

# Opacity Comparisons

# FIRST COLONY DEVELOPMENT



OWNER / CLIENT:

FIRST COLONY DEV. LLC  
929 POST ROAD EAST  
MARLBOROUGH, MA 01752  
TEL. (508) 481-6095  
FAX (508) 460-0578

ARCHITECT:

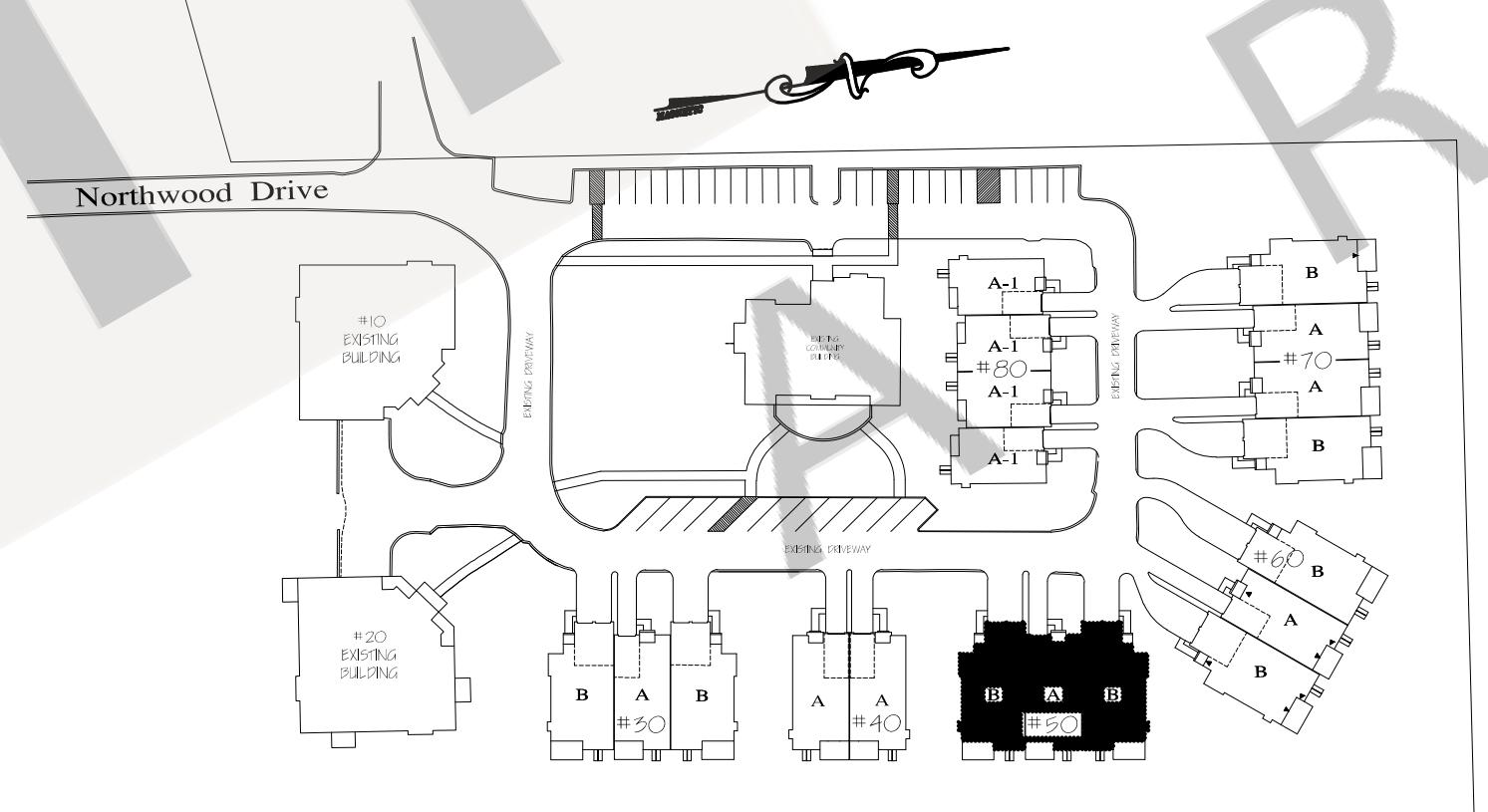
HPA DESIGN, INC.  
200 STONEWALL BLVD.  
SUITE 5  
WRENTHAM, MA 02093  
TEL. (508) 384-8838  
FAX (508) 384-0483

STRUCTURAL ENGINEER

DWD ENGINEERING, INC.  
5 MICHAEL RD.  
EAST BRIDGEWATER  
TEL. (508) 378-9602  
FAX (508) 378-2922

CONTRACTOR:

LOBISSEUR BUILDING CORP.  
1 CHARLESVIEW ROAD  
HOPEDALE, MA 01747  
TEL. (508) 478-6235  
FAX (508) 473-0794



KEY PLAN

## SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
- S1.3 2ND FLOOR FRAMING
- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
<b>GENERAL</b>	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (RTH EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
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5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
<b>DIMENSIONS</b>	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES A DIMENSION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSIONING AT STAIR REPRESENDS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. ALL DOORS ARE TO BE CENTERED ON THE OPENING AND SHALL BE PLACED IN THE CENTER OF THE DOOR.	
4. HEIGHTS ARE TO BE CENTERED ON THE OPENING AND REFLECT THE TOTAL HEIGHT OF THE DOOR.	
5. DOORS ARE TO BE CENTERED ON THE OPENING AND REFLECT THE TOTAL HEIGHT OF THE DOOR.	
6. DOORS THAT ARE NOT CENTERED ARE TYPICALLY 4'-0" TO 4'-6" DEPENDING ON THE DOOR TYPE.	
7. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
<b>STAIRWAYS/DECKS</b>	
1. STAIRWAYS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT. IN ALL PORTIONS ABOVE THE FINISHED HANRAL RAILING, THE CLEAR HEIGHT FROM THE FINISHED FLOOR TO THE CEILING SHALL BE 6'-0". MINIMUM DEPTH SHALL BE 18"-0" AND MAXIMUM DEPTH SHALL NOT EXCEED 1'-0". UNDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10"-0". DECKS SHALL BE 12"-0" DEEP AND SHALL BE PLACED IN A SLOPED PLANE ADJUSTING THE TREAD NOSE OR FROM THE FLOOR SURFACE OF A LANING OR PLATFOR.	
2. HANDRAILS SHALL BE PROVIDED AT THE TOP OF CONTINUOUS RUNS OF STAIRS OR FLIGHTS OF STEPS. ALL HANDRAILS MUST BE PLACED IN THE CENTER OF THE STAIRS OR FLIGHTS OF STEPS. ALL HANDRAILS MUST BE CENTERED ON THE OPENING AND REFLECT THE TOTAL HEIGHT OF THE STAIRS OR FLIGHTS OF STEPS. MINIMUM HEIGHT SHALL BE 34"-0" AND MAXIMUM NOT EXCEED 37"-0".	
3. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 36"-0" AND GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30"-0" OR LESS SHALL BE 34"-0". GUARDRAILS ON OPEN SIDES OF STAIRS SHALL NOT EXCEED 48"-0" IN LENGTH. RAILINGS AND FLOORS SHALL NOT EXCEED 4"-0" INCHES.	
4. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH A SIZE THAT A 5X 5 INCH (6" SPHERE) CANNOT PASS THROUGH. OPENINGS FOR REQUIRED GUARDRAILS ON THE SIDES OF STAIRS SHALL NOT ALLOW A SPHERE 4"-0" INCHES TO PASS THROUGH.	
5. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ISOLATED BASEMENT OR ATTIC STAIRS OR INSTEAD OF THE ISOLATED BASEMENT OR ATTIC STAIRS, AN ISOLATED DOOR SHALL BE PROVIDED AT THE BOTTOM OF ISOLATED BASEMENT STAIRS.	
6. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND UNDERSCAPE AND ESCAPE AND RESCUE OPENINGS. SEE BUILDING ELEVATION FOR EXTENT.	
7. AN ISOLATED DOOR THAT IS NOT CENTERED ARE TYPICALLY CENTERED WITHIN THE GLOSET.	
8. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
<b>EXCEPTIONS</b>	
1. STAIRWAYS, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS.	
2. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL BE PERMITTED TO HAVE A MIN. CLEAR OPENING OF 24"-0" X 30"-0" IN either DIRECTION.	
3. REQUIRED EXIT SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES.	
4. REQUIRED EXIT SHALL BE PROVIDED IN A HALLWAY OR STAIRSPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.	
5. EXITS FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36"-0" WITH A NOMINAL HEIGHT SMALL OF 72"-0". THE NOMINAL WIDTH OF THE OTHER EXIT DOOR SHALL BE NOT LESS THAN 30"-0" WITH A NOMINAL HEIGHT OF 72"-0".	
6. NOMINAL WIDTH OR HEIGHT IN INCHES IN NORMAL HEIGHT AND MAY BE SLIDING OR SIDE-HINGED. EXCEPT FOR DWELLING UNITS, IT IS PERMITTED PROVIDED THAT THE ATTACHED GARAGE IS ALSO PROVIDED WITH A 32"-0" EXIT DOOR.	
7. ALL OTHER EXTERIOR DOORS IN EXCESS OF THE REQUIRED EXIT DOORS ARE NOT REQUIRED TO COMPLY.	
8. ALL INTERIOR DOORS PROVIDING ACCESS TO HABITABLE ROOMS SHALL HAVE A NOMINAL WIDTH OF 30"-0" NOMINAL HEIGHT OF 72"-0".	
9. EXITS FROM DWELLING UNITS SHALL BE PROVIDED IN ACCORDANCE WITH SECTION R402.1.	
10. A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE POINT OF DRAFT LANDING, WHICH IS THE POINT OF DRAFT LANDING THAN THE DOOR SERVED AND HAVE A MINIMUM DIMENSION OF 36"-0" INCHES MEASURED IN THE DIRECTION OF TRAVEL.	
<b>SPRINKLERS</b>	
The 3-unit townhouse has an aggregate area of 1,210 SF and shall be designed with a minimum NFPA 13 system.	
<b>HEAT DETECTORS</b>	
1. ALL ONE AND TWO FAMILY SHALL BE EQUIPPED WITH A HOUSEHOLD FIRE ALARM SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS AND THE MANUFACTURER'S OWNERS MANUAL.	
2. HEAT DETECTORS ARE REQUIRED TO BE PERMANENTLY WIRED TO AN AC-Powered Power Source and Shall Have Secondary Standby Power Supplied from Unintended Batteries.	
3. WHERE MORE THAN ONE SPACE DETECTOR IS REQUIRED, ALL REQUIRED DETECTORS SHALL BE INSTALLED SO THAT THE ACTIVATION OF ANY DETECTOR SHALL CAUSE THE ALARM IN ALL REQUIRED SMOKE DETECTORS IN THE DWELLING UNIT TO SOUND 85 dB AT 10 FEET, 15% IN BEDROOMS.	
4. SMOKE DETECTORS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: a) IN EACH BEDROOM. b) IN EACH BATHROOM. c) IN EACH KITCHEN AND IN EACH DWELLING UNITS.	
5. PHOTO-ELECTRIC SMOKE DETECTORS ARE REQUIRED IF LOCATED WITHIN 15' OF A KITCHEN OR BATHROOM.	
6. WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED TO AN EXISTING DWELLING, THE ENTIRE BUILDING SHALL BE PROVIDED WITH SMOKE DETECTORS DESIGNED AND LOCATED AS REQUIRED FOR NEW DWELLINGS.	
<b>CARBON MONOXIDE ALARM/DETECTORS</b>	
1. ALL ONE AND TWO FAMILY DWELLINGS SHALL BE EQUIPPED WITH A HOUSEHOLD CARBON MONOXIDE WARNING SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS AND THE MANUFACTURER'S OWNERS MANUAL.	
2. CARBON MONOXIDE DETECTORS SHALL BE LOCATED ON EVERY LEVEL OF THE DWELLING UNIT INCLUDING BASEMENTS AND CELLS (NOT INCLUDING GRAN, SPACES AND UNINHABITED ATTICS).	
3. ALL ALARM-SOUNDING APPLIANCES SHALL HAVE A MINIMUM RATING OF 85 dB AT 10 FEET.	
<b>HEAT DETECTORS</b>	
1. HEAT DETECTORS SHALL BE INSTALLED IN ANY INTEGRAL OR ATTACHED GARAGE TO THE MAIN HOUSE. A NEW ADDITION ATTACHED GARAGE TO AN EXISTING DWELLING INSTALLED IN ACCORDANCE WITH THE EXISTING DWELLING UNITS SHALL BE PROVIDED WITH A COMPATIBLE HEAT DETECTOR. THE EXISTING DWELLING UNITS SHALL BE CONNECTED TO A CANISTER OR A COMPATIBLE HEAT DETECTOR CONTAINING A SOUNDBING DEVICE LOCATED IN THE GARAGE.	
2. FOR FLAT-FINISHED CEILINGS, THE DETECTOR SHALL BE LOCATED ON OR NEAR THE CENTER OF THE GARAGE CEILING. FOR VAULTED/GLOBED CEILINGS, THE DETECTOR SHALL BE PLACED IN THE APPROXIMATE CENTER OF THE CEILING.	
3. FOR THE REAR DWELLING UNITS, THE DETECTOR SHALL BE LISTED FOR AND REQUIRED TO BE INTERCONNECTED TO ALL SMOKE DETECTORS.	
4. THE REQUIRED HEAT DETECTOR SHALL BE LISTED FOR AND REQUIRED TO BE INTERCONNECTED TO ALL SMOKE DETECTORS.	
5. A REAR DWELLING UNITS SHALL HAVE THE SAME NUMBER OF SMOKE DETECTORS AS THE MAIN DWELLING UNITS.	
6. THE REQUIRED HEAT DETECTOR SHALL BE LISTED FOR AND REQUIRED TO BE INTERCONNECTED TO ALL SMOKE DETECTORS.	
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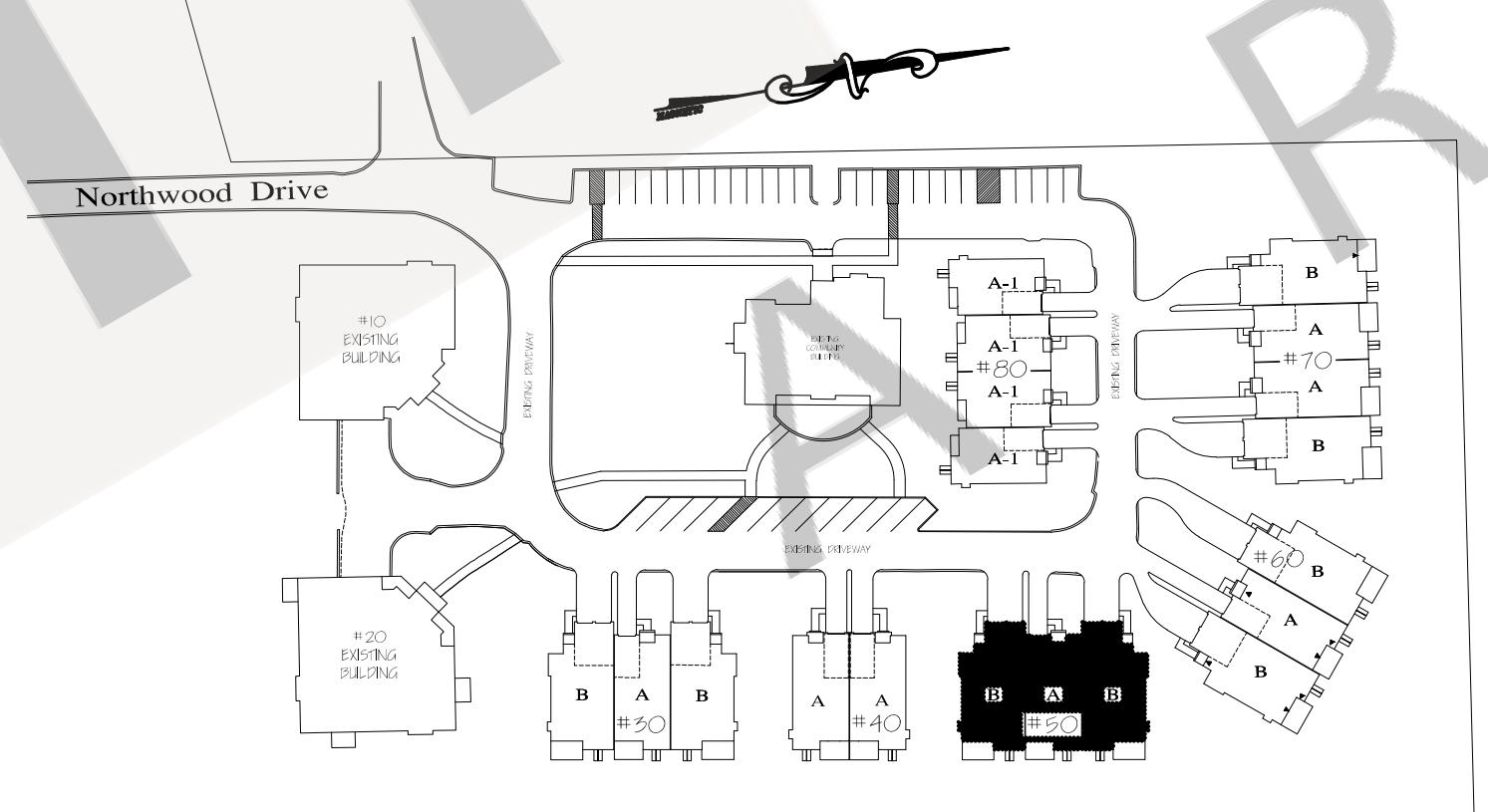
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3. INTERIOR DIMENSIONING AT DOORS REFERS TO THE CENTER LINE OF THE DOOR.	
4. DIMENSIONS DEPICTING THE BUILDING HEIGHT, SHOW THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS FOR THE BUILDING AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST STAIRWAY TO THE ROOF. THE CONTRACTOR SHALL PROVIDE THE EXACT ELEVATION OF THE ROOF AND ALL OTHER BUILDINGS, MUST BE CONFIRMED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
5. DIMENSIONS LOCATING CLOSETS, ETC., REFERS TO THE CENTER LINE OF THE OPENING.	
6. ALL DOWNTROPS SHALL HAVE AT LEAST ONE HABITABLE ROOM WITH A GROSS FLOOR AREA OF AT LEAST 150 SQUARE FEET.	
7. HABITABLE ROOMS SHALL HAVE A FLOOR AREA OF AT LEAST 700 SQUARE FEET EXCEPT KITCHENS.	
8. KITCHENS SHALL HAVE A MINIMUM CEILING HEIGHT OF SIX FEET EIGHT INCHES OVER THE KITCHEN AND THE SHOWERHEAD.	
9. BATHROOMS SHALL HAVE A MINIMUM CEILING HEIGHT OF SIX FEET EIGHT INCHES OVER THE BATHROOM AND THE SHOWERHEAD.	
10. ALL HABITABLE ROOMS SHALL HAVE A CEILING HEIGHT OF AT LEAST 8 FEET EIGHT INCHES ABOVE THE FLOOR.	
11. ALL HABITABLE ROOMS SHALL HAVE A CEILING HEIGHT OF AT LEAST 8 FEET EIGHT INCHES ABOVE THE FLOOR.	
12. PROVIDE CONTINUOUS RIDGE VENTS AT ALL ROOF/WALL AND ROOF/GABLE INTERSECTIONS CARRIED 1'-0" UP THE WALL/FACE TO THE ROOF/GABLE.	
13. PROVIDE ALUMINUM FLASHING OVER ALL WINDOW AND DOORS HEAVY THIN AND AT THE CONNECTION BETWEEN ALL EXTERIOR AND INTERIOR EDGES.	
14. PROVIDE CONTINUOUS VENTED DRIP EDGE AT ALL SOFFIT OVERHANGS.	
15. PROVIDE ALUMINUM FLASHING OVER ALL ROOF SHANKLES UNLESS SPECIFIED OTHERWISE.	
16. ALL GUTTERS AND DOWNSPOUTS TO BE PREFINISHED ALUM. COLOR TO BE SELECTED BY OWNER.	
17. LIGHTING/VENTILATION AND INSULATION.	
18. ALL HABITABLE ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING OF NOT LESS THAN 20% OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR. THE MINIMUM OPERABLE AREA TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA OF EACH HABITABLE ROOM.	
<b>STAIRWAYS/DECKS</b>	
1. STAIRWAYS SHALL NOT BE LESS THAN 8 FEET 0 INCHES HIGH. ALL FIGHTS ABOVE THE FINISHED HANDBALUSTERS SHALL BE 10 INCHES HIGH. ALL FIGHTS BELOW THE FINISHED HANDBALUSTERS SHALL BE 10 INCHES HIGH. DEPTH SHALL BE 4 INCHES. DEPTH SHALL NOT EXCEED 1 1/4". WINDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10 INCHES. DEPTH SHALL NOT EXCEED 1 1/4". DEPTH SHALL NOT EXCEED 1 1/4" ON THE NARROWEST SIDE OF THE SLOPED PLANE ADDING THE TREAD NOSE OR FROM THE FLOOR SURFACE OF A LANING OR PLATFOR.	
2. HANDRAILS SHALL BE PROVIDED AT THE TOP OF CONTINUOUS RUNS OF STAIRS OR STAIRS THAT ARE NOT CONNECTED TO ANOTHER SET OF STAIRS. ALL OTHER DOORS THAT ARE NOT ENDED/OPENED ARE TYPICALLY 4' TO 6' (DEPENDING ON THE STAIR CASE). ALL OTHER DOORS THAT ARE NOT ENDED/OPENED ARE TYPICALLY CENTERED WITHIN THE GLOSER.	
3. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S HIGHER THAN 30" ABOVE A FLOR OR GROLE DEBEL. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GROLE DEBEL, SHALL NOT EXCEED 48" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GROLE DEBEL, SHALL NOT EXCEED 48" IN HEIGHT. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S HIGHER THAN 30" ABOVE A FLOR OR GROLE DEBEL. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GROLE DEBEL, SHALL NOT EXCEED 48" IN HEIGHT. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S HIGHER THAN 30" ABOVE A FLOR OR GROLE DEBEL. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GROLE DEBEL, SHALL NOT EXCEED 48" IN HEIGHT.	
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20. GUARDRAILS, 36	

