

Opacity Comparisons

FIRST COLONY DEVELOPMENT



OWNER / CLIENT:

FIRST COLONY DEV. LLC
929 POST ROAD EAST
MARLBOROUGH, MA 01752
TEL. (508) 481-6095
FAX (508) 460-0578

ARCHITECT:

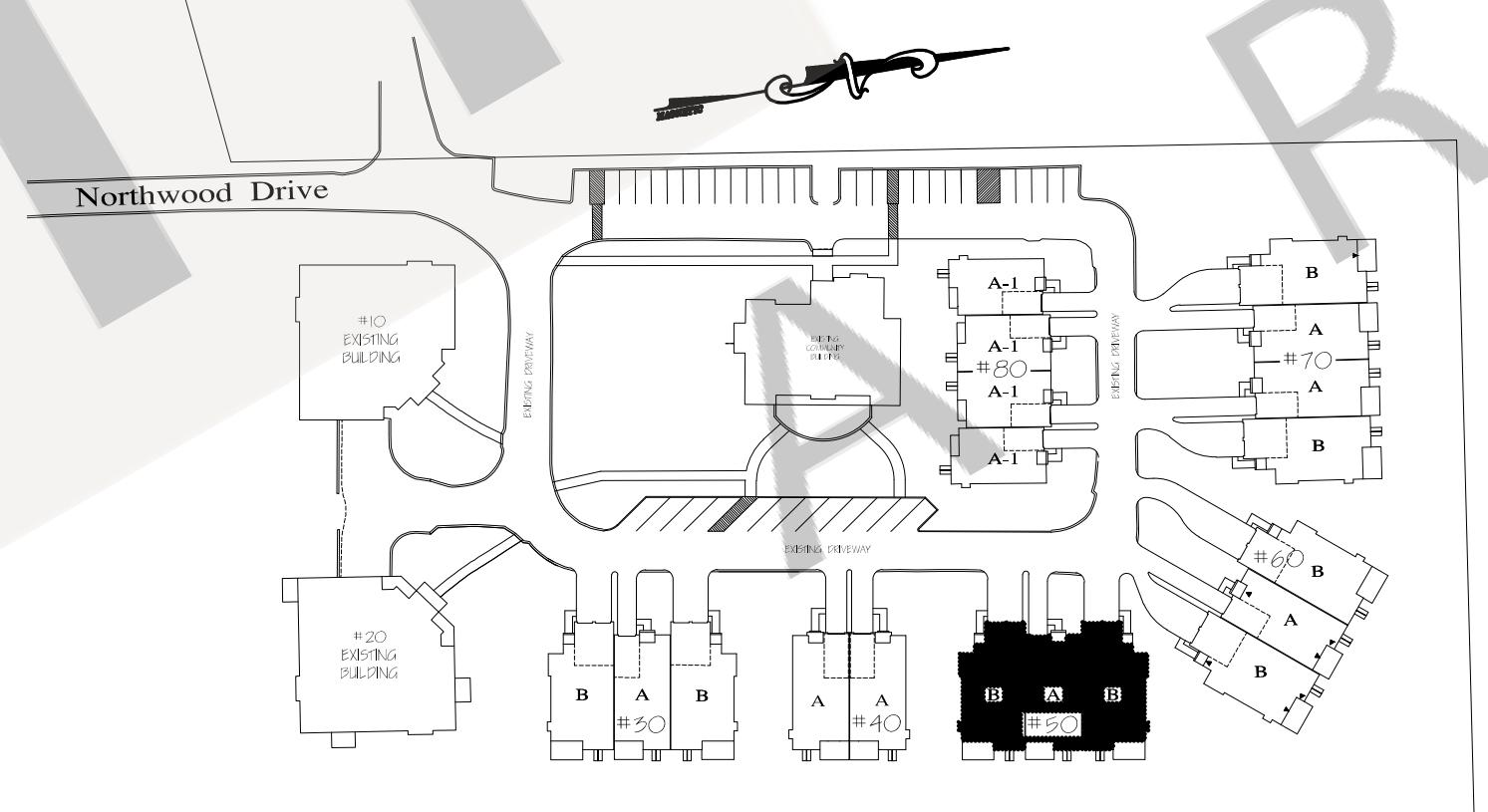
HPA DESIGN, INC.
200 STONEWALL BLVD.
SUITE 5
WRENTHAM, MA 02093
TEL. (508) 384-8838
FAX (508) 384-0483

STRUCTURAL ENGINEER

DWD ENGINEERING, INC.
5 MICHAEL RD.
EAST BRIDGEWATER
TEL. (508) 378-9602
FAX (508) 378-2922

CONTRACTOR:

LOBISSEUR BUILDING CORP.
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747
TEL. (508) 418-6235
FAX (508) 413-0794



KEY PLAN

SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
- S1.3 2ND FLOOR FRAMING
- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
GENERAL	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (RTH EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONjunction WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHAP DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF THE CONTRACTOR NOTIFIES THE ARCHITECT OF A DISCREPANCY, THE ARCHITECT SHALL NOTIFY THE CONTRACTOR, PRIOR TO PROCEEDING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORRECT, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT. IF THIS IS INCORRECT WITH THE SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/VALLEY INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
DIMENSIONS	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLATE REPRESENT A DIMENSION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSIONING AT STAIR REPRESENTS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. EXTERIOR DIMENSIONING TO A DOOR REFERS TO THE CENTER LINE OF THE DOOR.	
4. DOORS ARE TO BE OPENED IN THE DIRECTION OF THE HINGE.	
5. HEIGHTS ARE TO BE OPENED IN THE DIRECTION OF THE HINGE.	
6. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
7. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
8. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
9. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
10. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
11. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
12. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
13. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
14. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
15. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
16. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
17. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
18. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
19. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
20. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
21. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
22. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
23. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
24. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
25. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
26. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
27. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
28. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
29. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
30. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
31. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
32. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
33. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
34. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
35. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
36. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
37. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
38. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
39. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
40. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
41. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
42. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
43. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
44. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
45. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
46. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
47. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
48. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
49. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
50. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
51. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
52. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
53. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
54. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
55. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
56. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
57. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
58. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
59. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
60. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
61. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
62. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
63. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
64. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
65. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
66. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
67. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
68. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
69. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
70. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
71. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
72. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
73. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
74. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
75. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
76. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
77. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
78. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
79. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
80. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
81. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
82. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
83. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
84. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
85. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
86. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
87. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
88. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
89. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
90. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
91. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
92. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
93. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
94. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
95. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
96. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
97. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
98. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
99. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
100. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
101. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
102. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
103. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
104. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
105. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
106. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
107. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
108. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
109. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
110. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
111. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
112. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
113. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE.	
114. DEPTH OF A DOOR IS TO BE OPENED IN THE DIRECTION OF THE HINGE	

FIRST COLONY DEVELOPMENT



OWNER / CLIENT:

FIRST COLONY DEV. LLC
929 POST ROAD EAST
MARLBOROUGH, MA 01752
TEL. (508) 481-6095
FAX (508) 460-0578

ARCHITECT:

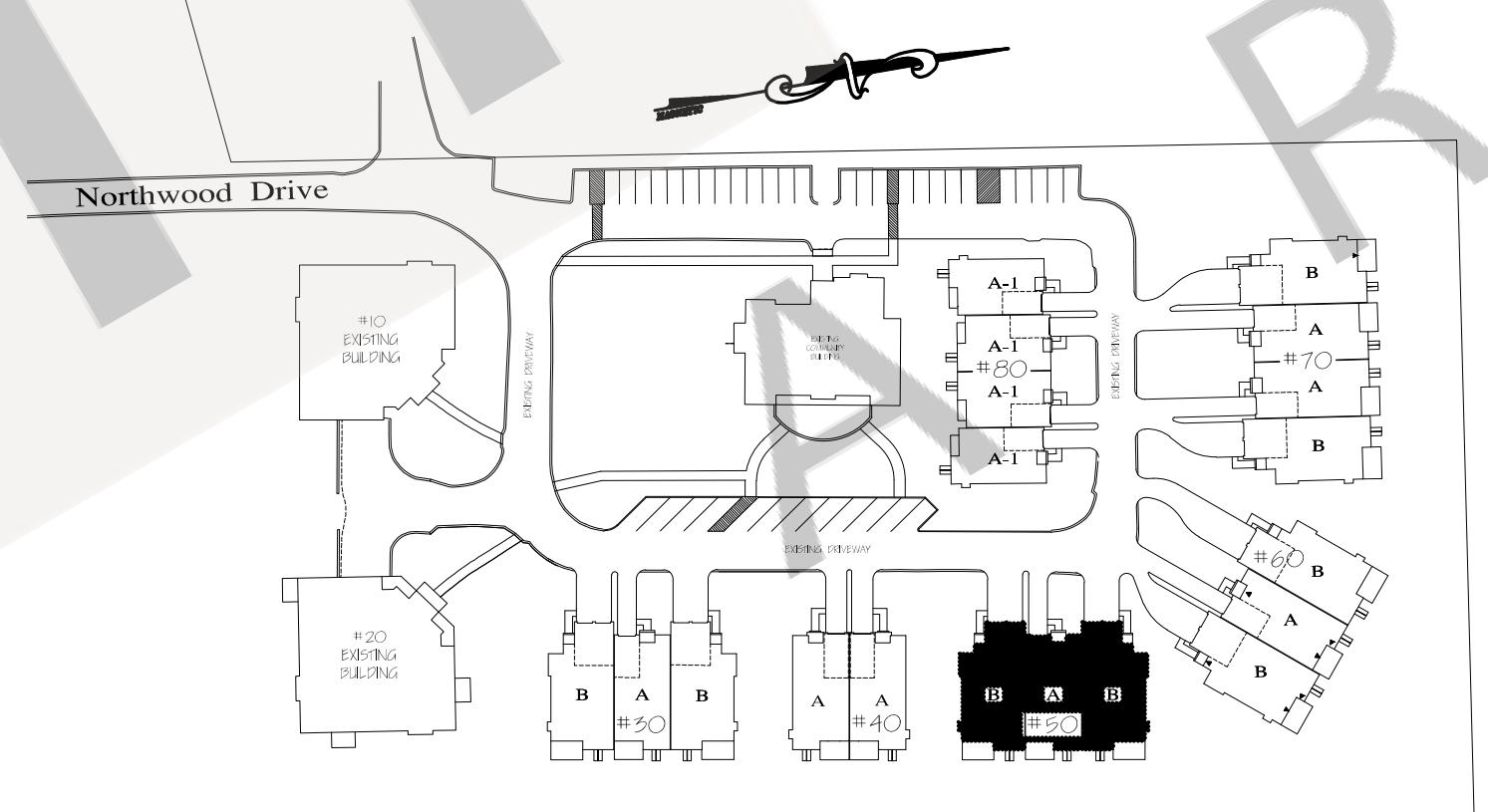
HPA DESIGN, INC.
200 STONEWALL BLVD.
SUITE 5
WRENTHAM, MA 02093
TEL. (508) 384-8838
FAX (508) 384-0483

