

# Opacity Comparisons

The banner features the word "FESTIVAL" in a unique, abstract font. Each letter is formed by several black lines that overlap and loop around each other, creating a complex, textured appearance. The letters are arranged horizontally, with "F" on the far left, followed by "E", "S", "T", "F", "E", "S", "T", "V", "I", "L", "A", "P", "I", and "T" on the far right. The background is plain white.



OWNER / CLIENT:

# ARCHITECT:

# STRUCTURAL ENGINEER

## CONTRACTOR:

FIRST COLONY DEV. LLC  
929 POST ROAD EAST  
MARLBOROUGH, MA 01752  
TEL. (508) 481-6095  
FAX (508) 460-0578

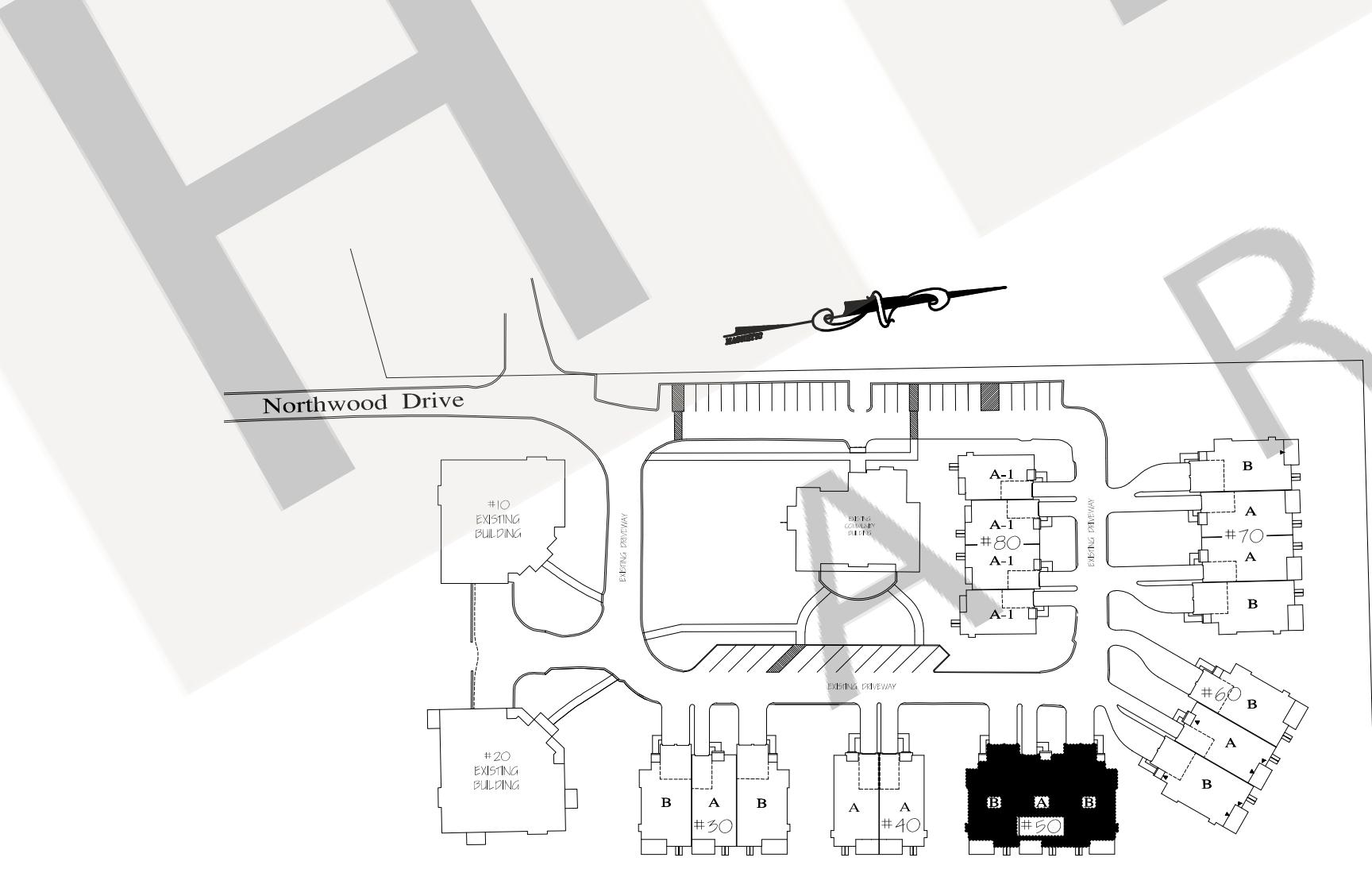
HPA DESIGN, INC.  
200 STONEWALL BLVD.  
SUITE 5  
WRENTHAM, MA 02093  
TEL. (508) 384-8838  
FAX (508) 384-0483

DWD ENGINEERING, INC.  
5 MICHAEL RD.  
EAST BRIDGEWATER  
TEL. (508) 378-9602  
FAX. (508) 378-2922

# SCHEDULE OF DRAWINGS:

- 0.1 TITLE SHEET
  - 1.1 1ST FLOOR PLAN
  - 1.2 2ND FLOOR PLAN
  - 2.1 ELEVATIONS
  - 2.2 ELEVATIONS
  - 3.1 BUILDING SECTIONS
  - 3.2 BUILDING SECTIONS
  - 4.1 WALL SECTIONS
  - 4.2 AIR BARRIER NOTES & DETAILS
  - 5.1 DETAILS
  - .1 FOUNDATION PLAN
  - .2 1ST FLOOR FRAMING
  - .3 2ND FLOOR FRAMING
  - .4 CEILING FRAMING
  - .5 ROOF FRAMING
  - 2.1 DETAILS
  - 2.2 DETAILS