# FIRST COLONY DEVELOPMENT



OWNER / CLIENT:

FIRST COLONY DEV. LLC  
929 POST ROAD EAST  
MARLBOROUGH, MA 01752  
TEL. (508) 481-6095  
FAX (508) 460-0578

ARCHITECT:

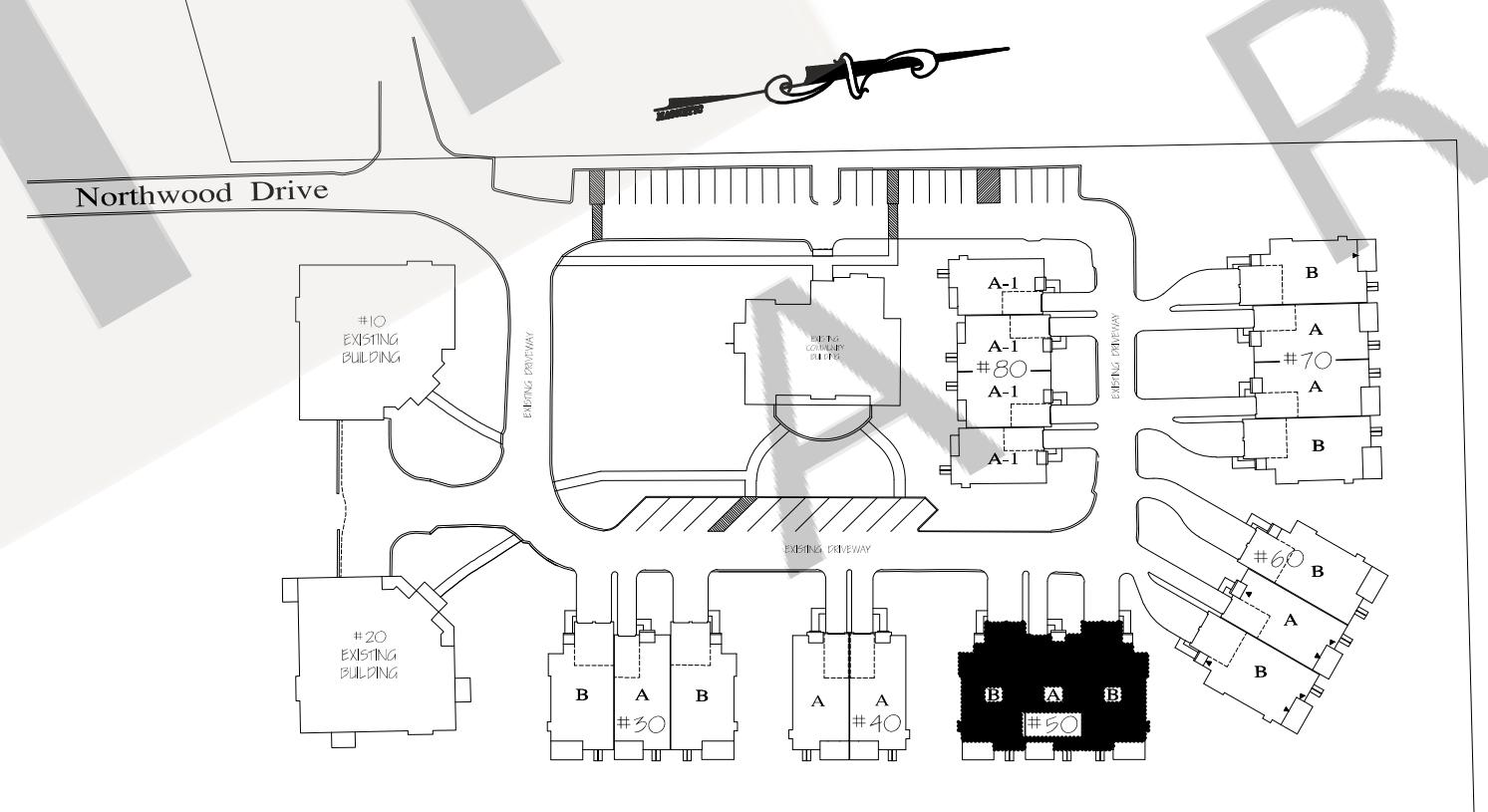
HPA DESIGN, INC.  
200 STONEWALL BLVD.  
SUITE 5  
WRENTHAM, MA 02093  
TEL. (508) 384-8838  
FAX (508) 384-0483

STRUCTURAL ENGINEER

DWD ENGINEERING, INC.  
5 MICHAEL RD.  
EAST BRIDGEWATER  
TEL. (508) 378-9602  
FAX (508) 378-2922

CONTRACTOR:

LOBISSEUR BUILDING CORP.  
1 CHARLESVIEW ROAD  
HOPEDALE, MA 01747  
TEL. (508) 478-6235  
FAX (508) 473-0794



KEY PLAN

## SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
- S1.3 2ND FLOOR FRAMING
- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
<b>GENERAL</b>	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (RTH EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE SITE CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
<b>DIMENSIONS</b>	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES A DIMENSION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSIONING AT STAIR REPRESENDS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. ALL DOORS ARE TO BE CENTERED ON THE OPENING AND SHALL BE PLACED IN THE CENTER OF THE DOOR.	
4. HEIGHTS ARE TO BE CENTERED ON THE OPENING AND REFLECT THE TOTAL HEIGHT OF THE DOOR.	
5. DOORS ARE TO BE CENTERED ON THE OPENING AND REFLECT THE TOTAL HEIGHT OF THE DOOR.	
6. DOORS THAT ARE NOT CENTERED ARE TYPICALLY 4'-0" TO 4'-6" DEPENDING ON THE DOOR TYPE.	
7. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
<b>STAIRWAYS/DECKS</b>	
1. STAIRWAYS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT. IN ALL PORTIONS ABOVE THE FINISHED HANRAL RAILING, THE CLEAR HEIGHT FROM THE FINISHED FLOOR TO THE CEILING SHALL BE 6'-0". MINIMUM DEPTH SHALL BE 18"-0" AND MAXIMUM DEPTH SHALL NOT EXCEED 1'-0". UNDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10"-0". DECKS SHALL BE 12"-0" DEEP AND SHALL BE PLACED IN A SLOPED PLANE ADJUSTING THE TREAD NOSE OR FROM THE FLOOR SURFACE OF A LANING OR PLATFOR.	
2. HANDRAILS SHALL BE PROVIDED AT THE TOP OF CONTINUOUS RUNS OF STAIRS OR FLIGHTS OF STEPS. ALL HANDRAILS MUST BE PLACED IN THE CENTER OF THE STAIRS OR FLIGHTS OF STEPS. ALL HANDRAILS MUST BE CENTERED ON THE OPENING AND REFLECT THE TOTAL HEIGHT OF THE STAIRS OR FLIGHTS OF STEPS. MINIMUM HEIGHT SHALL BE 34"-0" AND MAXIMUM NOT EXCEED 37"-0".	
3. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 36"-0" AND GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30"-0" OR LESS SHALL BE 34"-0". GUARDRAILS ON OPEN SIDES OF STAIRS SHALL NOT EXCEED 48"-0" IN LENGTH. RAILINGS AND FLOORS SHALL NOT EXCEED 4"-0" INCHES.	
4. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH A SIZE THAT A 5X 5 INCH (6" SPHERE) CANNOT PASS THROUGH. OPENINGS FOR REQUIRED GUARDRAILS ON THE SIDES OF STAIRS SHALL NOT ALLOW A SPHERE 4"-0" INCHES TO PASS THROUGH.	
5. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ISOLATED BASEMENT OR ATTIC STAIRS OR INSTEAD OF THE ISOLATED BASEMENT OR ATTIC STAIRS, AN ISOLATED DOOR SHALL BE PROVIDED AT THE BOTTOM OF ISOLATED BASEMENT STAIRS.	
6. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND UNDERSCAPE AND ESCAPE AND RESCUE OPENINGS. SEE BUILDING ELEVATION FOR EXTENT.	
7. AN ISOLATED DOOR THAT IS NOT CENTERED ARE TYPICALLY CENTERED WITHIN THE GLOSET.	
8. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
<b>EXCEPTIONS</b>	
1. STAIRWAYS, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS.	
2. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL BE PERMITTED TO HAVE A MIN. CLEAR OPENING OF 24"-0" X 30"-0" IN either DIRECTION.	
3. REQUIRED EXIT SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES.	
4. REQUIRED EXIT SHALL BE PROVIDED IN A HALLWAY OR STAIRSPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.	
5. EXITS FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36"-0" WITH A NOMINAL HEIGHT SMALL OF 72"-0". THE NOMINAL WIDTH OF THE OTHER EXIT DOOR SHALL BE NOT LESS THAN 30"-0" WITH A NOMINAL HEIGHT OF 72"-0".	
6. NOMINAL WIDTH OR HEIGHT IN INCHES IN NORMAL HEIGHT AND MAY BE SLIDING OR SIDE-HINGED. EXCEPT FOR DWELLING UNITS, IT IS PERMITTED PROVIDED THAT THE ATTACHED GARAGE IS ALSO PROVIDED WITH A 32"-0" EXIT DOOR.	
7. ALL OTHER EXTERIOR DOORS IN EXCESS OF THE REQUIRED EXIT DOORS ARE NOT REQUIRED TO COMPLY.	
8. ALL INTERIOR DOORS PROVIDING ACCESS TO HABITABLE ROOMS SHALL HAVE A NOMINAL WIDTH OF 30"-0" NOMINAL HEIGHT OF 72"-0".	
9. EXITS FROM DWELLING UNITS SHALL BE PROVIDED IN ACCORDANCE WITH SECTION R402.1.	
10. A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE POINT OF DRAFT LANDING, WHICH IS THE POINT OF DRAFT LANDING THAN THE DOOR SERVED AND HAVE A MINIMUM DIMENSION OF 36"-0" INCHES MEASURED IN THE DIRECTION OF TRAVEL.	
<b>SPRINKLERS</b>	
The 3-unit townhouse has an aggregate area of 1,210 SF and shall be designed with a minimum NFPA 13 system.	
<b>HEAT DETECTORS</b>	
1. ALL ONE AND TWO FAMILY SHALL BE EQUIPPED WITH A HOUSEHOLD FIRE ALARM SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS AND THE MANUFACTURER'S OWNERS MANUAL.	
2. HEAT DETECTORS ARE REQUIRED TO BE PERMANENTLY WIRED TO AN AC-Powered Power Source and Shall Have Secondary Standby Power Supplied from Unintended Batteries.	
3. WHERE MORE THAN ONE SPACE DETECTOR IS REQUIRED, ALL REQUIRED DETECTORS SHALL BE INSTALLED SO THAT THE ACTIVATION OF ANY DETECTOR SHALL CAUSE THE ALARM IN ALL REQUIRED SMOKE DETECTORS IN THE DWELLING UNIT TO SOUND 85 dB AT 10 FEET, 15% IN BEDROOMS.	
4. SMOKE DETECTORS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: a) IN EACH BEDROOM. b) IN EACH BATHROOM. c) IN EACH KITCHEN AND IN EACH DWELLING UNITS.	
5. PHOTO-ELECTRIC SMOKE DETECTORS ARE REQUIRED IF LOCATED WITHIN 15' OF A KITCHEN OR BATHROOM.	
6. WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED TO AN EXISTING DWELLING, THE ENTIRE BUILDING SHALL BE PROVIDED WITH SMOKE DETECTORS DESIGNED AND LOCATED AS REQUIRED FOR NEW DWELLINGS.	
<b>CARBON MONOXIDE ALARM/DETECTORS</b>	
1. ALL ONE AND TWO FAMILY DWELLINGS SHALL BE EQUIPPED WITH A HOUSEHOLD CARBON MONOXIDE WARNING SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS AND THE MANUFACTURER'S OWNERS MANUAL.	
2. CARBON MONOXIDE DETECTORS SHALL BE LOCATED ON EVERY LEVEL OF THE DWELLING UNIT INCLUDING BASEMENTS AND CELLS (NOT INCLUDING GRAN, SPACES AND UNINHABITED ATTICS).	
3. ALL ALARM-SOUNDING APPLIANCES SHALL HAVE A MINIMUM RATING OF 85 dB AT 10 FEET.	
<b>HEAT DETECTORS</b>	
1. HEAT DETECTORS SHALL BE INSTALLED IN ANY INTEGRAL OR ATTACHED GARAGE TO THE MAIN HOUSE. A NEW ADDITION ATTACHED GARAGE TO AN EXISTING DWELLING INSTALLED IN ACCORDANCE WITH THE EXISTING DWELLING UNITS SHALL BE PROVIDED WITH A COMPATIBLE HEAT DETECTOR. THE EXISTING DWELLING UNITS SHALL BE CONNECTED TO A CANISTER OR A COMPATIBLE HEAT DETECTOR CONTAINING A SOUNDBING DEVICE LOCATED IN THE GARAGE.	
2. FOR FLAT-FINISHED CEILINGS, THE DETECTOR SHALL BE LOCATED ON OR NEAR THE CENTER OF THE GARAGE CEILING. FOR VAULTED/GLOBED CEILINGS, THE DETECTOR SHALL BE PLACED IN THE APPROXIMATE CENTER OF THE CEILING.	
3. FOR THE REAR DWELLING UNITS, THE DETECTOR SHALL BE LISTED FOR AND REQUIRED TO BE INTERCONNECTED TO ALL SMOKE DETECTORS.	
4. THE REQUIRED HEAT DETECTOR SHALL BE LISTED FOR AND REQUIRED TO BE INTERCONNECTED TO ALL SMOKE DETECTORS.	
5. A REAR DWELLING UNITS SHALL HAVE THE SAME NUMBER OF SMOKE DETECTORS AS THE MAIN DWELLING UNITS.	
6. THE REQUIRED HEAT DETECTOR SHALL BE LISTED FOR AND REQUIRED TO BE INTERCONNECTED TO ALL SMOKE DETECTORS.	
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46. THE REQUIRED HEAT DETECTOR SHALL BE LIST	

