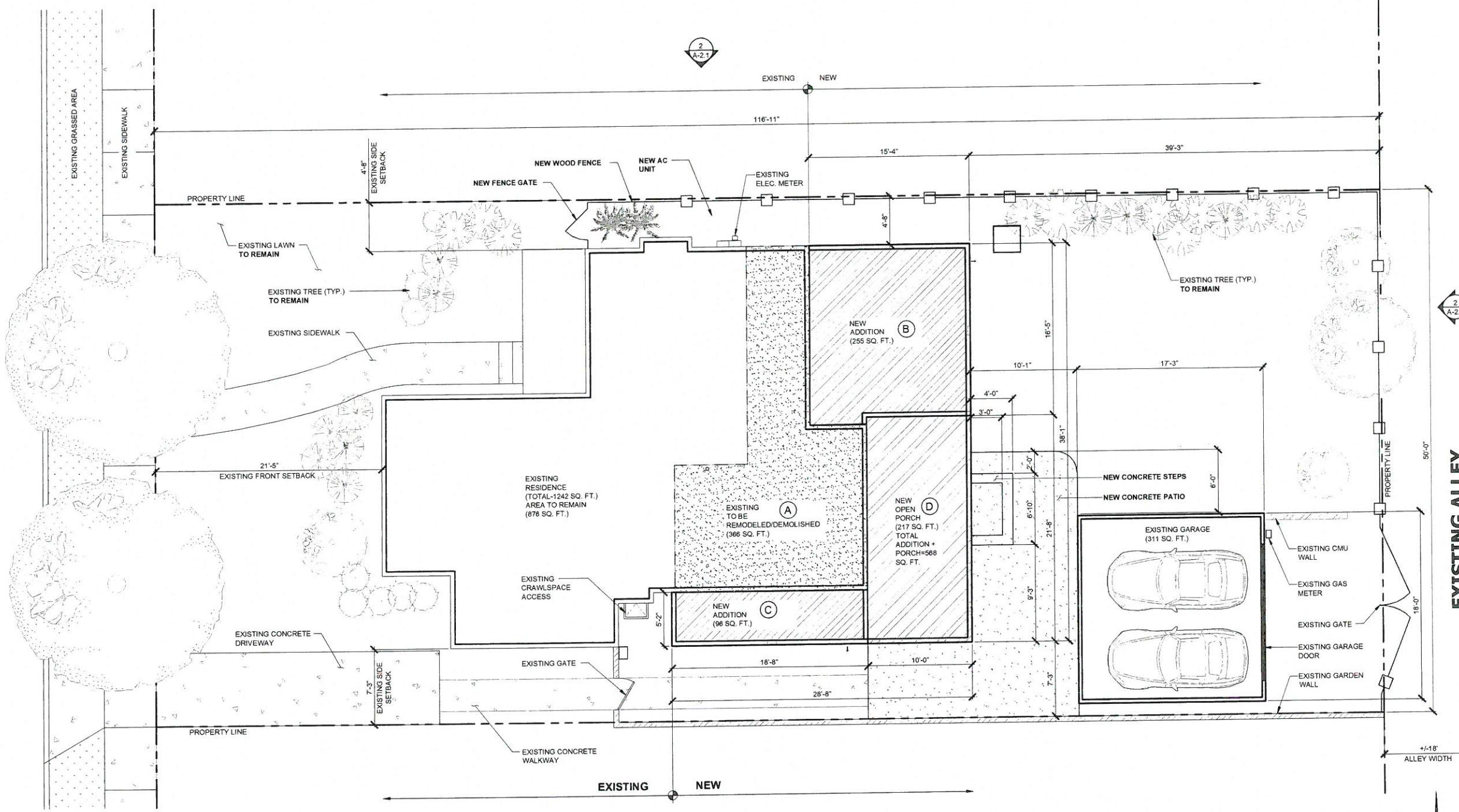


<p><b>GENERAL NOTES:</b></p> <p>DO NOT SCALE DRAWINGS.</p> <p>ALL DIMENSIONS AND CONDITIONS SHOULD BE FIELD VERIFIED PRIOR TO CONSTRUCTION.</p> <p>GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SPECIFICATIONS, EXISTING SYSTEMS, FINISHES, AND CONDITIONS PRIOR TO CONSTRUCTION.</p> <p>GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL BUILDING CODES AND STANDARDS AND SHALL BRING EXISTING CONSTRUCTION INTO COMPLIANCE WHERE REQUIRED.</p> <p>GENERAL CONTRACTOR SHALL CONSULT WITH OWNERS IF AND WHEN ANY DEVIATION FROM PLANS AND/OR SPECIFICATIONS BECOMES NECESSARY DUE TO EXISTING CONDITIONS AND/OR CONSTRUCTION BEST PRACTICES.</p> <p>PROVIDE ADEQUATE BACKING IN ALL LOCATIONS OF CABINETS, COUNTERS, SHELVES, ETC.</p> <p>ALL NEW WALLS AND PATCHES TO MATCH ADJACENT TEXTURES.</p> <p>ALL INFORMATION INDICATED AS EXISTING ON THE DRAWINGS REPRESENTS THE BEST INFORMATION AVAILABLE AS TO THE CHARACTERISTICS OF THE MATERIALS TO BE ENCOUNTERED AND THEIR LOCATIONS. VERIFY INFORMATION IN THE FIELD.</p> <p>ALL CHANGES OR SUBSTITUTIONS MUST HAVE THE PRIOR CONSENT OF OWNER. REQUESTS MADE BY ANY REPRESENTATIVES OUTSIDE OF OWNER SHALL NOT BE ACTED UPON WITHOUT AN APPROVAL.</p> <p>ALL DISTURBED SURFACES SHALL BE RESTORED TO APPEAR AS NEW AND READY TO RECEIVE NEW FINISH, PATCH FILL, AND SAND SMOOTH ALL GOUGES, HOLES, CRACKS, AND DENTS TO MATCH ADJACENT SURFACES FOR UNIFORM FINAL FINISH ON ALL EXISTING SURFACES.</p> <p>CORRECT ANY EXISTING CONDITION SUCH AS IMPROPERLY CAPPED UTILITY LINES, FLOORS OUT OF LEVELS BY MORE THAN 1/4" IN 10' AND ANY CONDITION THAT WOULD PREVENT THE CONTRACTOR FROM PROVIDING THE HIGHEST QUALITY OF FINISHED WORK.</p> <p>SITE GRADING SHALL RESULT IN POSITIVE SLOPE AND DRAINAGE AWAY FROM ALL NEW AND EXISTING STRUCTURES AND FLATWORK.</p> <p>FINISHES, TRIM, CABINETRY, DOORS, AND WINDOWS SHALL BE DETERMINED BY OWNER.</p> <p><b>STORM WATER NOTES:</b></p> <p>1. ERODED SEDIMENTS AND POLLUTANTS SHALL BE RETAINED ON SITE AND SHALL NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE OR WIND.</p> <p>2. STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS SHALL BE COVERED AND/OR PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY WIND OR WATER.</p> <p>3. FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND SHALL NOT CONTAMINATE THE SOIL NOR THE SURFACE WATERS. ALL APPROVED TOXIC STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF PROPERLY AND SHALL NOT BE WASHED INTO THE DRAINAGE SYSTEM.</p> <p>4. NON-STORM WATER RUNOFF FROM EQUIPMENT AND VEHICLE WASHING AND ANY OTHER ACTIVITY SHALL BE CONTAINED ON THE PROJECT SITE.</p> <p>5. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTE ON-SITE UNTIL IT CAN BE APPROPRIATELY DISPOSED OF OR RECYCLED.</p> <p>6. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF STORM WATER AND DISPERSED BY WIND.</p> <p>7. SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE STREET/PUBLIC WAYS. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR BY ANY OTHER MEANS.</p> <p>8. RETENTION BASINS OF SUFFICIENT SIZE SHALL BE PROVIDED TO RETAIN STORM WATER RUNOFF ON-SITE AND SHALL BE PROPERLY LOCATED TO COLLECT ALL TRIBUTARY SITE RUNOFF.</p> <p>9. WHERE RETENTION OF STORM WATER RUNOFF ON-SITE IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, RUNOFF MAYBE CONVEYED TO THE STREET AND THE STORM DRAIN SYSTEM PROVIDED THAT AN APPROVED FILTERING SYSTEM IS INSTALLED AND MAINTAINED ON-SITE DURING THE CONSTRUCTION DURATION.</p>	<p><b>GREEN BUILDING CODE NOTES:</b></p> <p>THE CALIFORNIA BUILDING STANDARDS COMMISSION HAS ADOPTED THE GREEN BUILDING STANDARDS CODE WHICH BECAME EFFECTIVE JANUARY 1, 2011 AND MUST BE ENFORCED BY THE LOCAL BUILDING OFFICIAL. THE FOLLOWING MANDATORY REQUIREMENTS FOR RESIDENTIAL CONSTRUCTION MUST BE INCLUDED ON YOUR PLANS. CGC SECTION 101.3. THE STANDARDS APPLY TO NEWLY CONSTRUCTED RESIDENTIAL BUILDINGS, ALONG WITH ADDITIONS/ALTERATIONS THAT INCREASE THE BUILDING'S CONDITIONED AREA, VOLUME OR SIZE. CGC SECTION 303.1.1.</p> <p>1. STORM WATER DRAINAGE/RETENTION DURING CONSTRUCTION. PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION BY ONE OF THE FOLLOWING: A. RETENTION BASINS. B. WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM, WATTLE OR OTHER APPROVED METHOD. CGC 4.106.2</p> <p>2. GRADING AND PAVING. SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS (SWALES, WATER COLLECTION, FRENCH DRAINS, ETC.). CGC 4.106.3. EXCEPTION: ADDITIONS NOT ALTERING THE DRAINAGE PATH.</p> <p>3. INDOOR WATER USE. SHOW COMPLIANCE WITH THE FOLLOWING TABLE FOR NEW/REPLACED FIXTURES, PER CGC 4.303.1.</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">FIXTURE TYPE</th> <th></th> </tr> </thead> <tbody> <tr> <td>WATER CLOSET</td> <td>1.28 GALLONS/FLUSH</td> </tr> <tr> <td>SHOWERHEADS</td> <td>2 GPM @ 60 PSI</td> </tr> <tr> <td>LAVATORY FAUCETS</td> <td>1.5 GPM @ 60 PSI</td> </tr> <tr> <td>KITCHEN FAUCETS</td> <td>1.8 GPM @ 60 PSI</td> </tr> </tbody> </table> <p>4. AUTOMATIC IRRIGATION. SYSTEM CONTROLLERS SHALL COMPLY WITH THE CGC SECTION 4.304.2 AS FOLLOWS: A. CONTROLLERS SHALL BE WEATHER OR SOIL MOISTURE BASED THAT AUTOMATICALLY ADJUST IRRIGATION IN RESPONSE TO CHANGES IN NEEDS AS WEATHER CONDITIONS CHANGE. B. WEATHER BASED CONTROLLERS SHALL HAVE SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S). SOIL MOISTURE BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSORS.</p> <p>5. RECYCLING. A MINIMUM OF 50% OF CONSTRUCTION WASTE IS TO BE RECYCLED. CGC 4.408.1.</p> <p>6. RECYCLING. NOTE ON THE PLANS THAT THE CONTRACTOR SHALL SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN TO THE JURISDICTION AGENCY THAT REGULATES WASTE MANAGEMENT, PER CGC 4.408.2.</p> <p>7. OPERATION AND MAINTENANCE MANUAL. THE BUILDER IS TO PROVIDE AN OPERATION MANUAL (CONTAINING INFORMATION FOR MAINTAINING APPLIANCES, ETC.) FOR THE OWNER AT THE TIME OF FINAL INSPECTION. CGC 4.410.1.</p> <p>8. GAS FIREPLACE(S) SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. CGC 4.503.1.</p> <p>9. POLLUTANT CONTROL. DURING CONSTRUCTION ENDS OF DUCT OPENINGS ARE TO BE SEALED, AND MECHANICAL EQUIPMENT IS TO BE COVERED. CGC 4.504.1.</p> <p>10. POLLUTANT CONTROL. VOC'S MUST COMPLY WITH THE LIMITATIONS LISTED IN SECTION 4.504.3 AND TABLES 4.504.1, 4.504.2, 4.504.3 AND 4.504.5 FOR: ADHESIVES, PAINTS AND COATINGS, CARPET AND COMPOSITION WOOD PRODUCTS. CGC 4.504.2.</p> <p>11. INTERIOR MOISTURE CONTROL. THE MOISTURE CONTENT OF WOOD SHALL NOT EXCEED 19% BEFORE IT IS ENCLOSED IN CONSTRUCTION. THE MOISTURE CONTENT NEEDS TO BE CERTIFIED BY ONE OF 3 METHODS SPECIFIED IN SECTION 4.505.3. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHOULD NOT BE USED IN CONSTRUCTION. THE MOISTURE CONTENT MUST BE DETERMINED BY THE CONTRACTOR BY ONE OF THE METHODS LISTED IN CGC 4.505.3.</p> <p>12. INDOOR AIR QUALITY. BATHROOM FANS SHALL BE ENERGY STAR RATED, VENTED DIRECTLY TO THE OUTSIDE AND CONTROLLED BY A HUMIDISTAT. CGC 4.508.1.</p> <p>13. PRIOR TO FINAL INSPECTION THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST PROVIDE TO THE BUILDING DEPARTMENT OFFICIAL WRITTEN VERIFICATION THAT ALL APPLICABLE PROVISIONS FROM THE GREEN BUILDING STANDARDS CODE HAVE BEEN IMPLEMENTED AS PART OF THE CONSTRUCTION. CGC 102.3.