

Opacity Comparisons

The banner features the word "FESTIVAL" in a unique, abstract font. Each letter is formed by several black lines that overlap and loop around each other, creating a complex, textured appearance. The letters are arranged in a horizontal sequence: F, E, S, T, T, E, S, T, V, E, L, O, P, I, V, A, L, U, S, T. The background is plain white.



OWNER / CLIENT:

ARCHITECT:

STRUCTURAL ENGINEER

CONTRACTOR:

FIRST COLONY DEV. LLC
929 POST ROAD EAST
MARLBOROUGH, MA 01752
TEL. (508) 481-6095
FAX (508) 460-0578

HPA DESIGN, INC.
200 STONEWALL BLVD.
SUITE 5
WRENTHAM, MA 02093
TEL. (508) 384-8838
FAX (508) 384-0483

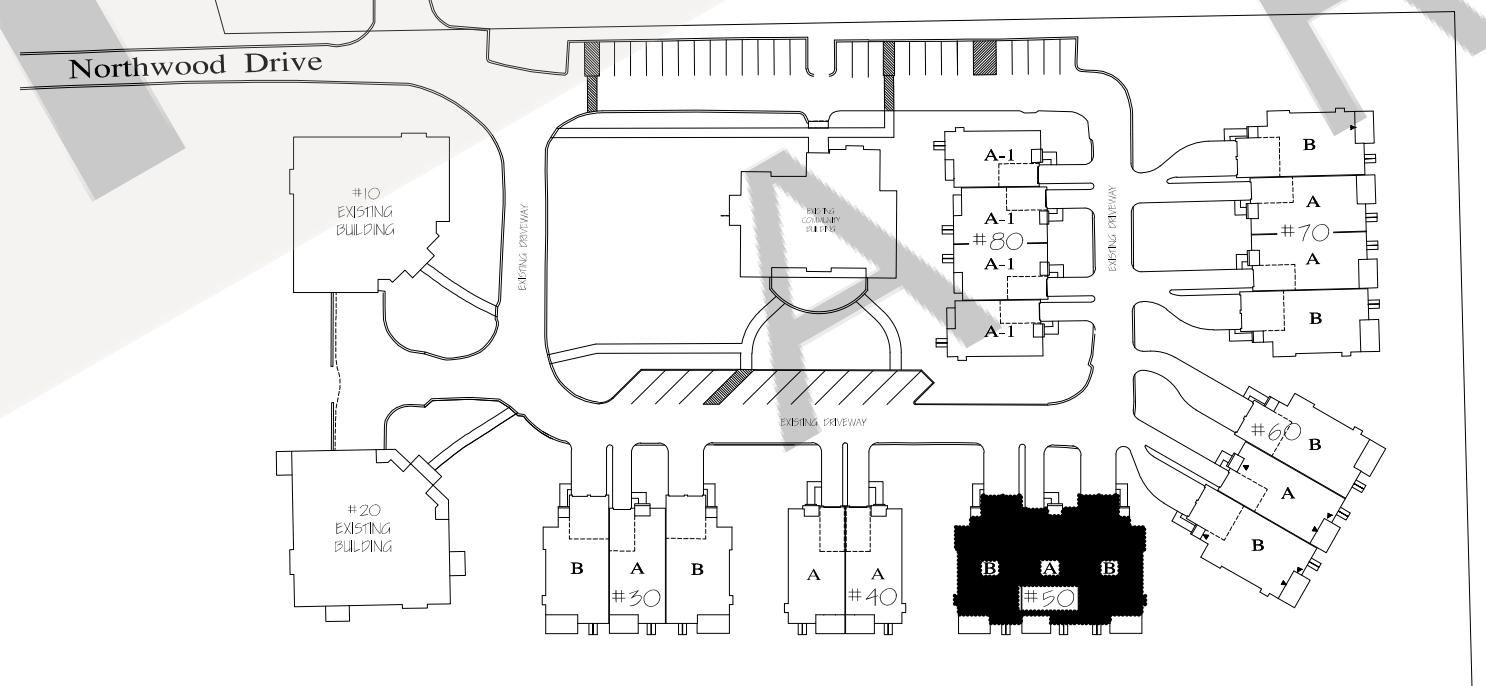
DWD ENGINEERING, INC.
5 MICHAEL RD.
EAST BRIDGEWATER
TEL. (508) 378-9602
FAX. (508) 378-2922

LOBISSEER BUILDING CORP.
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747
TEL. (508) 478-6235
FAX (508) 473-0794

SCHEDULE OF DRAWINGS:

- 0.1 TITLE SHEET
 - 1.1 1ST FLOOR PLAN
 - 1.2 2ND FLOOR PLAN
 - 2.1 ELEVATIONS
 - 2.2 ELEVATIONS
 - 3.1 BUILDING SECTIONS
 - 3.2 BUILDING SECTIONS
 - 4.1 WALL SECTIONS
 - 4.2 AIR BARRIER NOTES & DETAILS
 - 5.1 DETAILS
 - .1 FOUNDATION PLAN
 - .2 1ST FLOOR FRAMING
 - .3 2ND FLOOR FRAMING
 - .4 CEILING FRAMING
 - .5 ROOF FRAMING
 - 2.1 DETAILS
 - 2.2 DETAILS

KEY PLAN



— SPEECH —

FIRST COLONY DEV. LLC
CONSTRUCTION BY:

#50 NORTHWOOD DRIVE, NORTHWOOD TOWNHOUSE CONDOS, SUDBURY, MA

SHEET:

A.0.1

JOB NO. 20180101

The banner features the word "FESTIVAL" in a unique, abstract font. Each letter is formed by several black lines that overlap and loop around each other, creating a complex, textured appearance. The letters are arranged horizontally, with "F" on the far left, followed by "E", "S", "T", "F", "E", "S", "T", "V", "I", "L", "A", "P", "I", and "T" on the far right. The background is plain white.



