

# Opacity Comparisons

The banner features the word "FESTIVAL" in a unique, abstract font. Each letter is formed by several black lines that overlap and loop around each other, creating a complex, textured appearance. The letters are arranged horizontally, with "F" on the far left, followed by "E", "S", "T", "F", "E", "S", "T", "V", "I", "L", "A", "P", "I", and "T" on the far right. The background is plain white.



OWNER / CLIENT:

# ARCHITECT:

# STRUCTURAL ENGINEER

# CONTRACTOR:

FIRST COLONY DEV. LLC  
929 POST ROAD EAST  
MARLBOROUGH, MA 01752  
TEL. (508) 481-6095  
FAX (508) 460-0578

HPA DESIGN, INC.  
200 STONEWALL BLVD.  
SUITE 5  
WRENTHAM, MA 02093  
TEL. (508) 384-8838  
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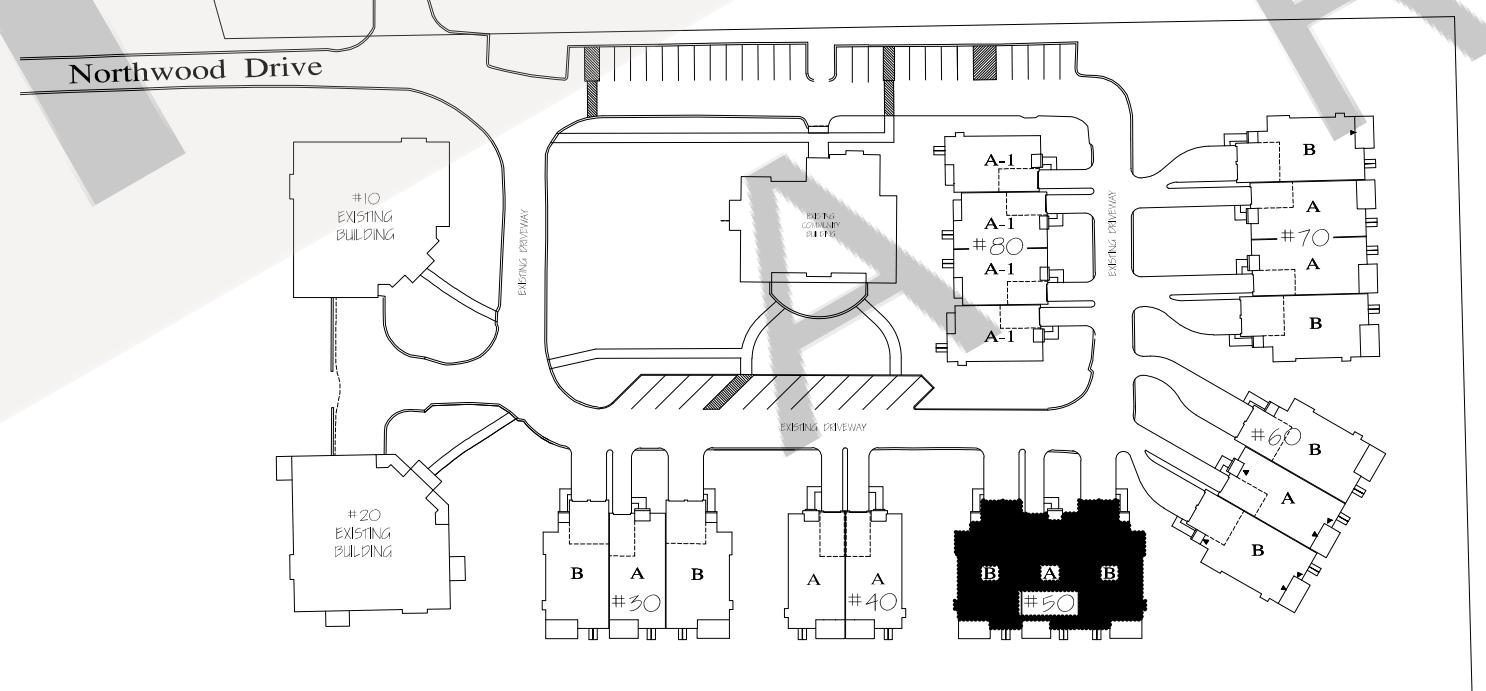
DWD ENGINEERING, INC.  
5 MICHAEL RD.  
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TEL. (508) 378-9602  
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LOBISSEUR BUILDING CORP.  
1 CHARLESVIEW ROAD  
HOPEDALE, MA 01747  
TEL. (508) 478-6235  
FAX (508) 473-0794

# SCHEDULE OF DRAWINGS:

- 0.1 TITLE SHEET
  - 1.1 1ST FLOOR PLAN
  - 1.2 2ND FLOOR PLAN
  - 2.1 ELEVATIONS
  - 2.2 ELEVATIONS
  - 3.1 BUILDING SECTIONS
  - 3.2 BUILDING SECTIONS
  - 4.1 WALL SECTIONS
  - 4.2 AIR BARRIER NOTES & DETAILS
  - 5.1 DETAILS
  - .1 FOUNDATION PLAN
  - .2 1ST FLOOR FRAMING
  - .3 2ND FLOOR FRAMING
  - .4 CEILING FRAMING
  - .5 ROOF FRAMING
  - 2.1 DETAILS
  - 2.2 DETAILS

## KEY PLAN



The logo for HPA Design, Inc. Architects. It features a vertical bar on the left side with a dotted pattern. To the right of the bar, the words "HPA Design, Inc." are written in a large, bold, black serif font. Below "Design, Inc.", the word "Architects" is written in a smaller, bold, black sans-serif font, where each letter is enclosed in its own square box.