</p>	FIXTURE TYPE		WATER CLOSET	1.28 GALLONS/FLUSH	SHOWERHEADS	2 GPM @ 60 PSI	LAVATORY FAUCETS	1.5 GPM @ 60 PSI	KITCHEN FAUCETS	1.8 GPM @ 60 PSI	<p><b>SHEET INDEX</b></p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="text-align: left;">SHEET</th> <th style="text-align: left;">DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td colspan="2" style="text-align: center;">ARCHITECTURAL</td> </tr> <tr> <td>T-1</td> <td>TITLE SHEET</td> </tr> <tr> <td>A-1</td> <td>SITE PLAN</td> </tr> <tr> <td>A-1.1</td> <td>DEMOLITION PLAN PLAN</td> </tr> <tr> <td>A-1.2</td> <td>NEW FLOOR PLAN</td> </tr> <tr> <td>A-1.3</td> <td>REFLECTED CEILING PLAN &amp; ENLARGED KITCHEN</td> </tr> <tr> <td>A-1.4</td> <td>NEW ROOF PLAN &amp; WINDOW AND DOOR SCHEDULES</td> </tr> <tr> <td>A-2</td> <td>ELEVATIONS</td> </tr> <tr> <td>A-2.1</td> <td>ELEVATIONS</td> </tr> <tr> <td>A-2.2</td> <td>ELEVATIONS</td> </tr> <tr> <td>A-2.3</td> <td>ELEVATIONS</td> </tr> <tr> <td>A-3</td> <td>SECTIONS</td> </tr> <tr> <td>A-3.1</td> <td>SECTIONS</td> </tr> <tr> <td>A-3.2</td> <td>SECTIONS</td> </tr> </tbody> </table>	SHEET	DESCRIPTION	ARCHITECTURAL		T-1	TITLE SHEET	A-1	SITE PLAN	A-1.1	DEMOLITION PLAN PLAN	A-1.2	NEW FLOOR PLAN	A-1.3	REFLECTED CEILING PLAN & ENLARGED KITCHEN	A-1.4	NEW ROOF PLAN & WINDOW AND DOOR SCHEDULES	A-2	ELEVATIONS	A-2.1	ELEVATIONS	A-2.2	ELEVATIONS	A-2.3	ELEVATIONS	A-3	SECTIONS	A-3.1	SECTIONS	A-3.2	SECTIONS	<p><b>PROJECT INFORMATION</b></p> <p><b>DESIGNER:</b> CHRISTINE BARTHEL 4225 IDAHO STREET SAN DIEGO, CA 92104 619.346.4744</p> <p><b>STRUCTURAL ENGINEER:</b> IDG STRUCTURAL ENGINEERING 6040 N. FIGUEROA STREET LOS ANGELES, CA 90042 323.257.8854</p> <p><b>PROJECT OWNER:</b> STEVE GARNEY AND MEGAN GARVEY 3730 GARDENIA AVENUE LONG BEACH, CA 90807 562.988.9588</p> <p><b>TITLE 24:</b> BILL BREHER 3295 WELMER PLACE SAN DIEGO, CA 92122 858.453.9260</p> <p><b>PROJECT DATA:</b></p> <p>LOT AREA: 5,845 SQ. FT. EXISTING AREA (HOUSE): 1,242 SQ. FT. EXISTING GARAGE: 311 SQ. FT. DEMOLISHED AREA: 366 SQ. FT. NEW AREA: 351 SQ. FT. OPEN REAR PORCH: 217 SQ. FT. TOTAL (NEW AREA + PORCH): 568 SQ. FT. TOTAL (EXISTING + NEW): 1,593 SQ. FT. TOTAL W/OPEN REAR PORCH: 1,810 SQ. FT. TOTAL (HOUSE + GARAGE): 2121 SQ. FT. APN: 7147-008-26 R-1-N ZONING CLASSIFICATION: PROPERTY TYPE: SINGLE FAMILY RESIDENTIAL BUILT: 1939 JURISDICTION: CITY OF LONG BEACH CONSTRUCTION TYPE: V-B</p> <p><b>CODE REQUIREMENTS:</b></p> <p>LOT AREA: 6,000 SQ. FT. FRONT SETBACK: 20' SIDE SETBACK: 4' REAR SETBACK: 1st STORY 10' MAX. HEIGHT: 25' MAX. LOT COVERAGE: 50% OUTDOOR LOT AREA: 16%</p> <p><b>PROPOSED PROJECT:</b></p> <p>LOT AREA: 5,845 SQ. FT. FRONT SETBACK: 21-5' 4'-8" &amp; 7'-3" REAR SETBACK: 39-3' MAX. HEIGHT: NA (EXISTING +/-15'-9") MAX. LOT COVERAGE: 36% OUTDOOR LOT AREA: 35%</p> <p><b>PROPERTY BOUNDARY DESCRIPTION:</b> TRACT NO. 10606 S 25 FT OF LOT 26 AND N 25 FT OF LOT 27</p> <p><b>PROJECT DESCRIPTION:</b> ADDITION OF NEW KITCHEN, MASTER BEDROOM, BATHROOM, AND COVERED PORCH. NEW ROOF TO REPLACE EXISTING.</p> <p><b>CODE COMPLIANCE:</b> 2013 CALIFORNIA BUILDING STANDARDS CODE 2013 CALIFORNIA FIRE CODE 2013 CALIFORNIA PLUMBING CODE 2013 CALIFORNIA MECHANICAL CODE 2013 CALIFORNIA ELECTRICAL CODE 2008 CALIFORNIA ENERGY CODE 2013 CALIFORNIA EXISTING BUILDING CODE 2013 CALIFORNIA GREEN BUILDING STANDARD CODE</p>																																																																																																																																																																																																																																																																																																																																																						
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<tr><td>A.F.G.</td><td>ABOVE FINISHED GRADE</td><td>F.O.C.</td><td>FACE OF CONCRETE</td><td>R.R.U.</td><td>SCHEDULE</td><td>R.R.U.</td><td>SCHEDULE</td></tr> <tr><td>ALUM.</td><td>ALUMINUM</td><td>F.O.M.</td><td>FACE OF MASONRY</td><td>SCH.</td><td>SHEET</td><td>SCH.</td><td>SIMILAR</td></tr> <tr><td>ALT.</td><td>ALTERNATE</td><td>F.O.S.</td><td>FACE OF STUD</td><td>SIM.</td><td>SPECIFICATION(S)</td><td>SIM.</td><td>SPECIFICATION(S)</td></tr> <tr><td>ANT.</td><td>ANTENNA</td><td>F.O.W.</td><td>FACE OF WALL</td><td>SO.</td><td>SQUARE</td><td>SO.</td><td>SQUARE</td></tr> <tr><td>APPRX.</td><td>APPROXIMATE(LY)</td><td>F.T.</td><td>FINISH SURFACE</td><td>S.S.</td><td>STAINLESS STEEL</td><td>S.S.</td><td>STAINLESS STEEL</td></tr> <tr><td>ARCH.</td><td>ARCHITECT(URAL)</td><td>FTG.</td><td>FOOT(ING)</td><td>STD.</td><td>STANDARD</td><td>STD.</td><td>STANDARD</td></tr> <tr><td>AWG</td><td>AMERICAN WIRE GAUGE</td><td>G.</td><td>GROWTH (CABINET)</td><td>STL.</td><td>STEEL</td><td>STL.</td><td>STEEL</td></tr> <tr><td>BLDG.</td><td>BUILDING</td><td>GA.</td><td>GAUGE</td><td>STRUC.</td><td>STRUCTURAL</td><td>STRUC.</td><td>STRUCTURAL</td></tr> <tr><td>BLK.</td><td>BLOCK</td><td>GI.</td><td>GALVANIZED(D)</td><td>TEMP.</td><td>TEMPORARY</td><td>TEMP.</td><td>TEMPORARY</td></tr> <tr><td>BLKG.</td><td>BLOCKING</td><td>G.F.I.</td><td>GROUND FAULT CIRCUIT INTERRUPTER</td><td>THK.</td><td>THICKNESS</td><td>THK.</td><td>THICKNESS</td></tr> <tr><td>BM.</td><td>BEAM</td><td>GLB (GLU-LAM)</td><td>GLUE LAMINATED BEAM</td><td>TMA.</td><td>TOWER MOUNTED AMPLIFIER</td><td>TMA.</td><td>TOWER MOUNTED AMPLIFIER</td></tr> <tr><td>B.N.</td><td>BOUNDARY NAILING</td><td>GPS.</td><td>GLOBAL POSITIONING SYSTEM</td><td>T.N.</td><td>TOE NAIL</td><td>T.N.</td><td>TOE NAIL</td></tr> <tr><td>BTCW.</td><td>BARE TINNED COPPER WIRE</td><td>GRND.</td><td>GROUND</td><td>T.O.A.</td><td>TOP OF ANTENNA</td><td>T.O.A.</td><td>TOP OF ANTENNA</td></tr> 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(E)</td><td>EXISTING</td><td></td><td>PRESSURE TREATED</td><td></td><td></td><td></td><td></td></tr> <tr><td>EXT.</td><td>EXTERIOR</td><td></td><td></td><td></td><td></td><td></td><td></td></tr> </tbody> </table>	ABBREVIATION	DEFINITION	ABBREVIATION	DEFINITION	ABBREVIATION	DEFINITION	ABBREVIATION	DEFINITION	A.B.	ANCHOR BOLT	FAB.	FABRICATION(OR)	PWR.	POWER (CABINET)	QTY.	QUANTITY	ABV.	ABOVE	F.F.	FLOOR	RAD.(R)	RADIUS	RAD.(R)	REFERENCE	ACCA	ANTENNA CABLE COVER ASSEMBLY	FIN.	FINISH GRADE	REF.	REINFORCEMENT(ING)	REF.	REQUIRED	ADD'L.	ADDITIONAL	FLR.	FINISH(ED)	REQ'D.	RIGID GALVANIZED STEEL	REQ'D.	RIGID GALVANIZED STEEL	A.F.F.	ABOVE FINISHED FLOOR	FDN.	FOUNDATION	RGS.	RADIO REMOTE UNIT	RGS.	RADIO REMOTE UNIT	A.F.G.	ABOVE FINISHED GRADE	F.O.C.	FACE OF CONCRETE	R.R.U.	SCHEDULE	R.R.U.	SCHEDULE	ALUM.	ALUMINUM	F.O.M.	FACE OF MASONRY	SCH.	SHEET	SCH.	SIMILAR	ALT.	ALTERNATE	F.O.S.	FACE OF STUD	SIM.	SPECIFICATION(S)	SIM.	SPECIFICATION(S)	ANT.	ANTENNA	F.O.W.	FACE OF WALL	SO.	SQUARE	SO.	SQUARE	APPRX.	APPROXIMATE(LY)	F.T.	FINISH SURFACE	S.S.	STAINLESS STEEL	S.S.	STAINLESS STEEL	ARCH.	ARCHITECT(URAL)	FTG.	FOOT(ING)	STD.	STANDARD	STD.	STANDARD	AWG	AMERICAN WIRE GAUGE	G.	GROWTH (CABINET)	STL.	STEEL	STL.	STEEL	BLDG.	BUILDING	GA.	GAUGE	STRUC.	STRUCTURAL	STRUC.	STRUCTURAL	BLK.	BLOCK	GI.	GALVANIZED(D)	TEMP.	TEMPORARY	TEMP.	TEMPORARY	BLKG.	BLOCKING	G.F.I.	GROUND FAULT CIRCUIT INTERRUPTER	THK.	THICKNESS	THK.	THICKNESS	BM.	BEAM	GLB (GLU-LAM)	GLUE LAMINATED BEAM	TMA.	TOWER MOUNTED AMPLIFIER	TMA.	TOWER MOUNTED AMPLIFIER	B.N.	BOUNDARY NAILING	GPS.	GLOBAL POSITIONING SYSTEM	T.N.	TOE NAIL	T.N.	TOE NAIL	BTCW.	BARE TINNED COPPER WIRE	GRND.	GROUND	T.O.A.	TOP OF ANTENNA	T.O.A.	TOP OF ANTENNA	B.O.F.	BOTTOM OF FOOTING	H.D.	HEADER	T.O.F.	TOP OF FOUNDATION	T.O.F.	TOP OF FOUNDATION	CAB.	CABINET	H.G.	HANGER	T.O.P.	TOP OF PLATE (PARAPET)	T.O.P.	TOP OF PLATE (PARAPET)	CANT.	CANTILEVER(ED)	HT.	HEIGHT	T.O.S.	TOP OF STEEL	T.O.S.	TOP OF STEEL	C.I.P.	CAST IN PLACE	ICGB.	ISOLATED COPPER GROUND BUS	T.O.W.	TOP OF WALL	T.O.W.	TOP OF WALL	CLG.	CEILING	IN."	INCH(ES)	TYP.	TYPICAL	TYP.	TYPICAL	CLR.	CLEAR	INT.	INTERIOR	U.G.	UNDER GROUND	U.G.	UNDER GROUND	COL.	COLUMN	L.B.#	POUND(S)	U.L.	UNDERWITERS LABORATORY	U.L.	UNDERWITERS LABORATORY	CONC.	CONCRETE	L.B.	LAG BOLTS	U.N.O.	UNLESS NOTED OTHERWISE	U.N.O.	UNLESS NOTED OTHERWISE	CONN.	CONNECTION(OR)	L.F.	LINEAR FEET (FOOT)	MAS.	VERIFY IN FIELD	V.I.F.	VERIFY IN FIELD	CONST.	CONSTRUCTION	L.G.	LONGITUDINAL	MAX.	WIDE(WIDTH)	W.	WIDE(WIDTH)	CONT.	CONTINUOUS	MAS.	MATERIAL	M.B.	WIDE(WIDTH)	W.	WIDE(WIDTH)	d.	PENNY (NAILS)	M.F.	MATERIAL	M.ECH.	WOOD	WD.	WOOD	DBL.	DOUBLE	M.I.	MINIMUM	M.F.	WEATHERPROOF	W.P.	WEATHERPROOF	DEPT.	DEPARTMENT	M.I.C.	MISCELLANEOUS	M.TL.	WEIGHT	WT.	WEIGHT	D.F.	DOUGLAS FIR	M.TL.	METAL	(N)	CENTERLINE	¶	CENTERLINE	DIA.	DIAMETER	N.O.	PROPOSED	N.O. (#)	PLATE	P.	PLATE	DIAG.	DIAGONAL	N.T.S.	NUMBER	N.T.S.				DIM.	DIMENSION	O.C.	NOT TO SCALE	O.C.				DWG.	DRAWINGS(S)	OPNG.	ON CENTER	OPNG.				DWL.	DOWELS(S)	P/C.	OPENING	P/C.				EA.	EACH	PCS.	PRECAST CONCRETE	PCS.				ELEC.	ELEVATION	PLY.	PERSONAL COMMUNICATION SERVICES	PLY.				EMT.	ELECTRICAL METALLIC TUBING	PPC.	PLYWOOD	PPC.				E.N.	EDGE NAIL	PRC.	POWER PROTECTION CABINET	PRC.				ENG.	ENGINEER	P.S.F.	PRIMARY RADIO CABINET	P.S.F.				EQ.	EQUAL	P.S.I.	POUNDS PER SQUARE FOOT	P.S.I.				EXP.	EXPANSION	P.T.	POUNDS PER SQUARE INCH	P.T.				EXT. (E)	EXISTING		PRESSURE TREATED					EXT.	EXTERIOR							<p><b>VICINITY MAP</b></p> <p><b>LOCAL MAP</b></p>
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## GARDENIA AVENUE