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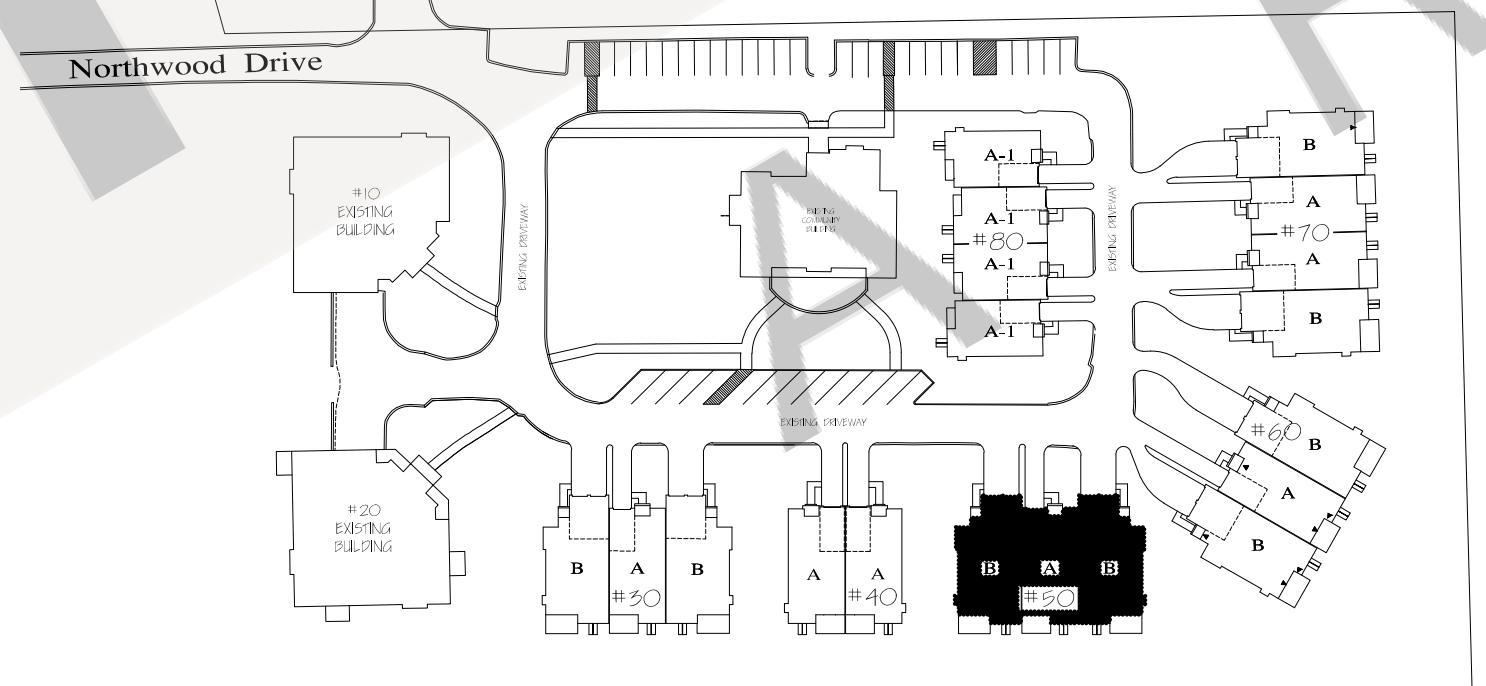
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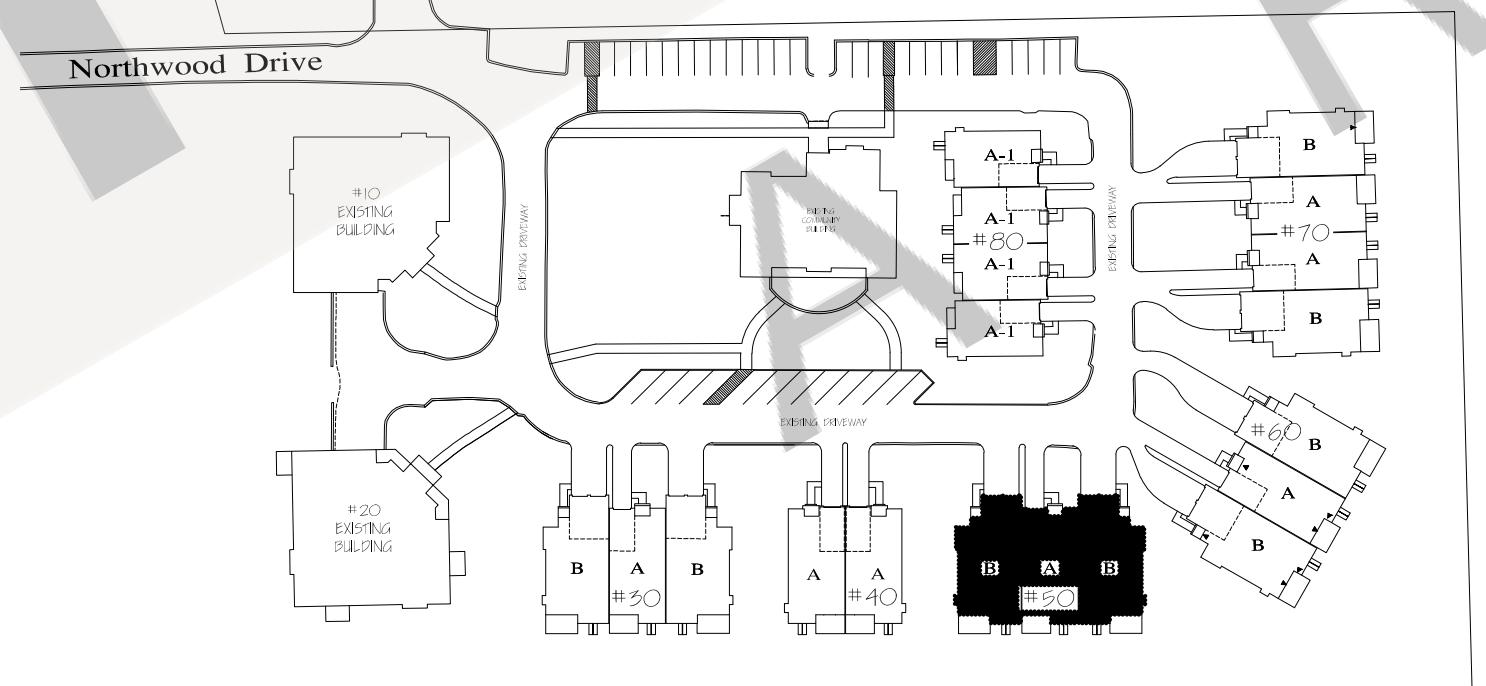
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— STEELE —