**CONSTRUCTION BY:**  
**FIRST COLONY DEV. LLC**  
#50 NORTHWOOD DRIVE, NORTHWOOD TOWNHOUSE CONDOS, SUDBURY, MA

## MEET:

A.0.1

DB NO. 20180101

For more information about the study, please contact Dr. Michael J. Hwang at (310) 794-3000 or via email at [mhwang@ucla.edu](mailto:mhwang@ucla.edu).

#50 NORTHWOOD DRIVE, NORTHWOOD TOWNHOUSE CONDOS, SUDBURY, MA

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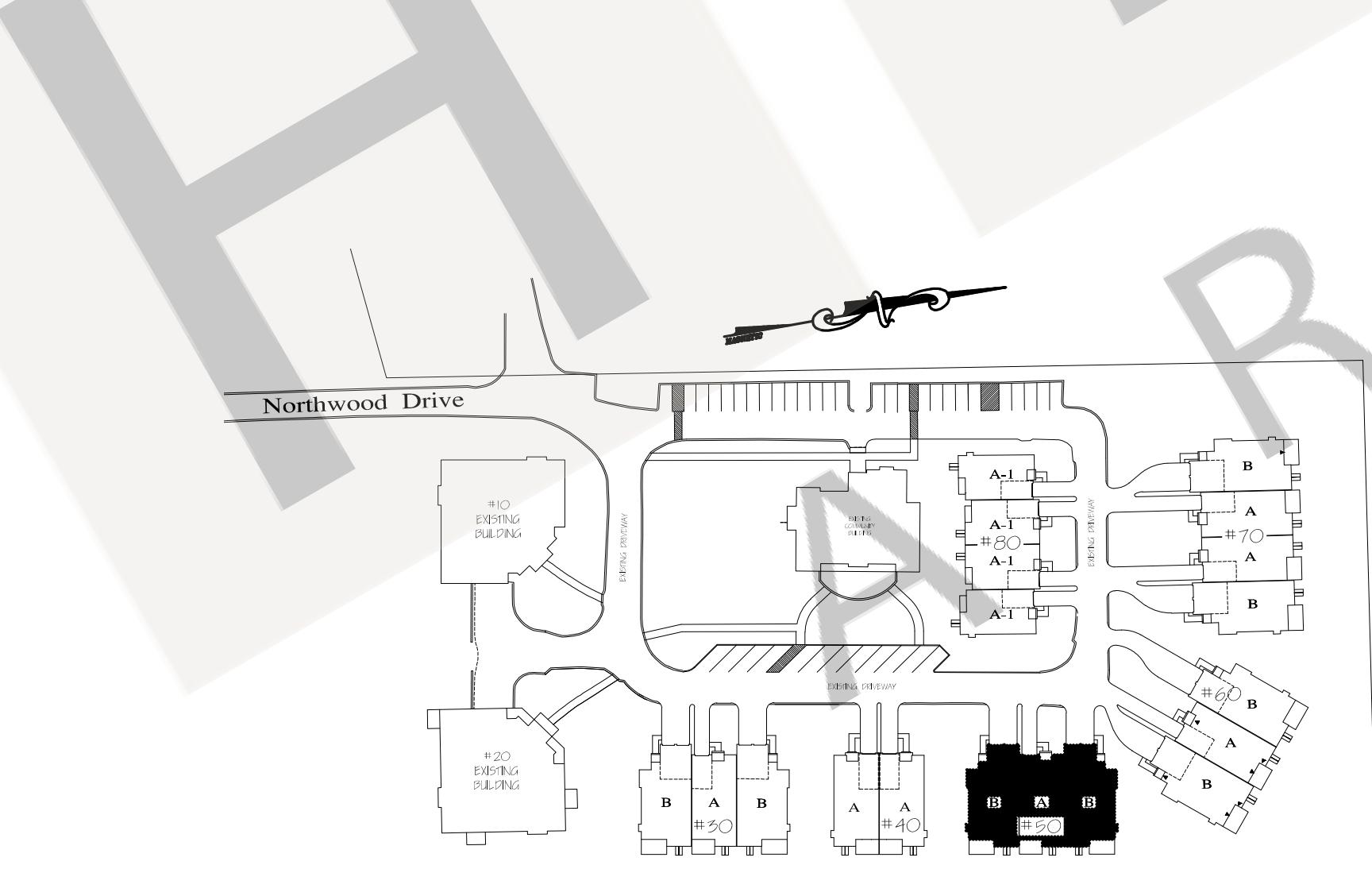
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# KEY PLAN



— STEELE —

**CONSTRUCTION BY:  
FIRST COLONY DEY, LLC**

#50 NORTHWOOD DRIVE, NORTHWOOD TOWNHOUSE CONDOS, SUDBURY, MA

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The banner features the word "FESTIVAL" in a unique, abstract font. Each letter is formed by several black lines that overlap and loop around each other, creating a complex, textured appearance. The letters are arranged in a horizontal sequence: F, E, S, T, T, E, S, T, V, E, L, O, P, I, V, A, L, U, S, T. The background is plain white.



