

# Opacity Comparisons

# FIRST COLONY DEVELOPMENT



OWNER / CLIENT:

FIRST COLONY DEV. LLC  
929 POST ROAD EAST  
MARLBOROUGH, MA 01752  
TEL. (508) 481-6095  
FAX (508) 460-0578

ARCHITECT:

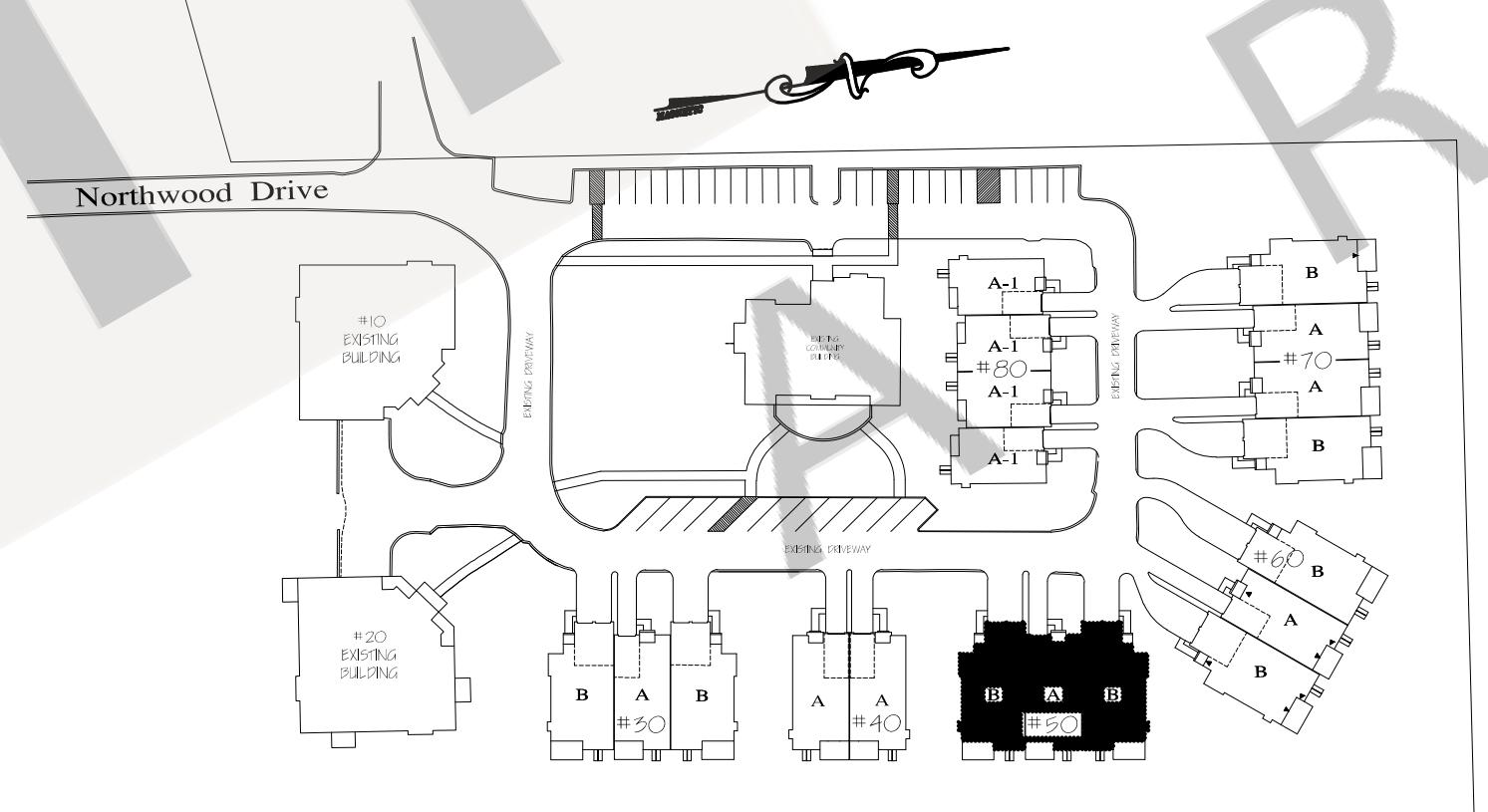
HPA DESIGN, INC.  
200 STONEWALL BLVD.  
SUITE 5  
WRENTHAM, MA 02093  
TEL. (508) 384-8838  
FAX (508) 384-0483

STRUCTURAL ENGINEER

DWD ENGINEERING, INC.  
5 MICHAEL RD.  
EAST BRIDGEWATER  
TEL. (508) 378-9602  
FAX (508) 378-2922

CONTRACTOR:

LOBISSEUR BUILDING CORP.  
1 CHARLESVIEW ROAD  
HOPEDALE, MA 01747  
TEL. (508) 478-6235  
FAX (508) 473-0794



KEY PLAN

## SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
- S1.3 2ND FLOOR FRAMING
- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
<b>GENERAL</b>	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (RTH EDITION).	
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3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
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5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES SHALL BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
<b>DIMENSIONS</b>	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES A DIMENSION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSIONING AT STAIR REPRESENDS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. INTERIOR DIMENSIONING AT DOORS REFERS TO THE INSIDE EDGE OF THE STUD OR CONCRETE WALL AND ALL OTHER BULLETS, MUST BE CONFIRMED WITH THE FUTURE MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
4. HEIGHTS DEPICTING THE BUILDING HEIGHT, SHOWS THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST. ON THE GROUND FLOOR TO THE ROOF. THE TOTAL BUILDING HEIGHT IS THE SUM OF THE ELEVATION DIFFERENCE RELATIVE TO THE 1ST FLOOR, TO ENSURE COMPLIANCE WITH ZONING AND BUILDING CODE HEIGHT REQUIREMENTS.	
5. ALL OTHER DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY 3'-0" TO 4' (DEPENDING ON THE FLOOR/CASEMENT).	
6. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
<b>STAIRWAYS/DECKS</b>	
1. STAIRWAYS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT. IN ALL PORTIONS ABOVE THE FINISHED HANRAL RAILING, THE CLEAR HEIGHT SHALL NOT BE LESS THAN 6'-0". IN ALL PORTIONS BELOW THE FINISHED HANRAL RAILING, THE CLEAR HEIGHT SHALL BE NO LESS THAN 4'-0". UNDER TREAD DEPTH SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10"-0". THE DECKING SHALL BE PROVIDED IN A SLOPED PLANE ADJUSTING THE TREAD NOSE OR FROM THE FLOOR SURFACE OF A LANING OR PLATFOR.	
2. HANDRAILS SHALL BE PROVIDED AT EACH CONTINUOUS RUN OF TREADS OR FLIGHTS OF STEPS. THE MINIMUM HEIGHT SHALL BE 34"-0" MAXIMUM 34"-0" WITH A MAXIMUM NOT TO EXCEED 34"-0" IN 12'-0" HORZ. MINIMUM HEIGHT SHALL BE 34"-0" MAXIMUM 34"-0" WITH A MAXIMUM NOT TO EXCEED 34"-0" IN 12'-0" HORZ. GUARDRAILS SHALL BE PROVIDED ON THE FLOOR, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE PROVIDED ON THE FLOOR, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. THE MAXIMUM CLEAR OPENING BETWEEN RAILS, GUARDRAILS AND FLOORS SHALL NOT EXCEED 4" INCHES.	
3. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOOR, PORCH AND/OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW, SHALL BE PROVIDED ON THE FLOOR, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS SHALL NOT ALLOW A SPHERE 3'-0" IN DIAMETER TO PASS THROUGH.	
4. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF AN INDOOR STAIRCASE OR INSTITUTE THE WALLS AND GUARDRAILS ON THE SIDES OF STAIRS. GUARDRAILS ON OPEN SIDES OF STAIRS OR INSTITUTE THE WALLS AND GUARDRAILS ON THE SIDES OF STAIRS SHALL NOT ALLOW A SPHERE 3'-0" IN DIAMETER TO PASS THROUGH.	
5. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND GUARDRAILS ON THE SIDES OF ATTIC STAIRS. GUARDRAILS ON OPEN SIDES OF ATTIC STAIRS SHALL NOT ALLOW A SPHERE 3'-0" IN DIAMETER TO PASS THROUGH.	
6. AN ISOLATED DOOR SHALL BE PROVIDED AT THE BOTTOM OF ATTIC STAIRS. ISOLATE THE WALLS AND GUARDRAILS ON THE SIDES OF ATTIC STAIRS. GUARDRAILS ON OPEN SIDES OF ATTIC STAIRS SHALL NOT ALLOW A SPHERE 3'-0" IN DIAMETER TO PASS THROUGH.	
7. HOLLOW CORE DOORS SHOWN ON THE DRAWINGS ARE BASED GENERICALLY ON ANDERSON AND THE OWNER OR GENERAL CONTRACTOR WHERE APPLICABLE SHALL CHOOSE THE FINAL MANUFACTURER. WINDOW SIZES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING. ROUGH OPENINGS SHALL BE PROVIDED BY THE MANUFACTURER.	
8. BASEMENTS, ATTICS, EXTERIOR SLEEPING ROOMS SHALL HAVE AT LEAST ONE OPERABLE WINDOW. EACH SHALL HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING. THESE OPENINGS SHALL NOT REQUIRE ONE SIDE TO SWING OUT. ESCAPE AND RESCUE OPENINGS SHALL FOLLOW THE FOLLOWING CRITERIA:	
a) SILL HEIGHT SHALL NOT BE MORE THAN 48 INCHES ABOVE THE FLOOR.	
b) A DOOR SWINGING THROUGH BELOW THE JACKSON LEVEL ELEVATION IS USED AS AN EMERGENCY ESCAPE AND RESCUE OPENING. IF THE DOOR IS PROVIDED WITH A DELUXE ENCLOSURE, THE DOOR SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT AND WHEN THE HEADSLID IS FULLY OPEN IT SHALL PROVIDED DIRECT ACCESS TO THE BASEMENT.	
c) EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A SILL ELEVATION BELOW THE JACKSON LEVEL ELEVATION SHALL NOT BE PROVIDED WITH A DOOR SWINGING THROUGH THE JACKSON LEVEL ELEVATION. THE SILL HEIGHT SHALL NOT BE MORE THAN 48 INCHES ABOVE THE FLOOR. THE JACKSON LEVEL ELEVATION IS 36"-0" IN NOMINAL HEIGHT AND HAS A MINIMUM HORIZONTAL PROJECTION OF 36"-0". THE PERSON HELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO FULLY OPENED.	
d) DOUBLE HUNG ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.1" SQUARE FEET.	
e) GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.0" SQUARE FEET.	
f) DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL BE PERMITTED TO HAVE A MIN. CLEAR OPENING OF 24"-0" X 30"-0" IN NOMINAL HEIGHT AND 24"-0" X 30"-0" IN NOMINAL WIDTH.	
g) THE MINIMUM NET CLEAR OPENING SHALL BE 24"-0" X 30"-0" IN NOMINAL HEIGHT.	
h) EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE WITHOUT THE USE OF KEYS OR TOOLS.	
i) IN HOLLOW CORE ROOMS WHERE THE OPENING OF AN OPERABLE WINDOW LOCATED THEREIN TO SWING OUT, THE OPENING IS IN ITS LARGEST OPENED POSITION.	
j) OPENINGS THAT ARE PROVIDED WITH HOLLOW CORE FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R402.3.	
k) OPENINGS THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R402.4.	
l) INHOBNS THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R402.4.	
m) STARWAYS, RAMPS, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS.	
n) REQUIRED EXITS SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES.	
o) EXTERIOR SLEEPING ROOMS UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.	
p) EXTERIOR DOORS FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NO LESS THAN 36"-0" WITH A NOMINAL HEIGHT SMALL OF 84"-0" AND A NOMINAL DEPTH OF 10"-0". THE NOMINAL WIDTH OF THE OTHER EXIT DOOR SHALL BE NO LESS THAN 30"-0" WITH A NOMINAL HEIGHT SMALL OF 84"-0" AND A NOMINAL DEPTH OF 10"-0".	
q) EXTERIOR DOORS FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NO LESS THAN 36"-0" WITH A NOMINAL HEIGHT SMALL OF 84"-0" AND A NOMINAL DEPTH OF 10"-0".	
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t) ALL OTHER EXTERIOR DOORS IN EXCESS OF THE REQUIRED EXIT DOORS ARE NOT REQUIRED TO COMPLY WITH THE REQUIREMENTS OF THIS SECTION.	
u) ALL INTERIOR DOORS PROVIDING ACCESS TO HABITABLE ROOMS SHALL HAVE A NOMINAL WIDTH OF 30"-0" NOMINAL HEIGHT OF 84"-0" AND A NOMINAL DEPTH OF 10"-0".	
v) ALL INTERIOR DOORS PROVIDING ACCESS TO HABITABLE ROOMS SHALL HAVE A NOMINAL WIDTH OF 30"-0" NOMINAL HEIGHT OF 84"-0" AND A NOMINAL DEPTH OF 10"-0".	
w) A DOOR OR LANDING SHALL MEET THE REQUIREMENT OF AN EXTERIOR EXIT DOOR. THE POINT OF DRAFT LANDING SHALL BE NO LESS THAN THE DOOR SERVED AND HAVE A MINIMUM DIMENSION OF 36"-0" INCHES MEASURED IN THE DIRECTION OF TRAVEL.	
<b>SPRINKLERS</b>	
The 3-unit townhouse has an aggregate area of 1,210 SF and shall be designed with a minimum NFPA 13 system.	
<b>HEAT DETECTORS</b>	
1. ALL ONE AND TWO FAMILY SHALL BE EQUIPPED WITH A HOUSEHOLD FIRE ALARM SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS AND NFPA 72.	
2. SMOKE DETECTORS ARE REQUIRED TO BE PERMANENTLY WIRED TO AN AC-Powered Power Source and Shall Have Secondary Standby Power Supplied from Uninterruped Batteries.	
3. WHERE MORE THAN ONE SMOKE DETECTOR IS REQUIRED, ALL REQUIRED DETECTORS SHALL BE INSTALLED SO THAT THE ACTIVATION OF ANY DETECTOR SHALL CAUSE THE ALARM IN ALL REQUIRED SMOKE DETECTORS IN THE DWELLING UNITS TO SOUND 85 DBA AT 10 FEET, 15% IN BEDROOMS.	
4. SMOKE DETECTORS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: a) IN EACH BEDROOM. b) IN EACH BATHROOM. c) IN EACH KITCHEN OR PANTRY.	
5. PHOTO-ELECTRIC SMOKE DETECTORS ARE REQUIRED IF LOCATED WITHIN 15 FEET OF A KITCHEN OR BATHROOM.	
6. WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED TO AN EXISTING DWELLING, THE ENTIRE BUILDING SHALL BE PROVIDED WITH SMOKE DETECTORS DESIGNED AND LOCATED AS REQUIRED FOR NEW DWELLINGS.	
<b>CARBON MONOXIDE ALARM/DETECTORS</b>	
1. ALL ONE AND TWO FAMILY DWELLINGS SHALL BE EQUIPPED WITH A HOUSEHOLD CARBON MONOXIDE WARNING SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS AND NFPA 72.	
2. CARBON MONOXIDE DETECTORS SHALL BE LOCATED ON EVERY LEVEL OF THE DWELLING UNIT INCLUDING BASEMENTS AND CELLS (NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS).	
3. ALL ALARM-SOUNDING APPLIANCES SHALL HAVE A MINIMUM RATING OF 85 DBA AT 10 FEET.	
<b>HEAT DETECTORS</b>	
1. HEAT DETECTORS SHALL BE INSTALLED IN ANY INTERNAL OR ATTACHED GARAGE TO THE MAIN HOUSE. A NEW ADDITION ATTACHED GARAGE TO AN EXISTING DWELLING INSTALLED IN ACCORDANCE WITH THE EXISTING DWELLING UNITS SHALL BE PROVIDED WITH A COMPATIBLE HEAT DETECTOR. THE EXISTING DWELLING UNITS SHALL BE CONNECTED TO A CANISTER OR A COMPATIBLE HEAT DETECTOR CONTAINING A SOUNDBING DEVICE LOCATED IN THE NEW ADDITION.	
2. FOR FLAT-FLOORED GARAGES OR CELINGS, THE DETECTOR SHALL BE LOCATED ON OR NEAR THE CENTER OF THE GARAGE CEILING. FOR VAULTED/GLODED CEILINGS, THE DETECTOR SHALL BE PLACED IN THE APPROXIMATE CENTER OF THE CEILING.	
3. FOR THE REAR DWELLING, THE DETECTOR SHALL BE LISTED FOR AND REQUIRED TO BE INTERCONNECTED TO ALL SMOKE DETECTORS.	
4. THE REQUIRED HEAT DETECTOR SHALL BE LISTED FOR AND REQUIRED TO BE INTERCONNECTED TO ALL SMOKE DETECTORS.	
5. THE REAR DWELLING SHALL BE PROVIDED WITH A REAR DWELLING FIRE ALARM SYSTEM SUCH THAT THE ACTIVATION OF THE HEAT DETECTOR WILL ACTIVATE ALL OF THE ALARMS OF THE REAR DWELLING FIRE ALARM SYSTEM THROUGHOUT THE DWELLING.	
<b>SPRINKLERS</b>	
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<b>TITLE SHEET</b>	
<b>FIRST COLONY DEV. LLC</b>	
#50 NORTHWOOD DRIVE, NORTHWOOD TOWNSHOUSE CONDOS, SUDBURY, MA	
CONSTRUCTION BY:	
HPA DESIGN, INC.	
ARCHITECTS	
<input type="checkbox"/> 200 Stonewall Blvd, Suite 5	
<input type="checkbox"/> Wrentham, MA 02093	
<input type="checkbox"/> 508.384.8838 (T)	
<input type="checkbox"/> 508.384.0483 (F)	
<input type="checkbox"/> contact@hpadesign.com	
<input type="checkbox"/> www.HPAdesign.com	
<b>DATE:</b> AUGUST 1, 2018	
<b>DRAWN BY:</b> RWB	
<b>CHECKED BY:</b> HPA	
<b>PATH:</b> 20180101_FIRST COLONY DEV 20180101.LCDs	
<b>SCALE:</b> SEE DRAWING	
<b>REVISIONS:</b>	
# DATE DESC.	
O	ISSUED FOR CONSTRUCTION

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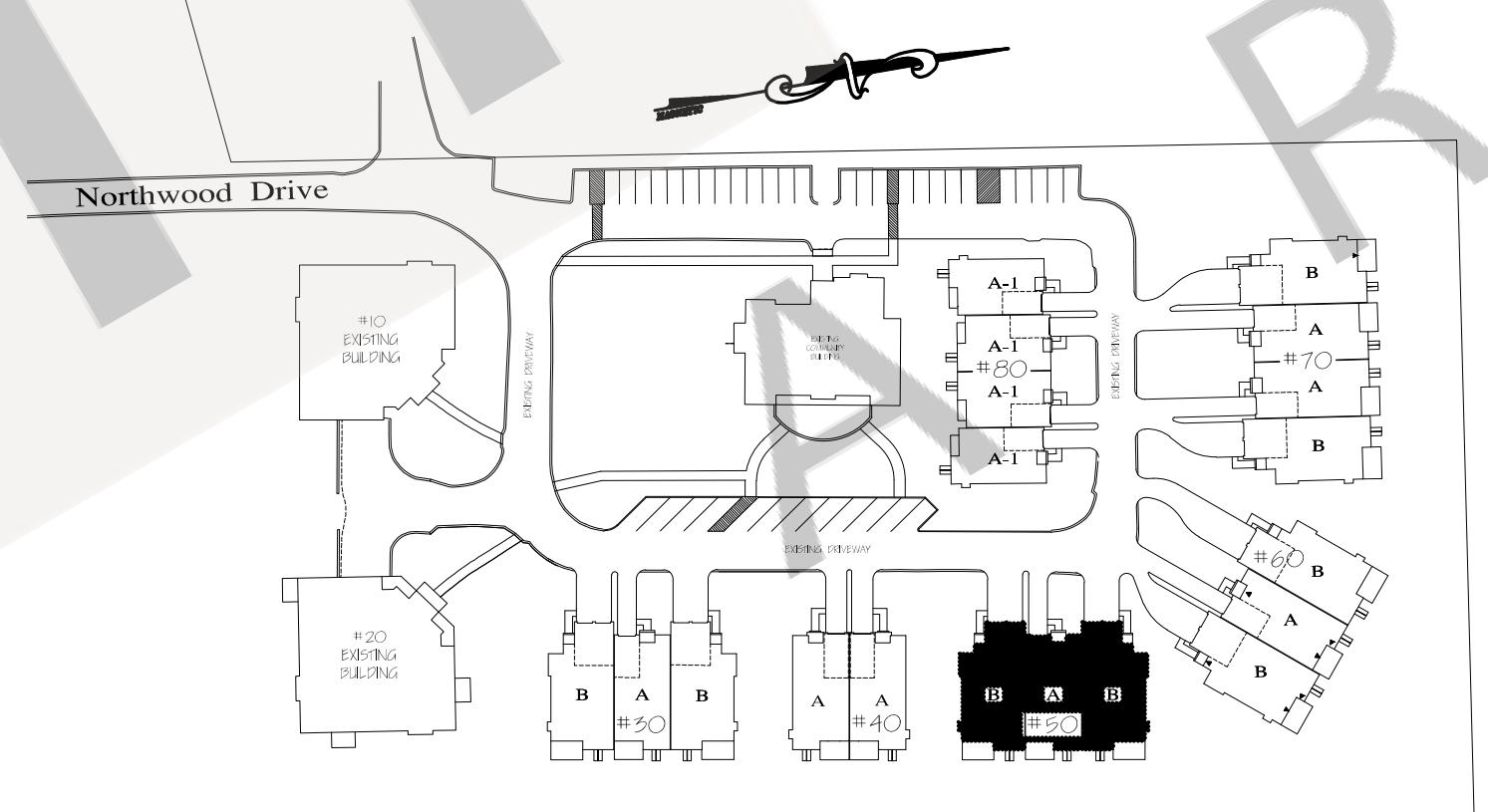
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KEY PLAN