NEW SITE PLAN

(A)	DEMOLISHED AREA	368 SQ. FT.
(B)	KITCHEN ADDITION	15'-4" X 16'-5" = 255 SQ. FT.
(C)	MASTER BEDROOM/BATH	18'-8" X 5'-2" = 98 SQ. FT.
TOTAL NEW LIVING AREA = 351 SQ. FT.		
(D)	OPEN REAR PORCH	21'-8" X 10'-0" = 217 SQ. FT.

DISCLAIMER	
THESE DRAWINGS WERE PRODUCED WITHOUT THE BENEFIT OF A CURRENT LAND SURVEY. ALL PROPERTY LINES, EASEMENTS, AND SETBACKS SHALL BE VERIFIED PRIOR TO START OF CONSTRUCTION.	

## REMODEL & ADDITION TO CARNEY/GARVEY RESIDENCE 3730 GARDENIA AVENUE LONG BEACH, CA 90807

**NEW SITE PLAN**  
**A-1**

REV	DATE	DESCRIPTION
1	08/23/2016	HISTORIC REVIEW
0	09/17/2016	SUBMITTAL
C	06/05/2016	90% CONSTRUCTION DOCUMENTS FOR BIDDING
6	06/05/2016	PRELIMINARY CDS
A	02/14/2016	PRELIMINARY CDS

**NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES**

**EXISTING INFORMATION:**

100 AMP SERVICE  
A/C-GOODMAN MANUFACTURING 10-101D CONDENSING UNIT  
HEATER-DUCANE FURNACES (A050B3 OR A075B3) GAS-FIRED, NON-CONDENSING WARM-AIR FURNACE  
WATER HEATER-BOSCH AQUASTAR 125B-NG TANKLESS

**GENERAL DEMOLITION PLAN NOTES**

- SEE FLOOR PLAN, SHEET A1.2 FOR LOCATIONS WHERE INFILL WALL CONSTRUCTION, TO MATCH EXISTING, IS REQUIRED AT EXISTING DOORS/WINDOWS THAT ARE TO BE ABANDONED.
- IN IS THE GENERAL INTENT OF THE CONSTRUCTION DOCUMENTS TO FULLY DESCRIBE THE DEMOLITION WORK REQUIRED TO PROVIDE AND INSTALL THE NEW AND/OR ALTERED WORK. HOWEVER, IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL DEMOLITION WORK REQUIRED WHETHER OR NOT DRAWN AND/OR NOTED OR CALLED FOR IN ORDER THAT THE FINAL PRODUCT BE A COMPLETELY WORKABLE HABITABLE BUILDING AS INDICATED ON THE DRAWINGS AND IN THE SPECIFICATIONS FOR THE INTENDED OCCUPANCY..
- ALL DEMOLITION WORK SHALL BE IN ACCORDANCE WITH ALL CODES AND ORDINANCES AS SET FORTH BY GOVERNING AGENCIES HAVING JURISDICTION.
- ANY AND ALL SCAFFOLDING REQUIRED FOR THE DEMOLITION WORK SHALL BE IN ACCORDANCE WITH ALL STATE HEALTH AND SAFETY CODES AND ORDINANCES.
- CONTRACTOR SHALL PROTECT ALL EXISTING WORK TO REMAIN FROM DAMAGE DURING THE DEMOLITION PROCESS. ANY WORK WHICH IS TO REMAIN WHICH IS DAMAGED DURING ANY OF THE DEMOLITION WORK SHALL BE REPAIRED OR REPLACED AT THE EXPENSE OF THE CONTRACTOR.

**LEGEND:**

- EXISTING WALLS TO REMAIN (WOOD FRAME W/STUCCO)
- EXISTING WALLS TO BE REMOVED
- EXISTING CONCRETE PATIO TO BE REMOVED
- EXISTING CMU WALL
- EXISTING GARDEN WALL

**FOUNDATION DEMOLITION PLAN**

SCALE: 1/8" = 1'-0" (24x36)  
(OR) 1/16" = 1'-0" (11x17) **1**

**DEMOLITION PLAN**

0 1' 5" 3" 5" SCALE: 3/16" = 1'-0" (24x36)  
(OR) 3/32" = 1'-0" (11x17) **2**

	HISTORIC REVIEW	SUBMITIAL	BPK CONSTRUCTION DOCUMENTS FOR BIDDING	PRELIMINARY CDs	PRELIMINARY CDs
1	08/22/2016	07/17/2016	08/22/2016	06/01/2016	06/01/2016
0					
C					
B					
A					
REV					
DATE					

**REMODEL & ADDITION TO**  
**CARNEY/GARVEY RESIDENCE**  
**3730 GARDENIA AVENUE**  
**LONG BEACH, CA 90807**

**EXISTING ALLEY**

**DEMOLITION PLAN**

**A-1.1**

**GENERAL NOTES - FLOOR PLAN**

- A. ALL NEW PLUMBING FIXTURES TO BE PER OWNER
- B. INSULATION NOTES: RESIDENTIAL AREA CEILINGS: R-19 UNFACED FIBERGLASS BLANKET PERIMETER WALLS: R-13 BATT INSULATION INTERIOR WALLS: R-13 BATT INSULATION
- C. SMOKE DETECTORS SHALL SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS OF THE UNIT
- D. ALL NEW INTERIOR FINISHES TO MATCH EXISTING AND BE VERIFIED BY OWNER
- E. ALL NEW DOOR AND WINDOW FINISHES ARE TO BE PER OWNER
- F. WHEN THE VALUATION OF A ROOM ADDITION OR REPAIR EXCEEDS \$1,000, OR WHEN SLEEPING ROOMS ARE CREATED SMOKE DETECTORS SHALL BE PROVIDED, EXCEPT THAT, SMOKE DETECTORS AT EXISTING BEDROOMS NEED ONLY BE BATTERY POWERED. SEC. 310.9.1.2
- G. PROVIDE FLOURESCENT GENERAL LIGHTING (40 LUMENS PER WATT MINIMUM) IN KITCHENS AND BATHROOMS CONTAINING A TUB OR SHOWER.
- H. THE DISCHARGE POINT FOR EXHAUST AIR WILL BE AT LEAST 3 FT. FROM ANY OPENING WHICH ALLOWS AIR ENTRY INTO OCCUPIED PORTIONS OF THE BUILDING.
- I. CEILING HEIGHT FOR HABITABLE ROOMS IS A MIN. OF 7'-6". SEC. 310.6.1
- J. CEILING HEIGHT FOR LAUNDRY ROOMS, HALLWAYS, CORRIDORS, AND BATHROOMS IS A MIN. OF 7'-0". SEC. 310.6.1
- K. BEDROOM ELECTRICAL CIRCUITS MUST BE PROTECTED BY ARC FAULT CIRCUIT INTERRUPTORS (AFCI).

