

Opacity Comparisons

FIRST COLONY DEVELOPMENT



OWNER / CLIENT:

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ARCHITECT:

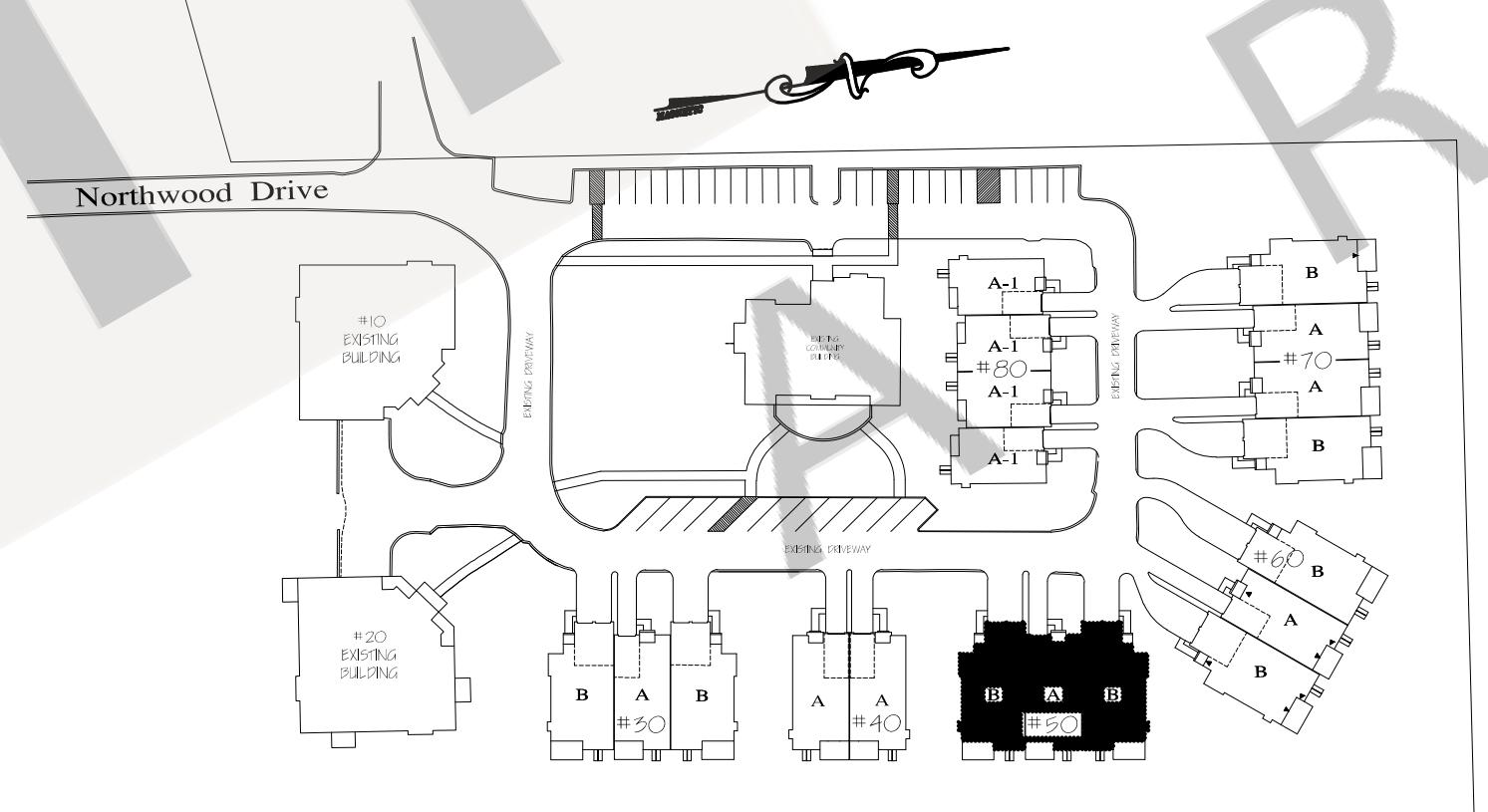
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STRUCTURAL ENGINEER

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CONTRACTOR:

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KEY PLAN

SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
- S1.3 2ND FLOOR FRAMING
- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
GENERAL	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (R10 EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORRECT, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT. IF THIS IS INCORRECT WITH THE SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/VALLEY INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
DIMENSIONS	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES A DIMENSION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSIONING AT STAIR REPRESENDS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. ALL EXTERIOR DIMENSIONS ARE TO THE CENTER LINE OF THE EXTERIOR WALL AND ALL OTHER BULLETS, MUST BE CONFIRMED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
4. HEIGHTS DEPICTING THE BUILDING HEIGHT, SHOWS THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST STAIRWAY TO THE ROOF. THE ROOF HEIGHT IS THE TOTAL HEIGHT OF THE ROOF DECK, THE ROOFING, AND ALL OTHER BULLETS, THAT ARE NOT ENDED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
5. ALL DOORS THAT ARE NOT ENDRESSED ARE TYPICALLY 4'-0" TO 4'-6" (DEPENDING ON THE CLOSET).	
6. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
STAIRWAYS/DECKS	
1. STAIRWAYS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT. ALL PORCH ABOVE THE FINISHED HANDBALUST SHALL BE PROVIDED WITH AN OPENABLE RAILING. THE MINIMUM CLEAR HEIGHT SHALL BE 4'-0" (MINIMUM 42 INCHES).	
2. DECKS SHALL BE PROVIDED WITH AN OPENABLE RAILING. THE MINIMUM CLEAR HEIGHT SHALL BE 3'-0" (MINIMUM 30 INCHES).	
3. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLORAL, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLORAL OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLORAL OR GRADE BELOW, SHALL BE 36" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLORAL OR GRADE BELOW, SHALL BE 36" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLORAL OR GRADE BELOW, SHALL BE 36" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLORAL OR GRADE BELOW, SHALL BE 36" IN HEIGHT.	
4. AN ISOLATED DOOR 24" X 36" (W.H. X D.W.) SHALL BE PROVIDED AT THE TOP OF INHABITED BASEMENT STAIRS OR INSTITUTE THE WAILS AND UNDERSCREWS OF THE DOOR. THE DOOR SHALL BE PROVIDED WITH AN ISOLATED DOOR AT THE BOTTOM OF INHABITED BASEMENT STAIRS.	
5. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WAILS AND UNDERSCREWS OF THE DOOR. THE DOOR SHALL BE PROVIDED WITH AN ISOLATED DOOR AT THE BOTTOM OF ATTIC STAIRS.	
6. HATCHES SHOWN ON THE DRAWINGS ARE BASED GENERICALLY ON ANDERSON AND THE OWNER OR GENERAL CONTRACTOR WHERE APPLICABLE SHALL CHOOSE THE FINA MANUFACTURER. WINDOW SIZES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDER. ROUGH OPENINGS SHALL BE PROVIDED BY THE MANUFACTURER.	
7. BASEMENTS, ATTICS, EXTERIOR SLEEPING ROOMS SHALL HAVE AT LEAST ONE OPERABLE WINDOW. EACH SHALL HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING. THESE SPACES SHALL NOT REQUIRE ONE OPERABLE ESCAPE AND RESCUE OPENINGS DUE TO THE FOLLOWING CRITERIA:	
a) GILL HEIGHT SHALL NOT BE MORE THAN 48 INCHES ABOVE THE FLOOR.	
b) A DOOR SWINGING THROUGH BELOW THE JACKSON LEVEL AND THE ELEVATION IS USED AS AN EMERGENCY ESCAPE AND RESCUE OPENING. IF THE DOOR IS PROVIDED WITH A DELUXE ENCLOSURE, THE DOOR SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT AND WHEN THE HEADSLID IS FULLY OPEN IT SHALL PROVIDED DIRECT ACCESS TO THE BASEMENT.	
c) EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A 5'0" ELEVATION BELOW THE ADJACENT GROUND SURFACE. THE OPENING SHALL BE LOCATED IN A HABITABLE ROOM. THE OPENING SHALL BE 36" IN NOMINAL WIDTH AND A MINIMUM HORIZONTAL PROJECTION OF 36". THE PERSON HELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO FULLY OPENED.	
d) DOUBLE HUNG ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.1" SQUARE FEET.	
e) GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.0" SQUARE FEET.	
f) DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL BE PERMITTED TO HAVE A MINIMUM CLEAR OPENING OF 24" X 30" INCHES IN EITHER DIRECTION.	
g) EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE WITHOUT THE USE OF KEYS OR TOOLS.	
h) THE MINIMUM NET CLEAR OPENING SHALL BE 24" X 30" INCHES IN EITHER DIRECTION.	
i) OPENINGS THAT ARE PROVIDED WITH FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R402.12.	
j) OPENINGS THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R402.12.	
EXCEPTIONS	
1. STAIRWAYS, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS.	
2. REQUIRED EXITS SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES.	
3. REQUIRED EXIT SPACE UNDER STAIRS SHALL BE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.	
4. EXITS FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT SMALL OF 72" NOMINAL. THE NOMINAL WIDTH OF THE OTHER EXIT DOOR SHALL BE NOT LESS THAN 30" WITH A NOMINAL HEIGHT OF SIX FEET EIGHT INCHES IN NOMINAL HEIGHT AND MAY BE SLIDES OR SIDE-HINGED. EXITS FROM DWELLING UNITS IS PERMITTED PROVIDED THAT THE ATTACHED GARAGE IS ALSO PROVIDED WITH A 32" EXIT DOOR.	
5. ALL OTHER EXTERIOR DOORS IN EXCESS OF THE REQUIRED EXIT DOORS ARE NOT REQUIRED TO COMPLY WITH THE REQUIREMENTS OF SECTION R402.12.	
6. ALL INTERIOR DOORS PROVIDING ACCESS TO HABITABLE ROOMS SHALL HAVE A NOMINAL WIDTH OF 30 INCHES AND A NOMINAL HEIGHT OF 80 INCHES. THESE DOORS SHALL BE PROVIDED WITH A 30" NOMINAL WIDTH AND A 36" NOMINAL HEIGHT.	
7. A DOOR OR LANDING SHALL MEET THE REQUIREMENT OF AN EXTERIOR EXIT DOOR. THE POINT OF DRAFT LANDING SHALL BE LOCATED IN THE DIRECTION OF TRAVEL.	
SPRINKLERS	
THE 3-UNIT TOWNHOUSE HAS AN AGGREGATE AREA OF 1,210 SF AND SHALL BE DESIGNED WITH A MINIMUM NFPA 13 SYSTEM.	
GENERAL REQUIREMENTS	
1. HABITABLE ROOMS, HALLWAYS, CORRIDORS, BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS AND BASEMENTS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN SEVEN (7) FEET MEASURED FROM THE FINISH FLOOR TO THE LOWEST PROJECTION FROM THE CEILING.	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.	
3. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORRECT, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT. IF THIS IS INCORRECT WITH THE SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/VALLEY INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
ROOFING AND Siding	
1. PROVIDE CONTINUOUS 6'-0" wide FIBERGLASS REINFORCED, BITUMEN, ICE AND WATER SHIELD AT ALL ROOF EDGES CENTERED IN ALL VALLEYS AND AT ROOF WALL INTERSECTIONS CARRIED 1'-0" UP THE WALL REFER TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.	
2. PROVIDE ALUMINUM FLASHING OVER ALL WINDOW AND DOOR HEAD IRN AND AT THE CONNECTION BETWEEN ALL EXTERIOR WALLS AND ROOFING.	
3. PROVIDE ALUMINUM FLASHING OVER ALL ROOF/WALL AND ROOF/GHIBNEY INTERSECTIONS.	
4. PROVIDE CONTINUOUS VENTED DRIP EDGE AT ALL SOFFIT OVERHANGS.	
5. PROVIDE ALUMINUM FLASHING OVER ALL ROOF SHANKS UNLESS SPECIFIED OTHERWISE.	
6. PROVIDE CONTINUOUS RIDGE VENTS (UNLESS SPECIFIED AS OTHERWISE). SEE BUILDING EXTENT.	
7. ALL GUTTERS AND DOWNPOUTS TO BE PREFINISHED ALUM. COLOR TO BE SELECTED BY OWNER.	
8. LIGHTVENTILATION AND INSULATION.	
9. ALL HABITABLE ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING OF NOT LESS THAN 28% OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, LOUVRES OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR. THE MINIMUM OPERABLE AREA TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA OF SUCH ROOMS.	
10. EXEMPTIONS	
1. THE GLAZED AREAS SHALL NOT BE OPENABLE WHERE THE OPENING IS NOT A REQUIRED TO BE AN EMERGENCY ESCAPE AND RESCUE OPENING AND AN APPROVED MECHANICAL VENTILATION SYSTEM IS PROVIDED CAPABLE OF PRODUCING 0.50 AIR EXCHANGE PER HOUR. IN THE ROOM OR A ONE-HOUSE MECHANICAL VENTILATION SYSTEM IS INSTALLED, THE GLAZED AREA SHALL NOT BE OPENABLE. THE MAXIMUM OPERABLE AREA FOR THE FIRST BEDROOM AND ONE FOR EVERY ADDITIONAL BEDROOM.	
2. THE GLAZED AREAS SHALL NOT BE PROVIDED IN ROOMS WHERE THE ABOVE EXCEPTION IS MET AND ARTIFICIAL LIGHTING IS PROVIDED PRODUCING AN AVERAGE ILLUMINATION OF SIX FOOTCANDLES OVER THE AREA OF THE GLAZED AREA.	
3. THE GLAZED AREA SHALL NOT BE REQUIRED WHERE ARTIFICIAL LIGHT AND A MECHANICAL VENTILATION SYSTEM ARE PROVIDED. VENTILATION AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE.	
4. ATTIC VENTILATION WITH A CEILING VAPOR BARRIER. PROVIDE AT LEAST ONE (1) SQUARE FOOT OF FREE AREA FOR EACH THREE HUNDRED (300) SQUARE FOOT OF CEILING AREA.	
5. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE A MOISTURE BARRIER AND PROPERLY INSULATE ALL WALLS AND CEILINGS.	
6. IF RESIDENTIAL ELECTRICAL OR PLUMBING EQUIPMENT IS TO BE PLACED IN ATTICS, DUES OVERHANGS AND OTHER UNCONDITIONED UNINSULATED SPACES, THE CONTRACTOR IS RESPONSIBLE TO PROVIDE A PROPER ENCLOSURE, INSULATION, DUCT VENTILATION, ETC., TO AVOID MOISTURE, CONDENSATION THAN ICE DAMMING, AND OTHER SIMILAR ISSUES.	
PLUMBING	
1. ALL SANITARY LINES WITHIN WALLS AND FLOORS ADJOINING LIVING SPACES ARE TO BE SOUND INSULATED.	
2. ALL SANITARY LINES WITHIN WALL OR FLOOR CAVITIES WHICH BORDER UNCONDITIONED SPACES ARE TO BE INSULATED AND ON THE WARM SIDE OF THE GROUT ISOLATOR TO AVOID FREEZING.	
SMOKE & CARBON MONOXIDE ALARMS/DETECTORS	
1. ALL ONE AND TWO FAMILY SHALL BE EQUIPPED WITH A HOUSEHOLD FIRE ALARM SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS AND NFPA 72.	
2. SMOKE DETECTORS ARE REQUIRED TO BE PERMANENTLY WIRED TO AN AC-PRIMARY POWER SOURCE AND SHALL RECEIVE STANDBY POWER SUPPLIED FROM CONTINUED BATTERIES.	
3. WHERE MORE THAN ONE SMOKE DETECTOR IS REQUIRED, ALL REQUIRED DETECTORS SHALL BE INSTALLED SO THAT THE ACTIVATION OF ANY DETECTOR SHALL CAUSE THE ALARM IN ALL REQUIRED SMOKE DETECTORS IN THE DWELLING UNITS TO SOUND 85 DBA AT 10 FEET, 15 FEET IN BEDROOMS.	
4. SMOKE DETECTORS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:	
a) IN EACH BEDROOM.	
b) IN EACH BATHROOM.	
c) IN EACH STORY WITHIN DWELLING UNITS / CELLS FOR EACH 100 SQFT OR PART THEREOF.	
d) IN EACH DWELLING UNIT WHERE SMOKE SHALL LEAD TO ANOTHER OCCUPIED FLOOR.	
5. PHOTO ELECTRIC SMOKE DETECTORS ARE REQUIRED IF LOCATED WITHIN 15 FEET OF A KITCHEN OR BATHROOM.	
6. WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED TO AN EXISTING DWELLING, THE ENTIRE BUILDING SHALL BE PROVIDED WITH SMOKE DETECTORS DESIGNED AND LOCATED AS REQUIRED FOR NEW DWELLINGS.	
CARBON MONOXIDE ALARMS/DETECTORS	
1. ALL ONE AND TWO FAMILY DWELLINGS SHALL BE EQUIPPED WITH A HOUSEHOLD CARBON MONOXIDE WARNING SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS AND NFPA 72.	
2. CARBON MONOXIDE DETECTORS SHALL BE LOCATED ON EVERY LEVEL OF THE DWELLING UNIT INCLUDING BASEMENTS AND CELLS (NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS).	
3. ALL ALARM-SOUNDING APPLIANCES SHALL HAVE A MINIMUM RATING OF 85 DBA AT 10 FEET.	
HEAT DETECTORS	
1. HEAT DETECTORS SHALL BE INSTALLED IN ANY INTERNAL OR ATTACHED GARAGE TO THE MAIN HOUSE.	
2. A NEW	