STRUCTURAL ENGINEER

DWD ENGINEERING, INC.
5 MICHAEL RD.
EAST BRIDGEWATER
TEL. (508) 378-9602
FAX (508) 378-2922

CONTRACTOR:

LOBISSEUR BUILDING CORP.
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747
TEL. (508) 418-6235
FAX (508) 413-0794



KEY PLAN

SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
- S1.3 2ND FLOOR FRAMING
- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
GENERAL	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (RTH EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE SITE CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
DIMENSIONS	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF THAT OPENING FROM THE CENTER OF ANOTHER OPENING OR THE EXTERIOR FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES REFERS TO THE POSITION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSIONING AT STAIR REPRESENTS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. INTERIOR DIMENSIONING AT DOORS REFERS TO THE INSIDE EDGE OF THE DOOR FRAME AND ALL OTHER DOORS, MUST BE CONFIRMED WITH THE FUTURE MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
4. HEIGHTS DEPICTING THE BUILDING HEIGHT, SHOWS THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST STAIRWAY TO THE ROOF. THE ROOF HEIGHT IS THE TOTAL HEIGHT OF THE ROOF, INCLUDING THE SLOPED PLANE OF THE 1ST FLOOR, TO ENSURE COMPLIANCE WITH ZONING AND BUILDING CODE HEIGHT REQUIREMENTS.	
5. ALL OTHER DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY 3'-0" TO 4' (DEPENDING ON THE FLOOR/CASEMENT).	
6. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
STAIRWAYS/DECKS	
1. STAIRWAYS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT. IN ALL PORTALS ABOVE THE FINISHED HANDBALUST, THE MINIMUM CLEAR HEIGHT, FROM THE FINISHED FLOOR TO THE CEILING, SHALL BE 6'-0". MINIMUM DEPTH SHALL BE 1'-0" IN WHICH NOSE IS NOT TO EXCEED 1/4". WINDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10". ALL OTHER TREADS SHALL BE 1'-0" DEEP. ALL LANDINGS SHALL BE 1'-0" DEEP AND SHALL BE LOCATED ON A SLOPED PLANE ADDING THE TREAD NOSE OR FROM THE FLOOR SURFACE OF A LANING OR PLATFORM.	
2. HANDRAILS SHALL BE PROVIDED AT EACH CONTINUOUS RUN OF TREADS OR FLIGHTS OF STEPS. ALL HANDRAILS SHALL BE 3'-0" HIGH. MINIMUM HEIGHT SHALL BE 3'-0" AND MAXIMUM SHALL BE 3'-4" IN TOTAL RISE OF THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 3'-0" HIGH. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 3'-0" HIGH. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 3'-0" HIGH. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 3'-0" HIGH.	
3. GUARDRAILS, 3'-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOOR, PORCH AND/OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 3'-0" HIGH. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 3'-0" HIGH. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 3'-0" HIGH.	
4. AN ISOLATED DOOR 28" X 80" OR LARGER SHALL BE PROVIDED AT THE TOP OF AN INDOOR BASEMENT STAIRS OR INSTITUTE THE WALLS AND CEILINGS OF THE BASEMENT STAIRS. AN ISOLATED DOOR 28" X 80" OR LARGER SHALL BE PROVIDED AT THE TOP OF AN INDOOR BASEMENT STAIRS.	
5. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND CEILINGS OF STAIRS AND INSURE ESCAPE AND RESCUE OPENINGS.	
6. AN ISOLATED DOOR SHALL BE PROVIDED AT THE BOTTOM OF ATTIC STAIRS. ISOLATE THE WALLS AND CEILINGS OF STAIRS AND INSURE ESCAPE AND RESCUE OPENINGS.	
7. HATCHES SHOWN ON THE DRAWINGS ARE BASED GENERICALLY ON ANDERSEN AND THE OWNER OR GENERAL CONTRACTOR WHERE APPLICABLE SHALL CHOOSE THE FINA MANUFACTURER. WINDOW SHOUL BE VERIFIED BY THE OWNER OR GENERAL CONTRACTOR PRIOR TO ORDER. ROUGH OPENINGS SHALL BE PROVIDED BY THE MANUFACTURER.	
8. BASEMENTS, ATTICS, EXTERIOR SLEEPING ROOMS SHALL HAVE AT LEAST ONE OPERABLE WINDOW. EACH SHALL HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING. THESE OPENINGS SHALL NOT REQUIRE ONE SIDE TO SWING OUT. ESCAPE AND RESCUE OPENINGS SHALL FOLLOW THE FOLLOWING CRITERIA:	
a) SILL HEIGHT SHALL NOT BE MORE THAN 48 INCHES ABOVE THE FLOOR.	
b) A DOOR SWINGING THROUGH BELOW THE JACKSON HEIGHT ELEVATION IS USED AS AN EMERGENCY ESCAPE AND RESCUE OPENING. IF THE DOOR IS PROVIDED WITH A DELUXE ENCLOSURE, THE DOOR SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT AND WHEN THE HEADSLID IS FULLY OPENED IT SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT.	
c) EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A SILL ELEVATION BELOW THE JACKSON HEIGHT ELEVATION SHALL BE PROVIDED WITH A 3'-0" MINIMUM CLEAR HEIGHT. THE CLEAR OPENING SHALL BE 3'-0" IN NOMINAL WIDTH AND A MINIMUM HORIZONTAL PROJECTION OF 30". THE PERSON HELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO FULLY OPENED.	
d) DOUBLE HUNG ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.1" SQUARE FEET.	
e) GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.0 SQUARE FEET.	
f) DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL BE PERMITTED TO HAVE A MIN. CLEAR OPENING OF 24" X 30" IN NOMINAL SIZE. THE MINIMUM NET CLEAR OPENING SHALL BE 24" X 30" IN NOMINAL SIZE.	
g) THE MINIMUM NET CLEAR OPENING SHALL BE 24" X 30" INCHES IN EITHER DIRECTION.	
h) EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE WITHOUT THE USE OF KEYS OR TOOLS.	
i) IN HOMES WHERE THE OPENING OF AN OPERABLE WINDOW LOCATED MORE THAN 7' ABOVE THE FLOOR, THE OPENING SHALL NOT ALLOW A 4-INCH DIAMETER SPHERE TO PASS THROUGH THE OPENING SINCE THE OPENING IS IN THE LARGEST OPEN POSITION.	
j) OPENINGS THAT ARE PROVIDED WITH HINCH FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R402.12.	
k) HINCHES THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R402.12.	
l) OPENINGS THAT ARE PROVIDED WITH FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R402.12.	
m) OPENINGS THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R402.12.	
n) STARWAYS, RAMPS, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS.	
o) REQUIRED EXITS SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES.	
p) REQUIRED EXIT SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.	
q) EXITS FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT SMALL OF 72" NOMINAL INCHES. THE NOMINAL WIDTH OF THE OTHER EXIT DOOR SHALL BE NOT LESS THAN 30" WITH A NOMINAL HEIGHT OF SIX FEET EIGHT INCHES IN NOMINAL HEIGHT AND MAY BE SLIDING OR SIDE-HINGED. EXCEPT FOR DWELLING UNITS THAT ARE PROVIDED WITH A 32" EXIT DOOR.	
r) ALL OTHER EXTERIOR DOORS IN EXCESS OF ONE REQUIRED EXIT DOOR ARE NOT REQUIRED TO COMPLY WITH THE REQUIREMENTS OF THIS SECTION.	
s) ALL INTERIOR DOORS PROVIDING ACCESS TO HABITABLE ROOMS SHALL HAVE A NOMINAL WIDTH OF 30 INCHES AND A NOMINAL HEIGHT OF 80 INCHES. THESE DOORS SHALL BE SWINGING IN THE DIRECTION OF EGRESS IN NORMAL OPERATION.	
t) A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR. THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR.	
u) A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR. THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR.	
v) A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR. THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR.	
w) A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR. THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR.	
x) A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR. THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR.	
y) A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR. THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR.	
z) A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR. THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR.	
aa) A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR. THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR.	
bb) A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR. THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR.	
cc) A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR. THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR.	
dd) A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR. THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR.	
ee) A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR. THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR.	
ff) A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR. THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR.	
gg) A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR. THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR.	
hh) A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR. THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR.	
ii) A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR. THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR.	
jj) A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR. THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR.	
kk) A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR. THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR.	
ll) A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR. THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR.	
mm) A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR. THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR.	
nn) A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR. THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED ON THE SIDE OF AN EXTERIOR EXIT DOOR.	

