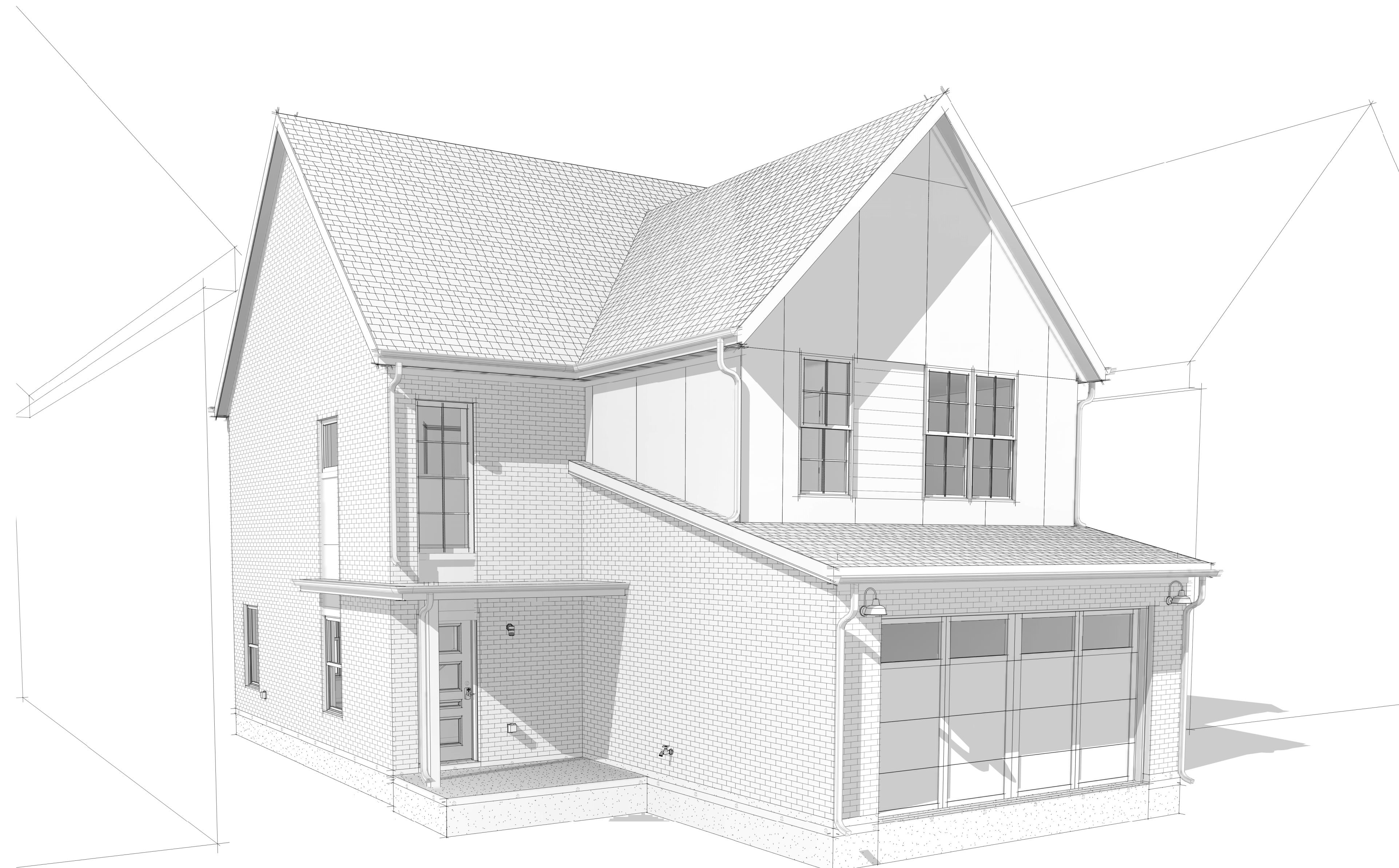


# HAVEN PLAN 03

OPTIONS: TRANSITIONAL A (TA)  
MODERN A (MA)

SQUARE FOOTAGES  
1ST FLOOR AREA 754 SF  
2ND FLOOR AREA 973 SF  
EXTERIOR SLAB 179 SF  
GARAGE 406 SF



#### ISSUANCE SCHEDULE

DESCRIPTION	DATE
ISSUED FOR BID	07.18.2022
ISSUED FOR GMP	08.23.2022

#### ⚠ NOTE TO TRADE PROFESSIONALS:

DIGIBILT'S GOAL IS TO CREATE AN ACCURATE AND FULLY COORDINATED SET OF CONSTRUCTION DOCUMENTS FOR EASE OF USE IN THE FIELD.

IF YOU HAVE ANY SUGGESTIONS ON HOW TO IMPROVE THE QUALITY OF THE INFORMATION ON THESE DRAWINGS, PLEASE CONTACT US AT [TRADEIDEAS@DIGIBILT.COM](mailto:TRADEIDEAS@DIGIBILT.COM) OR TEXT 312.401.2600.

NOT FOR CONSTRUCTION

WE WELCOME ALL FEEDBACK.

DIGIBILT

**GENERAL NOTES**

- DO NOT SCALE PLANS.
- CODES HAVING JURISDICTION SHALL BE STRICTLY OBSERVED IN THE CONSTRUCTION OF THE PROJECT. ALL APPLICABLE STATE, COUNTY, AND CITY REQUIREMENTS REGARDING BUILDING, ZONING, ELECTRICAL, MECHANICAL, PLUMBING, ENERGY AND FIRE CODES SHALL BE VERIFIED BY THE SUBCONTRACTORS BEFORE COMMENCEMENT OF CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE CODE REQUIREMENT AND THE DRAWINGS SHALL BE REPORTED TO THE BUILDER IMMEDIATELY.
- CONTACT THE BUILDER FOR CLARIFICATION OF ANY DISCREPANCIES AND/OR ERRORS FOUND IN THE CONTRACT DOCUMENTS. ANY CHANGES TO THE CONTRACT DOCUMENTS SHALL BE REVIEWED AND APPROVED BY THE BUILDER PRIOR TO ANY CONSTRUCTION.
- ALL PRODUCTS SHALL BE INSTALLED PER MANUFACTURER'S INSTALLATION GUIDELINES AND/OR BUILDER DETAILS. CONTACT BUILDER WITH ANY DISCREPANCIES BETWEEN MFR'S GUIDELINES AND BUILDER PROVIDED DETAILS PRIOR TO INSTALLATION.
- CONTRACTOR AND APPLICABLE TRADES WORKING ON THE JOB SHALL CONSULT WITH AND FOLLOW PREPARED SOILS REPORT RECOMMENDATIONS.
- SEE STRUCTURAL ENGINEER'S SITE-SPECIFIC FOUNDATION PLANS FOR FINAL CONSTRUCTION SPECIFICATIONS.
- SUB-CONTRACTOR TO COORDINATE TOP OF FOUNDATION WALL ELEVATIONS WITH INFORMATION INDICATED ON THESE DRAWINGS. STRUCTURAL ENGINEERS FOUNDATION PLANS AND FINAL SITE GRADING.
- PROVIDE POSITIVE DRAINAGE AWAY FROM FOUNDATION PER SOILS REPORT RECOMMENDATIONS OR A MINIMUM OF 10% AWAY FROM FOUNDATION FOR THE FIRST 10 FEET. IMPERVIOUS SURFACES MAY BE SLOPED 2.5% MINIMUM AWAY FROM THE STRUCTURE FOR THE FIRST 10 FEET.
- PER IRC, PROVIDE 4" MIN. GRAVEL BASE OR APPROVED EQUAL UNDER CONCRETE SLAB ON GRADE WITH A 6 MIL. POLYETHYLENE OR APPROVED VAPOR BARRIER WITH JOINTS LAPPED NOT LESS THAN 12" BETWEEN GRAVEL BASE AND SLAB.
- PROVIDE MINIMUM CLEARANCES FOR ALL EXTERIOR WALL MATERIALS TO TOP OF GRADE PER LOCAL CODES OR A MINIMUM OF 8" (4" FOR MASONRY VENEERS).
- ALL DIMENSIONS ARE TO FACE OF FOUNDATION OR ROUGH FACE OF STUDS UNLESS INDICATED OR NOTED OTHERWISE. ALL MASONRY DIMENSIONS INDICATED ARE NOMINAL DIMENSIONS. CONTACT THE BUILDER FOR CLARIFICATION WITH ANY DIMENSIONING ISSUES OR CONFLICTS. DO NOT SCALE.
- THICKNESS OF INTERIOR WALL FRAMING IS 3 1/2" UNLESS NOTED OTHERWISE.
- TYPICAL THICKNESS OF 2X6 EXTERIOR WALL FRAMING IS 5 1/2" UNLESS NOTED OTHERWISE.
- DOOR & WINDOW CALLOUTS ARE GENERIC/NOMINAL DIMENSIONS. ACTUAL ROUGH OPENINGS PER MANUFACTURER'S SPECS.
- ALL ANGLES ARE 90° UNLESS NOTED OTHERWISE.
- FRAME ALL WALLS TO UNDERSIDE OF BOTTOM CHORDS OF JOISTS OR TRUSSES.
- FRAMING CONTRACTOR SHALL COORDINATE WITH THE BUILDER AND ALL SUBCONTRACTORS TO DETERMINE THE LOCATION OF ALL FIXTURES, APPLIED TREATMENTS, EQUIPMENT, HARDWARE ITEMS, ETC., AND PROVIDE SOLID STRUCTURAL BLOCKING AND/OR EXTRA FRAMING NECESSARY FOR SAFE AND SOUND ANCHORAGE AND/OR SUPPORT.
- PROVIDE VERTICAL AND HORIZONTAL FIRE BLOCKING AND DRAFT STOPS PER LOCAL CODES.
- HABITABLE ROOMS, HALLWAYS, CORRIDORS, BATHROOMS, TOILET ROOMS, LAUNDRY ROOMS AND BASEMENTS SHALL HAVE A CEILING HEIGHT OF NOT LESS THAN 7 FEET. THE REQUIRED HEIGHT SHALL BE MEASURED FROM THE FINISH FLOOR TO THE LOWEST PROJECTION FROM THE CEILING (IRC).
- VENT ALL EXHAUST FANS TO EXTERIOR. PROVIDE RAIN CAPS AND FLASHING AS REQUIRED.
- HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT WITH FOUR OR MORE RISERS (IRC). HANDRAIL HEIGHT, MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE NOT LESS THAN 34" AND NOT MORE THAN 38" (IRC). ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE FLIGHT FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER OF THE FLIGHT. HANDRAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAILS. (IRC) THE HANDRAIL GRIP SIZE IS REQUIRED TO COMPLY WITH (IRC).
- IN BUILDINGS WITH COMBUSTIBLE CEILING OR ROOF CONSTRUCTION, AN ATTIC ACCESS OPENING SHALL BE PROVIDED TO ATTIC AREAS THAT EXCEED 30 SQUARE FEET AND HAVE A VERTICAL HEIGHT OF 30" OR GREATER. THE ROUGH-FRAMED OPENING SHALL NOT BE LESS THAN 22" X 30" AND SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. A 30" MINIMUM UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE SHALL BE PROVIDED AT SOME POINT ABOVE THE ACCESS OPENING. SEE (IMC) FOR ACCESS REQUIREMENTS WHERE MECHANICAL EQUIPMENT IS LOCATED IN ATTICS (IRC).
- PROVIDE WALL AND ROOF FLASHING AT LOCATIONS PER MANUFACTURER'S SPECIFICATIONS. (IRC) AND LOCAL CODES, INSTALL PER BEST PRACTICES, MANUFACTURER'S GUIDELINES OR PER SPECIFICATIONS. CONSULT BUILDER PRIOR TO INSTALL REGARDING ANY QUESTIONS OR CONFLICTS.
- OPENINGS AT ELECTRICAL BOXES AND OTHER SIMILAR BOXES EMPLOYING A FLUSH TYPE COVER OR FACEPLATE SHALL BE MADE SO THAT THERE ARE NO GAPS GREATER THAN 1/8" AROUND THE EDGE OF THE BOX (REPAIR AS NEEDED).
- VERIFY ALL LOCATIONS, SPANS AND SPACING OF BEAMS, BEARING WALLS, POINT LOADS, JOISTS, RAFTERS AND TRUSSES WITH STRUCTURAL ENGINEER'S DRAWINGS AND CALCULATIONS.
- ALL DOOR JAMBS ARE TO BE SET A MINIMUM OF 4" FROM INSIDE CORNER (6" PREFERRED), UNLESS NOTED OTHERWISE.
- ALL AREAS WITHIN THE PUBLIC RIGHT OF WAY AFFECTED BY WORK MUST BE RESTORED WITH ORIGINAL LANDSCAPING MATERIAL OR AS DESIGNATED BY LOCAL CODES OR COVENANTS.
- SUB-CONTRACTORS SHALL FIELD VERIFY ALL CONDITIONS PRIOR TO STARTING ANY WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT FOR REVIEW.
- FIELD VERIFY ALL EXISTING GRADES. PITCH GRADES AWAY FROM BUILDING.
- SHOWER AND TUB/SHOWER WALLS SHALL BE INSTALLED WITH BACKING PER SPECIFICATION & FINISHED WITH A NONABSORBENT SURFACE TO A HEIGHT OF 6-0" (IRC).
- INSTALL WATER RESISTANT GYPSUM BOARD BEHIND WET AREAS AT TUBS AND SHOWERS. (WHERE APPLICABLE)
- INSTALL ONE 110V HARDWIRED INTERCONNECTED SMOKE DETECTOR IN EACH BEDROOM, IN HALLWAYS WITHIN 15' OF SLEEPING AREAS AND ONE PER FLOOR AS REQUIRED BY FIRE CODES AND AS INDICATED ON THE PLANS.
- INSTALL ONE 110V HARDWIRED INTERCONNECTED CARBON MONOXIDE DETECTOR WITHIN 15' OF SLEEPING AREAS AND PER FLOOR AS REQUIRED BY LOCAL AND STATE CODE AND AS INDICATED ON THE PLANS.
- 1/2 HEIGHT PARTITIONS TO BE DESIGNED AND INSTALLED TO SUPPORT A 200 LB. CONCENTRATED LOAD AT ANY POINT IN ANY DIRECTION.
- ALL WOOD PLATES SET DIRECTLY ON CONCRETE SHALL BE PRESSURE TREATED.
- ALL BUILDING INSULATION SHALL HAVE THE MINIMUM R-VALUES (ZONE 2):
  - R-49 - ROOF/CEILING (R-38 IF CONTINUOUS OVER TOP PLATE)
  - R-13 - EXTERIOR WALLS

**OPENING NOTES**

- PROVIDE TEMPERED GLAZING IN HAZARDOUS LOCATIONS PER IRC
- EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENINGS.
- EGRESS WINDOWS (IRC):
  - EGRESS WINDOWS TO HAVE A SILL HEIGHT OF 24" MINIMUM AND 44" MAXIMUM ABOVE FINISHED FLOOR.
  - SHALL HAVE A MINIMUM OF 5.7 SQUARE FEET OF OPEN AREA. GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM OF 5 SQUARE FEET OF NET OPEN AREA.
  - NET CLEAR HEIGHT SHALL BE 24" MINIMUM AND NET CLEAR WIDTH SHALL BE 20" MINIMUM.
- ALL GLAZING AS PER (IBC) REQUIREMENTS. APPROVED LABELED SAFETY GLAZING UNITS SHALL BE INSTALLED IN THE FOLLOWING HAZARDOUS LOCATIONS INCLUDING BUT NOT LIMITED TO: IN ALL INGRESS AND EGRESS DOORS, SIDELIGHTS, WINDOWS WITH GLAZING WITH IN 18" OF THE FLOOR AND OVER 9 SQUARE FEET OF AREA, GLAZING IN DOORS AND ENCLOSURES FOR SHOWERS AND WINDOWS AND DOORS AT TUB AREAS AND/OR BATHROOMS.

**FIRE SEPARATION NOTES**

- OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND THE RESIDENCE SHALL BE EQUIPPED WITH A SELF-CLOSING, SELF-LATCHING SOLID WOOD DOOR NOT LESS THAN 1-3/8" IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOOR NOT LESS THAN 1-3/8" THICK, OR 20-MINUTE FIRE-RATED DOORS (IRC).
- THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC SPACE BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE AND BY NOT LESS THAN 5/8" TYPE 'X' GYPSUM BOARD OR EQUIVALENT WHERE THE SEPARATION IS A HORIZONTAL. STRUCTURAL ELEMENTS USED FOR SEPARATION REQUIRED SHALL BE PROTECTED BY 1/2" MIN. GYPSUM BOARD - TAPE AND FINISH. (IRC) - VERIFY W/ LOCAL MUNICIPALITY
- DUCTS IN THE GARAGE AND DUCTS PENETRATING THE WALLS OR CEILINGS SEPARATING THE DWELLING FROM THE GARAGE SHALL BE CONSTRUCTED OF A MINIMUM NO. 26 GAGE (0.48 mm) SHEET STEEL OR OTHER APPROVED MATERIAL AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD (IRC).
- PROVIDE DRAFT STOP AT FLOOR LEVELS, VERIFY CLEARANCE WITH MANUFACTURER, MECHANICAL ENGINEER AND LOCAL CODES.
- FLOOR ASSEMBLIES THAT ARE NOT REQUIRED BY CODE TO BE FIRE-RESISTANCE RATED, SHALL BE PROVIDED WITH A 1/2" GYPSUM WALL BOARD MEMBRANE, 5/8" WOOD STRUCTURAL PANEL MEMBRANE OR EQUIVALENT ON THE UNDERSIDE OF THE FLOOR FRAMING MEMBER. PENETRATIONS OR OPENINGS FOR DUCTS, VENTS, ELECTRICAL OUTLETS, LIGHTING, DEVICES, LUMINARIES, WIRES, SPEAKERS, DRAINAGE, PIPING AND SIMILAR OPENINGS OR PENETRATIONS SHALL BE PERMITTED.

**EXCEPTIONS:**

- FLOOR ASSEMBLIES PROTECTED BY A SPRINKLER SYSTEM.
  - FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A CRAWL SPACE NOT INTENDED FOR STORAGE OR FUEL-FIRED APPLIANCES.
  - AGGREGATE AREA OF THE UNPROTECTED PORTION DOES NOT EXCEED 80 S.F. & FIRE BLOCKING IS INSTALLED ALONG THE PERIMETER OF THE UNPROTECTED PORTION TO SEPARATE THE AREA FROM THE REMAINDER OF THE FLOOR ASSEMBLY.
  - WOOD FLOOR ASSEMBLIES USING DIMENSIONAL LUMBER OR STRUCTURAL COMPOSITE LUMBER EQUAL TO OR, GREATER THAN 2X10 NOMINAL DIMENSION, OR OTHER APPROVED FLOOR ASSEMBLIES DEMONSTRATING EQUIVALENT FIRE PERFORMANCE.
  - PROVIDE FIRE-RATED EAVE PER DETAIL AS REQUIRED PER CODE - VERIFY WITH PLOT PLAN AND FIELD CONDITIONS.
  - FIRESTOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE BARRIER BETWEEN STOREYS, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIRESTOPPING SHALL BE PROVIDED IN WOOD FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
    - IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AT THE CEILING AND FLOOR LEVEL.
    - AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS, COVE CEILINGS, ETC.
    - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
    - AT OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, AND FIREPLACES AT CEILING AND FLOOR LEVEL, WITH NON-COMBUSTIBLE MATERIALS.
- EXCEPT AS PROVIDED IN ITEM D. ABOVE, FIRESTOPPING SHALL CONSIST OF 2 INCH NOMINAL LUMBER, OR TWO THICKNESSES OF 1 INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS, OR ONE THICKNESS OF 22/32 INCH PLYWOOD WITH JOINTS BACKED BY 23/32 INCH PLYWOOD, OR ONE THICKNESS OF 1/4 INCH TYPE 2-M PARTICLE BOARD WITH JOINTS BACKED BY 1/4 INCH TYPE 2-M PARTICLEBOARD, OR OTHER APPROVED MATERIALS. THE INTEGRITY OF ALL FIRESTOPS SHALL BE MAINTAINED.

**LIGHT, VENTILATION AND HEATING NOTES**

- ALL APPLICABLE ROOMS WILL COMPLY WITH REQUIREMENTS IN THE IRC.
- GARAGES WILL NOT BE MECHANICALLY HEATED.
- ALL EXHAUST FANS SHALL VENT DIRECT TO THE EXTERIOR.
- PROVIDE MECHANICAL VENTILATION PER CODE IN BATHROOMS CONTAINING A BATHTUB AND/OR SHOWER, WATER CLOSET COMPARTMENTS, AND SIMILAR ROOMS THAT DO NOT HAVE ACCESS TO NATURAL VENTILATION.

**ROOF NOTES**

- PROVIDE ROOF VENTS AND/OR SOFFIT VENTS AS REQUIRED PER IRC. SEE ROOF VENT CALCULATIONS ON ROOF PLAN SHEET FOR "NET FREE AREA REQUIRED".
- INSTALL CONTINUOUS SOFFIT VENTS AT HORIZONTAL OVERHANGS UNDER 24 INCHES AND SOLID SOFFIT BOARDS ON SLOPED EAVES.
- ICE AND WATER SHIELD TO BE INSTALLED PER IRC & BUILDING SPECIFICATIONS.
- VALLEYS: CENTER A 30" WIDE STRIP OF SELF-ADHERED ICE AND WATER SHIELD IN THE VALLEY. ICE AND WATER SHIELD SHALL BE TIGHT IN THE VALLEY, WITHOUT CREASES OR WRINKLES. INSTALL ROOF UNDERLAYMENT TO THE ROOF AND OVERLAP ICE & WATER SHIELD STRIP BY 6" MINIMUM. INSTALL SHINGLES IN CLOSED OR WOVEN VALLEY PER SHINGLE MANUFACTURER'S SPECIFICATIONS
- GENERAL UNDERLAYMENT REQUIREMENTS PER IRC AND ROOFING MANUFACTURER'S SPECIFICATION:
  - FOR 2:12 UP TO 4:12 ROOF, PROVIDE 2 LAYERS OF BUILDER APPROVED UNDERLAYMENT.
  - FOR 4:12 AND GREATER, PROVIDE ONE LAYER OF BUILDER APPROVED UNDERLAYMENT.
- PROVIDE DOWNSPOUTS, PER SPECIFICATIONS, W/ ADJUSTABLE EXTENDERS TO CARRY WATER MIN. 5'-0" AWAY FROM BUILDING OR AS RECOMMENDED BY SOILS REPORT OR PER LOCAL CODES. WHERE APPPLICABLE, REFER TO CIVIL DRAWINGS FOR LOCATION OF AND CONNECTION TO THE STORM DRAIN SYSTEM.
- REFER TO ROOF PLANS AND ELEVATIONS FOR DOWNSPOUT LOCATIONS. CONTACT THE BUILDER OF ANY ERRORS OR FOR CLARIFICATION PRIOR TO INSTALLATION.
- PAINT ROOF JACKS AND FLASHING TO MATCH THE COLOR OF THE ROOFING MATERIAL.

**AIR SEALING NOTES:**

- DRYWALL GASKET SYSTEM AT ALL TOP PLATES ADJOINING AN ATTIC SPACE AND AT ALL SEAMS, GAPS AND CRACKS ON GARAGE SEPARATION WALL, INCLUDING OSB JUNCTIONS AT TOP PLATE, BOTTOM PLATE AND CORNERS.
- FOAM SEALANT AT SILLS, GAPS IN FRAMING, OUTLETS ON EXTERIOR WALLS, PENETRATIONS INTO ATTIC, 2ND AND 3RD SUB-FLOOR RIM (TOP AND BOTTOM), AND AT MAIN FLOOR WHERE SILL PLATE MEETS THE CONCRETE FOUNDATION.
- ALL WINDOW & DOOR FRAMES WILL BE SEALED WITH A CONTINUOUS BEAD OF NON-EXPANDING FOAM (DOW GREAT STUFF OR BUILDER APPROVED EQUIVALENT).
- SEAL AROUND ALL PENETRATIONS FROM CONDITION SPACES INTO UNCONDITIONED ATTIC.

**APPLICABLE BUILDING CODES**

- ALL DRAWINGS DEVELOPED TO ADHERE TO THE FOLLOWING NATIONAL & STATE CODES ADOPTED & AMENDED BY LOCAL AUTHORITIES.
- 2020 NATIONAL ELECTRICAL CODE (NEC) WITH LOCAL AMENDMENTS
  - 2021 INTERNATIONAL PLUMBING CODE (IPC) WITH LOCAL AMENDMENTS
  - 2021 INTERNATIONAL BUILDING CODE (IBC) WITH LOCAL AMENDMENTS
  - 2021 INTERNATIONAL RESIDENTIAL CODE (IRC) WITH LOCAL AMENDMENTS
  - 2021 INTERNATIONAL FIRE CODE (IFC) WITH LOCAL AMENDMENTS
  - 2021 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) WITH LOCAL AMENDMENTS
  - 2021 INTERNATIONAL MECHANICAL CODE (IMC) WITH LOCAL AMENDMENTS
  - 2021 INTERNATIONAL PROPERTY MAINTENANCE CODE (IPMC) WITH LOCAL AMENDMENTS
  - 2021 INTERNATIONAL FUEL GAS CODE (IFGC) WITH LOCAL AMENDMENTS

**PROJECT CONTACT DIRECTORY**

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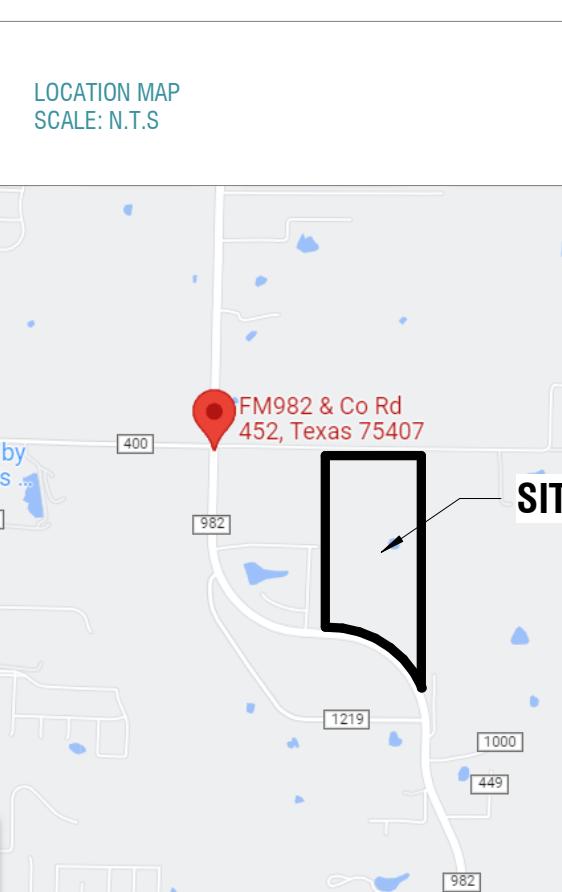
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AURORA, IL 60502  
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**SHEET INDEX**