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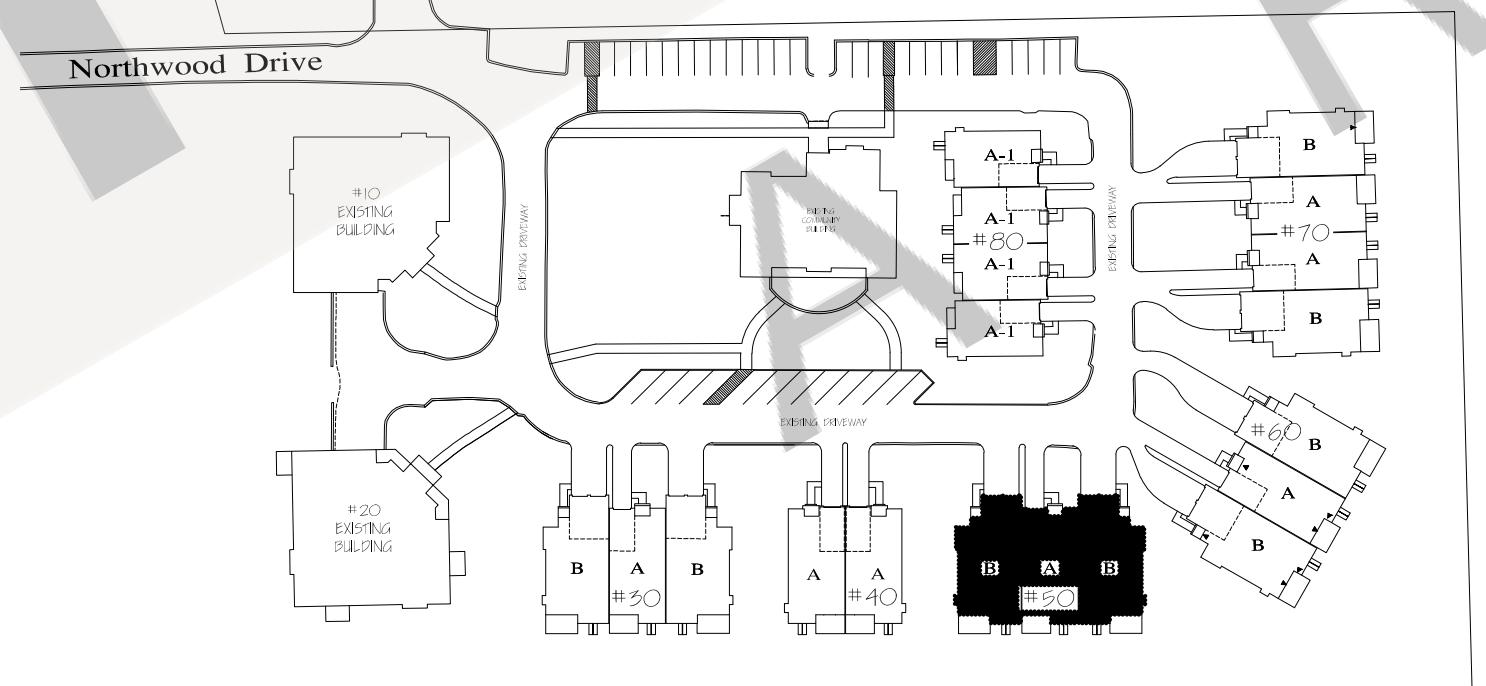
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**HPA Design, Inc.**  
**ARCHITECTS**

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  - [contact@hpadesign.com](mailto:contact@hpadesign.com)
  - [www.HPAdesign.com](http://www.HPAdesign.com)