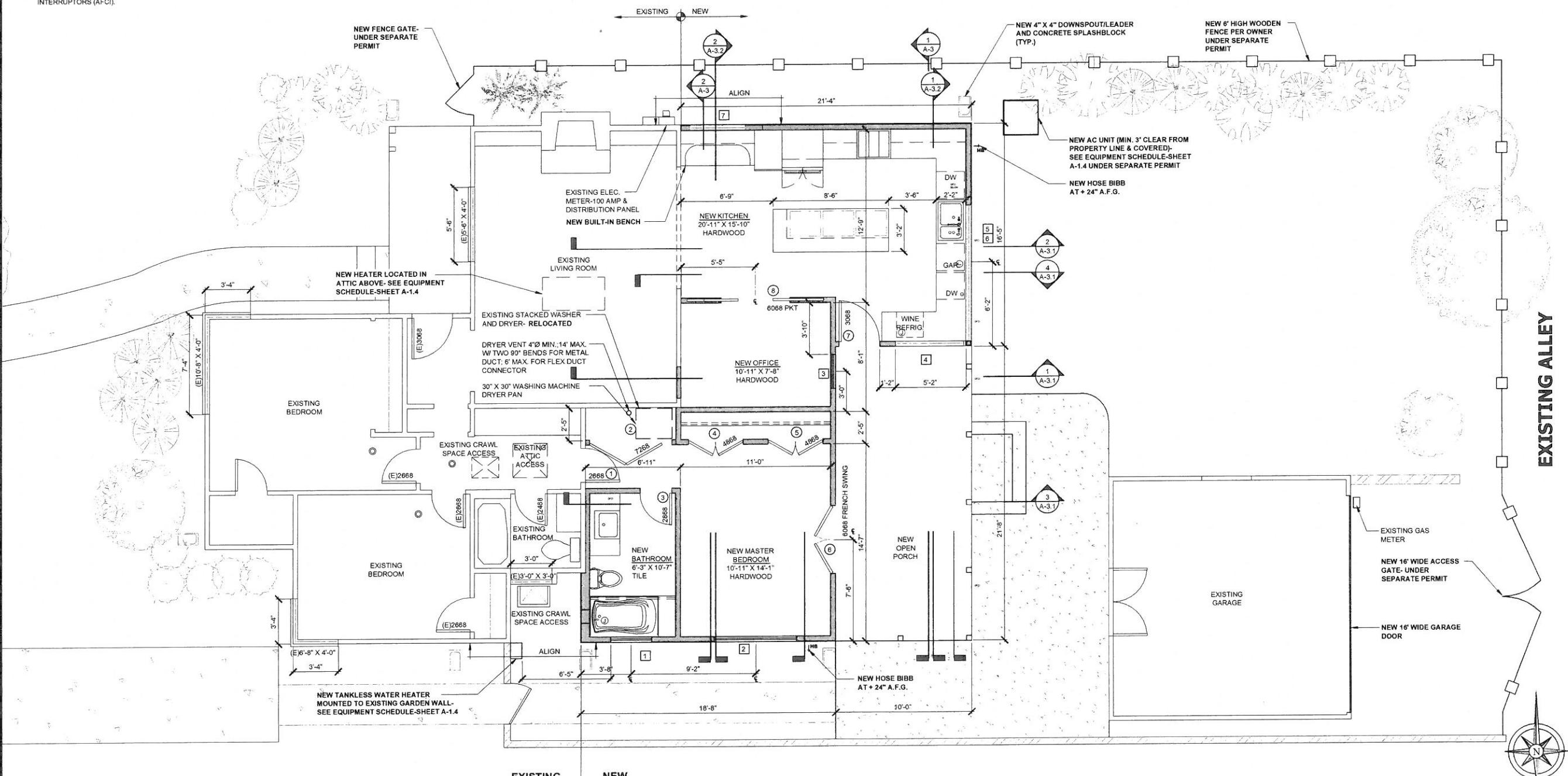
**STAIR NOTES**

- L. SMOKE DETECTORS ARE REQUIRED IN EACH EXISTING SLEEPING ROOM AND IN THE HALLWAY / AREA SERVING EACH SLEEPING AREA. BATTERY OPERATED DETECTORS ARE ACCEPTABLE FOR EXISTING CONSTRUCTION.
- M. IN ADDITION TO ANY TOILETS BEING ADDED TO THE BUILDING AS A RESULT OF THIS PROJECT, ALL EXISTING TOILETS MUST BE REPLACED WITH ULTRA-LOW FLOW TOILETS. ALL WATER CLOSETS IN THIS BUILDING TO BE STATE OF CALIFORNIA, DEPARTMENT OF HOUSING & MAX. 1.6 GAL PER FLUSH.
- N. WALL COVERING SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL TO 70" ABOVE DRAIN AT SHOWERS OR TUB WITH SHOWERS. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT.
- A. MAXIMUM RISE OF 7.75" ND MIN. RUN (TREAD) OF 10".
- B. PROVIDE CONTINUOUS HANDRAIL FOR STAIRWAYS WITH 4 OR MORE RISERS.
- C. HANDRAILS SHALL BE 34"- 38" ABOVE THE NOSING OF TREADS.
- D. THE HANDGRIP PORTION OF HANDRAILS SHALL NOT BE LESS THAN 1-1/4" OR MORE THAN 2" IN CROSS-SECTIONAL DIMENSION.
- E. DESIGN HANDRAIL SYSTEM TO RESIST HORIZONTAL FORCES DESCRIBED IN SEC. 1607.7.
- F. A NOSING NOT LESS THAN .75" BUT NOT MORE THAN 1.25" SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS WHERE TREAD DEPTH IS LESS THAN 11".
- G. GUARD RAILS SHALL HAVE A HEIGHT OF 42" MIN. (MAY BE 34" ALONG THE SIDES OF STAIRS).
- H. OPENINGS BETWEEN RAILINGS SHALL BE LESS THAN 4". THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM ELEMENT OF A GUARDRAIL AS A STAIR SHALL BE LESS THAN 6".
- I. HANDRAILS ARE REQUIRED ON EACH SIDE OF STAIRWAYS (ONLY STAIRS WITHIN DWELLING UNITS ARE ALLOWED TO HAVE JUST ONE HANDRAIL ON ONE SIDE).
- J. HANDRAIL EXTENSIONS SHALL BE 34" TO 38" ABV. NOSING OF TREADS AND ARE TO BE CONTINUOUS.
- K. HANDRAILS PROJECTING FROM WALLS SHALL HAVE AT LEAST 1-1/2" BETWEEN WALL AND THE HANDRAIL.
- L. ENDS OF HANDRAILS SHALL BE RETURNED OR SHALL HAVE ROUNDED TERMINATIONS OR BENDS.

**LEGEND:**

- EXISTING WALLS TO REMAIN (WOOD FRAME w/STUCCO)
- TO BE CLOSED IN OR NEW CONSTRUCTION
- DETAIL REFERENCE
- ELEVATION REFERENCE
- SECTION REFERENCE

**REMODEL & ADDITION TO  
CARNEY/GARVEY RESIDENCE  
3730 GARDENIA AVENUE  
LONG BEACH, CA 90807**



REV	DATE	DESCRIPTION
1	08/23/2016	HISTORIC REVIEW
0	07/17/2016	SUBMITTAL
O	06/26/2016	80% CONSTRUCTION DOCUMENTS FOR BIDDING
B	05/01/2016	PRELIMINARY COA
A	02/14/2016	DATE

**ELECTRICAL NOTES**

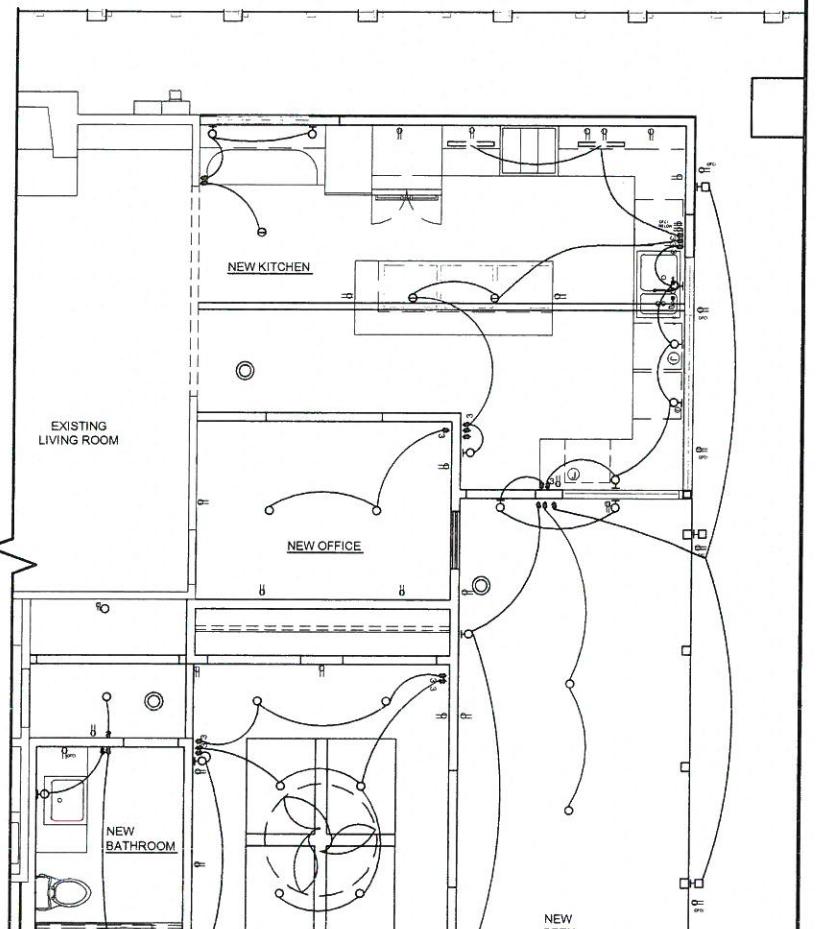
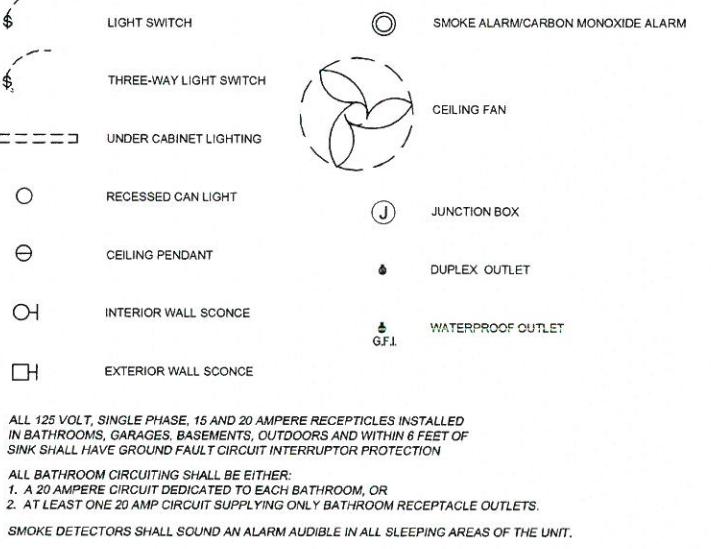
- ALL ELECTRICAL WORK SHALL CONFORM WITH LATEST EDITION OF THE NATIONAL ELECTRIC CODE AND ANY OTHER GOVERNING AGENCY.
- WALL (TOP) SWITCHES SHALL BE LOCATED AT 48" ABOVE FINISH FLOOR.
- TELEPHONE, T.V. AND ELECTRICAL CONVENIENCE OUTLETS SHALL BE SECURED TO A WALL STUD AND LOCATED AT 9" (BOTTOM OF BOX) ABOVE COUNTER TOPS.
- FIRE WARNING DEVICES SHALL BE SUPPLIED AND INSTALLED IN COMPLIANCE WITH CURRENT UBC CODES.
- PANEL BOXES: CIRCUIT BREAKER TYPE SHALL BE RECESSED, FLUSH MOUNTED, GALVANIZED AND PRIME COATED WITH LATCH. PROVIDE CARD IDENTIFYING CIRCUITS.
- OWNER OR ARCHITECT TO PROVIDE LIGHTING FIXTURE SCHEDULE, OR LIGHT FIXTURES FOR ALL BOXES OR WALL OR FLUSH MOUNTED LIGHTS.
- IN BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS ALL FIXTURES MUST BE HIGH EFFICACY STYLE FIXTURES (PROVIDE AT LEAST 40 LUMENS/WATT), OR BE CONTROLLED BY A VACANCY SENSOR.
- ALL OUTDOOR FIXTURES MUST BE HIGH EFFICACY FLUORESCENT FIXTURES OR INCANDESCENT FIXTURES CONTROLLED BY A COMBINATION PHOTO-CONTROL TIME CLOCK OR MOTION SENSOR.
- IN ALL OTHER SPACES INCLUDING HABITABLE ROOMS, HALLWAYS, OR CLOSETS OVER 70 S.F., PROVIDE HIGH EFFICACY FIXTURES, FIXTURES WITH A VACANCY SENSORS OR DIMMER SWITCHES.
- PROVIDE UFER OR OTHER APPROVED GROUND PER NEC 250.
- BATHROOM OUTLETS SHALL BE ON A 20 AMP CIRCUIT, WITH NO OTHER OUTLETS ALLOWED.
- CIRCUITS SERVING 15 AND 20 AMP OUTLETS IN SLEEPING ROOMS MUST BE ARC-FAULT CIRCUIT-INTERRUPTER PROTECTED PER NEC 210-12.
- IN KITCHENS AT LEAST ONE-HALF OF THE WATTAGE RATING OF THE FIXTURES MUST BE HIGH EFFICACY WITH NON-HIGH EFFICACY FIXTURES SWITCHED SEPARATELY. NOTE: APPROXIMATELY  $\frac{1}{4}$  OF THE FIXTURES WILL BE REQUIRED TO BE OF THE HIGH EFFICACY VARIETY.

**PLUMBING NOTES**

- ALL PLUMBING WORK SHALL CONFORM WITH THE LATEST EDITION OF THE UNIFORM PLUMBING CODE AND ANY OTHER ADOPTED CODES.
- FIXTURES TO BE LOW FLOW FIXTURES PURSUANT TO STATE LAW AND ON THE CEC APPROVED LIST.
- PROVIDE 32" CLEARANCE IN FRONT OF WATER CLOSETS.
- BATHTUBS SHALL BE PROVIDED WITH A 12" X 12" READILY ACCESSIBLE SPACE OR SOLID SOLDER WASTE LINE.
- WATER HEATER SHALL BE SIZED AND LOCATED AS SHOWN ON PLANS.
- GAS WATER HEATER MUST BE PLACED ON AN 18" HIGH PLATFORM.
- VERIFY ALL FIXTURE SELECTIONS WITH OWNER OR ARCHITECT.
- DOMESTIC WATER PIPING: TYPE L COPPER TUBING ABOVE SLAB, TYPE K COPPER TUBING BELOW GRADE OR SLAB.
- NO SOLDER JOINTS OF ANY KIND BELOW CONCRETE SLAB FOUNDATION. USE ROLLED COPPER (K) PIPING.
- OPENINGS IN PIPES, DRAINS AND FITTINGS SHALL BE KEPT COVERED DURING CONSTRUCTION.
- WATER HEATER TO BE ADEQUATELY BRACED TO RESIST SEISMIC FORCES BY PROVIDING TWO STRAPS (ONE STRAP AT TOP 1/3 OF THE TANK AND ONE STRAP AT BOTTOM 1/3 OF THE TANK).
- COMBUSTION AIR FOR FUEL BURNING WATER HEATERS WILL BE PROVIDED IN ACCORDANCE WITH UPC SECTION 507 AND TABLE 5-1.
- ANTI-SCALDING SHOWER AND TUB AND SHOWER VALVES REQUIRED.