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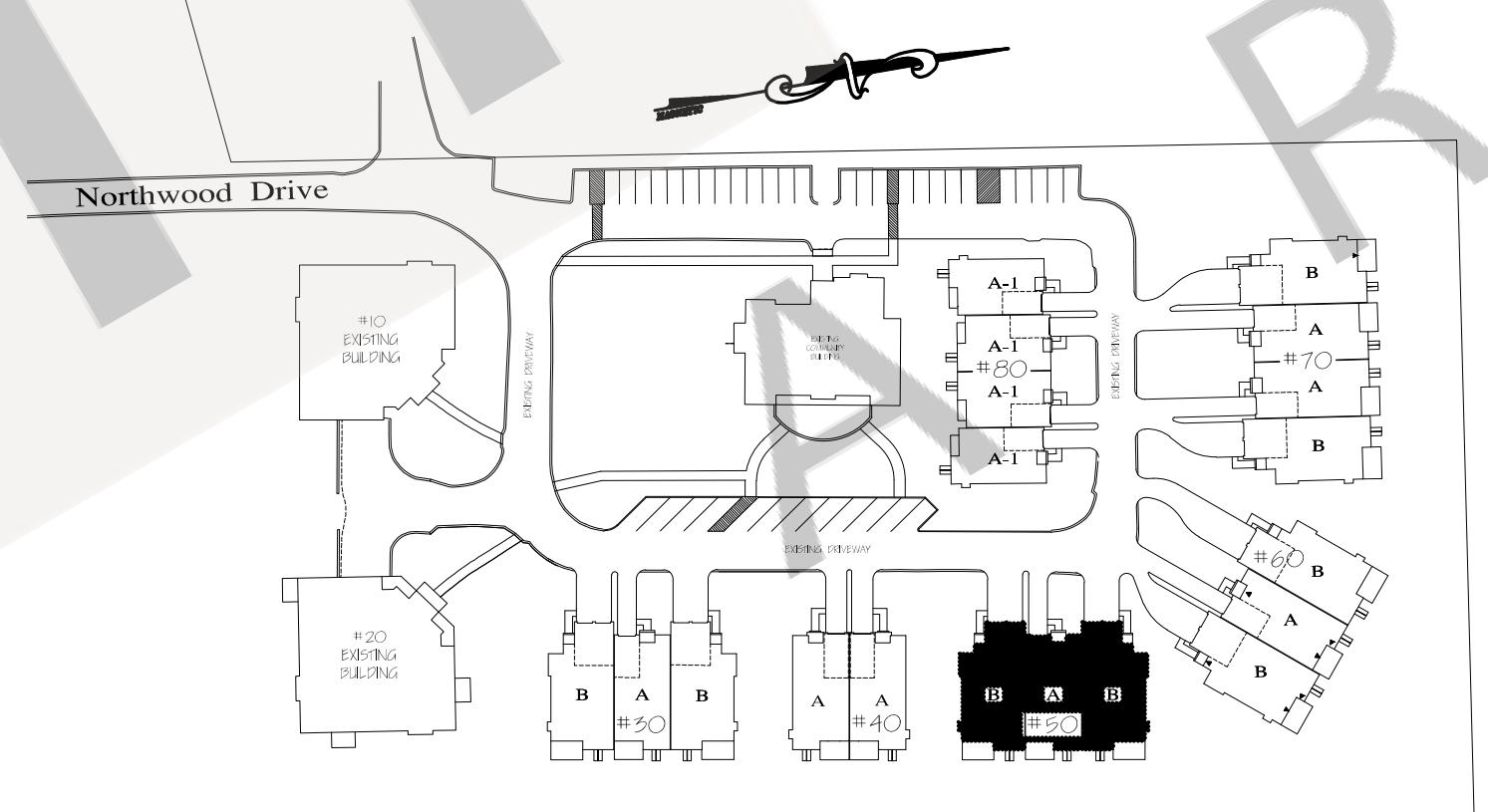
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7. ALL GABLES SHALL BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
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c) INTERIOR DIMENSIONS AT STUD PLACES A DIMENSION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSIONING AT STAIR REPRESENDS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. INTERIOR DIMENSIONING AT DOORS REFERS TO THE CENTER LINE OF THE DOOR.	
4. DIMENSIONS DEPICTING THE BUILDING HEIGHT, SHOW THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST STAIRWAY TO THE ROOF. THE CONTRACTOR SHALL PROVIDE THE EXACT ELEVATION OF THE ROOF AND ALL OTHER BUILDINGS, MUST BE CONFIRMED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
5. DIMENSIONS LOCATING CLOSETS, ETC. DEPICT THE ELEVATION OF THE OPENING.	
6. ALL DOWNTROPS SHALL HAVE AT LEAST ONE HABITABLE ROOM WITH A GROSS FLOOR AREA OF AT LEAST 150 SQUARE FEET.	
7. HABITABLE ROOMS SHALL HAVE A FLOOR AREA OF AT LEAST 700 SQUARE FEET EXCEPT KITCHENS.	
8. KITCHENS SHALL HAVE A MINIMUM CEILING HEIGHT OF SIX FEET EIGHT INCHES OVER THE KITCHEN AND THE SHOWERHEAD.	
9. BATHROOMS SHALL HAVE A MINIMUM CEILING HEIGHT OF SIX FEET EIGHT INCHES OVER THE BATHROOM AND THE SHOWERHEAD.	
10. ALL HABITABLE ROOMS SHALL HAVE A CEILING HEIGHT OF AT LEAST 8 FEET EIGHT INCHES ABOVE THE FLOOR.	
11. PROVIDE CONTINUOUS RIDGE VENTS AT ALL ROOF/FLOOR INTERSECTIONS CARRIED 1'-0" UP THE WALL/FEE TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.	
12. PROVIDE ALUMINUM FLASHING OVER ALL WINDOW AND DOORS HEAD TRIM AND AT THE CONNECTION BETWEEN ALL EXTERIOR AND INTERIOR DOORS.	
13. PROVIDE ALUMINUM FLASHING OVER ALL ROOF/WALL AND ROOF/GABLE INTERSECTIONS.	
14. PROVIDE CONTINUOUS VENTED DRIP EDGE AT ALL SOFFIT OVERHANGS.	
15. PROVIDE FELT UNDER ALL ROOF SHAKLES UNLESS SPECIFIED OTHERWISE.	
16. PROVIDE CONTINUOUS RIDGE VENTS (UNLESS SPECIFIED AS OTHERWISE). SEE BUILDING EXTENT.	
17. ALL GUTTERS AND DOWNSPOUTS TO BE PREFINISHED ALUM. COLOR TO BE SELECTED BY OWNER.	
18. LIGHTVENTILATION AND INSULATION.	
19. ALL HABITABLE ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING OF NOT LESS THAN 20% OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR. THE MINIMUM OPERABLE AREA TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA OF EACH HABITABLE ROOM.	
STAIRWAYS/DECKS	
1. STAIRWAYS SHALL NOT BE LESS THAN 8 FEET 0 INCHES HIGH. ALL FOLY'S ABOVE THE FINISHED HANDBALUSTERS SHALL BE PROVIDED WITH AN AGGREGATE GLAZING OF NOT LESS THAN 20% OF THE FLOOR AREA. THE DEPTH SHALL BE 8'-0" INCHES NOT TO EXCEED 14"-0". WINDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE HANDBALUSTERS SIDE WITH A MIN. TREAD DEPTH OF 10"-0" INCHES. THE DEPTH OF THE WINDER TREADS SHALL BE EQUAL TO THE DEPTH OF THE STRAIGHT TREADS ON THE SLOPED PLANE ADDING THE TREAD NOSE OR FROM THE FLOOR SURFACE OF A LANING OR PLATFORUM.	
2. HANDRAILS SHALL BE PROVIDED AT THE TOP OF CONTINUOUS RUNS OF STAIRS OR FROM THE FLOOR SURFACE OF STEPS OR LANDINGS. ALL OTHER DOORS THAT ARE NOT ENDEDNESS ARE TYPICALLY 4'-0" TO 4'-0" DEPENDING ON THE CLOSING CLEARANCE. ALL OTHER DOORS THAT ARE NOT ENDEDNESS ARE TYPICALLY CENTERED WITHIN THE CLOSING CLEARANCE. DIMENSIONS LOCATING CLOSETS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
3. STAIRWAYS SHALL NOT BE LESS THAN 8 FEET 0 INCHES HIGH. ALL FOLY'S ABOVE THE FINISHED HANDBALUSTERS SHALL BE PROVIDED WITH AN AGGREGATE GLAZING OF NOT LESS THAN 20% OF THE FLOOR AREA. THE DEPTH SHALL BE 8'-0" INCHES NOT TO EXCEED 14"-0". WINDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE HANDBALUSTERS SIDE WITH A MIN. TREAD DEPTH OF 10"-0" INCHES. THE DEPTH OF THE WINDER TREADS SHALL BE EQUAL TO THE DEPTH OF THE STRAIGHT TREADS ON THE SLOPED PLANE ADDING THE TREAD NOSE OR FROM THE FLOOR SURFACE OF A LANING OR PLATFORUM.	
4. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF SPACES WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW SHALL BE NOT LESS THAN 48" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF SPACES WITH A TOTAL RISE OF 30" OR LESS SHALL BE NOT LESS THAN 36" IN HEIGHT. GUARDRAILS, BALUSTERS AND FLORS SHALL NOT EXCEED 4" INCHES.	
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The banner features the word "FESTIVAL" in a unique, abstract font. Each letter is formed by several black lines that overlap and loop around each other, creating a complex, textured appearance. The letters are arranged horizontally, with "F" on the far left, followed by "E", "S", "T", "F", "E", "S", "T", "V", "I", "L", "A", "P", "I", and "T" on the far right. The background is plain white.