**CONSTRUCTION BY:  
FIRST COLONY DEV. LLC**

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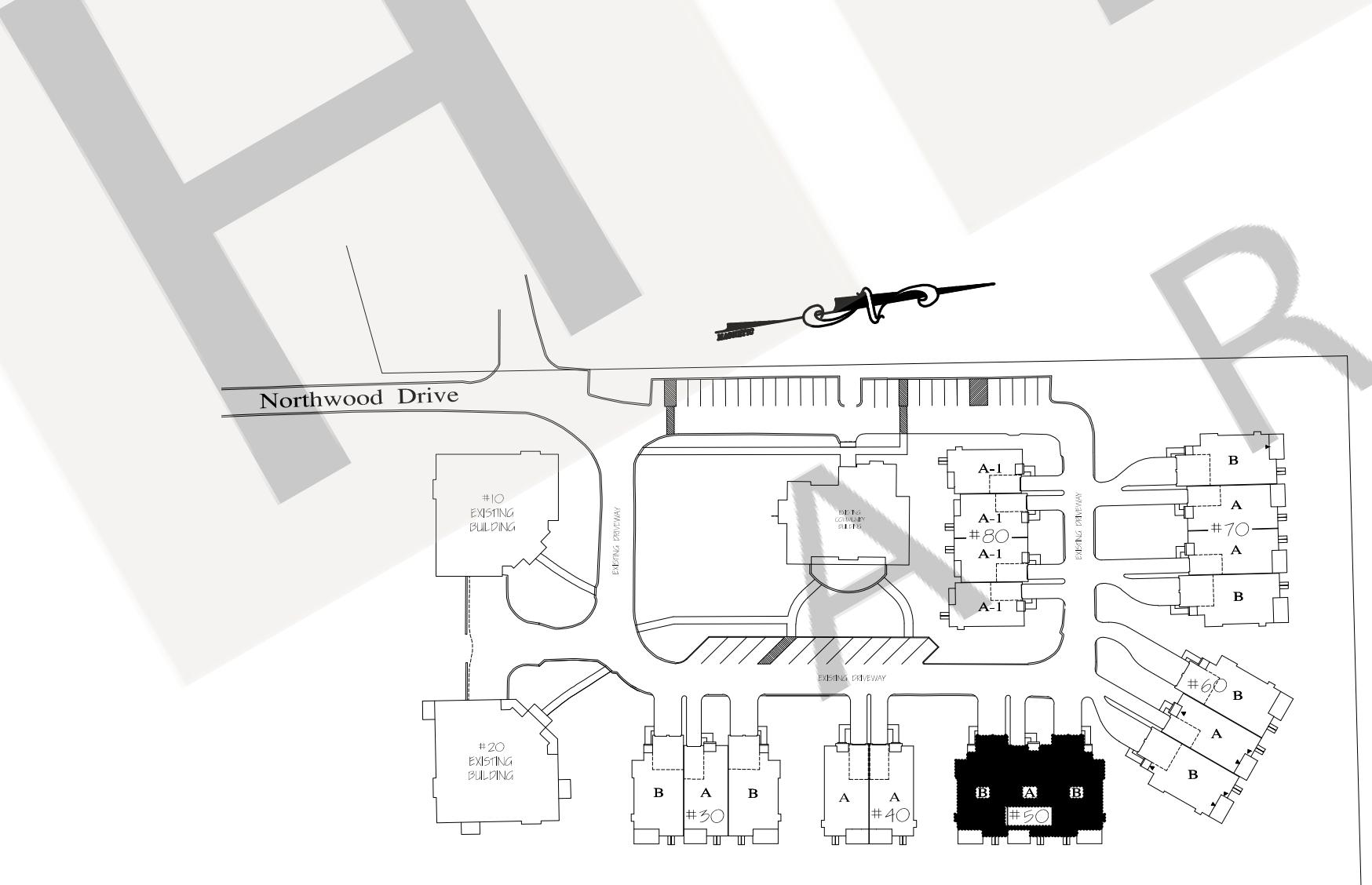
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**CONSTRUCTION BY:  
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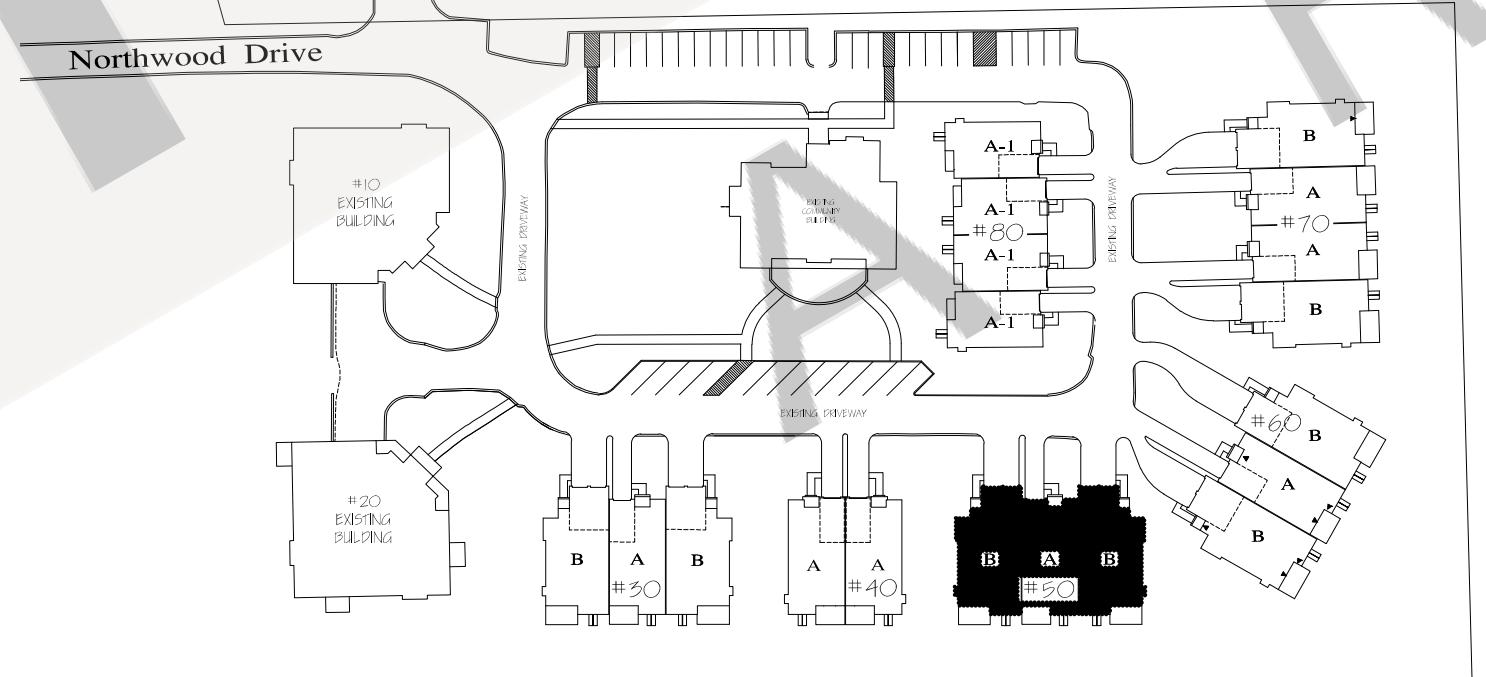
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# KEY PLAN



The logo for HPA Design, Inc. Architects. It features a vertical bar on the left composed of a grid of small squares, transitioning from dark grey at the top to light grey at the bottom. To the right of this bar, the company name "HPA Design, Inc." is written in a large, bold, black sans-serif font. Below it, the word "ARCHITECTS" is written in a smaller, bold, black sans-serif font, with each letter enclosed in its own square box.

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- contact@hpadesign.com
- www.HPAdesign.com

