

# Opacity Comparisons

# FIRST COLONY DEVELOPMENT



OWNER / CLIENT:

FIRST COLONY DEV. LLC  
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ARCHITECT:

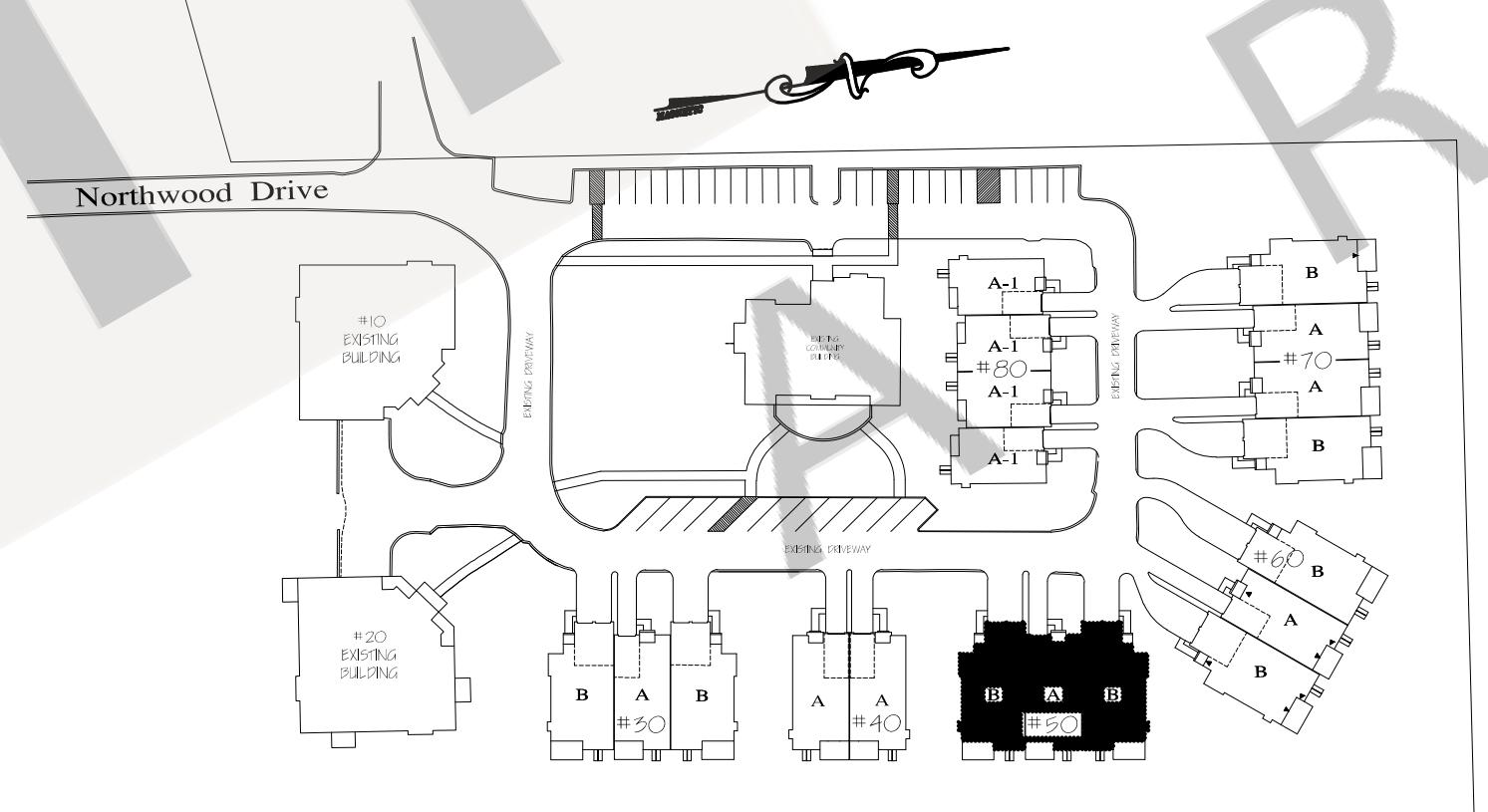
HPA DESIGN, INC.  
200 STONEWALL BLVD.  
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STRUCTURAL ENGINEER

DWD ENGINEERING, INC.  
5 MICHAEL RD.  
EAST BRIDGEWATER  
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CONTRACTOR:

LOBISSEUR BUILDING CORP.  
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KEY PLAN

## SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
- S1.3 2ND FLOOR FRAMING
- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
<b>GENERAL</b>	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (R10 EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORRECT, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT. IF THIS IS INCORRECT WITH THE SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
<b>DIMENSIONS</b>	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES A DIMENSION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSIONING AT STAIR REPRESENDS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. ALL EXTERIOR DIMENSIONS ARE TO THE CENTER LINE OF THE EXTERIOR WALL AND ALL OTHER BULLETS, MUST BE CONFIRMED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
4. HEIGHTS DEPICTING THE BUILDING HEIGHT, SHOWS THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS ARE FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST STAIRWAY TO THE ROOF. THE ROOF HEIGHT IS THE TOTAL HEIGHT OF THE ROOF DECK, THE ROOFING, AND ALL OTHER BULLETS, THAT ARE NOT ENCLOSED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
5. ALL DOORS THAT ARE NOT ENCLOSED ARE TYPICALLY 36" TO 38" (DEPENDING ON THE CLOSET).	
6. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
<b>STAIRWAYS/DECKS</b>	
1. STAIRWAYS SHALL NOT BE LESS THAN 8'0" IN CLEAR HEIGHT. ALL PORCH ABOVE THE FINISHED HANDBALUST SHALL BE PROVIDED WITH AN OPENABLE RAILING. THE MINIMUM CLEAR HEIGHT SHALL BE 48" (MINIMUM 42" IN CLEAR HEIGHT). THE MAXIMUM DEPTH SHALL BE 36" (MAXIMUM 30" IN CLEAR HEIGHT). PINTER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10" AND A MAX. DEPTH OF 12". THE DECK SHALL BE PROVIDED WITH A SMOOTH, SLOPED PLATE ADDING TO THE TREAD NOSE OR FROM THE FLOOR SURFACE OF A LANING OR PLATFOR.	
2. HANDRAILS SHALL BE PROVIDED AT EACH CONTINUOUS RUN OF TREADS OR FLIGHTS OF STEPS THAT ARE 12' OR MORE IN LENGTH. MINIMUM HEIGHT SHALL BE 34" AND 38"4" AT MAXIMUM NOT TO EXCEED 38"4" (NOT INCLUDING THE RAILING). THE MAXIMUM DEPTH SHALL BE 36" (NOT INCLUDING THE RAILING).	
3. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH OR BALCONY AREA'S HIGHER THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 42" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30" OR LESS SHALL BE 36" IN HEIGHT. THE MAXIMUM CLEAR OPENING BETWEEN RAILS, GUARDRAILS AND FLOORS SHALL NOT EXCEED 4" (NOT INCLUDING THE RAILING).	
4. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH A SIZE THAT A 5X 5 INCH (6" SPHERE) CANNOT PASS THROUGH. OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIRS SHALL NOT ALLOW A SPHERE 4-3/8 INCHES IN DIAMETER TO PASS THROUGH.	
5. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF AN INDEPENDENT STAIRCASE OR INSTITUTE THE WALLS AND UNDERNEATH THE STAIRS. AN ISOLATED DOOR SHALL NOT REQUIRE AN ISOLATED DOOR AT THE BOTTOM OF THE STAIRCASE.	
6. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND UNDERNEATH THE STAIRS. ESCAPE AND RESCUE OPENINGS.	
7. HATCHES SHOWN ON THE DRAWINGS ARE BASED GENERICALLY ON ANDERSON AND THE OWNER OR GENERAL CONTRACTOR WHERE APPLICABLE SHALL CHOOSE THE FINA MANUFACTURER. WINDOW SHOES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDER. ROUGH OPENINGS SHALL BE PROVIDED BY THE MANUFACTURER.	
8. BASEMENTS, ATTICS, EXTERIOR SLEEPING ROOMS SHALL HAVE AT LEAST ONE OPERABLE WINDOW. EACH SHALL HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING BUT ADDITIONAL OPENINGS SHALL NOT REQUIRE ONE ESCAPE AND RESCUE OPENINGS SHALL FOLLOW THE FOLLOWING CRITERIA:	
a) GILL HEIGHT SHALL NOT BE MORE THAN 48 INCHES ABOVE THE FLOOR.	
b) A DOOR SWINGING THROUGH BELOW THE JACKSON HEIGHT ELEVATION IS USED AS AN EMERGENCY ESCAPE AND RESCUE OPENING AND PROVIDED WITH A DELUXE ENCLOSURE. THE DELUXE ENCLOSURE SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT AND WHEN THE HEADBULD IS FULLY OPEN IT SHALL PROVIDE A MINIMUM CLEAR HEIGHT OF 72" AND A MAXIMUM DEPTH OF 36".	
c) EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A 5'11" ELEVATION BELOW THE JACKSON GROUND FLOOR SHALL BE PROVIDED WITH A 36" X 36" MINIMUM CLEAR OPENING. THE MAXIMUM DEPTH SHALL BE 36" AND A MINIMUM HORIZONTAL PROJECTION OF 36". THE PERSON HELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO FULLY OPENED.	
d) DOUBLE ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.17 SQUARE FEET.	
e) GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.0 SQUARE FEET.	
f) DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL BE PERMITTED TO HAVE A MIN. CLEAR OPENING OF 24" X 30" INCHES IN EITHER DIRECTION.	
g) EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE WITHOUT THE USE OF KEYS OR TOOLS.	
h) THE MINIMUM NET CLEAR OPENING SHALL BE 24" X 30" INCHES IN EITHER DIRECTION.	
i) OPENINGS THAT ARE PROVIDED WITH FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R402.3.	
j) OPENINGS THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R402.4.	
k) OPENINGS THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R402.5.	
l) STARWAYS, RAMPS, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS.	
m) REQUIRED EXITS SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES.	
n) EXTERIOR EXIT SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.	
o) EXITS FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT OF 72" (NOMINAL WIDTH OR SIX FEET EIGHT INCHES IN NORMAL HEIGHT AND MAY BE SLIDING OR SIDE-HINGED).	
p) EXITS FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT OF 72" (NOMINAL WIDTH OR SIX FEET EIGHT INCHES IN NORMAL HEIGHT AND MAY BE SLIDING OR SIDE-HINGED).	
q) ALL OTHER EXTERIOR DOORS IN EXCESS OF THE REQUIRED EXIT DOORS ARE NOT REQUIRED TO COMPLY WITH THE REQUIREMENTS OF SECTION R402.1.	
r) ALL INTERIOR DOORS PROVIDING ACCESS TO HABITABLE ROOMS SHALL HAVE A NOMINAL WIDTH OF 30 INCHES (NOMINAL WIDTH IS 36" FOR DOORS THAT OPEN INTO HALLS, HALLWAYS, PLEASURES, PORCHES, ETC.) IN NOMINAL WIDTH.	
s) A DOOR TO A PORCH OR BALCONY SHALL NOT OPEN INTO THE PORCH OR BALCONY IF THE DOOR IS LOCATED IN A HALL OR LANDING.	
t) A DOOR TO A PORCH OR BALCONY SHALL NOT OPEN INTO THE PORCH OR BALCONY IF THE DOOR IS LOCATED IN A HALL OR LANDING.	
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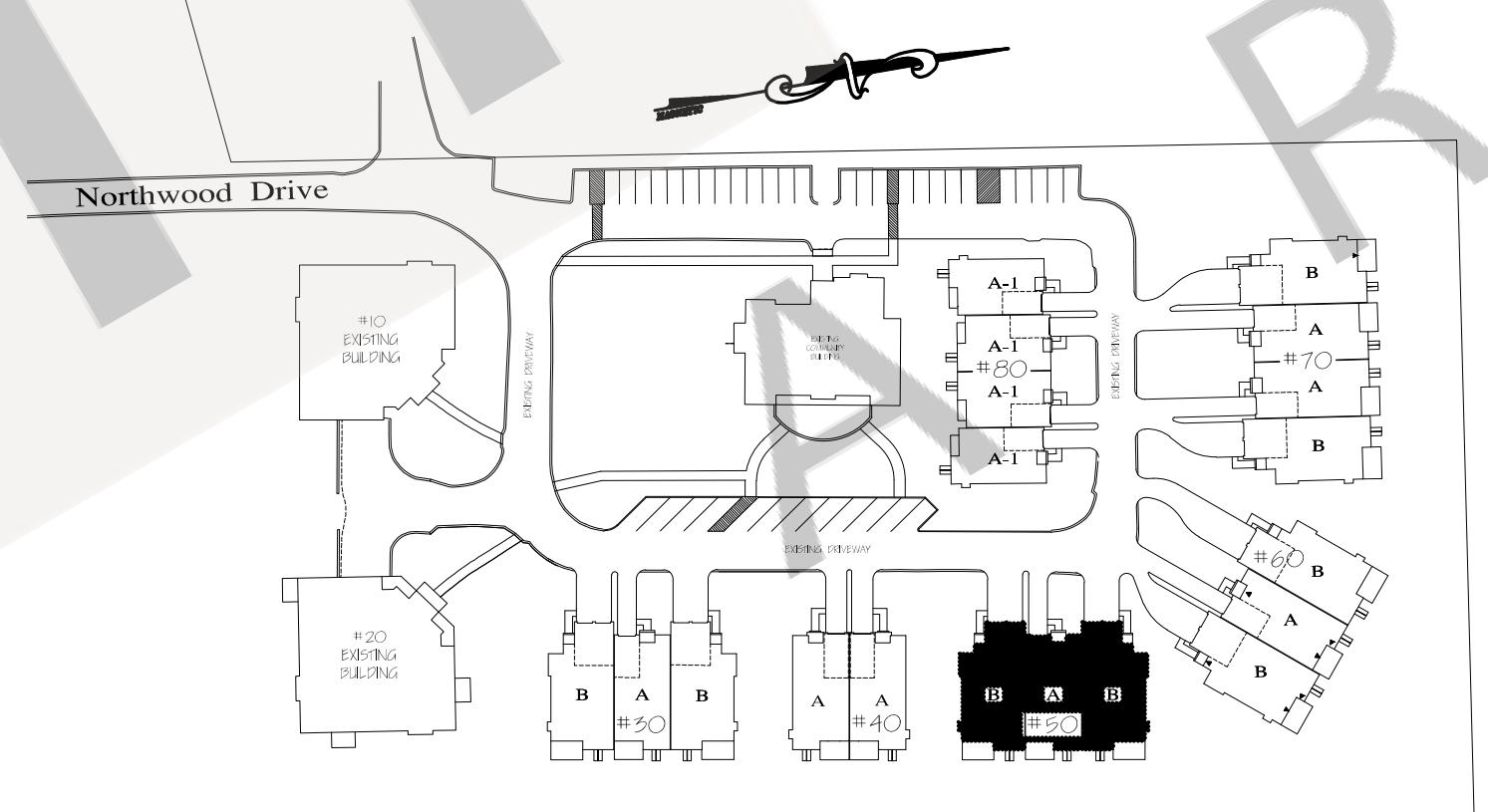
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KEY PLAN

## SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
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- A1.2 2ND FLOOR PLAN
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3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE SITE CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES SHALL BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
<b>DIMENSIONS</b>	
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a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES A DIMENSION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSIONING AT STAIR REPRESENDS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. INTERIOR DIMENSIONING AT DOORS REFERS TO THE INSIDE EDGE OF THE STUD OR CONCRETE WALL AND ALL OTHER BULLETS, MUST BE CONFIRMED WITH THE FUTURE MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
4. HEIGHTS DEPICTING THE BUILDING HEIGHT, SHOWS THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS FOR THE BUILDING AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST. ON THE GROUND FLOOR TO THE ROOF. THE TOTAL BUILDING HEIGHT IS THE SUM OF THE ELEVATION DIFFERENCE RELATIVE TO THE 1ST FLOOR, TO ENSURE COMPLIANCE WITH ZONING AND BUILDING CODE HEIGHT REQUIREMENTS.	
5. ALL OTHER DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY 3'-0" TO 4' (DEPENDING ON THE FLOOR/CASEMENT).	
6. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
<b>STAIRWAYS/DECKS</b>	
1. STAIRWAYS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT. IN ALL PORTIONS ABOVE THE FINISHED HANRAL RAILING, THE CLEAR HEIGHT SHALL NOT BE LESS THAN 6'-0". IN ALL PORTIONS BELOW THE FINISHED HANRAL RAILING, THE CLEAR HEIGHT SHALL BE NO LESS THAN 4'-0". UNDER TREAD DEPTH SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10"-0". THE DECKING SHALL BE PROVIDED IN A SMOOTH, SOLID, AND SLOPED PLANE ADDING TO THE TREAD NOSE OR FROM THE FLOOR SURFACE OF A LANING OR PLATFOR.	
2. HANDRAILS SHALL BE PROVIDED AT EACH CONTINUOUS RUN OF TREADS OR FLIGHTS OF STEPS THAT ARE 12' OR MORE IN LENGTH. MINIMUM HEIGHT SHALL BE 34"-0" WITH A MAXIMUM NOT TO EXCEED 37"-0". ALL OTHER DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY 3'-0" TO 4' (DEPENDING ON THE FLOOR/CASEMENT).	
3. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S HIGHER THAN 30"-0" ABOVE A FLOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW, SHALL BE NO LESS THAN 48"-0" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW, SHALL BE NO LESS THAN 48"-0" IN HEIGHT. RAILS, BALUSTERS, AND FLOORS SHALL NOT EXCEED 4"-0" INCHES.	
4. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH A SIZE THAT A 5X 5 INCH (6" SPHERE) CANNOT PASS THROUGH. OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIRS SHALL NOT ALLOW A SPHERE 4"-0" INCHES TO PASS THROUGH.	
5. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF AN INDEPENDENT STAIRCASE OR INSTITUTE THE WALLS AND UNDERNEATH THE STAIRS. AN ISOLATED DOOR SHALL NOT ALLOW A SPHERE 4"-0" INCHES TO PASS THROUGH.	
6. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND UNDERNEATH STAIRS AND PROVIDE AN ISOLATED DOOR AT THE BOTTOM OF ATTIC STAIRS.	
7. HATCHES SHOWN ON THE DRAWINGS ARE BASED GENERICALLY ON ANDERSON AND THE OWNER OR GENERAL CONTRACTOR WHERE APPLICABLE SHALL CHOOSE THE FINA MANUFACTURER. WINDOW SHOES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDER. ROUGH OPENINGS SHALL BE PROVIDED BY THE MANUFACTURER.	
8. BASEMENTS, ATTICS, EXTERIOR SLEEPING ROOMS SHALL HAVE AT LEAST ONE OPERABLE WINDOW. EACH SHALL HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING. IN ADDITION, BASEMENT SHALL NOT REQUIRE ONE EMERGENCY ESCAPE AND RESCUE OPENINGS DUE TO THE FOLLOWING CRITERIA:	
a) GILL HEIGHT SHALL NOT BE MORE THAN 48 INCHES ABOVE THE FLOOR.	
b) A DOOR SWINGING THROUGH BELOW THE JACKSON LEVEL ELEVATION IS USED AS AN EMERGENCY ESCAPE AND RESCUE OPENING AND IS PROVIDED WITH A DELUXE ENCLOSURE. THE DELUXE ENCLOSURE SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT AND WHEN THE BULBHEAD IS FULLY OPENED IT SHALL PROVIDE A MINIMUM NET CLEAR OPENING OF 3'-0".	
c) EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A 5' ELL ELEVATION BELOW THE JACKSON GROUND FLOOR. THE ELL ELEVATION SHALL NOT BE LOWER THAN THE JACKSON GROUND FLOOR. THE ELL ELEVATION SHALL BE A MINIMUM HORIZONTAL PROJECTION OF 30", THE PERSON HELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO FULLY OPENED.	
d) DOUBLE HUNG ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.1" SQUARE FEET.	
EXCEPTIONS:	
1. STARWAYS, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS.	
2. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL BE PERMITTED TO HAVE A MIN. CLEAR OPENING OF 24"-0" X 30"-0" INCHES IN EITHER DIRECTION.	
3. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL MEET THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
4. THE MINIMUM NET CLEAR OPENING SHALL BE 24"-0" X 30"-0" INCHES IN EITHER DIRECTION.	
5. EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE WITHOUT THE USE OF KEYS OR TOOLS.	
6. IN HABITABLE ROOMS WHERE THE OPENING OF A OPERABLE WINDOW LOCATED THEREIN TO HIGHEST POINT OF THE OPENING IS 30"-0" OR GREATER ABOVE THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL MEET A MINIMUM OF 24"-0" INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. OPERABLE SPACES WHICH ARE NOT PERMIT OPENINGS THAT ALLOW SPACES OF A 4 INCH DIAMETER SPHERE WHICH EACH OPENING IS LOCATED WITHIN 12" INCHES OF THE FINISHED FLOOR.	
EXCEPTIONS:	
1. HABITABLE ROOMS OPENINGS WHICH NOT ALLOW A 4 INCH DIAMETER SPHERE TO PASS THROUGH THE OPENING SINCE THE OPENING IS IN ITS LARGEST POSSIBLE POSITION.	
2. OPENINGS THAT ARE PROVIDED WITH HINCH FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R402.3.	
3. OPENINGS THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R402.4.	
4. HINCHES THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R402.4.	
5. SMOKE DETECTORS ARE REQUIRED IF LOCATED WITHIN 12" INCHES OF A KITCHEN OR BATHROOM.	
6. WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED TO AN EXISTING DWELLING, THE ENTIRE BUILDING SHALL BE PROVIDED WITH SMOKE DETECTORS DESIGNED AND LOCATED AS REQUIRED FOR NEW DWELLINGS.	
CARBON MONOXIDE ALARM/DETECTORS:	
1. ALL ONE AND TWO FAMILY SHALL BE EQUIPPED WITH A HOUSEHOLD FIRE ALARM SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, STANDARDS AND LOCAL ORDINANCES.	
2. HEAT DETECTORS ARE REQUIRED TO BE PERMANENTLY WIRED TO AN AC-PRI POWER SOURCE AND SHALL HAVE SECUNDARY STANDBY POWER SUPPLIED FROM CONTINUED BATTERIES.	
3. WHERE MORE THAN ONE SPACE DETECTOR IS REQUIRED, ALL REQUIRED DETECTORS SHALL BE INSTALLED SO THAT THE ACTIVATION OF ANY DETECTOR SHALL CAUSE THE ALARM IN ALL REQUIRED SMOKE DETECTORS IN THE DWELLING UNT TO SOUND 85 DBA AT 10 FEET, 15% IN BEDROOMS.	
4. SMOKE DETECTORS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: a) IN EACH SLEEPING ROOM. b) IN EACH BATHROOM. c) IN EACH KITCHEN. d) IN EACH UNIT OF ALL TYPES OF DWELLINGS.	
5. PHOTO-ELECTRIC SMOKE DETECTORS ARE REQUIRED IF LOCATED WITHIN 12" INCHES OF A KITCHEN OR BATHROOM.	
6. WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED TO AN EXISTING DWELLING, THE ENTIRE BUILDING SHALL BE PROVIDED WITH SMOKE DETECTORS DESIGNED AND LOCATED AS REQUIRED FOR NEW DWELLINGS.	
CARBON MONOXIDE ALARM/DETECTORS:	
1. HEAT DETECTORS SHALL BE INSTALLED IN ANY INTEGRAL OR ATTACHED GARAGE TO THE MAIN HOUSE.	
2. A NEW ADDITION ATTACHED GARAGE TO AN EXISTING DWELLING INSTALLED IN ACCORDANCE WITH THE EXISTING DWELLING, THE NEW ADDITION SHALL BE PROVIDED WITH A COMPATIBLE WITH THE GARAGE HEAT DETECTOR THAT THE GARAGE HEAT DETECTOR SHALL BE INTERCONNECTED TO THE EXISTING DWELLING HEAT DETECTOR. THE GARAGE HEAT DETECTOR SHALL BE CONNECTED TO THE EXISTING DWELLING HEAT DETECTOR. THE GARAGE HEAT DETECTOR SHALL BE CONNECTED TO A CONDUIT OR A COMPATIBLE HEAT DETECTOR CONTAINING A SOUNING DEVICE LOCATED IN THE GARAGE.	
3. FOR FLAT-FINISHED CEILINGS, THE DETECTOR SHALL BE LOCATED ON OR NEAR THE CENTER OF THE GARAGE CEILING. FOR VAULTED/GLODED CEILINGS, THE DETECTOR SHALL BE PLACED IN THE APPROXIMATE CENTER OF THE CEILING.	
4. THE REQUIRED HEAT DETECTOR SHALL BE LISTED FOR AND REQUIRED TO BE INTERCONNECTED TO ALL SMOKE DETECTORS. THE REQUIRED HEAT DETECTOR SHALL BE PLACED IN THE APPROXIMATE CENTER OF THE CEILING.	
5. A FLUSH-MOUNTED FIRE ALARM SYSTEM SUCH THAT THE ACTIVATION OF THE HEAT DETECTOR WILL ACTIVATE ALL OF THE ADDRESS ALARMS OF THE HOUSING FIRE ALARM SYSTEM THROUGHOUT THE DWELLING.	
SPRINKLERS:	
The 3-unit townhouse has an aggregate area of 1,210 SF and shall be designed with a minimum NFPA 13 system.	
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SHEET:	
TITLE SHEET	
CONSTRUCTION BY: FIRST COLONY DEV. LLC #50 NORTHWOOD DRIVE, NORTHWOOD TOWNSHOUSE CONDO'S, SUDBURY, MA	
KEY PLAN	
JOB NO. 20180101	

DATE: AUGUST 1, 2010
DRAWN BY: RWB contact@hpadesign.com
CHECKED BY: HPA
PATH: 20180101_FIRST COLONY DEV 20180101LCDs
SCALE: SEE DRAWING
REVISIONS: # DATE DESC.
O ISSUED FOR CONSTRUCTION

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TITLE SHEET

FIRST COLONY DEV. LLC

20180101

22%

The banner features the word "FESTIVAL" in a unique, abstract font. Each letter is formed by several black lines that overlap and loop around each other, creating a complex, textured appearance. The letters are arranged horizontally, with "F" on the far left, followed by "E", "S", "T", "F", "E", "S", "T", "V", "I", "L", "A", "P", "I", and "T" on the far right. The background is plain white.



OWNER / CLIENT:

# ARCHITECT:

# STRUCTURAL ENGINEER

# CONTRACTOR:

FIRST COLONY DEV. LLC  
929 POST ROAD EAST  
MARLBOROUGH, MA 01752  
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FAX (508) 460-0578

