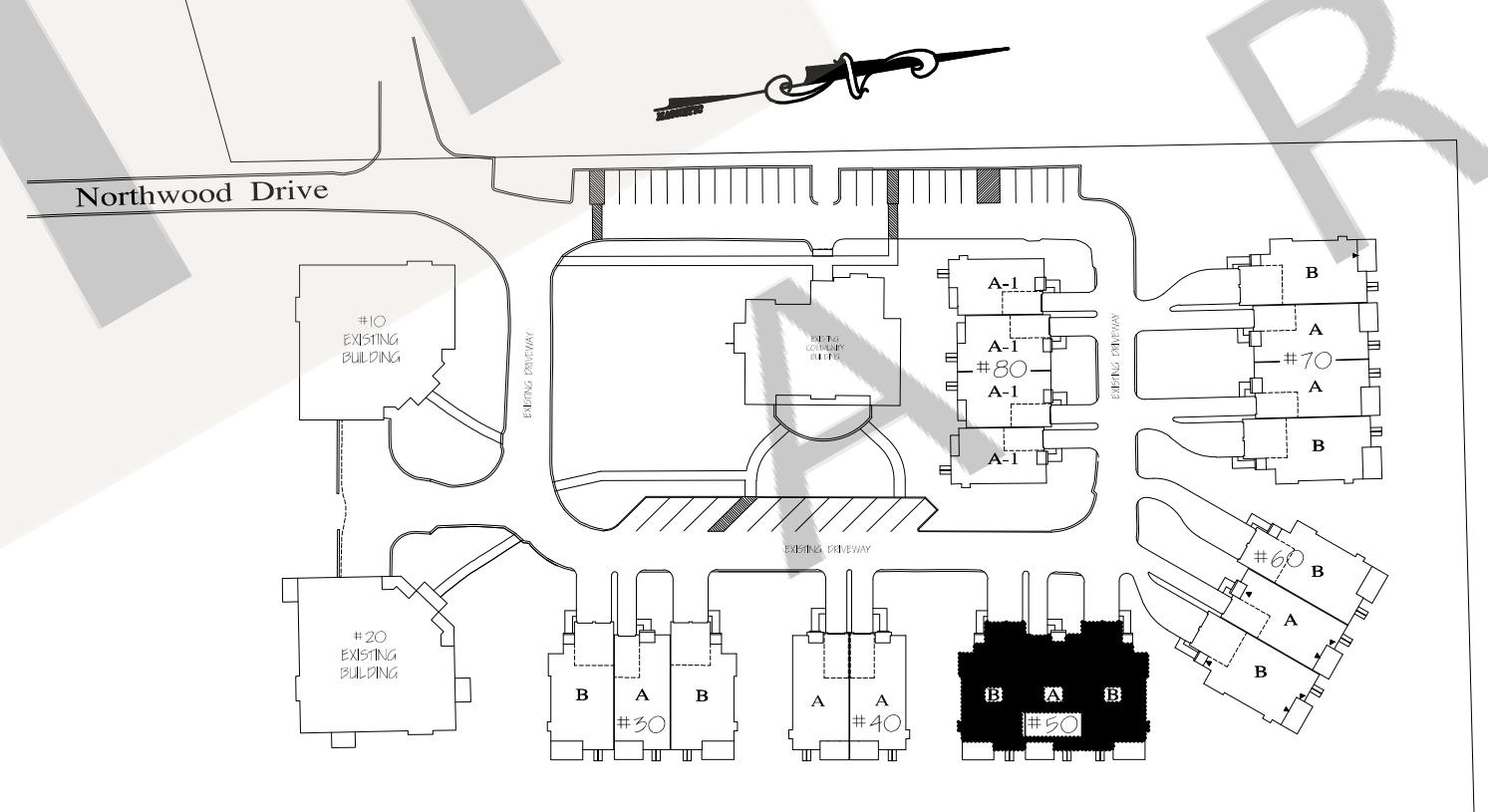
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4. EXTERIOR ATTICS AND SPACES LOCATED WITHIN 12" INCHES OF THE FLOOR SHALL BE PROVIDED WITH A 36"-0" INCHES MINIMUM CLEARANCE FROM THE FLOOR TO THE SILL. THE CLEARANCE SHALL BE 36"-0" INCHES AND THE HORIZONTAL PROJECTION OF 36"-0" INCHES HOLLOW SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING PROVIDED PROVIDED THAT THE ATTACHED GARAGE IS ALSO PROVIDED WITH A 36"-0" INCHES MINIMUM CLEARANCE FROM THE FLOOR TO THE SILL.	
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SPRINKLERS:	
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# DATE DESC.	
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DATE: AUGUST 1, 2016
DRAWN BY: RWB
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CHECKED BY: HPA
PATH: 20180101_FIRST COLONY DEV
20180101LCDs
SCALE: SEE DRAWING
REVISIONS:
DATE DESC.
O ISSUED FOR CONSTRUCTION

HPA Design, Inc.
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TITLE SHEET
FIRST COLONY DEV. LLC
CONSTRUCTION BY:
#50 NORTHWOOD DRIVE, NORTHWOOD TOWNSHIP CONDO'S, SUDBURY, MA

SHEET:
A0.1
JOB NO. 20180101

The banner features the word "FESTIVAL" in a unique, abstract font. Each letter is formed by several black lines that overlap and loop around each other, creating a complex, textured appearance. The letters are arranged horizontally, with "F" on the far left, followed by "E", "S", "T", "F", "E", "S", "T", "V", "I", "L", "A", "P", "I", and "T" on the far right. The background is plain white.