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OB NO. 20180101

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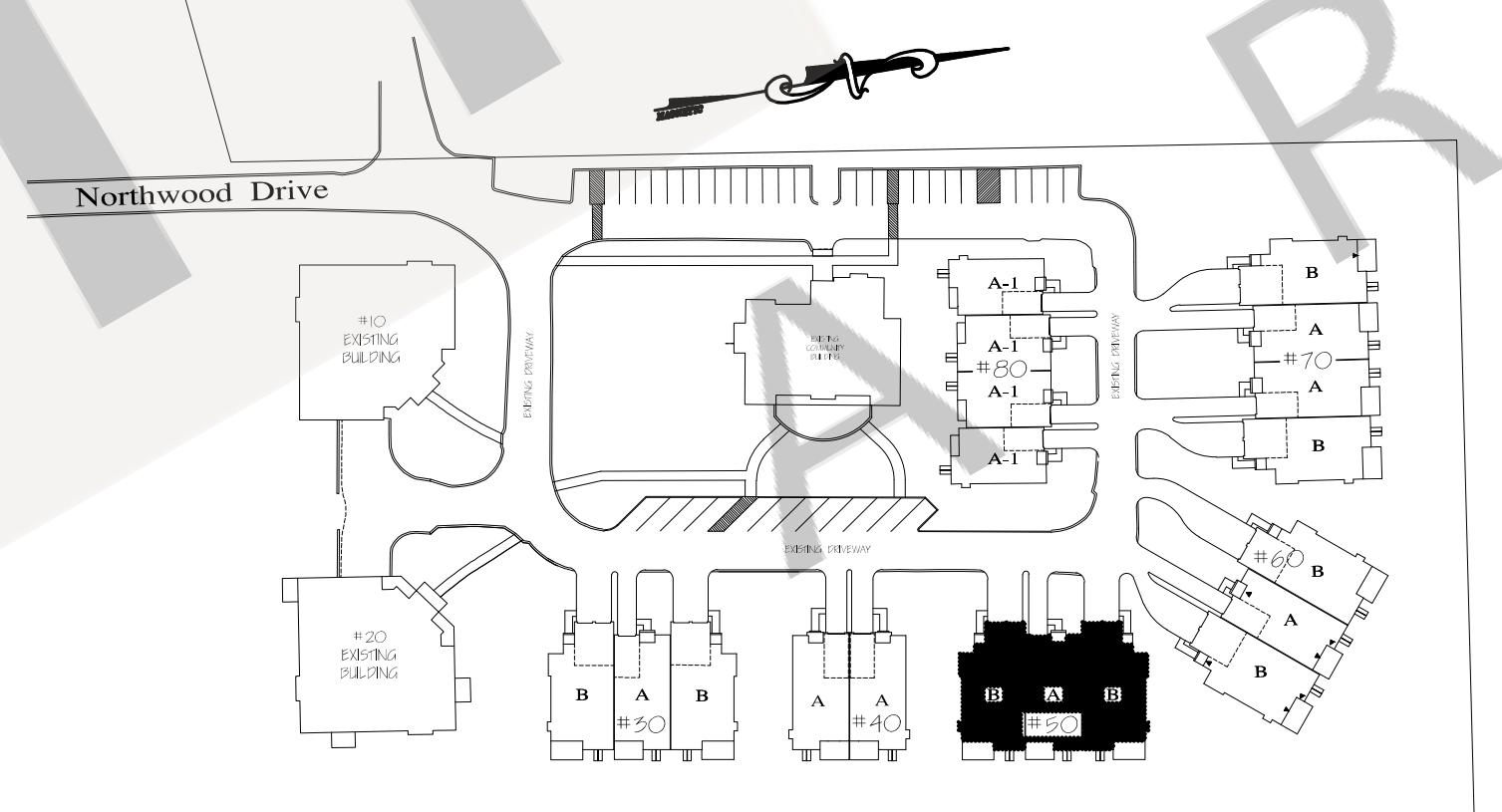
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KEY PLAN

## SCHEDULE OF DRAWINGS:

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- A5.1 DETAILS
- S1.1 FOUNDATION PLAN
- S1.2 1ST FLOOR FRAMING
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- S1.4 CEILING FRAMING
- S1.5 ROOF FRAMING
- S2.1 DETAILS
- S2.2 DETAILS