OWNER / CLIENT:

ARCHITECT:

STRUCTURAL ENGINEER

CONTRACTOR:

FIRST COLONY DEV. LLC
929 POST ROAD EAST
MARLBOROUGH, MA 01752
TEL. (508) 481-6095
FAX (508) 460-0578

HPA DESIGN, INC.
200 STONEWALL BLVD.
SUITE 5
WRENTHAM, MA 02093
TEL. (508) 384-8838
FAX (508) 384-0483

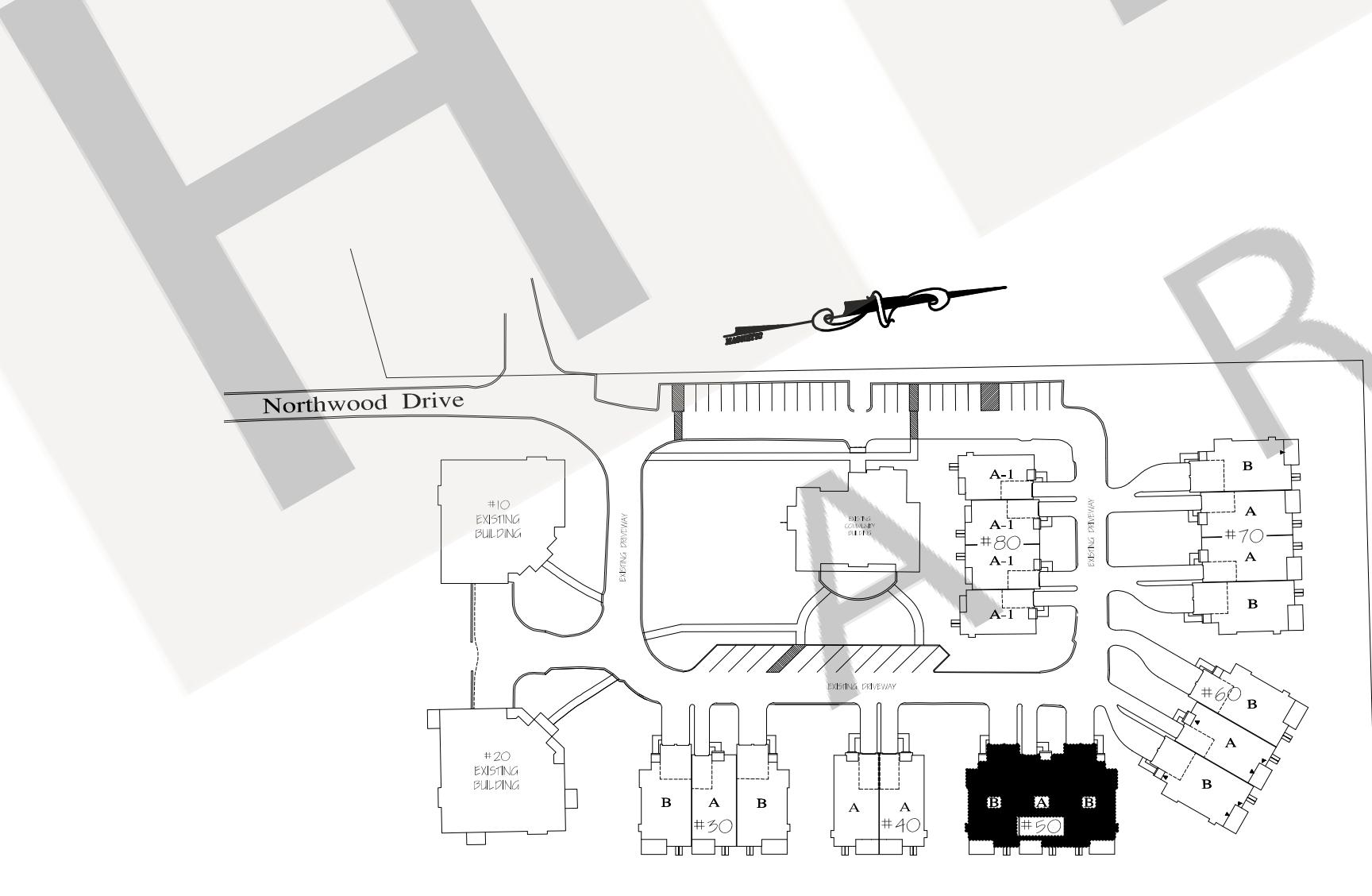
DWD ENGINEERING, INC.
5 MICHAEL RD.
EAST BRIDGEWATER
TEL. (508) 378-9602
FAX. (508) 378-2922

LOBISSEER BUILDING CORP.
1 CHARLESVIEW ROAD
HOPEDALE, MA 01747
TEL. (508) 478-6235
FAX (508) 473-0794

SCHEDULE OF DRAWINGS:

- 0.1 TITLE SHEET
 - 1.1 1ST FLOOR PLAN
 - 1.2 2ND FLOOR PLAN
 - 2.1 ELEVATIONS
 - 2.2 ELEVATIONS
 - 3.1 BUILDING SECTIONS
 - 3.2 BUILDING SECTIONS
 - 4.1 WALL SECTIONS
 - 4.2 AIR BARRIER NOTES & DETAILS
 - 5.1 DETAILS
 - .1 FOUNDATION PLAN
 - .2 1ST FLOOR FRAMING
 - .3 2ND FLOOR FRAMING
 - .4 CEILING FRAMING
 - .5 ROOF FRAMING
 - 2.1 DETAILS
 - 2.2 DETAILS

KEY PLAN



HPA Design, Inc.