The banner features the word "FESTIVAL" in a unique, abstract font. Each letter is formed by several black lines that overlap and loop around each other, creating a complex, textured appearance. The letters are arranged horizontally, with "F" on the far left, followed by "E", "S", "T", "F", "E", "S", "T", "V", "I", "L", "A", "P", "I", and "T" on the far right. The background is plain white.



OWNER / CLIENT:

ARCHITECT:

STRUCTURAL ENGINEER

CONTRACTOR:

FIRST COLONY DEV. LLC
929 POST ROAD EAST
MARLBOROUGH, MA 01752
TEL. (508) 481-6095
FAX (508) 460-0578

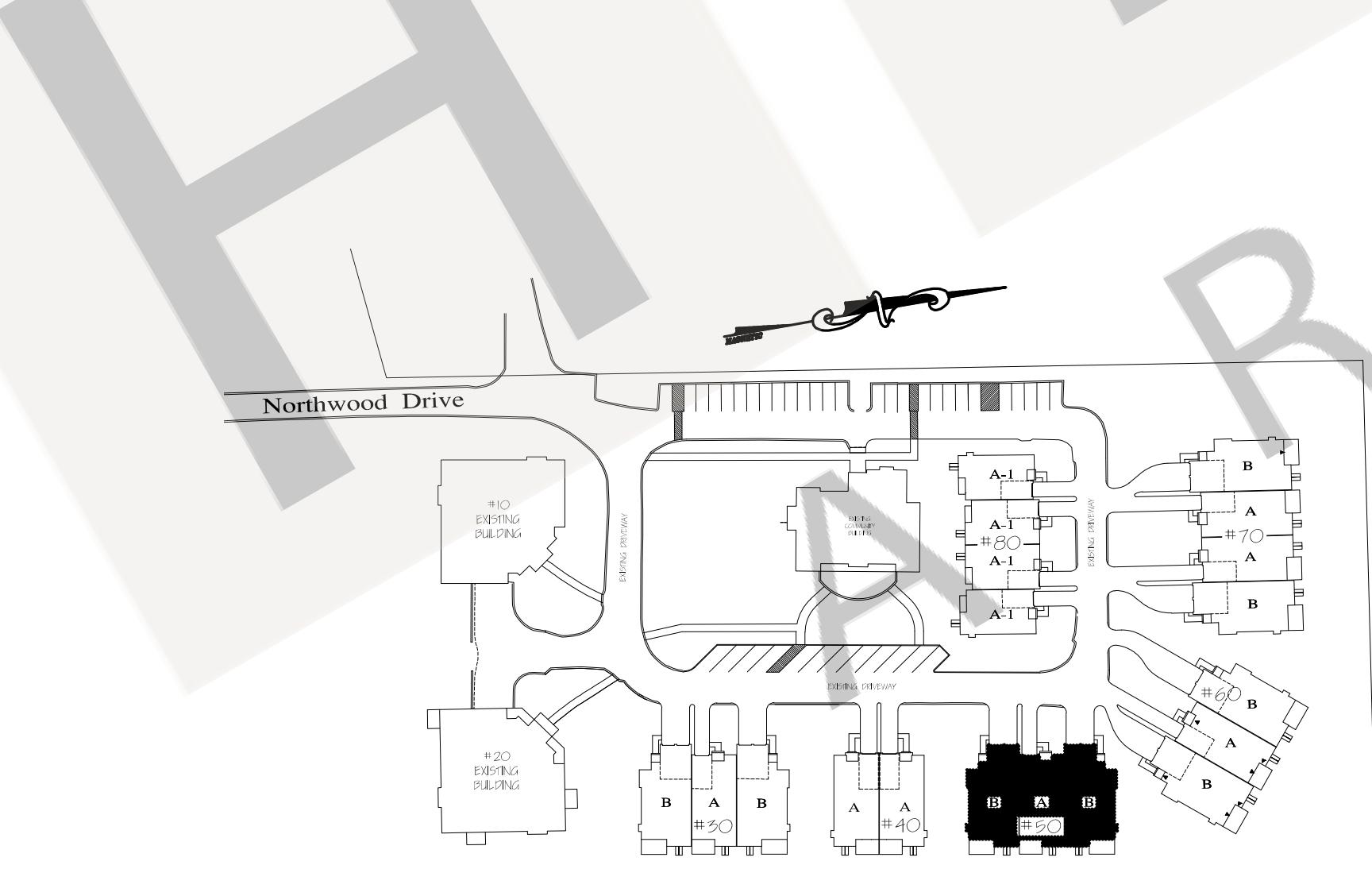
HPA DESIGN, INC.
200 STONEWALL BLVD.
SUITE 5
WRENTHAM, MA 02093
TEL. (508) 384-8838
FAX (508) 384-0483

DWD ENGINEERING, INC.
5 MICHAEL RD.
EAST BRIDGEWATER
TEL. (508) 378-9602
FAX. (508) 378-2922

SCHEDULE OF DRAWINGS:

- 0.1 TITLE SHEET
 - 1.1 1ST FLOOR PLAN
 - 1.2 2ND FLOOR PLAN
 - 2.1 ELEVATIONS
 - 2.2 ELEVATIONS
 - 3.1 BUILDING SECTIONS
 - 3.2 BUILDING SECTIONS
 - 4.1 WALL SECTIONS
 - 4.2 AIR BARRIER NOTES & DETAILS
 - 5.1 DETAILS
 - .1 FOUNDATION PLAN
 - .2 1ST FLOOR FRAMING
 - .3 2ND FLOOR FRAMING
 - .4 CEILING FRAMING
 - .5 ROOF FRAMING
 - 2.1 DETAILS
 - 2.2 DETAILS

KEY PLAN



— STEELE —

FIRST COLONY DEV. LLC

#50 NORTHWOOD DRIVE, NORTHWOOD TOWNHOUSE CONDOS, SUDBURY, MA

SHEET:

A.0.1

JOB NO. 20180101

FIRST COLONY DEVELOPMENT



OWNER / CLIENT:

FIRST COLONY DEV. LLC
929 POST ROAD EAST
MARLBOROUGH, MA 01752
TEL. (508) 481-6095
FAX (508) 460-0578

ARCHITECT:

HPA DESIGN, INC.
200 STONEWALL BLVD.
SUITE 5
WRENTHAM, MA 02093
TEL. (508) 384-8838
FAX (508) 384-0483

STRUCTURAL ENGINEER

DWD ENGINEERING, INC.
5 MICHAEL RD.
EAST BRIDGEWATER
TEL. (508) 378-9602
FAX (508) 378-2922

CONTRACTOR:

LOBISSEUR BUILDING CORP.
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747
TEL. (508) 418-6235
FAX (508) 413-0794