**CONSTRUCTION BY:
FIRST COLONY DEY, LLC**

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FIRST COLONY DEVELOPMENT



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GENERAL NOTES	
GENERAL	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (RTH EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONjunction WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHAP DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROCEEDING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE CONTRACTOR'S SUBMISSION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO BEGINNING CONSTRUCTION.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
DIMENSIONS	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWS UNLESS OTHERWISE NOTED: a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL. b) DIMENSIONS TO INSIDE FACE OF A STUD OR CONCRETE WALL ARE FROM INSIDE FACE OF THAT OPENING FROM THE CENTER OF ANOTHER OPENING OR THE EXTERIOR FACE OF A STUD OR CONCRETE WALL. c) INTERIOR DIMENSIONS AT STUD PLACES REFERENCED TO THE INSIDE OF THE STUD OR CONCRETE WALL.	
2. INTERIOR DIMENSIONING AT STAIR PLACES REFERENCED TO THE FINISHED FACE OF THE STAR PLACES.	
3. ALL DOORS ARE TO BE CENTERED ON THE OPENING AND SHALL BE CENTERED ON THE INSIDE OF THE DOOR FRAME AND ALL OTHER DOORS THAT ARE NOT CENTERED MUST BE CENTERED ON THE INSIDE OF THE DOOR FRAME.	
4. HEIGHTS DEPICTED THE BUILDING HEIGHT, SHOWS THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS ARE FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST STAIRWAY TO THE ROOF. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE APPROPRIATE ELEVATION FOR THE 1ST FLOOR TO ENSURE COMPLIANCE WITH ZONING AND BUILDING CODE HEIGHT REQUIREMENTS.	
5. ALL OTHER DOORS THAT ARE NOT CENTERED ARE TYPICALLY 4'-0" TO 4'-6" DEPENDING ON THE CLOSING CLEARANCE.	
6. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
STAIRWAYS/DECKS	
1. STAIRWAYS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT AT ALL POINTS ABOVE THE FINISHED HANDBALUST. THE MINIMUM CLEAR HEIGHT FROM THE FINISHED FLOOR TO THE CEILING IS 7'-0". MINIMUM DEPTH SHALL BE 4'-0" INCHES. MAXIMUM DEPTH SHALL NOT EXCEED 1'-0". UNDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10" AND A MAX. TREAD DEPTH OF 12". Treads shall be 1/4" thick and nosings shall be 1/4" thick and sloped plane defining the tread nosing or from the floor surface of a landing or platform.	
2. HANDRAILS SHALL BE PROVIDED AT LEAST ONE CONTINUOUS RAIL OR TREADS OR FLIGHT OF STEPS THAT IS 12" OR MORE IN HEIGHT. MINIMUM HEIGHT SHALL BE 34"-0" AND A MAXIMUM NOT EXCEED 34"-0" IN HEIGHT. GUARDRAILS SHALL BE PROVIDED AT LEAST 34"-0" IN HEIGHT. GUARDRAILS SHALL NOT EXCEED 4" INCHES.	
3. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLORAL, PORCH OR BALCONY AREA'S HIGHER THAN THIRTY (30) INCHES ABOVE A FLORAL OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLORAL OR GRADE BELOW SHALL NOT EXCEED 48"-0" IN HEIGHT. GUARDRAILS SHALL NOT EXCEED 4" INCHES. RAILS, BALUSTERS AND FLOORS SHALL NOT EXCEED 4" INCHES.	
4. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY SHALL NOT BE SUCH A SIZE THAT A 5X5 INCH (6" SPHERE) CANNOT PASS THROUGH. OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIRS SHALL NOT ALLOW A SPHERE 4-3/8" INCHES TO PASS THROUGH.	
5. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND UNDERSCAPE OF STAIRS AND PROVIDE AN ISOLATED DOOR AT THE BOTTOM OF ATTIC STAIRS.	
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7. HATCHES SHOWN ON THE DRAWINGS ARE BASED GENERICALLY ON ANDERSEN AND THE OWNER OR GENERAL CONTRACTOR WHERE APPLICABLE SHALL CHOOSE THE FINA MANUFACTURER. WINDOW SIZES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING. ROUGH OPENINGS SHALL BE PROVIDED BY THE MANUFACTURER.	
8. BASEMENTS, ATTICS, EXTERIOR SLEEPING ROOMS SHALL HAVE AT LEAST ONE OPERABLE WINDOW. EACH SHALL HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING. IN ADDITION, A BASEMENT SHALL NOT REQUIRE ONE EMERGENCY ESCAPE AND RESCUE OPENINGS IF THE FOLLOWING CRITERIA:	
a) GILL HEIGHT SHALL NOT BE MORE THAN 48 INCHES ABOVE THE FLOOR. b) A DOOR SWINGING THROUGH BELOW THE JACKSON LEVEL AND THE ELEVATION IS USED AS AN EMERGENCY ESCAPE AND RESCUE OPENING AND IS PROVIDED WITH A DELUXE ENCLOSURE. THE DELUXE ENCLOSURE SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT AND WHEN THE BULBHEAD IS FULLY OPEN IT SHALL PROVIDE A MINIMUM CLEARANCE OF 3'-0" INCHES. c) EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A 5' ELL ELEVATION BELOW THE JACKSON GROUND FLOOR. THE ELL ELEVATION SHALL NOT EXCEED 12"-0" INCHES. THE ELL ELEVATION SHALL NOT EXCEED 3'-0" INCHES AND A MINIMUM HORIZONTAL PROJECTION OF 36"-0". THE BULBHEAD SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO FULLY OPENED. d) DOUBLE HUNG ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.1" SQUARE FEET.	