ARCHITECTS

□ 200 Stonewall Blvd., Suite 5

□ Wrentham, MA 02093

□ 508.384.8838 (T)

□ 508.384.0483 (F)

□ contact@hpadesign.com

□ www.HPAdesign.com

CONSTRUCTION BY:
FIRST COLONY DEV. LLC

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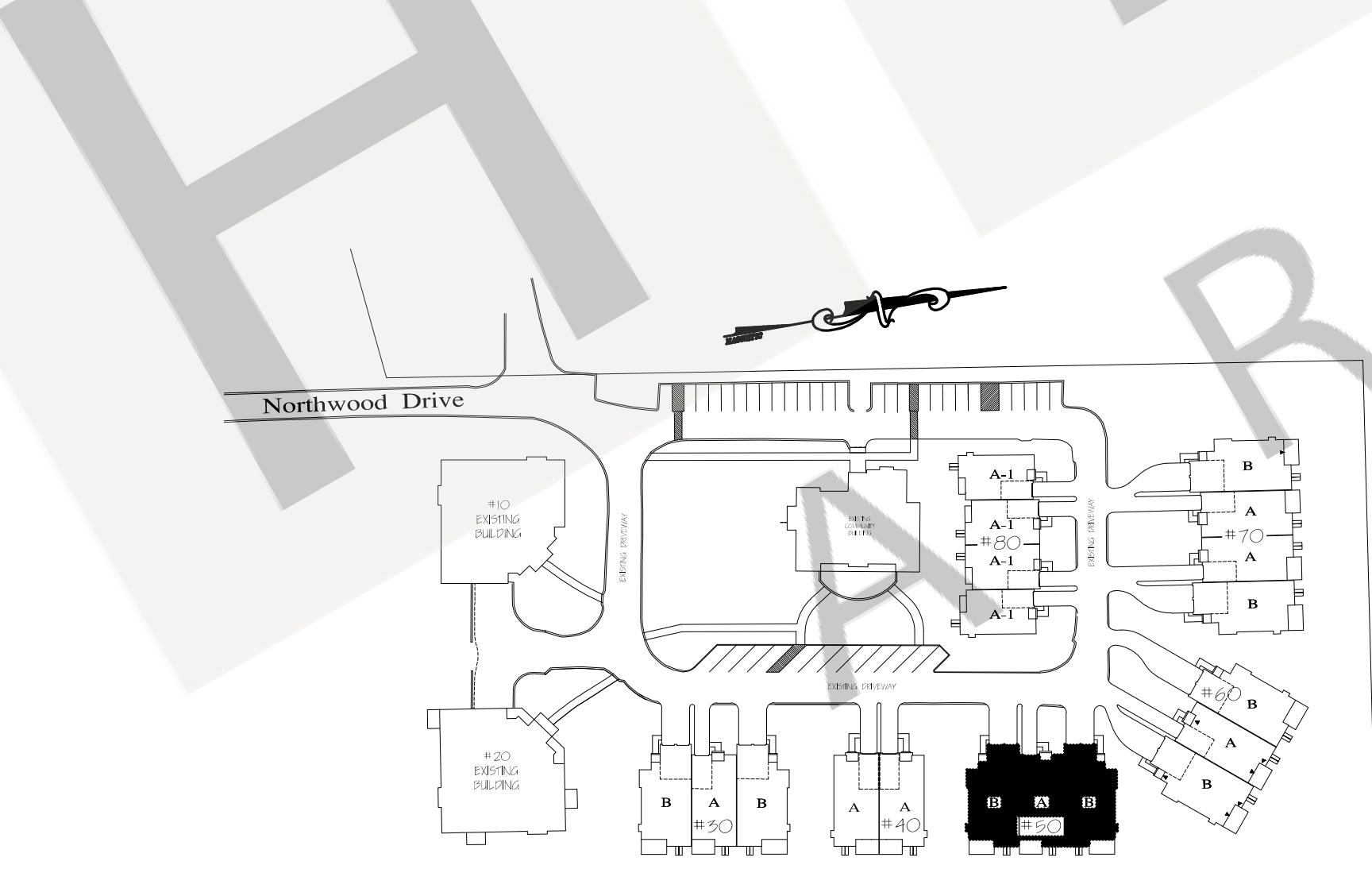
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 - 2.2 DETAILS

KEY PLAN



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FIRST COLONY DEV. LLC

#50 NORTHWOOD DRIVE, NORTHWOOD TOWNHOUSE CONDOS, SUDBURY, MA

SHEET:

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JOB NO. 20180101

The banner features the word "FESTIVAL" in a unique, abstract font. Each letter is formed by several black lines that create a sense of depth and movement through loops and swirls. The letters are arranged in a horizontal sequence: F, E, S, T, E, S, T, V, E, L, O, P, I, V, A, L, U, S, T. The background is plain white, making the black lines stand out.



OWNER / CLIENT:

ARCHITECT:

STRUCTURAL ENGINEER

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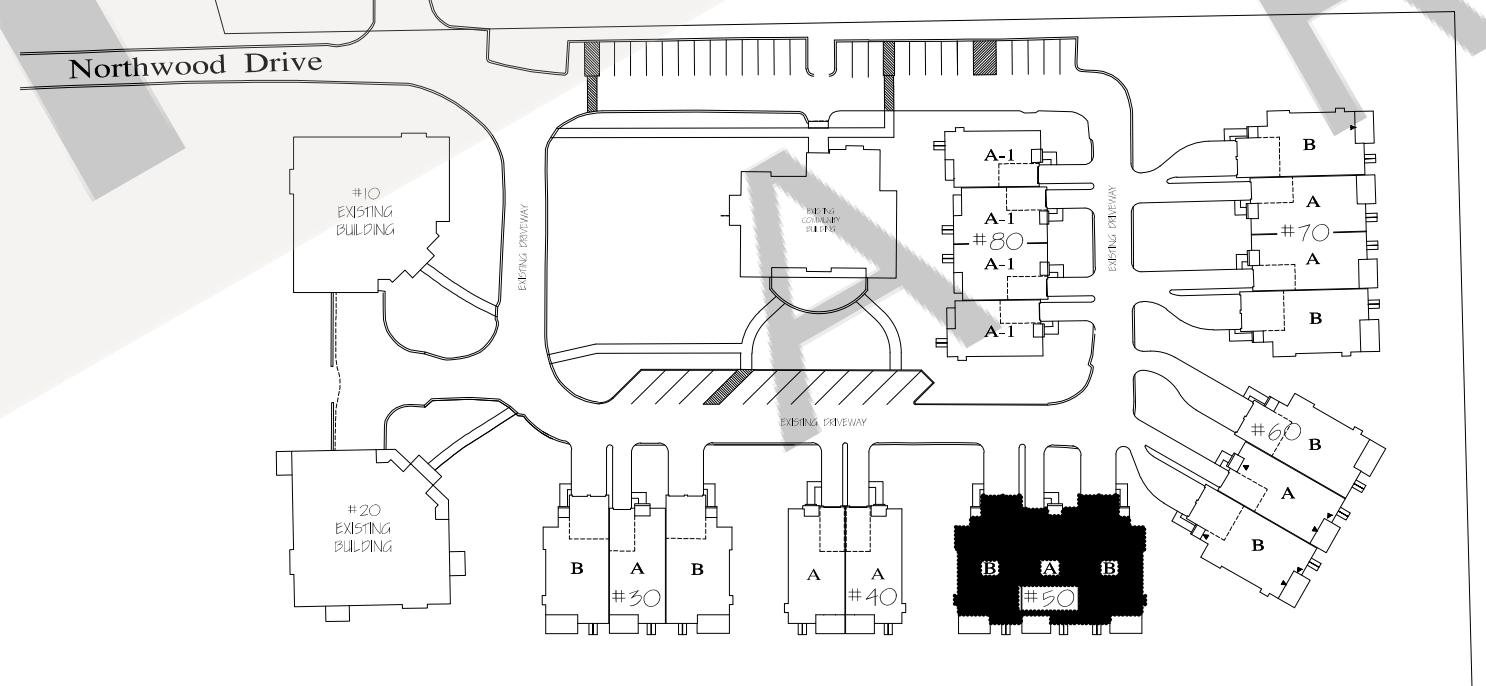
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KEY PLAN



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ARCHITECTS

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FIRST COLONY DEV. LLC
#50 NORTHWOOD DRIVE, NORTHWOOD TOWNHOUSE CONDOS, SUDBURY, MA
CONSTRUCTION BY:

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FIRST COLONY DEVELOPMENT



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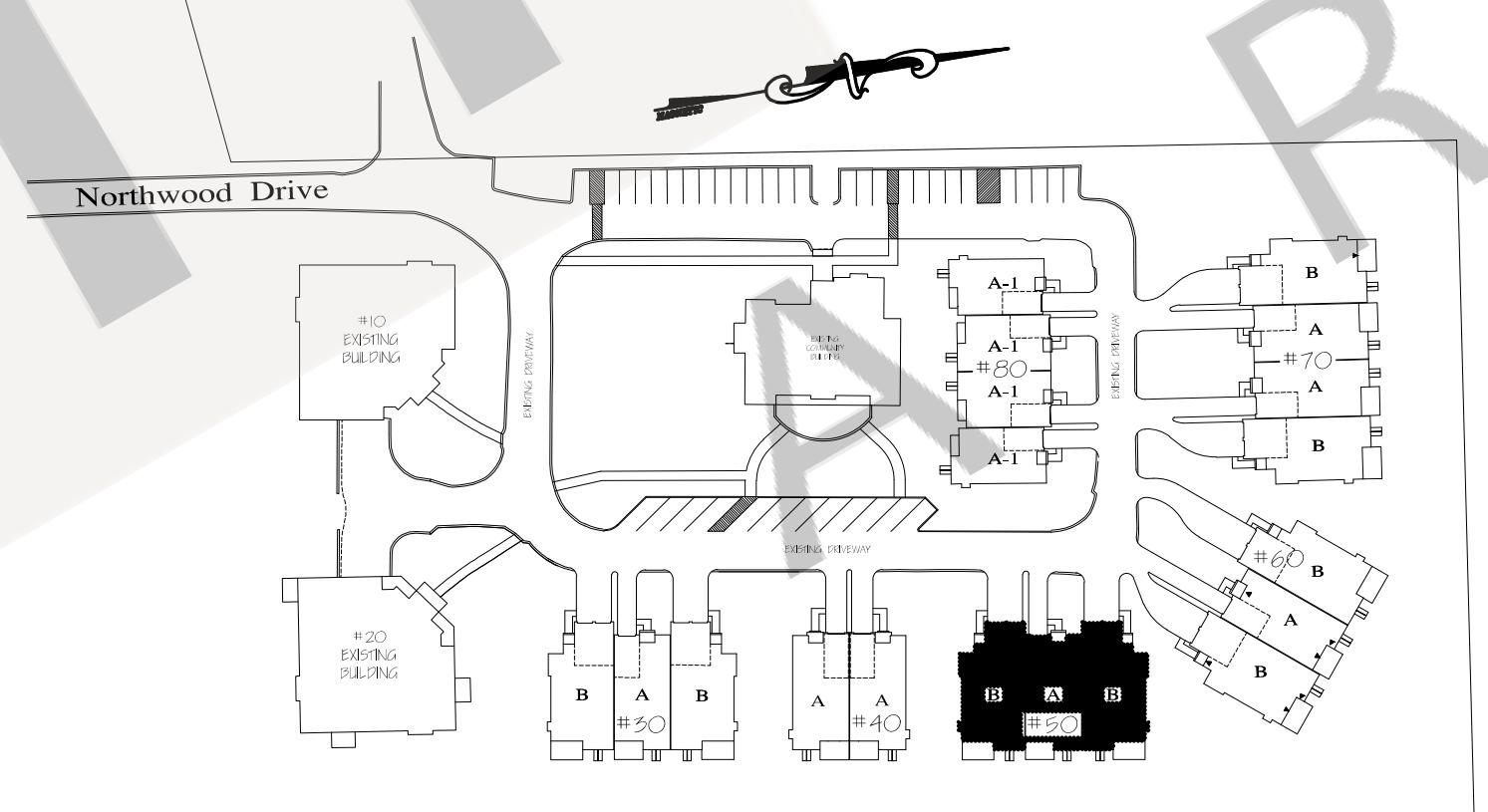
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KEY PLAN