## KEY PLAN



— STEELE —

**FIRST COLONY DEV. LLC**

#50 NORTHWOOD DRIVE, NORTHWOOD TOWNHOUSE CONDOS, SUDBURY, MA

**SHEET:**

A.0.1

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JOB NO. 3018210

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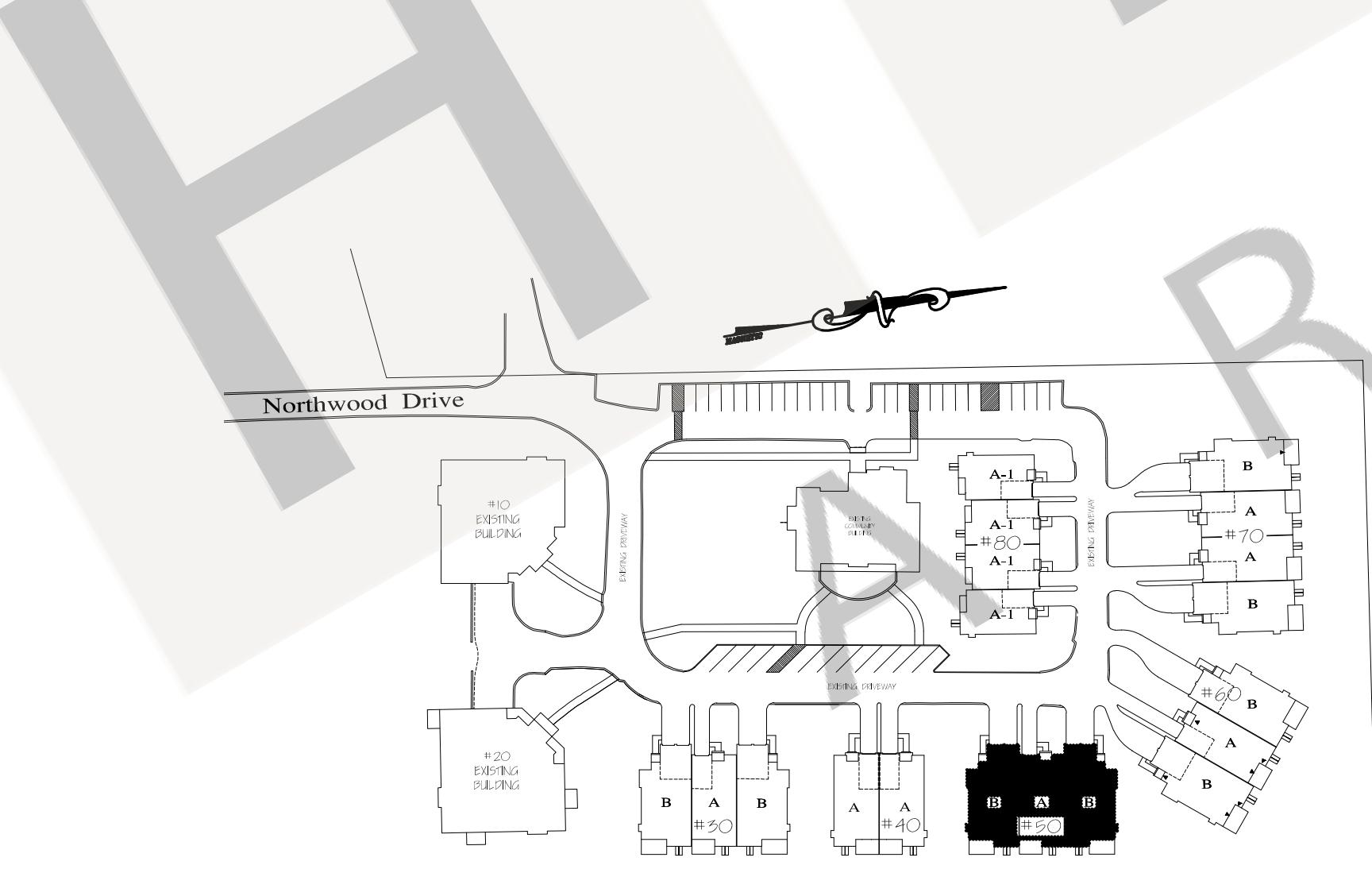
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**SHEET:**

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JOB NO. 20180101

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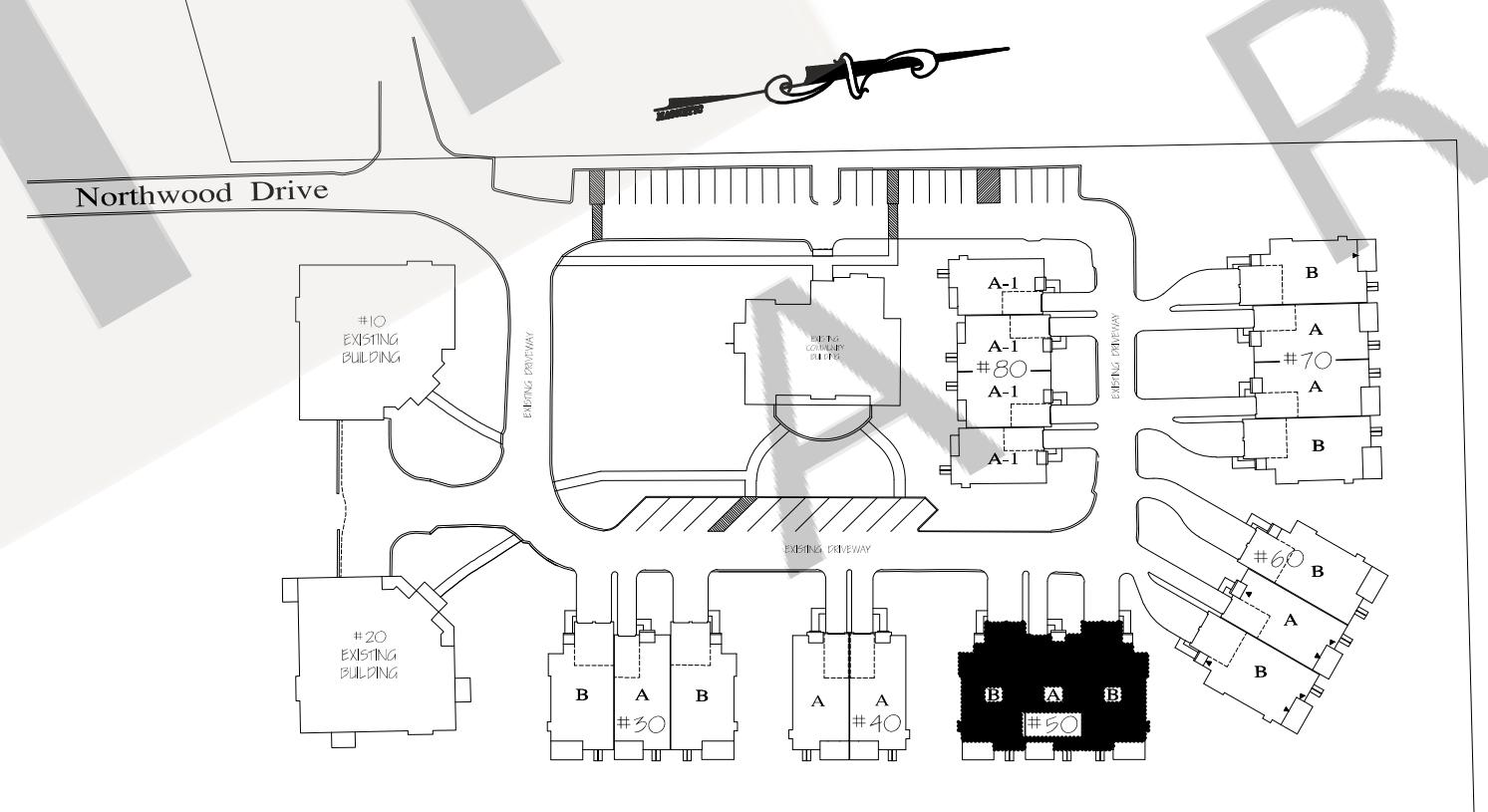
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CONTRACTOR:

LOBISSEUR BUILDING CORP.  
1 CHARLESVIEW ROAD  
HOPEDALE, MA 01741  
TEL. (508) 478-6235  
FAX (508) 473-0794



KEY PLAN

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GENERAL NOTES	
<b>GENERAL</b>	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (R10 EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE SITE CONDITIONS, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IF THIS IS INCONSISTENT WITH THE SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
<b>DIMENSIONS</b>	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES A DIMENSION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSIONING AT STAIR REPRESENDS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. ALL EXTERIOR DIMENSIONS ARE TO THE CENTER LINE OF THE EXTERIOR WALL AND ALL OTHER BUILDINGS MUST BE CONFIRMED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
4. HEIGHTS DEPICTED THE BUILDING HEIGHT, SHOWS THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS ARE FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST. TO THE 1ST FLOOR TO ENSURE COMPLIANCE WITH ZONING AND BUILDING CODE HEIGHT REQUIREMENTS.	
5. ALL DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY 3'-0" TO 4'-0" DEPENDING ON THE CLOSET.	
6. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
<b>STAIRWAYS/DECKS</b>	
1. STAIRWAYS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT. ALL PORCH ABOVE THE FINISHED HANDBALUST SHALL BE PROVIDED WITH A MINIMUM 4'-0" CLEAR HEIGHT. MINIMUM DEPTH SHALL BE 1'-0" MINIMUM DEPTH SHALL BE 1'-0" IN DEPTH. MAXIMUM DEPTH SHALL NOT EXCEED 1'-0". WINDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10" AND A MAX. TREAD DEPTH OF 12". ALL TREADS SHALL BE PROVIDED WITH A MIN. 12" DEPTH AND A SLOPED PLANE ADDING TO THE TREAD NOSE OR FROM THE FLOOR SURFACE OF A LANING OR PLATFOR.	
2. HANDRAILS SHALL BE PROVIDED AT EACH CONTINUOUS RUN OF TREADS OR FLIGHTS OF STEPS. ALL HANDRAILS SHALL BE PROVIDED AT LEAST 3'-0" FROM THE FLOOR SURFACE OF A LANING OR PLATFOR.	
3. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW, SHALL BE INSTALLED IN ACCORDANCE WITH THE 1994 EDITION OF THE STAIRCASE AND GUARDRAILS SECTION OF THE NATIONAL BUILDING CODE. THE MAXIMUM CLEAR OPENING BETWEEN RAILS, GUARDRAILS AND FLOORS SHALL NOT EXCEED 4" INCHES.	
4. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED ON THE SIDES OF STAIRS TO GUARD AGAINST FALLS. GUARDRAILS ON OPEN SIDES OF STAIRS SHALL NOT ALLOW A 5-1/2" SPHERE 10 INCHES TO PASS THROUGH.	
5. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND UNDERSCAPE OF STAIRS AND PROVIDE AN ISOLATED DOOR AT THE BOTTOM OF ATTIC STAIRS.	
6. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND UNDERSCAPE OF STAIRS AND PROVIDE AN ISOLATED DOOR AT THE BOTTOM OF ATTIC STAIRS.	
7. HOLLOW SHELLS SHOWN ON THE DRAWINGS ARE BASED GENERICALLY ON ANDERSON AND THE OWNER OR GENERAL CONTRACTOR WHERE APPLICABLE SHALL CHOOSE THE FINAL MANUFACTURER. WINDOW SIZES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDER. ROUGH OPENINGS SHALL BE PROVIDED BY THE MANUFACTURER.	
8. BASEMENTS, ATTICS, EXTERIOR WALLS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW. EACH SHALL HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING. THESE OPENINGS SHALL NOT REQUIRE ONE SIDE TO SWING OUT. ESCAPE AND RESCUE OPENINGS SHALL FULLY OPEN.	
a) GILL HEIGHT SHALL NOT BE MORE THAN 4' INCHES ABOVE THE FLOOR.	
b) A DOOR SWINGING THROUGH BELOW THE JACKSTOCK LEVEL AND THE ELEVATION IS USED AS AN EMERGENCY ESCAPE AND RESCUE OPENING. IF THE DOOR IS PROVIDED WITH A DELUXE ENCLOSURE, THE DOOR SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT AND WHEN THE HEADSLID IS FULLY OPEN IT SHALL PROVIDED DIRECT ACCESS TO THE BASEMENT.	
c) EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A 5'0" ELEVATION BELOW THE ADJACENT GROUND FLOOR SHALL BE PROVIDED IN ACCORDANCE WITH THE 1994 EDITION OF THE NATIONAL BUILDING CODE. THE MAXIMUM CLEAR OPENING SHALL BE 3'-0" AND THE MINIMUM HORIZONTAL PROJECTION OF 36". THE PERSON HELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO FULLY OPENED.	
d) DOUBLE HUNG ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.1" SQUARE FEET.	
e) GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.0" SQUARE FEET.	
f) DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL BE PERMITTED TO HAVE A MIN. CLEAR OPENING OF 24" X 30" INCHES. THE MINIMUM NET CLEAR OPENING OF THE WINDOW SHALL BE 24" X 30" INCHES.	
g) THE MINIMUM NET CLEAR OPENING SHALL BE 24" X 30" INCHES IN EITHER DIRECTION.	
h) EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE WITHOUT THE USE OF KEYS OR TOOLS.	
i) IN HOLLOW SHELLS WHERE THE OPENING OF A OPERABLE WINDOW LOCATED MORE THAN 12" ABOVE THE FLOOR, THE OPENING SHALL NOT ALLOW A 5-1/2" SPHERE TO PASS THROUGH THE OPENING.	
j) OPENINGS THAT ARE PROVIDED WITH HOLLOW FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R402.3.	
k) OPENINGS THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R402.4.	
l) INHOLE'S, RAMPS, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS.	
m) REQUIRED EXITS SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES.	
n) EXTERIOR WALLS AND SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.	
o) EXITS FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT OF 72" NOMINAL WIDTH OR SIX FEET EIGHT INCHES IN NORMAL HEIGHT AND MAY BE SLIDING OR SIDE-HINGED.	