# FIRST COLONY DEVELOPMENT



OWNER / CLIENT:

FIRST COLONY DEV. LLC  
929 POST ROAD EAST  
MARLBOROUGH, MA 01752  
TEL. (508) 481-6095  
FAX (508) 460-0578

ARCHITECT:

HPA DESIGN, INC.  
200 STONEWALL BLVD.  
SUITE 5  
WRENTHAM, MA 02093  
TEL. (508) 384-8838  
FAX (508) 384-0483

STRUCTURAL ENGINEER

DWD ENGINEERING, INC.  
5 MICHAEL RD.  
EAST BRIDGEWATER  
TEL. (508) 378-9602  
FAX (508) 378-2922

CONTRACTOR:

LOBISSEUR BUILDING CORP.  
1 CHARLESVIEW ROAD  
HOPEDALE, MA 01741  
TEL. (508) 418-6235  
FAX (508) 413-0794



KEY PLAN

## SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
- S1.3 2ND FLOOR FRAMING
- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
<b>GENERAL</b>	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (RTH EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE SITE CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
<b>DIMENSIONS</b>	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES A DIMENSION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSIONING AT STAIR REPRESENDS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. INTERIOR DIMENSIONING AT DOORS REFERS TO THE CENTER LINE OF THE DOOR.	
4. DIMENSIONS DEPICTING THE BUILDING HEIGHT, SHOW THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS FOR THE BUILDING AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST STAIRWAY TO THE ROOF. THE CONTRACTOR SHALL PROVIDE THE EXACT ELEVATION OF THE ROOF AND ALL OTHER BUILDINGS, MUST BE CONFIRMED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED ROOF ATTACHMENT.	
5. ALL OTHER DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY 3'-0" TO 4'-0" (DEPENDING ON THE CLOSET).	
6. CLOSET DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY CENTERED WITHIN THE CLOSET.	
7. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
<b>STAIRWAYS/DECKS</b>	
1. STAIRWAYS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT. IN ALL PORTIONS ABOVE THE RISER/TREAD, THE CLEARANCE SHALL NOT BE LESS THAN 6'-0".	
2. DECKS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT. RAILING DEPTH SHALL NOT EXCEED 1 1/4".	
3. STAIRCASES SHALL HAVE A MINIMUM CEILING HEIGHT OF 6'-0" OVER THE TREAD DEPTH.	
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5. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLORAL, PORCH AND/OR BALCONY AREA'S MORE THAN THIRTY (30) INCHES ABOVE A FLORAL OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLORAL OR GRATE BELOW, SHALL NOT EXCEED 48" IN TOTAL LENGTH. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLORAL OR GRATE BELOW, SHALL NOT EXCEED 48" IN TOTAL LENGTH. GUARDRAILS, RAILS, BALUSTERS, AND FLOORS SHALL NOT EXCEED 4" INCHES.	
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The banner features the word "FESTIVAL" in a unique, abstract font. Each letter is formed by several black lines that overlap and loop around each other, creating a complex, textured appearance. The letters are arranged horizontally, with "F" on the far left, followed by "E", "S", "T", "F", "E", "S", "T", "V", "I", "L", "A", "P", "I", and "T" on the far right. The background is plain white.



OWNER / CLIENT:

# ARCHITECT:

# STRUCTURAL ENGINEER

## CONTRACTOR:

FIRST COLONY DEV. LLC  
929 POST ROAD EAST  
MARLBOROUGH, MA 01752  
TEL. (508) 481-6095  
FAX (508) 460-0578

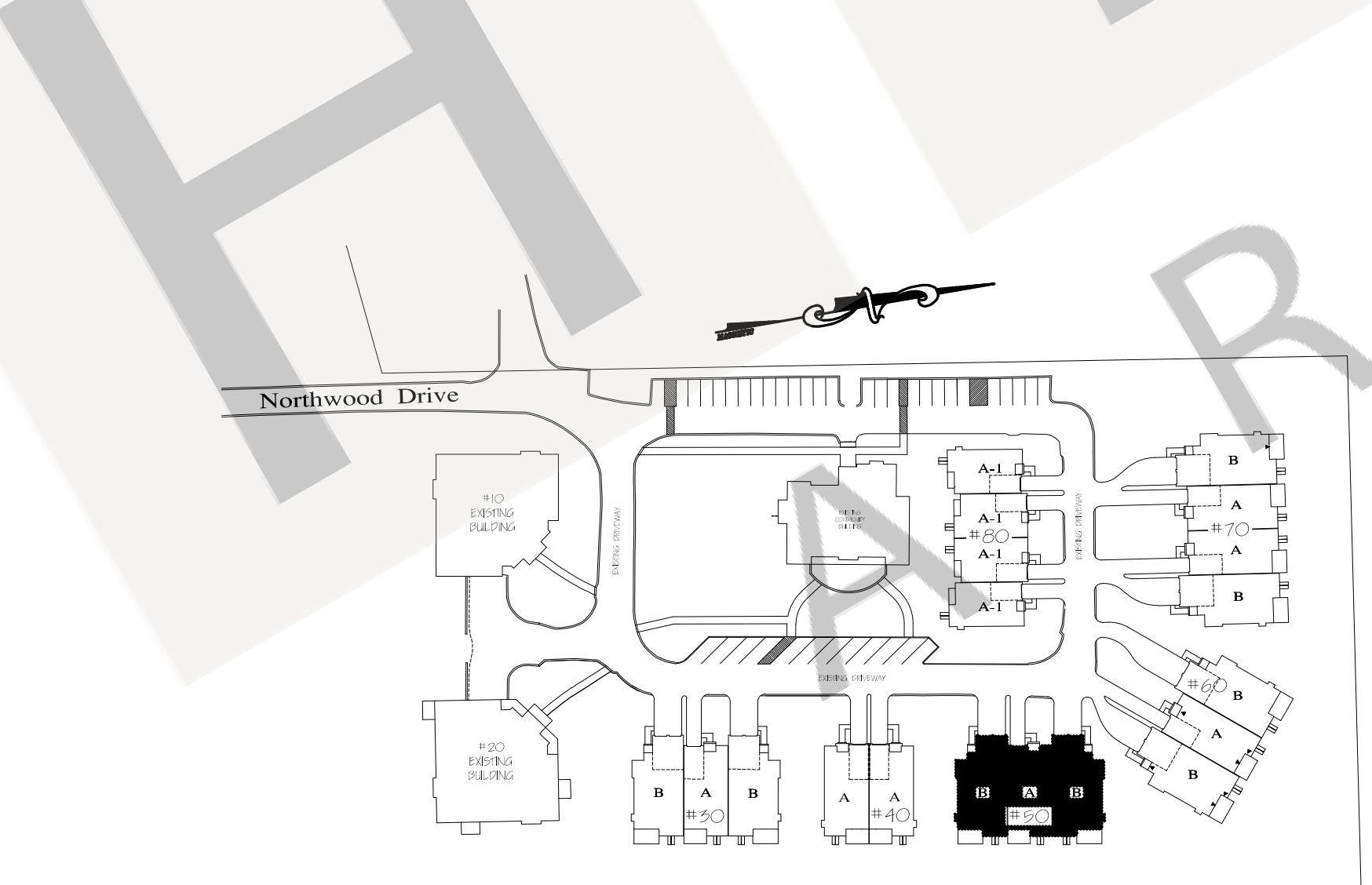
HPA DESIGN, INC.  
200 STONEWALL BLVD.  
SUITE 5  
WRENTHAM, MA 02093  
TEL. (508) 384-8838  
FAX (508) 384-0483

DWD ENGINEERING, INC.  
5 MICHAEL RD.  
EAST BRIDGEWATER  
TEL. (508) 378-9602  
FAX. (508) 378-2922

# SCHEDULE OF DRAWINGS:

- 0.1 TITLE SHEET
  - 1.1 1ST FLOOR PLAN
  - 1.2 2ND FLOOR PLAN
  - 2.1 ELEVATIONS
  - 2.2 ELEVATIONS
  - 3.1 BUILDING SECTIONS
  - 3.2 BUILDING SECTIONS
  - 4.1 WALL SECTIONS
  - 4.2 AIR BARRIER NOTES & DETAILS
  - 5.1 DETAILS
  - .1 FOUNDATION PLAN
  - .2 1ST FLOOR FRAMING
  - .3 2ND FLOOR FRAMING
  - .4 CEILING FRAMING
  - .5 ROOF FRAMING
  - 2.1 DETAILS
  - 2.2 DETAILS

## KEY PLAN



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**CONSTRUCTION BY:  
FIRST COLONY DEY, LLC**

#50 NORTHWOOD DRIVE, NORTHWOOD TOWNHOUSE CONDOS, SUDBURY, MA

**SHEET:**

A.0.1

JOB NO. 20180101

# FIRST COLONY DEVELOPMENT



OWNER / CLIENT:

FIRST COLONY DEV. LLC  
929 POST ROAD EAST  
MARLBOROUGH, MA 01752  
TEL. (508) 481-6095  
FAX (508) 460-0578

ARCHITECT:

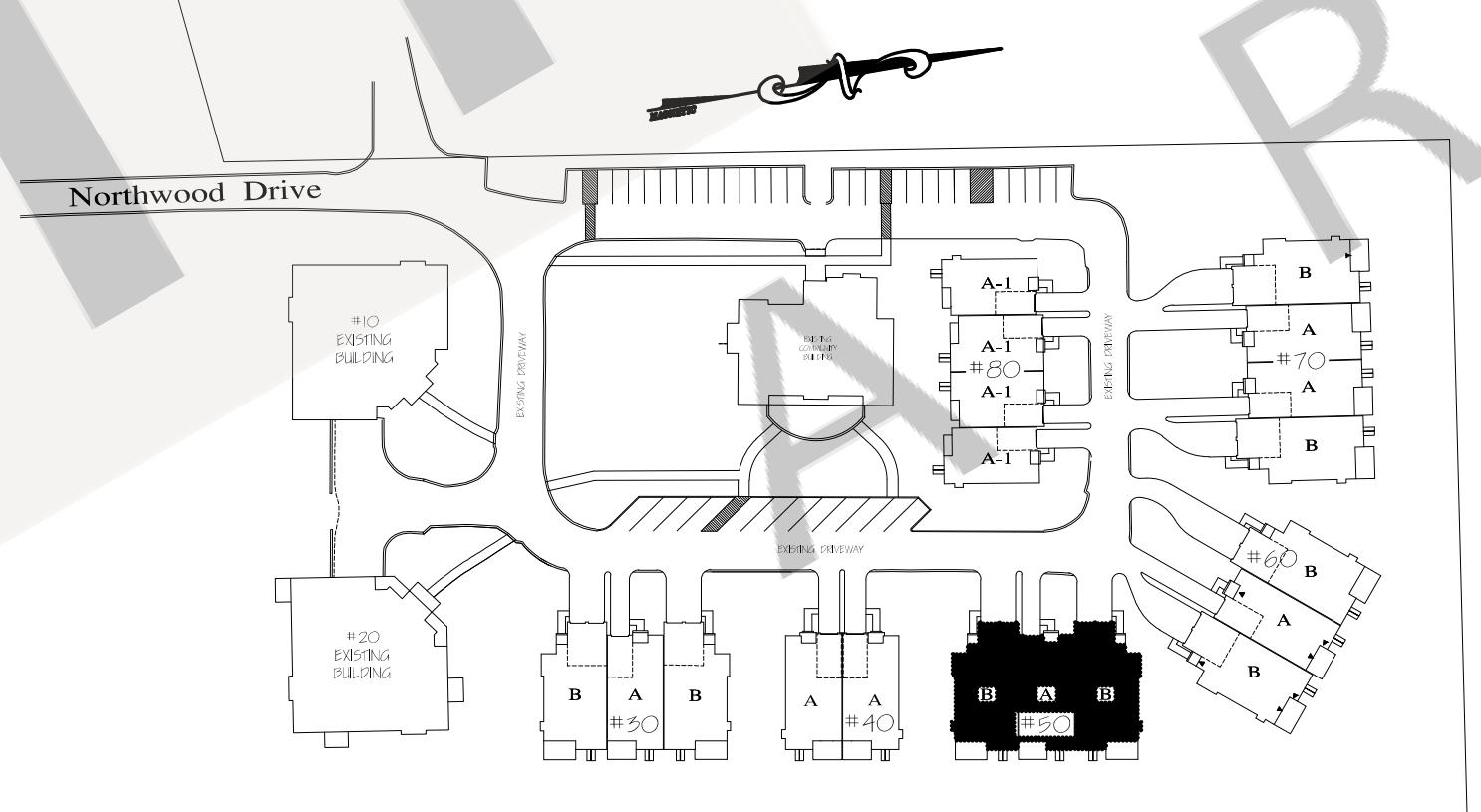
HPA DESIGN, INC.  
200 STONEWALL BLVD.  
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WRENTHAM, MA 02093  
TEL. (508) 384-8838  
FAX (508) 384-0483