**MECHANICAL NOTES**

- SYSTEM SHALL BE IN CONFORMANCE WITH LATEST EDITION OF THE UNIFORM MECHANICAL CODE AND ANY OTHER GOVERNING CODES.
- BATHROOMS, LAUNDRY ROOM AND SIMILAR ROOMS EXHAUST FANS SHALL PROVIDE MIN. OF 5 AIR CHANGES PER HOUR.
- DUCTS FOR EXHAUST FANS, RANGE HOODS, OR HEAT SUPPLY, ETC THAT PIERCE FLOOR CONSTRUCTION SHALL BE A MINIMUM OF 26 GA. GALV. SHEET METAL. ALSO PROVIDE A ONE HOUR FIRE RESISTIVE SHAFT AT PENETRATION.
- DUCTS PIERCING ONE HOUR FIRE RATED WALL BETWEEN GARAGE AND THE LIVING UNIT SHALL BE 26 GA. GALV. SHEET METAL.
- ALL VENTS THROUGH ASSEMBLY SHALL BE LOCATED TOWARDS REAR OR LOWER SIDE OF ROOF HIGH POINT WHERE POSSIBLE.
- ALL VENTS IN EXTERIOR WALL TO TURN BACK A MIN. OF 2' INTO RAFTER SPACE BEFORE RAISING VERTICALLY AND PENETRATING ROOF. ALL VENTS/DUCTS PENETRATING ROOF TO BE PROPERLY SLEEVED, FLASHED AND COUNTER FLASHED.
- GAS FIRED FORCED AIR UNITS:
  - PROVIDE 100 SQ. IN. OF OUTSIDE COMBUSTION AIR FROM VENT THROUGH ROOF AND DUCT IN ATTIC FOR FAU SIZES OF 100,000 BTU OR UNDER.
  - PROVIDE 100 SQ. IN. OF OUTSIDE COMBUSTION AIR FROM VENT THROUGH ROOF AND DUCT IN ATTIC FOR EACH 1000 BTU FOR FAU SIZES OVER 100,000 BTU.
- ALL EQUIPMENT INSTALLATION AS PER MANUFACTURERS SPECIFICATIONS.
- IN LIEU OF REQUIRED EXTERIOR OPENINGS FOR NATURAL VENTILATION, A MECHANICAL VENTILATION SYSTEM MAY BE PROVIDED. SUCH SYSTEM SHALL BE CAPABLE OF PROVIDING TWO AIR CHANGES PER HOUR IN HABITABLE ROOMS WITH A MIN. OF 15 CUBIC FEET PER MINUTE OF OUTSIDE AIR PER OCCUPANT DURING SUCH TIME AS THE BUILDING IS OCCUPIED.
- THE DUCT INSULATION MUST BE A MIN. OF R-4.2 FOR CLIMATE ZONE 7.

**LEGEND:**

1

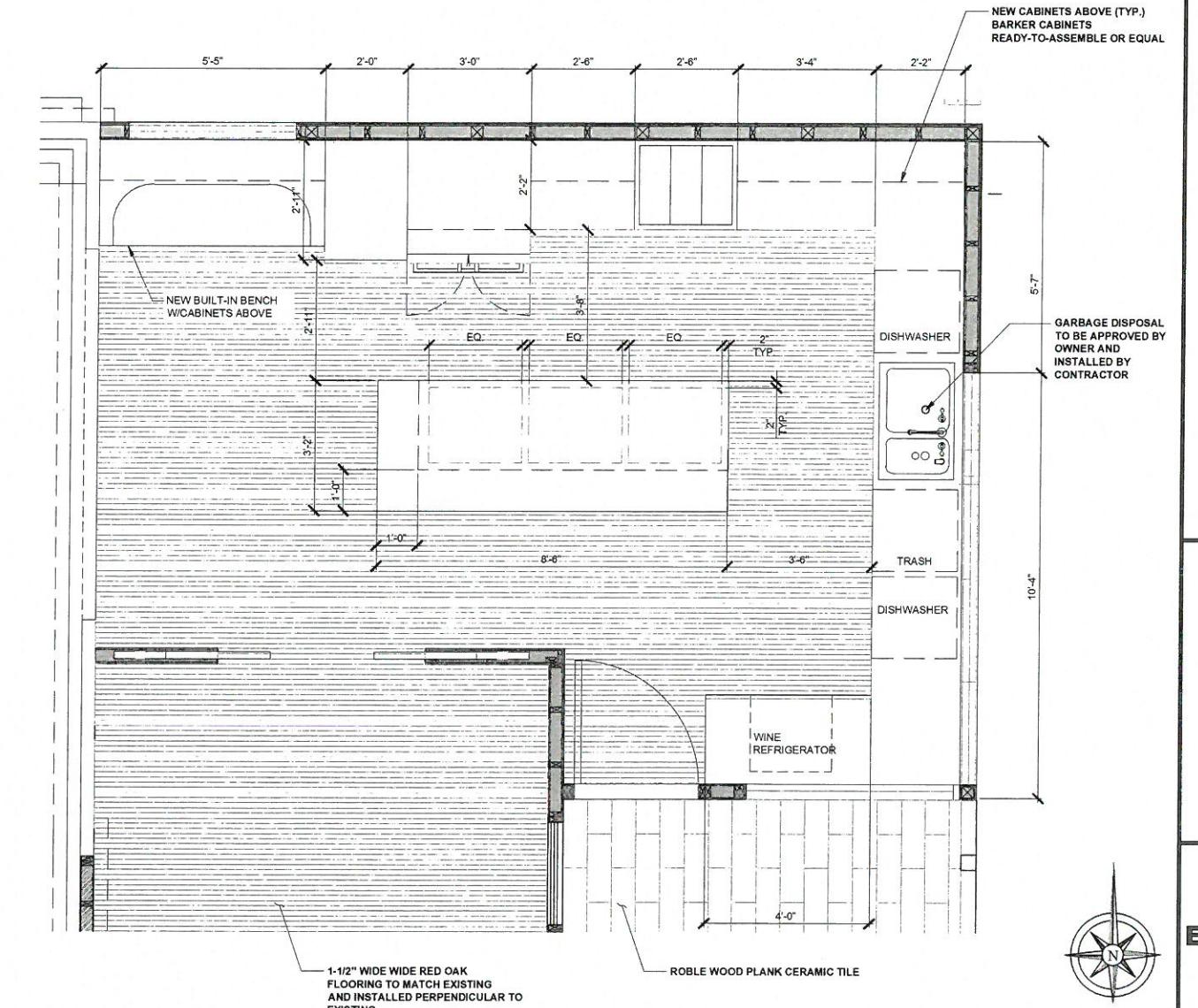
REFLECTED CEILING PLAN

0 1' 2' 4' SCALE: 1/4" = 1'-0" (24x36)  
(OR) 1/8" = 1'-0" (11x17)

ENLARGED KITCHEN PLAN

0 1' 2' 4' SCALE: 1/4" = 1'-0" (24x36)  
(OR) 1/8" = 1'-0" (11x17)

**REFLECTED  
CEILING PLAN &  
ENLARGED KITCHEN**  
**A-1.3**

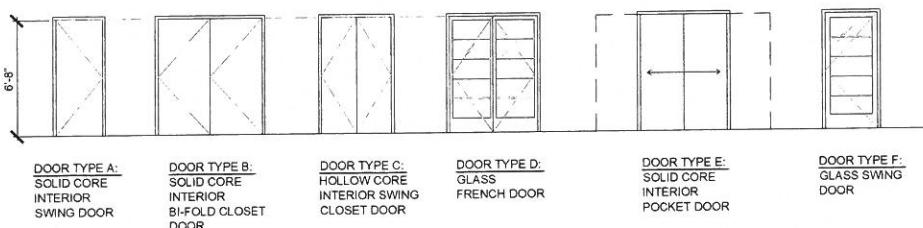


2

	HISTORIC REVIEW	SUMMITIAL	WORK CONSTRUCTION DOCUMENTS FOR BIDDING	PRELIMINARY CDs	DESCRIPTION
1	06/23/2016	07/17/2016	06/20/2016	06/20/2016	
2					
3					
4					

**REMODEL & ADDITION TO  
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3730 GARDENIA AVENUE  
LONG BEACH, CA 90807**

DOOR SCHEDULE		NOTES: 1. ALL FINISHES TO BE VERIFIED BY OWNER 2. HARDWARE BY OWNER						
SYM.	LOCATION	SIZE (WxH)	THK.	TYPE	MATERIAL	SC/HC/GL	FINISH	REMARKS
①	MASTER BEDROOM ENTRY	2'-6" X 6'-8"	1-3/4"	A	WOOD	SC	PER OWNER	EXISTING OPENING WITH NEW DOOR
②	MASTER BEDROOM CLOSET	6'-0" X 6'-8"		B	WOOD	HC	PER OWNER	NEW BI-FOLD DOOR
③	MASTER BATH ENTRY	2'-8" X 6'-8"	1-3/4"	A	WOOD	SC	PER OWNER	NEW SWING DOOR
④	MASTER BEDROOM CLOSET	(2) 2'-0" X 6'-8"		C	WOOD	HC	PER OWNER	NEW SWING DOUBLE DOORS
⑤	MASTER BEDROOM CLOSET	(2) 2'-0" X 6'-8"		C	WOOD	HC	PER OWNER	NEW SWING DOUBLE DOORS
⑥	MASTER BEDROOM	9'-10" X 6'-8"	1-3/4"	D	WD/GL	GL	PER OWNER	NEW FRENCH GLASS SWING DOORS
⑦	KITCHEN	3'-0" X 6'-8"	1-3/4"	F	WD/GL	GL	PER OWNER	NEW SWING DOOR
⑧	OFFICE	(2) 2'-6" X 6'-8"		E	WOOD	SC	PER OWNER	NEW DOUBLE POCKET DOOR



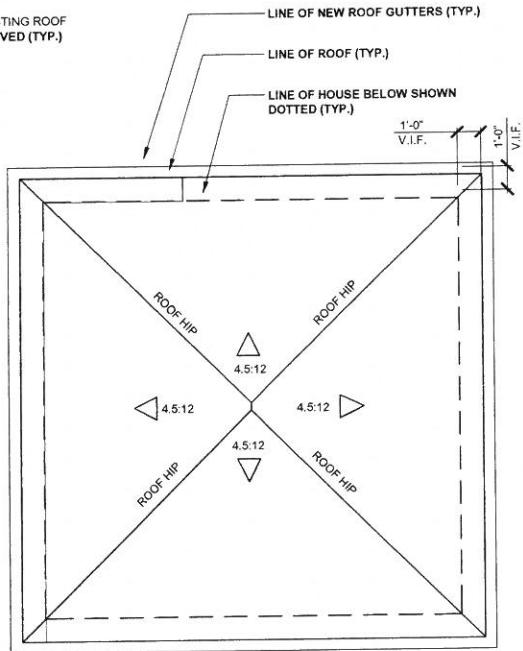
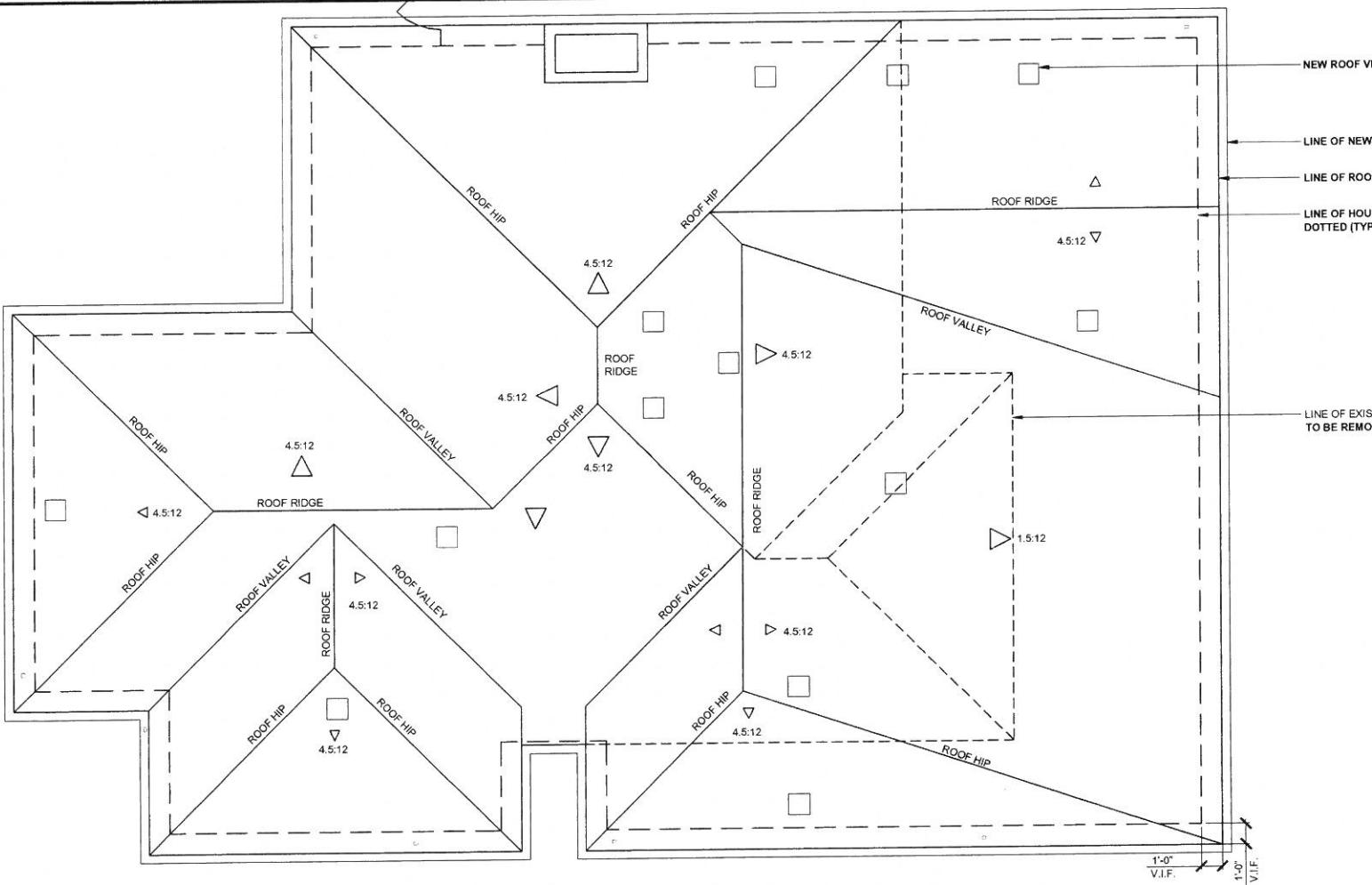
WINDOW SCHEDULE		NOTE 1. ALL FINISHES TO BE VERIFIED BY OWNER 2. HARDWARE BY OWNER		3. ALL GLASS TO BE LOW-E2 DUAL GLAZED 4. PROVIDE DECORATIVE CONCEALED MUNTINS AT ALL WINDOWS	
SYM.	LOCATION	SIZE (WxH)	TYPE	FRAME	REMARKS
[1]	MASTER BATH	3'-0" X 2'-0"	A	WOOD	GLIDER WITH SCREEN & TEMPERED GLASS
[2]	MASTER BEDROOM	5'-8" X 3'-0"	B	WOOD	GLIDER WITH SCREEN
[3]	OFFICE	2'-6" X 3'-8"	D	WOOD	DOUBLE HUNG
[4]	KITCHEN	5'-0" X 3'-8"	C	WOOD	PASS THRU
[5]	KITCHEN	10'-0" X 3'-8"	E	WOOD	DOUBLE HUNG
[6]	KITCHEN	SEE ELEVATION	F	WOOD	PICTURE
[7]	KITCHEN	4'-0" X 1'-7"	G	WOOD	FIXED