p) EXITS FROM DWELLING UNITS SHALL BE BY MEANS OF ONE EXIT DOOR. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT OF 72" NOMINAL WIDTH OR SIX FEET EIGHT INCHES IN NORMAL HEIGHT AND MAY BE SLIDING OR SIDE-HINGED.	
q) ALL OTHER EXTERIOR DOORS IN EXCESS OF THE REQUIRED EXIT DOORS ARE NOT REQUIRED TO COMPLY WITH THE 1994 EDITION OF THE NATIONAL BUILDING CODE.	
r) ALL INTERIOR DOORS PROVIDING ACCESS TO HABITABLE ROOMS SHALL HAVE A NOMINAL WIDTH OF 30 INCHES AND A NOMINAL HEIGHT OF 80 INCHES. THESE DOORS SHALL BE SWINGING IN THE DIRECTION OF TRAVEL IN NOMINAL WIDTH.	
s) A DOOR OR LANDING SHALL MEET THE REQUIREMENT OF AN EXTERIOR EXIT DOOR. THE POINT OF DRAFT LANDING SHALL BE LOCATED ON THE SIDE OF THE DOOR SERVED AND HAVE A MINIMUM DIMENSION OF 36" INCHES MEASURED IN THE DIRECTION OF TRAVEL.	
<b>SPRINKLERS</b>	
The 3-unit townhouse has an aggregate area of 1,210 SF and shall be designed with a minimum NFPA 13 system.	
<b>GENERAL</b>	
1. HABITABLE ROOMS, HALLWAYS, CORRIDORS, BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS AND BASEMENTS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN SEVEN (7') FEET MEASURED FROM THE FINISH FLOOR TO THE LOWEST PROJECTION FROM THE CEILING.	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE SITE CONDITIONS, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IF THIS IS INCONSISTENT WITH THE SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
<b>ROOFING AND Siding</b>	
1. PROVIDE CONTINUOUS 6'-0" wide FIBERGLASS REINFORCED, BITUMEN, ICE AND WATER SHIELD AT ALL ROOF EDGES CENTERED IN ALL VALLEYS AND AT ROOF WALL INTERSECTIONS CARRIED 1'-0" UP THE WALL REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.	
2. PROVIDE ALUMINUM FLASHING OVER ALL WINDOW AND DOOR HEAD IRN AND AT THE CONNECTION BETWEEN ALL EXTERIOR WALLS AND ROOF.	
3. PROVIDE ALUMINUM FLASHING OVER ALL ROOF/WALL AND ROOF/GHIBNEY INTERSECTIONS.	
4. PROVIDE CONTINUOUS VENTED DRIP EDGE AT ALL SOFFIT OVERHANGS.	
5. PROVIDE FELT UNDER ALL ROOF SHAKLES UNLESS SPECIFIED OTHERWISE.	
6. PROVIDE CONTINUOUS RIDGE VENTS (UNLESS SPECIFIED AS OTHERWISE). SEE BUILDING EXTENT.	
7. ALL GUTTERS AND DOWNGOATS TO BE PREFINISHED ALUM. COLOR TO BE SELECTED BY OWNER.	
8. LIGHTVENTILATION AND INSULATION.	
a) ALL HABITABLE ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING OF NOT LESS THAN 28% OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, LOUVRES OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR. THE MINIMUM OPERABLE AREA TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA OF SUCH ROOMS.	
b) EXEMPTIONS	
1. THE GLAZED AREAS SHALL NOT BE OPENABLE WHERE THE OPENING IS NOT A REQUIRED TO BE AN EMERGENCY ESCAPE AND RESCUE OPENING AND AN APPROVED MECHANICAL VENTILATION SYSTEM IS PROVIDED CAPABLE OF PRODUCING 0.50 AIR EXCHANGE PER HOUR. IN THE ROOM OR A ONE-HOUSE MECHANICAL VENTILATION SYSTEM IS INSTALLED, THE GLAZED AREA SHALL NOT EXCEED 10% OF THE FLOOR AREA OR 5 SF PER OCCUPANT AREA FOR THE FIRST BEDROOM AND ONE FOR EVERY ADDITIONAL BEDROOM.	
2. ALL BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING AREA OF NOT LESS THAN THREE SQUARE FEET, 1/2 OF WHICH MUST BE OPENABLE.	
EXCEPTION	
THE GLAZED AREA SHALL NOT BE REQUIRED WHERE ARTIFICIAL LIGHT, AND A MECHANICAL VENTILATION SYSTEM ARE PROVIDED. VENTILATION AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE.	
3. ATTIC VENTILATION WITH A CEILING VAPOR BARRIER. PROVIDE AT LEAST ONE (1) SQUARE FOOT OF FREE AREA FOR EACH THREE HUNDRED (300) SQUARE FOOT OF CEILING AREA.	
4. ATTIC VENTILATION WITHOUT A CEILING VAPOR BARRIER. PROVIDE AT LEAST ONE (1) SQUARE FOOT OF FREE AREA FOR EACH ONE HUNDRED-FIFTY (150) SQUARE FOOT OF CEILING AREA.	
5. IF RESIDENTIAL ELECTRICAL OR PLUMBING EQUIPMENT IS TO BE PLACED IN ATTICS, DUE OVERHANGS AND OTHER SIMILAR UNCONDITIONED UNPLETED SPACES, THE CONTRACTOR IS RESPONSIBLE TO PROVIDE A PROPER ENCLOSURE, INSULATION, DUCT VENTILATION, ETC., TO AVOID MOISTURE, CONDENSATION THAN ICE DAMMING, AND OTHER SIMILAR ISSUES.	
PLUMBING	
1. ALL SANITARY LINES WITHIN WALLS AND FLOORS ADJOINING LIVING SPACES ARE TO BE SOUND INSULATED.	
2. ALL SANITARY LINES WITHIN WALL OR FLOOR CAVITIES WHICH BORDER UNCONDITIONED SPACES ARE TO BE INSULATED AND ON THE WARM SIDE OF THE GROUT ISOLATOR TO AVOID FREEZING.	
SMOKE & CARBON MONOXIDE DETECTORS	
1. ALL ONE AND TWO FAMILY SHALL BE EQUIPPED WITH A HOUSEHOLD FIRE ALARM SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS AND THE OWNER'S CONTRACT.	
2. SMOKE DETECTORS ARE REQUIRED TO BE PERMANENTLY WIRED TO AN AC-PRIMARY POWER SOURCE AND SHALL RECEIVE STANDBY POWER SUPPLIED FROM BUILT-IN BATTERIES.	
3. WHERE MORE THAN ONE SMOKE DETECTOR IS REQUIRED, ALL REQUIRED DETECTORS SHALL BE INSTALLED SO THAT THE ACTIVATION OF ANY DETECTOR SHALL CAUSE THE ALARM IN ALL REQUIRED SMOKE DETECTORS IN THE DWELLING UNITS TO SOUND 85 DBA AT 10 FEET, 15 IN IN BEDROOMS.	
4. SMOKE DETECTORS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:	
a) IN EACH BEDROOM.	
b) IN EACH BATHROOM.	
c) IN EACH KITCHEN OR PANTRY.	
d) IN EACH DRYING AREA.	
e) IN EACH DWELLING UNITS WHICH DO NOT HAVE SMOKE DETECTORS DESIGNED AND LOCATED AS REQUIRED FOR NEW DWELLINGS.	
CARBON MONOXIDE ALARM/DETECTOR	
1. ALL ONE AND TWO FAMILY DWELLINGS SHALL BE EQUIPPED WITH A HOUSEHOLD CARBON MONOXIDE WARNING SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS AND THE OWNER'S CONTRACT.	
2. CARBON MONOXIDE DETECTORS SHALL	