STRUCTURAL ENGINEER

DWD ENGINEERING, INC.  
5 MICHAEL RD.  
EAST BRIDGEWATER  
TEL. (508) 378-9602  
FAX (508) 378-2922

CONTRACTOR:

LOBISSEUR BUILDING CORP.  
1 CHARLESVIEW ROAD  
HOPEDALE, MA 01747  
TEL. (508) 478-6235  
FAX (508) 473-0794



KEY PLAN

## SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
- S1.3 2ND FLOOR FRAMING
- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
<b>GENERAL</b>	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (RTH EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE SITE CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
<b>DIMENSIONS</b>	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES A DIMENSION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSIONING AT STAIR REPRESENDS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. ALL DOORS ARE TO BE CENTERED ON THE OPENING AND SHALL BE PLACED IN THE CENTER OF THE DOOR.	
4. HEIGHTS ARE TO BE CENTERED ON THE OPENING AND REFLECT THE TOTAL HEIGHT OF THE DOOR.	
5. DOORS ARE TO BE CENTERED ON THE OPENING AND REFLECT THE TOTAL HEIGHT OF THE DOOR.	
6. DOORS THAT ARE NOT CENTERED ARE TYPICALLY 4'-0" TO 4'-6" DEPENDING ON THE DOOR TYPE.	
7. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
<b>STAIRWAYS/DECKS</b>	
1. STAIRWAYS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT. ALL PORCH ABOVE THE FINISHED HANDBALUST SHALL BE PROVIDED WITH AN OPENABLE RAILING. THE MINIMUM CLEAR HEIGHT SHALL BE 4'-0" AND DEPTH SHALL BE 4'-0" INCHES TO EXCEED 1'-0". WINDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 1'-0" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10"-0". ALL OTHER TREADS SHALL BE PROVIDED WITH A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 1'-0" FROM THE NARROWEST SIDE WITH A MIN. DEPTH EQUAL TO THE 1ST FLLOOR TO ENSURE COMPLIANCE WITH ZONING AND BUILDING CODE HEIGHT REQUIREMENTS.	
2. HANDRAILS SHALL BE PROVIDED AT STAIRS, DECKS, AND ALL OTHER BULLETS, MUST BE CONFORMED WITH THE EXISTING MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
3. DECKS: REFLECTING THE BUILDING HEIGHT, SHOW THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS FOR THE BUILDING AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT REFLECTED IS FROM THE ST TO THE 1ST FLLOOR TO ENSURE COMPLIANCE WITH ZONING AND BUILDING CODE HEIGHT REQUIREMENTS.	
4. ALL OTHER DOORS THAT ARE NOT CENTERED ARE TYPICALLY 4'-0" TO 4'-6" DEPENDING ON THE DOOR TYPE.	
5. GLAZED DOORS THAT ARE NOT CENTERED ARE TYPICALLY CENTERED WITHIN THE GLOST.	
6. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
<b>GLAZED OPENINGS</b>	
1. ALL GLAZED ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING OF NOT LESS THAN 28% OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR. THE MINIMUM OPERABLE AREA TO THE OUTDOOR SHALL BE 4% OF THE FLOOR AREA OF EACH GLAZED ROOM.	
2. EXCEPTIONS:	
a) THE GLAZED AREAS NEED NOT BE OPENABLE WHERE THE OPENING IS NOT A REQUIRED TO BE AN EMERGENCY ESCAPE AND RESCUE OPENING AND AN APPROVED MECHANICAL VENTILATION SYSTEM IS PROVIDED CAPABLE OF PRODUCING 0.5 CFM OF EXHAUST AIR PER HOUR IN THE ROOM OR A ONE-HOUSE MECHANICAL VENTILATION SYSTEM IS PROVIDED CAPABLE OF PRODUCING 0.5 CFM OF EXHAUST AIR PER HOUR IN THE ROOM OR 5 CFM PER OCCUPANT PER HR FOR THE FIRST BEDROOM AND ONE FOR EVERY ADDITIONAL BEDROOM.	
b) ALL BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING AREA OF NOT LESS THAN THREE SQUARE FEET, 1/2 OF WHICH MUST BE OPENABLE.	
c) THE GLAZED AREA SHALL NOT BE REQUIRED WHERE ARTIFICIAL LIGHT, AND A MECHANICAL VENTILATION SYSTEM ARE PROVIDED. VENTILATION AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE.	
d) ATTIC VENTILATION WITH A CEILING VAPOR BARRIER. PROVIDE AT LEAST ONE (1) SQUARE FOOT OF FREE AREA FOR EACH THREE HUNDRED (300) SQUARE FOOT OF CEILING AREA.	
e) ATTIC VENTILATION WITHOUT A CEILING VAPOR BARRIER. PROVIDE AT LEAST ONE (1) SQUARE FOOT OF FREE AREA FOR EACH ONE HUNDRED-FIFTY (150) SQUARE FOOT OF CEILING AREA.	
f) IF MECHANICAL ELECTRICAL OR PLUMBING EQUIPMENT IS TO BE PLACED IN ATTICS, DUES OVERHANGS AND OTHER UNACCESSIBLE UNINSULATED SPACES, THE CONTRACTOR IS RESPONSIBLE TO PROVIDE A PROPER ENCLOSURE, INSULATION, DUCT VENTILATION, ETC., TO AVOID MOISTURE, CONDENSATION THAW, ICE DAMMING, AND OTHER SIMILAR ISSUES.	
3. PLUMBING:	
a) ALL SANITARY LINES WITHIN WALLS AND FLOORS ADJOINING LIVING SPACES ARE TO BE SOUND INSULATED, AND ON THE WARM SIDE OF THE GUTTITY ISOLATOR TO AVOID FREEZING.	
b) ALL SANITARY LINES WITHIN WALLS OR FLOOR CAVITIES WHICH BORDER UNCONDITIONED SPACES ARE TO BE INSULATED AND ON THE WARM SIDE OF THE GUTTITY ISOLATOR.	
4. SMOKE & CARBON MONOXIDE DETECTORS:	
a) COMBINATION SMOKE & CARBON MONOXIDE ALARMS ARE ACCEPTABLE PROVIDED SMOKE ALARMS HAVE OPERATIONAL FEATURES WHICH CLEARLY DISTINCTION BETWEEN THE TWO TYPES OF DIVERGENCES. IF COMBINATION ALARMS ARE TO BE USED ALL REQUIRED CRITERIA FOR SMOKE AND CARBON MONOXIDE ALARMS SHALL BE MET.	
b) FIRE DEPARTMENTS REQUIRE TO INSPECT UPON SALE OR TRANSFER, ALL SMOKE DETECTORS FOR REQUIRED SMOKE AND CARBON MONOXIDE ALARMS.	
c) SMOKE ALARMS SHALL BE PLACED IN ACCORDANCE WITH THE LOCAL BUILDING CODES AND NFPA 72.	
d) SMOKE DETECTORS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: i) IN EACH SLEEPING QUARTER. IF THE SLEEPING QUARTER IS PART OF A LARGER UNIT, SMOKE DETECTORS SHALL BE PROVIDED IN EACH SLEEPING QUARTER. ii) IN EACH STORY OF A UNIT THAT HAS A SMOKE ALARM LOCATED WITHIN 10 FEET OF THE SMOKE ALARM.	
e) IN SMOKE ALARMS LOCATED IN KITCHENS, BATHROOMS, HALLWAYS, AND LANDING AREAS, SMOKE ALARMS SHALL BE PROVIDED IN LOCATIONS WHERE SMOKE ALARMS LEAD TO ANOTHER OCCUPIED FLOOR.	
f) PHOTO ELECTRIC SMOKE DETECTORS ARE REQUIRED IF LOCATED WITHIN 10 FEET OF A KITCHEN OR BATHROOM.	
g) WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED TO AN EXISTING DWELLING, THE ENTIRE BUILDING SHALL BE PROVIDED WITH SMOKE DETECTORS DESIGNED AND LOCATED AS REQUIRED FOR NEW DWELLINGS.	
h) CARBON MONOXIDE ALARMS/DETECTORS:	
i) ALL ONE AND TWO FAMILY DWELLINGS SHALL BE EQUIPPED WITH A HOUSEHOLD CARBON MONOXIDE WARNING SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS, AND THE OWNER'S MANUAL.	
j) CARBON MONOXIDE DETECTORS SHALL BE LOCATED ON EVERY LEVEL OF THE DWELLING UNIT INCLUDING BASEMENTS AND CELLS (NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS).	
k) ALL ALARM-SOUNDING APPLIANCES SHALL HAVE A MINIMUM RATING OF 85 dB-A at 10 feet, 15 dB in bedrooms.	
l) HEAT DETECTORS SHALL BE INSTALLED IN ANY INTEGRAL OR ATTACHED GARAGE TO THE MAIN HOUSE.	
m) A NEW ADDITION ATTACHED GARAGE TO AN EXISTING DWELLING INSTALLED IN ACCORDANCE WITH THE EXISTING DWELLING SHALL BE PROVIDED WITH A HEAT DETECTOR. THE HEAT DETECTOR SHALL BE CONNECTED TO THE EXISTING DWELLING. THE EXISTING DWELLING SHALL BE PROVIDED WITH A HEAT DETECTOR WHICH SHALL BE CONNECTED TO A SMOKE OR A COMPATIBLE HEAT DETECTOR CONTAINING A SOUNDBING DEVICE LOCATED IN THE EXISTING DWELLING.	
n) FOR FLAT-FINISHED CEILINGS, THE DETECTOR SHALL BE LOCATED ON OR NEAR THE CENTER OF THE GARAGE CEILING. FOR VAULTED/CEILINGS, THE DETECTOR SHALL BE PLACED IN THE APPROXIMATE CENTER OF THE CEILING.	
o) THE REQUIRED HEAT DETECTOR SHALL BE LISTED FOR AND REQUIRED TO BE INTERCONNECTED TO ALL SMOKE DETECTORS. THE REQUIRED HEAT DETECTOR SHALL BE PLACED IN THE APPROXIMATE CENTER OF THE CEILING.	
p) THE REQUIRED HEAT DETECTOR SHALL ACTIVATE THE SMOKE ALARM(S) OF THE DWELLING.	
q) A FLLOOR OR LANDING SHALL BE PROVIDED ON EACH SIDE OF AN EXTERIOR STAIRCASE. THE WIDTH OF EACH LANDING SHALL BE NO LESS THAN THE DOOR SERVED AND HAVE A MINIMUM DIMENSION OF 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL.	
r) SMOKE ALARMS:	
s) THESE DRAWINGS AND SPECIFICATIONS WERE PREPARED FOR USE AT THE LOCATION INDICATED HEREIN. THEY ARE EXPRESSLY LIMITED TO THE IDENTIFIED LOCATION AND ARE NOT FOR REPRODUCTION BY ANY METHOD, IN WHOLE OR IN PART, OR FOR ANY OTHER PURPOSE, WITHOUT PERMISSION OF HPA DESIGN, ©2010.	
t) THE 3-UNIT TOWNHOUSE HAS AN AGGREGATE AREA OF 1,210 SF AND SHALL BE DESIGNED WITH A MINIMUM NFPA 15 SYSTEM.	
u) SHEET:	
v) A0.1	
w) JOB NO. 20180101	