KEY PLAN

SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
- S1.3 2ND FLOOR FRAMING
- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
GENERAL	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (RTH EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE SITE CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
DIMENSIONS	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF THAT OPENING FROM THE CENTER OF ANOTHER OPENING OR THE EXTERIOR FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES REFERS TO THE POSITION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSION AT STAIR REPRESENTS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. INTERIOR DIMENSION AT DOOR PLACES REFERS TO THE POSITION TO THE MIDDLE OF THE DOOR (UNLESS OTHERWISE NOTED).	
4. HEIGHTS ARE TO BE DEPICTED THE BUILDING HEIGHT, SHOWS THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST STAIRWAY TO THE ROOF. THE CONTRACTOR SHALL PROVIDE THE EXACT ELEVATION OF THE ROOF LINE AND ALL OTHER BUILDINGS, MUST BE CONFIRMED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED ROOF ATTACHMENT.	
5. ALL OTHER DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY 3'-0" TO 4' (DEPENDING ON THE CLOSET).	
6. CLOSET DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY CENTERED WITHIN THE CLOSET.	
7. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING TYPE, UNLESS OTHERWISE NOTED.	
STAIRWAYS/DECKS	
1. STAIRWAYS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT. IN ALL PORTIONS ABOVE THE FINISHED HANDARAIL, THE CLEAR OPENING FROM THE BOTTOM TREAD DEPTH TO THE MINIMUM CEILING HEIGHT SHALL BE 4'-0". MINIMUM CEILING HEIGHT SHALL BE 7'-0". MAXIMUM TREAD DEPTH SHALL BE 8"-0" INCHES. NO TREAD DEPTH SHALL EXCEED 1 1/4". WINDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10"-0". TREADS SHALL NOT EXCEED 12"-0" IN LENGTH. TREADS SHALL BE PROVIDED IN A SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF A LANDING OR PLATFORM.	
2. HANDRAILS SHALL BE PROVIDED AT LEAST ONE CONTINUOUS RAIL OF TREADS OR FLIGHT OF STEPS HAVING A MINIMUM HEIGHT OF 34"-0" AND A MAXIMUM OF 34"-0" INCHES. NO TREAD DEPTH SHALL EXCEED 8"-0" INCHES. MINIMUM CEILING HEIGHT SHALL BE 7'-0". MAXIMUM TREAD DEPTH SHALL NOT EXCEED 12"-0" INCHES. NO TREAD DEPTH SHALL EXCEED 1 1/4".	
3. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLORAL, PORCH AND/OR BALCONY AREA'S MORE THAN THIRTY (30) INCHES ABOVE A FLORAL OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLORAL OR GRADE BELOW SHALL BE INSTALLED IN ACCORDANCE WITH THE MAXIMUM CLEAR OPENING BETWEEN RAILS, BALUSTERS AND FLOORS SHALL NOT EXCEED 4" INCHES.	
4. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED ON THE SIDES OF STAIRS TO GUARD AGAINST FALLS OR SLIPS. GUARDRAILS ON OPEN SIDES OF STAIRS SHALL NOT ALLOW A 5" INCH SPHERE 10" INCHES TO PASS THROUGH.	
5. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND UNDERSCAPE OF STAIRS AND PROVIDE AN ISOLATED DOOR AT THE BOTTOM OF ATTIC STAIRS.	
6. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND UNDERSCAPE OF STAIRS AND PROVIDE AN ISOLATED DOOR AT THE BOTTOM OF ATTIC STAIRS.	
7. HATCHES SHOWN ON THE DRAWINGS ARE BASED GENERICALLY ON ANDERSEN AND THE OWNER OR GENERAL CONTRACTOR WHERE APPLICABLE SHALL CHOOSE THE FINA MANUFACTURER. WINDOW SHOES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING. ROUGH OPENINGS SHALL BE PROVIDED BY THE MANUFACTURER.	
8. BASEMENTS, ATTICS, EXTERIOR ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW. EACH SHALL HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING. IN ADDITION, A BASEMENT SHALL NOT REQUIRE ONE ESCAPE AND RESCUE OPENINGS IF THE FOLLOWING CRITERIA ARE MET.	
a) GILL HEIGHT SHALL NOT BE MORE THAN 48 INCHES ABOVE THE FLOOR.	
b) A DOOR SWINGING THROUGH BELOW THE JACKSON FLOOR LEVEL AND ELEVATION IS USED AS AN EMERGENCY ESCAPE AND RESCUE OPENING AND IS PROVIDED WITH A DELUXE ENCLOSURE. THE DELUXE ENCLOSURE SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT AND WHEN THE BULBHEAD IS FULLY OPEN IT SHALL PROVIDE A MINIMUM CLEAR OPENING OF 30"-0" INCHES.	
c) EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A 5'0" ELEVATION BELOW THE JACKSON GROUND FLOOR. THE CLEAR OPENING SHALL NOT EXCEED 12"-0" INCHES IN WIDTH AND A MAXIMUM HORIZONTAL PROJECTION OF 36"-0". THE PERSON HELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO FULLY OPENED.	
d) DOUBLE HUNG ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.1" INCHES.	
EXCEPTIONS:	
1. STAIRWAYS, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS.	
2. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL BE PERMITTED TO HAVE A MIN. CLEAR OPENING OF 24"-0" X 30"-0" INCHES IN EITHER DIRECTION.	
3. DOUBLE HUNG WINDOWS THAT ARE PROVIDED WITH HINCH FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R402.3.	
4. OPENINGS THAT ARE PROVIDED WITH HINCH FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R402.4.	
5. HINCHES THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R402.4.	
6. STAIRWAYS, RAMPS, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS.	
7. REQUIRED EXITS SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES.	
8. REQUIRED EXITS SHALL BE PROVIDED IN A HALLWAY, STAIR, OR SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.	
9. EXITS FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36"-0" WITH A NOMINAL HEIGHT OF 72"-0" IN NOMINAL WIDTH OR SIX FEET EIGHT INCHES IN NOMINAL HEIGHT AND MAY BE SLIDING OR SIDE-HINGED.	
10. EXITS FROM DWELLING UNITS SHALL BE PROVIDED PROVIDED THAT THE ATTACHED GARAGE IS ALSO PROVIDED WITH A 32"-0" EXIT DOOR.	
11. ALL OTHER EXTERIOR DOORS IN EXCESS OF THE REQUIRED EXIT DOORS ARE NOT REQUIRED TO COMPLY WITH THE REQUIREMENTS OF SECTION R402.1.	
12. ALL INTERIOR DOORS PROVIDING ACCESS TO HABITABLE ROOMS SHALL HAVE A NOMINAL WIDTH OF 30"-0" INCHES AND BE PROVIDED WITH A 6'-0" NOMINAL HEIGHT. THE NOMINAL WIDTH OF THE DOOR SHALL BE PROVIDED IN NOMINAL WIDTH.	
13. A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR THAT IS LOCATED IN THE DIRECTION OF TRAVEL.	
EXPIRES:	
The 3-unit townhouse has an aggregate area of 1,210 SF and shall be designed with a minimum NFPA 50 system.	
These drawings and specifications were prepared for use at the location indicated herein. They are expressly limited to the identified location and may not be reproduced by any method, in whole or in part, without the written permission of HPA Design, ©2010.	
REVISIONS:	
# DATE DESC.	
0 ISSUED FOR CONSTRUCTION	
DRAWN BY: RWB contact@hpadesign.com	
CHECKED BY: HPA	
PATH: 20180101_FIRST COLONY DEV 20180101LCDs	
SCALE: SEE DRAWING	
DATE: AUGUST 1, 2010	
REVISIONS:	
# DATE DESC.	
0 ISSUED FOR CONSTRUCTION	
DRAWN BY: RWB contact@hpadesign.com	
CHECKED BY: HPA	
PATH: 20180101_FIRST COLONY DEV 20180101LCDs	
SCALE: SEE DRAWING	
DATE: AUGUST 1, 2010	
REVISIONS:	
# DATE DESC.	
0 ISSUED FOR CONSTRUCTION	
DRAWN BY: RWB contact@hpadesign.com	
CHECKED BY: HPA	
PATH: 20180101_FIRST COLONY DEV 20180101LCDs	
SCALE: SEE DRAWING	
DATE: AUGUST 1, 2010	
REVISIONS:	
# DATE DESC.	
0 ISSUED FOR CONSTRUCTION	
DRAWN BY: RWB contact@hpadesign.com	
CHECKED BY: HPA	
PATH: 20180101_FIRST COLONY DEV 20180101LCDs	
SCALE: SEE DRAWING	
DATE: AUGUST 1, 2010	
REVISIONS:	
# DATE DESC.	
0 ISSUED FOR CONSTRUCTION	
DRAWN BY: RWB contact@hpadesign.com	
CHECKED BY: HPA	
PATH: 20180101_FIRST COLONY DEV 20180101LCDs	
SCALE: SEE DRAWING	
DATE: AUGUST 1, 2010	
REVISIONS:	
# DATE DESC.	
0 ISSUED FOR CONSTRUCTION	
DRAWN BY: RWB contact@hpadesign.com	
CHECKED BY: HPA	
PATH: 20180101_FIRST COLONY DEV 20180101LCDs	
SCALE: SEE DRAWING	
DATE: AUGUST 1, 2010	
REVISIONS:	
# DATE DESC.	
0 ISSUED FOR CONSTRUCTION	
DRAWN BY: RWB contact@hpadesign.com	
CHECKED BY: HPA	
PATH: 20180101_FIRST COLONY DEV 20180101LCDs	
SCALE: SEE DRAWING	
DATE: AUGUST 1, 2010	
REVISIONS:	
# DATE DESC.	
0 ISSUED FOR CONSTRUCTION	
DRAWN BY: RWB contact@hpadesign.com	
CHECKED BY: HPA	
PATH: 20180101_FIRST COLONY DEV 20180101LCDs	
SCALE: SEE DRAWING	
DATE: AUGUST 1, 2010	
REVISIONS:	
# DATE DESC.	
0 ISSUED FOR CONSTRUCTION	
DRAWN BY: RWB contact@hpadesign.com	
CHECKED BY: HPA	
PATH: 20180101_FIRST COLONY DEV 20180101LCDs	
SCALE: SEE DRAWING	
DATE: AUGUST 1, 2010	
REVISIONS:	
# DATE DESC.	
0 ISSUED FOR CONSTRUCTION	
DRAWN BY: RWB contact@hpadesign.com	
CHECKED BY: HPA	

FIRST COLONY DEVELOPMENT



OWNER / CLIENT:

FIRST COLONY DEV. LLC
929 POST ROAD EAST
MARLBOROUGH, MA 01752
TEL. (508) 481-6095
FAX (508) 460-0578

ARCHITECT:

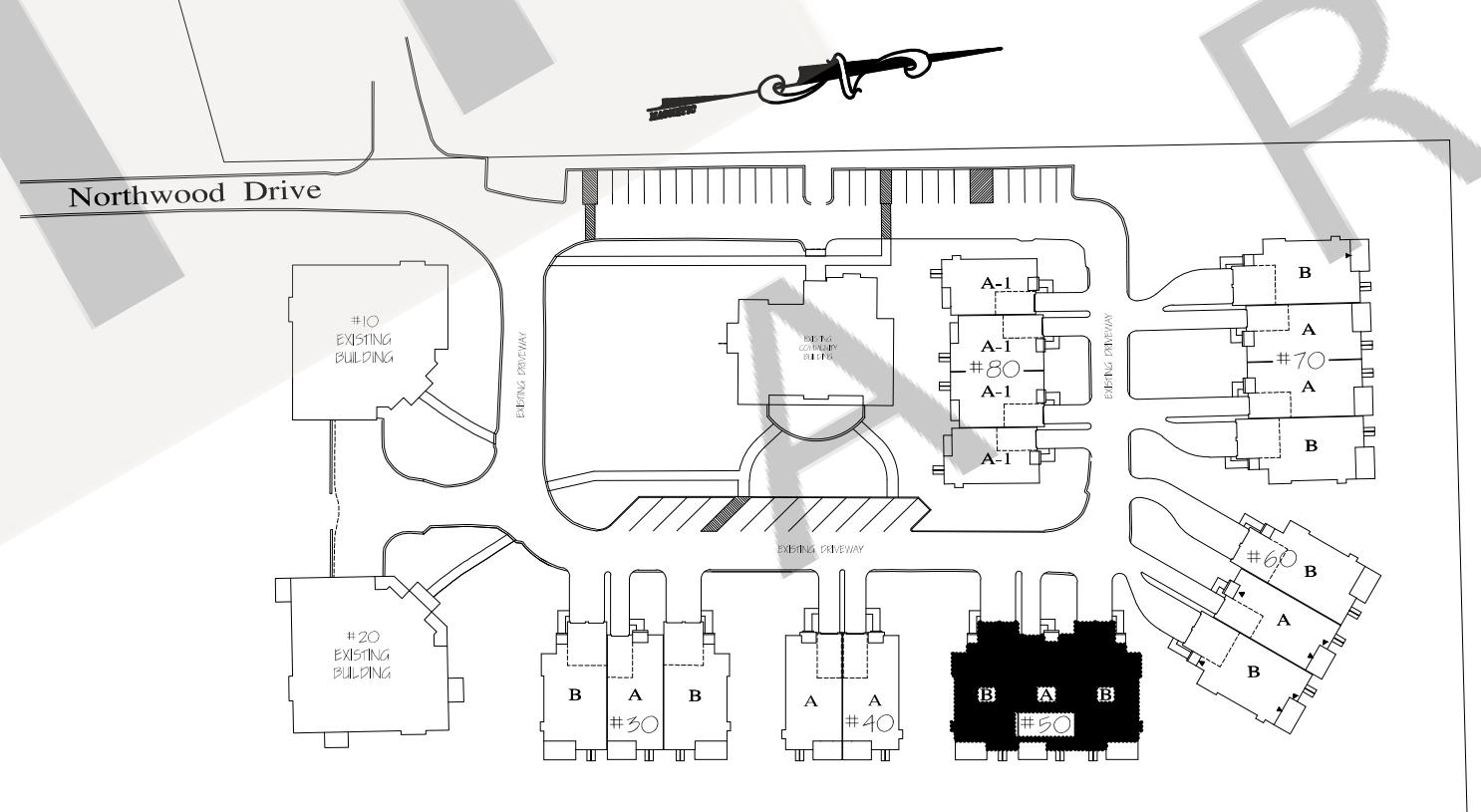
HPA DESIGN, INC.
200 STONEWALL BLVD.
SUITE 5
WRENTHAM, MA 02093
TEL. (508) 384-8838
FAX (508) 384-0483