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**HAVEN  
PLAN 03**

Project #: 21-022 Date: 10/31/2022

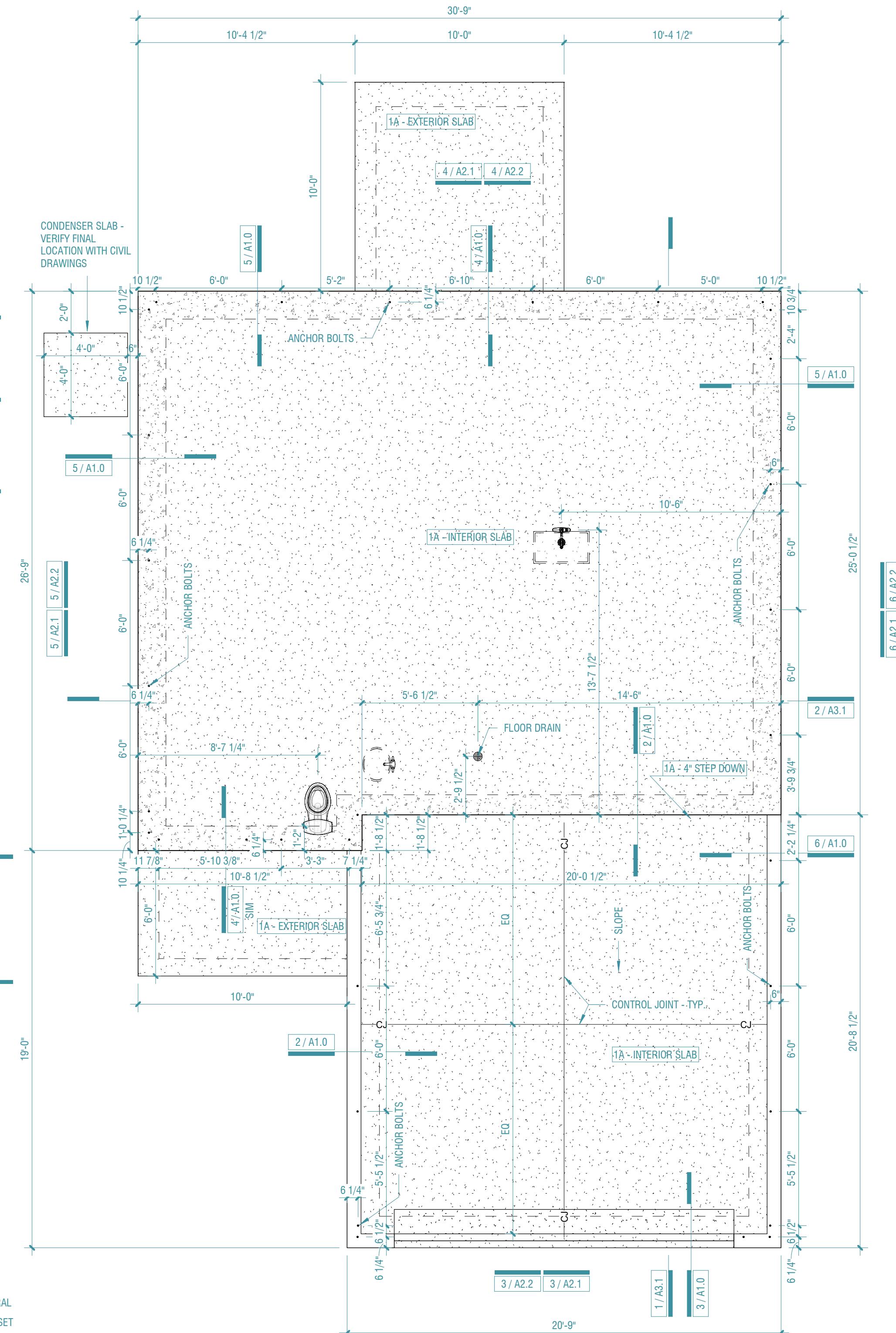
**GENERAL NOTES**

PRELIMINARY  
NOT FOR  
CONSTRUCTION

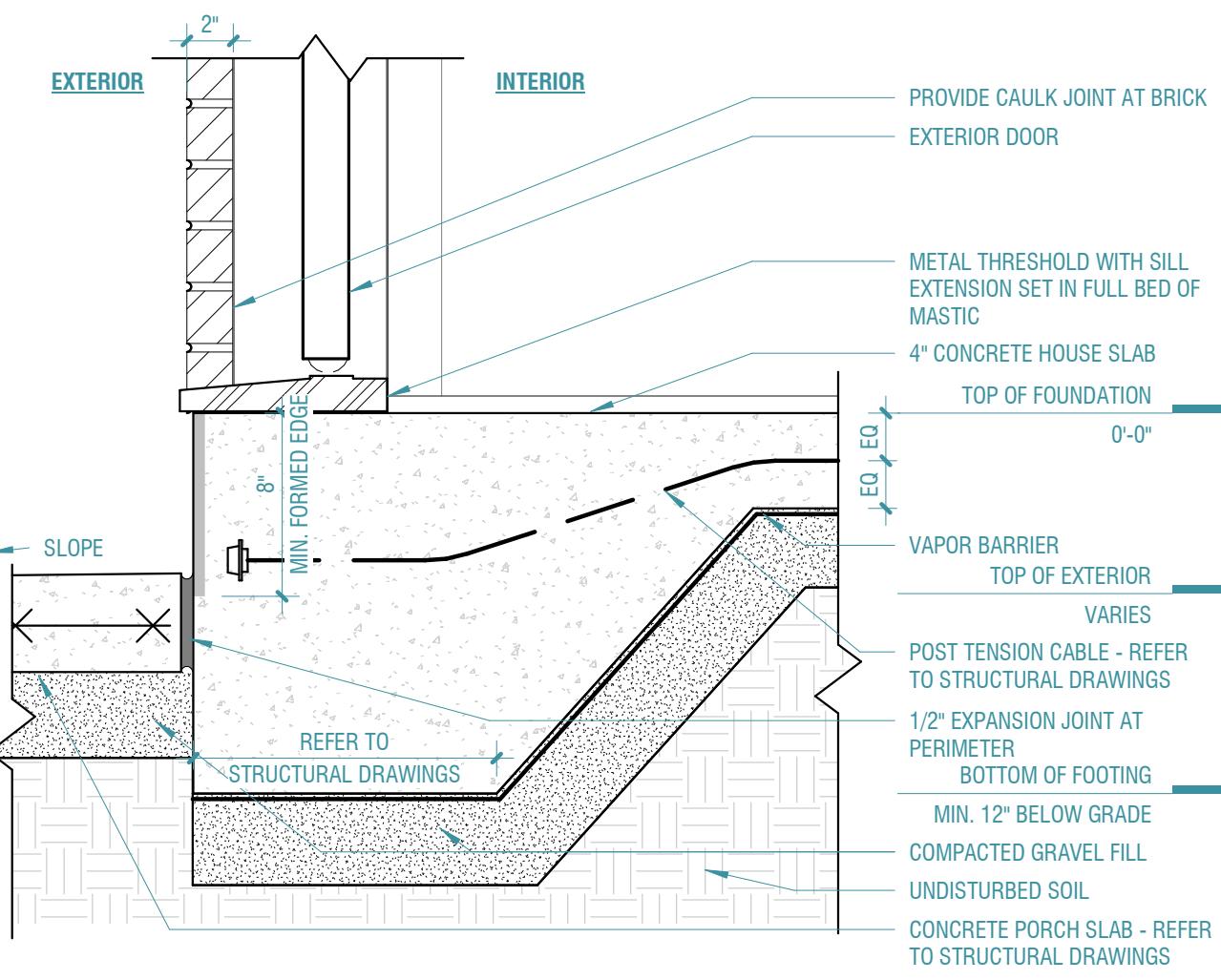
AO.1

ISSUED FOR GMP 08/23/2022  
ISSUED FOR BID 07/18/2022

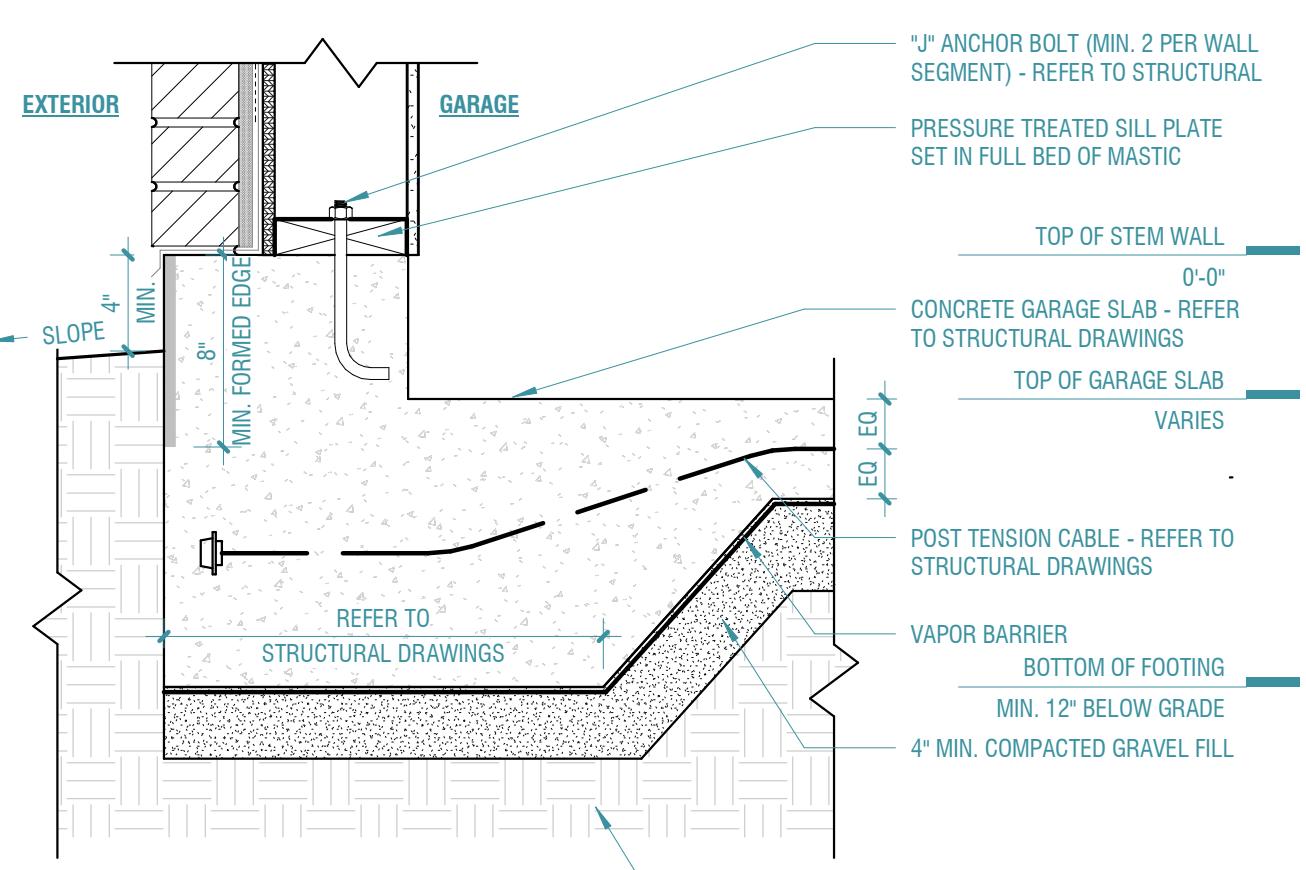
SPECIFICATIONS	
1A - 4" STEP DOWN	SLAB HEIGHT @ PORCHES AND GARAGE: 4" DROP FROM HOUSE
1A - EXTERIOR SLAB	PATIO AND PATIO SLABS: BROOM FINISH
1A - INTERIOR SLAB	HOUSE SLAB AND GARAGE: SMOOTH FINISH WITH CONTROL JOINTS. SLOPE GARAGE 2" AWAY FROM HOME



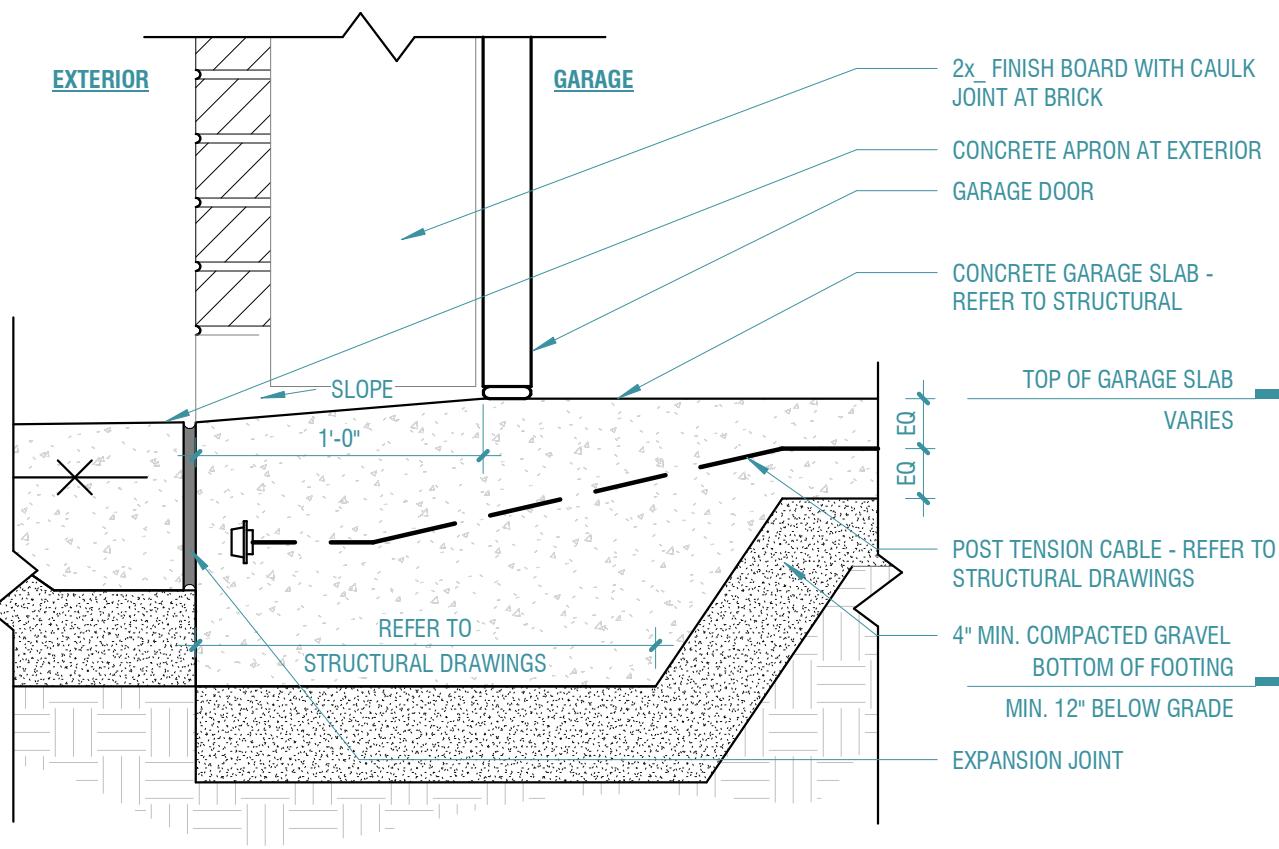
**1 FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"



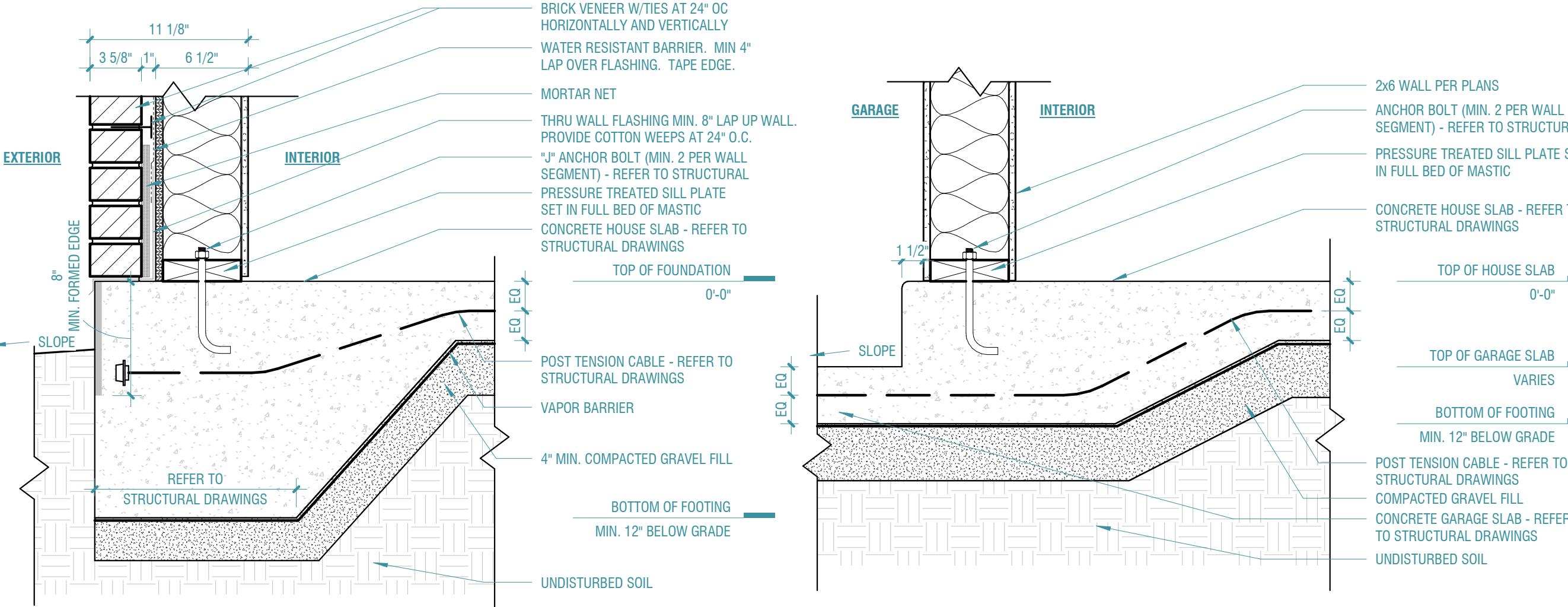
**4 FOUNDATION AT DOOR - BRICK**  
SCALE: 1 1/2" = 1'-0"



**6 FOUNDATION AT GARAGE SIDEWALL - BRICK**  
SCALE: 1 1/2" = 1'-0"



**3 FOUNDATION AT GARAGE DOOR - BRICK**  
SCALE: 1 1/2" = 1'-0"



**5 TYPICAL FOOTING - BRICK**  
SCALE: 1 1/2" = 1'-0"



**2 FOUNDATION AT GARAGE SLAB TO HOUSE SLAB**  
SCALE: 1 1/2" = 1'-0"

## HAVEN PLAN 03

Project #: 21-022 Date: 10.31.2022

### FOUNDATION PLAN

**A1.0**

Type	Description	Area	Volume
0.0 - 4" HOUSE	Slab - House	788 SF	263 CF
0.1 - 4" GARAGE	Slab - Garage	418 SF	139 CF
0.2 - 4" REAR PATIO	Slab - Rear Patio	100 SF	33 CF
0.3 - 4" FRONT PORCH	Slab - Front Porch	60 SF	20 CF
0.4 - 4" A/C PAD	Slab - Air Conditioner Pad	16 SF	5 CF

PRELIMINARY  
NOT FOR  
CONSTRUCTION

# HAVEN PLAN 03

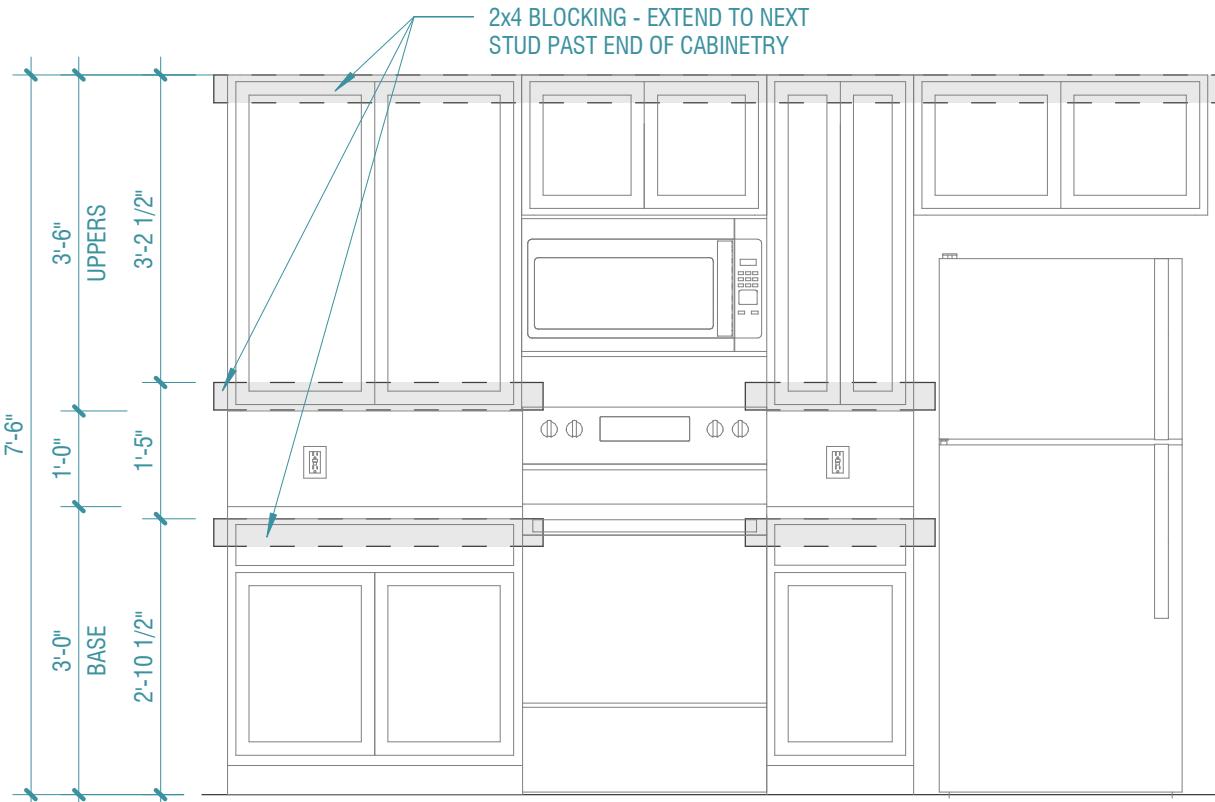
Project #: 21-022 Date: 10.31.2022

# FIRST FLOOR FRAMING PLAN

# A1.1

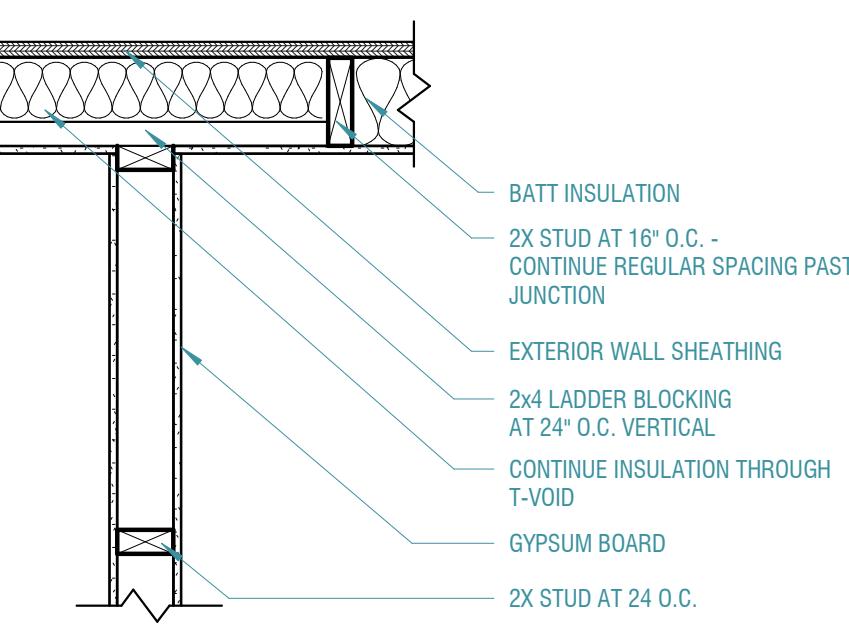
SUED FOR GMP	08.23.2022
SUED FOR BID	07.18.2022

# PRELIMINARY NOT FOR CONSTRUCTION



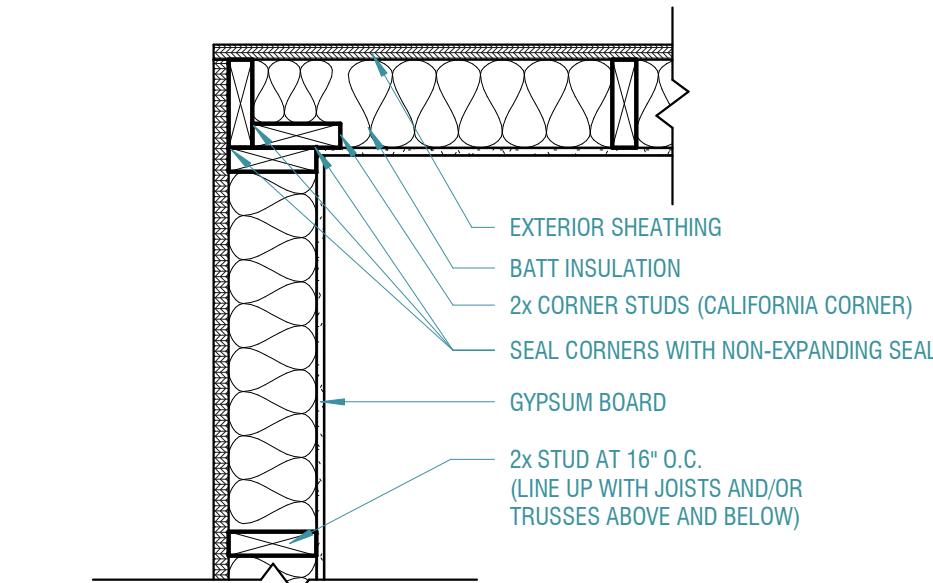
## **5** FRAMING - "T" WALL AT EXTERIOR

Se



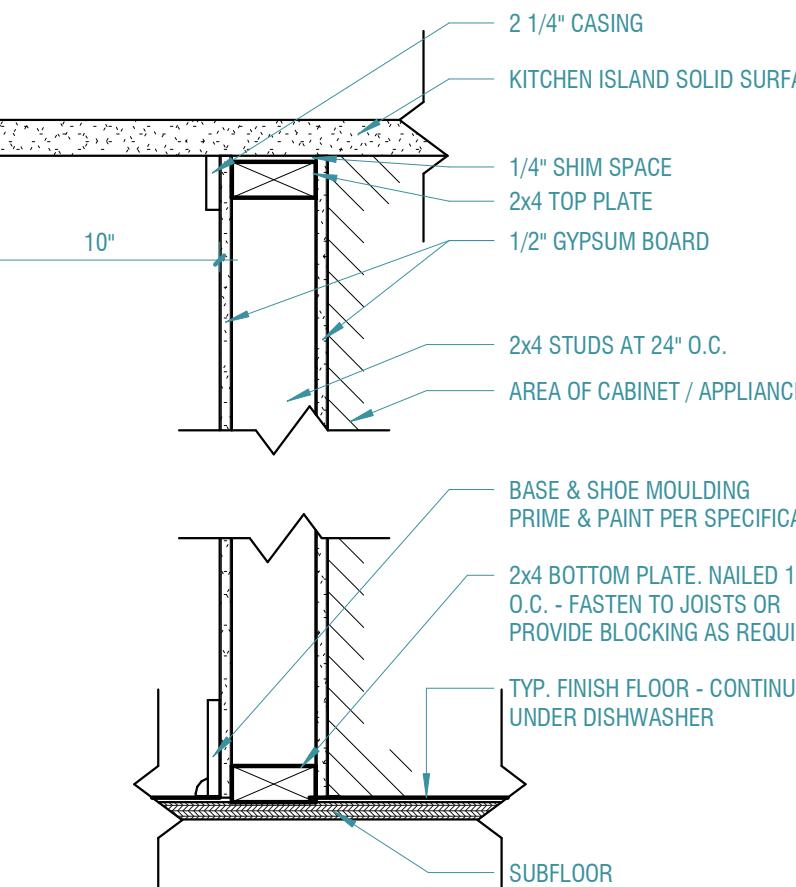
## **8** TYPICAL MOUNTING HEIGHTS - KITCHEN