GENERAL NOTES	
<b>GENERAL</b>	
1. THE GOVERNING BUILDING CODE FOR THE DESIGN AND CONSTRUCTION IS THE INTERNATIONAL RESIDENTIAL CODE (IRC 2009) WITH MASSACHUSETTS STATE BUILDING CODE AMENDMENTS (RTH EDITION).	
2. ARCHITECTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH STRUCTURAL, MECHANICAL, ELECTRICAL, AND SHOT DRAWINGS.	
3. THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION. IF PROCEEDED WITH CONSTRUCTION, THE CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE SITE CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.	
5. ALL FLASHING IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE CORROSION RESISTANT.	
6. ALL DOWNTROPS AND HOT WATER PIPES SHALL BE INSULATED AND WHERE NECESSARY, A VAPOR BARRIER FOR THE DOWNTROPS WILL BE PROVIDED TO PREVENT CONDENSATION.	
7. ALL GABLES SHALL BE CONSTRUCTED SO THE TOP OF THE FLUE IS 2'-0" ABOVE ANY ROOF/WALL WITHIN 10'-0".	
8. PROVIDE CONTINUOUS PITCH BREAK VENTS AT ALL ROOF/FLOOR INTERSECTIONS WHERE SOFFIT VENTS ARE INSTALLED.	
<b>DIMENSIONS</b>	
1. DIMENSIONING STANDARDS WITHIN THE DOCUMENTS ARE AS FOLLOWED UNLESS OTHERWISE NOTED.	
a) DIMENSIONS TO EXTERIOR WALLS ARE FROM OUTSIDE FACE OF A STUD OR CONCRETE WALL.	
b) DIMENSIONS TO INTERIOR WALLS ARE FROM INSIDE FACE OF A STUD OR CONCRETE WALL.	
c) INTERIOR DIMENSIONS AT STUD PLACES A DIMENSION TO THE MIDDLE OF THE STUD (UNLESS OTHERWISE NOTED).	
2. INTERIOR DIMENSIONING AT STAIR REPRESENDS A DIMENSION TO THE FINISHED FACE OF THE STAR.	
3. INTERIOR DIMENSIONING AT DOORS REFERS TO THE CENTER LINE OF THE DOOR.	
4. DIMENSIONS DEPICTING THE BUILDING HEIGHT, SHOW THE ARCHITECTURAL, AND STRUCTURAL DRAWINGS FOR THE BUILDINGS AND BUILDING COMPONENTS ONLY. THE OVERALL BUILDING HEIGHT DEPICTED IS FROM THE ST STAIRWAY TO THE ROOF. THE CONTRACTOR SHALL PROVIDE THE APPROPRIATE DIMENSIONS FOR THE STAIRWAY, THE ROOF, AND ALL OTHER BUILDINGS, MUST BE CONFIRMED WITH THE EXTERIOR MANUFACTURER FOR THE REQUIRED R.D. AND ATTACHMENT.	
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6. ALL OTHER DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY CENTERED WITHIN THE GLOST.	
7. GLAZED DOORS THAT ARE NOT DIMENCHED ARE TYPICALLY CENTERED WITHIN THE GLOST.	
8. DIMENSIONS LOCATING GLAZED OPENINGS ARE TYPICALLY DIMENSIONED TO THE CENTER OF THAT OPENING, UNLESS OTHERWISE NOTED.	
<b>STAIRWAYS/DECKS</b>	
1. STAIRWAYS SHALL NOT BE LESS THAN 40"-0" IN CLEAR HEIGHT. ALL PORCH ABOVE THE FINISHED HANDBALUST SHALL BE PROVIDED WITH AN OPENABLE RAILING. THE MINIMUM CLEAR HEIGHT SHALL BE 40"-0" AND DEPTH SHALL BE 48"-0" INCHES. THE DEPTH OF THE TREAD SHALL NOT EXCEED 1/4". WINDER TREADS SHALL HAVE A MIN. DEPTH EQUAL TO THE STRAIGHT RUN TREAD DEPTH AT A DISTANCE OF 12" FROM THE NARROWEST SIDE WITH A MIN. TREAD DEPTH OF 10"-0". THE DEPTH OF THE TREAD SHALL NOT EXCEED 1/4" INCHES. THE DEPTH OF THE TREADS SHALL BE PROVIDED IN A SLOPED PLANE ADDING THE TREAD NOSE OR FROM THE FLOOR SURFACE OF A LANDING OR PLATFORM.	
2. HANDRAILS SHALL BE PROVIDED AT EACH CONTINUOUS RUN OF TREADS OR FLIGHTS OF STEPS. THE MINIMUM HEIGHT SHALL BE 34"-0" INCHES AND A MAXIMUM NOT EXCEED 34"-0" INCHES. THE DEPTH OF THE TREADS SHALL BE PROVIDED AT EACH CONTINUOUS RUN OF TREADS OR FLIGHTS OF STEPS. THE MINIMUM HEIGHT SHALL BE 34"-0" INCHES AND A MAXIMUM NOT EXCEED 34"-0" INCHES. GUARDRAILS SHALL BE PROVIDED ON THE OUTSIDE OF THE STAIRS.	
3. GUARDRAILS, 36"-0" MINIMUM IN HEIGHT, SHALL BE INSTALLED IN FLOR, PORCH AND/OR BALCONY AREA'S MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW, SHALL BE PROVIDED ON THE OUTSIDE OF THE STAIRS. GUARDRAILS SHALL BE PROVIDED ON THE OUTSIDE OF THE STAIRS. GUARDRAILS ON OPEN SIDES OF STAIRS, WITH A TOTAL RISE OF MORE THAN THIRTY (30) INCHES ABOVE A FLOR OR GRADE BELOW, SHALL BE PROVIDED ON THE OUTSIDE OF THE STAIRS.	
4. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF AN INFRONT BASEMENT STAIRS OR INSTITUTE THE WALLS AND UNDERSTAIRS. AN ISOLATED DOOR SHALL BE PROVIDED AT THE BOTTOM OF AN INFRONT BASEMENT STAIRS.	
5. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. AN ISOLATED DOOR SHALL BE PROVIDED AT THE BOTTOM OF ATTIC STAIRS. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF ATTIC STAIRS. AN ISOLATED DOOR SHALL BE PROVIDED AT THE BOTTOM OF ATTIC STAIRS.	
6. AN ISOLATED DOOR SHALL BE PROVIDED AT THE TOP OF SLEEPING ROOMS. AN ISOLATED DOOR SHALL BE PROVIDED AT THE BOTTOM OF SLEEPING ROOMS.	
7. HOLLOW CORE DOORS SHOWN ON THE DRAWINGS ARE BASED GENERICALLY ON ANDERSON AND THE OWNER OR GENERAL CONTRACTOR WHERE APPLICABLE SHALL CHOOSE THE FINAL MANUFACTURER. WINDOW SIZES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING. ROUGH OPENINGS SHALL BE PROVIDED BY THE MANUFACTURER.	