STRUCTURAL ENGINEER

DWD ENGINEERING, INC.
5 MICHAEL RD.
EAST BRIDGEWATER
TEL. (508) 378-9602
FAX (508) 378-2922

CONTRACTOR:

LOBISSEUR BUILDING CORP.
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747
TEL. (508) 478-6235
FAX (508) 473-0794



KEY PLAN

SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
- S1.3 2ND FLOOR FRAMING
- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
GENERAL	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (RTH EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONjunction WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHAP DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF THE CONTRACTOR NOTIFIES THE ARCHITECT OF A DISCREPANCY, THE ARCHITECT SHALL NOTIFY THE CONTRACTOR, PRIOR TO PROCEEDING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORRECT, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT. IF THIS IS INCORRECT WITH THE SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/VALLEY INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
DIMENSIONS	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLATE REPRESENT A DIMENSION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSIONING AT STAIR REPRESENTS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. EXTERIOR DIMENSIONING TO A DOOR REFERS TO THE CENTER LINE OF THE DOOR.	
4. ATTACHMENT POINTS FOR THE BUILDING HEIGHT, SHOW THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS FOR THE BUILDING AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST STAIRWAY TO THE ROOF. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE APPROPRIATE DIMENSIONS FOR THE 1ST FLOOR TO ENSURE COMPLIANCE WITH ZONING AND BUILDING CODE HEIGHT REQUIREMENTS.	
5. ALL OTHER DOORS THAT ARE NOT DIMENSHED ARE TYPICALLY 3'-0" TO 4'-0" DEPENDING ON THE FLOOR/CASEMENT TYPE.	
6. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
STAIRWAYS/DECKS	
1. STAIRWAYS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT. IN ALL PORTIONS ABOVE THE FINISHED HANRAL RAILING, THE CLEAR HEIGHT FROM THE FINISHED FLOOR TO THE CEILING SHALL BE 6'-0". MINIMUM DEPTH SHALL BE 18"-0" AND MAXIMUM DEPTH SHALL NOT EXCEED 1'-0". UNDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10"-0". Treads shall be 10"-0" wide. Handrails shall be located on both sides of the stairs and shall be continuous along the tread nosing or from the floor surface of a landing or platform.	
2. HANDRAILS SHALL BE PROVIDED AT EACH CONTINUOUS RUN OF TREADS OR FLIGHTS OF STEPS. THE MINIMUM HEIGHT SHALL BE 34"-0" AND MAXIMUM DEPTH SHALL NOT EXCEED 4"-0".	
3. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW SHALL BE NO LESS THAN 48"-0" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30"-0" OR LESS ABOVE A FLOR OR GRADE BELOW SHALL BE NO LESS THAN 34"-0". GUARDRAILS, RAILS, BALUSTERS AND FLOORS SHALL NOT EXCEED 4"-0" INCHES.	
4. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH A SIZE THAT A 5X5 INCH (6" SPHERE) CANNOT PASS THROUGH. OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIRS SHALL NOT ALLOW A SPHERE 4-3/8" INCHES TO PASS THROUGH.	
5. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF AN INDOOR STAIRCASE OR INSTITUTE THE WALLS AND UNDERSTAIRS. AN ISOLATED DOOR SHALL NOT EXCEED 3'-0" IN WIDTH. THE MAXIMUM CLEAR OPENING BETWEEN RAILS, GUARADS AND FLOORS SHALL NOT EXCEED 4"-0" INCHES.	
6. GUARADS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW SHALL BE NO LESS THAN 48"-0" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30"-0" OR LESS ABOVE A FLOR OR GRADE BELOW SHALL BE NO LESS THAN 34"-0". GUARDRAILS, RAILS, BALUSTERS AND FLOORS SHALL NOT EXCEED 4"-0" INCHES.	
7. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRCASES. ISOLATE THE WALLS AND UNDERSTAIRS AND PROVIDE AN ISOLATED DOOR AT THE BOTTOM OF ATTIC STAIRS.	
8. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF EXTERIOR STAIRCASES. ISOLATE THE WALLS AND UNDERSTAIRS AND PROVIDE AN ISOLATED DOOR AT THE BOTTOM OF EXTERIOR STAIRS.	
9. HOLLOW CORE DOORS SHOWN ON THE DRAWINGS ARE BASED GENERICALLY ON ANDERSEN AND THE OWNER OR GENERAL CONTRACTOR WHERE APPLICABLE SHALL CHOOSE THE FINAL MANUFACTURER. WINDOW SIZES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING. ROUGH OPENINGS SHALL BE PROVIDED BY THE MANUFACTURER.	
10. BASEMENTS, ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW. EACH SHALL HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING. IN ADDITION, A BASEMENT SHALL NOT REQUIRE ONE EMERGENCY ESCAPE AND RESCUE OPENINGS IF THE FOLLOWING CRITERIA ARE MET.	
a) GILL HEIGHT SHALL NOT BE MORE THAN 48"-0" ABOVE THE FLOOR.	
b) A DOOR SWINGING THROUGH BELOW THE JACKSON FLOOR LEVEL AND THE ELEVATION IS USED AS AN EMERGENCY ESCAPE AND RESCUE OPENING AND IS PROVIDED WITH A DELUXE ENCLOSURE. THE DELUXE ENCLOSURE SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT AND WHEN THE BULBHEAD IS FULLY OPEN IT SHALL PROVIDE A MINIMUM CLEAR OPENING OF 3'-0" X 4'-0".	
c) EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A 5' ELL ELEVATION BELOW THE JACKSON GROUND FLOOR. THE ELL ELEVATION SHALL NOT EXCEED 12"-0" IN DEPTH AND THE ELL ELEVATION SHALL HAVE A MINIMUM HORIZONTAL PROJECTION OF 36"-0". THE BULBHEAD SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO FULLY OPENED.	
d) DOUBLE HUNG ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.1" SQUARE FEET.	
11. GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.0 SQUARE FEET.	
12. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL BE PERMITTED TO HAVE A MIN. CLEAR OPENING OF 24"-0" X 30"-0" IN SIZE. THE MINIMUM NET CLEAR OPENING SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
13. THE MINIMUM NET CLEAR OPENING SHALL BE 24"-0" X 30"-0" IN SIZE.	
14. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE WITHOUT THE USE OF KEYS OR TOOLS.	
15. IN DOORS WHERE THE OPENING IS LOCATED MORE THAN 72" ABOVE THE FINISHED FLOOR, THE MINIMUM NET CLEAR OPENING SHALL BE 24"-0" X 30"-0" IN SIZE. THE MINIMUM NET CLEAR OPENING SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
16. OPENINGS THAT ARE PROVIDED WITH FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R402.1.	
17. INHOBNS THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R402.4.	
18. INHOBNS THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R402.4.	
19. STARWAYS, RAMP, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS.	
20. REQUIRED EXITS SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES.	
21. ALL EXTERIOR SPACES UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" OSB/RYD BOARD.	
22. EXTERIOR FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36"-0" WITH A NOMINAL HEIGHT SMALL OF 72"-0" AND A NOMINAL DEPTH OF 30"-0". THE NOMINAL WIDTH AND DEPTH SHALL NOT EXCEED 36"-0" X 30"-0".	
23. EXTERIOR FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36"-0" WITH A NOMINAL HEIGHT SMALL OF 72"-0" AND A NOMINAL DEPTH OF 30"-0".	
24. ALL OTHER EXTERIOR DOORS IN EXCESS OF THE REQUIRED EXIT DOORS ARE NOT REQUIRED TO COMPLY WITH THE REQUIREMENTS OF THIS SECTION.	
25. ALL INTERIOR DOORS PROVIDING ACCESS TO HABITABLE ROOMS SHALL HAVE A NOMINAL WIDTH OF 30"-0" AND A NOMINAL DEPTH OF 8'-0" AND BE PROVIDED WITH A NOMINAL SWING CLEARANCE OF 36"-0" IN NOMINAL WIDTH.	
26. A DOOR OR LANDING SHALL MEET THE REQUIREMENT OF AN EXTERIOR EXIT DOOR IF THE POINT OF DRAFT LANDING IS LOCATED MORE THAN THE DOOR SWUNG AND HAVE A MINIMUM DIMENSION OF 36"-0" INCHES MEASURED IN THE DIRECTION OF TRAVEL.	
27. SPINNERS.	
The 3-unit townhouse has an aggregate area of 1,210 SF and shall be designed with a minimum NFPA 50 system.	
MINIMUM ROOM REQUIREMENTS	
1. HABITABLE ROOMS, HALLWAYS, CORRIDORS, BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS AND BASEMENTS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN SEVEN (7') FEET MEASURED FROM THE FINISH FLOOR TO THE LOWEST PROJECTION FROM THE CEILING.	
2. EXEMPTIONS.	
3. NOT MORE THAN 50% OF THE REQUIRED FLOOR AREA OF A ROOM IS PERMITTED TO HAVE A SLOPED CEILING LESS THAN SEVEN (7') IN HEIGHT IN ANY PORTION OF THE REQUIRED FLOOR AREA LESS THAN FIVE FEET IN LENGTH.	
4. BATHROOMS SHALL HAVE A MINIMUM CEILING HEIGHT OF SIX FEET EIGHT INCHES OVER THE FIXTURE AND AT THE SHOWERHEAD.	
5. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/VALLEY INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
ROOFING AND Siding	
1. PROVIDE CONTINUOUS 6'-0" WIDE FIBERGLASS REINFORCED, BITUMEN, ICE AND WATER SHIELD AT ALL ROOF EDGES CENTERED IN ALL VALLEYS AND AT ROOF WALL INTERSECTIONS CARRIED 1'-0" UP THE WALL/FACADE TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.	
2. PROVIDE ALUMINUM FLASHING OVER ALL WINDOW AND DOOR HEAD IRON AND AT THE CONNECTION BETWEEN ALL EXTERIOR ROOF EDGES.	
3. PROVIDE ALUMINUM FLASHING OVER ALL ROOF/WALL AND ROOF/GHIBNEY INTERSECTIONS.	
4. PROVIDE CONTINUOUS VENTED DRIP EDGE AT ALL SOFFIT OVERHANGS.	
5. PROVIDE FELT UNDER ALL ROOF SHINGLES UNLESS SPECIFIED OTHERWISE.	
6. PROVIDE CONTINUOUS RIDGE VENTS (UNLESS SPECIFIED AS OTHERWISE). SEE BUILDING EXTENT.	
7. ALL GUTTERS AND DOWNGOATS TO BE PREFINISHED ALUM. COLOR TO BE SELECTED BY OWNER.	
8. LIGHTVENTILATION AND INSULATION.	
9. ALL HABITABLE ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING OF NOT LESS THAN 28% OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, LOUVRES OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR. THE MINIMUM OPENABLE AREA TO THE OUTDOOR SHALL BE 4% OF THE FLOOR AREA OF SUCH ROOMS.	
10. EXCEPTIONS.	
11. THE GLAZED AREAS NEED NOT BE OPENABLE WHERE THE OPENING IS NOT A REQUIRED TO BE AN EMERGENCY ESCAPE AND RESCUE OPENING AND AN APPROVED MECHANICAL VENTILATION SYSTEM IS PROVIDED CAPABLE OF PRODUCING 0.5 CFM OF EXHAUST AIR PER HOUR IN THE ROOM OR A ONE-HOUSE MECHANICAL VENTILATION SYSTEM IS INSTALLED IN AN ADJACENT ROOM. THE MINIMUM OPENABLE AREA IS 4% OF THE FLOOR AREA FOR THE FIRST BEDROOM AND ONE FOR EVERY ADDITIONAL BEDROOM.	
12. ALL BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING AREA OF NOT LESS THAN THREE SQUARE FEET, 1/2 OF WHICH MUST BE OPENABLE.	
13. EXEMPTION.	
14. THE GLAZED AREA SHALL NOT BE REQUIRED WHERE ARTIFICIAL LIGHT AND A MECHANICAL VENTILATION SYSTEM ARE PROVIDED. VENTILATION AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE.	
15. ATTIC VENTILATION WITH A CEILING VAPOR BARRIER. PROVIDE AT LEAST ONE (1) SQUARE FOOT OF FREE AREA FOR EACH THREE HUNDRED (300) SQUARE FOOT OF CEILING AREA.	
16. ATTIC VENTILATION WITHOUT A CEILING VAPOR BARRIER. PROVIDE AT LEAST ONE (1) SQUARE FOOT OF FREE AREA FOR EACH ONE HUNDRED-FIFTY (150) SQUARE FOOT OF CEILING AREA.	
17. IF MECHANICAL ELECTRICAL OR PLUMBING EQUIPMENT IS TO BE PLACED IN ATTICS, DUE OVERHANGS AND OTHER SIMILAR UNCONDITIONED UNPLETED SPACES, THE CONTRACTOR IS RESPONSIBLE TO PROVIDE A PROPER ENCLOSURE, INSULATION, DUCT VENTILATION, ETC., TO AVOID MOISTURE, CONDENSATION, FREEZING, ICE DAMMING, AND OTHER SIMILAR ISSUES.	
18. PLUMBING.	
19. ALL SANITARY LINES WITHIN WALLS AND FLOORS ADJOINING LIVING SPACES ARE TO BE SOUND INSULATED.	
20. AND ON THE WARM SIDE OF THE GROUT JACKET TO AVOID FREEZING.	
21. COMBINATION SMOKE AND CARBON MONOXIDE ALARMS ARE ACCEPTABLE PROVIDED SUCH ALARMS HAVE A MINIMUM SENSING RANGE OF 10'-0" IN EACH DIRECTION. IF COMBINATION ALARMS ARE TO BE USED AS REQUIRED FOR BOTH SMOKE AND CARBON MONOXIDE, THEY SHALL BE PLACED IN A COMMON LOCATION.	
22. FIRE DEPARTMENTS ARE REQUIRED TO BE PERMANENTLY WIRED TO AN AC-PRIMARY POWER SOURCE AND SHALL HAVE SECUNDARY STANDBY POWER SUPPLIED FROM CONTINUED BATTERIES.	
23. WHERE MORE THAN ONE SMOKE DETECTOR IS REQUIRED, ALL REQUIRED DETECTORS SHALL BE INSTALLED SO THAT THE ACTIVATION OF ANY DETECTOR SHALL CAUSE THE ALARM IN ALL REQUIRED SMOKE DETECTORS IN THE DWELLING UNITS TO SOUND 85 DBA AT 10' FEET, 15' IN BEDROOMS.	
24. SMOKE DETECTORS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:	
a) IN EACH BEDROOM.	
b) IN EACH BATHROOM.	
c) IN EACH STORY OF THE DWELLING UNITS.	
d) IN EACH STORY OF THE DWELLING UNITS.	
e) IN EACH STORY OF THE DWELLING UNITS.	
f) IN EACH STORY OF THE DWELLING	