SCA



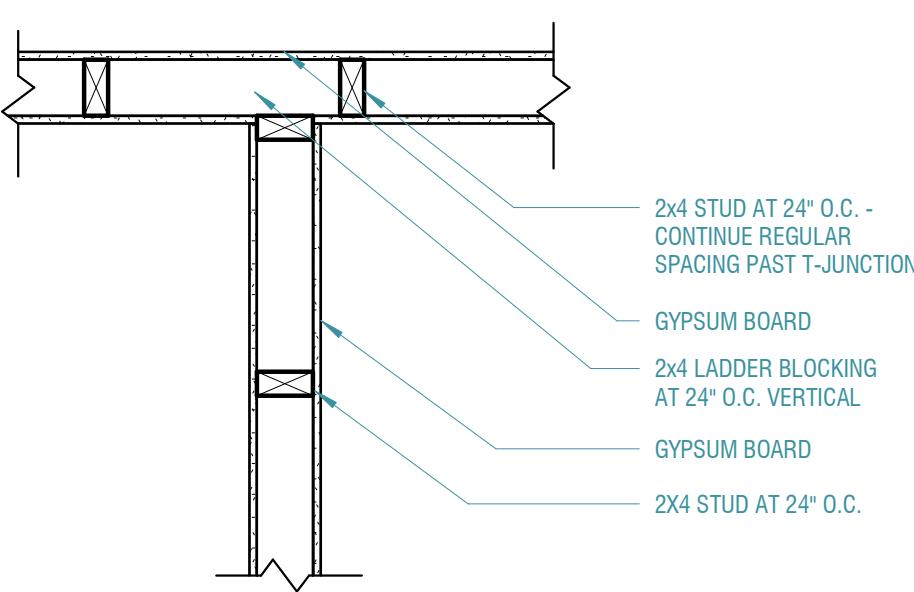
## 4 FRAMING AT EXTERIOR CORNER

1



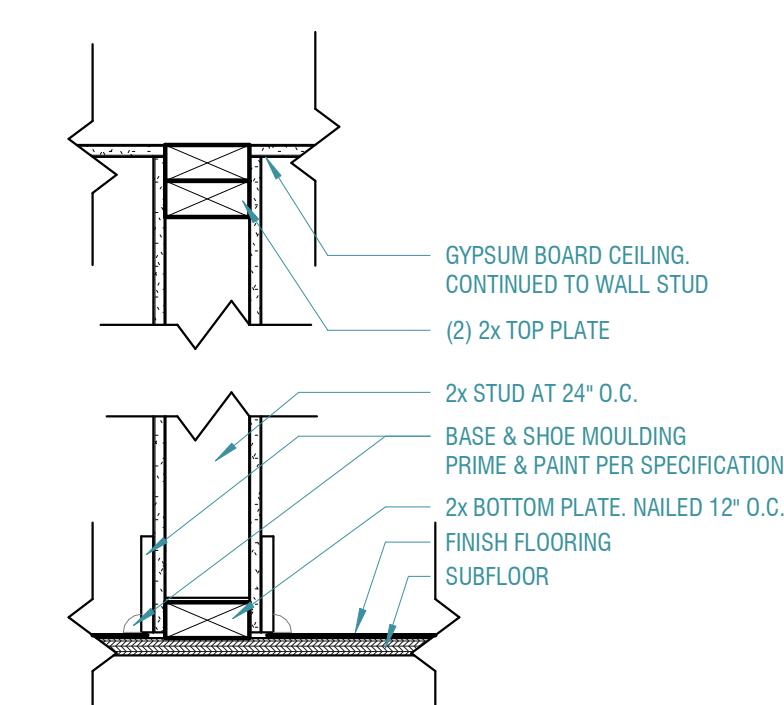
**7** HEADER - 2x4 INTERIOR

SCALE: 1/2" =



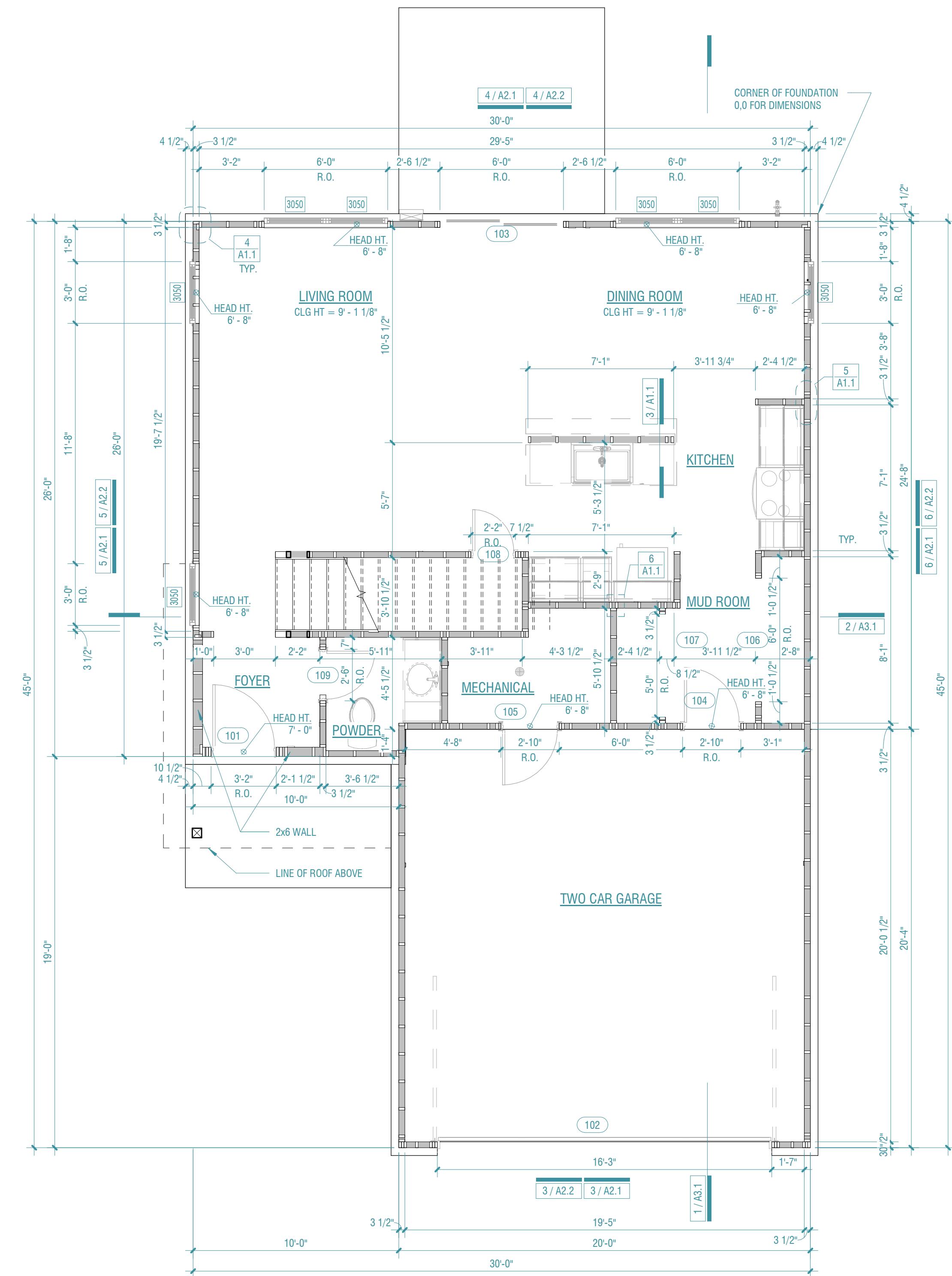
## **3** FRAMING - KITCHEN ISLAND

—  
SO



## 2 FRAMING - PARTITION - TYPICAL

SCALE: 1 1/2" = 1'



## **1** FIRST FLOOR PLAN - FRAMING

SCALE: 1/4

WINDOW SCHEDULE - OPTION TA										
MARK	WIDTH	HEIGHT	SPECIFICATION	COMMENTS	COUNT	LIGHT AREA	VENT AREA	ROUGH WIDTH	ROUGH HEIGHT	SILL HEIGHT
3028FX	3' - 0"	2' - 8"	FIXED - ANDERSEN - 100 SERIES		1	4.7 SF	0.0 SF	36 1/2"	32 1/2"	44"
3050	3' - 0"	5' - 0"	SINGLE HUNG - ANDERSEN - 100 SERIES		9	10.4 SF	5.8 SF	36 1/2"	60 1/2"	20"
3050G	3' - 0"	5' - 0"	SINGLE HUNG - ANDERSEN - 100 SERIES	WITH GRILLE	1	10.4 SF	5.8 SF	36 1/2"	60 1/2"	24"
3060G	3' - 0"	6' - 0"	SINGLE HUNG - ANDERSEN - 100 SERIES	WITH GRILLE	2	15.4 SF	8.5 SF	36 1/2"	72 1/2"	24"
3070FXG	3' - 0"	7' - 0"	FIXED - ANDERSEN - 100 SERIES	WITH GRILLE	1	0.0 SF	0.0 SF	36 1/2"	84 1/2"	-5"

DOOR SCHEDULE - FIRST FLOOR								
MARK	SIZE	TYPE	CORE	SWING	LOCKSET	ROUGH WIDTH	ROUGH HEIGHT	COMMENTS
101	3070	FRONT DOOR	FIBERGLASS	LEFT	KEYPAD WITH LEVER	38"	85"	
102	16' x 8'	GARAGE DOOR				192"	96"	
103	6068	SLIDING GLASS				72 3/4"	80 1/2"	
104	2868	SWING	20 MINUTE RATED	LEFT	KEYED	34"	81"	
105	2868	SWING	METAL	RIGHT	PASSAGE	34"	81"	
106	6068	BYPASS	SOLID CORE	-	FINGER PULL	73"	81"	
107	5068	BYPASS	SOLID CORE	-	FINGER PULL	61"	81"	
108	2068	SWING	SOLID CORE	LEFT	PASSAGE	26"	81"	
109	2468	SWING	SOLID CORE	LEFT	PRIVACY	30"	81"	

# HAVEN PLAN 03

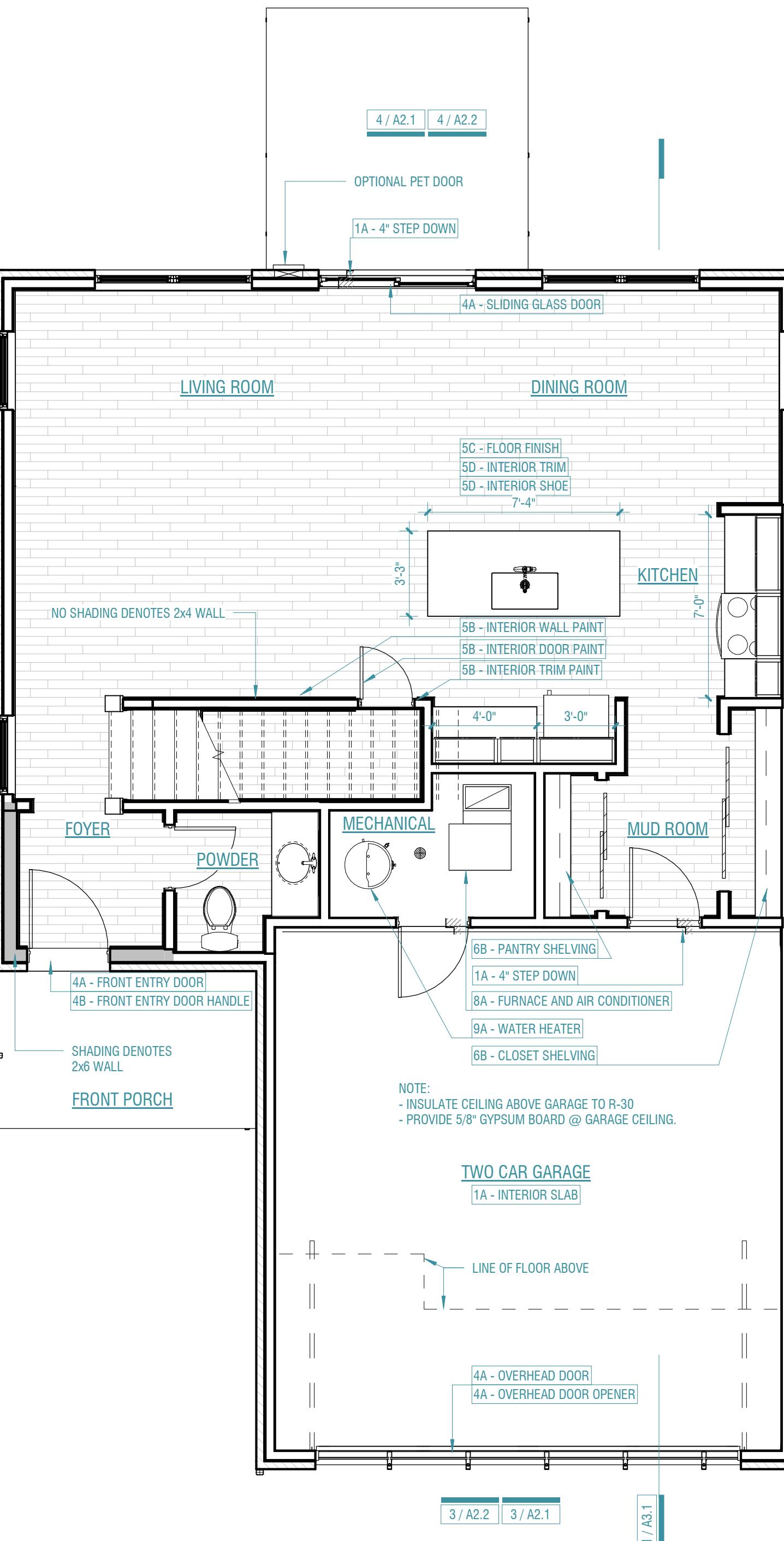
Project #: 21-022 Date: 10.31.2022

## FIRST FLOOR PLAN

A1.2

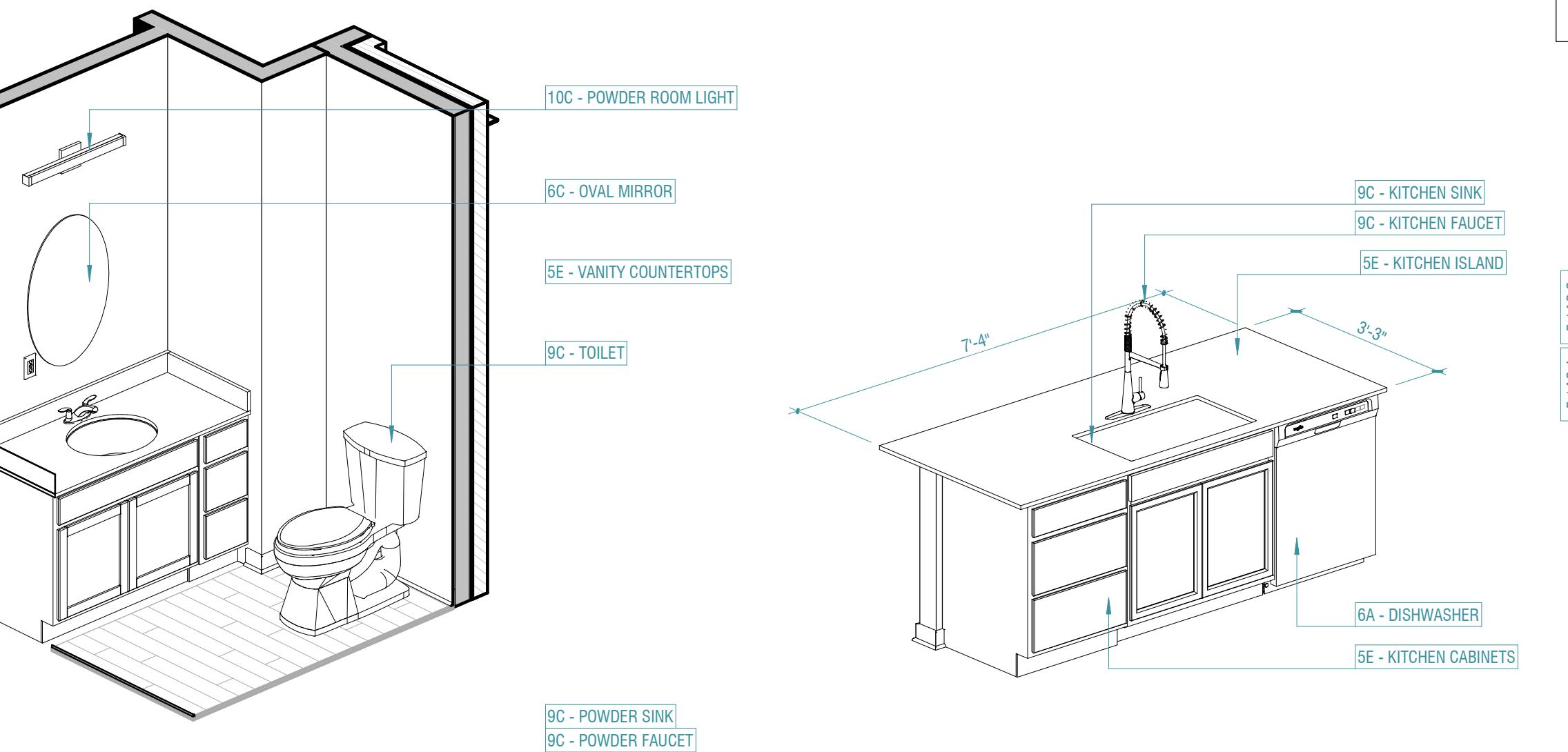
ISSUED FOR GMP 08.23.2022  
ISSUED FOR BID 07.18.2022PRELIMINARY  
NOT FOR  
CONSTRUCTION

SPECIFICATIONS	
1A - 4" STEP DOWN	SLAB HEIGHT @ PORCHES AND GARAGE: 4" DROP FROM HOUSE
1A - INTERIOR SLAB	HOUSE SLAB AND GARAGE: SMOOTH FINISH WITH CONTROL JOINTS. SLOPE GARAGE 2" AWAY FROM HOME
4A - FRONT ENTRY DOOR	FRONT DOOR: THERMA-TRU FIBERGLASS, INSULATED, 6-PANEL - ALTERNATE FOR SOLID WOOD
4A - INTERIOR PASSAGE DOOR	CLOSET AND MISC. DOORS: MASONITE HOLLOW CORE PLASTIC LAMINATE OR WOOD VENEER FINISH, 1 3/4" THICK WILSONART OR EQUAL
4A - OVERHEAD DOOR	GARAGE DOOR: CLOPAY PLAIN LONG WINDOWS. COLOR: STANDARD WHITE [WHAT STYLE?]
4A - OVERHEAD DOOR OPENER	GARAGE DOOR OPENER: LIFTMASTER WITH WIFI
4A - SLIDING GLASS DOOR	PATIO DOOR: ANDERSEN SLIDING GLASS DOOR
4B - DOOR HARDWARE	HINGES, DOOR BUMPS, STOPS, CHROME
4B - FRONT ENTRY DOOR HANDLE	EXTERIOR DOOR HARDWARE: SCHLAGE CHROME LEVER STYLE WITH KEYPAD. PROVIDE ALTERNATE FOR STANDARD KEYLOCK
4B - FRONT ENTRY DOOR LOCK	EXTERIOR DEADBOLT: SCHLAGE CHROME TO MATCH DOOR LEVER
4B - INTERIOR DOOR HANDLE	INTERIOR DOOR HARDWARE: CHROME LEVER. SCHLAGE LATITUDE S-SERIES
4B - SLIDING GLASS DOOR HANDLE	PATIO SLIDE DOOR HARDWARE: EXTERIOR KEYED LOCK AND INTERIOR THUMB TURN FROM DOOR MANUF.
4C - GARAGE LOCKSET	GARAGE LOCKSET: EXTERIOR MOUNTED KEYPAD. EMERGENCY RELEASE LOCKS IF REQUIRED BY CODE.
5A - INTERIOR HANDRAIL	HANDRAILS: #6000 OAK. COLOR: STAINED TO MATCH FLOOR
5A - INTERIOR STAIRS	INTERIOR STAIRS: FIELD BUILT WITH KNEEWALL. USE 2X LUMBER FOR BOTH TREADS AND RISERS. PROVIDE ALTERNATE FOR RAILING.
5B - INTERIOR DOOR PAINT	INTERIOR DOOR PAINT: PPG SEMI-GLOSS. COLOR: EXTRA BRIGHT WHITE
5B - INTERIOR TRIM PAINT	INTERIOR TRIM PAINT: PPG SEMI-GLOSS. COLOR: EXTRA BRIGHT WHITE
5B - INTERIOR WALL PAINT	INTERIOR WALL PAINT: 2 COATS PPG FLAT LATEX. COLOR: TBD
5C - FLOOR FINISH	ALL FLOORING, INCLUDING STAIRS: SHAW LVP, 16MM WEAR LAYER, 2MM THICKNESS - CHAUCER 02047
5D - INTERIOR TRIM	SHOE MOLD: PROVIDED IN ALL ROOMS WITH LVP FLOORING. COLOR: WHITE
5D - INTERIOR SHOE	BASE BOARD: 3 1/4" FLAT STOCK
5D - KNEEWALL CAP	KNEEWALL @ STAIRS: 1x8 MDF CAP W/356 CASING BELOW - PROVIDE ALTERNATE FOR RAILING
5E - CABINET CROWN	CROWN ON UPPER CABINETS: INCLUDED
5E - CABINET HANDLE	CABINET HARWARE: EURO-PULL, SATIN NICKEL
5E - KITCHEN CABINETS	KITCHEN CABINETS: MASCO BRANDS WHITE SHAKER - 36" UPERS STRAIGHT
5E - KITCHEN ISLAND	KITCHEN ISLAND: INCLUDED PER PLAN WITH 10" OVERHANG
6A - DISHWASHER	DISHWASHER: FRIGIDAIRE FGID2466QF GALLERY 24" BUILT IN DISHWASHER - SAMSUNG AND GE PACKAGE COMPARISON
6A - MICROWAVE WITH HOOD	MICROWAVE ABOVE RANGE: FRIGIDAIRE FGMV155CTF GALLERY 1.5 CU. FT. OVER THE RANGE WITH CONVECTION - SAMSUNG AND GE PACKAGE COMPARISON
6A - RANGE	RANGE: FRIGIDAIRE FCRE3052AS 30" ELECTRIC RANGE - SAMSUNG AND GE PACKAGE COMPARISON
6A - REFRIGERATOR	REFRIGERATOR: FRIGIDAIRE FHN2750TS 27.6 CU. FT. FRENCH DOOR - SAMSUNG AND GE PACKAGE COMPARISON
6B - CLOSET SHELVING	BEDROOM CLOSET SHELVING: VINYL VENTILATED CLOSET MAID 12" WIRE SHELF & ROD
6B - PANTRY SHELVING	PANTRY SHELVING: VINYL VENTILATED CLOSET MAID 12" WIRE SHELVING (5 TOTAL)
6C - OVAL MIRROR	POWDER ROOM BATH MIRROR: OVAL 1/4" PLATE GLASS
8A - FURNACE AND AIR CONDITIONER	ELECTRIC HEAT PUMP AND AC: YORK BRANDS - 14 SEER
9A - WATER HEATER	HOT WATER HEATER: STATE 40 GALLON ELECTRIC UPRIGHT WATER HEATER
9C - KITCHEN FAUCET	KITCHEN FAUCET: MOEN SLEEK SINGLE HOLE, PRE-RINSE, 5925
9C - KITCHEN SINK	KITCHEN SINK: AMERISINK SINGLE BOWL, UNDERMOUNT, AS333
9C - TOILET	TOILETS: STERLING ELONGATED
10C - POWDER ROOM LIGHT	POWDER RM: MAXIM LIGHTING SPEC 24" LED BATH VANITY 52002BK



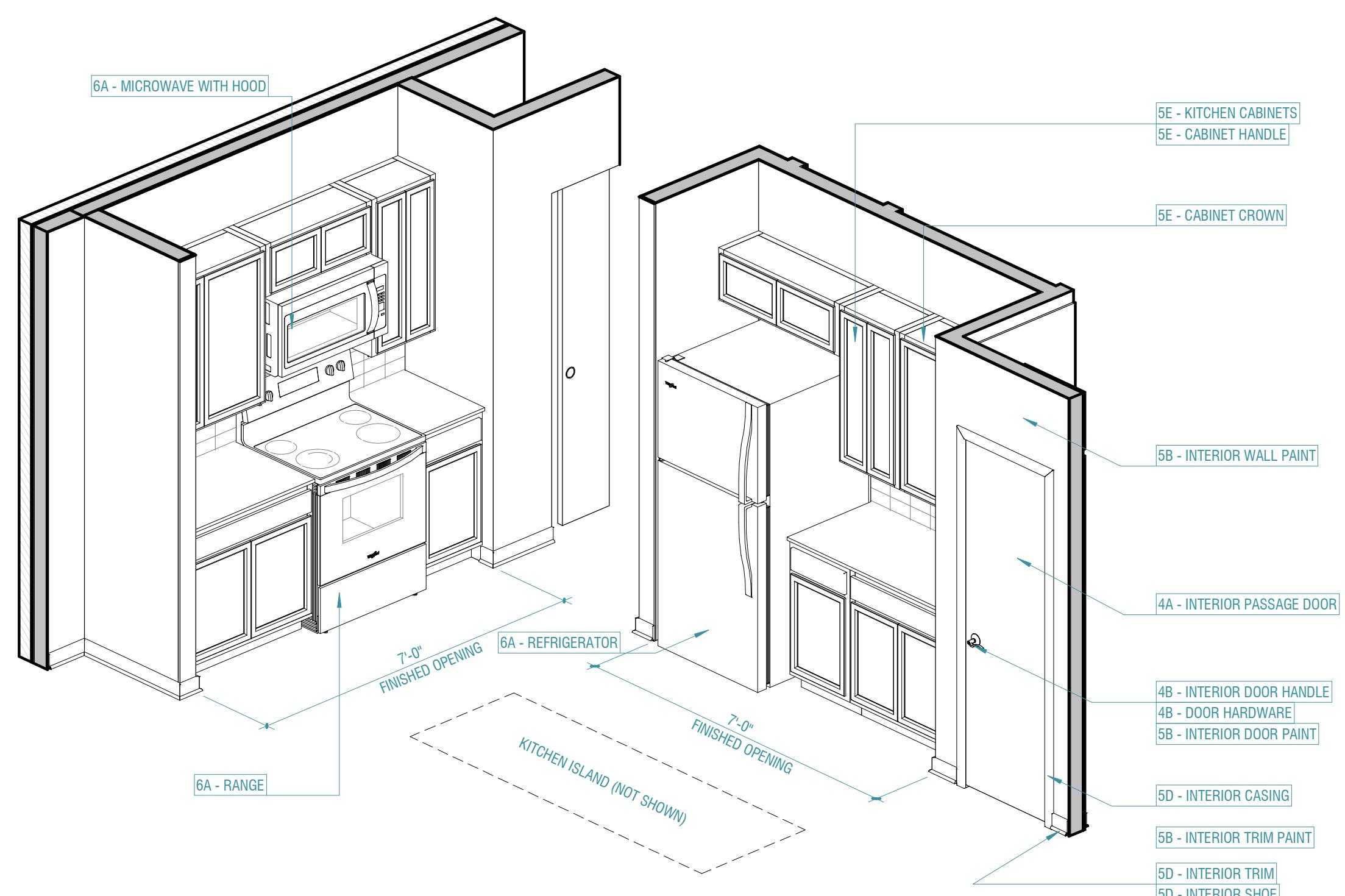
## 1 FIRST FLOOR PLAN - ARCHITECTURAL

SCALE: 1/4" = 1'-0"

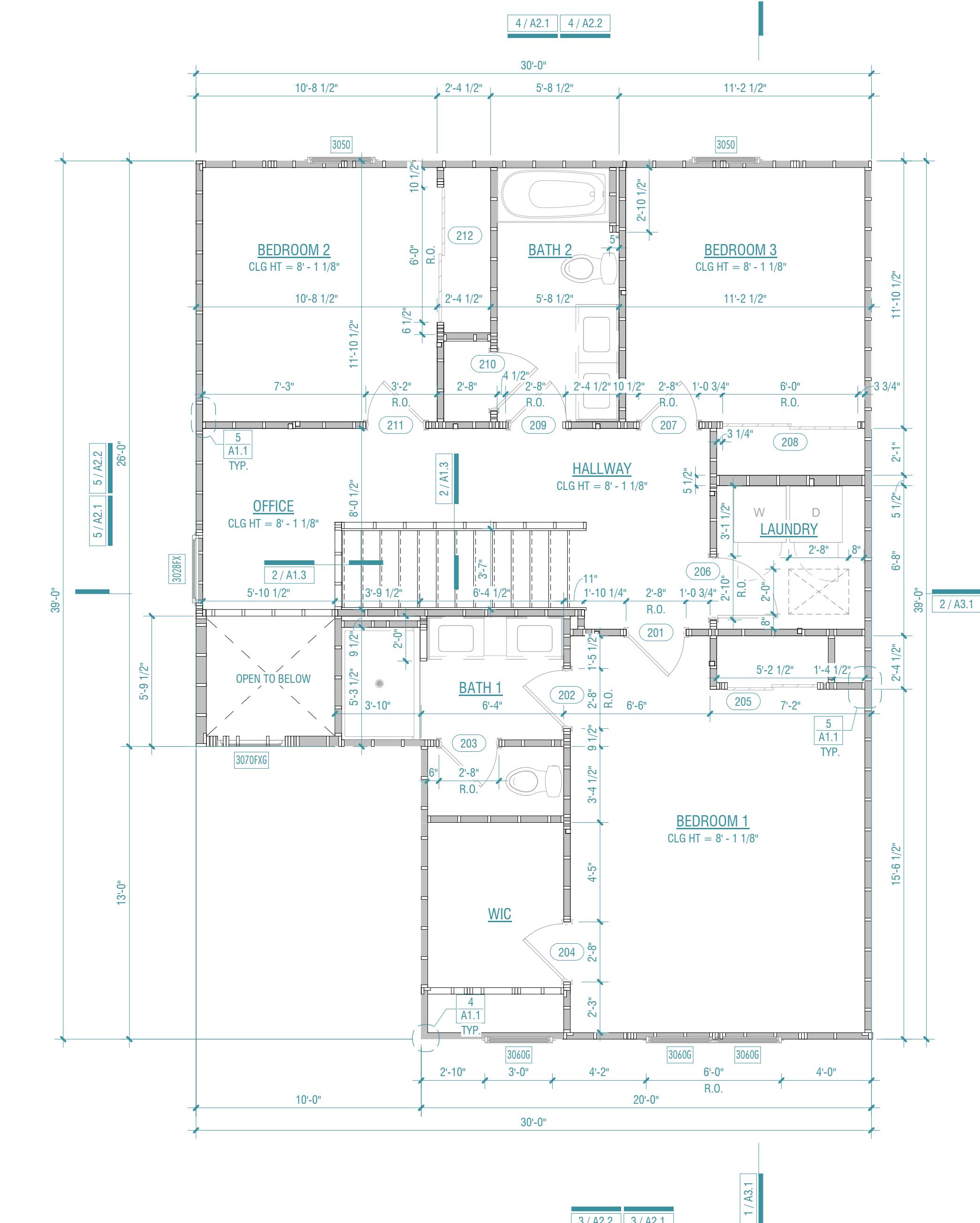


## 2 KITCHEN PERSPECTIVE

SCALE: NTS

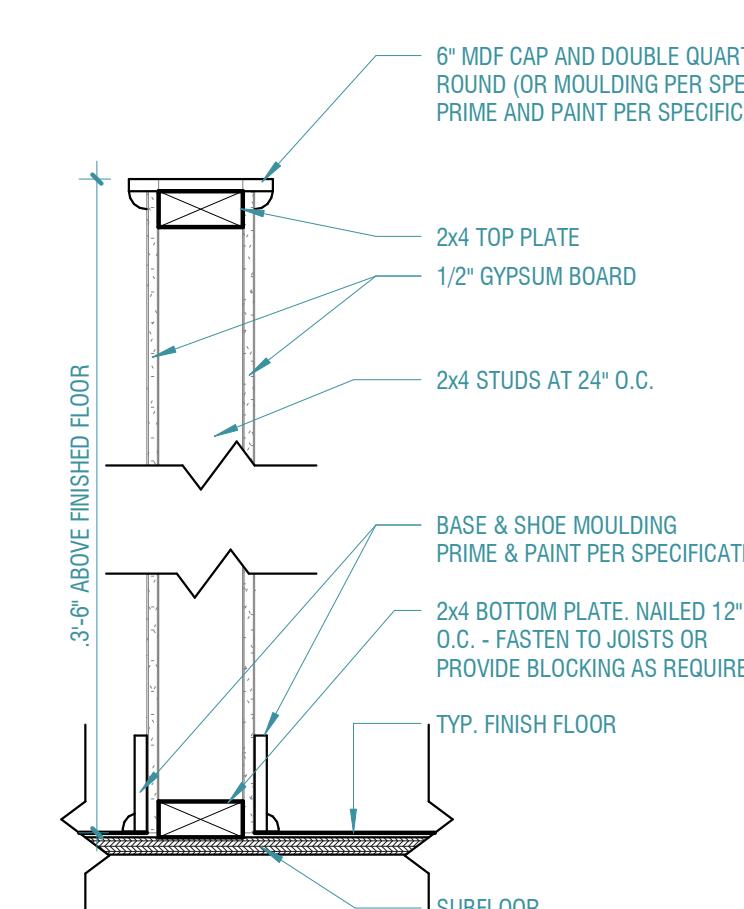


NATURAL LIGHT AND VENT SCHEDULE						
ROOM NAME	AREA	LIGHT REQ.	LIGHT ACTUAL	VENT REQ.	VENT ACTUAL	COMMENTS
LIVING ROOM	250 SF	20.01	31.14	10.01	17.37	
KITCHEN	114 SF	9.15	10.38	4.58	5.79	KITCHEN AND DINING ROOM COMBINED
DINING ROOM	109 SF	8.72	20.76	4.36	11.58	KITCHEN AND DINING ROOM COMBINED