8. BASEMENTS, ATTICS, AND EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW. EACH SHALL HAVE AN EMERGENCY ESCAPE AND RESCUE OPENING. THESE OPENINGS SHALL NOT REQUIRE ONE SIDE TO SWING OUT. THESE OPENINGS SHALL NOT REQUIRE ONE SIDE TO SWING OUT. THESE OPENINGS SHALL NOT REQUIRE ONE SIDE TO SWING OUT.	
a) SILL HEIGHT SHALL NOT BE MORE THAN 48 INCHES ABOVE THE FLOOR.	
b) A DOOR SWINGING THROUGH BELOW THE JACKSTOCK LEVEL AND THE ELEVATION IS USED AS AN EMERGENCY ESCAPE AND RESCUE OPENING. THE DOOR SHALL BE PROVIDED WITH A DELUXE ENCLOSURE. THE DOOR SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT AND WHEN THE HEADSLID IS FULLY OPEN IT SHALL PROVIDE DIRECT ACCESS TO THE BASEMENT.	
c) EMERGENCY ESCAPE AND RESCUE OPENINGS WITH A SILL ELEVATION BELOW THE JACKSTOCK GROUND FLOOR SHALL BE PROVIDED WITH A 36"-0" INCHES HIGH CLEARANCE. THE MINIMUM NET CLEAR OPENING SHALL BE 30"-0" INCHES AND A MINIMUM HORIZONTAL PROJECTION OF 30"-0". THE PERSON HELL SHALL ALLOW THE EMERGENCY ESCAPE AND RESCUE OPENING TO FULLY OPENED.	
d) DOUBLE HUNG ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.1" SQUARE FEET.	
e) GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.0" SQUARE FEET.	
f) DOUBLE HUNG WINDOWS USED FOR EMERGENCY ESCAPE SHALL BE PERMITTED TO HAVE A MIN. CLEAR OPENING OF 24"-0" X 30"-0" INCHES IN EITHER DIRECTION.	
g) MINIMUM NET CLEAR OPENING SHALL BE 24"-0" X 30"-0" INCHES IN EITHER DIRECTION.	
h) EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE WITHOUT THE USE OF KEYS OR TOOLS.	
i) IN HOLLOW CORE ROOMS WHERE THE OPENING OF AN OPERABLE WINDOW LOCATED THEREIN TO SWING OUT, THE OPENING IS IN THE LARGEST POSSIBLE POSITION.	
j) OPENINGS THAT ARE PROVIDED WITH HOLLOW CORE PREVENTION DEVICES THAT COMPLY WITH SECTION R402.3.	
k) OPENINGS THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R402.4.	
l) OPENINGS THAT ARE PROVIDED WITH OPENING LIMITING DEVICES THAT COMPLY WITH SECTION R402.4.	
m) STARWAYS, RAMPS, EXTERIOR EXIT BALCONIES, HALLWAYS AND DOORS SHALL MEET ALL MINIMUM EXPRESS REQUIREMENTS.	
n) REQUIRED EXITS SHALL BE POSITIVELY ANCHORED TO THE PRIMARY STRUCTURE TO RESIST BOTH VERTICAL AND LATERAL FORCES.	
o) EXTERIOR EXIT SPACES UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.	
p) EXITS FROM DWELLING UNITS SHALL BE BY MEANS OF TWO EXIT DOORS. THE MINIMUM NOMINAL WIDTH OF AT LEAST ONE OF THE REQUIRED EXIT DOORS SHALL BE NOT LESS THAN 36"-0" WITH A NOMINAL HEIGHT OF 72"-0" INCHES. THE NOMINAL WIDTH OR SIX FEET EIGHT INCHES IN NORMAL HEIGHT AND MAY BE SLIDES OR SIDE-HINGED. EXITS FROM DWELLING UNITS SHALL BE PROVIDED PROVIDED THAT THE ATTACHED GARAGE IS ALSO PROVIDED WITH A 32"-0" EXIT DOOR.	
q) ALL OTHER EXTERIOR DOORS IN EXCESS OF ONE REQUIRED EXIT DOOR ARE NOT REQUIRED TO COMPLY WITH SECTION R402.4.	
r) ALL INTERIOR DOORS PROVIDING ACCESS TO HABITABLE ROOMS SHALL HAVE A NOMINAL WIDTH OF 30"-0" INCHES AND BE 8'-0" INCHES IN HEIGHT. THESE DOORS SHALL BE PROVIDED WITH A NOMINAL HEIGHT OF 72"-0" INCHES.	
s) A DOOR OR LANDING SHALL MEET THE REQUIREMENT OF AN EXTERIOR EXIT DOOR. THE POINT OF DRAFT LANDING SHALL BE LOCATED IN THE DIRECTION OF TRAVEL.	
t) THE 3-UNIT TOWNHOUSE HAS AN AGGREGATE AREA OF 1/2120 SF AND SHALL BE DESIGNED WITH A MINIMUM NFPA 50 SYSTEM.	
<b>MINIMUM ROOM REQUIREMENTS</b>	
1. HABITABLE ROOMS, HALLWAYS, CORRIDORS, BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS AND BASEMENTS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN SEVEN (7) FEET MEASURED FROM THE FINISH FLOOR TO THE LOWEST PROJECTION FROM THE CEILING.	
EXCEPTIONS	
2. BEAMS AND GIRDERS SPACED NOT LESS THAN FOUR (4) FEET ON CENTER MAY PROJECT NOT MORE THAN SIX (6) INCHES BELOW THE REQUIRED CEILING HEIGHT.	
3. AN ASSUMPTION IS MADE THAT THE ELEVATION DIFFERENCE BETWEEN THE GARAGE SLAB AND THE FIRST FLOOR IS 8 INCHES. IF THIS IS INCORPORATED WITHIN THE SITE CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT.	
4. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT, PRIOR TO PROGRESSING WITH THE WORK, IF ANY CONSTRUCTION NEEDS TO BE ADJUSTED DUE TO FIELD CONDITIONS.	
5. NOT MORE THAN 50% OF THE REQUIRED FLOOR AREA OF A ROOM IS PERMITTED TO HAVE A SLOPED CEILING LESS THAN SEVEN (7) FEET IN HEIGHT IN ANY PORTION OF THE REQUIRED FLOOR AREA LESS THAN FIVE FEET IN LENGTH.	
6. BATHROOMS SHALL HAVE A MINIMUM CEILING HEIGHT OF SIX FEET EIGHT INCHES OVER THE FIXTURE AND AT THE SHOWERHEAD.	
7. KITCHENS SHALL NOT BE LESS THAN EIGHT FEET IN LENGTH. EXCEPT IN HABITABLE ROOMS, KITCHENS SHALL NOT BE LESS THAN EIGHT FEET IN LENGTH.	
8. NOT MORE THAN 50% OF THE REQUIRED FLOOR AREA OF A ROOM IS PERMITTED TO HAVE A SLOPED CEILING LESS THAN SEVEN (7) FEET IN HEIGHT IN ANY PORTION OF THE REQUIRED FLOOR AREA.	
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33. NOT MORE THAN 50% OF THE REQUIRED FLOOR AREA OF A ROOM IS PERMITTED TO HAVE A SLOPED CEILING LESS	