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- A2.1 ELEVATIONS
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- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
- S1.3 2ND FLOOR FRAMING
- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
GENERAL	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (R10 EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE SITE CONDITIONS, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IF THIS IS INCONSISTENT WITH THE SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/VALLEY INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
DIMENSIONS	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES A DIMENSION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSIONING AT STAIR REPRESENDS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. ALL EXTERIOR DIMENSIONS ARE TO THE CENTER LINE OF THE EXTERIOR WALL AND ALL OTHER BUILDINGS MUST BE CONFIRMED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
4. HEIGHTS DEPICTED THE BUILDING HEIGHT, SHOWS THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS ARE FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST. TO THE 1ST FLOOR TO ENSURE COMPLIANCE WITH ZONING AND BUILDING CODE HEIGHT REQUIREMENTS.	
5. ALL DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY 3'-0" TO 4'-0" DEPENDING ON THE CLOSET.	
6. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
STAIRWAYS/DECKS	
1. STAIRWAYS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT. ALL PORCH ABOVE THE FINISHED HORIZONTAL SURFACE SHALL BE PROVIDED WITH A RAILING. THE DEPTH OF THE RAILING SHALL BE 1'-0" MINIMUM AND DEPTH SHALL BE 4'-0" MAXIMUM. DEPTH OF THE RAILING SHALL NOT EXCEED 1'-0". WINDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10"-0". ALL TREADS SHALL BE PROVIDED WITH A 1/4" SLOPE FROM THE NARROWEST SIDE TO THE WIDEST SIDE IN A SMOOTH PLANE ADJOINING THE TREAD NOSE OR FROM THE FLOOR SURFACE OF A LANDING OR PLATFORM.	
2. HANDRAILS SHALL BE PROVIDED AT EACH CONTINUOUS RUN OF TREADS OR FLIGHTS OF STEPS. HANDRAILS SHALL BE 3'-0" MAXIMUM. MINIMUM HEIGHT SHALL BE 34"-0" AND MAXIMUM SHALL NOT EXCEED 36"-0". ALL OTHER DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY CENTERED WITHIN THE CLOSET.	
3. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLORAL, PORCH AND/OR BALCONY AREA'S MORE THAN THIRTY (30) INCHES ABOVE A FLORAL OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLORAL OR GRADE BELOW SHALL BE 36"-0" MAXIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30"-0" OR MORE SHALL BE 34"-0" MAXIMUM. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30"-0" OR MORE SHALL BE 34"-0" MAXIMUM. GUARDRAILS, RAILINGS, AND FLOORS SHALL NOT EXCEED 4"-0" INCHES.	
4. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH A SIZE THAT A 5X 5 INCH (A) SPHERE CANNOT PASS THROUGH. OPENINGS FOR REQUIRED GUARDRAILS ON THE SIDES OF STAIRS SHALL NOT ALLOW A SPHERE 4"-0" INCHES IN DIAMETER TO PASS THROUGH.	
5. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF AN INDEPENDENT STAIRCASE OR INSTITUTE THE WALLS AND UNDERSTAIRS. AN ISOLATED DOOR SHALL NOT BE PROVIDED IN AN ATTIC, BASEMENT, OR CLOSET. AN ISOLATED DOOR SHALL NOT BE PROVIDED IN A BATHROOM, KITCHEN, OR PANTRY. AN ISOLATED DOOR SHALL NOT BE PROVIDED IN A BATHROOM, KITCHEN, OR PANTRY.	
6. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND UNDERSTAIRS AND PROVIDE AN ISOLATED DOOR AT THE BOTTOM OF ATTIC STAIRS.	
7. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF SLEEPING ROOMS. ISOLATE THE WALLS AND UNDERSTAIRS AND PROVIDE AN ISOLATED DOOR AT THE BOTTOM OF SLEEPING ROOMS.	
8. HATCHES SHOWN ON THE DRAWINGS ARE BASED GENERICALLY ON ANDERSON AND THE OWNER OR GENERAL CONTRACTOR WHERE APPLICABLE SHALL CHOOSE THE FINA MANUFACTURER. WINDOW SIZES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING. ROUGH OPENINGS SHALL BE PROVIDED BY THE MANUFACTURER.	
9. BASEMENTS, ATTICS, AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW. EACH SHALL HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING. THESE OPENINGS SHALL NOT REQUIRE ONE SIDE TO SWING OUT. ESCAPE AND RESCUE OPENINGS SHALL FULLY OPEN.	
a) SILL HEIGHT SHALL NOT BE MORE THAN 4'-0" ABOVE THE FLOOR.	
b) A DOOR SWINGING THROUGH BELOW THE JACKSON FLOOR LEVEL AND ELEVATION IS USED AS AN EMERGENCY ESCAPE AND RESCUE OPENING. IF THE DOOR IS PROVIDED WITH A DEADBOLT ENCLOSURE, THE DOOR SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT AND WHEN THE DEADBOLT IS FULLY OPENED IT SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT.	
c) EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A 5'-0" ELEVATION BELOW THE ADJACENT GROUND FLOOR SHALL BE PROVIDED IN THE FLOOR OF THE ADJACENT GROUND FLOOR. THE OPENING SHALL BE 3'-0" IN NOMINAL WIDTH AND A MINIMUM HORIZONTAL PROJECTION OF 36"-0". THE PERSON HELD SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO FULLY OPENED.	
d) DOUBLE HUNG ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.1" SQUARE FEET.	
e) GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.0" SQUARE FEET.	
f) DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL BE PERMITTED TO HAVE A MIN. CLEAR OPENING OF 24"-0" X 30"-0" INCHES IN EITHER DIRECTION.	
g) EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE WITHOUT THE USE OF KEYS OR TOOLS.	
h) THE MINIMUM NET CLEAR OPENING SHALL BE 24"-0" X 30"-0" INCHES IN EITHER DIRECTION.	
i) EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE WITHOUT THE USE OF KEYS OR TOOLS.	
j) IN HOMES WHERE THE OPENING OF AN OPERABLE WINDOW LOCATED MORE THAN 7'-0" ABOVE THE FINISHED FLOOR, THE OPENING SHALL NOT ALLOW A 4 INCH DIAMETER SPHERE TO PASS THROUGH THE OPENING SINCE THE OPENING IS IN THE LARGEST OPEN POSITION.	
k) OPENINGS THAT ARE PROVIDED WITH HINCH FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R402.3.	
l) HINCHES THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R402.4.	
m) OPENINGS THAT ARE PROVIDED WITH FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R402.4.	
n) STARWAYS, RAMPS, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS.	
o) REQUIRED EXITS SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES.	
p) REQUIRED EXIT SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.	
q) EXITS FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36"-0" WITH A NOMINAL HEIGHT OF 72"-0" NOMINAL WIDTH OR SIX FEET EIGHT INCHES IN NOMINAL HEIGHT AND MAY BE SLIDING OR SIDE-HINGED. EXITS FROM DWELLING UNITS IS PERMITTED PROVIDED THAT THE ATTACHED GARAGE IS ALSO PROVIDED WITH A 32"-0" EXIT DOOR.	
r) ALL OTHER EXTERIOR DOORS IN EXCESS OF ONE REQUIRED EXIT DOOR ARE NOT REQUIRED TO COMPLY WITH THE REQUIREMENTS OF SECTION R402.4.	
s) ALL INTERIOR DOORS PROVIDING ACCESS TO HABITABLE ROOMS SHALL HAVE A NOMINAL WIDTH OF 30"-0" NOMINAL HEIGHT AND 6'-0" NOMINAL HEIGHT. THESE DOORS SHALL BE PROVIDED WITH A NOMINAL WIDTH OF 30"-0" NOMINAL HEIGHT.	
t) A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED IN THE DIRECTION OF TRAVEL.	
SPRINKLERS	
The 3-unit townhouse has an aggregate area of 1,210 SF and shall be designed with a minimum NFPA 13 system.	
HEAT DETECTORS	
1. ALL ONE AND TWO FAMILY SHALL BE EQUIPPED WITH A HOUSEHOLD FIRE ALARM SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS, AND THE OWNER'S AGREEMENT.	
2. HEAT DETECTORS ARE REQUIRED TO BE PERMANENTLY WIRED TO AN AC-PRIARY POWER SOURCE AND SHALL RECEIVE SECONDARY STANDBY POWER SUPPLIED FROM CONTINUED BATTERIES.	
3. WHERE MORE THAN ONE SPACE DETECTOR IS REQUIRED, ALL REQUIRED DETECTORS SHALL BE INSTALLED SO THAT THE ACTIVATION OF ANY DETECTOR SHALL CAUSE THE ALARM IN ALL REQUIRED SMOKE DETECTORS IN THE DWELLING UNITS TO SOUND 85 DBA AT 10 FEET, 15% IN BEDROOMS.	
4. SMOKE DETECTORS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: a) IN EACH BEDROOM. b) IN EACH BATHROOM. c) IN EACH KITCHEN. d) IN EACH UNIT. IF ALL UNITS SHARE SAME STAIR LEAD TO ANOTHER OCCUPIED FLOOR.	
5. PHOTO-ELECTRIC SMOKE DETECTORS ARE REQUIRED IF LOCATED WITHIN 15' OF A KITCHEN OR BATHROOM.	
6. WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED TO AN EXISTING DWELLING, THE ENTIRE BUILDING SHALL BE PROVIDED WITH SMOKE DETECTORS DESIGNED AND LOCATED AS REQUIRED FOR NEW DWELLINGS.	
CARBON MONOXIDE ALARM/DETECTORS	
1. ALL ONE AND TWO FAMILY DWELLINGS SHALL BE EQUIPPED WITH A HOUSEHOLD CARBON MONOXIDE WARNING SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS, AND THE OWNER'S AGREEMENT.	
2. CARBON MONOXIDE DETECTORS SHALL BE LOCATED ON EVERY LEVEL OF THE DWELLING UNITS INCLUDING BASEMENTS AND CELLS (NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS).	
3. ALL ALARM-SOUNDING APPLIANCES SHALL HAVE A MINIMUM RATING OF 85 DBA AT 10 FEET.	
HEAT DETECTORS	
1. HEAT DETECTORS SHALL BE INSTALLED IN ANY INTERNAL OR ATTACHED GARAGE TO THE MAIN HOUSE. A NEW ADDITION ATTACHED GARAGE TO AN EXISTING DWELLING INSTALLED IN ACCORDANCE WITH THE EXISTING DWELLING UNITS SHALL BE PROVIDED WITH A 32"-0" EXIT DOOR. THE GARAGE HEAT DETECTOR SHALL BE INTERCONNECTED TO THE EXISTING DWELLING UNITS. THE GARAGE HEAT DETECTOR SHALL BE CONNECTED TO THE EXISTING DWELLING UNITS. THE GARAGE HEAT DETECTOR SHALL BE CONNECTED TO A CANGER OR A COMPATIBLE HEAT DETECTOR CONTAINING A SOUNING DEVICE LOCATED IN THE GARAGE.	
2. FOR FLAT-FINISHED CEILINGS, THE DETECTOR SHALL BE LOCATED ON OR NEAR THE CENTER OF THE GARAGE CEILING. FOR VALETFLOOR/GLOPED CEILINGS, THE DETECTOR SHALL BE PLACED IN THE APPROXIMATE CENTER OF THE CEILING.	
3. FOR THE REQUIRED HEAT DETECTOR, THE ACTIVATION OF THE HEAT DETECTOR SHALL BE LISTED FOR AND REQUIRED TO BE INTERCONNECTED TO ALL SMOKE DETECTORS. THE REQUIRED HEAT DETECTOR SHALL BE PLACED IN THE APPROXIMATE CENTER OF THE CEILING.	
4. THE REQUIRED HEAT DETECTOR SHALL BE LISTED FOR AND REQUIRED TO BE INTERCONNECTED TO ALL SMOKE DETECTORS. THE REQUIRED HEAT DETECTOR SHALL BE PLACED IN THE APPROXIMATE CENTER OF THE CEILING.	
5. A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR OR LANDING THAT IS LOCATED IN THE DIRECTION OF TRAVEL.	
SPRINKLERS	
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TITLE SHEET	
FIRST COLONY DEV. LLC	
#50 NORTHWOOD DRIVE, NORTHWOOD TOWNSHOUSE CONDO'S, SUDBURY, MA	
CONSTRUCTION BY:	
HPA Design, Inc.	
ARCHITECTS	
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<input type="checkbox"/> 508.384.8838 (T)	
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DATE: AUGUST 1, 2016	
DRAWN BY: RWB	
CHECKED BY: HPA	
PATH: 20180101_FIRST COLONY DEV 20180101.LCDs	
SCALE: SEE DRAWING	
REVISIONS:	
# DATE DESC.	
O	ISSUED FOR CONSTRUCTION
JOB NO. 20180101	

FIRST COLONY DEVELOPMENT



OWNER / CLIENT:

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929 POST ROAD EAST
MARLBOROUGH, MA 01752
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FAX (508) 460-0578