## 1 SECOND FLOOR PLAN - FRAMING

SCALE: 1/4" = 1'-0"



## 2 FRAMING - PARTITION 1/2 HEIGHT

SCALE: 1 1/2" = 1'-0"

### WINDOW SCHEDULE - OPTION TA

MARK	WIDTH	HEIGHT	SPECIFICATION	COMMENTS		COUNT	LIGHT AREA	VENT AREA	ROUGH WIDTH	ROUGH HEIGHT	SILL HEIGHT
3028FX	3'-0"	2'-8"	FIXED - ANDERSEN - 100 SERIES			1	4.7 SF	0.0 SF	36 1/2"	32 1/2"	44"
3050	3'-0"	5'-0"	SINGLE HUNG - ANDERSEN - 100 SERIES			9	10.4 SF	5.8 SF	36 1/2"	60 1/2"	20"
3050G	3'-0"	5'-0"	SINGLE HUNG - ANDERSEN - 100 SERIES	WITH GRILLE		1	10.4 SF	5.8 SF	36 1/2"	60 1/2"	24"
3060G	3'-0"	6'-0"	SINGLE HUNG - ANDERSEN - 100 SERIES	WITH GRILLE		2	15.4 SF	8.5 SF	36 1/2"	72 1/2"	24"
3070FXG	3'-0"	7'-0"	FIXED - ANDERSEN - 100 SERIES	WITH GRILLE		1	0.0 SF	0.0 SF	36 1/2"	84 1/2"	-5"

### DOOR SCHEDULE - SECOND FLOOR

MARK	TYPE	Operation	Core	SWING	LOCKSET	ROUGH WIDTH	ROUGH HEIGHT	COMMENTS	
201	2668	SWING	SOLID CORE	RIGHT	PRIVACY	32"	81"		
202	2668	SWING	SOLID CORE	LEFT	PRIVACY	32"	81"		
203	2668	SWING	SOLID CORE	RIGHT	PRIVACY	32"	81"		
204	2668	SWING	SOLID CORE	LEFT	PRIVACY	32"	81"		
205	4068	BYPASS	SOLID CORE	-	FINGER PULL	49"	81"		
206	2668	SWING	SOLID CORE	RIGHT	PASSAGE	34"	81"		
207	2668	SWING	SOLID CORE	LEFT	PRIVACY	32"	81"		
208	6068	BYPASS	SOLID CORE	-	FINGER PULL	73"	81"		
209	2668	SWING	SOLID CORE	LEFT	PRIVACY	32"	81"		
210	2668	SWING	SOLID CORE	RIGHT	PRIVACY	32"	81"		
211	2668	SWING	SOLID CORE	RIGHT	PRIVACY	32"	81"		
212	6068	BYPASS	SOLID CORE	-	FINGER PULL	73"	81"		

# HAVEN PLAN 03

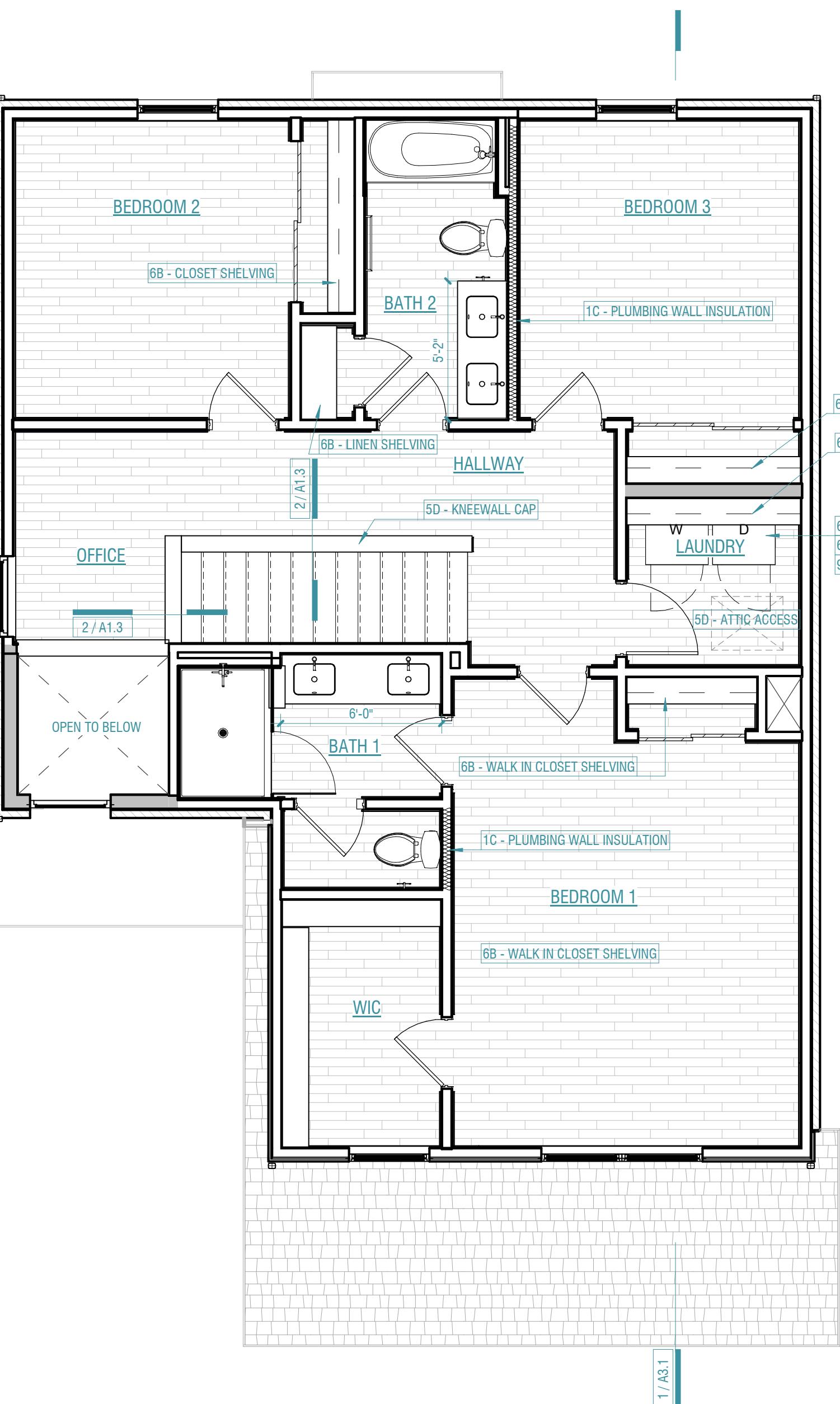
Project #: 21-022 Date: 10.31.2022

## SECOND FLOOR FRAMING PLAN

A1.3

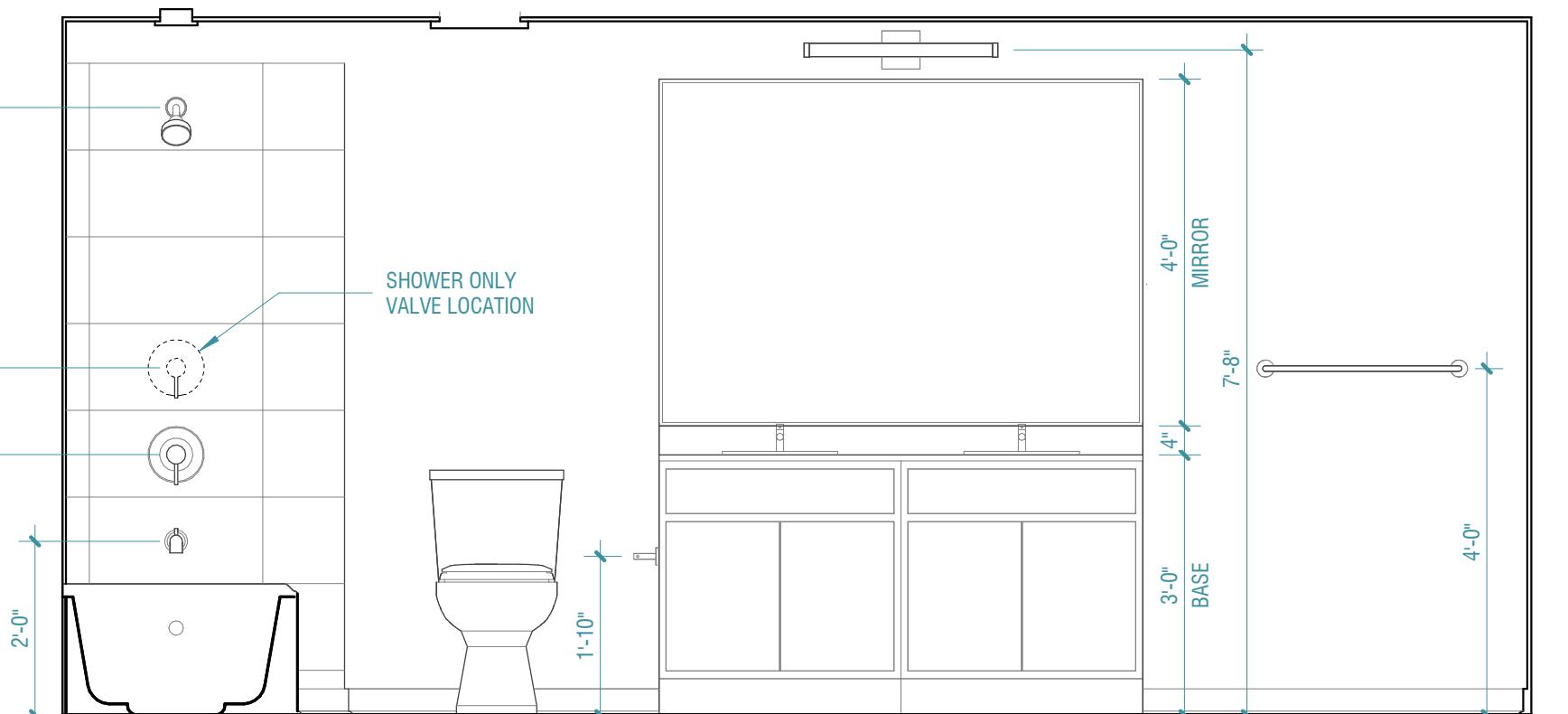
ISSUED FOR GMP 08.23.2022  
ISSUED FOR BID 07.18.2022PRELIMINARY  
NOT FOR  
CONSTRUCTION

SPECIFICATIONS	
1C - PLUMBING WALL INSULATION	INSULATION FOR SOUND ATTENUATION: PROVIDED AT BATHROOM PLUMBING WALLS
5C - FLOOR FINISH	ALL FLOORING, INCLUDING STAIRS: SHAW LVP, 16MM WEAR LAYER, 2MM THICKNESS - CHAUCER 2047
5D - ATTIC ACCESS	ATTIC ACCESS: SCUTTLE HOLE 2 1/4" FLAT STOCK CASING - PROVIDE ATTIC LADDER PER LOCAL REQUIREMENTS / CODES
5D - KNEEWALL CAP	KNEEWALL @ STAIRS: 1x8 MDF CAP W/356 CASING BELOW - PROVIDE ALTERNATE FOR RAILING
5E - SHOWER DOOR	BATH 1 SHOWER DOOR: SEMI-FRAMELESS GLASS ENCLOSURE - CHROME
5E - SHOWER PAN	SHOWER PAN: ROYAL BATHS 42"x60"
5E - SHOWER TILE	SHOWER WALLS: EMSER 12x24 SILHOUETTE W/DOLCEMAR GRAY GROUT AND SCHLUTER EDGES
5E - VANITY CABINETS - HALL	HALL BATH VANITY CABINETS: RAISED HEIGHT SHAKER. COLOR: WHITE
5E - VANITY CABINETS - PRIMARY	MASTER VANITY CABINETS: RAISED HEIGHT SHAKER. COLOR: WHITE
6A - DRYER	DRYER: FRIGIDAIRE FFR412DSW 6.7 CU. FT. FREE STANDING ELECTRIC DRYER - SAMSUNG AND GE PACKAGE COMPARISON
6A - WASHER	WASHER: FRIGIDAIRE FFTW412SW 4.1 CU. FT. HIGH EFFICIENCY TOP LOAD - SAMSUNG AND GE PACKAGE COMPARISON
6B - CLOSET SHELVING	BEDROOM CLOSET SHELVING: VINYL VENTILATED CLOSET MAID 12" WIRE SHELF & ROD
6B - LAUNDRY SHELVING	LAUNDRY ROOM SHELVING: VINYL VENTILATED CLOSET MAID 12" WIRE SHELF & ROD
6B - LINEN SHELVING	LINEN SHELVING: VINYL VENTILATED CLOSET MAID 12" WIRE SHELF & ROD (5 TOTAL)
6B - WALK IN CLOSET SHELVING	BEDROOM 1 WALK IN CLOSET SHELVING: MDF WITH SEPARATE CLOSET ROD
6C - MIRROR	BATHROOM 1 MIRRORS: 1/4" PLATE GLASS WITH J-MOLD AROUND PERIMETER, WIDTH TO MATCH VANITY
6C - MIRROR (SECONDARY)	SECONDARY BATH MIRRORS: 1/4" PLATE GLASS WITH J-MOLD AROUND PERIMETER, WIDTH TO MATCH VANITY
6D - ACCESSORY BLOCKING	INSTALL BLOCKING FOR ALL ACCESSORIES
6D - ROBE HOOK	ROBE HOOK: MOEN ARLYS ROBE HOOK (2EA IN BATH 1 AND HALL BATH) Y5703CH
6D - TOILET PAPER HOLDER	TOILET PAPER HOLDER: MOEN ARLYS TOILET PAPER HOLDER Y5708CH
6D - TOWEL BAR	TOWEL BAR: MOEN ARLYS 24" TOWEL BAR (2 EA IN BATH AND HALL BATH) Y5724CH
9B - WASHER BOX	WASHER WASTE / SUPPLY BOX: STANDARD PLASTIC
9C - BATH FAUCET	BATH 1 FAUCET: MOEN ALIGN SINGLE-HANDLE, 6190
9C - BATH FAUCET 2	BATH 2 FAUCET: MOEN ALIGN SINGLE-HANDLE, 6190
9C - BATH SINK	BATH 1 SINK: AMERISINK RECTANGULAR UNDERMOUNT, PORCELAIN, AS225
9C - BATH SINK (SECONDARY)	HALL BATH SINK: AMERISINK RECTANGULAR UNDERMOUNT, PORCELAIN, AS225
9C - BATHTUB	HALL BATH TUB/SHOWER: KOHLER 7104110-0 PERFORMA SERIES 7104110-0 BATH
9C - BATHTUB SHOWER HEAD	HALL BATH SHOWER HEAD: TBD
9C - BATHTUB VALVE	HALL BATH TUB/SHOWER VALVE: TBD
9C - SHOWER HEAD	BATH 1 SHOWER HEAD: MOEN ONE-FUNCTION 10" DIAMETER SPRAY HEAD ECO-PERFORMANCE RAINSHOWER, S112EP
9C - SHOWER KIT	BATH 1 SHOWER KIT: MOEN ANEX SHOWER RAIL, TS3361NH
9C - TOILET	TOILETS: STERLING ELONGATED
10C - BATHROOM SCONCE(S)	BATH 1 SCONCE(S): MAXIM LIGHTING SPEC 24" LED BATH VANITY 52002BK
10C - BATHROOM SCONCE LIGHT (SECONDARY)	SECONDARY BATH SCONCE(S): MAXIM LIGHTING SPEC 24" LED BATH VANITY 52002BK



## 1 SECOND FLOOR PLAN - ARCHITECTURAL

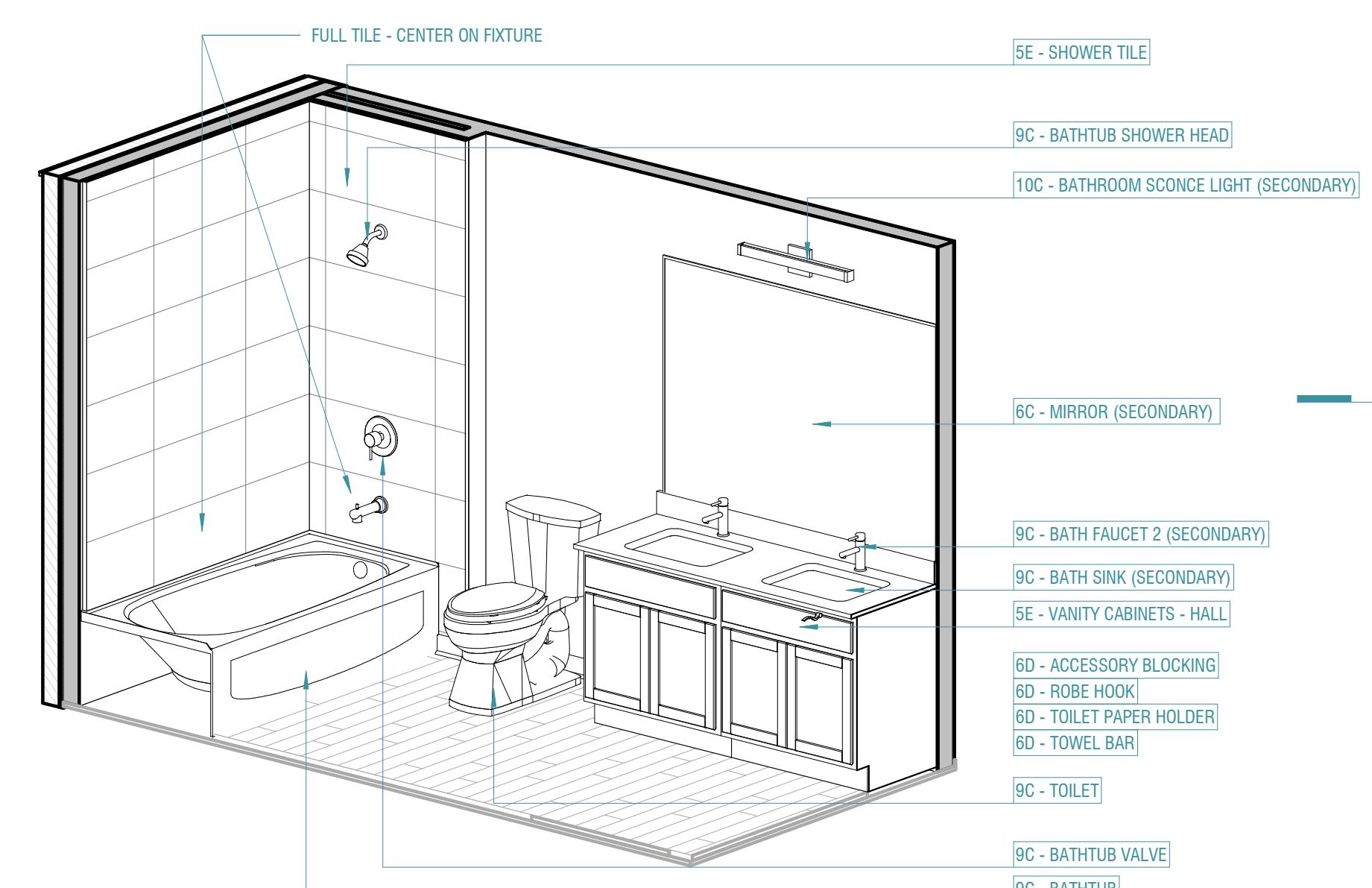
SCALE: 1/4" = 1'-0"



4

## TYPICAL MOUNTING HEIGHTS - BATHROOM

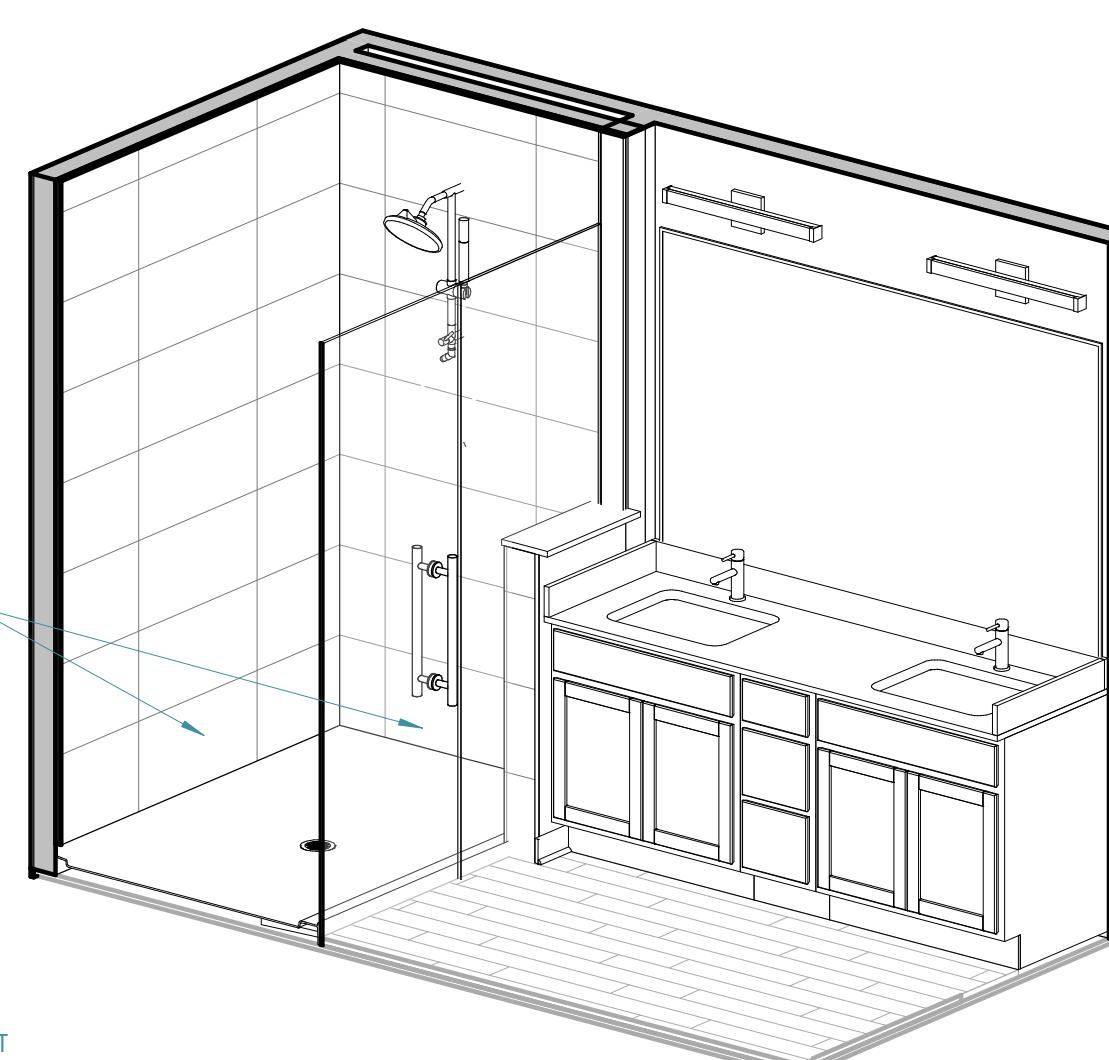
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3

## BATH 2

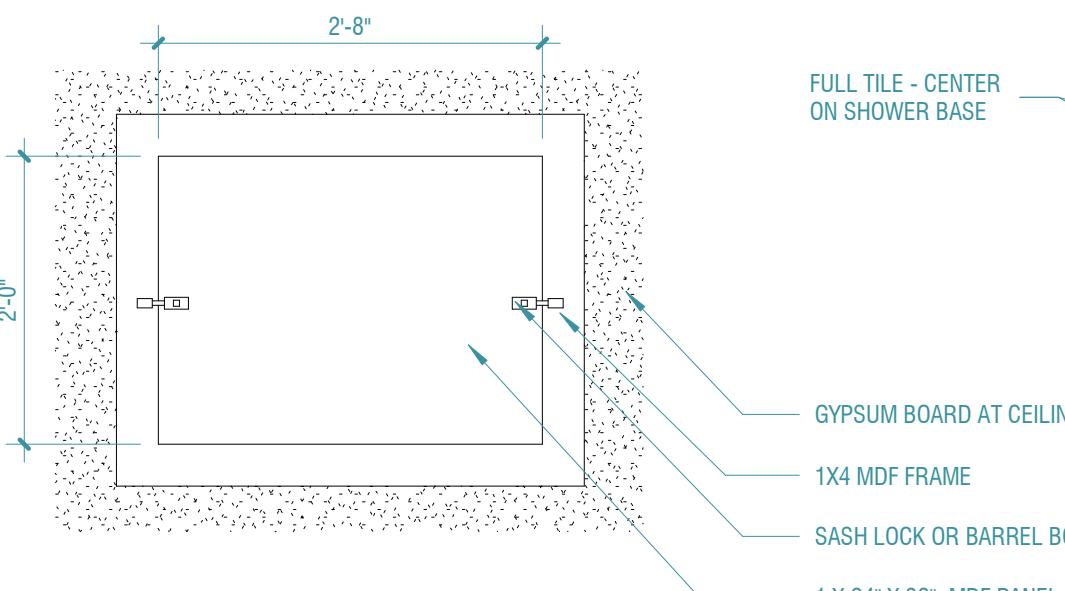
SCALE: NTS



2

## BATH 1

SCNTS



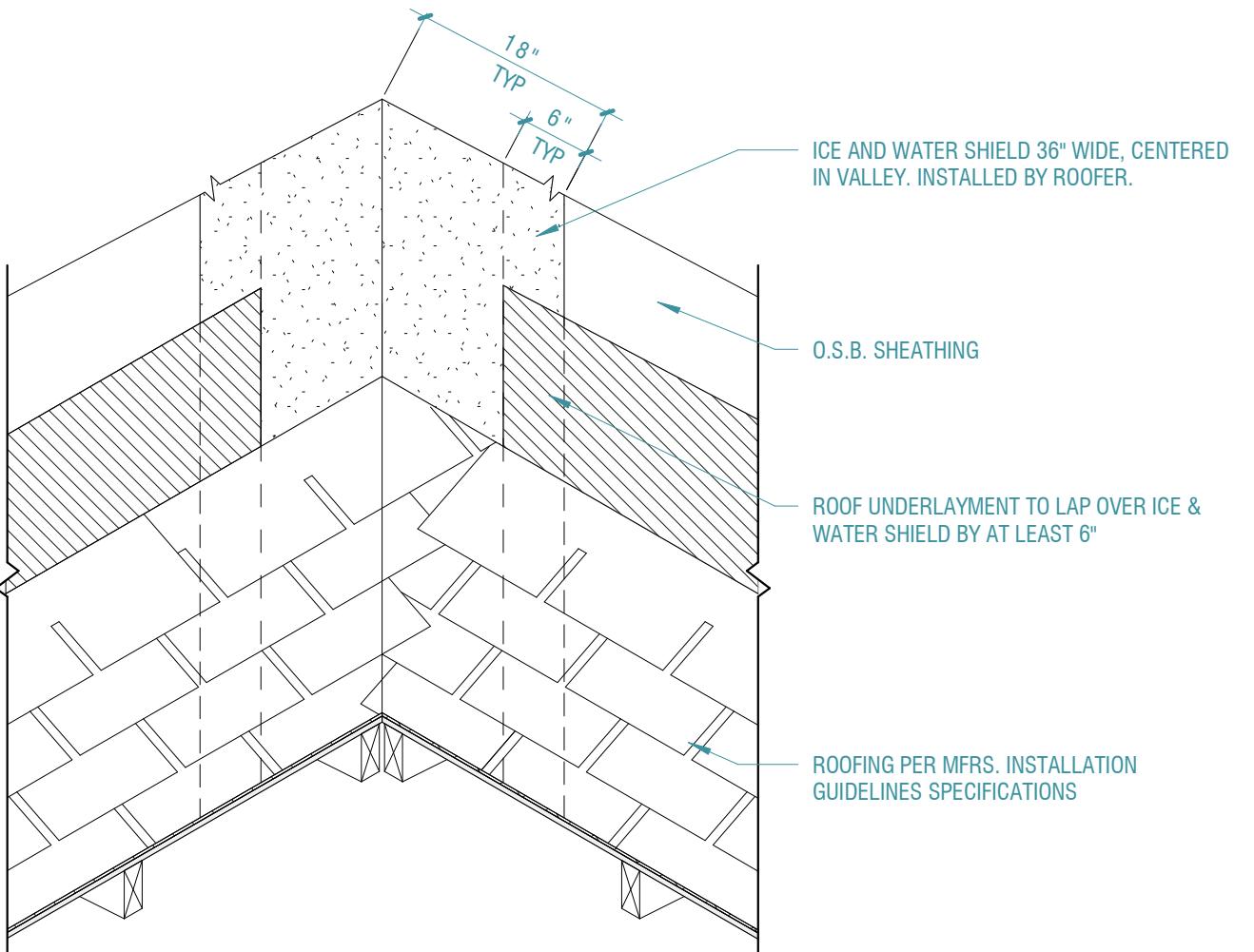
## 5 ATTIC ACCESS - CEILING

SCALE: 3/4" = 1'-0"