9. STAIRWAYS, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS.	
10. REQUIRED EXITS SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES.	
11. EXTERIOR WALLS UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.	
12. EGRESS FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36"-0" WITH A NOMINAL HEIGHT OF 72"-0" IN NOMINAL WIDTH OR SIX FEET EIGHT INCHES IN NOMINAL HEIGHT AND MAY BE SLIDING OR SIDE-HINGED. EGRESS FROM DWELLING UNITS IS PERMITTED PROVIDED THAT THE ATTACHED GARAGE IS ALSO PROVIDED WITH A 32"-0" EXIT DOOR.	
13. ALL OTHER EXTERIOR DOORS IN EXCESS OF THE REQUIRED EXIT DOORS ARE NOT REQUIRED TO COMPLY.	
14. ALL INTERIOR DOORS PROVIDING ACCESS TO HABITABLE ROOMS SHALL HAVE A NOMINAL WIDTH OF 30 INCHES AND BE NO LESS THAN 6'-0" IN NOMINAL HEIGHT. THE NOMINAL WIDTH OF THE DOOR SHALL BE IN NOMINAL WIDTH.	
15. A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE POINT OF DRAFT LANDING THAN THE DOOR SERVED AND HAVE A MINIMUM DIMENSION OF 36"-0" INCHES MEASURED IN THE DIRECTION OF TRAVEL.	
SPRINKLERS	
The 3-unit townhouse has an aggregate area of 1,210 SF and shall be designed with a minimum NFPA 13 system.	
HEAT DETECTORS	
1. ALL ONE AND TWO FAMILY SHALL BE EQUIPPED WITH A HOUSEHOLD FIRE ALARM SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS, AND THE CONTRACTOR'S CONTRACT.	
2. SMOKE DETECTORS ARE REQUIRED TO BE PERMANENTLY WIRED TO AN AC-Powered Power Source and Shall Have Secondary Standby Power Supplied From Unintended Batteries.	
3. WHERE MORE THAN ONE SMOKE DETECTOR IS REQUIRED, ALL REQUIRED DETECTORS SHALL BE INSTALLED SO THAT THE ACTIVATION OF ANY DETECTOR SHALL CAUSE THE ALARM IN ALL REQUIRED SMOKE DETECTORS IN THE DWELLING UNIT TO SOUND 85 DBA AT 10 FEET, 15% IN BEDROOMS.	
4. SMOKE DETECTORS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: a) IN EACH BEDROOM. b) IN EACH BATHROOM. c) IN EACH KITCHEN, PANTRY, AND LAUNDRY AREA'S FIRST COUNTERS FOR ACCEPTED ALARM TYPES AND LOCATIONS FOR PROPER INSTALLATION IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.	
5. CARBON MONOXIDE DETECTORS: a) ALL ONE AND TWO FAMILY DWELLINGS SHALL BE EQUIPPED WITH A HOUSEHOLD CARBON MONOXIDE ALARM SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS, AND THE CONTRACTOR'S CONTRACT.	
6. CARBON MONOXIDE DETECTORS SHALL BE LOCATED ON EVERY LEVEL OF THE DWELLING UNIT INCLUDING BASEMENTS AND CELLS (NOT INCLUDING CRAWL SPACES AND UNINHABITED ATTICS).	
7. ALL ALARM-SOUNDING APPLIANCES SHALL HAVE A MINIMUM RATING OF 85 DBA AT 10 FEET.	
8. HEAT DETECTORS SHALL BE INSTALLED IN ANY INTEGRAL OR ATTACHED GARAGE TO THE MAIN HOUSE. A NEW ADDITION ATTACHED GARAGE TO AN EXISTING DWELLING INSTALLED IN ACCORDANCE WITH THE CONTRACTOR'S CONTRACT. THE CONTRACTOR SHALL PROVIDE A COORDINATE WITH THE CONTRACTOR TO MAKE THE GARAGE HEAT DETECTOR BE INTERCONNECTED TO THE EXISTING SMOKE DETECTOR. THE CONTRACTOR SHALL PROVIDE A COORDINATE WITH THE CONTRACTOR TO MAKE THE GARAGE HEAT DETECTOR BE INTERCONNECTED TO THE EXISTING SMOKE DETECTOR. THE CONTRACTOR SHALL PROVIDE A COORDINATE WITH THE CONTRACTOR TO MAKE THE GARAGE HEAT DETECTOR BE INTERCONNECTED TO THE EXISTING SMOKE DETECTOR.	
9. FOR FLAT-FINISHED CEILINGS, THE DETECTOR SHALL BE LOCATED ON OR NEAR THE CENTER OF THE GARAGE CEILING. FOR VAULTED/GLODED CEILINGS, THE DETECTOR SHALL BE PLACED IN THE APPROXIMATE CENTER OF THE CEILING.	
10. THE REQUIRED HEAT DETECTOR SHALL BE LISTED FOR AND REQUIRED TO BE INTERCONNECTED TO ALL SMOKE DETECTORS. THE CONTRACTOR SHALL PROVIDE A COORDINATE WITH THE CONTRACTOR TO MAKE THE GARAGE HEAT DETECTOR BE INTERCONNECTED TO THE EXISTING SMOKE DETECTORS.	
11. A FIRE ALARM SYSTEM SHALL BE PROVIDED FOR THE ENTIRE DWELLING. THE CONTRACTOR SHALL PROVIDE A COORDINATE WITH THE CONTRACTOR TO MAKE THE FIRE ALARM SYSTEM SUCH THAT THE ACTIVATION OF THE FIRE ALARM WILL ACTIVATE ALL OF THE ALARMS OF THE HOUSEHOLD FIRE ALARM SYSTEM THROUGHOUT THE DWELLING.	
SPRINKLERS	
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TITLE SHEET	
CONSTRUCTION BY: FIRST COLONY DEV. LLC #50 NORTHWOOD DRIVE, NORTHWOOD TOWNSHOUSE CONDO'S, SUDBURY, MA	
SHEET: A0.1	
JOB NO. 20180101	