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2. INTERIOR DIMENSIONING AT STAIR REPRESENDS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. INTERIOR DIMENSIONING AT DOORS REFERS TO THE CENTER LINE OF THE DOOR.	
4. DIMENSIONS DEPICTING THE BUILDING HEIGHT, SHOW THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS FOR THE BUILDING AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST STAIRWAY TO THE ROOF. THE CONTRACTOR SHALL PROVIDE THE EXACT ELEVATION OF THE ROOF AND ALL OTHER BUILDINGS, MUST BE CONFIRMED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED ROOF ATTACHMENT.	
5. ALL OTHER DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY 3'-0" TO 4'-0" (DEPENDING ON THE CLOSET).	
6. CLOSET DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY CENTERED WITHIN THE CLOSET.	
7. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
<b>STAIRWAYS/DECKS</b>	
1. STAIRWAYS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT. ALL PORCH ABOVE THE FINISHED HANDBALUST SHALL BE PROVIDED WITH A MINIMUM 4'-0" CLEAR HEADROOM. THE DEPTH OF THE STAIR TREAD SHALL BE 10"-0" AND THE DEPTH OF THE RISER SHALL BE 8"-0". MINIMUM DEPTH OF THE STAIR TREAD SHALL BE 9"-0".	
2. HANDRAILS SHALL BE PROVIDED AT THE TOP OF INCLINED STAIRS OR STAIRS THAT HAVE A TOTAL RISE OF THIRTY (30) INCHES OR MORE. MINIMUM HEIGHT SHALL BE 34"-0" AND MAXIMUM SHALL BE 34"-0" (EXCEPT FOR THE 1ST FLLOOR TO ENSURE COMPLIANCE WITH ZONING AND BUILDING CODE HEIGHT REQUIREMENTS).	
3. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S HIGHER THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF THIRTY (30) INCHES OR MORE, SHALL BE 36"-0" HIGH. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF THIRTY (30) INCHES OR MORE, SHALL BE 36"-0" HIGH. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF THIRTY (30) INCHES OR MORE, SHALL BE 36"-0" HIGH.	
4. AN ISOLATED DOOR 24"-0" HIGH OR MORE, MINIMUM HEIGHT SHALL BE 34"-0" AND MAXIMUM SHALL BE 34"-0" (EXCEPT FOR THE 1ST FLLOOR TO ENSURE COMPLIANCE WITH ZONING AND BUILDING CODE HEIGHT REQUIREMENTS).	
5. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S HIGHER THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF THIRTY (30) INCHES OR MORE, SHALL BE 36"-0" HIGH. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF THIRTY (30) INCHES OR MORE, SHALL BE 36"-0" HIGH.	
6. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S HIGHER THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF THIRTY (30) INCHES OR MORE, SHALL BE 36"-0" HIGH. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF THIRTY (30) INCHES OR MORE, SHALL BE 36"-0" HIGH.	
7. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND UNDERSCAPE AND ESCAPE AND RESCUE OPENINGS. SEE BUILDING ELEVATION FOR EXTENT.	
8. AN ISOLATED DOOR SHALL BE PROVIDED AT THE BOTTOM OF ATTIC STAIRS. ISOLATE THE WALLS AND UNDERSCAPE AND ESCAPE AND RESCUE OPENINGS. SEE BUILDING ELEVATION FOR EXTENT.	
9. HATCHES SHOWN ON THE DRAWINGS ARE BASED GENERICALLY ON ANDERSON AND THE OWNER OR GENERAL CONTRACTOR WHERE APPLICABLE SHALL CHOOSE THE FINA MANUFACTURER. WINDOW SIZES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDER. ROUGH OPENINGS SHALL BE PROVIDED BY THE MANUFACTURER.	
10. BASEMENTS, ATTICS, AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW. EACH SHALL HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING. THESE OPENINGS SHALL NOT REQUIRE ONE SIDE TO SWING OUT. ESCAPE AND RESCUE OPENINGS SHALL FOLLOW THE FOLLOWING CRITERIA:	
a) SILL HEIGHT SHALL NOT BE MORE THAN 48" ABOVE THE FLOOR.	
b) A DOOR SWINGING THROUGH BELOW THE JACKSON LEVEL ELEVATION IS USED AS AN EMERGENCY ESCAPE AND RESCUE OPENING. IF THE DOOR IS PROVIDED WITH A DELUXE ENCLOSURE, THE DOOR SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT AND WHEN THE BULBHEAD IS FULLY OPENED IT SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT.	
c) EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A SILL ELEVATION BELOW THE JACKSON LEVEL ELEVATION SHALL BE PROVIDED WITH A 3'-0" MINIMUM CLEAR OPENING. THE CLEAR OPENING SHALL BE 3'-0" IN NOMINAL WIDTH AND 36"-0" IN NOMINAL HEIGHT. THE JACKSON LEVEL ELEVATION IS 3'-0" IN NOMINAL HEIGHT AND 36"-0" IN NOMINAL HEIGHT. THE JACKSON LEVEL ELEVATION IS 3'-0" IN NOMINAL HEIGHT AND 36"-0" IN NOMINAL HEIGHT.	
d) DOUBLE HUNG ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.1" SQUARE FEET.	
e) GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.0" SQUARE FEET.	
f) DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL BE PERMITTED TO HAVE A MINIMUM CLEAR OPENING OF 24"-0" X 30"-0" IN NOMINAL SIZE. THE MINIMUM HEIGHT AND WIDTH REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
g) THE MINIMUM NET CLEAR OPENING SHALL BE 24"-0" X 30"-0" IN NOMINAL SIZE.	
h) EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE WITHOUT THE USE OF KEYS OR TOOLS.	
i) IN HOMES WHERE THE OPENING OF AN OPERABLE WINDOW LOCATED THEREIN TO ACCESSIONS, THE OPENING SHALL NOT ALLOW A 4-INCH DIAMETER SPHERE TO PASS THROUGH THE OPENING SINCE THE OPENING IS IN THE LARGEST POSSIBLE POSITION.	
j) OPENINGS THAT ARE PROVIDED WITH HINCH FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R402.3.	
k) HINCHES THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R402.4.	
l) OPENINGS THAT ARE PROVIDED WITH FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R402.4.	
m) STARWAYS, RAMPS, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS.	
n) REQUIRED EXITS SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES.	