NATURAL LIGHT AND VENT SCHEDULE - SECOND FLOOR						
ROOM NAME	AREA	LIGHT REQ.	LIGHT ACTUAL	VENT REQ.	VENT ACTUAL	COMMENTS
BEDROOM 1	212 SF	16.94	20.76	8.47	11.58	
BEDROOM 2	116 SF	9.27	10.38	4.63	5.79	
BEDROOM 3	118 SF	9.45	10.38	4.73	5.79	
OFFICE	46 SF	3.68	4.72	1.84	2.36	

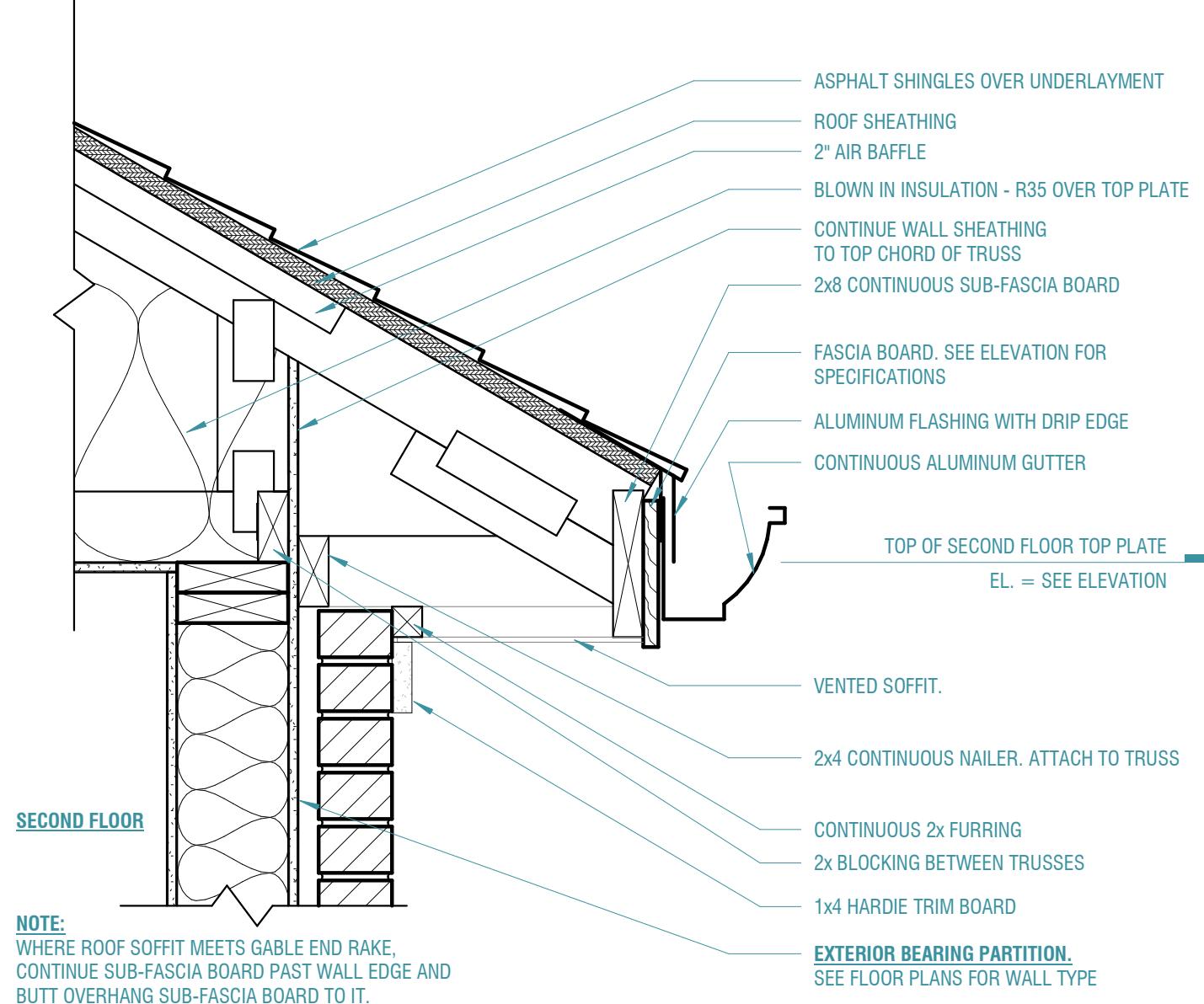
## SPECIFICATIONS

1C - ROOF SHINGLES	ROOF SHINGLES: CERTAINTeed DIMENSIONAL SHINGLES. 25 YR WARRANTY.
1E - GUTTER	GUTTERS AND DOWNSPOUTS: KODIAK ALUMINUM. COLOR: PER ELEVATION
8B - ATTIC VENT	ATTIC VENT: RIDGE VENT



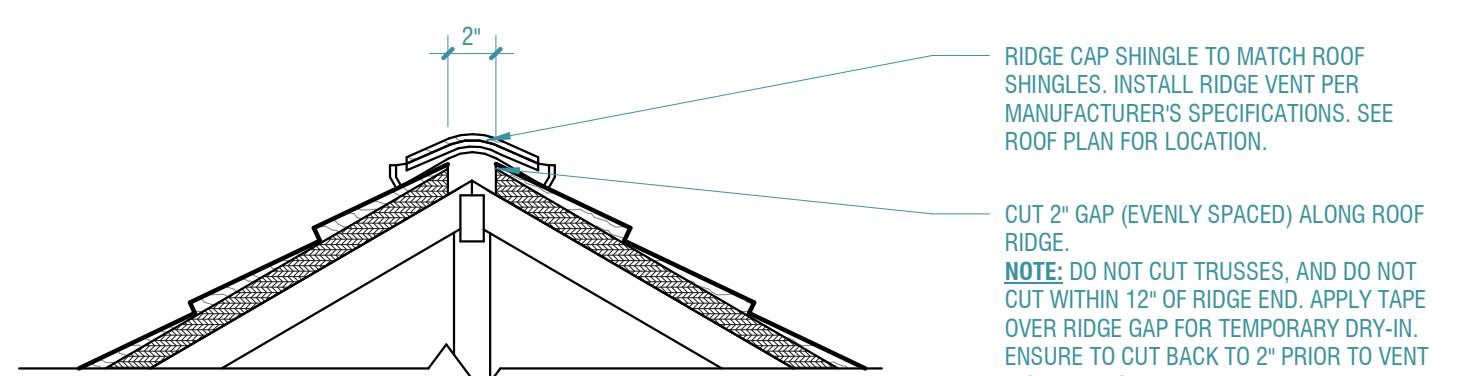
## 7 ICE AND WATER SHIELD FOR ROOF VALLEY

SCALE: NTS



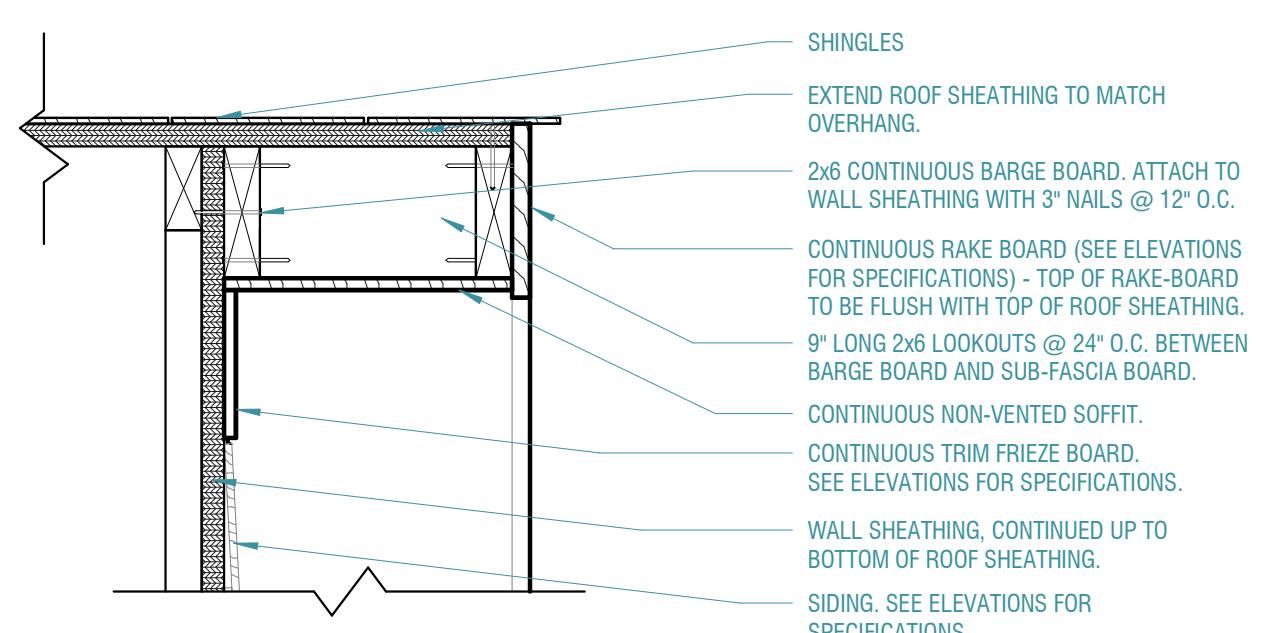
## 6 ROOF - TYPICAL SOFFIT - BRICK

SCALE: 1 1/2" = 1'-0"



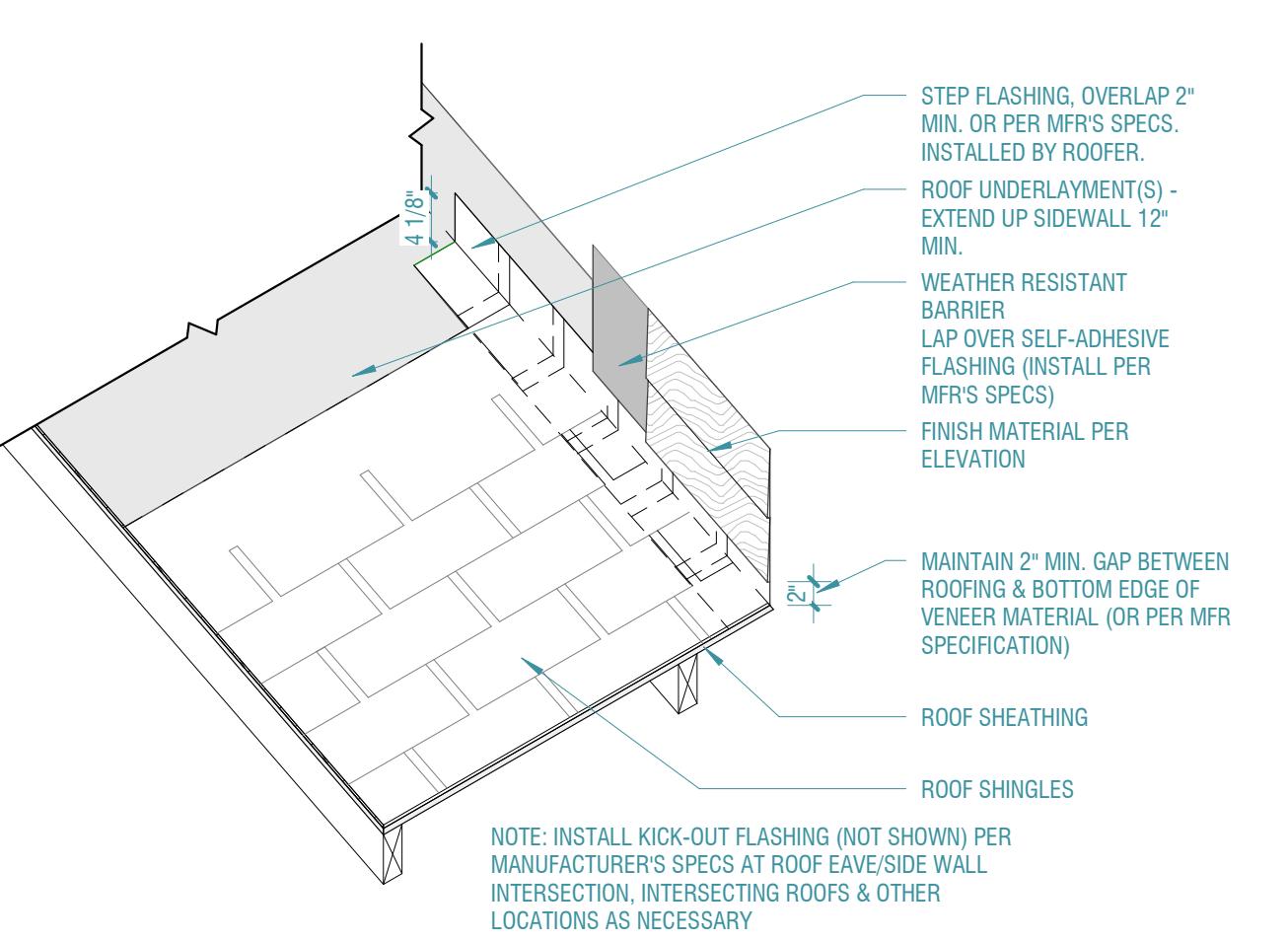
## **R**OOF - RIDGE VENT

SCALE: 1 1/2" = 110"



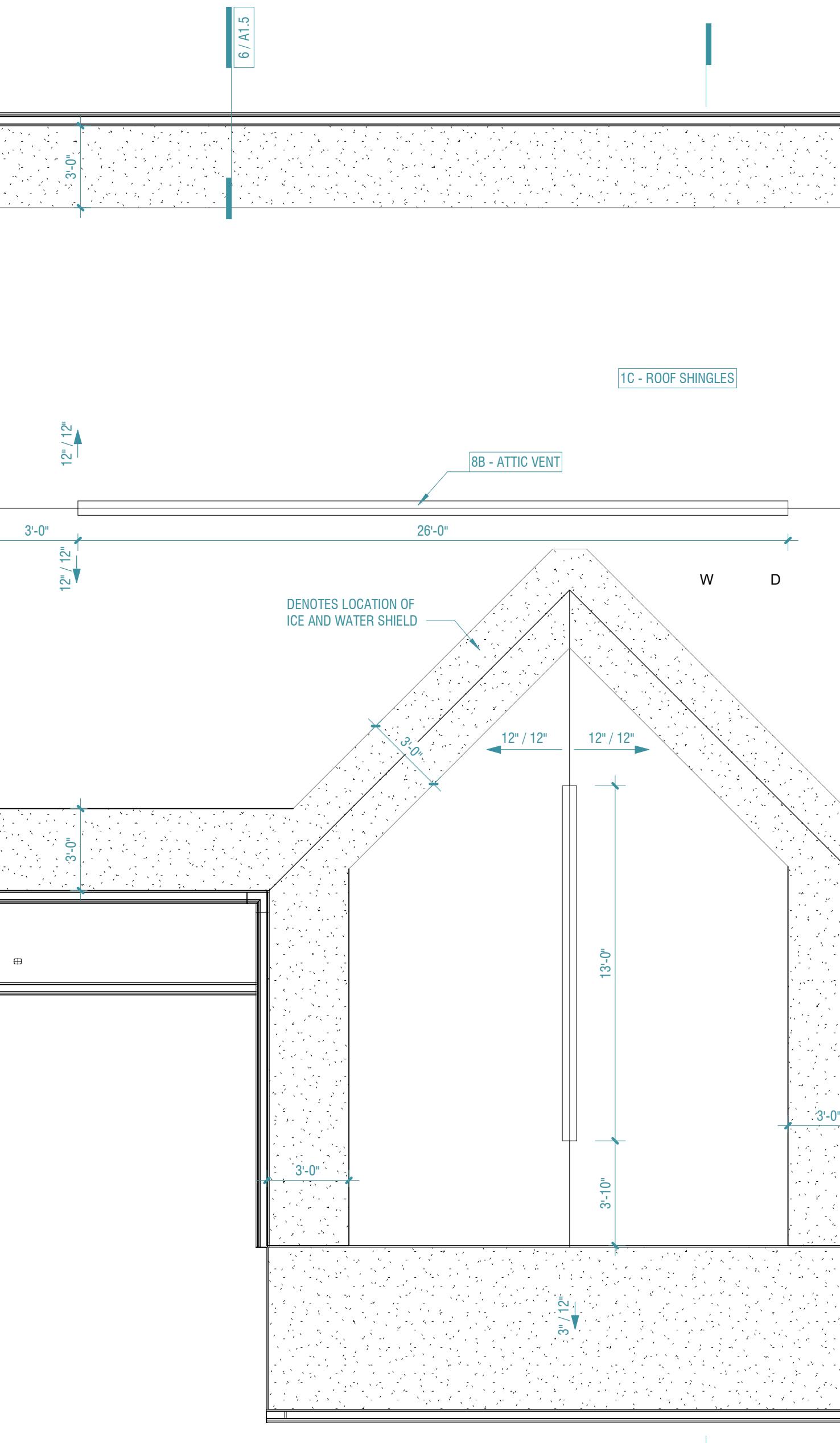
## **4 ROOF - GABLE END RAKE**

SCALE: 1 1/2" = 1'-0"



## **3** STEP FLASHING INSTALLATION

SCALE:



## **?** ROOF PLAN - OPTION MA

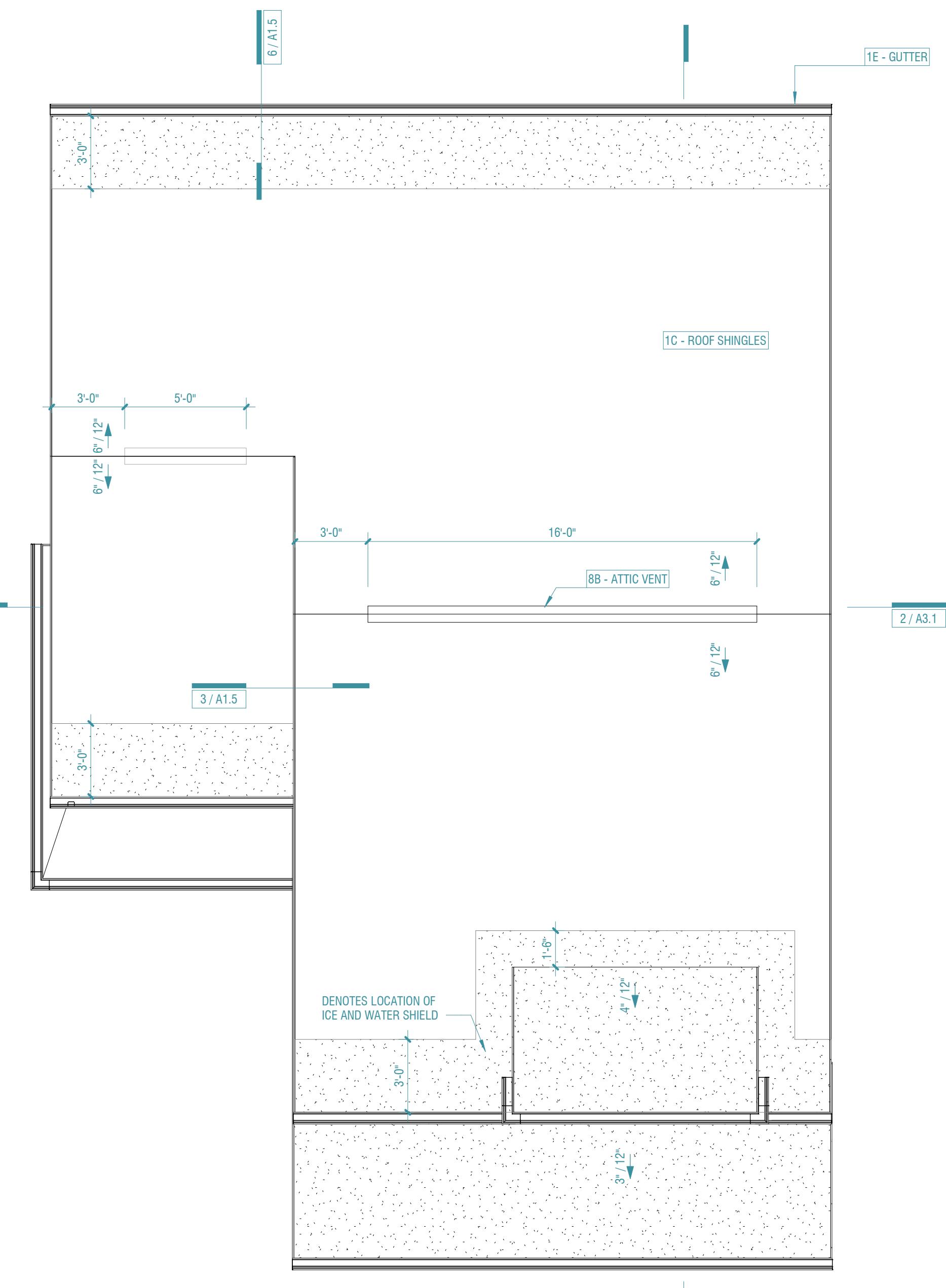
SCALE: 1/4" = 1'-0"

ATTIC VENT SCHEDULE - OPTION MA										
NAME	AREA	TOTAL VENT AREA REQ. (SQ INCH)	RIDGE VENT REQ. (LF)	RIDGE VENT ACTUAL (LF)	ROOF LOUVERS REQ. (QTY)	ROOF LOUVERS ACTUAL (QTY)	EAVE SOFFIT REQ. (LF)	EAVE SOFFIT ACTUAL (LF)	INTAKE VENT REQ. (LF)	INTAKE VENT ACTUAL (LF)
ATTIC AREA	1,046 SF	502	13' - 11"	39' - 0"	5	0	50' - 2"	65' - 0"	27' - 11"	0' - 0"

ATTIC VENT SCHEDULE - OPTION TA										
NAME	AREA	TOTAL VENT AREA REQ. (SQ INCH)	RIDGE VENT REQ. (LF)	RIDGE VENT ACTUAL (LF)	ROOF LOUVERS REQ. (QTY)	ROOF LOUVERS ACTUAL (QTY)	EAVE SOFFIT REQ. (LF)	EAVE SOFFIT ACTUAL (LF)	INTAKE VENT REQ. (LF)	INTAKE VENT ACTUAL (LF)
ATTIC AREA	1,046 SF	502	13' - 11"	21' - 0"	5	0	50' - 2"	64' - 0"	27' - 11"	0' - 0"

1. TOTAL VENT AREA REQUIRED (SQ. INCH) EQUALS THE TOTAL ATTIC AREA (SF) DIVIDED BY 1/300 AND MULTIPLIED BY 144 SQ IN/SQ FT.
  2. VENT AREA REQUIRED EQUALS RIDGE VENT OR ROOF LOUVERS PLUS EAVE SOFFIT OR INTAKE VENT
  3. RIDGE VENT BASED ON 18 SQUARE INCHES OF NET FREE AREA (NFA) PER LINEAR FOOT
  4. ROOF LOUVERS BASED ON 51 SQUARE INCHES OF NET FREE AREA (NFA) PER LINEAR FOOT
  5. EAVE SOFFIT BASED ON 5 SQUARE INCHES NET FREE AREA (NFA) PER LINEAR FOOT
  6. INTAKE VENT BASED ON 9 SQUARE INCHES NET FREE AREA (NFA) PER LINEAR FOOT
  7. ROOF VENT REQUIRED = RIDGE VENT OR ROOF LOUVERS



## **1 ROOF PLAN - OPTION TA**

SCALE: 1/4" = 1'-0"

# HAVEN PLAN 03

Project #1: 01-000 Date: 10/21/2023

## **ROOF PLAN - OPTION TA AND MA**

# A1.5

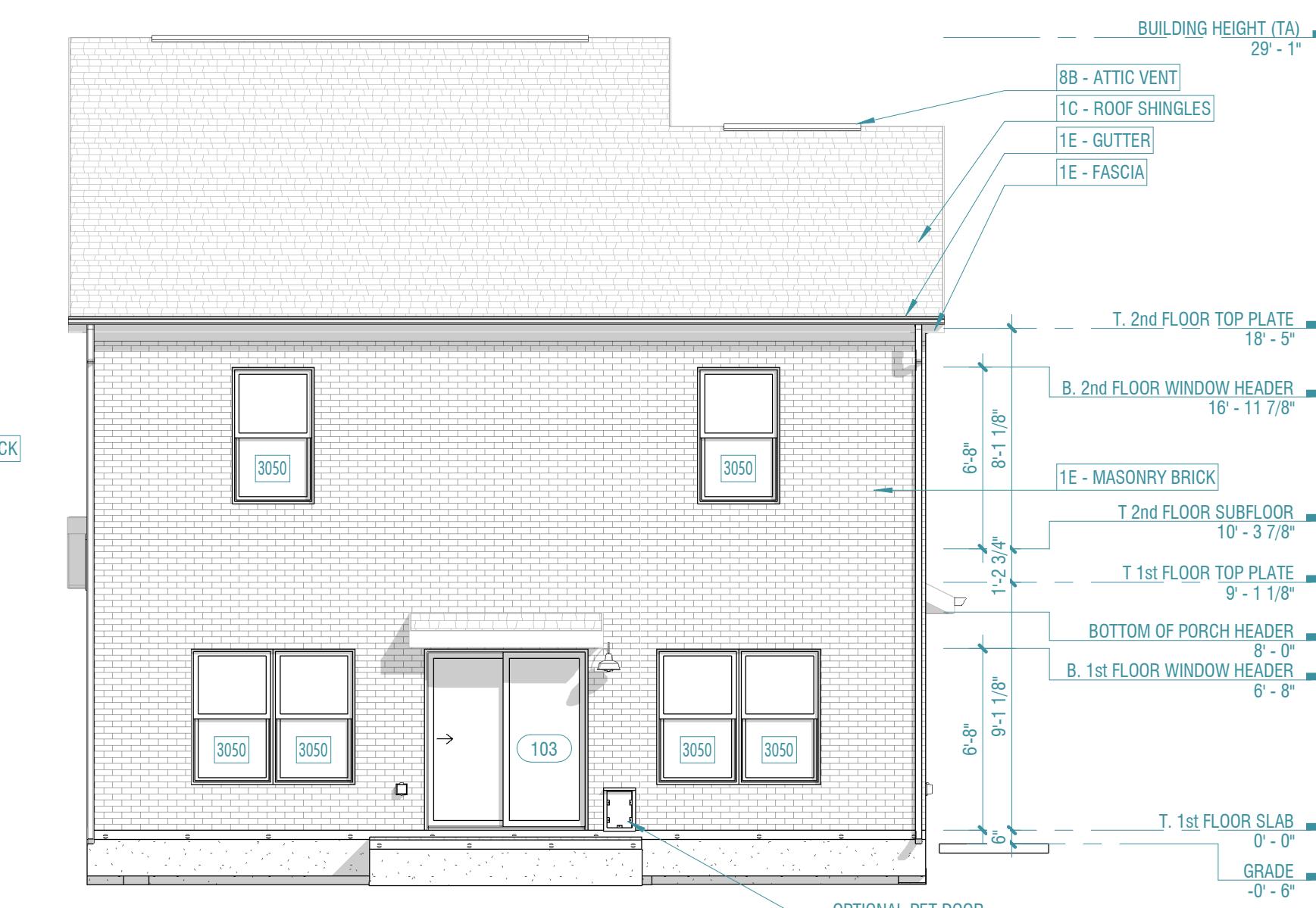
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ISSUED FOR BID 07.18.2021

**PRELIMINARY**  
**NOT FOR**  
**CONSTRUCTION**



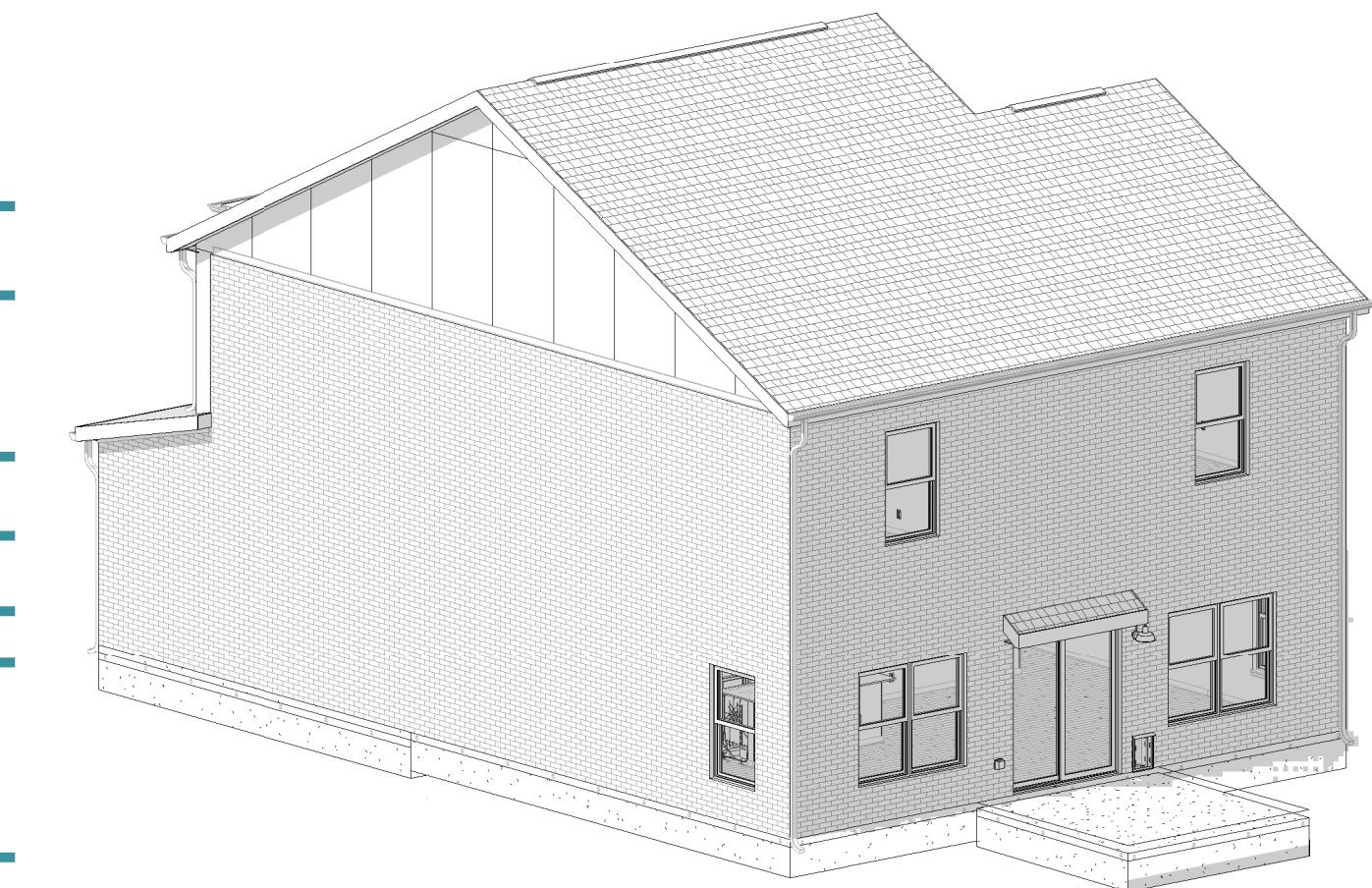
6 RIGHT ELEVATION - OPTION TA

SCALE: 3/16" = 1'-0"