EQUIPMENT SCHEDULE	
<u>MECHANICAL EQUIPMENT (OR EQUIVALENT*)</u>	
FAU -	BRYANT MODEL 311JAV-036070 63,000 BTUH INPUT / 51,000 BTUH OUTPUT / 80% AFUE MULTI-POSITION FAU (HORIZONTAL RATING SHOWN ABOVE) CFM FOR UP TO 3.0 TONS (NOM) A/C
A/C -	BRYANT MODEL 114CNA-036 (CONDENSER WITH PURON REFRIGERANT) BRYANT MODEL CAPMP-38 (UP FLOW OR HORIZONTAL CASED COIL) SEER = 14.0 / EER = 11.7 NOMINAL 3.0 TON A/C COMBINATION 208/230V-60 HZ-1F
WATER HEATER -	RINAI CONTINUUM MODEL RL75E (OUTDOOR UNIT) TANKLESS / 10,300 TO 180,000 BTUH / 82% RECOVERY EFFICIENCY RECOMMEND WEBSTONE ISOLATOR/SERVICE VALVES (OR EQUIVALENT) 120V-60 HZ-1F
* EQUIVALENT = MEETS DESIGN HEATING AND/OR COOLING LOADS AND EFFICIENCIES ON SUMMARY SHEET.	

HISTORIC REVIEW			
REV	DATE	DESCRIPTION	REV
1	08/23/2016	HISTORIC REVIEW	
0	07/17/2016	SUBMIT TA	
C	06/09/2016	00% CONSTRUCTION DOCUMENTS FOR BIDING	
B	05/01/2016	PRELIMINARY ODS	
A	02/14/2016	PRELIMINARY CDs	

**REMODEL & ADDITION TO  
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3730 GARDENIA AVENUE  
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ATTIC VENTILATION CALCULATIONS  
TOTAL ROOF AREA \_ 2092 S.F.  
REQUIRED VENTILATION @ 1/150 \_ 14 S.F.  
PROVIDED VENTILATION 14 S.F.

NOTE:  
ATTIC VENTILATION OPENINGS SHALL BE  
COVERED WITH CORROSION-RESISTANT METAL  
MESH WITH MESH OPENINGS OF 1/4 INCH IN  
DIMENSION. SEC. 1505.3

## **NEW ROOF PLAN**

1.5' 3' 5'	SCALE: 3/16" = 1'-0" (24x36) (OR) 3/32" = 1'-0" (11x17)	1
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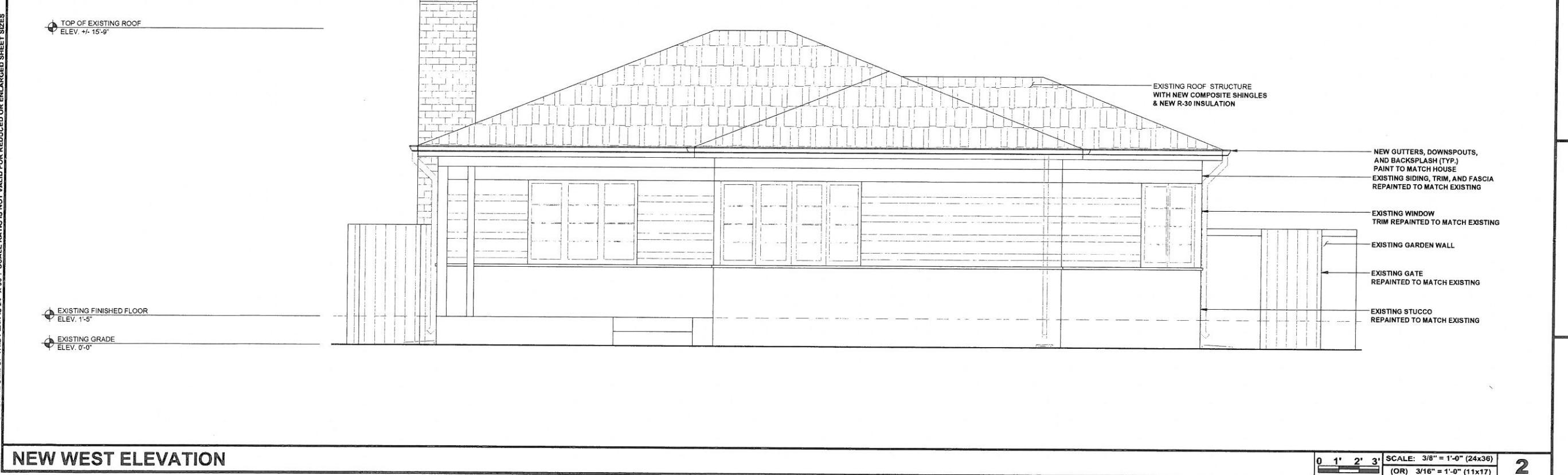
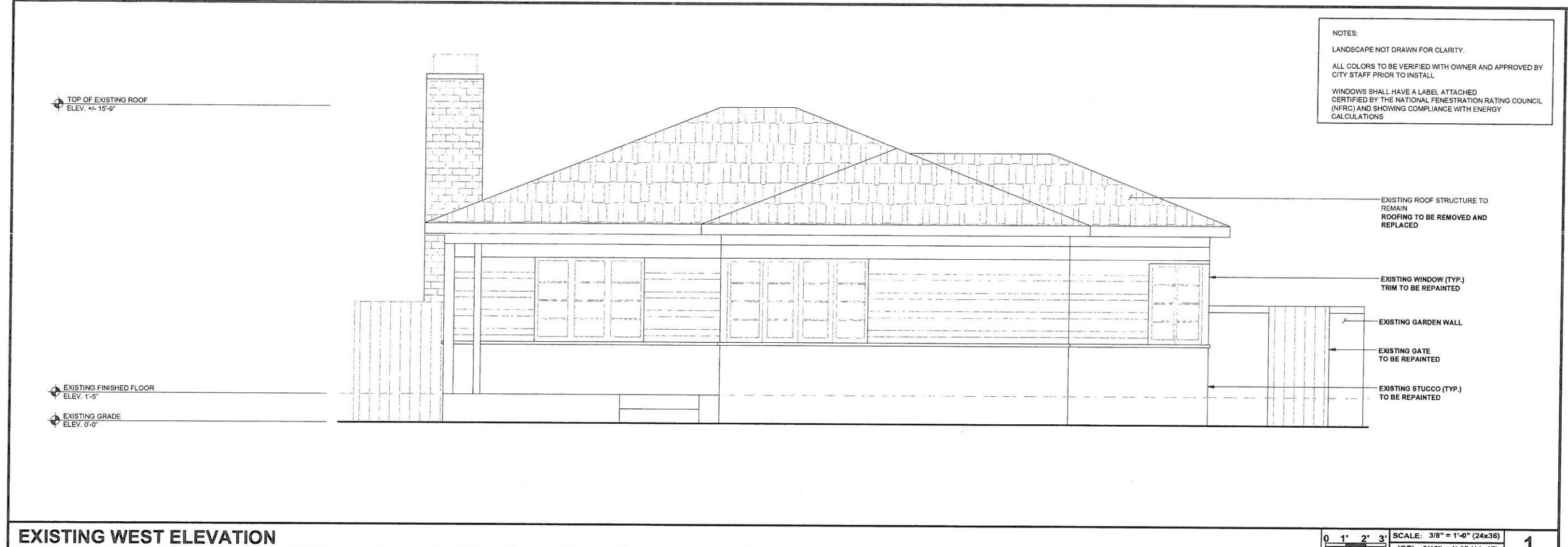
## **NEW ROOF PLAN & WINDOW AND DOOR SCHEDULES**

**A-1.4**

	HISTORIC REVIEW	SUBMITTAL	90% CONSTRUCTION DOCUMENTS FOR BIDDING	PRELIMINARY O&G	DATE	DESCRIPTION
1	08/22/2016	09/17/2016	C 09/06/2016	A 09/14/2016	REV	
0						
C						
B						

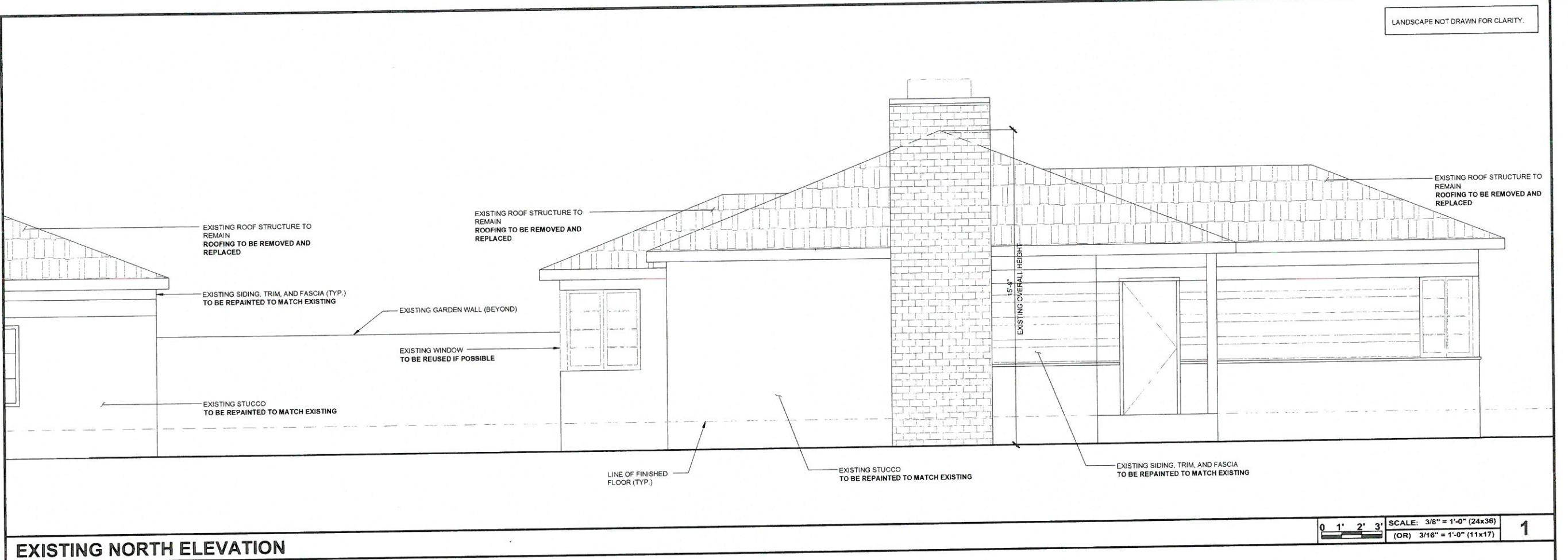
**REMODEL & ADDITION TO  
CARNEY/GARVEY RESIDENCE  
3730 GARDENIA AVENUE  
LONG BEACH, CA 90807**