o) REQUIRED EXIT SPACE UNDER STAIRS SHALL BE MAINTAIN, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.	
p) EXITS FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NO LESS THAN 36"-0" WITH A NOMINAL HEIGHT SMALL OF 72"-0" AND A NOMINAL DEPTH OF 36"-0" IN NOMINAL HEIGHT. THE NOMINAL DEPTH SHALL BE 36"-0" IN NOMINAL WIDTH OR SIX FEET EIGHT INCHES IN NOMINAL HEIGHT AND MAY BE SLIDING OR SIDE-HINGED. EXCEPT FOR THE 1ST FLOOR, IF THE EXITS FROM DWELLING UNITS IS PROVIDED PROVIDED THAT THE ATTACHED GARAGE IS ALSO PROVIDED WITH A 32"-0" EXIT DOOR.	
q) ALL OTHER EXTERIOR DOORS IN EXCESS OF THE REQUIRED EXIT DOORS ARE NOT REQUIRED TO COMPLY WITH THE REQUIREMENTS OF SECTION R402.4.	
r) ALL INTERIOR DOORS PROVIDING ACCESS TO HABITABLE ROOMS SHALL HAVE A NOMINAL WIDTH OF 30"-0" IN NOMINAL HEIGHT AND 36"-0" IN NOMINAL HEIGHT. THE NOMINAL DEPTH SHALL BE 30"-0" IN NOMINAL WIDTH OR SIX FEET EIGHT INCHES IN NOMINAL HEIGHT.	
s) A DOOR OR LANDING SHALL MEET THE REQUIREMENT OF AN EXTERIOR EXIT DOOR. THE POINT OF DRAFT LANDING SHALL BE NO LESS THAN THE DOOR SERVED AND HAVE A MINIMUM DIMENSION OF 36"-0" INCHES MEASURED IN THE DIRECTION OF TRAVEL.	
<b>SPRINKLERS</b>	
The 3-unit townhouse has an aggregate area of 1,210 SF and shall be designed with a minimum NFPA 13 system.	
<b>HEAT DETECTORS</b>	
1. HEAT DETECTORS SHALL BE INSTALLED IN ANY INTEGRAL OR ATTACHED GARAGE TO THE MAIN HOUSE. A NEW ADDITION ATTACHED GARAGE TO AN EXISTING DWELLING INSTALLED IN ACCORDANCE WITH THE EXISTING DWELLING, IF THE NEW ADDITION IS ATTACHED TO THE EXISTING DWELLING, THE NEW ADDITION SHALL BE CONNECTED TO A CANISTER OR A COMPATIBLE HEAT DETECTOR CONTAINING A SOUNING DEVICE LOCATED IN THE EXISTING DWELLING.	
2. FOR FLAT-FINISHED CEILINGS, THE DETECTOR SHALL BE LOCATED ON OR NEAR THE CENTER OF THE GARAGE CEILING. FOR VALETFLOOR/GLOVED CEILINGS, THE DETECTOR SHALL BE PLACED IN THE APPROXIMATE CENTER OF THE CEILING.	
3. FOR THE REAR DWELLING, THE DETECTOR SHALL BE LISTED FOR AND REQUIRED TO BE INTERCONNECTED TO ALL SMOKE DETECTORS IN THE REAR DWELLING FIRE ALARM SYSTEM SUCH THAT THE ACTIVATION OF THE HEAT DETECTOR WILL ACTIVATE ALL OF THE ADDRESS ALARMS OF THE HOUSING FIRE ALARM SYSTEM THROUGHOUT THE DWELLING.	
<b>SMOKE ALARMS/DETECTORS</b>	
1. ALL ONE AND TWO FAMILY SHALL BE EQUIPPED WITH A HOUSEHOLD FIRE ALARM SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS, AND THE OWNER'S AGREED UPON CONTRACT.	
2. SMOKE DETECTORS ARE REQUIRED TO BE PERMANENTLY WIRED TO AN AC-PRIORY POWER SOURCE AND SHALL RECEIVE STANDBY POWER SUPPLIED FROM CONTINUED BATTERIES.	
3. WHERE MORE THAN ONE SMOKE DETECTOR IS REQUIRED, ALL REQUIRED DETECTORS SHALL BE INSTALLED SO THAT THE ACTIVATION OF ANY DETECTOR SHALL CAUSE THE ALARM IN ALL REQUIRED SMOKE DETECTORS IN THE DWELLING UNLESS SOUNDING IN 85 DBA AT 10 FEET, 15 FEET IN BEDROOMS.	
4. SMOKE DETECTORS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: a) IN ALL BEDROOMS. b) IN EACH STORY OF THE DWELLING, EXCEPT FOR THE BASEMENT AND ATTACHED GARAGE. c) IN EACH STORY OF THE DWELLING, WHETHER IT BE A 1000 SQFT OR PART THEREOF, PROVIDED THAT NO STAIRS ARE LOCATED WITHIN 10 FEET OF THE SMOKE DETECTOR.	
5. PHOTO-ELECTRIC SMOKE DETECTORS ARE REQUIRED IF LOCATED WITHIN 15 FEET OF A KITCHEN OR BATHROOM.	
6. WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED TO AN EXISTING DWELLING, THE ENTIRE DWELLING SHALL BE PROVIDED WITH SMOKE DETECTORS DESIGNED AND LOCATED AS REQUIRED FOR NEW DWELLINGS.	
<b>CARBON MONOXIDE ALARM/DETECTORS</b>	
1. ALL ONE AND TWO FAMILY DWELLINGS SHALL BE EQUIPPED WITH A HOUSEHOLD CARBON MONOXIDE WARNING SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS, AND THE OWNER'S AGREED UPON CONTRACT.	
2. CARBON MONOXIDE DETECTORS SHALL BE LOCATED ON EVERY LEVEL OF THE DWELLING UNIT INCLUDING BASEMENTS AND CELLS (NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS).	
3. ALL ALARM-SOUNDING APPLIANCES SHALL HAVE A MINIMUM RATING OF 85 DBA AT 10 FEET.	
<b>HEAT DETECTORS</b>	
1. HEAT DETECTORS SHALL BE INSTALLED IN ANY INTEGRAL OR ATTACHED GARAGE TO THE MAIN HOUSE. A NEW ADDITION ATTACHED GARAGE TO AN EXISTING DWELLING INSTALLED IN ACCORDANCE WITH THE EXISTING DWELLING, IF THE NEW ADDITION IS ATTACHED TO THE EXISTING DWELLING, THE NEW ADDITION SHALL BE CONNECTED TO A CANISTER OR A COMPATIBLE HEAT DETECTOR CONTAINING A SOUNING DEVICE LOCATED IN THE EXISTING DWELLING.	
2. FOR FLAT-FINISHED CEILINGS, THE DETECTOR SHALL BE LOCATED ON OR NEAR THE CENTER OF THE GARAGE CEILING. FOR VALETFLOOR/GLOVED CEILINGS, THE DETECTOR SHALL BE PLACED IN THE APPROXIMATE CENTER OF THE CEILING.	
3. FOR THE REAR DWELLING, THE DETECTOR SHALL BE LISTED FOR AND REQUIRED TO BE INTERCONNECTED TO ALL SMOKE DETECTORS IN THE REAR DWELLING FIRE ALARM SYSTEM SUCH THAT THE ACTIVATION OF THE HEAT DETECTOR WILL ACTIVATE ALL OF THE ADDRESS ALARMS OF THE HOUSING FIRE ALARM SYSTEM THROUGHOUT THE DWELLING.	
<b>SPRINKLERS</b>	
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<b>TITLE SHEET</b>	
<b>FIRST COLONY DEV. LLC</b>	
#50 NORTHWOOD DRIVE, NORTHWOOD TOWNSHOUSE CONDOS, SUDBURY, MA	
CONSTRUCTION BY:	
HPA DESIGN, INC.	
ARCHITECTS	
<input type="checkbox"/> 200 Stonewall Blvd, Suite 5	
<input type="checkbox"/> Wrentham, MA 02093	
<input type="checkbox"/> 508.384.8838 (T)	
<input type="checkbox"/> 508.384.0483 (F)	
<input type="checkbox"/> contact@hpadesign.com	
<input type="checkbox"/> www.HPAdesign.com	
<b>DATE:</b> AUGUST 1, 2016	
<b>DRAWN BY:</b> RWB	
<b>checked by:</b> HPA	
<b>Path:</b> 20180101_FIRST COLONY DEV 20180101.LCDs	
<b>Scale:&lt;/b</b>	