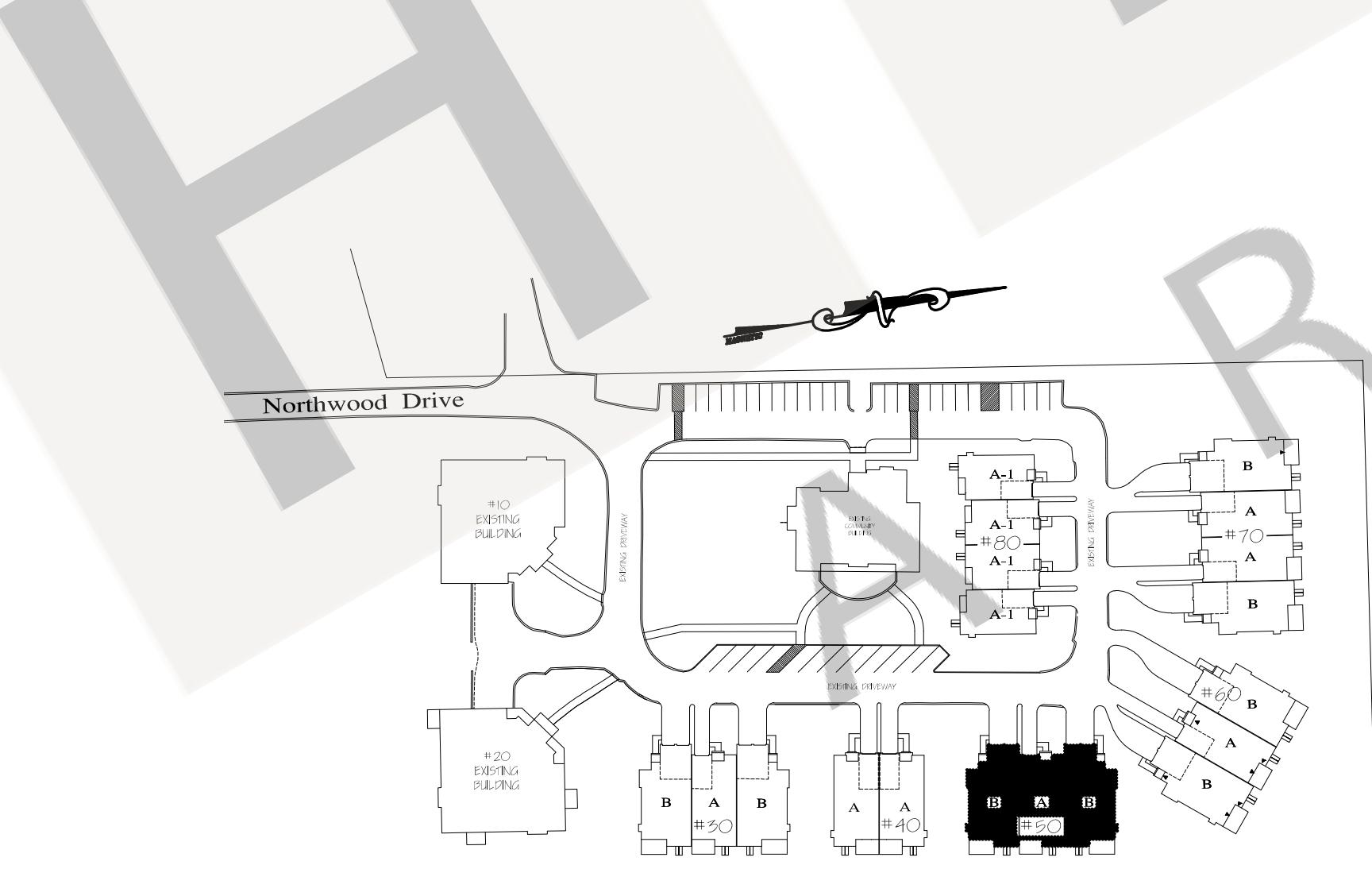
HPA DESIGN, INC.  
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DWD ENGINEERING, INC.  
5 MICHAEL RD.  
EAST BRIDGEWATER  
TEL. (508) 378-9602  
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# SCHEDULE OF DRAWINGS:

- |     |                             |
|-----|-----------------------------|
| 0.1 | TITLE SHEET                 |
| 1.1 | 1ST FLOOR PLAN              |
| 1.2 | 2ND FLOOR PLAN              |
| 2.1 | ELEVATIONS                  |
| 2.2 | ELEVATIONS                  |
| 3.1 | BUILDING SECTIONS           |
| 3.2 | BUILDING SECTIONS           |
| 4.1 | WALL SECTIONS               |
| 4.2 | AIR BARRIER NOTES & DETAILS |
| 5.1 | DETAILS                     |
| 1.1 | FOUNDATION PLAN             |
| 1.2 | 1ST FLOOR FRAMING           |
| 1.3 | 2ND FLOOR FRAMING           |
| 1.4 | CEILING FRAMING             |
| 1.5 | ROOF FRAMING                |
| 2.1 | DETAILS                     |
| 2.2 | DETAILS                     |

## KEY PLAN



— STEELE —

**CONSTRUCTION BY:  
FIRST COLONY DEY, LLC**

#50 NORTHWOOD DRIVE, NORTHWOOD TOWNHOUSE CONDOS, SUDBURY, MA

---

**SHEET:**

A.0.1

JOB NO. 20180101

# FIRST COLONY DEVELOPMENT



OWNER / CLIENT:

FIRST COLONY DEV. LLC  
929 POST ROAD EAST  
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CONTRACTOR:

LOBISSEUR BUILDING CORP.  
1 CHARLESVIEW ROAD  
HOPEDALE, MA 01741  
TEL. (508) 478-6235  
FAX (508) 473-0794



KEY PLAN

## SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
- S1.3 2ND FLOOR FRAMING
- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
<b>GENERAL</b>	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (RTH EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE SITE CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
<b>DIMENSIONS</b>	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES A DIMENSION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSIONING AT STAIR REPRESENDS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. INTERIOR DIMENSIONING AT DOORS REFERS TO THE CENTER LINE OF THE DOOR.	
4. DIMENSIONS DEPICTING THE BUILDING HEIGHT, SHOW THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST STAIRWAY TO THE ROOF. THE CONTRACTOR SHALL PROVIDE THE EXACT ELEVATION OF THE ROOF AND ALL OTHER BUILDINGS, MUST BE CONFIRMED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
5. DIMENSIONS LOCATING CLOSETS, ETC., REFERS TO THE CENTER LINE OF THE OPENING.	
6. ALL DOWNTROPS SHALL HAVE AT LEAST ONE HABITABLE ROOM WITH A GROSS FLOOR AREA OF AT LEAST 150 SQUARE FEET.	
7. HABITABLE ROOMS SHALL HAVE A FLOOR AREA OF AT LEAST 700 SQUARE FEET EXCEPT KITCHENS.	
8. KITCHENS SHALL HAVE A MINIMUM CEILING HEIGHT OF SIX FEET EIGHT INCHES OVER THE KITCHEN AND THE SHOWERHEAD.	
9. BATHROOMS SHALL HAVE A MINIMUM CEILING HEIGHT OF SIX FEET EIGHT INCHES OVER THE BATHROOM AND THE SHOWERHEAD.	
10. ALL HABITABLE ROOMS SHALL HAVE A CEILING HEIGHT OF AT LEAST 8 FEET EIGHT INCHES ABOVE THE FLOOR.	
11. PROVIDE CONTINUOUS RIDGE VENTS AT ALL ROOF/FLOOR INTERSECTIONS CARRIED 1'-0" UP THE WALL/FEE TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.	
12. PROVIDE ALUMINUM FLASHING OVER ALL WINDOW AND DOORS HEAD TRIM AND AT THE CONNECTION BETWEEN ALL EXTERIOR AND INTERIOR DOORS.	
13. PROVIDE ALUMINUM FLASHING OVER ALL ROOF/VALL AND ROOF/GHIBNEY INTERSECTIONS.	
14. PROVIDE CONTINUOUS VENTED DRIP EDGE AT ALL SOFFIT OVERHANGS.	
15. PROVIDE FELT UNDER ALL ROOF SHAKLES UNLESS SPECIFIED OTHERWISE.	
16. PROVIDE CONTINUOUS RIDGE VENTS (UNLESS SPECIFIED AS OTHERWISE). SEE BUILDING EXTENT.	
17. ALL GUTTERS AND DOWNSPOUTS TO BE PREFINISHED ALUM. COLOR TO BE SELECTED BY OWNER.	
18. LIGHTVENTILATION AND INSULATION.	
19. ALL HABITABLE ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING OF NOT LESS THAN 20% OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, LOUVRES OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR. THE MINIMUM OPERABLE AREA TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA OF EACH HABITABLE ROOM.	
<b>STAIRWAYS/DECKS</b>	
1. STAIRWAYS SHALL NOT BE LESS THAN 8 FEET 0 INCHES HIGH. ALL FOLY'S ABOVE THE FINISHED HANDBALUSTERS SHALL BE PROVIDED WITH AN AGGREGATE GLAZING OF NOT LESS THAN 20% OF THE FLOOR AREA. THE DEPTH SHALL BE 8'-0" INCHES NOT TO EXCEED 14"-0". WINDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE HANDBALUSTERS SIDE WITH A MIN. TREAD DEPTH OF 10"-0" INCHES. THE DEPTH OF THE WINDER TREADS SHALL BE EQUAL TO THE DEPTH OF THE STRAIGHT TREADS ON THE SLOPED PLANE ADDING THE TREAD NOSE OR FROM THE FLOOR SURFACE OF A LANING OR PLATFORUM.	
2. HANDRAILS SHALL BE PROVIDED AT THE TOP OF CONTINUOUS RUNS OF STAIRS OR FROM THE FLOOR SURFACE OF STEPS OR LANDINGS. ALL OTHER DOORS THAT ARE NOT ENDEDNESS ARE TYPICALLY 4'-0" TO 4'-0" DEPENDING ON THE CLOSING CLEARANCE. ALL OTHER DOORS THAT ARE NOT ENDEDNESS ARE TYPICALLY CENTERED WITHIN THE CLOSING CLEARANCE. DIMENSIONS LOCATING CLOSETS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
3. STAIRWAYS SHALL NOT BE LESS THAN 8 FEET 0 INCHES HIGH. ALL FOLY'S ABOVE THE FINISHED HANDBALUSTERS SHALL BE PROVIDED WITH AN AGGREGATE GLAZING OF NOT LESS THAN 20% OF THE FLOOR AREA. THE DEPTH SHALL BE 8'-0" INCHES NOT TO EXCEED 14"-0". WINDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE HANDBALUSTERS SIDE WITH A MIN. TREAD DEPTH OF 10"-0" INCHES. THE DEPTH OF THE WINDER TREADS SHALL BE EQUAL TO THE DEPTH OF THE STRAIGHT TREADS ON THE SLOPED PLANE ADDING THE TREAD NOSE OR FROM THE FLOOR SURFACE OF A LANING OR PLATFORUM.	
4. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF SPACES WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW SHALL BE NOT LESS THAN 48" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF SPACES WITH A TOTAL RISE OF 30" OR LESS SHALL BE NOT LESS THAN 36" IN HEIGHT. GUARDRAILS, BALUSTERS AND FLOORS SHALL NOT EXCEED 4" INCHES.	
5. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF SPACES WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW SHALL BE NOT LESS THAN 48" IN HEIGHT. GUARDRAILS, BALUSTERS AND FLOORS SHALL NOT EXCEED 4" INCHES.	
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21. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF SPACES WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW SHALL BE NOT LESS THAN 48" IN HEIGHT. GUARDRAILS, BALUSTERS AND FLOORS SHALL NOT EXCEED 4" INCHES.	
22. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF SPACES WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW SHALL BE NOT LESS THAN 48" IN HEIGHT. GUARDRAILS, BALUSTERS AND FLOORS SHALL NOT EXCEED 4" INCHES.	
23. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF SPACES WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW SHALL BE NOT LESS THAN 48" IN HEIGHT. GUARDRAILS, BALUSTERS AND FLOORS SHALL NOT EXCEED 4" INCHES.	
24. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF SPACES WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW SHALL BE NOT LESS THAN 48" IN HEIGHT. GUARDRAILS, BALUSTERS AND FLOORS SHALL NOT EXCEED 4" INCHES.	
25. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF SPACES WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW SHALL BE NOT LESS THAN 48" IN HEIGHT. GUARDRAILS, BALUSTERS AND FLOORS SHALL NOT EXCEED 4" INCHES.	
26. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF SPACES WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW SHALL BE NOT LESS THAN 48" IN HEIGHT. GUARDRAILS, BALUSTERS AND FLOORS SHALL NOT EXCEED 4" INCHES.	
27. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF SPACES WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW SHALL BE NOT LESS THAN 48" IN HEIGHT. GUARDRAILS, BALUSTERS AND FLOORS SHALL NOT EXCEED 4" INCHES.	
28. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF SPACES WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW SHALL BE NOT LESS	