**ELEVATIONS  
A-2**

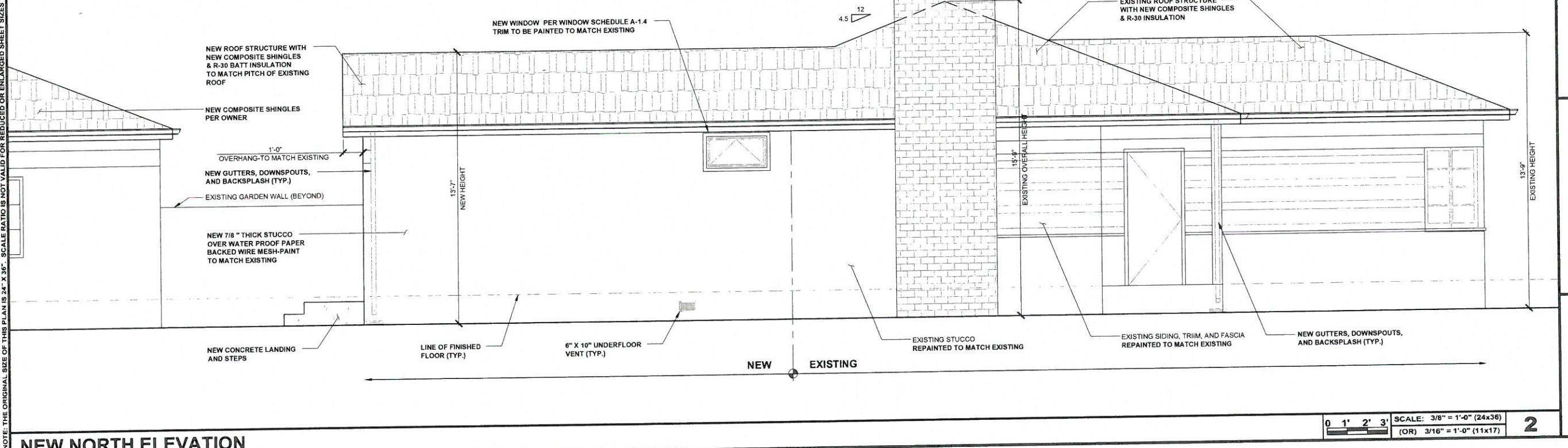


**REMODEL & ADDITION TO  
CARNEY/GARVEY RESIDENCE  
3730 GARDENIA AVENUE  
LONG BEACH, CA 90807**

**ELEVATIONS  
A-2.1**



EXISTING NORTH ELEVATION

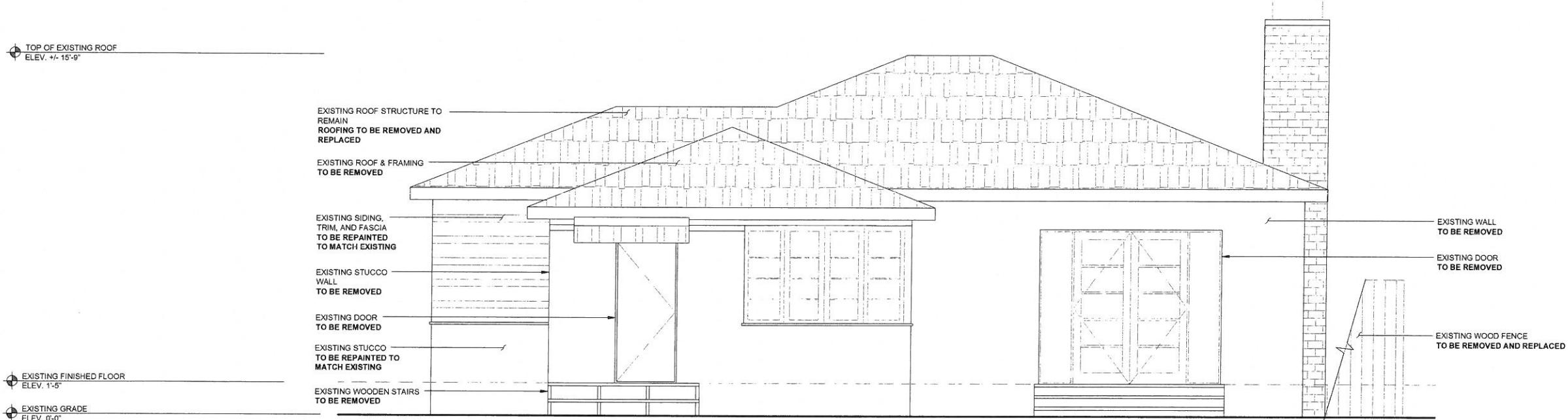


NEW NORTH ELEVATION

REV	DATE	DESCRIPTION
1	08/23/2016	HISTORIC REVIEW
0	08/17/2016	SUBMITIAL
C	08/03/2016	90% CONSTRUCTION DOCUMENTS FOR BIDDING
B	08/01/2016	PRELIMINARY CDS
A	07/14/2016	PRELIMINARY CDS

	HISTORIC REVIEW	SUBMITTAL	90% CONSTRUCTION DOCUMENTS FOR BIDDING	PRELIMINARY CDS	DESCRIPTION
1	06/23/2016	0	07/17/2016	C	06/26/2016
0				B	06/30/2016
				A	07/14/2016
					REV DATE

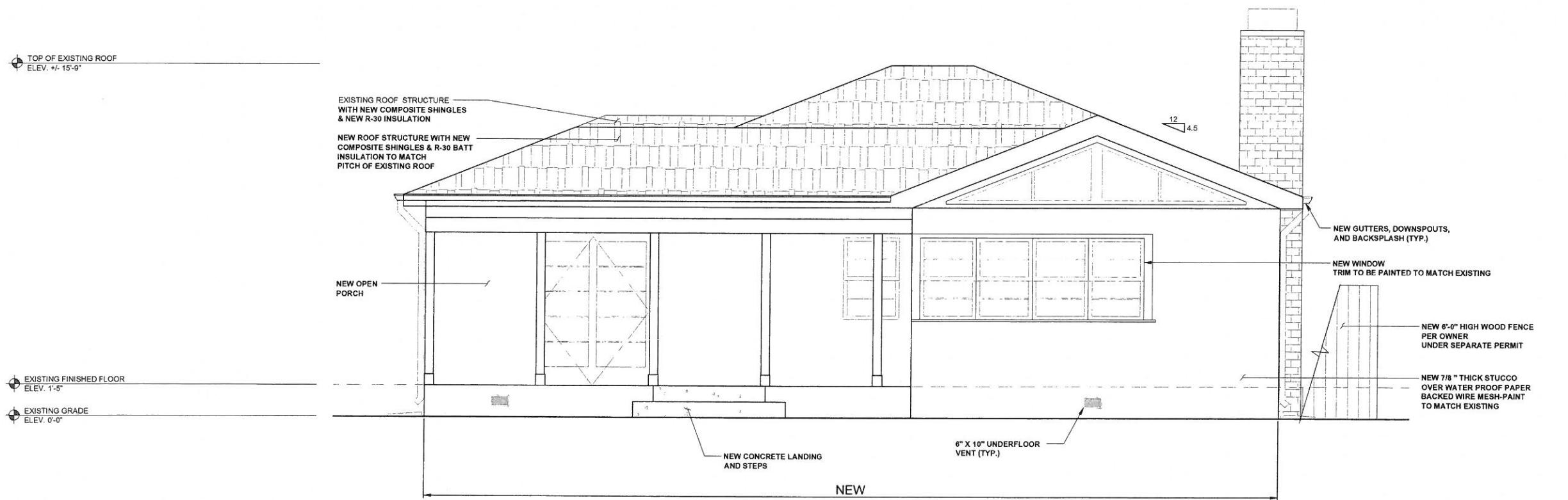
LANDSCAPE NOT DRAWN FOR CLARITY.



EXISTING EAST ELEVATION

SCALE: 3/8" = 1'-0" (24x36)  
(OR) 3/16" = 1'-0" (11x17) 1

NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES



NEW EAST ELEVATION

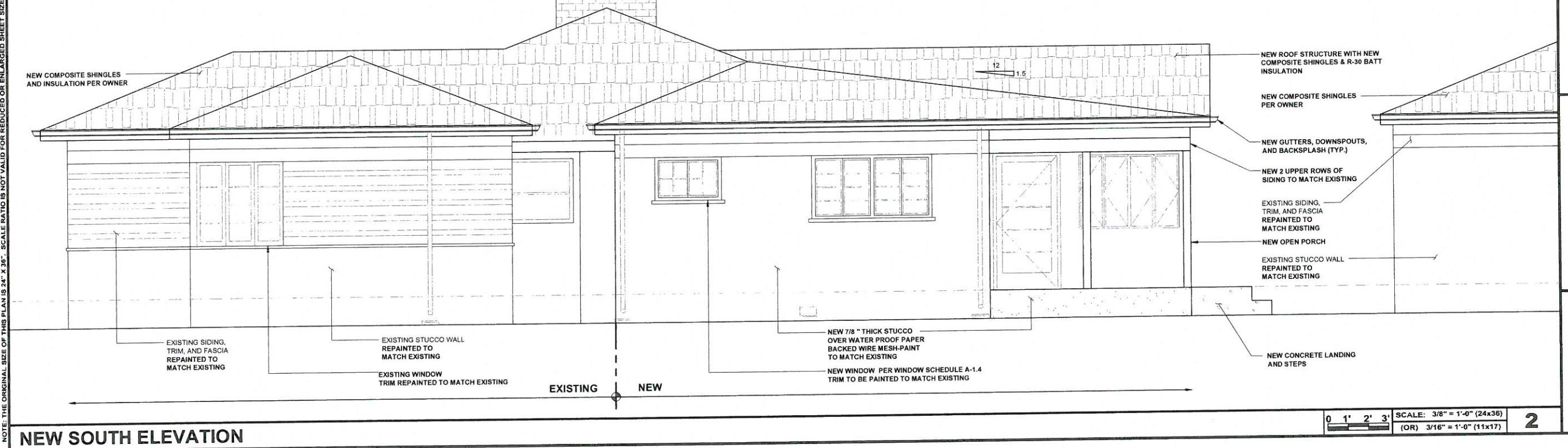
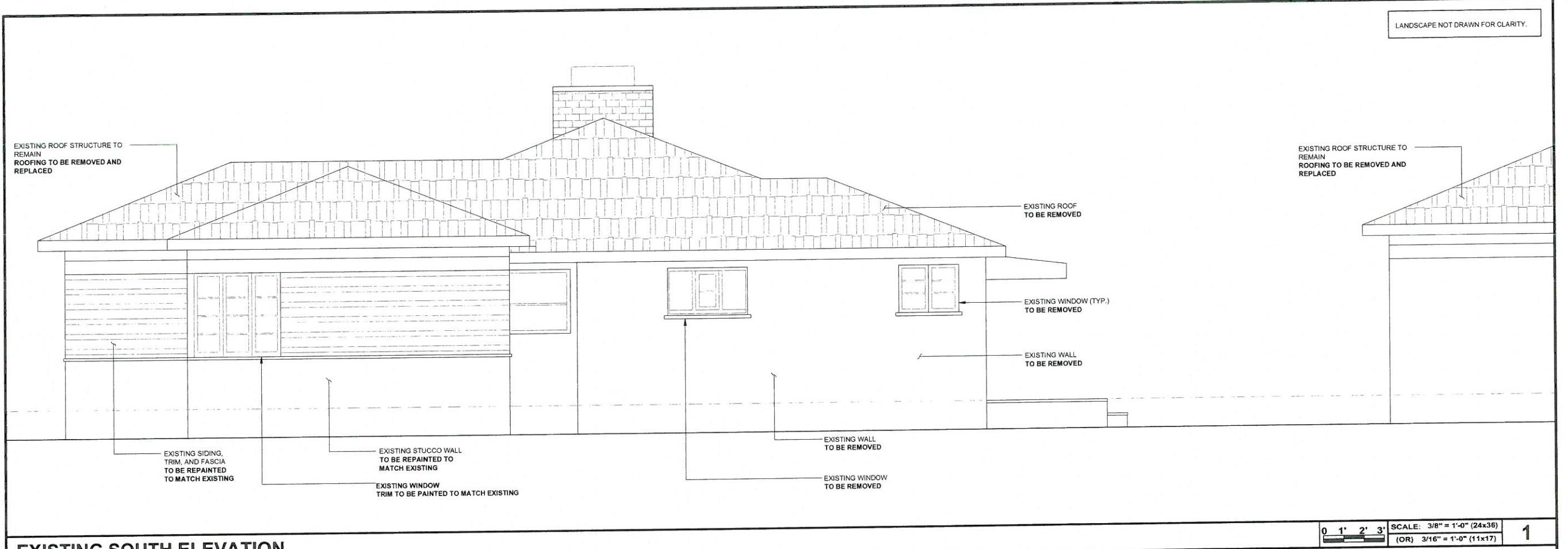
SCALE: 3/8" = 1'-0" (24x36)  
(OR) 3/16" = 1'-0" (11x17) 2