DATE: AUGUST 1, 2016
DRAWN BY: RWB contact@hpadesign.com
CHECKED BY: HPA
PATH: 20180101_FIRST COLONY DEV 20180101.LCDs
SCALE: SEE DRAWING
REVISIONS: # DATE DESC.
O ISSUED FOR CONSTRUCTION

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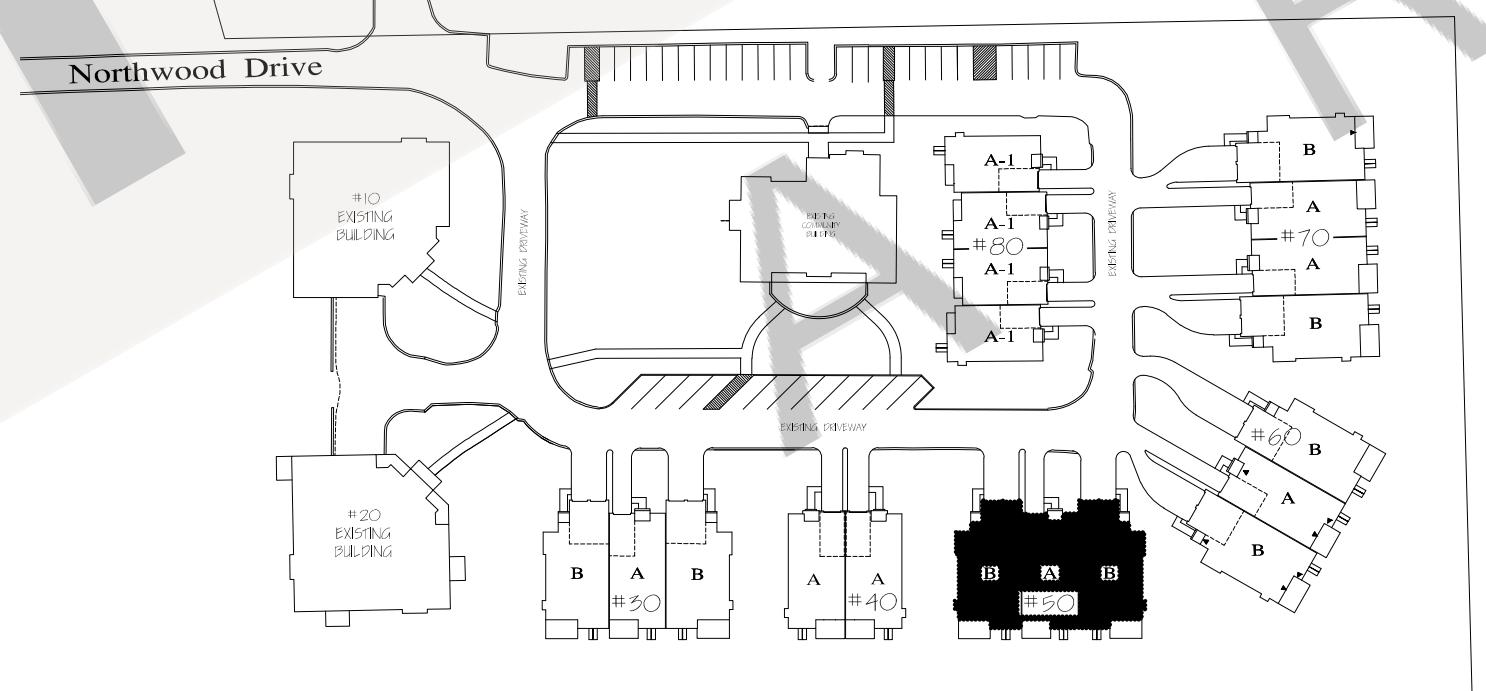
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FIRST COLONY DEY, LLC**