# FIRST COLONY DEVELOPMENT



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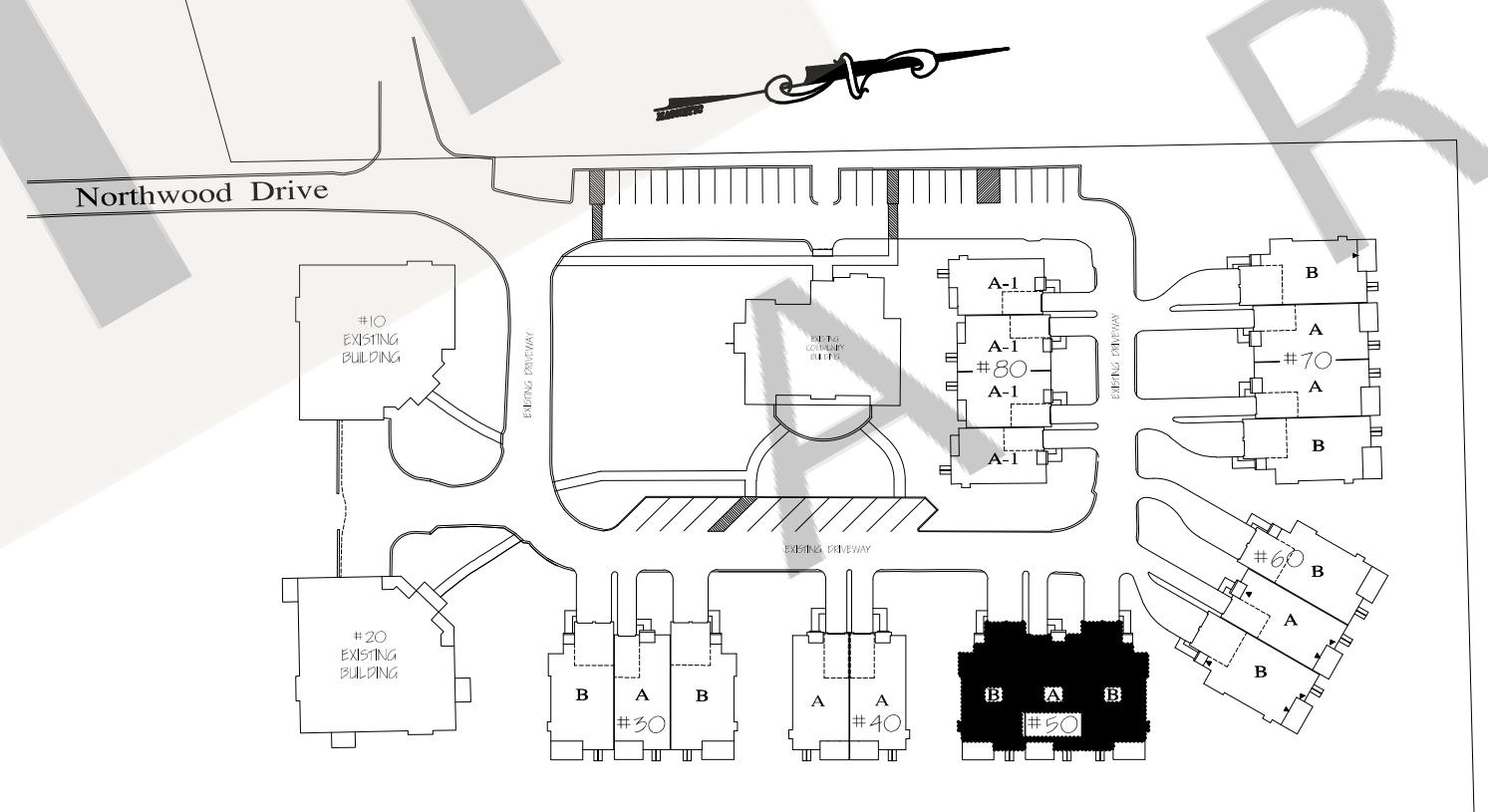
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CONTRACTOR:

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FAX (508) 473-0794



KEY PLAN

## SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
- S1.3 2ND FLOOR FRAMING
- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
<b>GENERAL</b>	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (R10 EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORRECT, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT. IF THIS IS INCORRECT WITH THE SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
<b>DIMENSIONS</b>	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES A DIMENSION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSIONING AT STAIR REPRESENDS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. ALL EXTERIOR DIMENSIONS ARE TO THE CENTER LINE OF THE EXTERIOR WALL AND ALL OTHER BULLETS, MUST BE CONFIRMED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
4. HEIGHTS DEPICTING THE BUILDING HEIGHT, SHOWS THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS ARE FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST STAIRWAY TO THE ROOF. THE ROOF HEIGHT IS THE TOTAL HEIGHT OF THE ROOF DECK, THE ROOFING, AND ALL OTHER BULLETS, THAT ARE NOT ENCLOSED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
5. ALL DOORS THAT ARE NOT ENCLOSED ARE TYPICALLY 36" TO 38" (DEPENDING ON THE CLOSET).	
6. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
<b>STAIRWAYS/DECKS</b>	
1. STAIRWAYS SHALL NOT BE LESS THAN 8'0" IN CLEAR HEIGHT. ALL PORCH ABOVE THE FINISHED HANDBALUST SHALL BE PROVIDED WITH AN OPENABLE RAILING. THE MINIMUM CLEAR HEIGHT SHALL BE 42" INCHES. THE DEPTH SHALL BE 18" INCHES OR LESS. THE DEPTH OF THE TREAD SHALL NOT EXCEED 1 1/4". UNDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10" INCHES. THE DEPTH OF THE TREAD SHALL NOT EXCEED 1 1/4" INCHES. THE DEPTH OF THE TREADS SHALL BE SLOPED PLANE ADJUSTING THE TREAD NOSE OR FROM THE FLOOR SURFACE OF A LANING OR PLATFOR.	
2. HANDRAILS SHALL BE PROVIDED AT THE TOP OF CONTINUOUS RUNS OF STAIRS OR FLIGHTS OF STEPS. ALL HANDRAILS SHALL BE 36" IN HEIGHT. MINIMUM HEIGHT SHALL BE 34" INCHES OR MAXIMUM 34" INCHES. THE DEPTH OF THE TREAD SHALL NOT EXCEED 1 1/4" INCHES. GUARDRAILS SHALL BE PROVIDED ON EACH SIDE OF THE STAIRS.	
3. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON SIDES OF SPACES WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 42" INCHES. GUARDRAILS ON SIDES OF SPACES WITH A TOTAL RISE OF THIRTY (30) INCHES OR LESS ABOVE A FLOOR OR GRADE BELOW SHALL BE 36" INCHES. GUARDRAILS, BALUSTERS, AND FLOORS SHALL NOT EXCEED 4" INCHES.	
EXCEPTION:	
THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH A SIZE THAT A 5X 5 INCH (A) SPHERE CANNOT PASS THROUGH. OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIRS SHALL NOT ALLOW A SPHERE 4-3/8 INCHES TO PASS THOUGH.	
4. AN ISOLATED DOOR 28" IN HEIGHT AND 30" IN DEPTH SHALL BE PROVIDED AT THE TOP OF INDEPENDENT BASEMENT STAIRS OR INSTITUTE THE WAILS AND INGRESS OF STAIRS. AN ISOLATED DOOR SHALL BE PROVIDED AT THE BOTTOM OF INDEPENDENT BASEMENT STAIRS.	
5. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WAILS AND INGRESS OF STAIRS AND PROVIDE AN ISOLATED DOOR AT THE BOTTOM OF ATTIC STAIRS.	
EMERGENCY ESCAPE AND RESCUE OPENINGS / EXTERIOR WINDOWS AND DOORS:	
1. WINDOW SIZES SHOWN ON THE DRAWINGS ARE BASED GENERICALLY ON ANDERSON AND THE OWNER OR GENERAL CONTRACTOR WHERE APPLICABLE SHALL CHOOSE THE FINA MANUFACTURER. WINDOW SIZES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDER. ROUGH OPENINGS SHALL BE PROVIDED BY THE MANUFACTURER.	
2. BASEMENTS, ATTICS, EXTERIOR WALLS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW. EACH SHALL HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING. THESE OPENINGS SHALL NOT REQUIRE ONE SIDE TO SWING OUT. THESE OPENINGS SHALL MEET THE FOLLOWING CRITERIA:	
a) SILL HEIGHT SHALL NOT BE MORE THAN 48 INCHES ABOVE THE FLOOR.	
b) A DOOR SWINGING THROUGH BELOW THE JACKSON HEIGHT ELEVATION IS USED AS AN EMERGENCY ESCAPE AND RESCUE OPENING. IF THE DOOR IS PROVIDED WITH A DEADBOLT ENCLOSURE, THE DOOR SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT AND WHEN THE DEADBOLT IS FULLY OPENED IT SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT.	
c) EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A SILL ELEVATION BELOW THE JACKSON HEIGHT ELEVATION SHALL BE PROVIDED WITH A 36" INCHES MINIMUM CLEAR HEIGHT. THE DEPTH OF THE TREAD SHALL NOT EXCEED 1 1/4" INCHES. THE DEPTH OF THE TREAD SHALL NOT EXCEED 1 1/4" INCHES. THE DEPTH OF THE TREADS SHALL BE SLOPED PLANE ADJUSTING THE TREAD NOSE OR FROM THE FLOOR SURFACE OF A LANING OR PLATFOR.	
d) EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.1" SQUARE FEET.	
EXCEPTION:	
1. STARWAYS, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS.	
2. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL BE PERMITTED TO HAVE A MIN. CLEAR OPENING OF 5.0" SQUARE FEET.	
3. REQUIRED EXIT SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES.	
4. REQUIRED EXIT SPACE UNDER STAIRS SHALL BE WALKABLE, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.	
5. EXITS FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT SMALL OF 72" INCHES. THE NOMINAL WIDTH OF THE OTHER EXIT DOOR SHALL BE NOT LESS THAN 30" WITH A NOMINAL HEIGHT OF 72" INCHES. THE NOMINAL WIDTH OR SIX FEET EIGHT INCHES IN NORMAL HEIGHT AND MAY BE SLIDING OR SIDE-HINGED. EXCEPT FOR DWELLING UNITS THAT ARE PROVIDED WITH FALL PREVENTION DEVICES.	
6. ALL OTHER EXTERIOR DOORS IN EXCESS OF THE REQUIRED EXIT DOORS ARE NOT REQUIRED TO COMPLY.	
7. ALL INTERIOR DOORS PROVIDING ACCESS TO HABITABLE ROOMS SHALL HAVE A NOMINAL WIDTH OF 30 INCHES AND A NOMINAL HEIGHT OF 72" INCHES. THE NOMINAL WIDTH OF THE DOOR SHALL BE NOT LESS THAN 30" IN NOMINAL WIDTH.	
8. A DOOR OR LANDING SHALL MEET THE REQUIREMENT OF AN EXTERIOR EXIT DOOR. THE WIDTH OF EACH LANDING SHALL BE GREATER THAN THE DOOR SERVED AND HAVE A MINIMUM DIMENSION OF 36" INCHES MEASURED IN THE DIRECTION OF TRAVEL.	
SPRINKLERS:	
The 3-unit townhouse has an aggregate area of 1,210 SF and shall be designed with a minimum NFPA 13 system.	
<b>REVISIONS:</b>	
# DATE DESC.	
O	ISSUED FOR CONSTRUCTION

DATE: AUGUST 1, 2016
DRAWN BY: RWB contact@hpadesign.com
CHECKED BY: HPA
PATH: 20180101_FIRST COLONY DEV 20180101LCDs
SCALE: SEE DRAWING
REVISIONS:
# DATE DESC.
O ISSUED FOR CONSTRUCTION

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<input type="checkbox"/> 508.384.8838 (T)
<input type="checkbox"/> 508.384.0483 (F)
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<a href="http://www.HPAdesign.com">www.HPAdesign.com</a>

CONSTRUCTION BY: <b>FIRST COLONY DEV. LLC</b> #50 NORTHWOOD DRIVE, NORTHWOOD TOWNSHOUSE CONDO'S, SUDBURY, MA
TITLE SHEET
A0.1
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SHEET:
KEY PLAN
JOB NO. 20180101

# FIRST COLONY DEVELOPMENT



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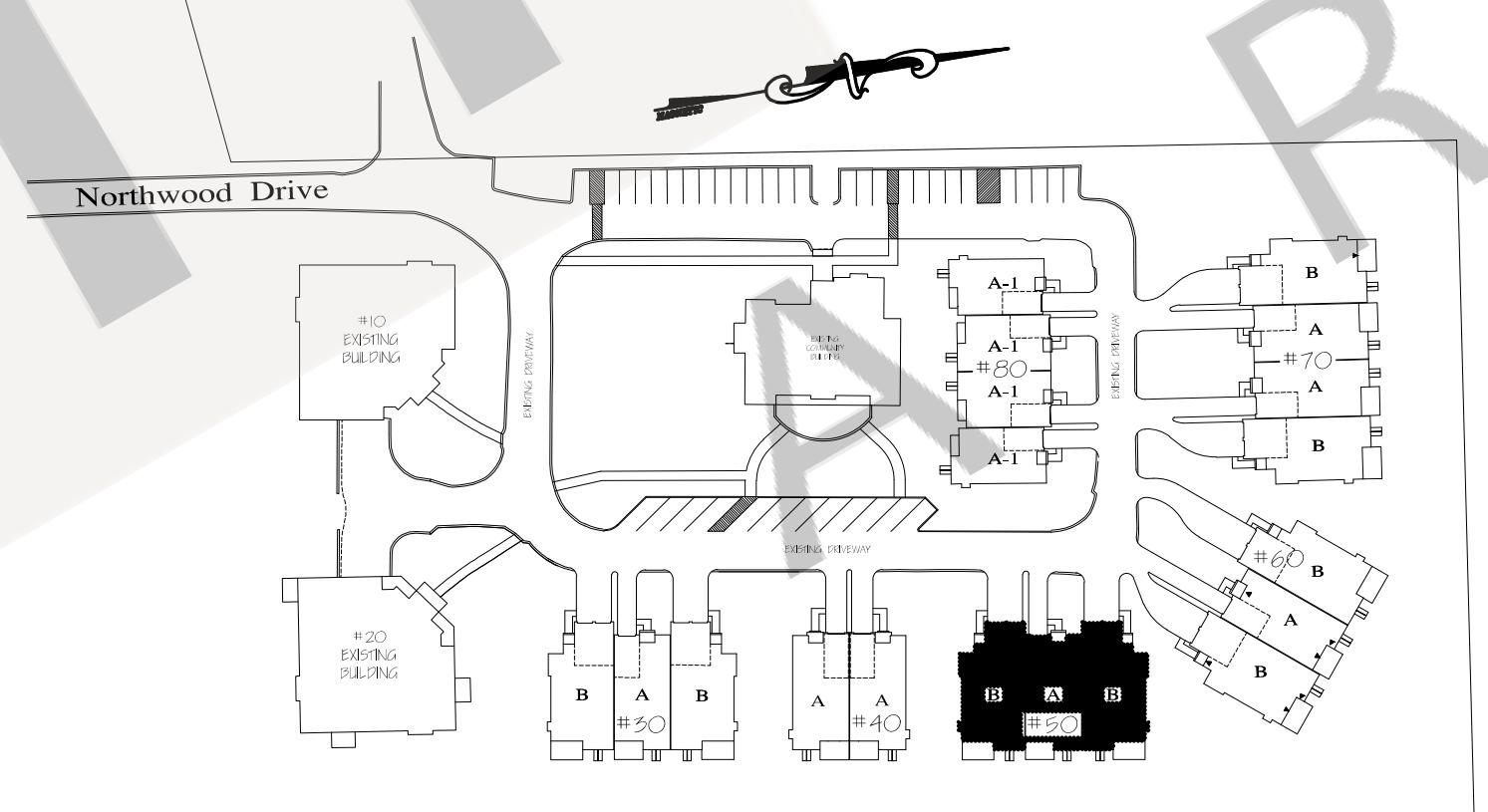
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EAST BRIDGEWATER  
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CONTRACTOR:

LOBISSEUR BUILDING CORP.  
1 CHARLESVIEW ROAD  
HOPEDALE, MA 01741  
TEL. (508) 478-6235  
FAX (508) 473-0794



KEY PLAN

## SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
- S1.3 2ND FLOOR FRAMING
- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
<b>GENERAL</b>	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (RTH EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE SITE CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES SHALL BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
<b>DIMENSIONS</b>	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES A DIMENSION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSIONING AT STAIR REPRESENDS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. INTERIOR DIMENSIONING AT DOORS REFERS TO THE INSIDE EDGE OF THE STUD OR CONCRETE WALL AND ALL OTHER BULLETS, MUST BE CONFIRMED WITH THE FUTURE MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
4. HEIGHTS DEPICTING THE BUILDING HEIGHT, SHOWS THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST. ON THE GROUND FLOOR TO THE ROOF. THE TOTAL BUILDING HEIGHT IS THE SUM OF THE ELEVATION DIFFERENCE RELATIVE TO THE 1ST FLOOR, TO ENSURE COMPLIANCE WITH ZONING AND BUILDING CODE HEIGHT REQUIREMENTS.	
5. CLOSET DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY CENTERED WITHIN THE CLOSET.	
6. CLOSET LOCATIONS ARE DIMENCHED AS DEPENDING ON THE CENTER OF THE OPENING TYPE, UNLESS OTHERWISE NOTED.	
<b>STAIRWAYS/DECKS</b>	
1. STAIRWAYS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT. IN ALL PORTIONS ABOVE THE FINISHED HANDBALUST, THE MINIMUM CLEAR HEIGHT, FROM THE FINISHED FLOOR TO THE CEILING, SHALL BE 6'-0". MINIMUM DEPTH SHALL BE 1'-0" IN WHICH NOSEG IS NOT EXCEED 1'-0". WINDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10"-0". ALL OTHER TREADS SHALL BE 1'-0" IN DEPTH AND 1'-0" IN LENGTH, EXCEPT FOR THE SLOPED PLANE ADDING THE TREAD NOSE OR FROM THE FLOOR SURFACE OF A LANING OR PLATFOR.	
2. HANDRAILS SHALL BE PROVIDED AT EACH CONTINUOUS RUN OF TREADS OR FLIGHTS OF STEPS THAT ARE 12' OR MORE IN LENGTH. MINIMUM HEIGHT SHALL BE 34"-0" AND MAXIMUM SHALL NOT EXCEED 37"-0". ALL OTHER DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY CENTERED WITHIN THE CLOSET.	
3. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S HIGHER THAN 30"-0" ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30') INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 42"-0" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30') INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 42"-0" IN HEIGHT. GUARDRAILS, RAILS, BALUSTERS, AND FLOORS SHALL NOT EXCEED 4" INCHES.	
4. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH A SIZE THAT A 5X 5 INCH (6" SPHERE) CANNOT PASS THROUGH. OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIRS SHALL NOT ALLOW A SPHERE 4-3/8" INCHES TO PASS THROUGH.	
5. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF AN INDEPENDENT STAIRCASE OR INSTITUTE THE WALLS AND UNDERNEATH THE STAIRS. AN ISOLATED DOOR SHALL NOT BE PROVIDED ON THE BOTTOM OF AN INDEPENDENT STAIRCASE OR INSTITUTE THE WALLS AND UNDERNEATH THE STAIRS.	
6. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND UNDERNEATH THE STAIRS. ESCAPE AND RESCUE OPENINGS.	
7. HATCHES SHOWN ON THE DRAWINGS ARE BASED GENERICALLY ON ANDERSON AND THE OWNER OR GENERAL CONTRACTOR WHERE APPLICABLE SHALL CHOOSE THE FINA MANUFACTURER. WINDOW SHOES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDER. ROUGH OPENINGS SHALL BE PROVIDED BY THE MANUFACTURER.	
8. BASEMENTS, ATTICS, EXTERIOR SLEEPING ROOMS SHALL HAVE AT LEAST ONE OPERABLE WINDOW. EACH SHALL HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING. THESE OPENINGS SHALL NOT REQUIRE ONE SIDE TO SWING OUT. ESCAPE AND RESCUE OPENINGS SHALL FOLLOW THE FOLLOWING CRITERIA:	
a) SILL HEIGHT SHALL NOT BE MORE THAN 48" ABOVE THE FLOOR.	
b) A DOOR SWINGING THROUGH BELOW THE JACKSON HEIGHT ELEVATION IS USED AS AN EMERGENCY ESCAPE AND RESCUE OPENING. IF THE DOOR IS PROVIDED WITH A DEADBOLT ENCLOSURE, THE DOOR SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT AND WHEN THE DEADBOLT IS FULLY OPENED IT SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT.	
c) EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A SILL ELEVATION BELOW THE JACKSON HEIGHT ELEVATION SHALL BE PROVIDED WITH A 36"-0" INCHES MINIMUM CLEAR HEIGHT. THE CLEARANCE FROM THE FLOOR TO THE JACKSON HEIGHT ELEVATION SHALL BE 36"-0" AND THE HORIZONTAL PROJECTION OF 36"-0". THE PERSON HELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO FULLY OPENED.	
d) DOUBLE HUNG ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.1" SQUARE FEET.	
e) GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.0" SQUARE FEET.	
f) DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL BE PERMITTED TO HAVE A MIN. CLEAR OPENING OF 24"-0" X 30"-0" INCHES IN EITHER DIRECTION.	
g) EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE WITHOUT THE USE OF KEYS OR TOOLS.	
h) THE MINIMUM NET CLEAR OPENING SHALL BE 24"-0" X 30"-0" INCHES IN EITHER DIRECTION.	
i) OPENINGS THAT ARE PROVIDED WITH FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R402.12.	
j) OPENINGS THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R402.12.	
<b>EXCEPTIONS</b>	
1. STAIRWAYS, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS.	
2. REQUIRED EXITS SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES.	
3. REQUIRED EXIT SPACE UNDER STAIRS SHALL BE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.	
4. ESCAPE AND RESCUE OPENINGS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36"-0" WITH A NOMINAL HEIGHT OF 72"-0" NOMINAL WIDTH OR SIX FEET EIGHT INCHES IN NOMINAL HEIGHT AND MAY BE SLIDING OR SIDE-HINGED. Emergency escape and rescue openings are permitted provided that the attached garage is also provided with a 36"-0" EXIT DOOR.	
5. ALL OTHER EXTERIOR DOORS IN EXCESS OF THE REQUIRED EXIT DOORS ARE NOT REQUIRED TO COMPLY.	
6. ALL INTERIOR DOORS PROVIDING ACCESS TO HABITABLE ROOMS SHALL HAVE A NOMINAL WIDTH OF 30"-0" NOMINAL HEIGHT AND 6'-0" NOMINAL HEIGHT. THESE DOORS SHALL BE SWINGING IN THE DIRECTION OF TRAVEL.	
7. A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE POINT OF DRAFTING, WHICH IS THE POINT WHERE THE DOOR SWINGS AND HAVE A MINIMUM DIMENSION OF 36"-0" INCHES MEASURED IN THE DIRECTION OF TRAVEL.	
<b>SPRINKLERS</b>	
The 3-unit townhouse has an aggregate area of 1,210 SF and shall be designed with a minimum NFPA 13 system.	
<b>HEAT DETECTORS</b>	
1. HEAT DETECTORS SHALL BE INSTALLED IN ANY INTEGRAL OR ATTACHED GARAGE TO THE MAIN HOUSE. A NEW ADDITION ATTACHED GARAGE TO AN EXISTING ONE SHALL BE INSTALLED IN ACCORDANCE WITH THE EXISTING SYSTEM. IF THE EXISTING SYSTEM IS NOT COMPATIBLE WITH THE NEW ADDITION, THE NEW ADDITION SHALL BE CONNECTED TO A CANISTER OR A COMPATIBLE HEAT DETECTOR CONTAINING A SOUNING DEVICE LOCATED IN THE EXISTING SYSTEM.	
2. FOR FLAT-FINISHED CEILINGS, THE DETECTOR SHALL BE LOCATED ON OR NEAR THE CENTER OF THE GARAGE CEILING. FOR VAULTED/GLODED CEILINGS, THE DETECTOR SHALL BE PLACED IN THE APPROXIMATE CENTER OF THE CEILING.	
3. FOR THE REARED HOLLOW-FLOOR FIRE ALARM SYSTEM, SUCH THAT THE ACTIVATION OF THE HEAT DETECTOR WILL ACTIVATE ALL OF THE ADDRESS ALARMS OF THE HOLLOW-FLOOR FIRE ALARM SYSTEM THROUGHOUT THE DWELLING.	
<b>SMOKE ALARMS/DETECTORS</b>	
1. ALL ONE AND TWO FAMILY SHALL BE EQUIPPED WITH A HOUSEHOLD FIRE ALARM SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS AND THE OWNER'S AGREEMENT.	
2. SMOKE ALARMS ARE REQUIRED TO BE PERMANENTLY WIRED TO AN AC-PRIORY POWER SOURCE AND SHALL RECEIVE STANDBY POWER SUPPLIED FROM CONTINUED BATTERIES.	
3. WHERE MORE THAN ONE SMOKE DETECTOR IS REQUIRED, ALL REQUIRED DETECTORS SHALL BE INSTALLED SO THAT THE ACTIVATION OF ANY DETECTOR SHALL CAUSE THE ALARM IN ALL REQUIRED SMOKE DETECTORS IN THE DWELLING UNTIL SOUND 85 DBA AT 10 FEET, 15 FEET IN BEDROOMS.	
4. SMOKE DETECTORS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: a) IN EACH BEDROOM. b) IN EACH BATHROOM. c) IN EACH KITCHEN OR PANTRY. d) IN EACH DRYING AREA.	
5. PHOTO-ELECTRIC SMOKE DETECTORS ARE REQUIRED IF LOCATED WITHIN 15 FEET OF A KITCHEN OR BATHROOM.	
6. WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED TO AN EXISTING DWELLING, THE ENTIRE BUILDING SHALL BE PROVIDED WITH SMOKE DETECTORS DESIGNED AND LOCATED AS REQUIRED FOR NEW DWELLINGS.	
<b>CARBON MONOXIDE ALARMS/DETECTORS</b>	
1. ALL ONE AND TWO FAMILY DWELLINGS SHALL BE EQUIPPED WITH A HOUSEHOLD CARBON MONOXIDE WARNING SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS AND THE OWNER'S AGREEMENT.	
2. CARBON MONOXIDE DETECTORS SHALL BE LOCATED ON EVERY LEVEL OF THE DWELLING UNIT INCLUDING BASEMENTS AND CELLS (NOT INCLUDING CRAWL SPACES AND UNINHABITED ATTICS).	
3. ALL ALARM-SOUNDING APPLIANCES SHALL HAVE A MINIMUM RATING OF 85 DBA AT 10 FEET.	
<b>HEAT DETECTORS</b>	
1. HEAT DETECTORS SHALL BE INSTALLED IN ANY INTEGRAL OR ATTACHED GARAGE TO THE MAIN HOUSE. A NEW ADDITION ATTACHED GARAGE TO AN EXISTING ONE SHALL BE INSTALLED IN ACCORDANCE WITH THE EXISTING SYSTEM. IF THE EXISTING SYSTEM IS NOT COMPATIBLE WITH THE NEW ADDITION, THE NEW ADDITION SHALL BE CONNECTED TO A CANISTER OR A COMPATIBLE HEAT DETECTOR CONTAINING A SOUNING DEVICE LOCATED IN THE EXISTING SYSTEM.	
2. FOR FLAT-FINISHED CEILINGS, THE DETECTOR SHALL BE LOCATED ON OR NEAR THE CENTER OF THE GARAGE CEILING. FOR VAULTED/GLODED CEILINGS, THE DETECTOR SHALL BE PLACED IN THE APPROXIMATE CENTER OF THE CEILING.	
3. FOR THE REARED HOLLOW-FLOOR FIRE ALARM SYSTEM, SUCH THAT THE ACTIVATION OF THE HEAT DETECTOR WILL ACTIVATE ALL OF THE ADDRESS ALARMS OF THE HOLLOW-FLOOR FIRE ALARM SYSTEM THROUGHOUT THE DWELLING.	
<b>SPRINKLERS</b>	
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<b>TITLE SHEET</b>	
<b>FIRST COLONY DEV. LLC</b>	
#50 NORTHWOOD DRIVE, NORTHWOOD TOWNSHOUSE CONDO'S, SUDBURY, MA	
CONSTRUCTION BY:	
200 Wrentham, MA 02093	
DATE: AUGUST 1, 2016	
DRAWN BY: RWB contact@hpadesign.com	
CHECKED BY: HPA	
PATH: 20180101_FIRST COLONY DEV 20180101.LCDs	
SCALE: SEE DRAWING	
REVISIONS:	
# DATE DESC.	
0 ISSUED FOR CONSTRUCTION	
HPA Design, Inc.	
ARCHITECTS	
<input type="checkbox"/> 200 Stonewall Blvd, Suite 5	
<input type="checkbox"/> Wrentham, MA 02093	
<input type="checkbox"/> 508.384.8838 (T)	
<input type="checkbox"/> 508.384.0483 (F)	
<input type="checkbox"/> contact@hpadesign.com	
<input type="checkbox"/> www.HPAdesign.com	
JOB NO. 20180101	