DATE: AUGUST 1, 2010
DRAWN BY: RWB contact@hpadesign.com
CHECKED BY: HPA
PATH: 20180101_FIRST COLONY DEV 20180101LCDs
SCALE: SEE DRAWING
REVISIONS: # DATE DESC.
O ISSUED FOR CONSTRUCTION

HPA Design, Inc.  
ARCHITECTS

200 Stonewall Blvd, Suite 5  
 Wrentham, MA 02093  
 508.384.8838 (T)  
 508.384.0483 (F)  
 contact@hpadesign.com  
 www.HPAdesign.com

CONSTRUCTION BY:  
FIRST COLONY DEV. LLC  
#50 NORTHWOOD DRIVE, NORTHWOOD TOWNSHIP CONDOS, SUDBURY, MA

The banner features the word "FESTIVAL" in a unique, abstract font. Each letter is formed by several black lines that overlap and loop around each other, creating a complex, textured appearance. The letters are arranged horizontally, with "F" on the far left, followed by "E", "S", "T", "F", "E", "S", "T", "V", "I", "L", "A", "P", "I", and "T" on the far right. The background is plain white.



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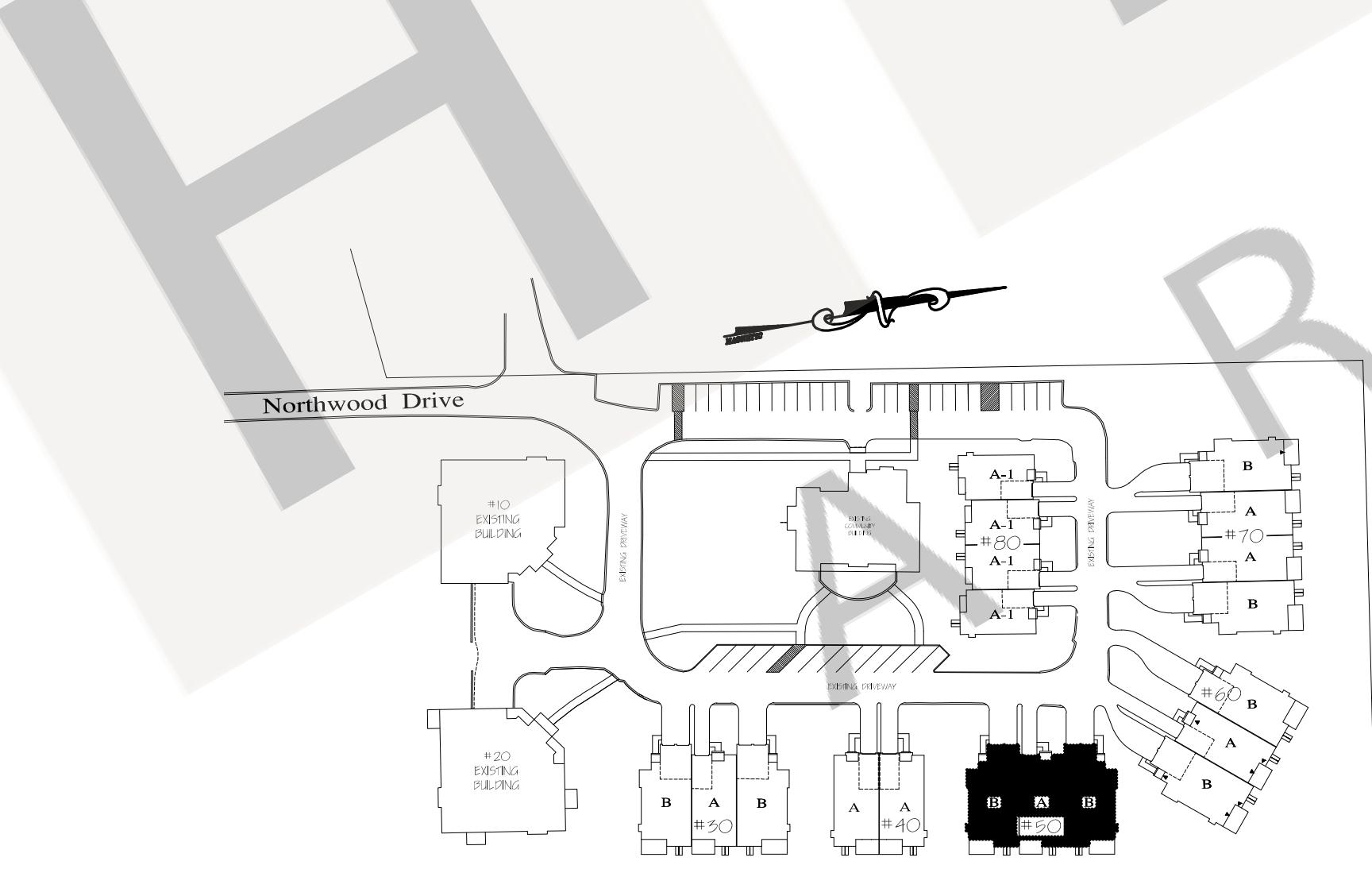
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# SCHEDULE OF DRAWINGS:

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  - 2.1 DETAILS
  - 2.2 DETAILS

## KEY PLAN



— STEELE —

**CONSTRUCTION BY:  
FIRST COLONY DEY, LLC**

#50 NORTHWOOD DRIVE, NORTHWOOD TOWNHOUSE CONDOS, SUDBURY, MA

**SHEET:**

A.0.1

JOB NO. 20180101