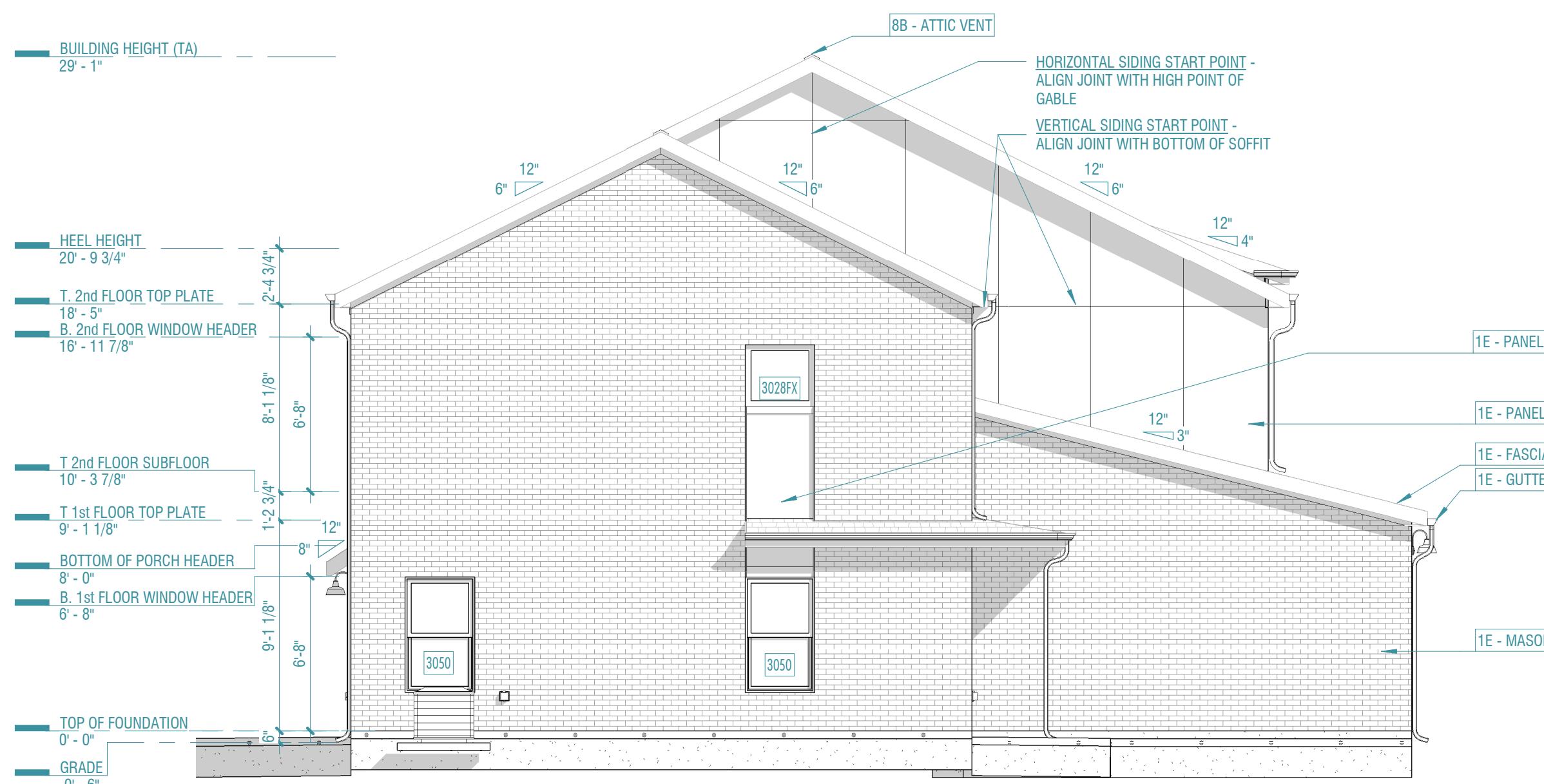
4 REAR ELEVATION - OPTION TA

SCALE: 3/16" = 1'-0"



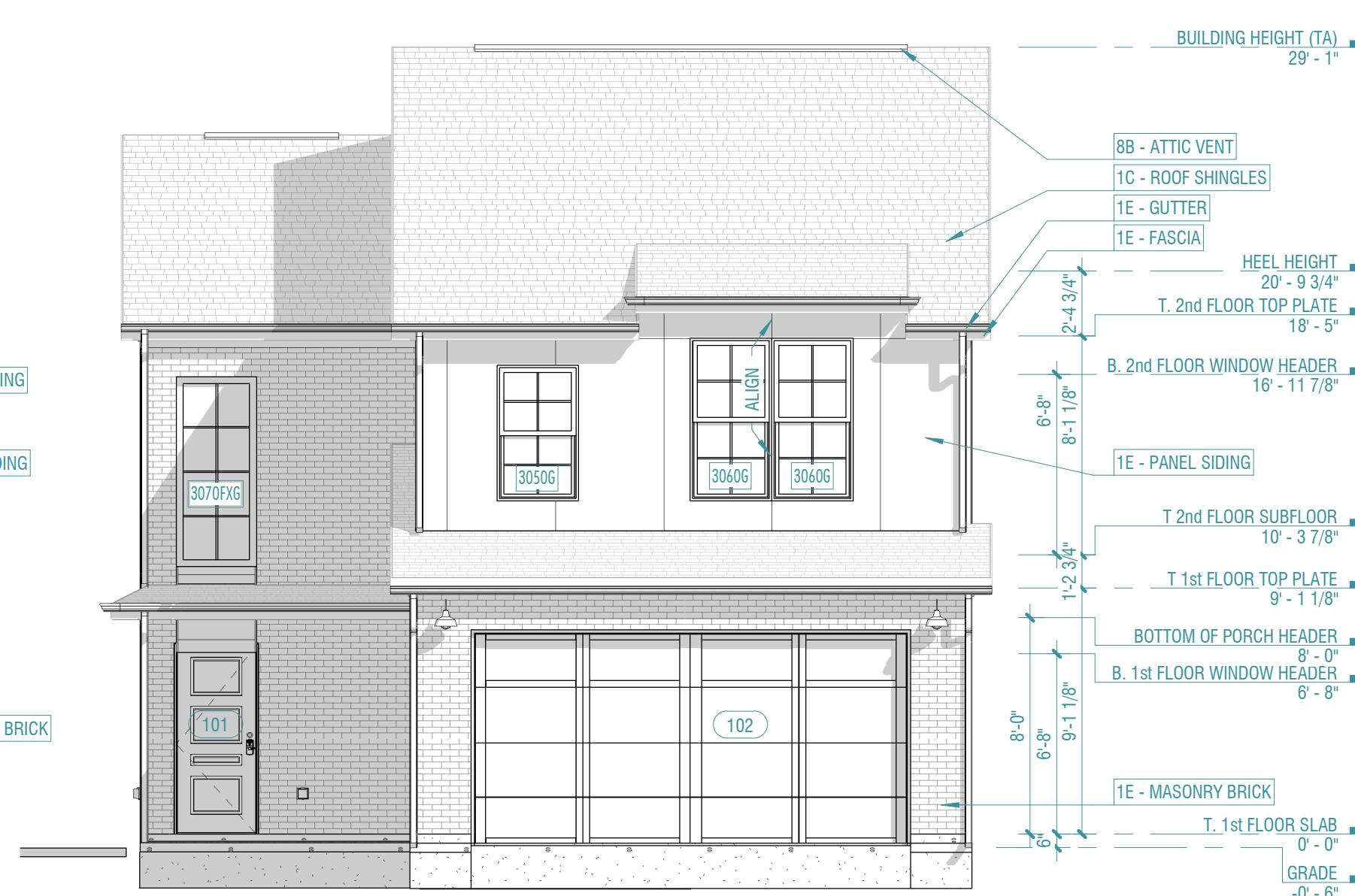
2 REAR PERSPECTIVE - OPTION TA

SCALE:



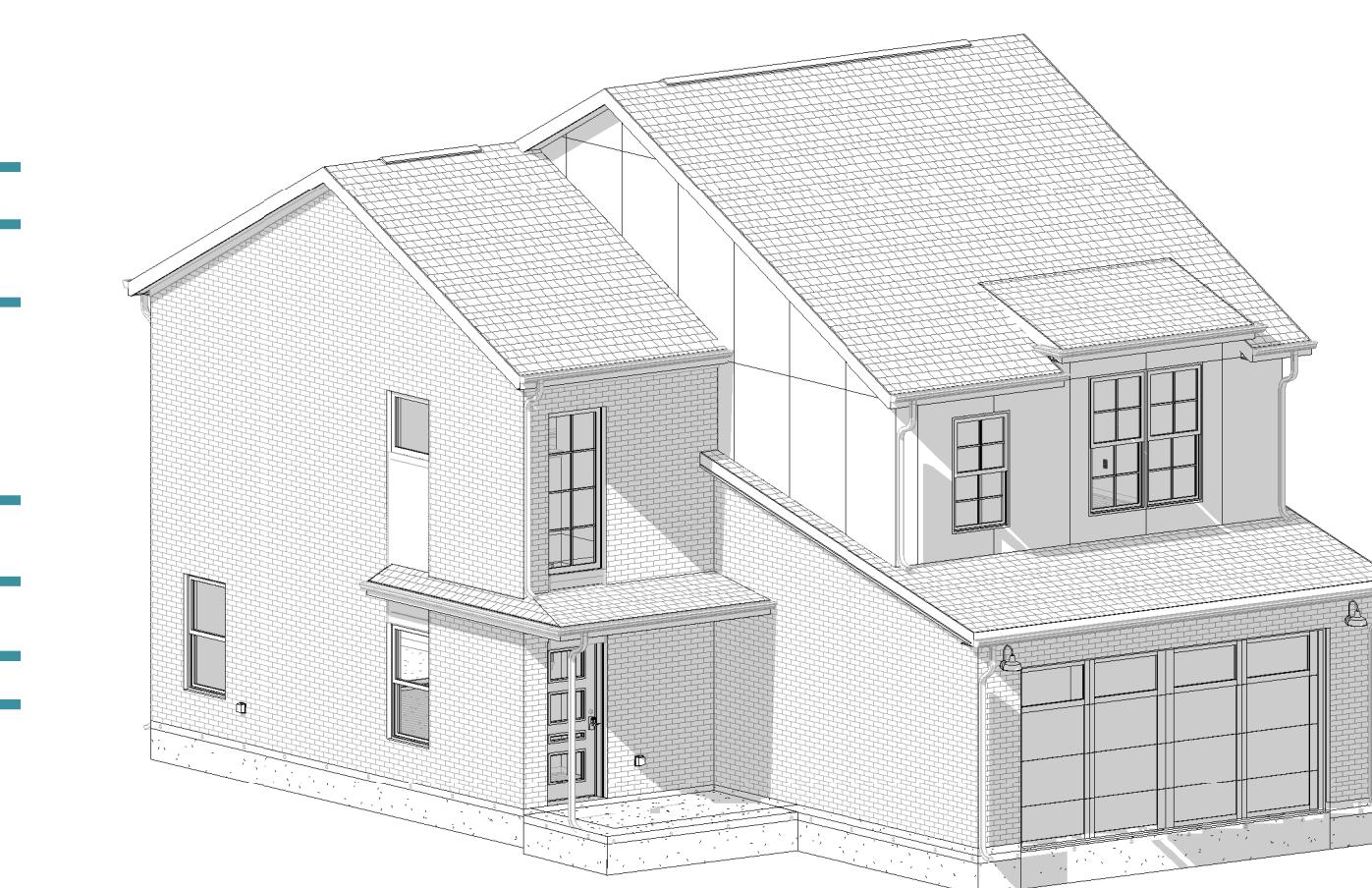
5 LEFT ELEVATION - OPTION TA

SCALE: 3/16" = 1'-0"



3 FRONT ELEVATION - OPTION TA

SCALE: 3/16" = 1'-0"



1 FRONT PERSPECTIVE - OPTION TA

SCALE:

WINDOW SCHEDULE - OPTION TA										
MARK	WIDTH	HEIGHT	SPECIFICATION	COMMENTS	COUNT	LIGHT AREA	VENT AREA	ROUGH WIDTH	ROUGH HEIGHT	SILL HEIGHT
3028FX	3' - 0"	2' - 8"	FIXED - ANDERSEN - 100 SERIES		1	4.7 SF	0.0 SF	36 1/2"	32 1/2"	44"
3050	3' - 0"	5' - 0"	SINGLE HUNG - ANDERSEN - 100 SERIES		9	10.4 SF	5.8 SF	36 1/2"	60 1/2"	20"
3050G	3' - 0"	5' - 0"	SINGLE HUNG - ANDERSEN - 100 SERIES	WITH GRILLE	1	10.4 SF	5.8 SF	36 1/2"	60 1/2"	24"
3060G	3' - 0"	6' - 0"	SINGLE HUNG - ANDERSEN - 100 SERIES	WITH GRILLE	2	15.4 SF	8.5 SF	36 1/2"	72 1/2"	24"
3070FXG	3' - 0"	7' - 0"	FIXED - ANDERSEN - 100 SERIES	WITH GRILLE	1	0.0 SF	0.0 SF	36 1/2"	84 1/2"	-5"

**SPECIFICATIONS**

1C - ROOF SHINGLES	ROOF SHINGLES: CERTAINTEED DIMENSIONAL SHINGLES. 25 YR WARRANTY.
1E - FASCIA	FASCIA AND RAKE: JAMES HARDIE 5/4" SMOOTH FINISH
1E - GUTTER	GUTTERS AND DOWNSPOUTS: KODIAK ALUMINUM. COLOR: PER ELEVATION
1E - MASONRY BRICK	MASONRY: BORAL BRICK PER ELEVATION
1E - PANEL SIDING	HARDIE PANEL COLOR TBD
8B - ATTIC VENT	ATTIC VENT: RIDGE VENT

**HAVEN  
PLAN 03**

Project #: 21-022

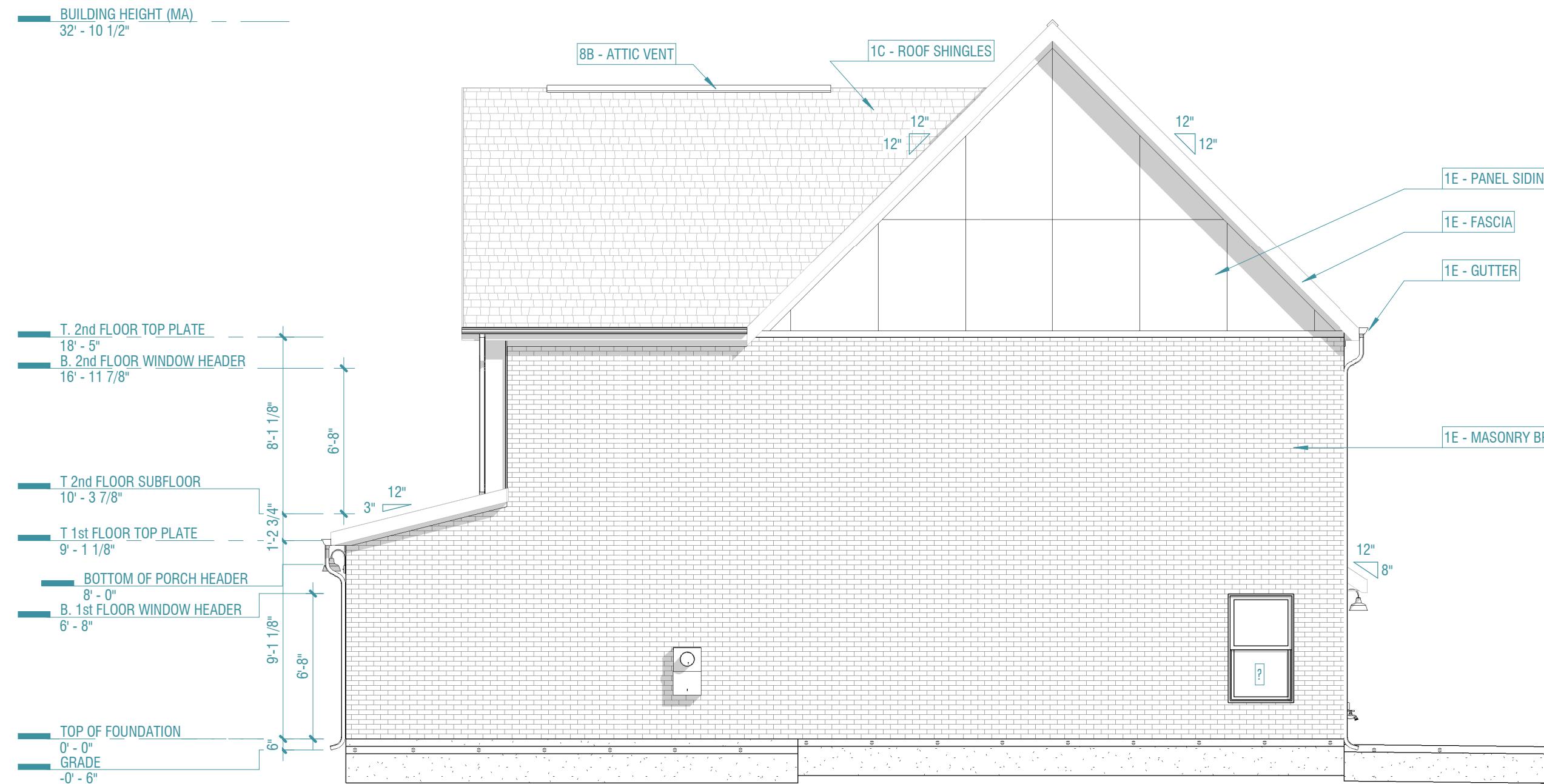
Date: 10.31.2022

**ELEVATIONS -  
OPTION TA****A2.1**

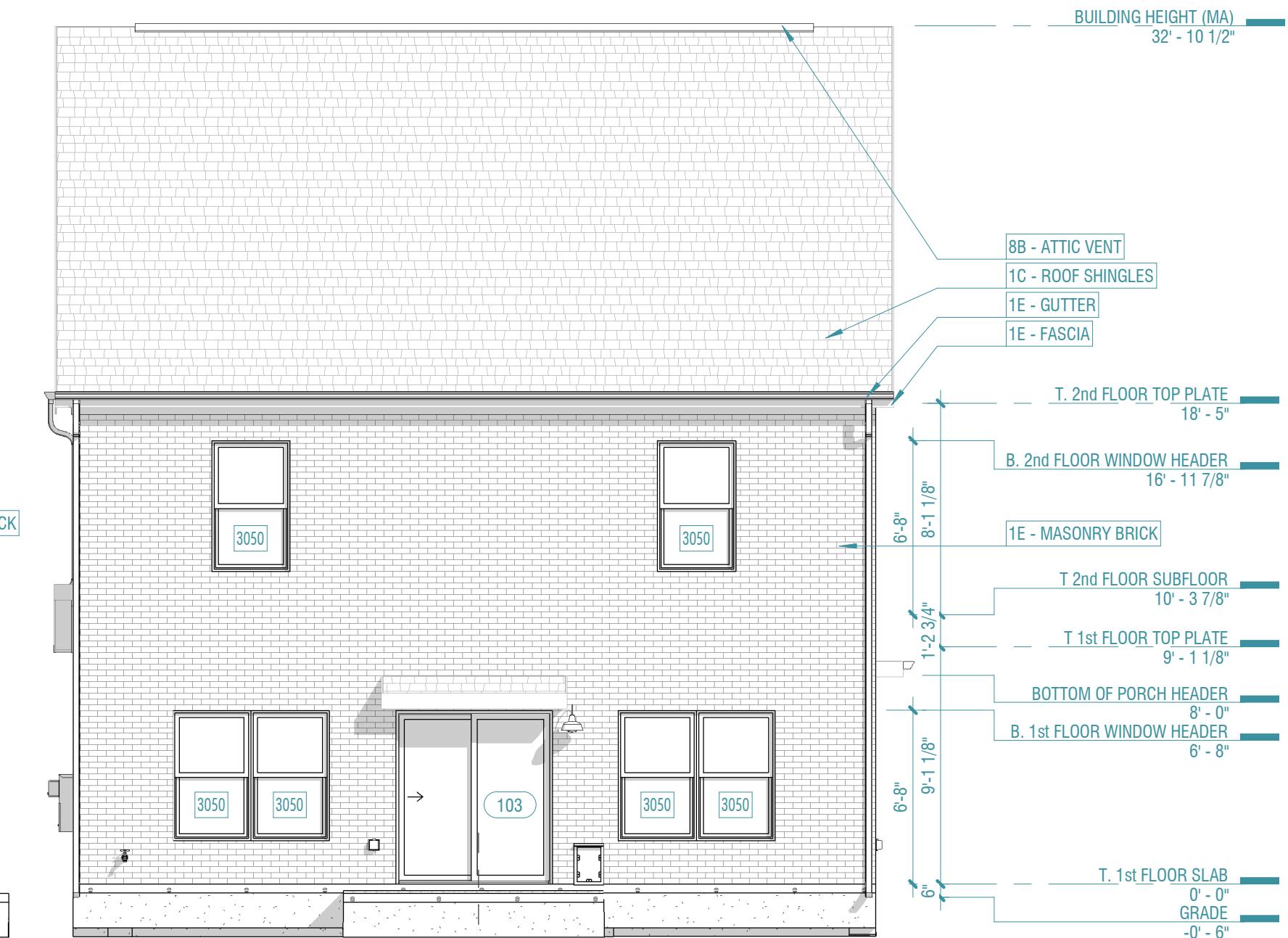
ISSUED FOR GMP 08.23.2022

ISSUED FOR BID 07.18.2022

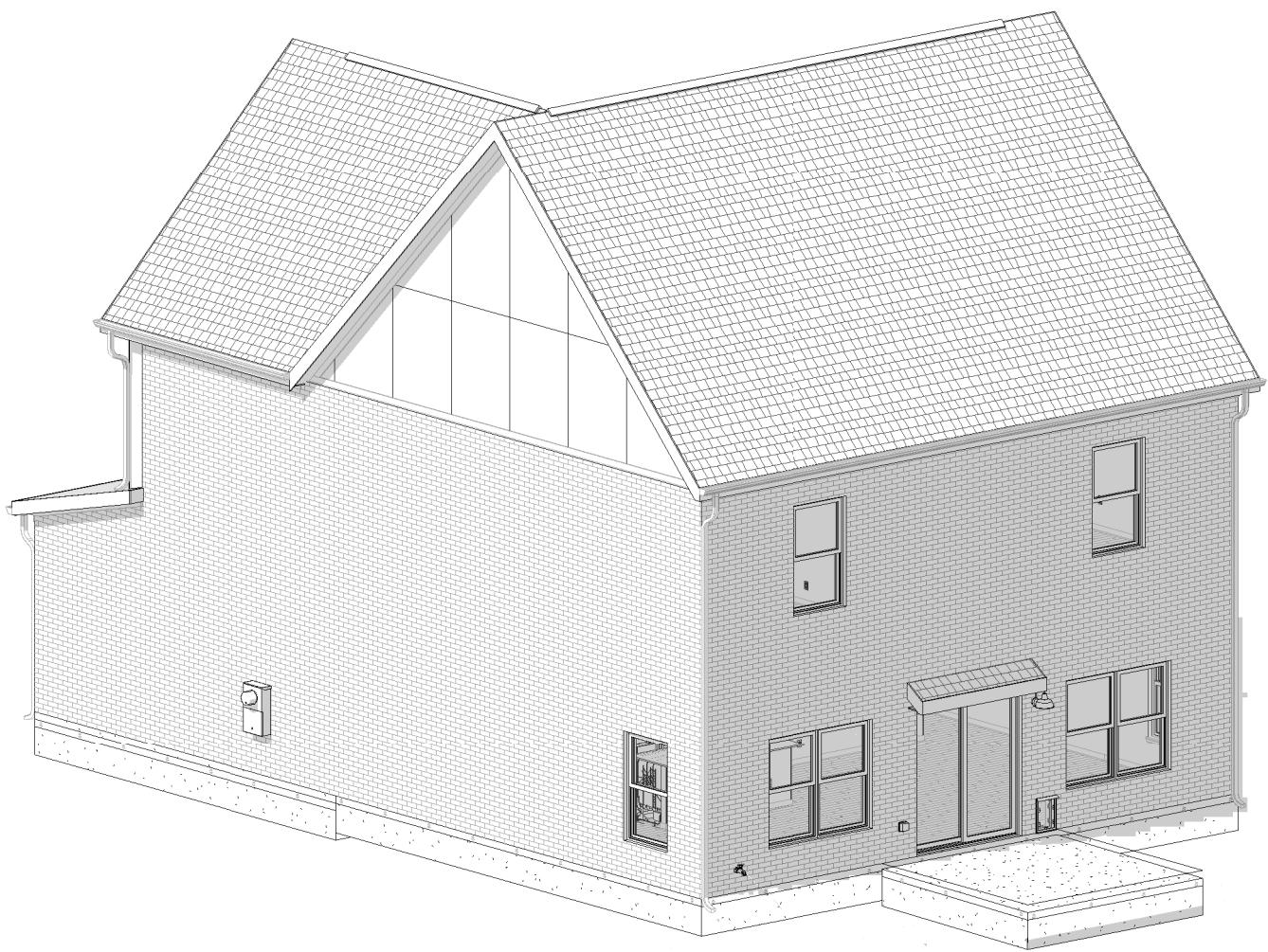
**PRELIMINARY  
NOT FOR  
CONSTRUCTION**



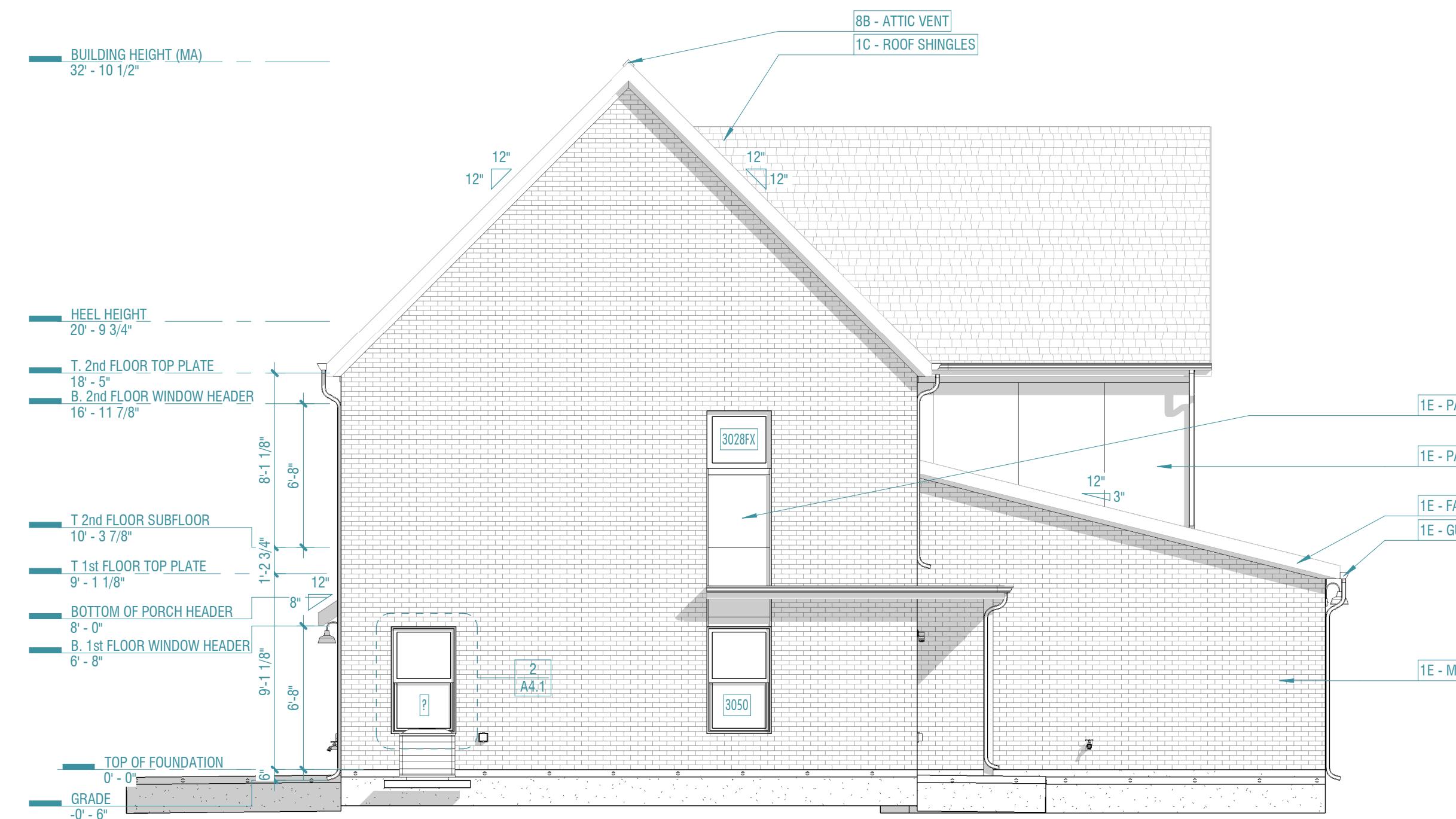
**6** RIGHT ELEVATION - OPTION MA  
SCALE: 3/16" = 1'-0"