The banner features the word "FESTIVAL" in a unique, abstract font. Each letter is formed by several black lines that overlap and loop around each other, creating a complex, textured appearance. The letters are arranged horizontally, with "F" on the far left, followed by "E", "S", "T", "F", "E", "S", "T", "V", "I", "L", "A", "P", "I", and "T" on the far right. The background is plain white.



OWNER / CLIENT:

ARCHITECT:

STRUCTURAL ENGINEER

CONTRACTOR:

FIRST COLONY DEV. LLC
929 POST ROAD EAST
MARLBOROUGH, MA 01752
TEL. (508) 481-6095
FAX (508) 460-0578

HPA DESIGN, INC.
200 STONEWALL BLVD.
SUITE 5
WRENTHAM, MA 02093
TEL. (508) 384-8838
FAX (508) 384-0483

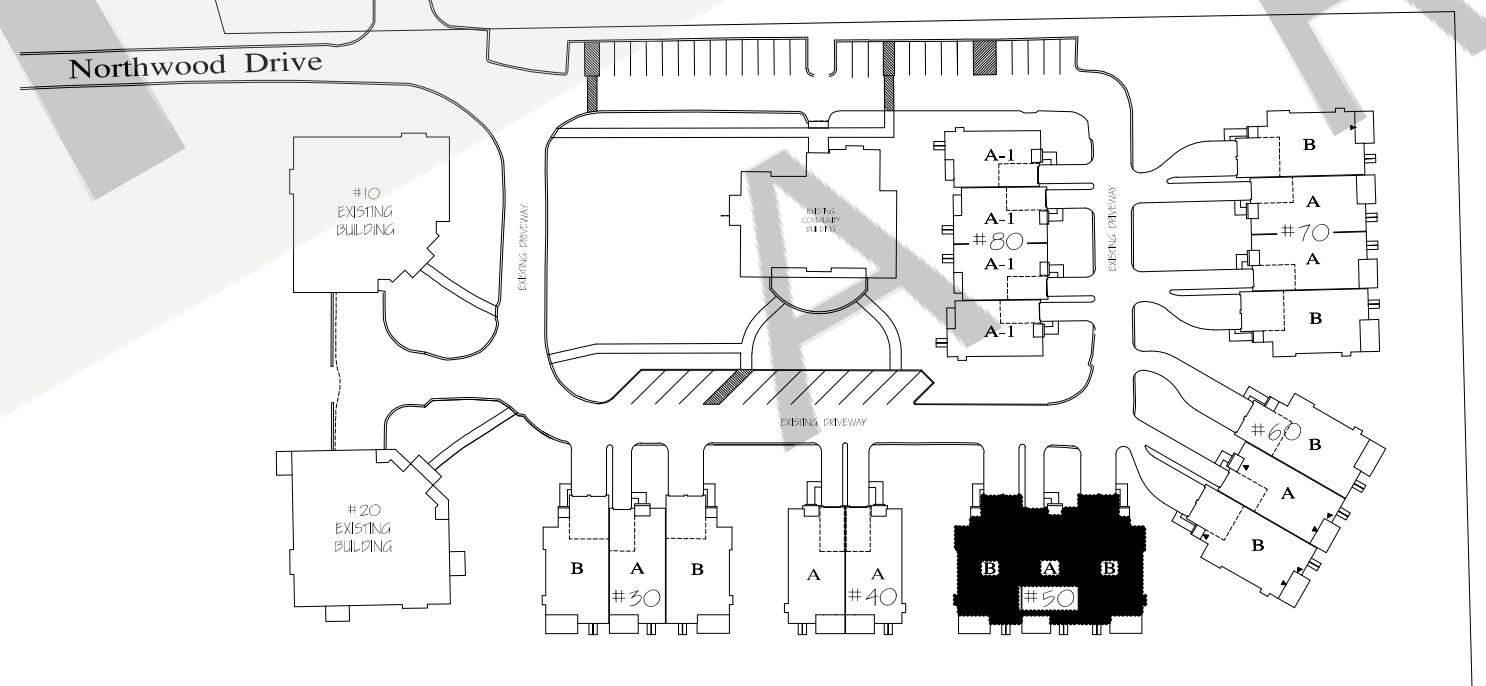
DWD ENGINEERING, INC.
5 MICHAEL RD.
EAST BRIDGEWATER
TEL. (508) 378-9602
FAX. (508) 378-2922