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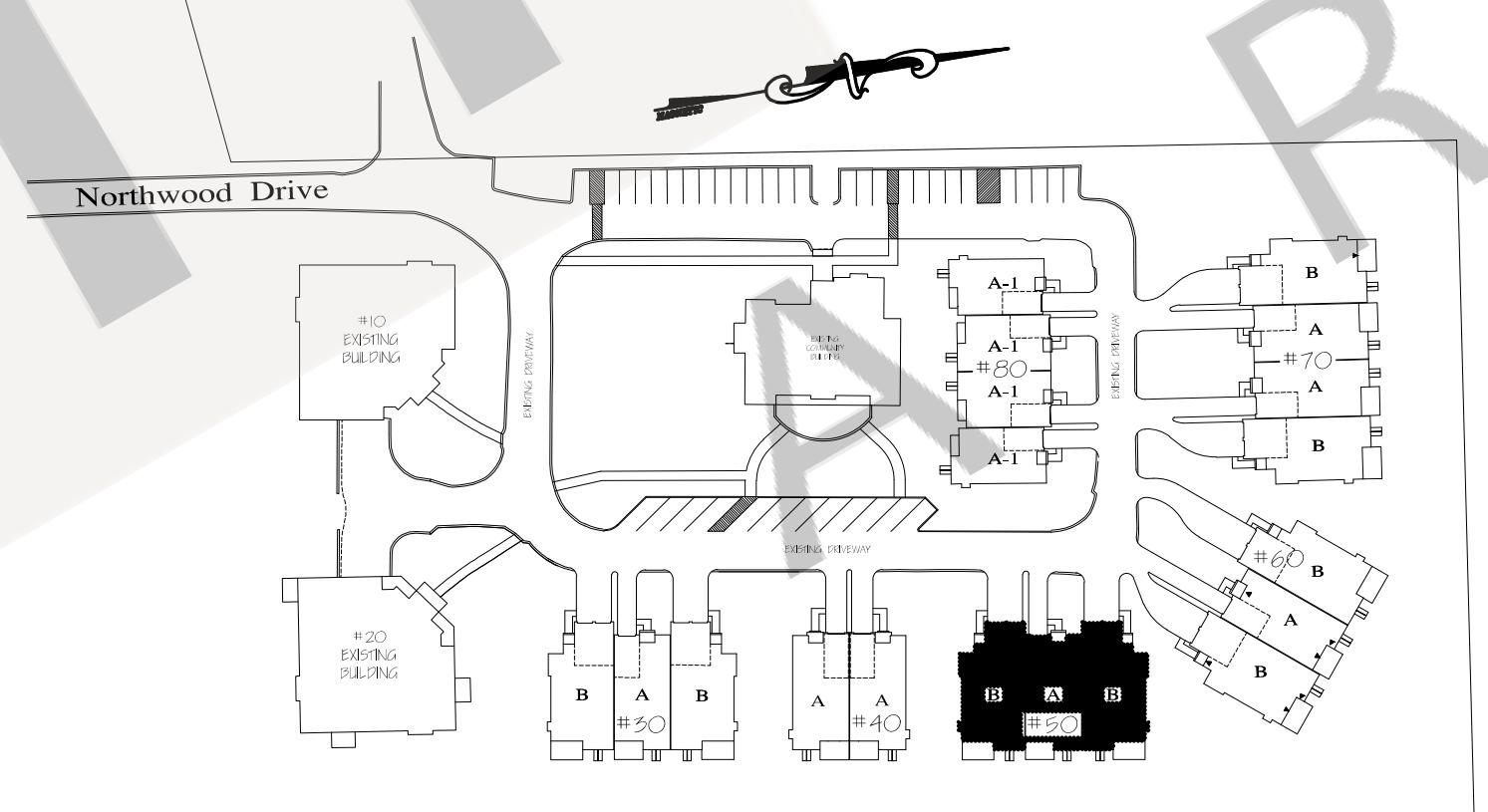
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8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
DIMENSIONS	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF THAT OPENING FROM THE CENTER OF ANOTHER OPENING OR THE EXTERIOR FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES REFERS TO THE POSITION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSION AT STAIR REPRESENTS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. INTERIOR DIMENSION AT DOOR PLACES REFERS TO THE POSITION TO THE MIDDLE OF THE DOOR (UNLESS OTHERWISE NOTED).	
4. HEIGHTS ARE TO BE DEPICTED THE BUILDING HEIGHT, SHOWS THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST TO THE GROUND. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE APPROPRIATE ELEVATION FOR THE 1ST FLOOR TO ENSURE COMPLIANCE WITH ZONING AND BUILDING CODE HEIGHT REQUIREMENTS.	
5. ALL OTHER DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY 3'-0" TO 4'-0" DEPENDING ON THE CLOSET.	
6. CLOSET DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY CENTERED WITHIN THE CLOSET.	
7. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING TYPE, UNLESS OTHERWISE NOTED.	
STAIRWAYS/DECKS	
1. STAIRWAYS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT. IN ALL PORTIONS ABOVE THE FINISHED HANDARAIL, THE CLEAR HEIGHT SHALL NOT BE LESS THAN 6'-0". IN ALL PORTIONS BELOW THE FINISHED HANDARAIL, THE CLEAR HEIGHT SHALL BE NO LESS THAN 4'-0". UNDER TREAD DEPTH SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10" AND A MAXIMUM DEPTH OF 12". TREAD DEPTHS SHALL BE DEPICTED AS A SLOPED PLANE ADDING THE TREAD NOSE OR FROM THE FLOOR SURFACE OF A LANDING OR PLATFORM.	
2. HANDRAILS SHALL BE PROVIDED AT LEAST ONE CONTINUOUS RAIL OF TREADS OR FLIGHTS OF STEPS HAVING A MIN. HEIGHT OF 34"-0" AND A MAXIMUM OF 34"-0" FROM THE FLOOR SURFACE OF A LANDING OR PLATFORM.	
3. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL HAVE A MINIMUM CLEAR OPENING BETWEEN RAILS, BALUSTERS AND FLOORS SHALL NOT EXCEED 4" INCHES.	
4. AN ISOLATED DOOR 24"-0" HIGH, MINIMUM HEIGHT SHALL BE 34"-0" AND A MAXIMUM NOT TO EXCEED 36"-0" IN HEIGHT, SHALL BE PROVIDED IN EACH CONTINUOUS RAIL OF TREADS OR FLIGHTS OF STEPS HAVING A MIN. HEIGHT OF 34"-0" AND A MAXIMUM OF 34"-0" FROM THE FLOOR SURFACE OF A LANDING OR PLATFORM.	
5. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL HAVE A MINIMUM CLEAR OPENING BETWEEN RAILS, BALUSTERS AND FLOORS SHALL NOT EXCEED 4" INCHES.	
6. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL HAVE A MINIMUM CLEAR OPENING BETWEEN RAILS, BALUSTERS AND FLOORS SHALL NOT EXCEED 4" INCHES.	
7. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY SHALL NOT BE SUCH A SIZE THAT A 5 INCH (5" DIAMETER SPHERE) CANNOT PASS THROUGH. OPENINGS REQUIRED GUARDS ON THE SIDES OF STAIRS SHALL NOT ALLOW A SPHERE 3-3/8" INCHES TO PASS THOUGH.	
8. AN ISOLATED DOOR 24"-0" HIGH, MINIMUM HEIGHT SHALL BE 34"-0" AND A MAXIMUM OF 34"-0" FROM THE FLOOR SURFACE OF A LANDING OR PLATFORM.	
9. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND UNDERSCAPE OF STAIRS AND PROVIDE AN ISOLATED DOOR AT THE BOTTOM OF ATTIC STAIRS.	
10. EMERGENCY ESCAPE AND RESCUE OPENINGS: SEE BUILDING ELEVATION FOR EXTENT.	
11. WINDOW SIZES SHOWN ON THE DRAWINGS ARE BASED GENERICALLY ON ANDERSEN AND THE OWNER OR GENERAL CONTRACTOR WHERE APPLICABLE SHALL CHOOSE THE FINA MANUFACTURER. WINDOW SIZES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING. ROOF OPENINGS SHALL BE PROVIDED BY THE MANUFACTURER.	