OWNER / CLIENT:

ARCHITECT:

STRUCTURAL ENGINEER

CONTRACTOR:

FIRST COLONY DEV. LLC
929 POST ROAD EAST
MARLBOROUGH, MA 01752
TEL. (508) 481-6095
FAX (508) 460-0578

HPA DESIGN, INC.
200 STONEWALL BLVD.
SUITE 5
WRENTHAM, MA 02093
TEL. (508) 384-8838
FAX (508) 384-0483

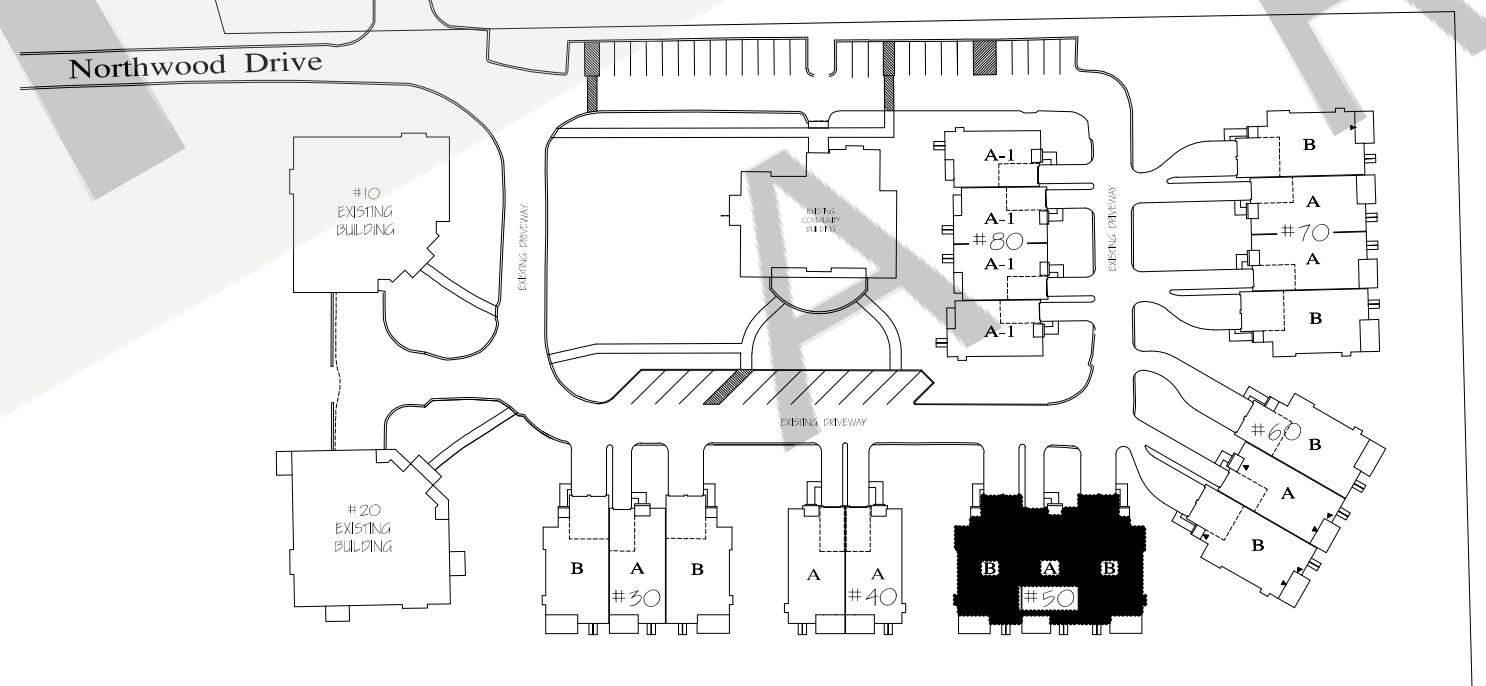
DWD ENGINEERING, INC.
5 MICHAEL RD.
EAST BRIDGEWATER
TEL. (508) 378-9602
FAX. (508) 378-2922

LOBISSEER BUILDING CORP.
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747
TEL. (508) 478-6235
FAX (508) 473-0794

SCHEDULE OF DRAWINGS:

- 0.1 TITLE SHEET
 - 1.1 1ST FLOOR PLAN
 - 1.2 2ND FLOOR PLAN
 - 2.1 ELEVATIONS
 - 2.2 ELEVATIONS
 - 3.1 BUILDING SECTIONS
 - 3.2 BUILDING SECTIONS
 - 4.1 WALL SECTIONS
 - 4.2 AIR BARRIER NOTES & DETAILS
 - 5.1 DETAILS
 - .1 FOUNDATION PLAN
 - .2 1ST FLOOR FRAMING
 - .3 2ND FLOOR FRAMING
 - .4 CEILING FRAMING
 - .5 ROOF FRAMING
 - 2.1 DETAILS
 - 2.2 DETAILS

KEY PLAN



— SEE —

**CONSTRUCTION BY:
FIRST COLONY DEY, LLC**

#50 NORTHWOOD DRIVE, NORTHWOOD TOWNHOUSE CONDOS, SUDBURY, MA

SHEET:

A.0.1

JOB NO. 20180101

FIRST COLONY DEVELOPMENT



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929 POST ROAD EAST
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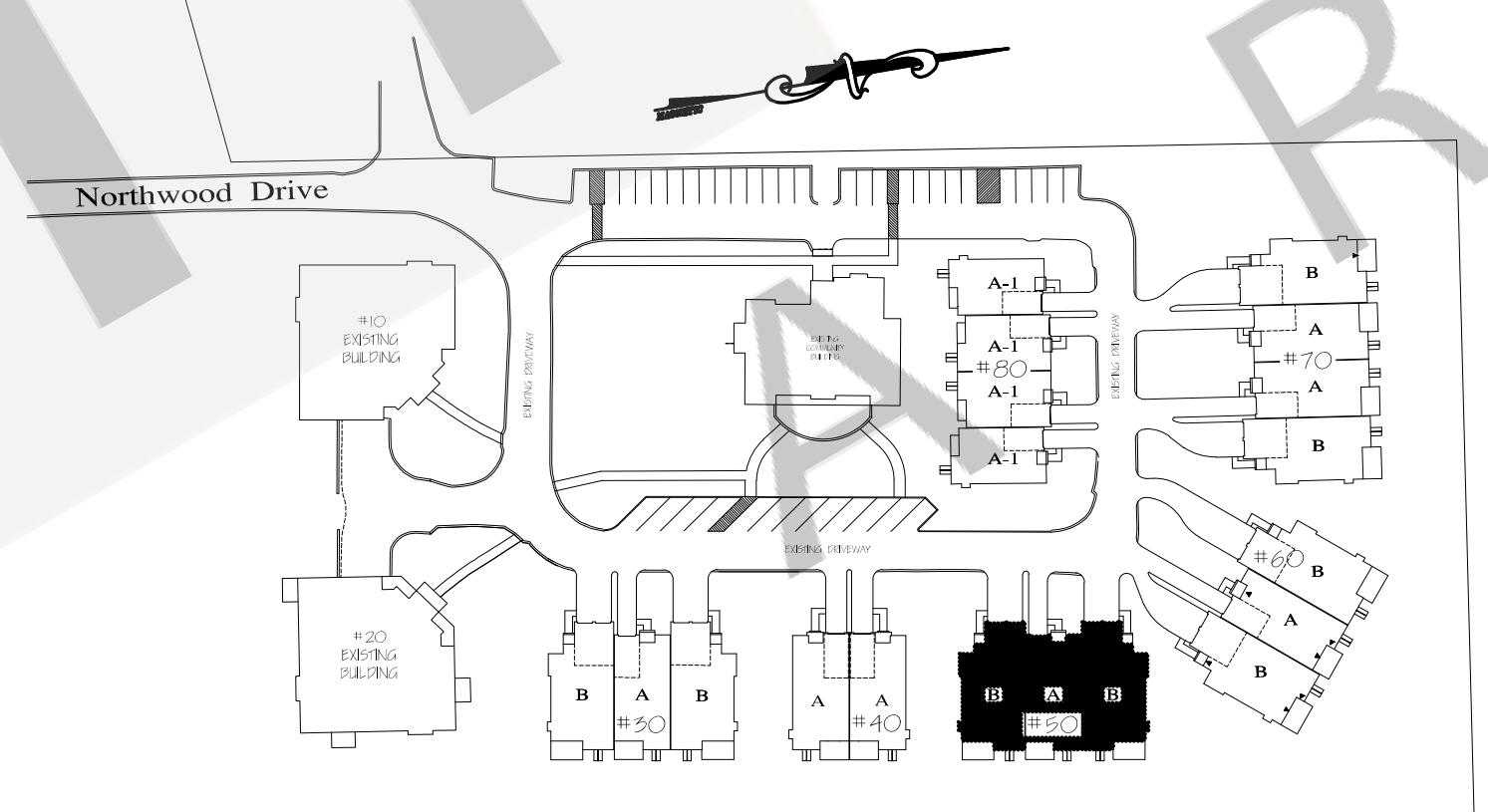
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- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
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- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTE	
GENERAL	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (RTH EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE SITE CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
DIMENSIONS	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
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