LOBISSEER BUILDING CORP.
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747
TEL. (508) 478-6235
FAX (508) 473-0794

SCHEDULE OF DRAWINGS:

- 0.1 TITLE SHEET
 - 1.1 1ST FLOOR PLAN
 - 1.2 2ND FLOOR PLAN
 - 2.1 ELEVATIONS
 - 2.2 ELEVATIONS
 - 3.1 BUILDING SECTIONS
 - 3.2 BUILDING SECTIONS
 - 4.1 WALL SECTIONS
 - 4.2 AIR BARRIER NOTES & DETAILS
 - 5.1 DETAILS
 - .1 FOUNDATION PLAN
 - .2 1ST FLOOR FRAMING
 - .3 2ND FLOOR FRAMING
 - .4 CEILING FRAMING
 - .5 ROOF FRAMING
 - 2.1 DETAILS
 - 2.2 DETAILS

KEY PLAN



— STEELE —

FIRST COLONY DEV. LLC

#50 NORTHWOOD DRIVE, NORTHWOOD TOWNHOUSE CONDOS, SUDBURY, MA

SHEET:

A.0.1

JOB NO. 20180101

FIRST COLONY DEVELOPMENT



OWNER / CLIENT:

FIRST COLONY DEV. LLC
929 POST ROAD EAST
MARLBOROUGH, MA 01752
TEL. (508) 481-6095
FAX (508) 460-0578

ARCHITECT:

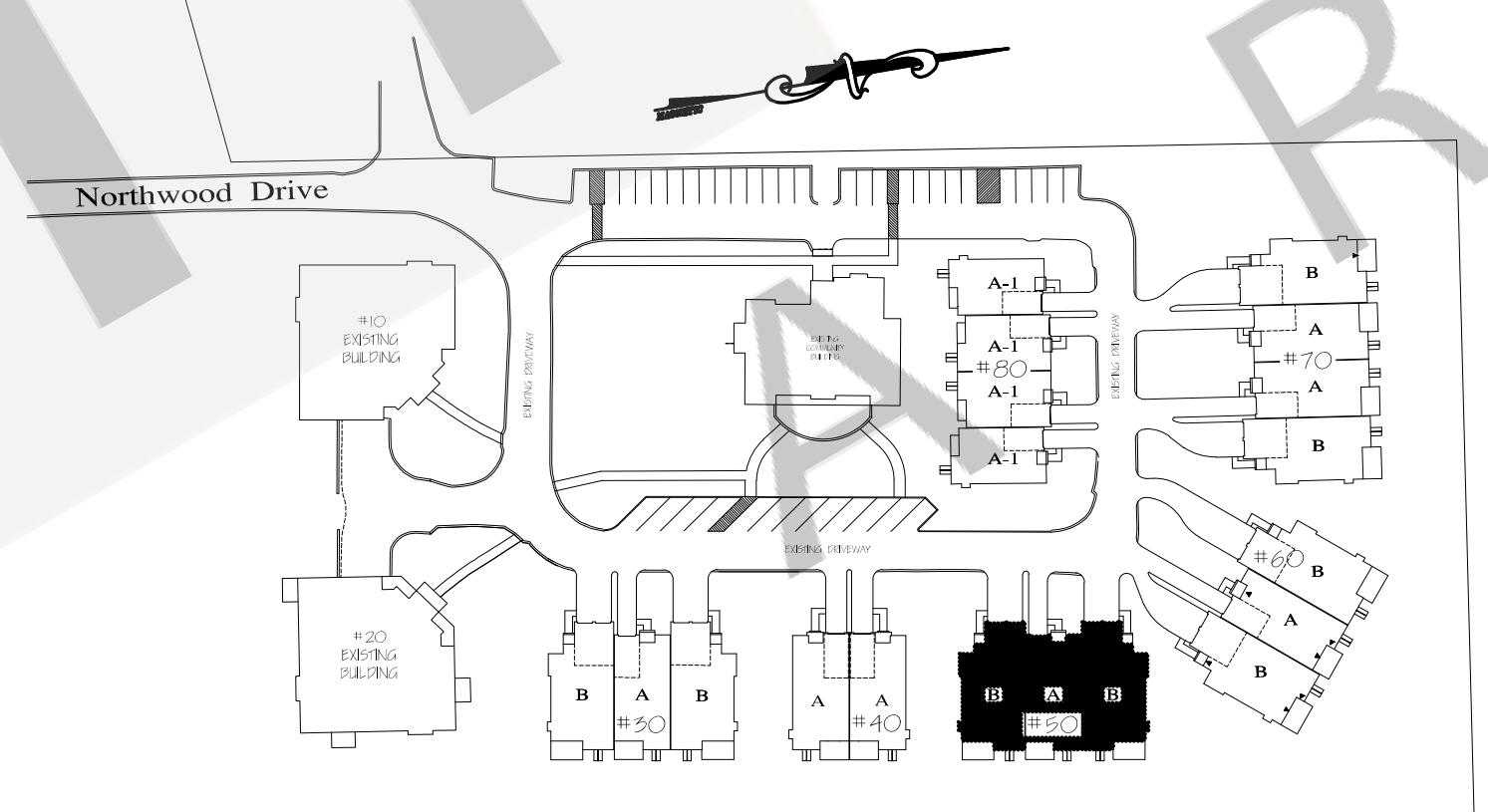
HPA DESIGN, INC.
200 STONEWALL BLVD.
SUITE 5
WRENTHAM, MA 02093
TEL. (508) 384-8838
FAX (508) 384-0483

STRUCTURAL ENGINEER

DWD ENGINEERING, INC.
5 MICHAEL RD.
EAST BRIDGEWATER
TEL. (508) 378-9602
FAX (508) 378-2922

CONTRACTOR:

LOBISSEUR BUILDING CORP.
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747
TEL. (508) 478-6235
FAX (508) 473-0794