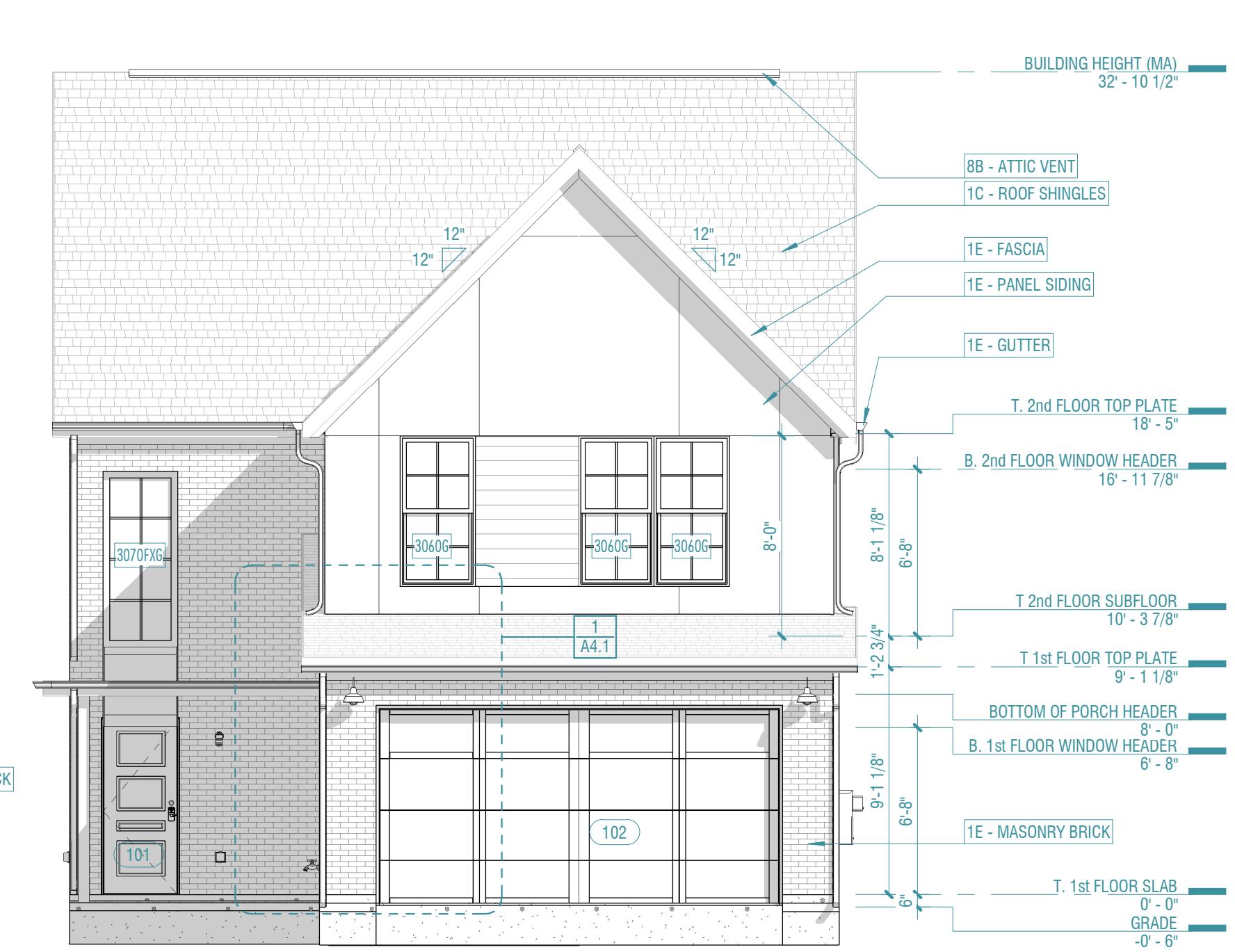
**4** REAR ELEVATION - OPTION MA  
SCALE: 3/16" = 1'-0"



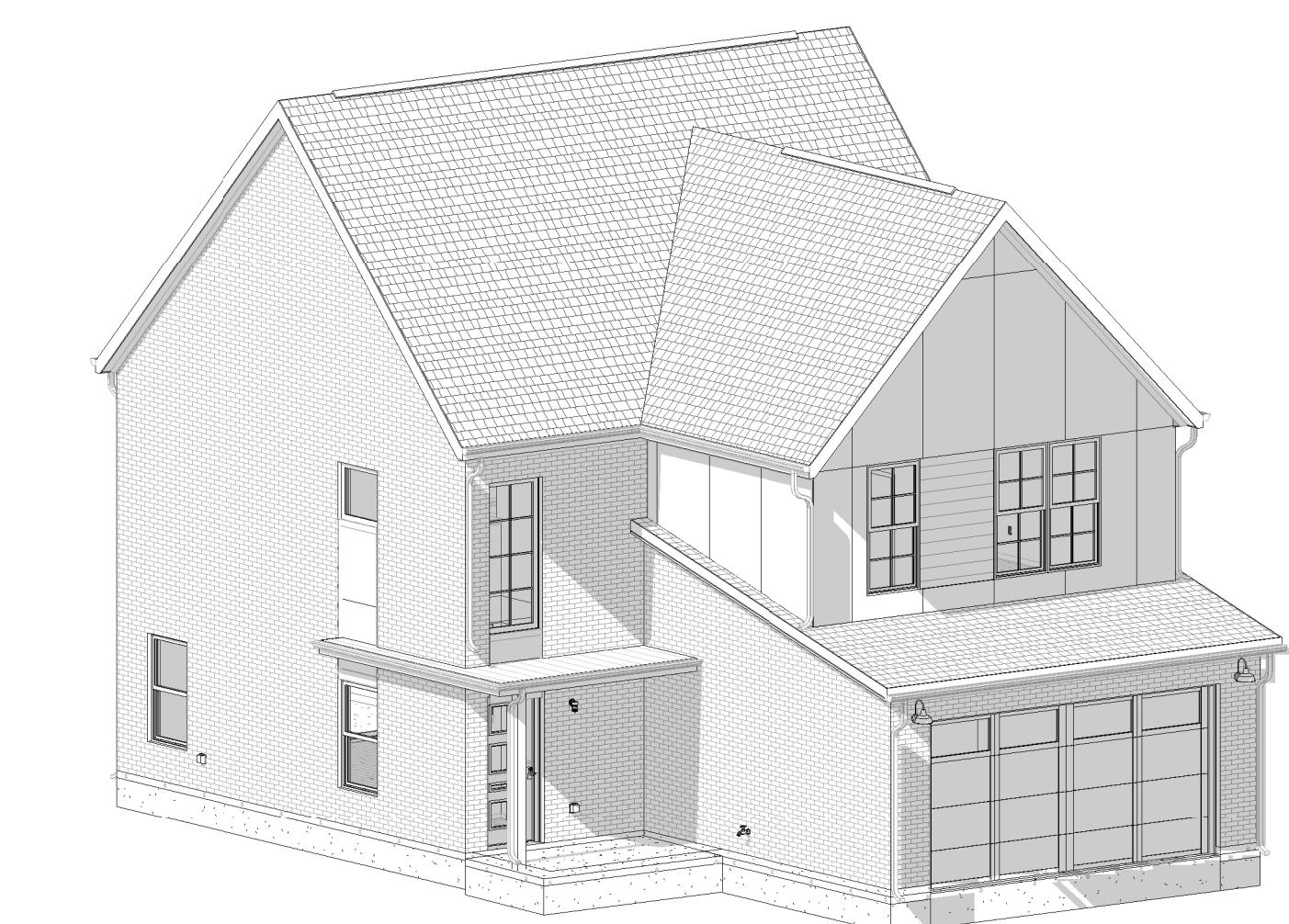
**2** REAR PERSPECTIVE - OPTION MA  
SCALE:



**5** LEFT ELEVATION - OPTION MA  
SCALE: 3/16" = 1'-0"



**3** FRONT ELEVATION - OPTION MA  
SCALE: 3/16" = 1'-0"



**1** FRONT PERSPECTIVE - OPTION MA  
SCALE:

## HAVEN PLAN 03

Project #: 21-022 Date: 10.31.2022

ELEVATIONS -  
OPTION MA

**A2.2**

WINDOW SCHEDULE - OPTION MA										
MARK	WIDTH	HEIGHT	SPECIFICATION	COMMENTS	COUNT	LIGHT AREA	VENT AREA	ROUGH WIDTH	ROUGH HEIGHT	SILL HEIGHT
3028FX	3'-0"	2'-8"	FIXED - ANDERSEN - 100 SERIES		1	4.7 SF	0.0 SF	36 1/2"	32 1/2"	44"
3050	3'-0"	5'-0"	SINGLE HUNG - ANDERSEN - 100 SERIES		9	10.4 SF	5.8 SF	36 1/2"	60 1/2"	20"
3060G	3'-0"	6'-0"	SINGLE HUNG - ANDERSEN - 100 SERIES	WITH GRILLE	3	12.3 SF	7.1 SF	36 1/2"	72 1/2"	24"
3070FG	3'-0"	7'-0"	FIXED - ANDERSEN - 100 SERIES	WITH GRILLE	1	15.7 SF	0.0 SF	36 1/2"	84 1/2"	5"

### SPECIFICATIONS

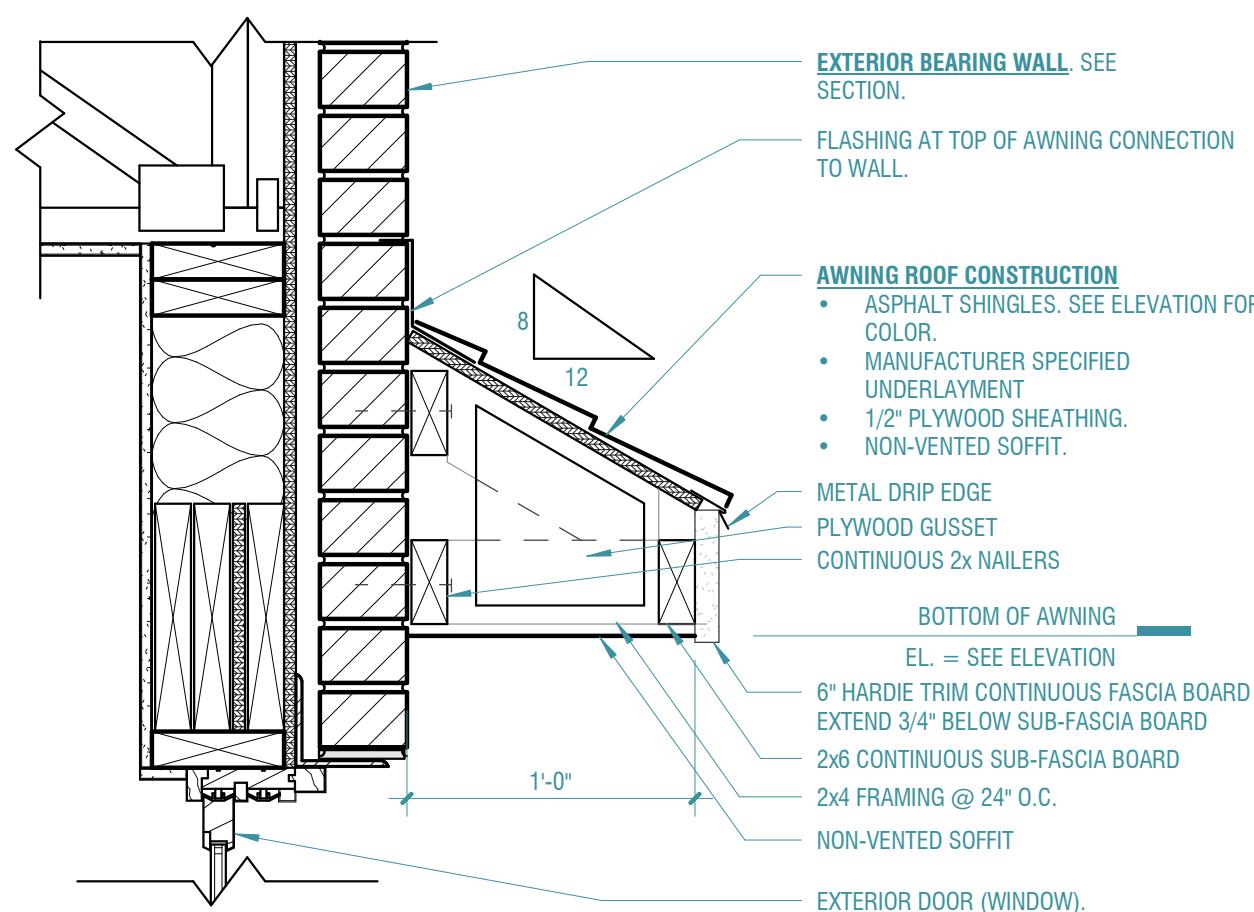
1C - ROOF SHINGLES	ROOF SHINGLES: CERTAINTEED DIMENSIONAL SHINGLES. 25 YR WARRANTY.
1E - FASCIA	FASCIA AND RAKE: JAMES HARDIE 5/4" SMOOTH FINISH
1E - GUTTER	GUTTERS AND DOWNSPOUTS: KODIAK ALUMINUM. COLOR: PER ELEVATION
1E - MASONRY BRICK	MASONRY: BORAL BRICK PER ELEVATION
1E - PANEL SIDING	HARDIE PANEL COLOR TBD
8B - ATTIC VENT	ATTIC VENT: RIDGE VENT

PRELIMINARY  
NOT FOR  
CONSTRUCTION

# HAVEN PLAN 03

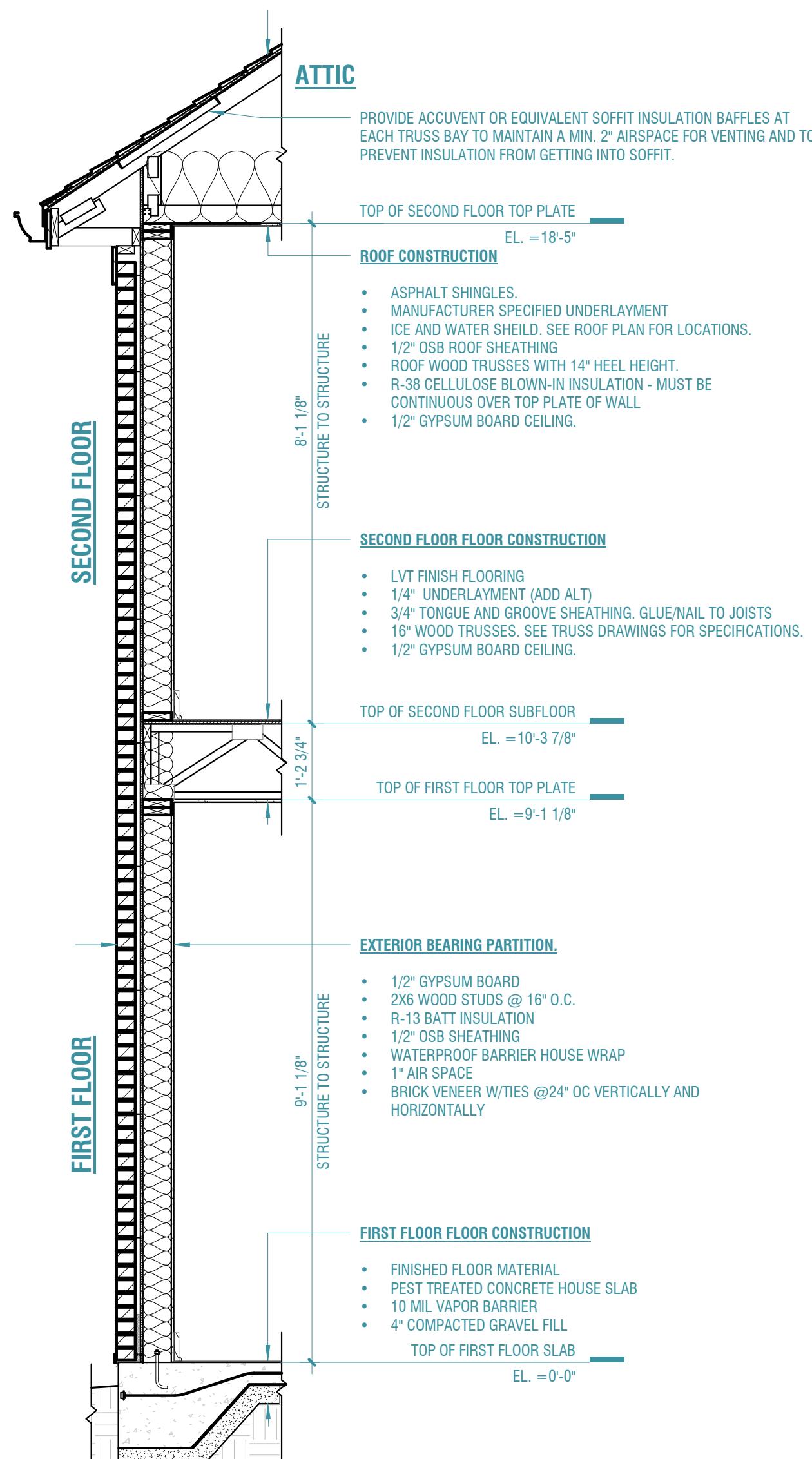
Project #: 21-022 Date: 10.31.2022

## BUILDING SECTIONS - OPTION MA

**A3.1**ISSUED FOR GMP 08.23.2022  
ISSUED FOR BID 07.18.2022PRELIMINARY  
NOT FOR  
CONSTRUCTION

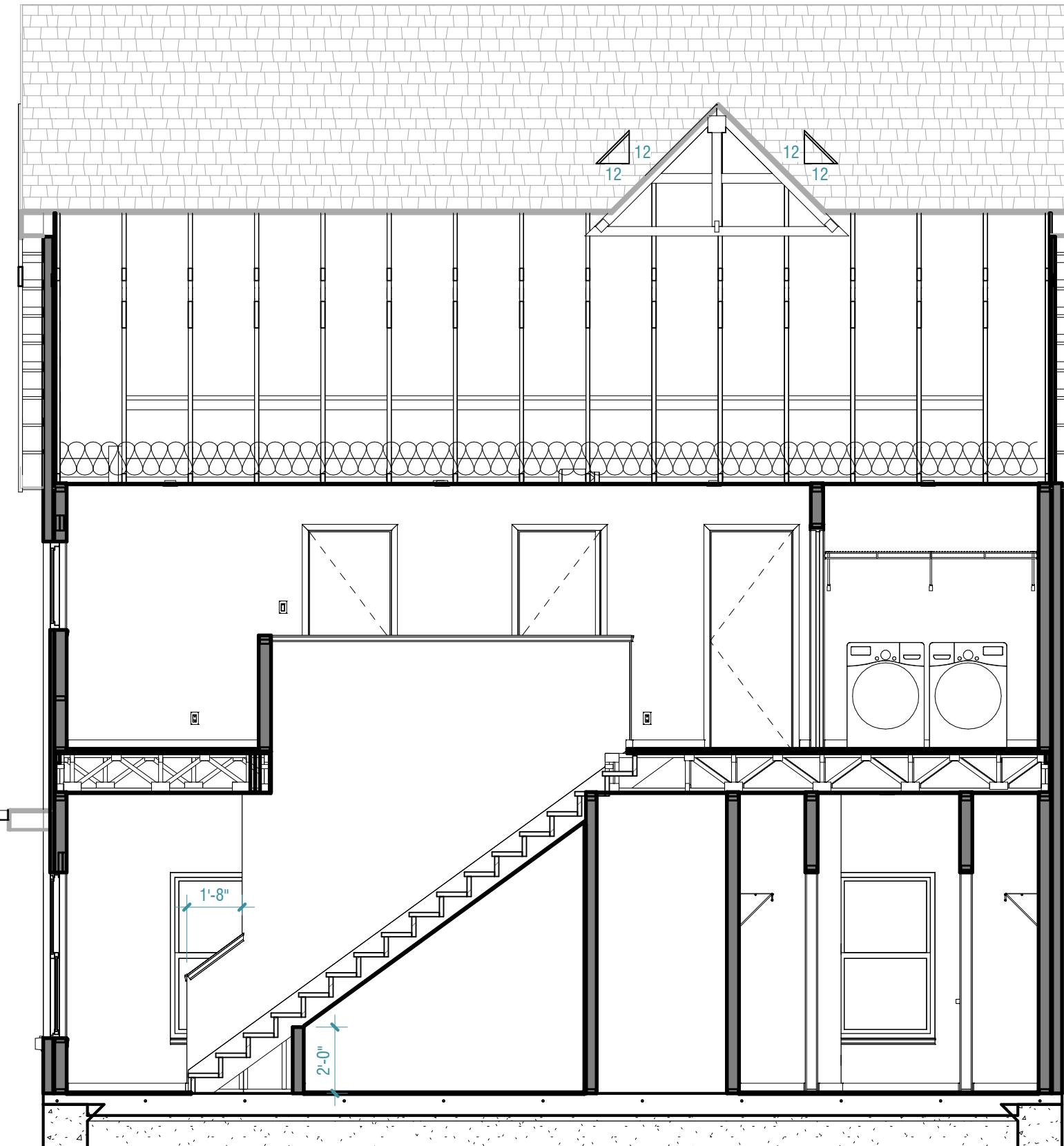
**4 SECTION - WALL AT AWNING BRICK**

SCALE: 1 1/2" = 1'-0"



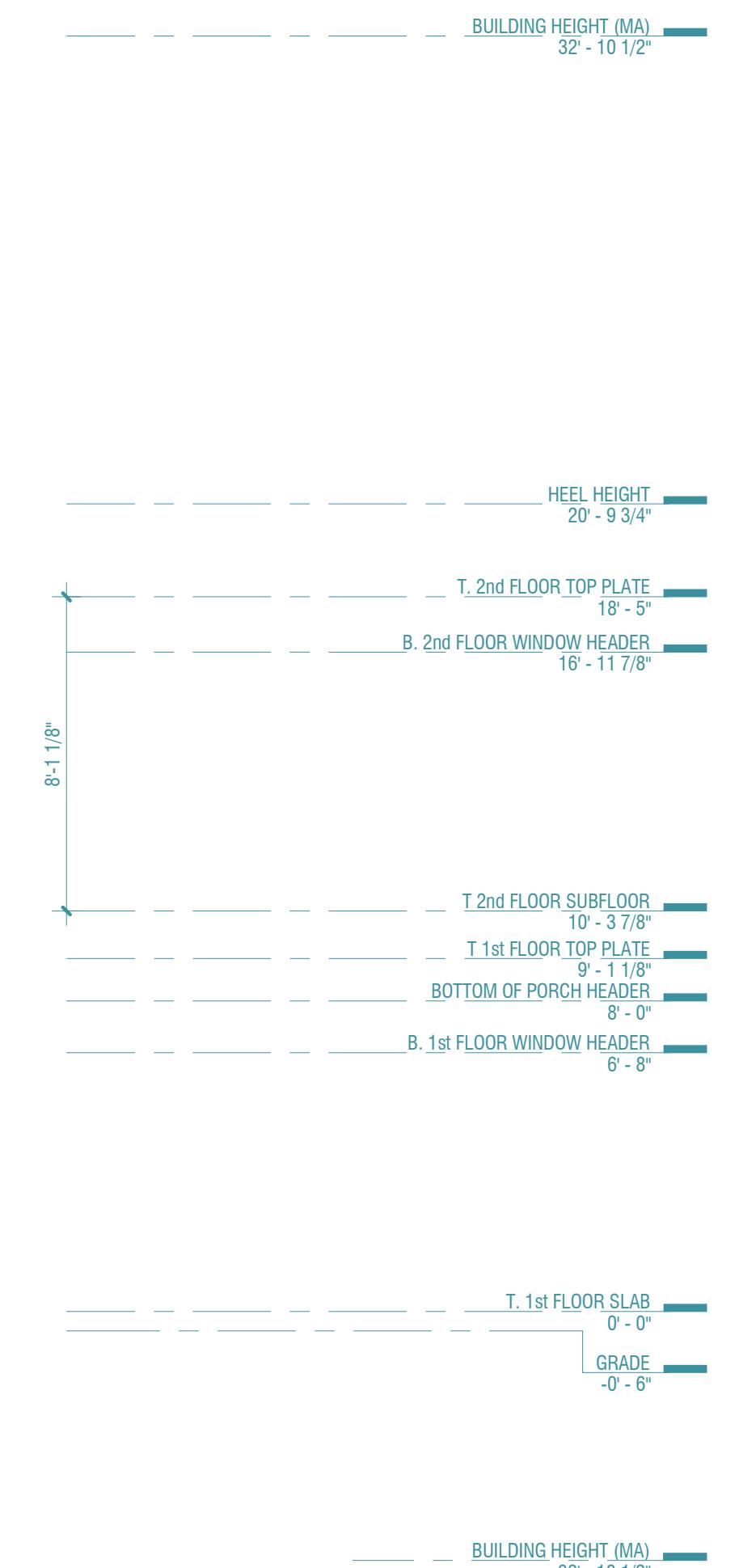
**3 WALL SECTION - TYPICAL BRICK**

SCALE: 1/2" = 1'-0"



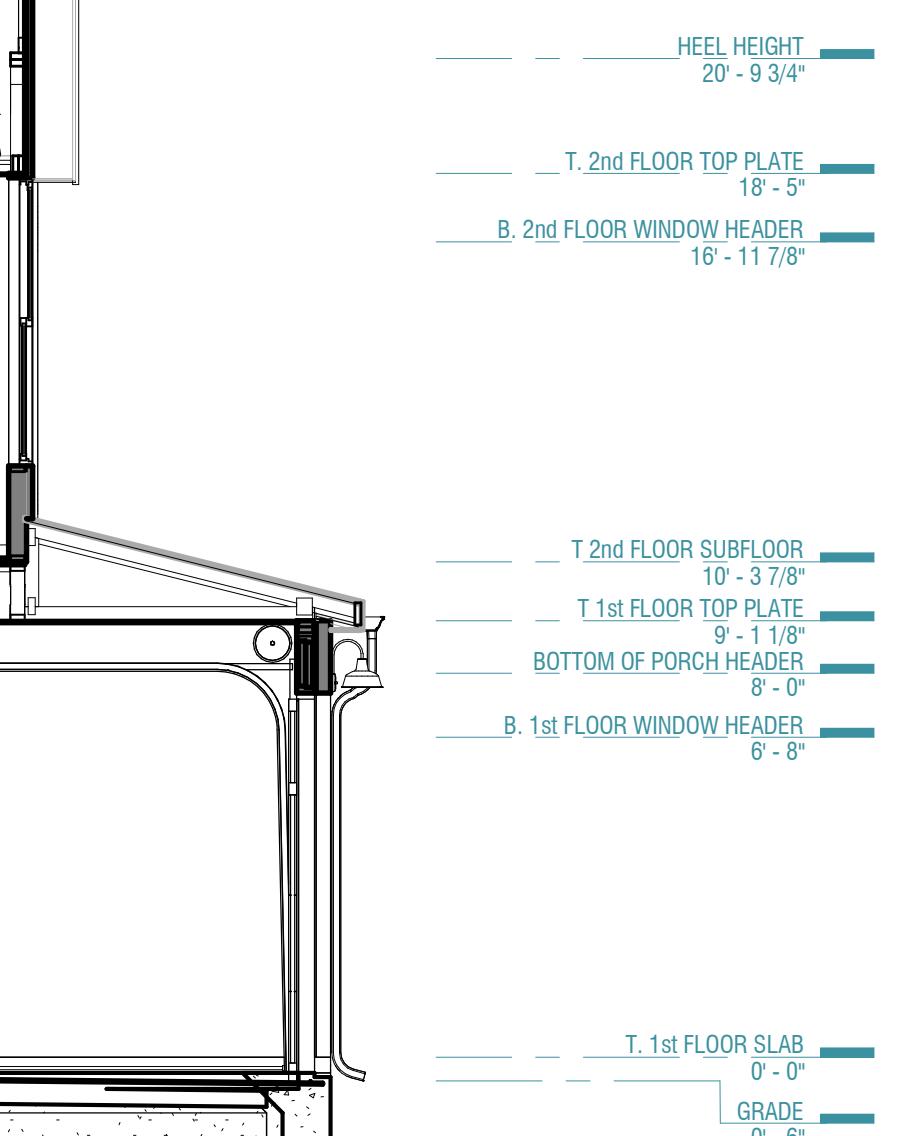
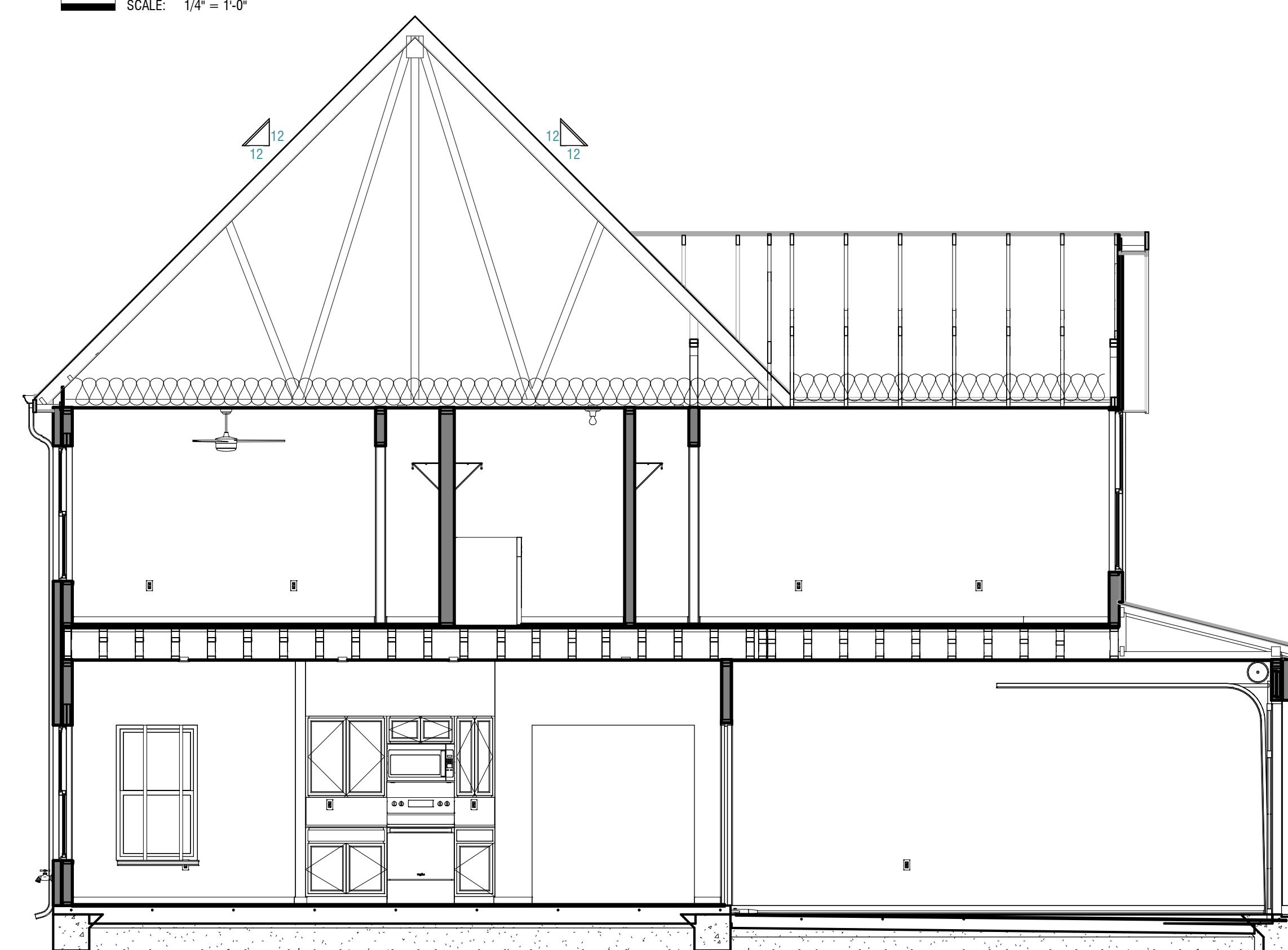
**1 LONGITUDINAL SECTION - OPTION MA**