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5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
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b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES A DIMENSION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSIONING AT STAIR REPRESENDS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. ALL EXTERIOR DIMENSIONS ARE TO THE CENTER LINE OF THE EXTERIOR WALL AND ALL OTHER BUILDINGS MUST BE CONFIRMED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
4. HEIGHTS DEPICTED THE BUILDING HEIGHT, SHOWS THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS ARE FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST. TO THE 1ST FLOOR TO ENSURE COMPLIANCE WITH ZONING AND BUILDING CODE HEIGHT REQUIREMENTS.	
5. ALL DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY 3'-0" TO 4'-0" DEPENDING ON THE CLOSET.	
6. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
<b>STAIRWAYS/DECKS</b>	
1. STAIRWAYS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT. ALL PORCH ABOVE THE FINISHED HANDBALUST SHALL BE PROVIDED WITH A MINIMUM 4'-0" CLEAR HEIGHT. MINIMUM DEPTH SHALL BE 1'-0" MINIMUM DEPTH SHALL BE 1'-0" IN DEPTH. MAXIMUM DEPTH SHALL NOT EXCEED 1'-0". WINDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10". ALL OTHER TREADS SHALL BE PROVIDED WITH A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A SLOPED PLANE ADDING THE TREAD NOSE OR FROM THE FLOOR SURFACE OF A LANING OR PLATFOR.	
2. HANDRAILS SHALL BE PROVIDED AT EACH CONTINUOUS RUN OF TREADS OR FLIGHTS OF STEPS. HANDRAILS SHALL BE PROVIDED AT EACH CONTINUOUS RUN OF TREADS OR FLIGHTS OF STEPS. MINIMUM HEIGHT SHALL BE 34"-0" MAXIMUM 34"-0" FROM THE FLOOR SURFACE OF A LANING OR PLATFOR.	
3. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW SHALL BE INSTALLED IN ACCORDANCE WITH THE 1994 EDITION OF THE STAIRS AND GUARDRAILS SECTION OF THE NATIONAL BUILDING CODE. GUARDRAILS ON OPEN SIDES OF STAIRS SHALL NOT EXCEED 4" IN DEPTH. GUARDRAILS, RAILINGS, RAISERS, AND FLOORS SHALL NOT EXCEED 4" IN DEPTH.	
4. AN ISOLATED DOOR 28"-0" HIGH, MINIMUM HEIGHT SHALL BE 34"-0" MAXIMUM 34"-0" FROM THE FLOOR SURFACE OF A LANING OR PLATFOR. GUARDRAILS ON OPEN SIDES OF STAIRS OR ISOLATE THE WALLS AND UNDERSCAPE OF STAIRS SHALL NOT ALLOW A SPHERE 3'-0" IN DIAMETER TO PASS THROUGH.	
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9. BASEMENTS, ATTICS, AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW. EACH SHALL HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING. THESE OPENINGS SHALL NOT REQUIRE ONE SIDE TO SWING OUT. ESCAPE AND RESCUE OPENINGS SHALL FULLY OPEN.	
a) SILL HEIGHT SHALL NOT BE MORE THAN 48 INCHES ABOVE THE FLOOR.	
b) A DOOR SWINGING THROUGH BELOW THE JACKSON FLOOR LEVEL AND THE ELEVATION OF THE JACKSON FLOOR LEVEL IS PROVIDED WITH A BELTWOOD ENCLOSURE. THE BELTWOOD ENCLOSURE SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT AND WHEN THE BELTWOOD IS FULLY OPEN IT SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT.	
c) EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A 5'0" ELEVATION BELOW THE JACKSON GROUND FLOOR LEVEL SHALL BE PROVIDED IN ACCORDANCE WITH THE 1994 EDITION OF THE NATIONAL BUILDING CODE. THE OPENING SHALL BE 3'-0" IN NOMINAL WIDTH AND A MINIMUM HORIZONTAL PROJECTION OF 30". THE PERSON HELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO FULLY OPENED.	
d) EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.1" SQUARE FEET.	
EXCEPTIONS:	
1. STARWAYS, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS.	
2. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL BE PERMITTED TO HAVE A MIN. CLEAR OPENING OF 24" X 30" IN NOMINAL SIZE.	
3. REQUIRED EXIT SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES.	
4. REQUIRED EXIT SPACE UNDER STAIRS SHALL BE MAINTAIN, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.	
5. ESCAPE FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36" WITH A NOMINAL HEIGHT OF 72" NOMINAL WIDTH OR SIX FEET EIGHT INCHES IN NOMINAL HEIGHT AND MAY BE SLIDING OR SIDE-HINGED. ESCAPE FROM DWELLING UNITS IS PERMITTED PROVIDED THAT THE ATTACHED GARAGE IS ALSO PROVIDED WITH A 32" EXIT DOOR.	
6. ALL OTHER EXTERIOR DOORS IN EXCESS OF THE REQUIRED EXIT DOORS ARE NOT REQUIRED TO COMPLY.	
7. ALL INTERIOR DOORS PROVIDING ACCESS TO HABITABLE ROOMS SHALL HAVE A NOMINAL WIDTH OF 30 INCHES AND A NOMINAL HEIGHT OF 80 INCHES. THESE DOORS SHALL BE SWINGING IN THE DIRECTION OF EGRESS IN NOMINAL WIDTH.	
8. A DOOR OR LANDING SHALL MEET THE REQUIREMENT OF AN EXTERIOR EXIT DOOR. THE POINT OF DRAFT LANDING SHALL BE NO MORE THAN THE DOOR SWUNG AND HAVE A MINIMUM DIMENSION OF 36" INCHES MEASURED IN THE DIRECTION OF TRAVEL.	
SPRINKLERS:	
The 3-unit townhouse has an aggregate area of 1,210 SF and shall be designed with a minimum NFPA 13 system.	
<b>MINIMUM ROOM REQUIREMENTS</b>	
1. HABITABLE ROOMS, HALLWAYS, CORRIDORS, BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS AND BASEMENTS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN SEVEN (7) FEET MEASURED FROM THE FINISH FLOOR TO THE LOWEST PROJECTION FROM THE CEILING.	
EXCEPTIONS:	
1. BEAMS AND GIRDERS SPACED NOT LESS THAN FOUR (4) FEET ON CENTER MAY PROJECT NOT MORE THAN SIX (6) INCHES BELOW THE REQUIRED CEILING HEIGHT.	
2. CEILINGS IN HALLWAYS, CORRIDORS, AND SPACES THAT PROJECT TO THE CEILING HEIGHT SHALL NOT EXCEED SIX (6) INCHES BELOW THE CEILING HEIGHT.	
3. NOT MORE THAN 50% OF THE REQUIRED FLOOR AREA OF A ROOM IS PERMITTED TO HAVE A SLOPED CEILING LESS THAN SEVEN (7) FEET IN HEIGHT IN NO PORTION OF THE REQUIRED FLOOR AREA LESS THAN FIVE FEET IN LENGTH.	
4. BATHROOMS SHALL HAVE A MINIMUM CEILING HEIGHT OF SIX FEET EIGHT INCHES OVER THE FIXTURE AND AT THE SHOWERHEAD.	
5. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/VALLEY INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
<b>ROOFING AND Siding</b>	
1. PROVIDE CONTINUOUS 6'-0" wide FIBERGLASS REINFORCED, BITUMEN, ICE AND WATER SHIELD AT ALL ROOF EDGES CENTERED IN ALL VALLEYS AND AT ROOF HALL INTERSECTIONS CARRIED 1'-0" UP THE WALL/FEE TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.	
2. PROVIDE ALUMINUM FLASHING OVER ALL WINDOW AND DOOR HEAD IRN AND AT THE CONNECTION BETWEEN ALL EXTERIOR ROOFING AND Siding.	
3. PROVIDE ALUMINUM FLASHING OVER ALL ROOF/VALLEY AND ROOF/HALL/INTERSECTION EDGES.	
4. PROVIDE CONTINUOUS VENTED DRIP EDGE AT ALL SOFFIT OVERHANGS.	
5. PROVIDE ALUMINUM FLASHING OVER ALL ROOF SHANKS UNLESS SPECIFIED OTHERWISE.	
6. PROVIDE CONTINUOUS RIDGE VENTS (UNLESS SPECIFIED AS OTHERWISE). SEE BUILDING EXTENT.	
7. ALL GUTTERS AND DOWNPOUTS TO BE PREFINISHED ALUM. COLOR TO BE SELECTED BY OWNER.	
LIGHTING/VENTILATION AND INSULATION	
1. ALL HABITABLE ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING OF NOT LESS THAN 28% OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, LOUVRES OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR. THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA OF SUCH ROOMS.	
EXCEPTIONS:	
1. THE GLAZED AREAS SHALL NOT BE OPENABLE WHERE THE OPENING IS NOT A REQUIRED TO BE AN EMERGENCY ESCAPE AND RESCUE OPENING AND AN APPROVED MECHANICAL VENTILATION SYSTEM IS PROVIDED CAPABLE OF PRODUCING 0.5 CFM OF EXHAUST AIR PER HOUR IN THE ROOM OR A ONE-HOUSE MECHANICAL VENTILATION SYSTEM IS INSTALLED IN THE HALLWAY. THE MINIMUM OPENABLE AREA TO THE OUTDOOR AIR IS 5 CFM PER OCCUPANT PER HR FOR THE FIRST BEDROOM AND ONE FOR EVERY ADDITIONAL BEDROOM.	
2. ALL BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING AREA OF NOT LESS THAN THREE SQUARE FEET, 1/2 OF WHICH MUST BE OPENABLE.	
EXCEPTION:	
1. THE GLAZED AREA SHALL NOT BE REQUIRED WHERE ARTIFICIAL LIGHT, AND A MECHANICAL VENTILATION SYSTEM ARE PROVIDED. VENTILATION AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE.	
2. ATTIC VENTILATION WITH A CEILING VAPOR BARRIER. PROVIDE AT LEAST ONE (1) SQUARE FOOT OF FREE AREA FOR EACH THREE HUNDRED (300) SQUARE FOOT OF CEILING AREA.	
3. ATTIC VENTILATION WITHOUT A CEILING VAPOR BARRIER. PROVIDE AT LEAST ONE (1) SQUARE FOOT OF FREE AREA FOR EACH ONE HUNDRED-FIFTY (150) SQUARE FOOT OF CEILING AREA.	
4. ATTIC VENTILATION TO PROVIDE A MOISTURE BARRIER AND PROPERLY INSULATE ALL WALLS AND CEILINGS.	
5. IF MECHANICAL ELECTRICAL OR PLUMBING EQUIPMENT IS TO BE PLACED IN ATTICS, DUE OVERHANGS AND OTHER SIMILAR UNCONDITIONED UNPLETED SPACES, THE CONTRACTOR IS RESPONSIBLE TO PROVIDE A PROPER ENCLOSURE, INSULATION, DUCT VENTILATION, ETC., TO AVOID MOISTURE, CONDENSATION, FREEZING, ICE DAMMING, AND OTHER SIMILAR ISSUES.	
PLUMBING:	
1. ALL SANITARY LINES WITHIN WALLS AND FLOORS ADJOINING LIVING SPACES ARE TO BE SOUND INSULATED.	
2. ALL SANITARY LINES WITHIN WALL OR FLOOR CAVITIES WHICH BORDER UNCONDITIONED SPACES ARE TO BE INSULATED AND ON THE WARM SIDE OF THE GROUT JACKET TO AVOID FREEZING.	
SMOKE & CARBON MONOXIDE DETECTORS:	
1. ALL ONE AND TWO FAMILY SHALL BE EQUIPPED WITH A HOUSEHOLD FIRE ALARM SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS AND NFPA 72.	
2. SMOKE DETECTORS ARE REQUIRED TO BE PERMANENTLY WIRED TO AN AC-PRIMARY POWER SOURCE AND SHALL RECEIVE STANDBY POWER SUPPLIED FROM BATTERY BACKUPS.	
3. WHERE MORE THAN ONE SMOKE DETECTOR IS REQUIRED, ALL REQUIRED DETECTORS SHALL BE INSTALLED SO THAT THE ACTIVATION OF ANY DETECTOR SHALL CAUSE THE ALARM IN ALL REQUIRED SMOKE DETECTORS IN THE DWELLING UNITS TO SOUND 85 DBA AT 10 FEET, 15% IN BEDROOMS.	
4. SMOKE DETECTORS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:	
a) IN EACH BEDROOM.	
b) IN EACH STORY OF THE DWELLING UNITS / CELLS FOR EACH 100 SQFT OR PART THEREOF.	
c) IN EACH BATHROOM.	
d) IN EACH KITCHEN OR PANTRY.	
e) IN EACH DRYER AND IN EACH DWELLING UNITS.	
f) PHOTO ELECTRIC SMOKE DETECTORS ARE REQUIRED IF LOCATED WITHIN 15 FEET OF A KITCHEN OR BATHROOM.	
g) WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED TO AN EXISTING DWELLING, THE ENTIRE DWELLING SHALL BE PROVIDED WITH SMOKE DETECTORS DESIGNED AND LOCATED AS REQUIRED FOR NEW DWELLINGS.	
CARBON MONOXIDE ALARM/DETECTOR:	
1. ALL ONE AND TWO FAMILY DWELLINGS SHALL BE EQUIPPED WITH A HOUSEHOLD CARBON MONOXIDE WARNING SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS AND NFPA 72.	
2. CARBON MONOXIDE DETECTORS SHALL BE LOCATED ON EVERY LEVEL OF THE DWELLING UNIT INCLUDING BASEMENTS AND CELLS (NOT INCLUDING GRANL SPACES AND UNINHABITABLE ATTICS).	
3. ALL ALARM-SOUNDING APPLIANCES SHALL HAVE A MINIMUM RATING OF 85 DBA AT 10 FEET.	