KEY PLAN

SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
- S1.3 2ND FLOOR FRAMING
- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
GENERAL	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (R10 EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE SITE CONDITIONS, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IF THIS IS INCONSISTENT WITH THE SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
DIMENSIONS	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF THAT OPENING FROM THE CENTER OF ANOTHER OPENING OR THE EXTERIOR FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES REFERS TO THE POSITION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSIONING AT STAIR REPRESENTS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. INTERIOR DIMENSIONING AT DOORS REFERS TO THE INSIDE EDGE OF THE DOOR FRAME AND ALL OTHER DOORS, MUST BE CONFIRMED WITH THE FUTURE MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
4. HEIGHTS DEPICTING THE BUILDING HEIGHT, SHOWS THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS ARE FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST STAIRWAY TO THE ROOF. THE ROOF HEIGHT IS THE TOTAL HEIGHT OF THE ROOF DECK, THE ROOFING, AND ALL OTHER DECKS THAT ARE NOT ENDED. THE ROOFING IS FROM THE GUTTER LINE TO THE ROOF DECK.	
5. GUTTER DOORS THAT ARE NOT ENDED ARE TYPICALLY 4' TO 6' (DEPENDING ON THE CAVING CAPACITY).	
6. DIMENSIONS LOCATING CAGED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
STAIRWAYS/DECKS	
1. STAIRWAYS SHALL NOT BE LESS THAN 40 INCHES HIGH AT ALL POINTS ABOVE THE FINISHED HANDBAR. THE MINIMUM CLEARANCE FROM THE FINISHED HANDBAR TO THE CEILING SHALL BE 6'-0" MINIMUM. THE DEPTH SHALL BE 18"-0" INCHES NOT TO EXCEED 18'-0". WINDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10"-0". THE DEPTH OF THE TREADS SHALL BE 18"-0" INCHES NOT TO EXCEED 18'-0" INCHES. THE DEPTH OF THE TREADS SHALL BE 18"-0" INCHES NOT TO EXCEED 18'-0" INCHES.	
2. HANDRAILS SHALL BE PROVIDED AT LEAST ONE CONTINUOUS RUN OF TREADS OR FLIGHTS OF STEPS THAT ARE 12' OR MORE IN LENGTH. MINIMUM HEIGHT SHALL BE 34"-0" AND MAXIMUM SHALL NOT EXCEED 34"-0" INCHES. THE DEPTH OF THE TREADS SHALL BE 18"-0" INCHES NOT TO EXCEED 18'-0" INCHES. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH AND/OR BALCONY AREA'S MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 36"-0" INCHES NOT TO EXCEED 36"-0" INCHES. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30"-0" OR LESS SHALL BE 34"-0" INCHES NOT TO EXCEED 34"-0" INCHES. RAILS, BALUSTERS, AND FLOORS SHALL NOT EXCEED 4" INCHES.	
3. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH AND/OR BALCONY AREA'S MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 36"-0" INCHES NOT TO EXCEED 36"-0" INCHES. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30"-0" OR LESS SHALL BE 34"-0" INCHES NOT TO EXCEED 34"-0" INCHES.	
4. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH A SIZE THAT A 5X5 INCH (6" SPHERE) CANNOT PASS THROUGH. OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIRS SHALL NOT ALLOW A SPHERE 4-3/8" INCHES TO PASS THROUGH.	
5. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF AN INDEPENDENT BASEMENT OR INSTITUTE THE WALLS AND UNDERSTAIRS. AN ISOLATED DOOR SHALL NOT BE PROVIDED IN AN ATTIC, BASEMENT, OR INSTITUTE THE WALLS AND UNDERSTAIRS. AN ISOLATED DOOR SHALL NOT BE PROVIDED IN AN ATTIC, BASEMENT, OR INSTITUTE THE WALLS AND UNDERSTAIRS.	
6. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND UNDERSTAIRS AND PROVIDE AN ISOLATED DOOR AT THE BOTTOM OF ATTIC STAIRS.	
7. HOLLOW CORE DOORS SHALL BE PROVIDED ON THE DRAWINGS. HOLLOW CORE DOORS SHALL BE PROVIDED BY THE MANUFACTURER.	
8. BASEMENTS, ATTICS, EXTERIOR SLEEPING ROOMS SHALL HAVE AT LEAST ONE OPERABLE WINDOW. EACH SHALL HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING. BASEMENT, ATTIC, OR SLEEPING ROOMS SHALL NOT REQUIRE ONE ESCAPE AND RESCUE OPENINGS UNLESS THE FOLLOWING CRITERIA:	
a) GILL HEIGHT SHALL NOT BE MORE THAN 48 INCHES ABOVE THE FLOOR.	
b) A DOOR SWINGING THROUGH BELOW THE JACKSON HEIGHT ELEVATION IS USED AS AN EMERGENCY ESCAPE AND RESCUE OPENING AND IS PROVIDED WITH A DELUXE ENCLOSURE. THE SWING SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT AND WHEN THE BULBHEAD IS FULLY OPEN IT SHALL PROVIDE DIRECT ACCESS TO THE ATTIC.	
c) EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A 5' ELEVATION BELOW THE JACKSON GROUND FLOOR. THE JACKSON GROUND FLOOR IS THE FLOOR WHICH IS 10'-0" INCHES ABOVE THE FLOOR AND HAS A NOMINAL HEIGHT OF 8'-0" INCHES AND A NOMINAL VERTICAL PROJECTION OF 36"-0". THE BULBHEAD SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO FULLY OPENED.	
d) DOUBLE HUNG ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.1" SQUARE FEET.	
e) GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.0" SQUARE FEET.	
f) DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL BE PERMITTED TO HAVE A MIN. CLEAR OPENING OF 24"-0" X 30"-0" INCHES IN EITHER DIRECTION.	
g) EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE WITHOUT THE USE OF KEYS OR TOOLS.	
h) THE MINIMUM NET CLEAR OPENING SHALL BE 24"-0" X 30"-0" INCHES IN EITHER DIRECTION.	
i) OPENINGS THAT ARE PROVIDED WITH FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R402.10.	
j) OPENINGS THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R402.10.	
k) OPENINGS THAT ARE PROVIDED WITH FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R402.10.	
l) STARWAYS, RAMPS, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS.	
m) REQUIRED EXITS SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES.	
n) EXTERIOR EXIT SPACES UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.	
o) EXITS FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36"-0" WITH A NOMINAL HEIGHT SMALL OF 8'-0" INCHES AND A NOMINAL VERTICAL PROJECTION OF 36"-0". THE BULBHEAD SHALL NOT EXCEED 36"-0" INCHES IN NOMINAL WIDTH OR SIX FEET EIGHT INCHES IN NOMINAL HEIGHT AND MAY BE SLIDING OR SIDE-HINGED. EXITS FROM DWELLING UNITS IS PERMITTED PROVIDED THAT THE ATTACHED GARAGE IS ALSO PROVIDED WITH A 32"-0" EXIT DOOR.	
p) ALL OTHER EXTERIOR DOORS IN EXCESS OF ONE REQUIRED EXIT DOOR ARE NOT REQUIRED TO COMPLY WITH SECTION R402.10.	
q) ALL INTERIOR DOORS PROVIDING ACCESS TO HABITABLE ROOMS SHALL HAVE A NOMINAL WIDTH OF 30 INCHES AND BE NO LESS THAN 6'-0" INCHES IN NOMINAL HEIGHT. THE NOMINAL WIDTH OF THE DOOR SHALL BE IN NOMINAL WIDTH.	
r) A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR THAT IS LOCATED IN THE DIRECTION OF TRAVEL.	
SPRINKLERS	
The 3-unit townhouse has an aggregate area of 1,210 SF and shall be designed with a minimum NFPA 13 system.	
HEAT DETECTORS	
1. ALL ONE AND TWO FAMILY SHALL BE EQUIPPED WITH A HOUSEHOLD FIRE MAPPING SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS, AND THE OWNER'S AGREEMENT.	
2. SMOKE DETECTORS ARE REQUIRED TO BE PERMANENTLY WIRED TO AN AC-Powered Power Source and Shall Have Secondary Standby Power Supplied from Unintended Batteries.	
3. WHERE MORE THAN ONE SMOKE DETECTOR IS REQUIRED, ALL REQUIRED DETECTORS SHALL BE INSTALLED SO THAT THE ACTIVATION OF ANY DETECTOR SHALL CAUSE THE ALARM IN ALL REQUIRED SMOKE DETECTORS IN THE DWELLING UNITS TO SOUND 85 DBA AT 10 FEET, 15% IN BEDROOMS.	
4. SMOKE DETECTORS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: a) IN EACH BEDROOM. b) IN EACH BATHROOM. c) IN EACH KITCHEN OR PANTRY. d) IN EACH DRYING AREA. e) IN EACH DORMER OR ATTIC.	
5. PHOTO-ELECTRIC SMOKE DETECTORS ARE REQUIRED IF LOCATED WITHIN 15 FEET OF A KITCHEN OR BATHROOM.	
6. WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED TO AN EXISTING DWELLING, THE ENTIRE DWELLING SHALL BE PROVIDED WITH SMOKE DETECTORS DESIGNED AND LOCATED AS REQUIRED FOR NEW DWELLINGS.	
CARBON MONOXIDE ALARM/DETECTORS	
1. ALL ONE AND TWO FAMILY DWELLINGS SHALL BE EQUIPPED WITH A HOUSEHOLD CARBON MONOXIDE MAPPING SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS, AND THE OWNER'S AGREEMENT.	
2. CARBON MONOXIDE DETECTORS SHALL BE LOCATED ON EVERY LEVEL OF THE DWELLING UNIT INCLUDING BASEMENTS AND CELLS (NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS).	
3. ALL ALARM-SOUNDING APPLIANCES SHALL HAVE A MINIMUM RATING OF 85 DBA AT 10 FEET.	
HEAT DETECTORS	
1. HEAT DETECTORS SHALL BE INSTALLED IN ANY INTERNAL OR ATTACHED GARAGE TO THE MAIN HOUSE.	
2. A NEW ADDITION ATTACHED GARAGE TO AN EXISTING DWELLING INSTALLED IN ACCORDANCE WITH THE EXISTING DWELLING UNITS SHALL BE PROVIDED WITH A COMPATIBLE HEAT DETECTOR. THE EXISTING DWELLING UNITS SHALL BE CONNECTED TO A CANISTER OR A COMPATIBLE HEAT DETECTOR CONTAINING A SOUNDER DEVICE LOCATED IN THE ATTACHED GARAGE.	
3. FOR FLAT-FINISHED CEILINGS, THE DETECTOR SHALL BE LOCATED ON OR NEAR THE CENTER OF THE GARAGE CEILING. FOR VALETFLOOR/GLOVED CEILINGS, THE DETECTOR SHALL BE PLACED IN THE APPROXIMATE CENTER OF THE CEILING.	
4. THE REQUIRED HEAT DETECTOR SHALL BE LISTED FOR AND REQUIRED TO BE INTERCONNECTED TO ALL SMOKE DETECTORS. THE REQUIRED HEAT DETECTOR SHALL BE PLACED IN THE APPROXIMATE CENTER OF THE GARAGE CEILING. THE REQUIRED HEAT DETECTOR SHALL BE PLACED IN THE APPROXIMATE CENTER OF THE GARAGE CEILING. THE REQUIRED HEAT DETECTOR SHALL BE PLACED IN THE APPROXIMATE CENTER OF THE GARAGE CEILING.	
5. A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR THAT IS LOCATED IN THE DIRECTION OF TRAVEL.	
SPRINKLERS	
These drawings and specifications were prepared for use at the location indicated herein. They are expressly limited to the identified location and are not for reproduction by any method, in whole or in part, without the written permission of HPA Design, ©2010.	
Sheet: A0.1	
JOB NO. 20180101	

DATE: AUGUST 1, 2010
DRAWN BY: RWB contact@hpadesign.com
CHECKED BY: HPA
PATH: 20180101_FIRST_COLONY_DEV 20180101LCDs
SCALE: SEE DRAWING
REVISIONS: # DATE DESC.
O ISSUED FOR CONSTRUCTION

HPA Design, Inc. ARCHITECTS
<input type="checkbox"/> 200 Stonewall Blvd, Suite 5
<input type="checkbox"/> Wrentham, MA 02093
<input type="checkbox"/> 508.384.8838 (T)
<input type="checkbox"/> 508.384.0483 (F)
<input type="checkbox"/> contact@hpadesign.com
www.HPAdesign.com

CONSTRUCTION BY:
FIRST COLONY DEV. LLC
#50 NORTHWOOD DRIVE, NORTHWOOD TOWNHOUSE CONDO'S, SUDBURY, MA