# FIRST COLONY DEVELOPMENT



OWNER / CLIENT:

FIRST COLONY DEV. LLC  
929 POST ROAD EAST  
MARLBOROUGH, MA 01752  
TEL. (508) 481-6095  
FAX (508) 460-0578

ARCHITECT:

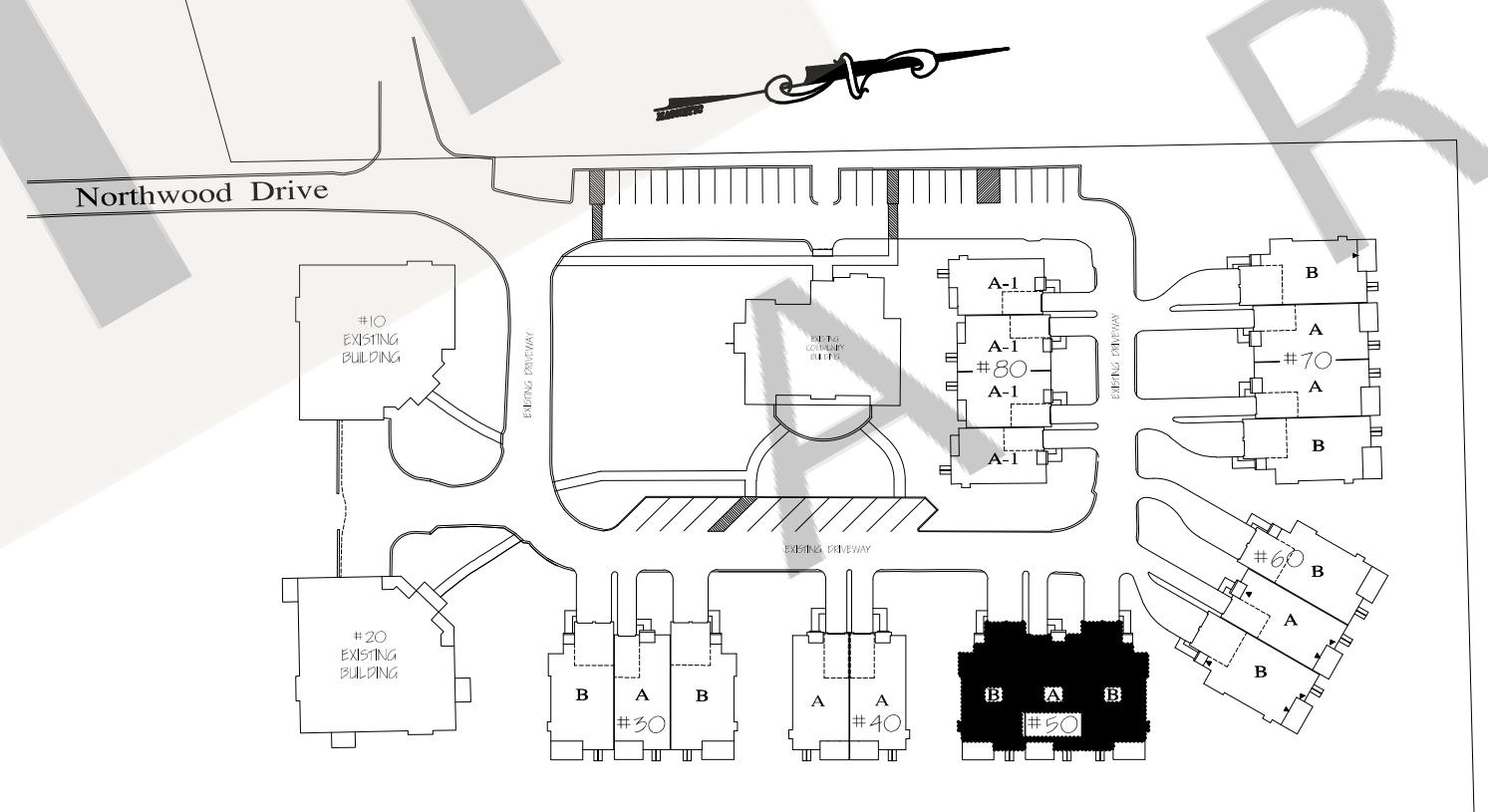
HPA DESIGN, INC.  
200 STONEWALL BLVD.  
SUITE 5  
WRENTHAM, MA 02093  
TEL. (508) 384-8838  
FAX (508) 384-0483

STRUCTURAL ENGINEER

DWD ENGINEERING, INC.  
5 MICHAEL RD.  
EAST BRIDGEWATER  
TEL. (508) 378-9602  
FAX (508) 378-2922

CONTRACTOR:

LOBISSEUR BUILDING CORP.  
1 CHARLESVIEW ROAD  
HOPEDALE, MA 01741  
TEL. (508) 418-6235  
FAX (508) 413-0794



KEY PLAN

## SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
- S1.3 2ND FLOOR FRAMING
- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
<b>GENERAL</b>	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (RTH EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE SITE CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES SHALL BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
<b>DIMENSIONS</b>	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES A DIMENSION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSIONING AT STAIR REPRESENDS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. INTERIOR DIMENSIONING AT DOORS REFERS TO THE INSIDE EDGE OF THE STUD OR CONCRETE WALL AND ALL OTHER BULLETS, MUST BE CONFIRMED WITH THE FUTURE MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
4. HEIGHTS DEPICTING THE BUILDING HEIGHT, SHOWS THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS FOR THE BUILDING AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST. ON THE GROUND FLOOR TO THE ROOF. THE TOTAL BUILDING HEIGHT IS THE SUM OF THE ELEVATION DIFFERENCE RELATIVE TO THE 1ST FLOOR, TO ENSURE COMPLIANCE WITH ZONING AND BUILDING CODE HEIGHT REQUIREMENTS.	
5. ALL OTHER DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY 3'-0" TO 4' (DEPENDING ON THE FLOOR/CASEMENT).	
6. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
<b>STAIRWAYS/DECKS</b>	
1. STAIRWAYS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT. IN ALL PORTALS ABOVE THE RISER/TREAD, THE MINIMUM CLEAR HEIGHT, FROM THE FLOOR SURFACE TO THE CEILING, SHALL BE 6'-0".	
2. STAIRCASES SHALL BE PROVIDED WITH A TREAD DEPTH OF 10"-0". RISER DEPTHS SHALL BE 7"-0".	
3. THE DEPTHS OF THE TREADS SHALL BE EQUAL TO THE DEPTHS OF THE RISERS.	
4. THE DEPTHS OF THE TREADS SHALL BE EQUAL TO THE DEPTHS OF THE RISERS.	
5. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH AND/OR BALCONY AREA'S MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 36" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 36" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 36" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 36" IN HEIGHT.	
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9. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH AND/OR BALCONY AREA'S MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 36" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE 36" IN HEIGHT.	
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The banner features the word "FESTIVAL" in a unique, abstract font. Each letter is formed by several black lines that overlap and loop around each other, creating a complex, textured appearance. The letters are arranged in a horizontal sequence: F, E, S, T, T, E, S, T, V, E, L, O, P, I, V, A, L, U, S, T. The background is plain white.



OWNER / CLIENT:

# ARCHITECT:

# STRUCTURAL ENGINEER

## CONTRACTOR:

FIRST COLONY DEV. LLC  
929 POST ROAD EAST  
MARLBOROUGH, MA 01752  
TEL. (508) 481-6095  
FAX (508) 460-0578

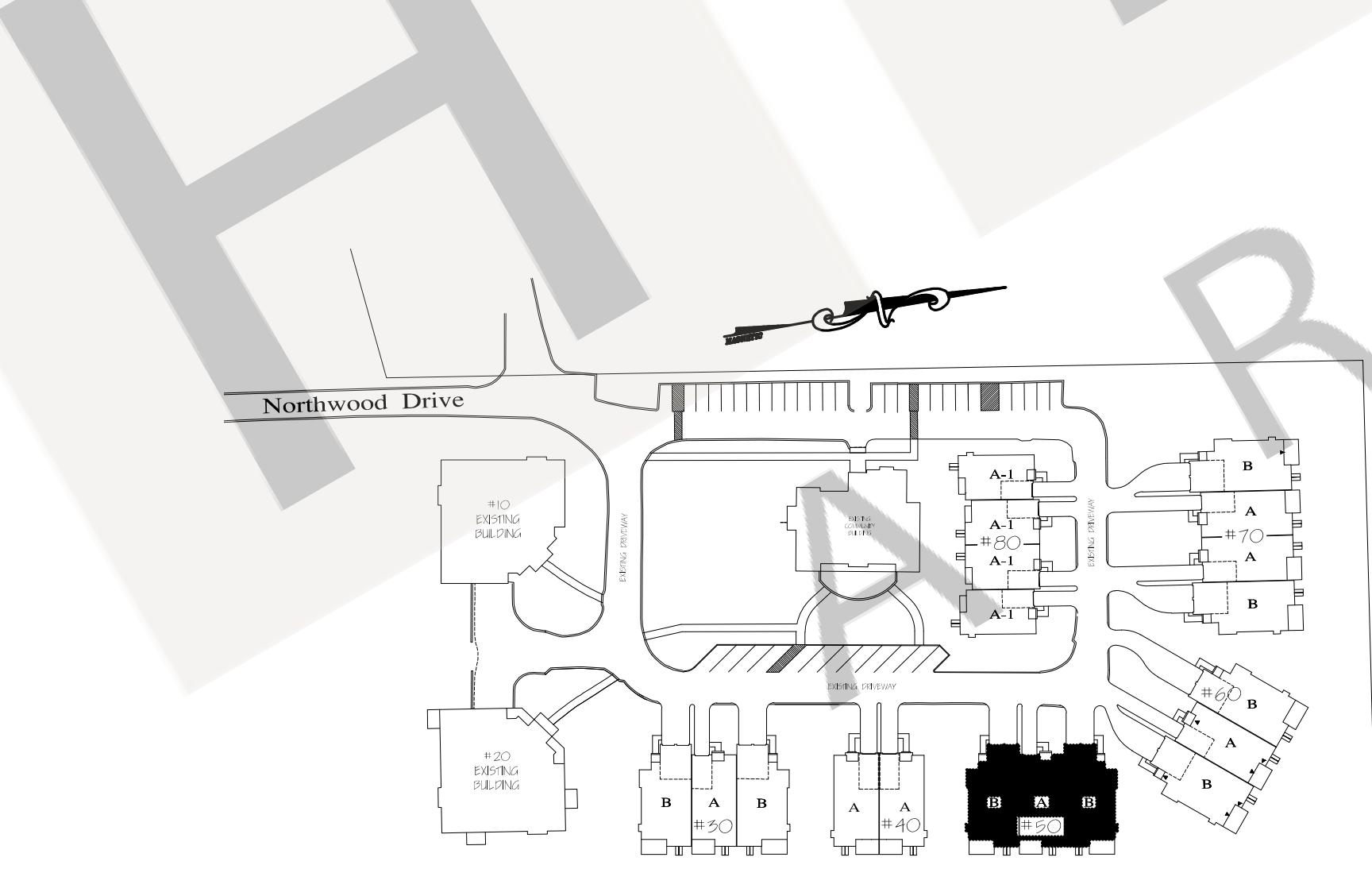
HPA DESIGN, INC.  
200 STONEWALL BLVD.  
SUITE 5  
WRENTHAM, MA 02093  
TEL. (508) 384-8838  
FAX (508) 384-0483

DWD ENGINEERING, INC.  
5 MICHAEL RD.  
EAST BRIDGEWATER  
TEL. (508) 378-9602  
FAX. (508) 378-2922

# SCHEDULE OF DRAWINGS:

- 0.1 TITLE SHEET
  - 1.1 1ST FLOOR PLAN
  - 1.2 2ND FLOOR PLAN
  - 2.1 ELEVATIONS
  - 2.2 ELEVATIONS
  - 3.1 BUILDING SECTIONS
  - 3.2 BUILDING SECTIONS
  - 4.1 WALL SECTIONS
  - 4.2 AIR BARRIER NOTES & DETAILS
  - 5.1 DETAILS
  - .1 FOUNDATION PLAN
  - .2 1ST FLOOR FRAMING
  - .3 2ND FLOOR FRAMING
  - .4 CEILING FRAMING
  - .5 ROOF FRAMING
  - 2.1 DETAILS
  - 2.2 DETAILS

# KEY PLAN



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**CONSTRUCTION BY:  
FIRST COLONY DEY, LLC**

#50 NORTHWOOD DRIVE, NORTHWOOD TOWNHOUSE CONDOS, SUDBURY, MA

**SHEET:**

A.0.1

JOB NO. 20180101

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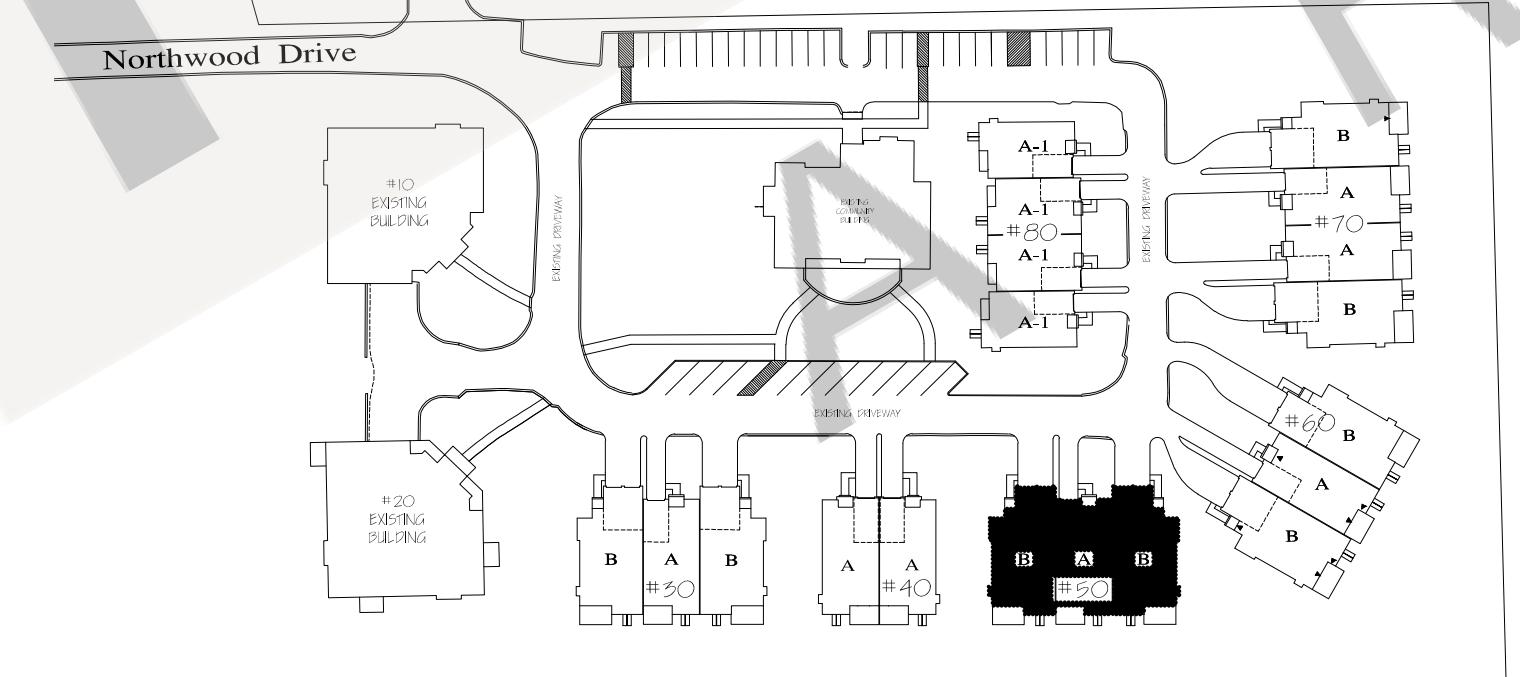
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## KEY PLAN



— SEE —

**CONSTRUCTION BY:  
FIRST COLONY DEV. LLC**

#50 NORTHWOOD DRIVE, NORTHWOOD TOWNHOUSE CONDOS, SUDBURY, MA

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