# FIRST COLONY DEVELOPMENT



OWNER / CLIENT:

FIRST COLONY DEV. LLC  
929 POST ROAD EAST  
MARLBOROUGH, MA 01752  
TEL. (508) 481-6095  
FAX (508) 460-0578

ARCHITECT:

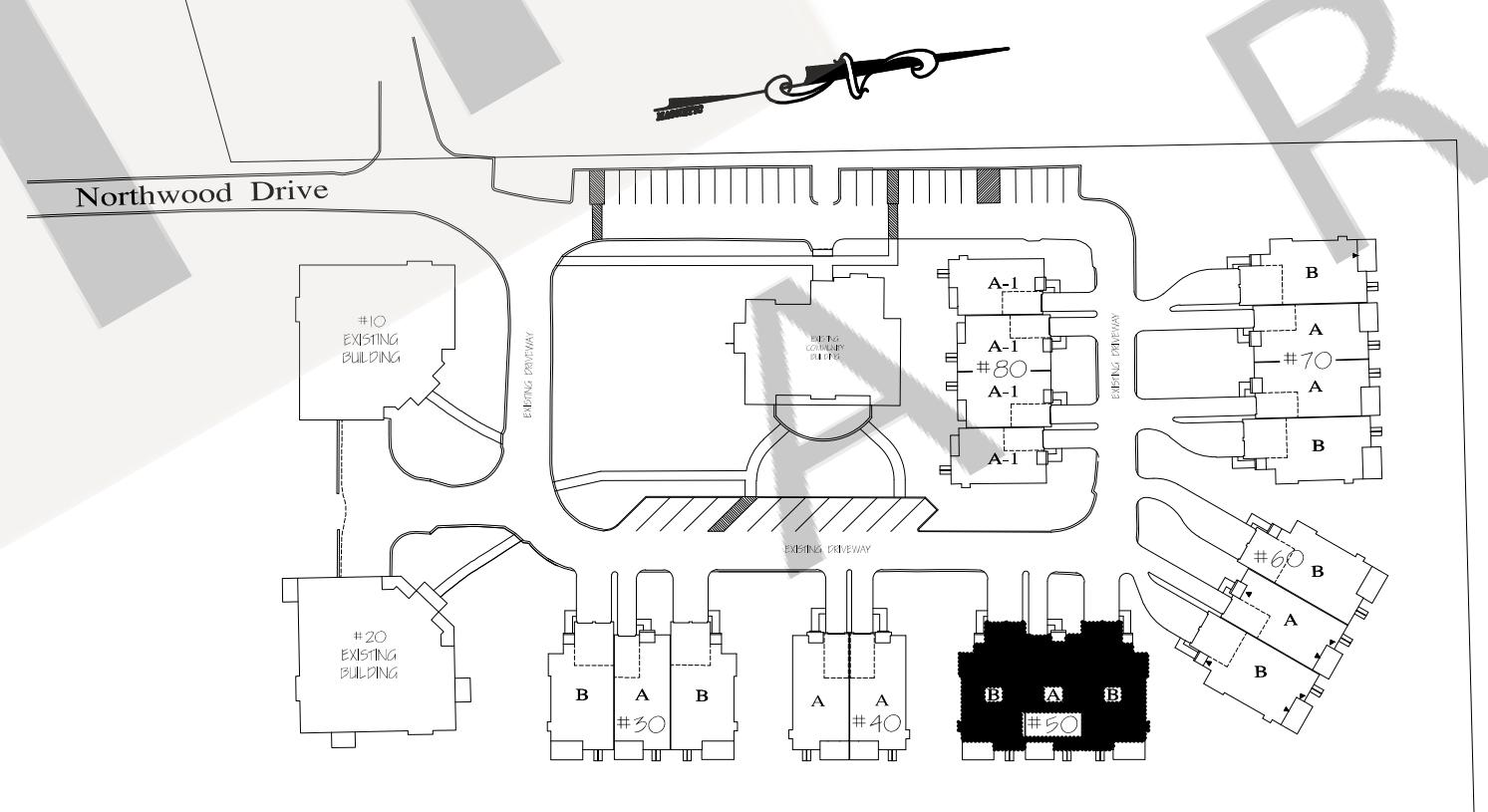
HPA DESIGN, INC.  
200 STONEWALL BLVD.  
SUITE 5  
WRENTHAM, MA 02093  
TEL. (508) 384-8838  
FAX (508) 384-0483

STRUCTURAL ENGINEER

DWD ENGINEERING, INC.  
5 MICHAEL RD.  
EAST BRIDGEWATER  
TEL. (508) 378-9602  
FAX (508) 378-2922

CONTRACTOR:

LOBISSEUR BUILDING CORP.  
1 CHARLESVIEW ROAD  
HOPEDALE, MA 01747  
TEL. (508) 478-6235  
FAX (508) 473-0794



KEY PLAN

## SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
- S1.3 2ND FLOOR FRAMING
- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
<b>GENERAL</b>	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (R10 EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORRECT, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT. IF THIS IS INCORRECT WITH THE SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/VALLEY INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
<b>DIMENSIONS</b>	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES A DIMENSION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSIONING AT STAIR REPRESENDS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. ALL EXTERIOR DIMENSIONS ARE TO THE CENTER LINE OF THE EXTERIOR WALL AND ALL OTHER BUILDINGS MUST BE CONFIRMED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
4. HEIGHTS DEPICTED THE BUILDING HEIGHT, SHOWS THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS ARE FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST. TO THE 1ST FLOOR TO ENSURE COMPLIANCE WITH ZONING AND BUILDING CODE HEIGHT REQUIREMENTS.	
5. ALL DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY 3'-0" TO 4'-0" DEPENDING ON THE CLOSET.	
6. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
<b>STAIRWAYS/DECKS</b>	
1. STAIRWAYS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT. ALL PORCH ABOVE THE FINISHED HANDBALUST SHALL BE PROVIDED WITH A MINIMUM 4'-0" CLEAR HEADROOM. THE DEPTH SHALL BE 1'-0" DEEP AND DEPTH SHALL BE 1'-0" IN DEPTH. NO DEPTH TO EXCEED 1'-0". WINDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10" AND A MAX. TREAD DEPTH OF 12". ALL TREADS SHALL BE PROVIDED WITH A MIN. 12" DEEP SLOPED PLATE ADDING TO THE TREAD NOSE OR FROM THE FLOOR SURFACE OF A LANDING OR PLATFORM.	
2. HANDRAILS SHALL BE PROVIDED AT EACH CONTINUOUS RUN OF TREADS OR FLIGHTS OF STEPS. THE MINIMUM HEIGHT SHALL BE 34"-0" AND A MAXIMUM NOT TO EXCEED 34"-0" IN TOTAL. GUARDRAILS SHALL BE PROVIDED ON THE OUTSIDE OF THE STAIRS.	
3. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLORAL, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLORAL OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLORAL OR GRADE BELOW SHALL BE NOT LESS THAN 34"-0" IN TOTAL. GUARDRAILS SHALL BE PROVIDED ON THE OUTSIDE OF THE STAIRS. GUARDRAILS, 36"-0" MINIMUM CLEAR OPENING BETWEEN RAILS, BALUSTERS AND FLOORS SHALL NOT EXCEED 4" INCHES.	
EXCEPTION: THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH A SIZE THAT A 5X 5 INCH (A) SPHERE CANNOT PASS THROUGH. OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIRS SHALL NOT ALLOW A SPHERE 4-3/8 INCHES IN DIAMETER TO PASS THROUGH.	
4. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF AN INDOOR BASEMENT STAIRS OR INSTITUTE THE WALLS AND CEILINGS OF THE BASEMENT STAIRS. AN ISOLATED DOOR SHALL BE PROVIDED AT THE BOTTOM OF AN INDOOR BASEMENT STAIRS.	
5. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND CEILINGS OF THE ATTIC STAIRS AND PROVIDE AN ISOLATED DOOR AT THE BOTTOM OF ATTIC STAIRS.	
EMERGENCY ESCAPE AND RESCUE OPENINGS / EXTERIOR WINDOWS AND DOORS	
1. WINDOW SIZES SHOWN ON THE DRAWINGS ARE BASED GENERICALLY ON ANDERSON AND THE OWNER OR GENERAL CONTRACTOR WHERE APPLICABLE SHALL CHOOSE THE FINA MANUFACTURER. WINDOW SIZES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDER. ROUGH OPENINGS SHALL BE PROVIDED BY THE MANUFACTURER.	
2. BASEMENTS, ATTICS, EXTERIOR WALLS AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW. EACH SHALL HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING. THESE OPENINGS SHALL NOT REQUIRE ONE SIDE TO SWING OUT. THESE OPENINGS SHALL NOT REQUIRE ONE SIDE TO SWING OUT.	
a) SILL HEIGHT SHALL NOT BE MORE THAN 48 INCHES ABOVE THE FLOOR.	
b) A DOOR SWINGING THROUGH BELOW THE JACKSON HEIGHT ELEVATION IS USED AS AN EMERGENCY ESCAPE AND RESCUE OPENING. IF THE DOOR IS PROVIDED WITH A DEADBOLT ENCLOSURE, THE DOOR SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT AND WHEN THE DEADBOLT IS FULLY OPENED IT SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT.	
c) EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A 5'0" ELEVATION BELOW THE ADJACENT GROUND FLOOR SHALL BE PROVIDED IN ACCORDANCE WITH THE 2009 INTERNATIONAL RESIDENTIAL CODE. THE OPENING SHALL BE 36"-0" IN NOMINAL WIDTH AND A MINIMUM HORIZONTAL PROJECTION OF 36"-0". THE PERSON HELD SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO FULLY OPENED.	
d) DOUBLE HUNG ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.1" SQUARE FEET.	
EXCEPTION: 1. STARWAYS, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS.	
2. DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL BE PERMITTED TO HAVE A MIN. CLEAR OPENING OF 24"-0" X 30"-0" IN NOMINAL SIZE.	
3. REQUIRED EXIT SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES.	
4. REQUIRED EXIT SHALL BE PROVIDED IN AN UNOBSTRUCTED SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.	
5. ESCAPE FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36"-0" WITH A NOMINAL HEIGHT SHALL OF 72"-0" NOMINAL WIDTH OR SIX FEET EIGHT INCHES IN NOMINAL HEIGHT AND MAY BE SLIDING OR SIDE-HINGED. Emergency exit doors from garages are permitted provided that the attached garage is also provided with a 32"-0" EXIT DOOR.	
6. ALL OTHER EXTERIOR DOORS IN EXCESS OF ONE REQUIRED EXIT DOOR ARE NOT REQUIRED TO COMPLY.	
7. ALL INTERIOR DOORS PROVIDING ACCESS TO HABITABLE ROOMS SHALL HAVE A NOMINAL WIDTH OF 30 INCHES AND BE 8'-0" HIGH. THESE DOORS SHALL BE PROVIDED WITH A NOMINAL HEIGHT OF 72"-0" NOMINAL WIDTH.	
8. THE REQUIRED EXIT DOORS SHALL BE LISTED FOR AND REQUIRED TO BE INTERCONNECTED TO ALL SMOKE DETECTORS. THE REQUIRED HOMEDEFIRE FIRE ALARM SYSTEM SUCH THAT THE ACTIVATION OF THE SMOKE DETECTOR WILL ACTIVATE ALL OF THE ADDRESS ALARMS OF THE HOMEDEFIRE ALARM SYSTEM THROUGHOUT THE DWELLING.	
9. A DOOR OR LANDING SHALL NOT SWING ON THE SIDE OF AN EXTERIOR WALL. THE POINT OF DRAFT LANDING SHALL BE PROVIDED ON THE SIDE OF THE DOOR SERVED AND HAVE A MINIMUM DIMENSION OF 36"-0" MEASURED IN THE DIRECTION OF TRAVEL.	
EXCEPTION: THE 3-UNIT TOWNHOUSE HAS AN AGGREGATE AREA OF 1/2120 SF AND SHALL BE DESIGNED WITH A MINIMUM NFPA 108 SYSTEM.	
10. SMOKE ALARMS: These drawings and specifications were prepared for use at the location indicated herein. They are expressly limited to the identified location and are not for reproduction by any method, in whole or in part, except as is prohibited by law without written permission of HPA Design, ©2010	
<b>MINIMUM ROOM REQUIREMENTS</b>	
1. HABITABLE ROOMS, HALLWAYS, CORRIDORS, BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS AND BASEMENTS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN SEVEN (7) FEET MEASURED FROM THE FINISH FLOOR TO THE LOWEST PROJECTION FROM THE CEILING.	
EXCEPTION: 1. BEAMS AND GIRDERS SPACED NOT LESS THAN FOUR (4) FEET ON CENTER MAY PROJECT NOT MORE THAN SIX (6) INCHES BELOW THE REQUIRED CEILING HEIGHT.	
2. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORRECT, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT. IF THIS IS INCORRECT WITH THE SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.	
3. NOT MORE THAN 50% OF THE REQUIRED FLOOR AREA OF A ROOM IS PERMITTED TO HAVE A SLOPED CEILING LESS THAN SEVEN (7) FEET IN HEIGHT IN ANY PORTION OF THE REQUIRED FLOOR AREA LESS THAN FIVE FEET IN LENGTH.	
4. BATHROOMS SHALL HAVE A MINIMUM CEILING HEIGHT OF SIX FEET EIGHT INCHES OVER THE FIXTURE AND AT THE SHOWERHEAD.	
5. KITCHENS SHALL HAVE A CEILING HEIGHT OF SEVEN FEET EIGHT INCHES ABOVE A MINIMUM 30" X 30" AREA AT THE SHOWERHEAD.	
6. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE HABITABLE ROOM WITH A GROSS FLOOR AREA OF AT LEAST 150 SQ FEET.	
7. HABITABLE ROOMS SHALL HAVE A FLOOR AREA OF NOT LESS THAN 700 SQ FEET EXCEPT KITCHENS.	
8. COOKING AREAS SHALL HAVE A CEILING HEIGHT MEASURING LESS THAN FIVE FEET IN ANY PORTION OF THE REQUIRED FLOOR AREA.	
9. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/VALLEY INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
<b>ROOFING AND Siding</b>	
1. PROVIDE CONTINUOUS 6'-0" wide FIBERGLASS REINFORCED, BITUMEN, ICE AND WATER SHIELD AT ALL ROOF EDGES CENTERED IN ALL VALLEYS AND AT ROOF WALL INTERSECTIONS CARRIED 1'-0" UP THE WALL/FACE TO MANUFACTURER'S INSTALLATION INSTRUCTIONS.	
2. PROVIDE ALUMINUM FLASHING OVER ALL WINDOW AND DOOR HEAD IRON AND AT THE CONNECTION BETWEEN ALL EXTERIOR ROOF EDGES.	
3. PROVIDE ALUMINUM FLASHING OVER ALL ROOF/WALL AND ROOF/GHIBNEY INTERSECTIONS.	
4. PROVIDE CONTINUOUS VENTED DRIP EDGE AT ALL SOFFIT OVERHANGS.	
5. PROVIDE FELT UNDER ALL ROOF SHINGLES UNLESS SPECIFIED OTHERWISE.	
6. PROVIDE CONTINUOUS RIDGE VENTS (UNLESS SPECIFIED AS OTHERWISE). SEE BUILDING REQUIREMENT FOR EXTENT.	
7. ALL GUTTERS AND DOWNGOATS TO BE PREFINISHED ALUM. COLOR TO BE SELECTED BY OWNER.	
8. LIGHTVENTILATION AND INSULATION	
9. ALL HABITABLE ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING OF NOT LESS THAN 20% OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, LOUVRES OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR. THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA OF THE ROOM.	
EXCEPTION: 1. THE GLAZED AREAS SHALL NOT BE OPENABLE WHERE THE OPENING IS NOT A REQUIRED TO BE AN EMERGENCY ESCAPE AND RESCUE OPENING AND AN APPROVED MECHANICAL VENTILATION SYSTEM IS PROVIDED CAPABLE OF PROVIDING 0.05 Q/S ARE OPENING PER HOUR. IN THE ROOM OR A ONE-HOUSE MECHANICAL VENTILATION SYSTEM IS PROVIDED CAPABLE OF PROVIDING AN AVERAGE OF 60 Q/H PER OCCUPANT PER 24 HRS FOR THE FIRST BEDROOM AND ONE FOR EVERY ADDITIONAL BEDROOM.	
2. ALL BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING AREA OF NOT LESS THAN THREE SQUARE FEET, 1/2 OF WHICH MUST BE OPENABLE.	
EXCEPTION: THE GLAZED AREA SHALL NOT BE REQUIRED WHERE ARTIFICIAL LIGHT AND A MECHANICAL VENTILATION SYSTEM ARE PROVIDED. VENTILATION AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE.	
3. ATTIC VENTILATION WITH A CEILING VAPOR BARRIER. PROVIDE AT LEAST ONE (1) SQUARE FOOT OF FREE AREA FOR EACH THREE HUNDRED (300) SQUARE FOOT OF CEILING AREA.	
4. ATTIC VENTILATION WITHOUT A CEILING VAPOR BARRIER. PROVIDE AT LEAST ONE (1) SQUARE FOOT OF FREE AREA FOR EACH ONE HUNDRED-FIFTY (150) SQUARE FOOT OF CEILING AREA.	
5. IF RESIDENTIAL ELECTRICAL OR PLUMBING EQUIPMENT IS TO BE PLACED IN ATTICS, DUE OVERHANGS AND OTHER SIMILAR UNCONDITIONED UNPLETED SPACES, THE CONTRACTOR IS RESPONSIBLE TO PROVIDE A PROPER ENCLOSURE, INSULATION, DUCT VENTILATION, ETC., TO AVOID MOISTURE, CONDENSATION THAN ICE DAMMING, AND OTHER SIMILAR ISSUES.	
<b>PLUMBING</b>	
1. ALL SANITARY LINES WITHIN WALLS AND FLOORS ADJOINING LIVING SPACES ARE TO BE SOUND INSULATED.	
2. ALL SANITARY LINES WITHIN WALL OR FLOOR CAVITIES WHICH BORDER UNCONDITIONED SPACES ARE TO BE INSULATED AND ON THE WARM SIDE OF THE GROUT ISOLATOR TO AVOID FREEZING.	
<b>SMOKE &amp; CARBON MONOXIDE ALARMS/DETECTORS</b>	
1. ALL ONE AND TWO FAMILY SHALL BE EQUIPPED WITH A HOUSEHOLD FIRE ALARM SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS AND THE OWNER'S AGREED UPON CONTRACT.	
2. SMOKE DETECTORS ARE REQUIRED TO BE PERMANENTLY WIRED TO AN AC-PRIMARY POWER SOURCE AND SHALL HAVE SECONDARY STANDBY POWER SUPPLIED FROM CONTINUED BATTERIES.	
3. WHERE MORE THAN ONE SMOKE DETECTOR IS REQUIRED, ALL REQUIRED DETECTORS SHALL BE INSTALLED SO THAT THE ACTIVATION OF ANY DETECTOR SHALL CAUSE THE ALARM IN ALL REQUIRED SMOKE DETECTORS IN THE DWELLING UNLESS THE SMOKE ALARM IS LISTED FOR AND DESIGNED FOR MULTIPLE SMOKE ALARMS.	
4. SMOKE DETECTORS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: a) IN ALL BEDROOMS. b) IN EACH STORY WITHIN ONE HUNDRED FEET OF THE SMOKE ALARM. c) IN EACH STORY WHERE THERE IS A SMOKE ALARM LOCATED WITHIN FIFTEEN FEET OF THE SMOKE ALARM.	
5. PHOTO ELECTRIC SMOKE DETECTORS ARE REQUIRED IF LOCATED WITHIN 15'-0" OF A KITCHEN OR BATHROOM.	
6. WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED TO AN EXISTING DWELLING, THE ENTIRE BUILDING SHALL BE PROVIDED WITH SMOKE DETECTORS DESIGNED AND LOCATED AS REQUIRED FOR NEW DWELLINGS.	
<b>CARBON MONOXIDE ALARMS/DETECTORS</b>	
1. ALL ONE AND TWO FAMILY DWELLINGS SHALL BE EQUIPPED WITH A HOUSEHOLD CARBON MONOXIDE WARNING SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS AND THE OWNER'S AGREED UPON CONTRACT.	
2. CARBON MONOXIDE DET	