The banner features the word "FESTIVAL" in a unique, abstract font. Each letter is formed by several black lines that overlap and loop around each other, creating a complex, textured appearance. The letters are arranged horizontally, with "F" on the far left, followed by "E", "S", "T", "F", "E", "S", "T", "V", "I", "L", "A", "P", "I", and "T" on the far right. The background is plain white.



OWNER / CLIENT:

# ARCHITECT:

# STRUCTURAL ENGINEER

## CONTRACTOR:

FIRST COLONY DEV. LLC  
929 POST ROAD EAST  
MARLBOROUGH, MA 01752  
TEL. (508) 481-6095  
FAX (508) 460-0578

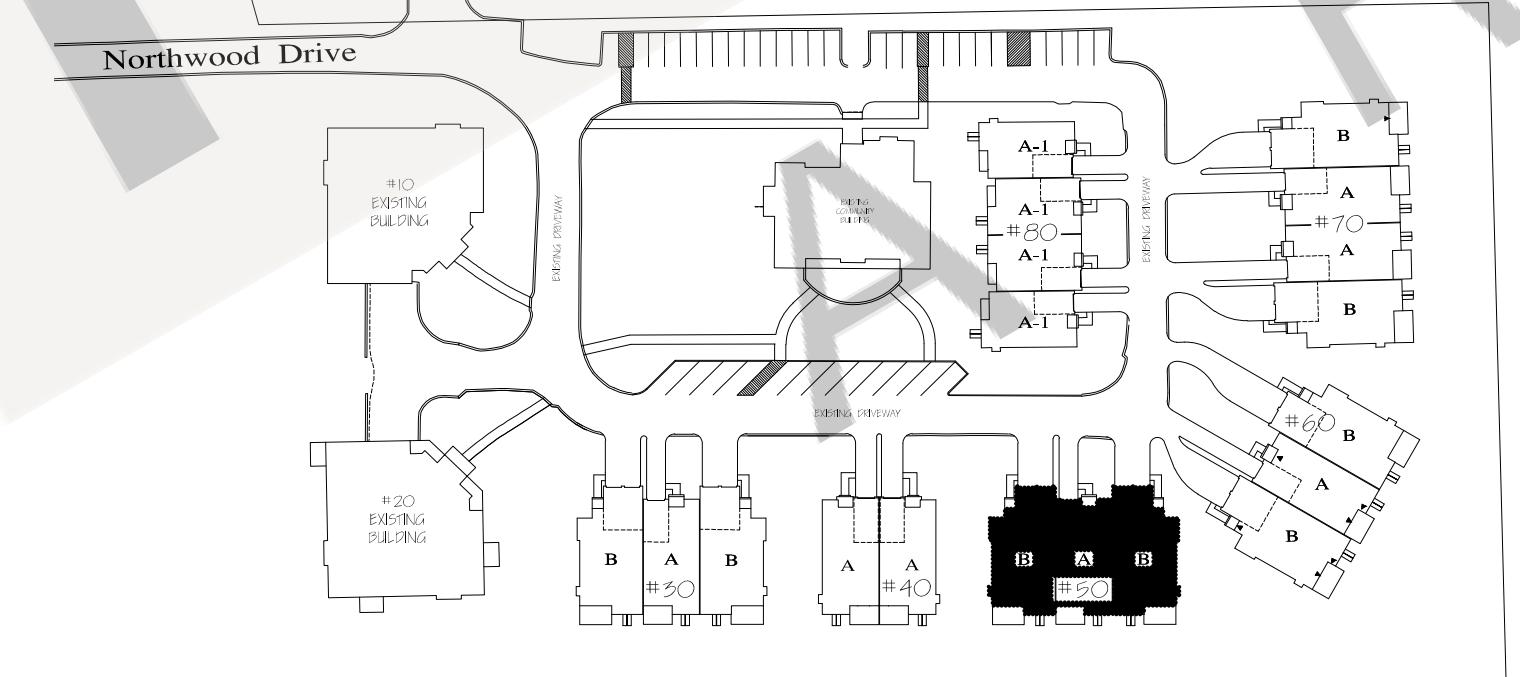
HPA DESIGN, INC.  
200 STONEWALL BLVD.  
SUITE 5  
WRENTHAM, MA 02093  
TEL. (508) 384-8838  
FAX (508) 384-0483

DWD ENGINEERING, INC.  
5 MICHAEL RD.  
EAST BRIDGEWATER  
TEL. (508) 378-9602  
FAX. (508) 378-2922

# SCHEDULE OF DRAWINGS:

- 0.1 TITLE SHEET
  - 1.1 1ST FLOOR PLAN
  - 1.2 2ND FLOOR PLAN
  - 2.1 ELEVATIONS
  - 2.2 ELEVATIONS
  - 3.1 BUILDING SECTIONS
  - 3.2 BUILDING SECTIONS
  - 4.1 WALL SECTIONS
  - 4.2 AIR BARRIER NOTES & DETAILS
  - 5.1 DETAILS
  - .1 FOUNDATION PLAN
  - .2 1ST FLOOR FRAMING
  - .3 2ND FLOOR FRAMING
  - .4 CEILING FRAMING
  - .5 ROOF FRAMING
  - 2.1 DETAILS
  - 2.2 DETAILS

## KEY PLAN



— STEELE —

**FIRST COLONY DEV. LLC**  
CONSTRUCTION BY:

#50 NORTHWOOD DRIVE, NORTHWOOD TOWNHOUSE CONDOS, SUDBURY, MA

---

**SHEET:**

A.0.1

JOB NO. 20180101