12. BASEMENTS, ATTICS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW. EACH SLEEPING ROOM SHALL HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING. THESE OPENINGS SHALL NOT REQUIRE ONE SIDE TO SWING OUT. THESE OPENINGS SHALL MEET THE FOLLOWING CRITERIA:	
a) SILL HEIGHT SHALL NOT BE MORE THAN 48 INCHES ABOVE THE FLOOR.	
b) A DOOR SWINGING THROUGH BELOW THE JACKSON HEIGHT ELEVATION IS USED AS AN EMERGENCY ESCAPE AND RESCUE OPENING. IF THE DOOR IS PROVIDED WITH A DEADBOLT ENCLOSURE, THE DOOR SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT AND WHEN THE DEADBOLT IS FULLY OPENED IT SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT.	
c) EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A SILL ELEVATION BELOW THE JACKSON HEIGHT ELEVATION SHALL NOT EXCEED 48 INCHES ABOVE THE FLOOR. THE JACKSON HEIGHT ELEVATION IS 36"-0" IN NOMINAL HEIGHT AND A MINIMUM HORIZONTAL PROJECTION OF 36"-0". THE PERSON HELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO FULLY OPENED.	
d) EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.1" SQUARE FEET.	
e) GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.0" SQUARE FEET.	
f) DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL BE PERMITTED TO HAVE A MIN. CLEAR OPENING OF 24"-0" X 30"-0" IN NOMINAL HEIGHT AND A MAXIMUM OF 30"-0" X 36"-0" IN NOMINAL HEIGHT. OPERABLE SASHES SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
g) THE MINIMUM NET CLEAR OPENING SHALL BE 24"-0" X 30"-0" IN NOMINAL HEIGHT.	
h) EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE WITHOUT THE USE OF KEYS OR TOOLS.	
i) IN HOMES WHERE THE OPENING OF AN OPERABLE WINDOW LOCATED MORE THAN 48 INCHES ABOVE THE FLOOR, THE OPENING IS TO BE LOCATED IN THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW WHICH IS A MINIMUM OF 24"-0" INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. OPERABLE SASHES WHICH ARE PROVIDED WITH FALL PREVENTION DEVICES THAT ALLOW SWING IN A 4 INCH DIAMETER SPHERE SHALL NOT ALLOW A 4 INCH DIAMETER SPHERE TO PASS THROUGH THE OPENING.	
j) OPENINGS THAT ARE PROVIDED WITH FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R402.3.	
k) OPENINGS THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R402.4.	
l) INHOMES THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R402.4.	
m) STARWAYS, RAMP, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS.	
n) REQUIRED EXITS SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES.	
o) EXTERIOR EXIT SPACES UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.	
p) EXITS FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36"-0" WITH A NOMINAL HEIGHT SMALL OF 72"-0" AND A MAXIMUM OF 78"-0". THE NOMINAL WIDTH OF THE OTHER EXIT DOOR SHALL BE NOT LESS THAN 30"-0" AND A MAXIMUM OF 36"-0" IN NOMINAL HEIGHT AND MAY BE SLIDING OR SIDE-HINGED. EXCEPT FOR DWELLING UNITS THAT ARE PROVIDED WITH A 36"-0" EXIT DOOR.	
q) ALL OTHER EXTERIOR DOORS IN EXCESS OF THE REQUIRED EXIT DOORS ARE NOT REQUIRED TO COMPLY.	
r) ALL INTERIOR DOORS PROVIDING ACCESS TO HABITABLE ROOMS SHALL HAVE A NOMINAL WIDTH OF 30"-0" IN NOMINAL HEIGHT AND 6'-0" IN NOMINAL HEIGHT. THE NOMINAL HEIGHT OF THE DOOR SHALL BE IN NOMINAL WIDTH.	
s) A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE NOMINAL WIDTH OF THE DOOR AND THE NOMINAL HEIGHT OF THE DOOR SERVED AND HAVE A MINIMUM DIMENSION OF 36"-0" INCHES MEASURED IN THE DIRECTION OF TRAVEL.	
t) SPINNERS:	
The 3-unit townhouse has an aggregate area of 1/2120 ft² and shall be designed with a minimum NFPA 50 system.	
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REVISIONS:	
# DATE DESC.	
O	ISSUED FOR CONSTRUCTION