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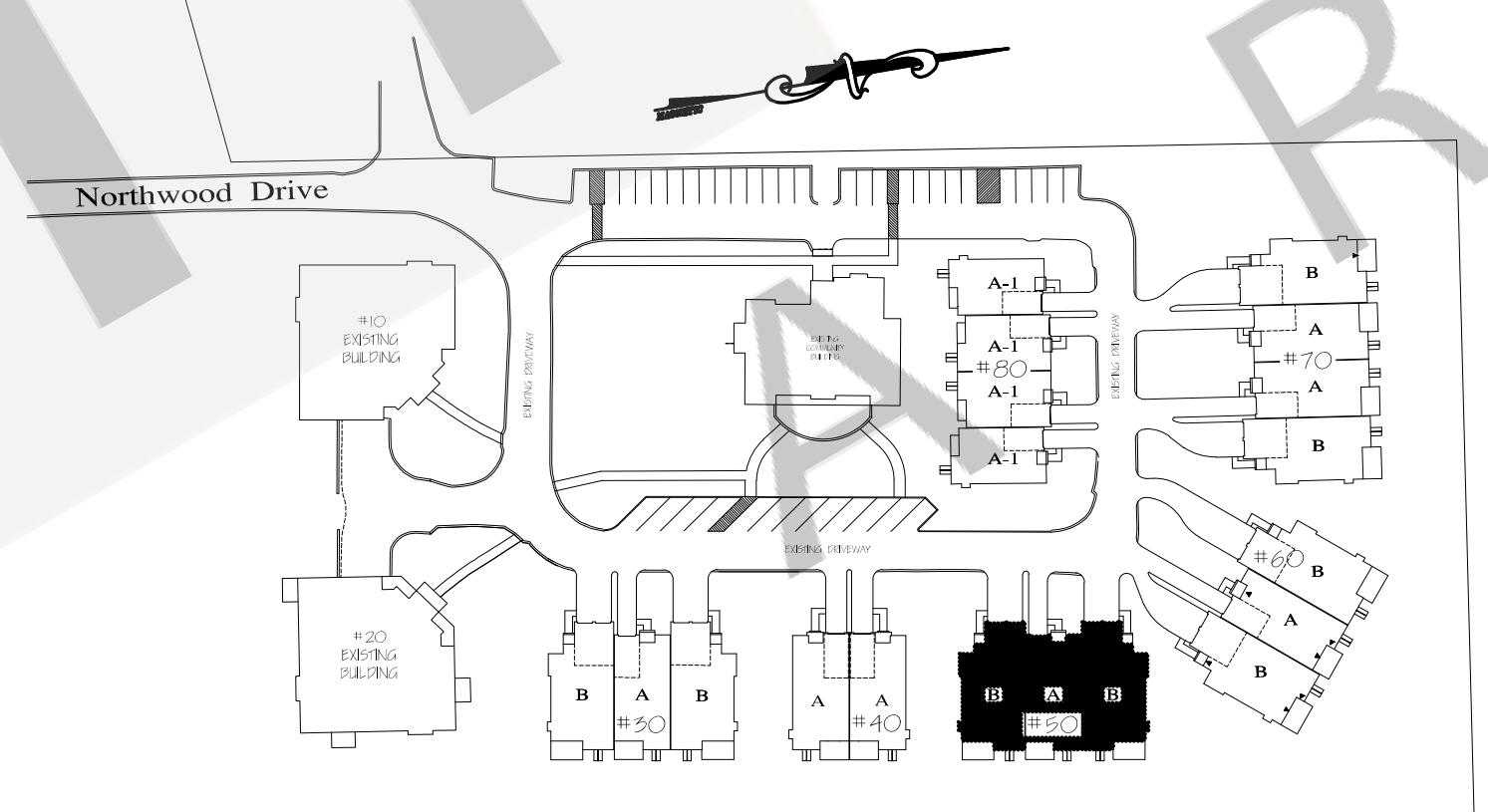
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STRUCTURAL ENGINEER

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CONTRACTOR:

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KEY PLAN

SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
- S1.3 2ND FLOOR FRAMING
- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
GENERAL	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (RTH EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE SITE CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES SHALL BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
DIMENSIONS	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES A DIMENSION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSIONING AT STAIR REPRESENDS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. INTERIOR DIMENSIONING AT DOORS REFERS TO THE CENTER LINE OF THE DOOR.	
4. DIMENSIONS DEPICTING THE BUILDING HEIGHT, SHOW THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS FOR THE BUILDING AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST STAIRWAY TO THE ROOF. THE CONTRACTOR SHALL PROVIDE THE EXACT ELEVATION OF THE ROOF AND ALL OTHER BUILDINGS, MUST BE CONFIRMED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED ROOF ATTACHMENT.	
5. ALL OTHER DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY 3'-0" TO 4'-0" (DEPENDING ON THE CLOSET).	
6. CLOSET DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY CENTERED WITHIN THE CLOSET.	
7. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
STAIRWAYS/DECKS	
1. STAIRWAYS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT. IN ALL PORTIONS ABOVE THE FINISHED HANDBALUST, THE MINIMUM CLEAR HEIGHT SHALL BE 6'-0". IN ALL PORTIONS BELOW THE FINISHED HANDBALUST, THE DEPTH SHALL BE 18"-0" AND THE DEPTH SHALL NOT EXCEED 1'-0". WINDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10"-0". ALL OTHER TREADS SHALL BE 12"-0" DEEP AND 18"-0" DEEP. ALL TREADS SHALL BE SLOPED PLANE ADJOINING THE TREAD NOSE OR FROM THE FLOOR SURFACE OF A LANDING OR PLATFORM.	
2. HANDRAILS SHALL BE PROVIDED AT EACH CONTINUOUS RUN OF TREADS OR FLIGHTS OF STEPS. THE MINIMUM HEIGHT SHALL BE 34"-0" AND A MAXIMUM NOT TO EXCEED 37"-0".	
3. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLORAL, PORCH AND/OR BALCONY AREA'S MORE THAN THIRTY (30) INCHES ABOVE A FLORAL OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLORAL OR GRADE BELOW SHALL BE NOT LESS THAN 34" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30" OR LESS SHALL BE NOT LESS THAN 30"-0" IN HEIGHT. RAILS, BALUSTERS, AND FLOORS SHALL NOT EXCEED 4" INCHES.	
4. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH A SIZE THAT A 5X 5 INCH (6" SPHERE) CANNOT PASS THROUGH. OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIR GUARDS SHALL NOT ALLOW A SPHERE 4-3/8" INCHES TO PASS THROUGH.	
5. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF AN INDEPENDENT STAIRCASE OR INSTITUTE THE WALLS AND UNDERNEATH THE STAIRS. AN ISOLATED DOOR SHALL NOT BE PROVIDED IN THE BASEMENT OR ATTIC STAIRS.	
6. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND UNDERNEATH THE STAIRS. ESCAPE AND RESCUE OPENINGS.	
7. HATCHES SHOWN ON THE DRAWINGS ARE BASED GENERICALLY ON ANDERSON AND THE OWNER OR GENERAL CONTRACTOR WHERE APPLICABLE SHALL CHOOSE THE FINA MANUFACTURER. WINDOW SHOES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDER. ROUGH OPENINGS SHALL BE PROVIDED BY THE MANUFACTURER.	
8. BASEMENTS, ATTICS, AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW. EACH SHALL HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING. THESE OPENINGS SHALL NOT REQUIRE ONE SIDE TO SWING OUT. ESCAPE AND RESCUE OPENINGS SHALL MEET THE FOLLOWING CRITERIA:	
a) SILL HEIGHT SHALL NOT BE MORE THAN 48 INCHES ABOVE THE FLOOR.	
b) A DOOR SWINGING THROUGH BELOW THE JACKSON LEVEL AND THE ELEVATION OF THE JACKSON LEVEL IS USED AS AN ENERGY ESCAPE AND RESCUE OPENING. IF THE JACKSON LEVEL IS PROVIDED WITH A DELUXE ENCLOSURE, THE DOOR SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT AND WHEN THE HEADSLID IS FULLY OPEN IT SHALL PROVIDED DIRECT ACCESS TO THE BASEMENT.	
c) EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A 5'0" ELEVATION BELOW THE JACKSON GROUND FLOOR SHALL BE PROVIDED. THE JACKSON GROUND FLOOR IS THE FLOOR WHICH IS 48" ABOVE THE JACKSON LEVEL. THE JACKSON LEVEL IS THE FLOOR WHICH IS 30" ABOVE THE JACKSON GROUND FLOOR. THE JACKSON GROUND FLOOR IS THE FLOOR WHICH IS 18" ABOVE THE JACKSON LEVEL. THE JACKSON LEVEL IS THE FLOOR WHICH IS 12" ABOVE THE JACKSON GROUND FLOOR. THE JACKSON GROUND FLOOR IS THE FLOOR WHICH IS 6" ABOVE THE JACKSON LEVEL. THE JACKSON LEVEL IS THE FLOOR WHICH IS 3" ABOVE THE JACKSON GROUND FLOOR. THE JACKSON GROUND FLOOR IS THE FLOOR WHICH IS 1" ABOVE THE JACKSON LEVEL. THE JACKSON LEVEL IS THE FLOOR WHICH IS 12" ABOVE THE JACKSON GROUND FLOOR. THE JACKSON GROUND FLOOR IS THE FLOOR WHICH IS 18" ABOVE THE JACKSON LEVEL. THE JACKSON LEVEL IS THE FLOOR WHICH IS 30" ABOVE THE JACKSON GROUND FLOOR. THE JACKSON GROUND FLOOR IS THE FLOOR WHICH IS 48" ABOVE THE JACKSON LEVEL. 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