# FIRST COLONY DEVELOPMENT



OWNER / CLIENT:

FIRST COLONY DEV. LLC  
929 POST ROAD EAST  
MARLBOROUGH, MA 01752  
TEL. (508) 481-6095  
FAX (508) 460-0578

ARCHITECT:

HPA DESIGN, INC.  
200 STONEWALL BLVD.  
SUITE 5  
WRENTHAM, MA 02093  
TEL. (508) 384-8838  
FAX (508) 384-0483

STRUCTURAL ENGINEER

DWD ENGINEERING, INC.  
5 MICHAEL RD.  
EAST BRIDGEWATER  
TEL. (508) 378-9602  
FAX (508) 378-2922

CONTRACTOR:

LOBISSEUR BUILDING CORP.  
1 CHARLESVIEW ROAD  
HOPEDALE, MA 01747  
TEL. (508) 418-6235  
FAX (508) 413-0794



KEY PLAN

## SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
- S1.3 2ND FLOOR FRAMING
- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
<b>GENERAL</b>	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (R10 EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE THE CONTRACTOR WITH A COPY OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO BEGINNING CONSTRUCTION.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
<b>DIMENSIONS</b>	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INSIDE FACE OF A STUD OR CONCRETE WALL ARE FROM THE INSIDE FACE OF THAT OPENING FROM THE CENTER OF THE OPENING TO THE OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES A DIMENSION TO THE MIDDLE OF THE STUD UNLESS OTHERWISE NOTED.	
2. INTERIOR DIMENSIONING AT STAIR REPRESENDS A DIMENSION TO THE FINISHED FACE OF THE STAIR.	
3. ALL EXTERIOR DIMENSIONS ARE TO THE OUTSIDE OF THE EXTERIOR WALL AND ALL EXTERIOR CORNERS AND ALL OTHER BULLETS, MUST BE CONFIRMED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
4. HEIGHTS DEPICTED THE BUILDING HEIGHT, SHOWS OF THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS ARE FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST STAIRWAY TO THE ROOF. THE ROOF HEIGHT IS THE TOTAL HEIGHT OF THE ROOF DECK, THE ROOFING, AND ALL OTHER BULLETS, THAT ARE NOT ENDED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
5. ALL DOORS THAT ARE NOT ENDRESSED ARE TYPICALLY 4'-0" TO 4'-6" DEPENDING ON THE CLOSING SIDE.	
6. DOORS LOCATED IN EASING AREAS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
<b>STAIRWAYS/DECKS</b>	
1. STAIRWAYS SHALL NOT BE LESS THAN 4'-0" IN CLEAR HEIGHT. IN ALL PORTIONS ABOVE THE FINISHED HANDBALUST, THE MINIMUM CLEAR HEIGHT SHALL BE 6'-0". IN ALL PORTIONS BELOW THE FINISHED HANDBALUST, THE DEPTH SHALL BE 4'-0" INCHES TO EXCEED 1'-0". WINDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 1'-0" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10"-0". ALL OTHER TREADS SHALL BE 10"-0" DEEP. ALL TREADS SHALL BE 10"-0" DEEP AND 10"-0" IN DEPTH, EXCEPTING THE TREAD NOSE AND FROM THE FLOOR SURFACE OF A LANDING OR PLATFORM.	
2. HANDRAILS SHALL BE PROVIDED AT EACH CONTINUOUS RUN OF TREADS OR FLIGHTS OF STEPS. ALL HANDRAILS SHALL BE 3'-0" IN HEIGHT. MINIMUM HEIGHT SHALL BE 3'-0" AND MAXIMUM SHALL BE 3'-4" IN HEIGHT. ALL OTHER DOORS THAT ARE NOT ENDRESSED ARE TYPICALLY CENTERED WITHIN THE GLOSER.	
3. GUARDRAILS, 36" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLURRY, PORCH OR BALCONY AREA MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOOR OR GRADE BELOW SHALL BE 36" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30" OR MORE SHALL BE 30" IN HEIGHT. GUARDRAILS ON OPEN SIDES OF STAIRS WITH A TOTAL RISE OF 30" OR MORE SHALL BE 30" IN HEIGHT. GUARDRAILS, RAILINGS, RAILS, BALUSTERS AND FLOORS SHALL NOT EXCEED 4" INCHES.	
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The banner features the word "FESTIVAL" in a unique, abstract font. Each letter is formed by several black lines that overlap and loop around each other, creating a complex, textured appearance. The letters are arranged horizontally, with "F" on the far left, followed by "E", "S", "T", "F", "E", "S", "T", "V", "I", "L", "A", "P", "I", and "T" on the far right. The background is plain white.



OWNER / CLIENT:

# ARCHITECT:

# STRUCTURAL ENGINEER

## CONTRACTOR:

FIRST COLONY DEV. LLC  
929 POST ROAD EAST  
MARLBOROUGH, MA 01752  
TEL. (508) 481-6095  
FAX (508) 460-0578

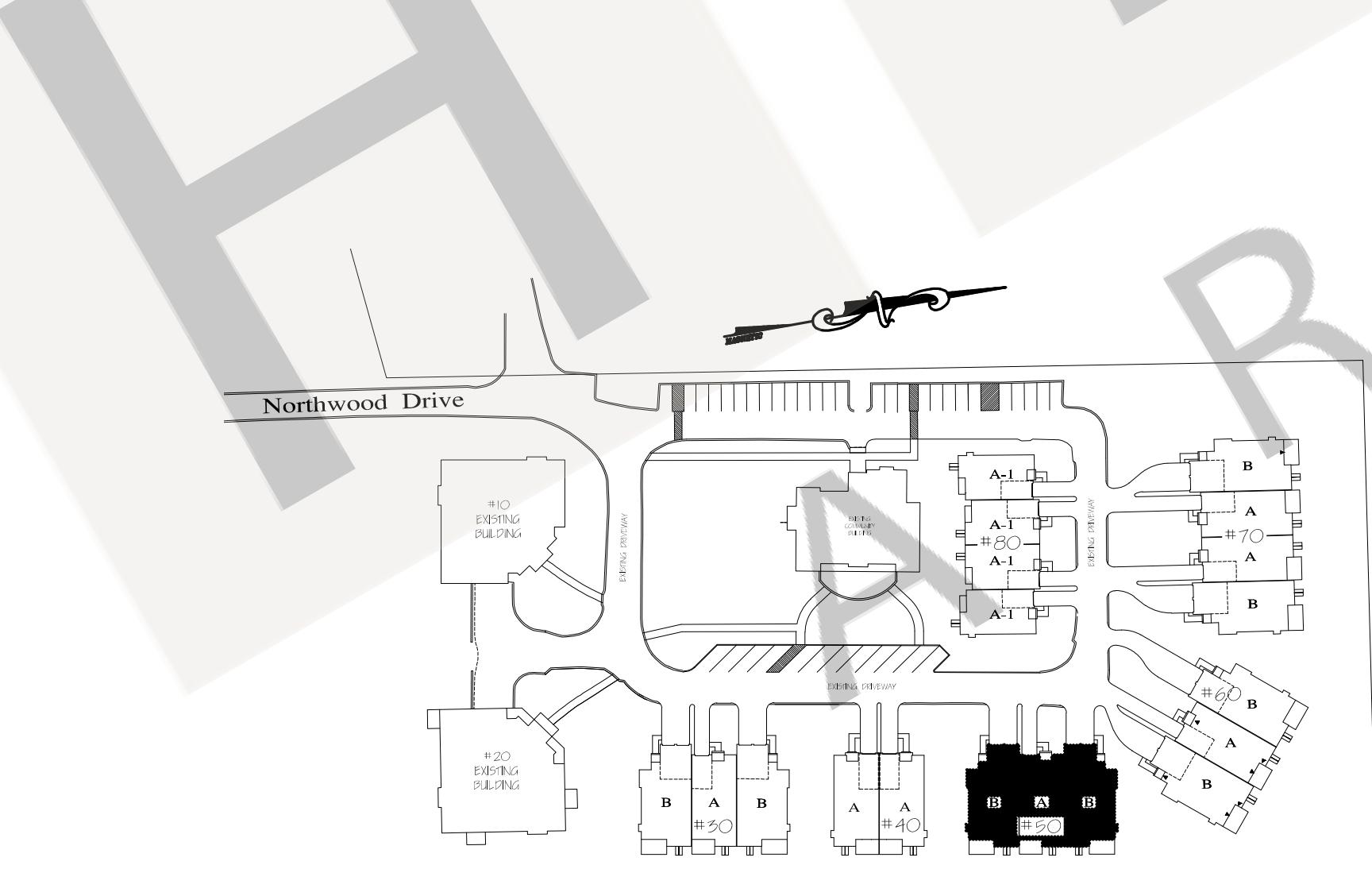
HPA DESIGN, INC.  
200 STONEWALL BLVD.  
SUITE 5  
WRENTHAM, MA 02093  
TEL. (508) 384-8838  
FAX (508) 384-0483

DWD ENGINEERING, INC.  
5 MICHAEL RD.  
EAST BRIDGEWATER  
TEL. (508) 378-9602  
FAX. (508) 378-2922

# SCHEDULE OF DRAWINGS:

- 0.1 TITLE SHEET
  - 1.1 1ST FLOOR PLAN
  - 1.2 2ND FLOOR PLAN
  - 2.1 ELEVATIONS
  - 2.2 ELEVATIONS
  - 3.1 BUILDING SECTIONS
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  - .5 ROOF FRAMING
  - 2.1 DETAILS
  - 2.2 DETAILS

## KEY PLAN



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**FIRST COLONY DEV. LLC**

#50 NORTHWOOD DRIVE, NORTHWOOD TOWNHOUSE CONDOS, SUDBURY, MA

---

**SHEET:**

A.0.1

JOB NO. 20180101

# FIRST COLONY DEVELOPMENT



OWNER / CLIENT:

FIRST COLONY DEV. LLC  
929 POST ROAD EAST  
MARLBOROUGH, MA 01752  
TEL. (508) 481-6095  
FAX (508) 460-0578

ARCHITECT:

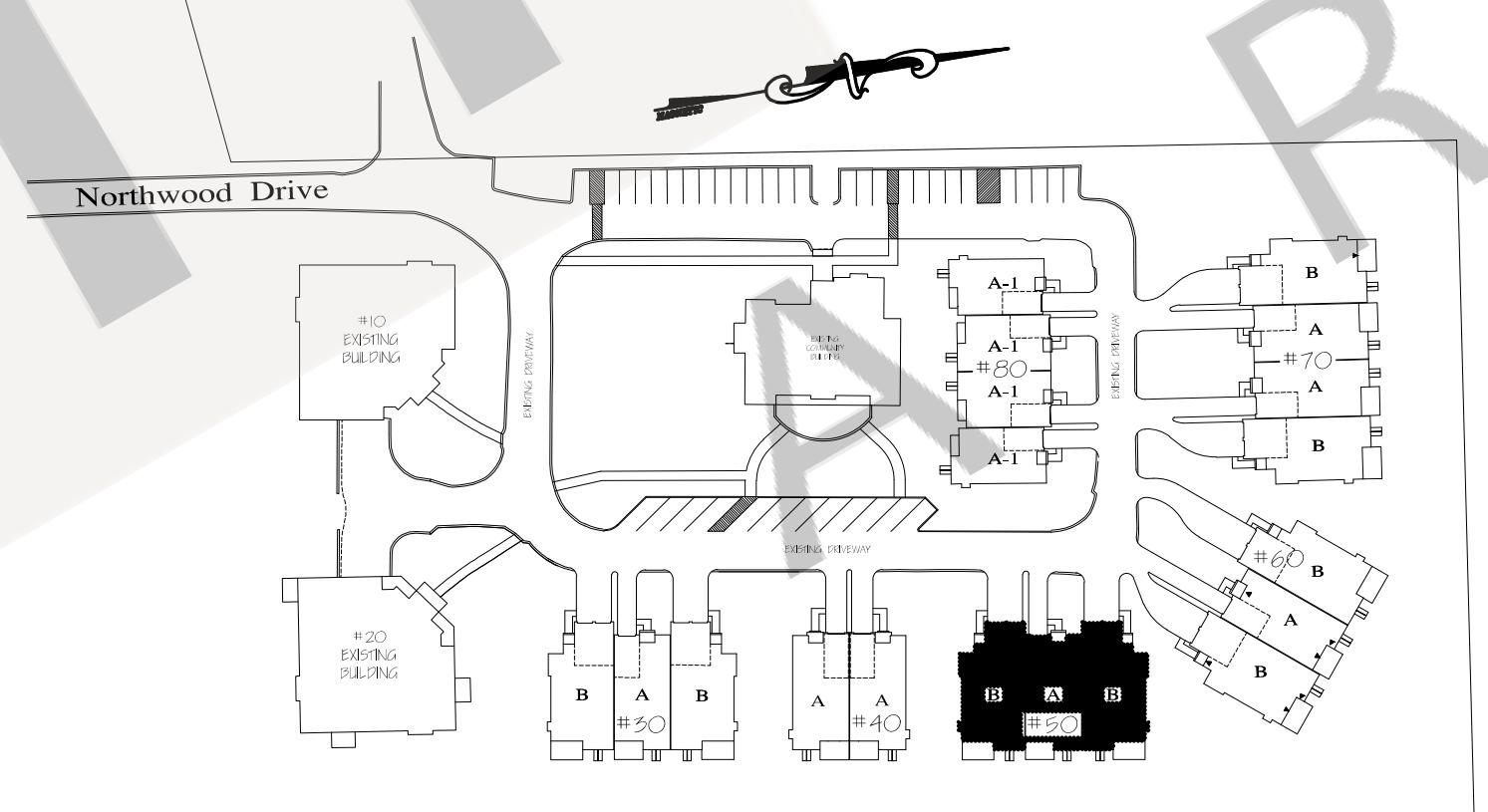
HPA DESIGN, INC.  
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WRENTHAM, MA 02093  
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STRUCTURAL ENGINEER

DWD ENGINEERING, INC.  
5 MICHAEL RD.  
EAST BRIDGEWATER  
TEL. (508) 378-9602  
FAX (508) 378-2922

CONTRACTOR:

LOBISSEUR BUILDING CORP.  
1 CHARLESVIEW ROAD  
HOPEDALE, MA 01747  
TEL. (508) 478-6235  
FAX (508) 473-0794



KEY PLAN

## SCHEDULE OF DRAWINGS:

- A0.1 TITLE SHEET
- A1.1 1ST FLOOR PLAN
- A1.2 2ND FLOOR PLAN
- A2.1 ELEVATIONS
- A2.2 ELEVATIONS
- A3.1 BUILDING SECTIONS
- A3.2 BUILDING SECTIONS
- A4.1 WALL SECTIONS
- A4.2 AIR BARRIER NOTES & DETAILS
- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
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- S1.5 ROOF FRAMING
- S2.1 DETAILS
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GENERAL NOTES	
<b>GENERAL</b>	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (R10 EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORRECT, THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT. IF THIS IS INCORRECT WITH THE SITE CONDITIONS PRIOR TO BEGINNING CONSTRUCTION.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES TO BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/VALLEY INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
<b>DIMENSIONS</b>	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES A DIMENSION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSIONING AT STAIR REPRESENDS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. ALL EXTERIOR DIMENSIONS ARE TO THE CENTER LINE OF THE EXTERIOR WALL AND ALL OTHER BULLETS, MUST BE CONFIRMED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
4. HEIGHTS DEPICTING THE BUILDING HEIGHT, SHOWS THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST STAIRWAY TO THE ROOF. THE ROOF HEIGHT IS THE TOTAL HEIGHT OF THE ROOF DECK, THE ROOFING, AND ALL OTHER BULLETS, THAT ARE NOT ENDED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
5. ALL DOORS THAT ARE NOT ENDRESSED ARE TYPICALLY 4'-0" TO 4'-6" (DEPENDING ON THE CLOSET).	
6. DIMENSIONS LOCATING CASED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
<b>STAIRWAYS/DECKS</b>	
1. STAIRWAYS SHALL NOT BE LESS THAN 8'-0" IN CLEAR HEIGHT. ALL PORCH ABOVE THE FINISHED HANDBALUST SHALL BE PROVIDED WITH AN OPENABLE RAILING. THE MINIMUM CLEAR HEIGHT SHALL BE 42"-0" AND DEPTH SHALL BE 42"-0" INCHES. THE DEPTH OF THE TREAD SHALL NOT EXCEED 1/4". WINDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10"-0". THE DEPTH OF THE TREADS SHALL NOT EXCEED 1/4" IN THE SLOPED PLANE ADDING THE TREAD NOSE OR FROM THE FLOOR SURFACE OF A LANING OR PLATFOR.	
2. HANDRAILS SHALL BE PROVIDED AT EACH CONTINUOUS RUN OF TREADS OR FLIGHTS OF STEPS THAT ARE 12' OR MORE IN LENGTH. MINIMUM HEIGHT SHALL BE 34"-0" AND MAXIMUM SHALL NOT EXCEED 37"-0". ALL OTHER DOORS THAT ARE NOT ENDRESSED ARE TYPICALLY CENTERED WITHIN THE CLOSET.	
3. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S HIGHER THAN 30"-0" INCHES ABOVE A FLOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30') INCHES ABOVE A FLOR OR GRADE BELOW, SHALL BE 42"-0" INCHES HIGH. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30') INCHES ABOVE A FLOR OR GRADE BELOW, SHALL BE 42"-0" INCHES HIGH. RAILS, BALUSTERS, AND FLOORS SHALL NOT EXCEED 4"-0" INCHES.	
4. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH A SIZE THAT A 5X 5 INCH (6" SPHERE) CANNOT PASS THROUGH. OPENINGS FOR REQUIRED GUARDS ON THE SIDES OF STAIRS SHALL NOT ALLOW A SPHERE 4-3/8" INCHES TO PASS THROUGH.	
5. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF AN INDEPENDENT STAIRCASE OR INSTITUTE THE WALLS AND UNDERNEATH THE STAIRS. ISOLATED DOORS SHALL NOT ALLOW A SPHERE 4-3/8" INCHES TO PASS THROUGH.	
6. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. ISOLATE THE WALLS AND UNDERNEATH STAIRS AND PROVIDE AN ISOLATED DOOR AT THE BOTTOM OF ATTIC STAIRS.	
7. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF SLEEPING PORCHES. ISOLATE THE WALLS AND UNDERNEATH STAIRS AND PROVIDE AN ISOLATED DOOR AT THE BOTTOM OF SLEEPING PORCHES.	
8. HATCHES SHOWN ON THE DRAWINGS ARE BASED GENERICALLY ON ANDERSON AND THE OWNER OR GENERAL CONTRACTOR WHERE APPLICABLE SHALL CHOOSE THE FINA MANUFACTURER. WINDOW SHOUL BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDER. ROUGH OPENINGS SHALL BE PROVIDED BY THE MANUFACTURER.	
9. BASEMENTS, ATTICS, AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW. EACH SHALL HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING. THESE OPENINGS SHALL NOT REQUIRE ONE SIDE TO SWING OUT. ESCAPE AND RESCUE OPENINGS SHALL FOLLOW THE FOLLOWING CRITERIA:	
a) SILL HEIGHT SHALL NOT BE MORE THAN 48 INCHES ABOVE THE FLOOR.	
b) A DOOR SWINGING THROUGH BELOW THE JACKSON HEIGHT ELEVATION IS USED AS AN EMERGENCY ESCAPE AND RESCUE OPENING. IF THE DOOR IS PROVIDED WITH A DEADBOLT ENCLOSURE, THE DOOR SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT AND WHEN THE DEADBOLT IS FULLY OPENED IT SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT.	
c) EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A SILL ELEVATION BELOW THE JACKSON HEIGHT ELEVATION SHALL BE PROVIDED WITH A DOOR SWINGING THROUGH THE JACKSON HEIGHT ELEVATION. THE DOOR SHALL SWING OUT AND HAVE A MINIMUM HORIZONTAL PROJECTION OF 36"-0". THE PERSON HELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO FULLY OPENED.	
d) DOUBLE HUNG ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.1" SQUARE FEET.	
e) GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.0" SQUARE FEET.	
f) DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL BE PERMITTED TO HAVE A MIN. CLEAR OPENING OF 24"-0" X 30"-0" INCHES IN EITHER DIRECTION.	
g) EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE WITHOUT THE USE OF KEYS OR TOOLS.	
h) THE MINIMUM NET CLEAR OPENING SHALL BE 24"-0" X 30"-0" INCHES IN EITHER DIRECTION.	
i) DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL MEET ALL MINIMUM REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
j) DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL MEET ALL MINIMUM REQUIREMENTS AND OPERATIONAL CONSTRAINTS.	
k) IN HOMES WHERE THE OPENING OF A OPERABLE WINDOW LOCATED THEREIN TO ACCES THE OPENING, THE OPENING IS NOT ALLOWED TO PASS THROUGH THE OPENING IN THE LARGEST OPEN POSITION.	
l) OPENINGS THAT ARE PROVIDED WITH HINCH FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R402.3.	
m) HINCHES THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R402.4.	
n) OPENINGS THAT ARE PROVIDED WITH FALL PREVENTION DEVICES THAT COMPLY WITH SECTION R402.4.	
o) STARWAYS, RAMPS, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS.	
p) REQUIRED EXITS SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES.	
q) EXTERIOR EXIT SPACES UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.	
r) EXTERIOR DOORS FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36"-0" WITH A NOMINAL HEIGHT OF 72"-0" INCHES. THE NOMINAL WIDTH OR SIX FEET EIGHT INCHES IN NORMAL HEIGHT AND MAY BE SLIDING OR SIDE-HINGED. EXTERIOR DOORS FROM DWELLING UNITS IS PERMITTED PROVIDED THAT THE ATTACHED GARAGE IS ALSO PROVIDED WITH A 32"-0" EXIT DOOR.	
s) ALL OTHER EXTERIOR DOORS IN EXCESS OF ONE REQUIRED EXIT DOOR ARE NOT REQUIRED TO COMPLY WITH THE REQUIREMENTS OF THIS SECTION.	
t) ALL INTERIOR DOORS PROVIDING ACCESS TO HABITABLE ROOMS SHALL HAVE A NOMINAL WIDTH OF 30"-0" INCHES. THE NOMINAL WIDTH OF 30"-0" INCHES IS NOT REQUIRED IF THE DOOR IS PROVIDED WITH A NOMINAL WIDTH OF 28"-0" INCHES.	
u) A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR THAT IS LOCATED IN THE DIRECTION OF TRAVEL.	
<b>SPRINKLERS</b>	
The 3-unit townhouse has an aggregate area of 1,210 SF and shall be designed with a minimum NFPA 13 system.	
<b>HEAT DETECTORS</b>	
1. ALL ONE AND TWO FAMILY SHALL BE EQUIPPED WITH A HOUSEHOLD FIRE ALARM SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS, AND THE OWNER'S AGREEMENT.	
2. HEAT DETECTORS ARE REQUIRED TO BE PERMANENTLY WIRED TO AN AC-PRIARY POWER SOURCE AND SHALL RECEIVE STANDBY POWER SUPPLIED FROM CONTINUED BATTERIES.	
3. WHERE MORE THAN ONE SPACE DETECTOR IS REQUIRED, ALL REQUIRED DETECTORS SHALL BE INSTALLED SO THAT THE ACTIVATION OF ANY DETECTOR SHALL CAUSE THE ALARM IN ALL REQUIRED SMOKE DETECTORS IN THE DWELLING UNITS TO SOUND 85 DBA AT 10 FEET, 15 FEET IN BEDROOMS.	
4. SMOKE DETECTORS SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: a) IN EACH BEDROOM. b) IN EACH BATHROOM. c) IN EACH KITCHEN OR PANTRY. d) IN EACH UNIT. IF THE UNIT HAS MORE THAN ONE SMOKE DETECTOR, THE SMOKE DETECTORS SHALL BE PROVIDED IN THE KITCHEN OR PANTRY.	
5. PHOTO-ELECTRIC SMOKE DETECTORS ARE REQUIRED IF LOCATED WITHIN 15 FEET OF A KITCHEN OR BATHROOM.	
6. WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED TO AN EXISTING DWELLING, THE ENTIRE BUILDING SHALL BE PROVIDED WITH SMOKE DETECTORS DESIGNED AND LOCATED AS REQUIRED FOR NEW DWELLINGS.	
<b>CARBON MONOXIDE ALARM/DETECTORS</b>	
1. ALL ONE AND TWO FAMILY DWELLINGS SHALL BE EQUIPPED WITH A HOUSEHOLD CARBON MONOXIDE WARNING SYSTEM. ALL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S INSTRUCTIONS, AND THE OWNER'S AGREEMENT.	
2. CARBON MONOXIDE DETECTORS SHALL BE LOCATED ON EVERY LEVEL OF THE DWELLING UNITS INCLUDING BASEMENTS AND CELLS (NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS).	
3. ALL ALARM-SOUNDING APPLIANCES SHALL HAVE A MINIMUM RATING OF 85 DBA AT 10 FEET.	
<b>HEAT DETECTORS</b>	
1. HEAT DETECTORS SHALL BE INSTALLED IN ANY INTERNAL OR ATTACHED GARAGE TO THE MAIN HOUSE. A NEW ADDITION ATTACHED GARAGE TO AN EXISTING DWELLING INSTALLED IN ACCORDANCE WITH THE EXISTING DWELLING UNITS SHALL BE PROVIDED WITH A COMPATIBLE HEAT DETECTOR. THE EXISTING DWELLING UNITS SHALL BE CONNECTED TO A CANISTER OR A COMPATIBLE HEAT DETECTOR CONTAINING A SOUNING DEVICE LOCATED IN THE ATTACHED GARAGE.	
2. FOR FLAT-FINISHED CEILINGS, THE DETECTOR SHALL BE LOCATED ON OR NEAR THE CENTER OF THE GARAGE CEILING. FOR VAULTED/GLODED CEILINGS, THE DETECTOR SHALL BE PLACED IN THE APPROXIMATE CENTER OF THE CEILING.	
3. FOR THE REAR DWELLING, THE DETECTOR SHALL BE LISTED FOR AND REQUIRED TO BE INTERCONNECTED TO ALL SMOKE DETECTORS IN THE REAR DWELLING.	
4. THE REQUIRED HEAT DETECTOR SHALL BE LISTED FOR AND REQUIRED TO BE INTERCONNECTED TO ALL SMOKE DETECTORS IN THE REAR DWELLING. THE REAR DWELLING FIRE ALARM SYSTEM SHALL BE LISTED FOR AND REQUIRED TO BE INTERCONNECTED TO THE REAR DWELLING HEAT DETECTOR.	
5. A DOOR OR LANDING SHALL MEET THE REQUIREMENT FOR THE PORTION OF THE DOOR THAT IS LOCATED IN THE DIRECTION OF TRAVEL.	
<b>SPRINKLERS</b>	
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<input type="checkbox"/> 200 Stonewall Blvd, Suite 5 Wrentham, MA 02093 508.384.8838 (T) 508.384.0483 (F) contact@hpadesign.com www.HPAdesign.com	
<b>CONSTRUCTION BY:</b> <b>FIRST COLONY DEV. LLC</b> #50 NORTHWOOD DRIVE, NORTHWOOD TOWNSHOUSE CONDO'S, SUDBURY, MA	
<b>TITLE SHEET</b>	
JOB NO. 20180101	
DATE: AUGUST 1, 2010	
DRAWN BY: RWB contact@hpadesign.com	
CHECKED BY: HPA	
PATH: 20180101_FIRST COLONY DEV 20180101LCDs	
SCALE: SEE DRAWING	
REVISIONS: # DATE DESC.	
0 ISSUED FOR CONSTRUCTION	