The banner features the word "FESTIVAL" in a unique, abstract font. Each letter is formed by several black lines that overlap and loop around each other, creating a complex, textured appearance. The letters are arranged horizontally, with "F" on the far left, followed by "E", "S", "T", "F", "E", "S", "T", "V", "I", "L", "A", "P", "I", and "T" on the far right. The background is plain white.



OWNER / CLIENT:

# ARCHITECT:

# STRUCTURAL ENGINEER

## CONTRACTOR:

FIRST COLONY DEV. LLC  
929 POST ROAD EAST  
MARLBOROUGH, MA 01752  
TEL. (508) 481-6095  
FAX (508) 460-0578

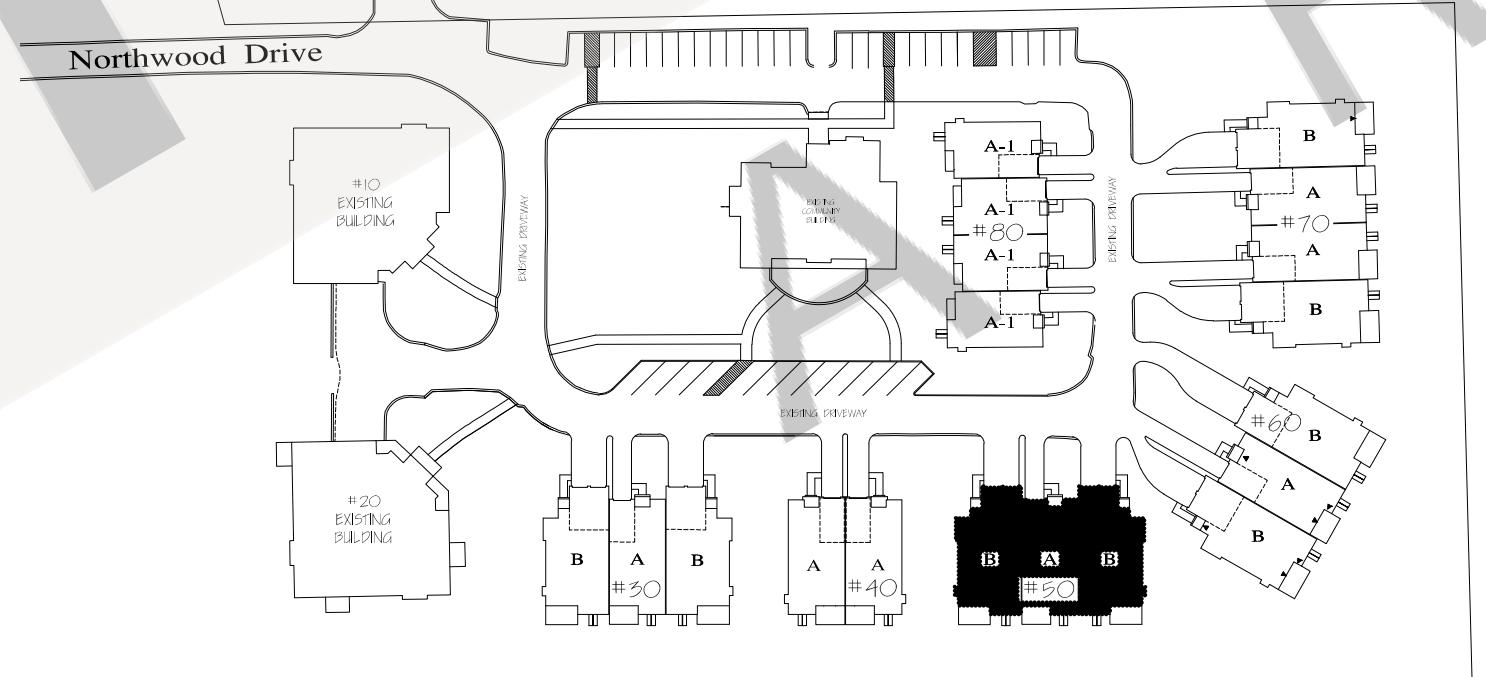
HPA DESIGN, INC.  
200 STONEWALL BLVD.  
SUITE 5  
WRENTHAM, MA 02093  
TEL. (508) 384-8838  
FAX (508) 384-0483

DWD ENGINEERING, INC.  
5 MICHAEL RD.  
EAST BRIDGEWATER  
TEL. (508) 378-9602  
FAX. (508) 378-2922

# SCHEDULE OF DRAWINGS:

- 0.1 TITLE SHEET
  - 1.1 1ST FLOOR PLAN
  - 1.2 2ND FLOOR PLAN
  - 2.1 ELEVATIONS
  - 2.2 ELEVATIONS
  - 3.1 BUILDING SECTIONS
  - 3.2 BUILDING SECTIONS
  - 4.1 WALL SECTIONS
  - 4.2 AIR BARRIER NOTES & DETAILS
  - 5.1 DETAILS
  - .1 FOUNDATION PLAN
  - .2 1ST FLOOR FRAMING
  - .3 2ND FLOOR FRAMING
  - .4 CEILING FRAMING
  - .5 ROOF FRAMING
  - 2.1 DETAILS
  - 2.2 DETAILS

## KEY PLAN



— STEELE —

**CONSTRUCTION BY:  
FIRST COLONY DEY, LLC**

#50 NORTHWOOD DRIVE, NORTHWOOD TOWNHOUSE CONDOS, SUDBURY, MA

**SHEET:**

A.0.1

JOB NO. 20180101