SCALE: 1/4" = 1'-0"



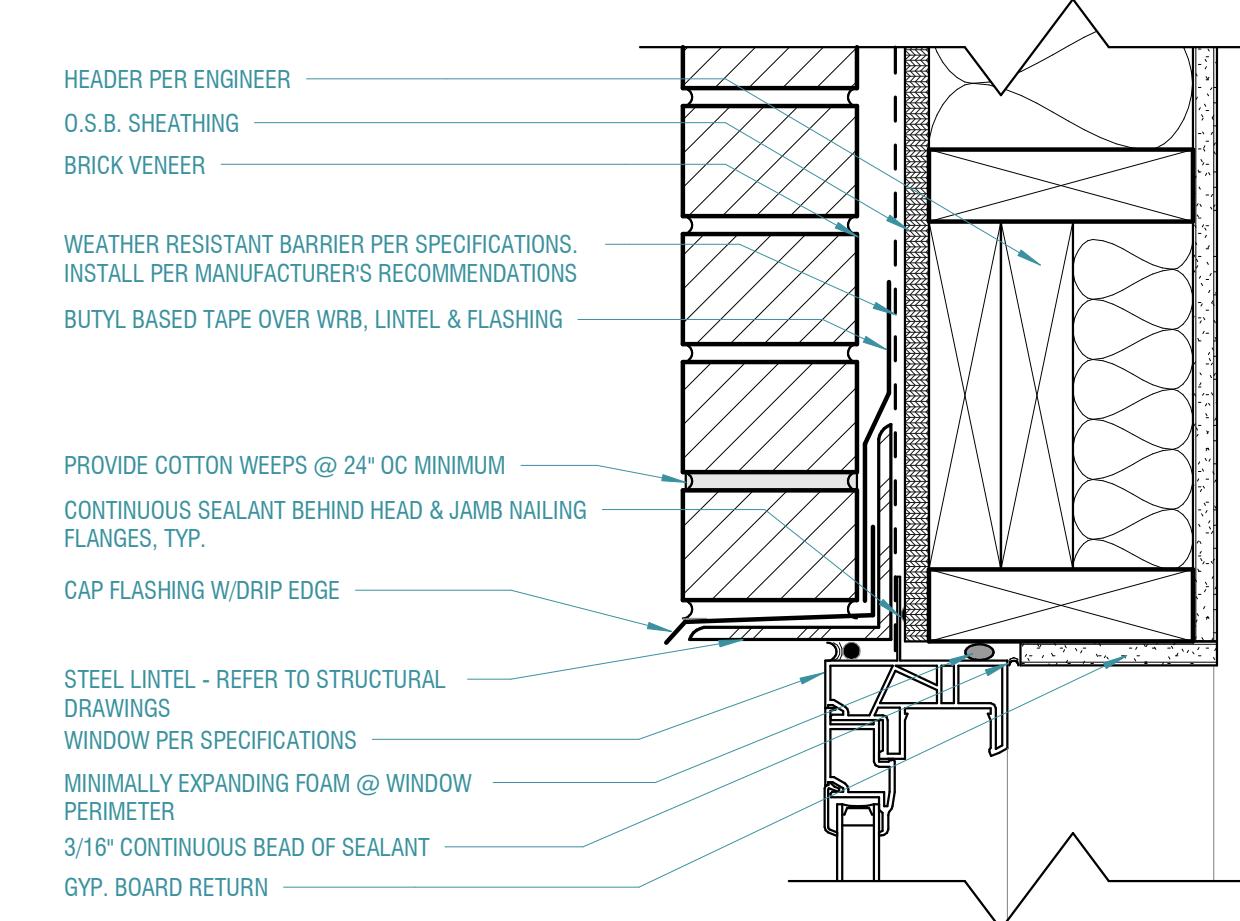
**2 CROSS SECTION - OPTION MA**

SCALE: 1/4" = 1'-0"

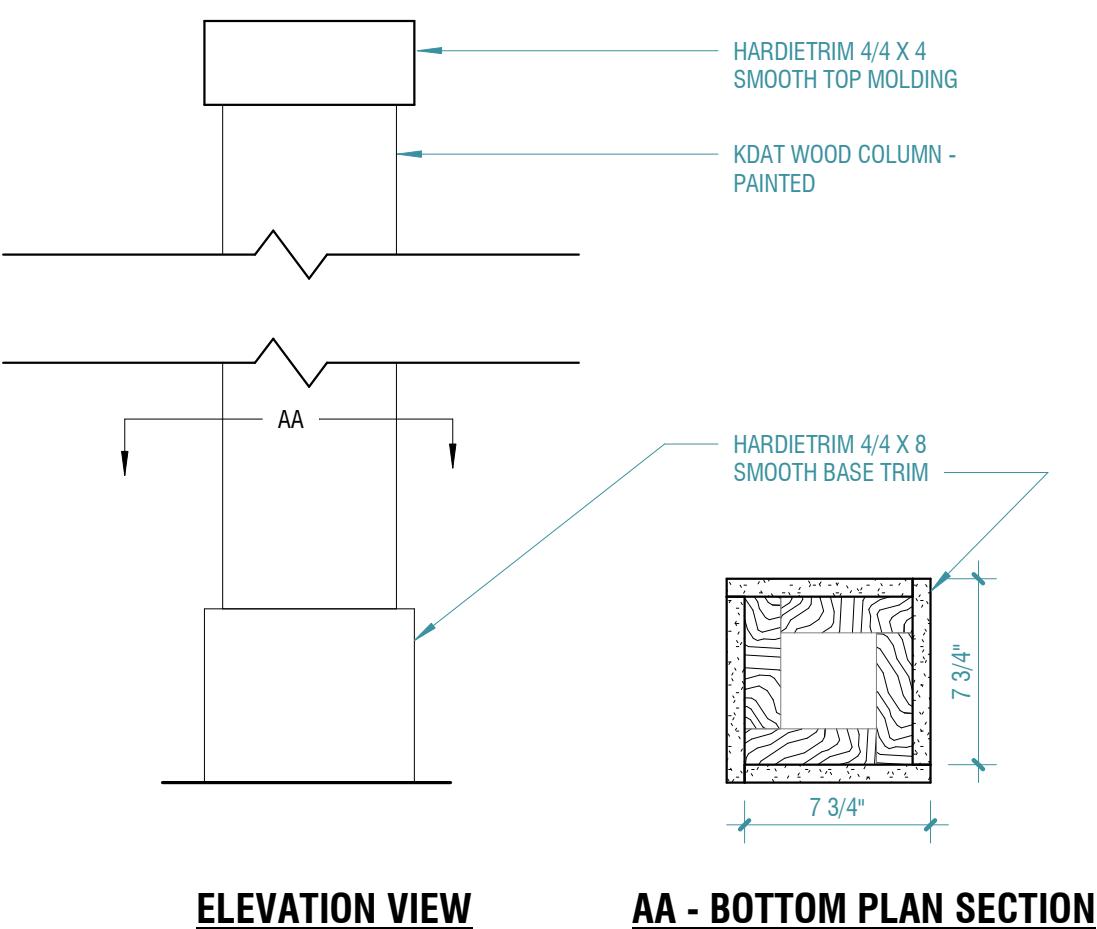


# HAVEN PLAN 03

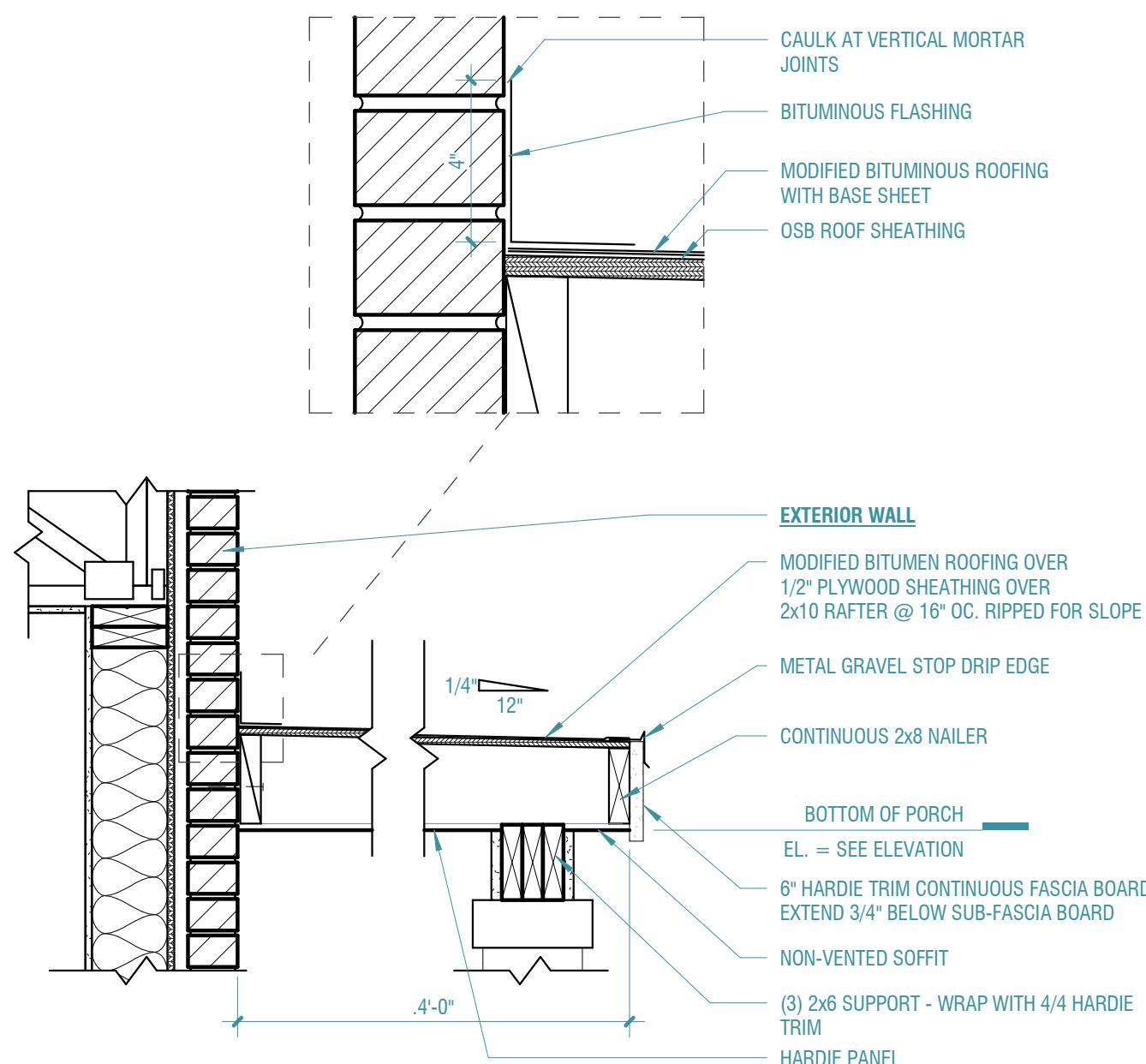
Project #: 21-022 Date: 10.31.2022

**ENLARGED DETAILS****A4.1**ISSUED FOR GMP 08.23.2022  
ISSUED FOR BID 07.18.2022**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

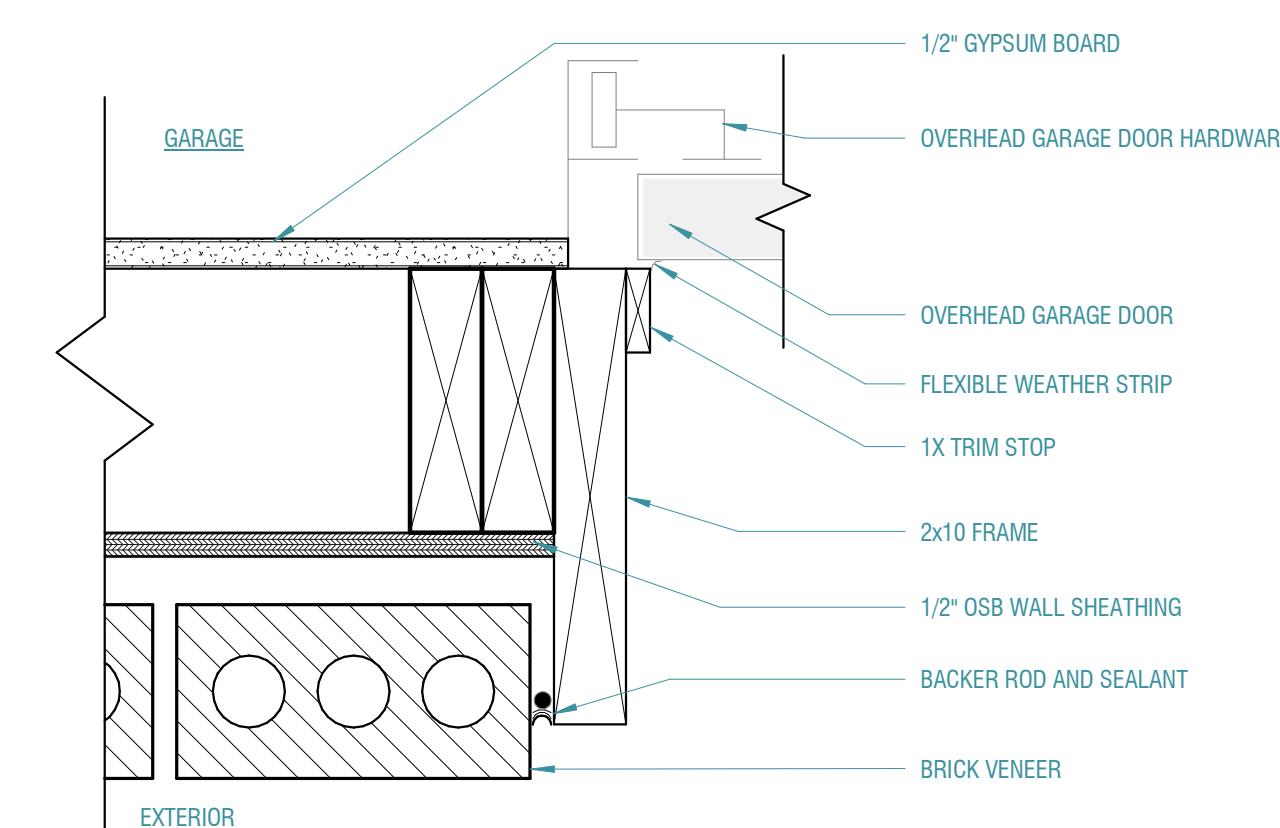
**8 HEAD WALL FLASHING DETAIL**  
SCALE: 1" = 1'-0"



**11 PORCH COLUMN DETAIL**  
SCALE: 1 1/2" = 1'-0"

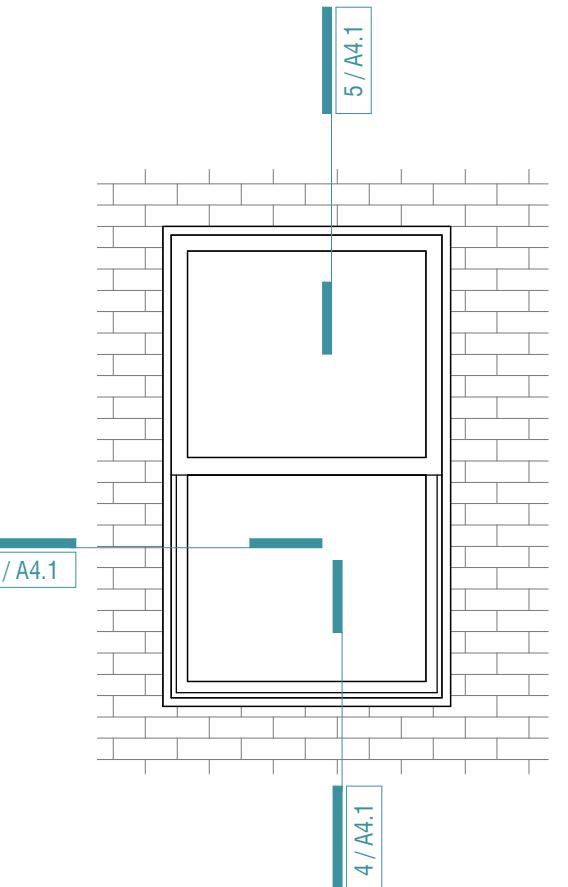
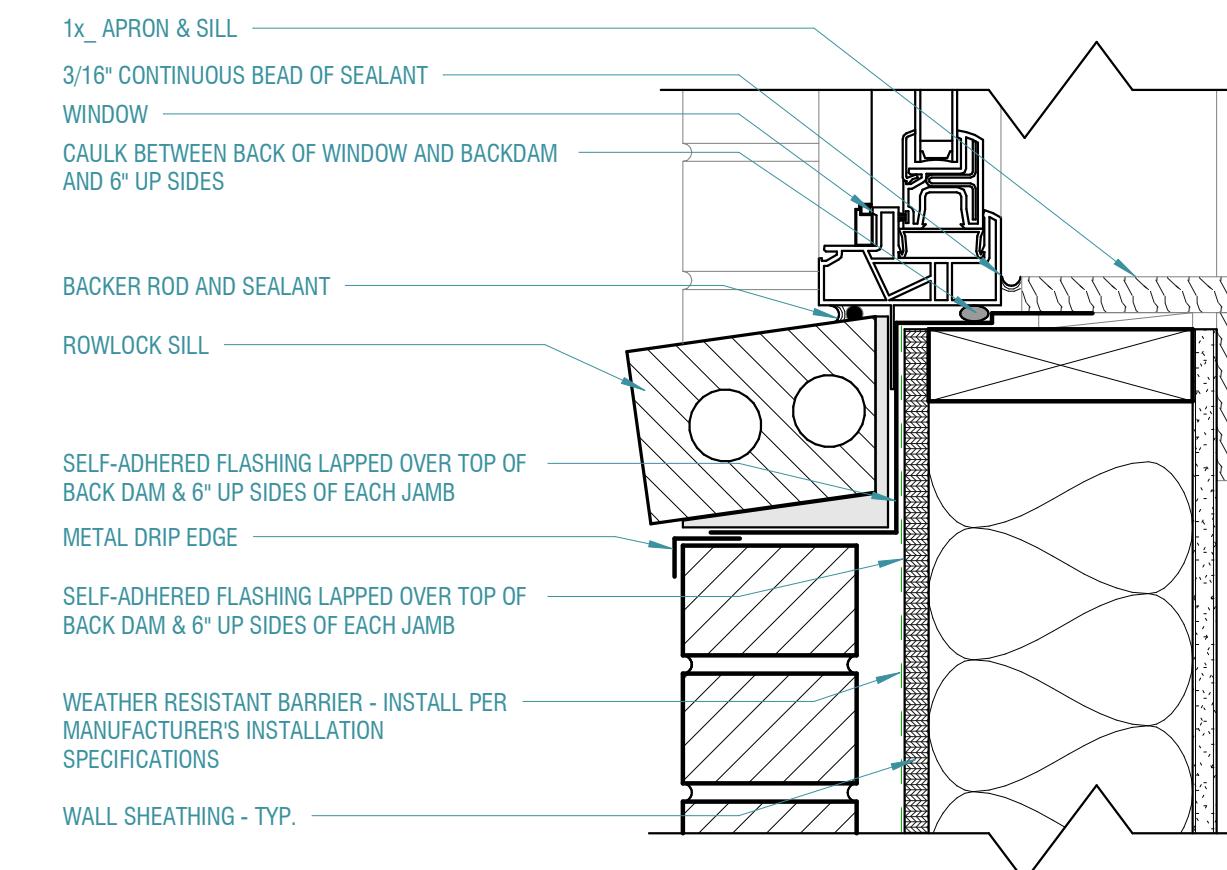


**10 SECTION - FLAT PORCH**  
SCALE: 1" = 1'-0"



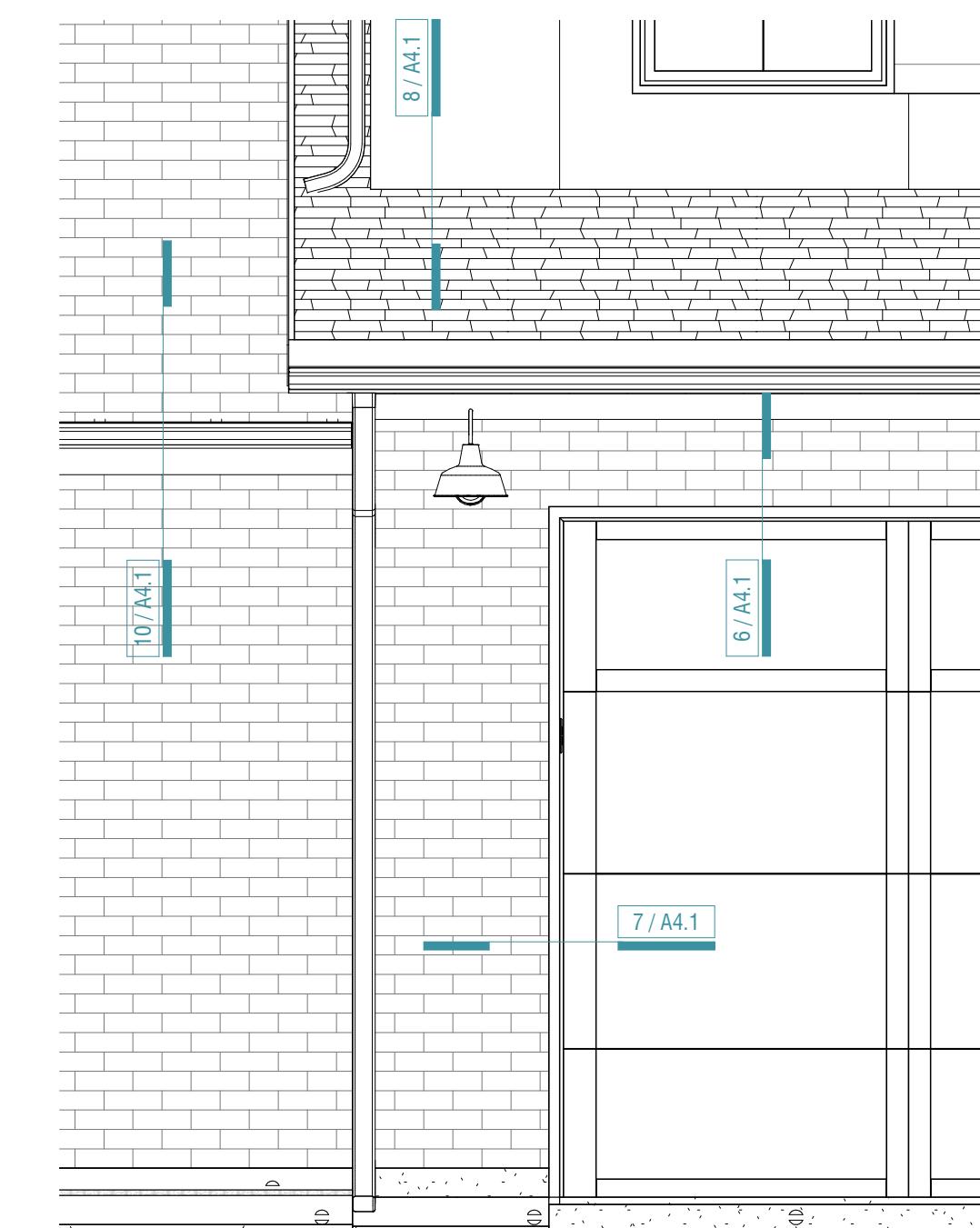
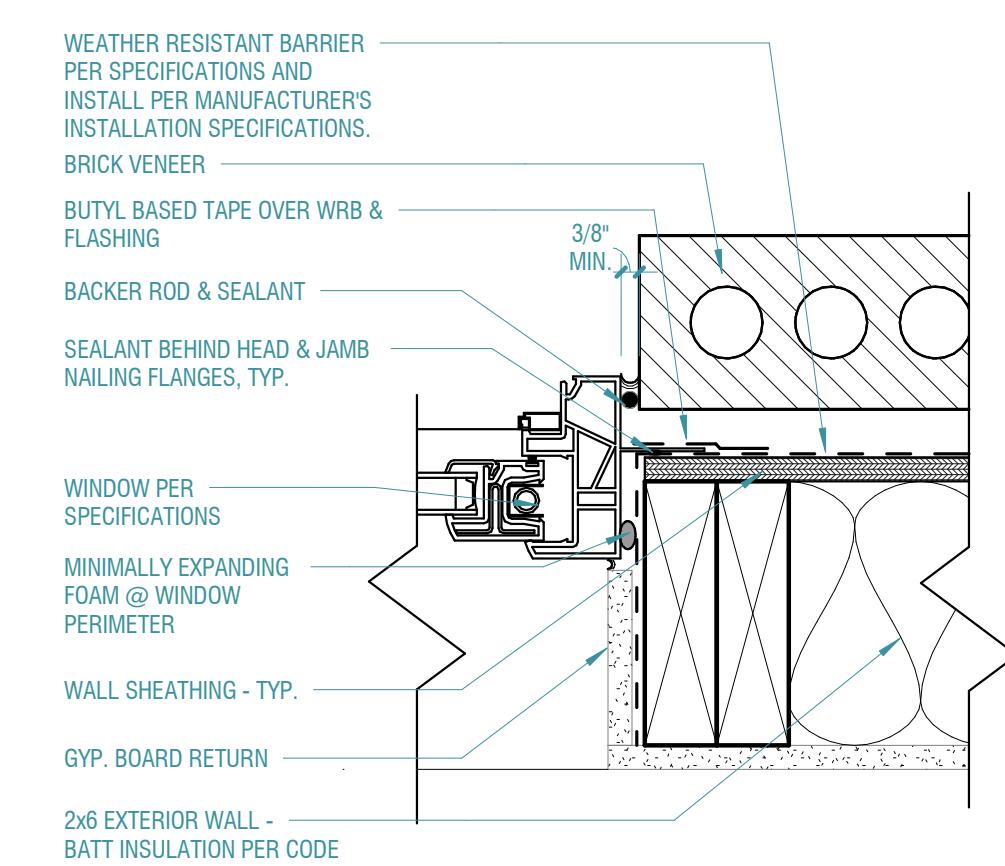
**7 GARAGE DOOR-JAMB DETAIL - BRICK**  
SCALE: 3" = 1'-0"

**5 BRICK AT WINDOW HEAD - SECTION**  
SCALE: 3" = 1'-0"



**2 WINDOW ELEVATION**  
SCALE: 1/2" = 1'-0"

**4 BRICK AT WINDOW SILL - SECTION**  
SCALE: 3" = 1'-0"



**1 FRONT ELEVATION - PARTIAL**  
SCALE: 1/2" = 1'-0"