The banner features the word "FESTIVAL" in a unique, abstract font. Each letter is formed by several black lines that overlap and loop around each other, creating a complex, textured appearance. The letters are arranged horizontally, with "F" on the far left, followed by "E", "S", "T", "F", "E", "S", "T", "V", "I", "L", "A", "P", "I", and "T" on the far right. The background is plain white.



OWNER / CLIENT:

# ARCHITECT:

# STRUCTURAL ENGINEER

# CONTRACTOR:

FIRST COLONY DEV. LLC  
929 POST ROAD EAST  
MARLBOROUGH, MA 01752  
TEL. (508) 481-6095  
FAX (508) 460-0578

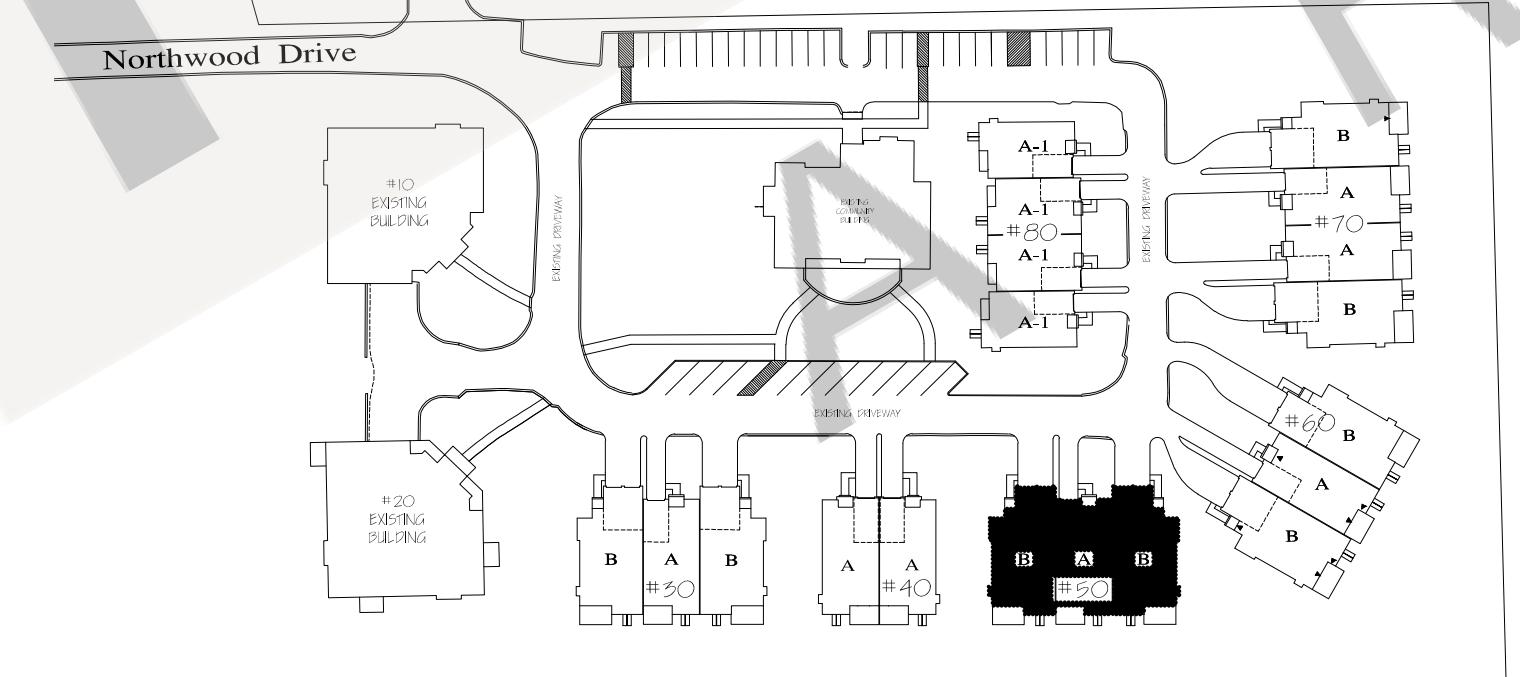
HPA DESIGN, INC.  
200 STONEWALL BLVD.  
SUITE 5  
WRENTHAM, MA 02093  
TEL. (508) 384-8838  
FAX (508) 384-0483

DWD ENGINEERING, INC.  
5 MICHAEL RD.  
EAST BRIDGEWATER  
TEL. (508) 378-9602  
FAX. (508) 378-2922

# SCHEDULE OF DRAWINGS:

- O.I TITLE SHEET
  - I.I 1ST FLOOR PLAN
  - I.2 2ND FLOOR PLAN
  - 2.I ELEVATIONS
  - 2.2 ELEVATIONS
  - 3.I BUILDING SECTIONS
  - 3.2 BUILDING SECTIONS
  - 4.I WALL SECTIONS
  - 4.2 AIR BARRIER NOTES & DETAILS
  - 5.I DETAILS
  - I.I FOUNDATION PLAN
  - I.2 1ST FLOOR FRAMING
  - I.3 2ND FLOOR FRAMING
  - I.4 CEILING FRAMING
  - I.5 ROOF FRAMING
  - 2.I DETAILS
  - 2.2 DETAILS

## KEY PLAN



— SEE —

**FIRST COLONY DEV. LLC**  
CONSTRUCTION BY:

#50 NORTHWOOD DRIVE, NORTHWOOD TOWNHOUSE CONDOS, SUDBURY, MA

## **SHEET:**

A.0.1

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JOB NO 30180101