DATE: AUGUST 1, 2010
DRAWN BY: RWB contact@hpadesign.com
CHECKED BY: HPA
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SCALE: SEE DRAWING
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SHEET:
A0.1
JOB NO. 20180101

FIRST COLONY DEVELOPMENT



OWNER / CLIENT:

FIRST COLONY DEV. LLC
929 POST ROAD EAST
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TEL. (508) 481-6095
FAX (508) 460-0578

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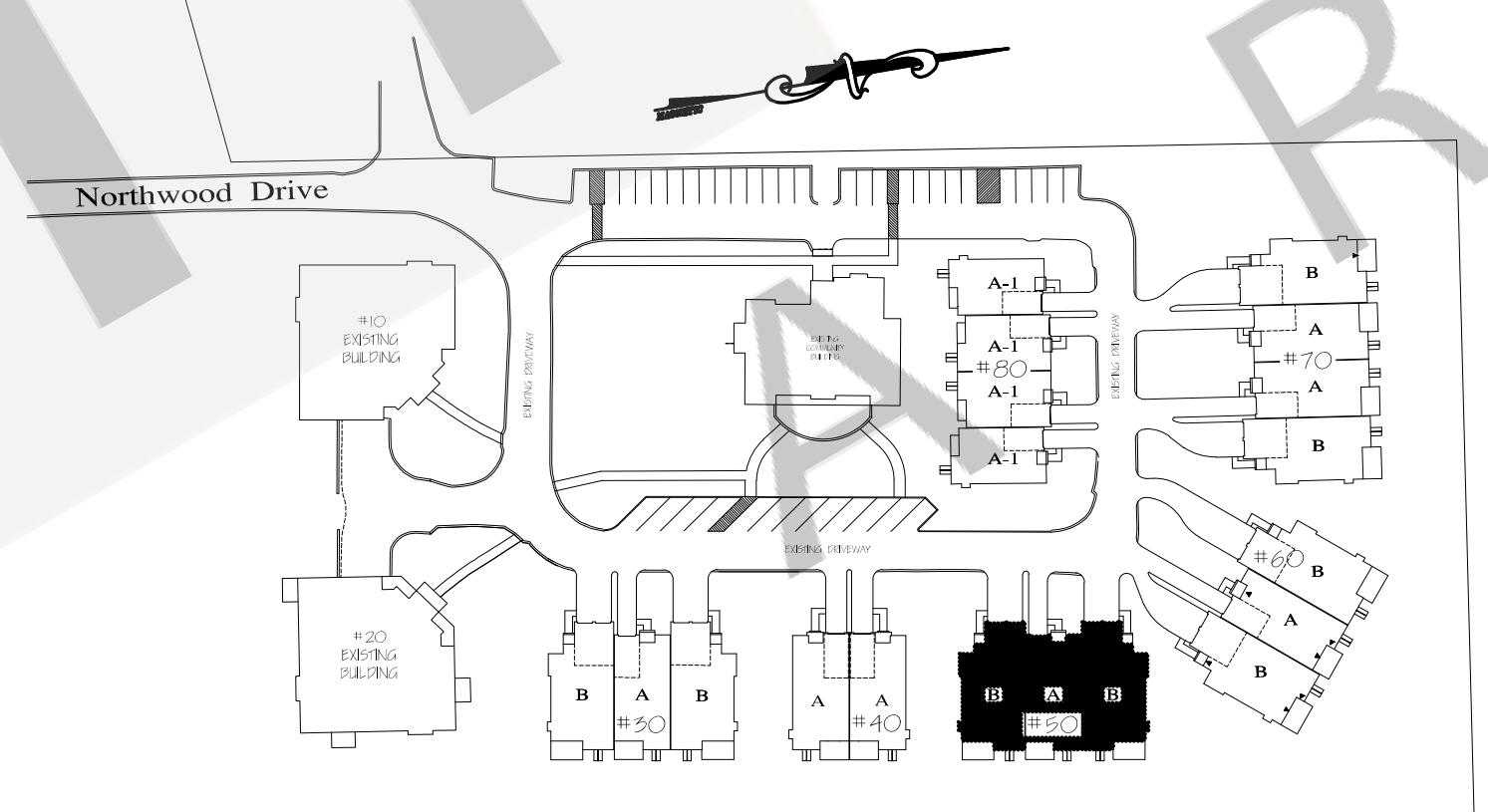
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STRUCTURAL ENGINEER

DWD ENGINEERING, INC.
5 MICHAEL RD.
EAST BRIDGEWATER
TEL. (508) 378-9602
FAX (508) 378-2922

CONTRACTOR:

LOBISSEUR BUILDING CORP.
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747
TEL. (508) 418-6235
FAX (508) 413-0794



KEY PLAN

SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
- S1.3 2ND FLOOR FRAMING
- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
GENERAL	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (RTH EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONjunction WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHAP DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF THE CONTRACTOR NOTIFIES THE ARCHITECT OF A DISCREPANCY, THE ARCHITECT SHALL NOTIFY THE CONTRACTOR, PRIOR TO PROCEEDING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORRECT, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT. IF THIS IS INCORRECT WITH THE SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
DIMENSIONS	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
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c) INTERIOR DIMENSIONS AT STAIR WELLS REFERS TO THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
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OO) DIMENSIONS TO ROOF ARE FROM THE INSIDE FACE OF A STUD OR CONCRETE WALL.	
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WW) DIMENSIONS TO ROOF ARE	