REMODEL & ADDITION TO  
CARNEY/GARVEY RESIDENCE  
3730 GARDENIA AVENUE  
LONG BEACH, CA 90807

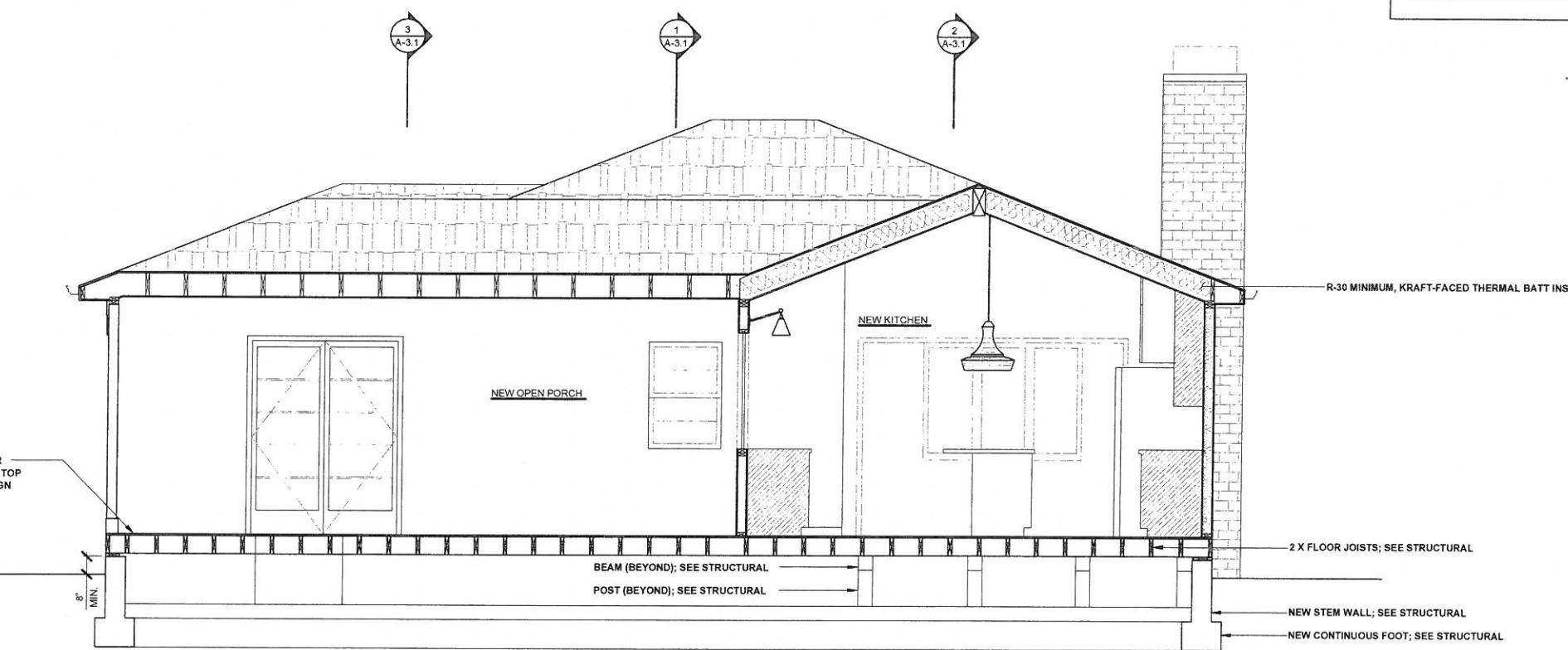
ELEVATIONS  
**A-2.2**

**REMODEL & ADDITION TO  
CARNEY/GARVEY RESIDENCE  
3730 GARDENIA AVENUE  
LONG BEACH, CA 90807**

**ELEVATIONS  
A-2.3**

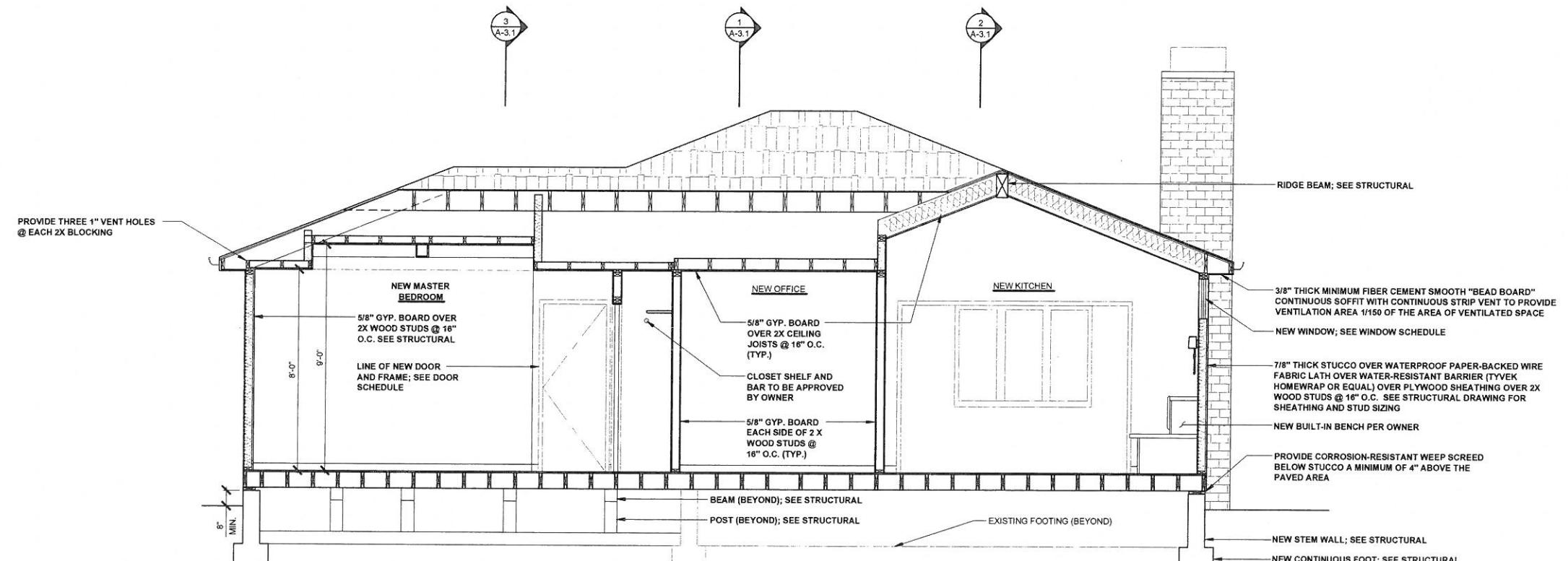


HISTORIC REVIEW	06/02/2016
SUBMITAL	07/17/2016
BPP CONSTRUCTION DOCUMENTS FOR RIDING	06/09/2016
PRELIMINARY CO'S	05/10/2016
PRELIMINARY CO'S	05/14/2016
REV	A
DATE	06/14/2016
DESCRIPTION	



## **SECTION**

SCALE:  $\frac{3}{8}'' = 1'-0''$  (24x36)  
(OR)  $\frac{3}{16}'' = 1'-0''$  (11x17) 1



## **SECTIONS**

A-3

**NOTE: THE ORIGINAL SIZE OF THIS PLAN IS 24" X 36". SCALE RATIO IS NOT VALID FOR REDUCED OR ENLARGED SHEET SIZES**

**REMODEL & ADDITION TO  
CARNEY/GARVEY RESIDENCE  
3730 GARDENIA AVENUE  
LONG BEACH, CA 90807**

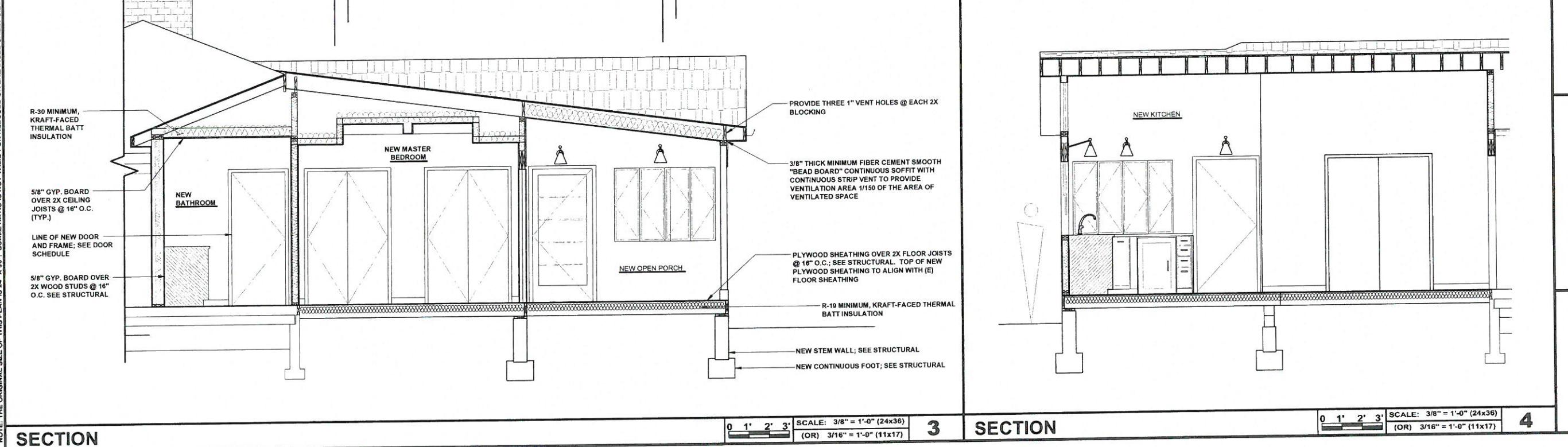
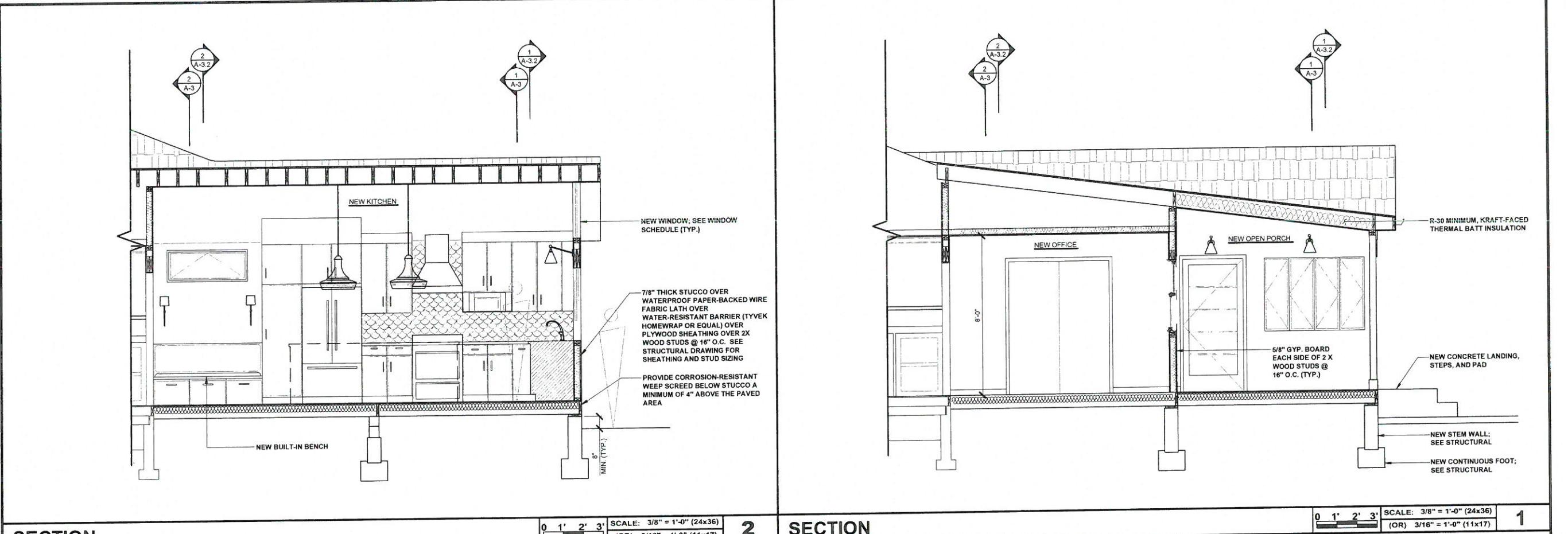
3730 GARDENIA AVENUE  
LONG BEACH, CA 90807

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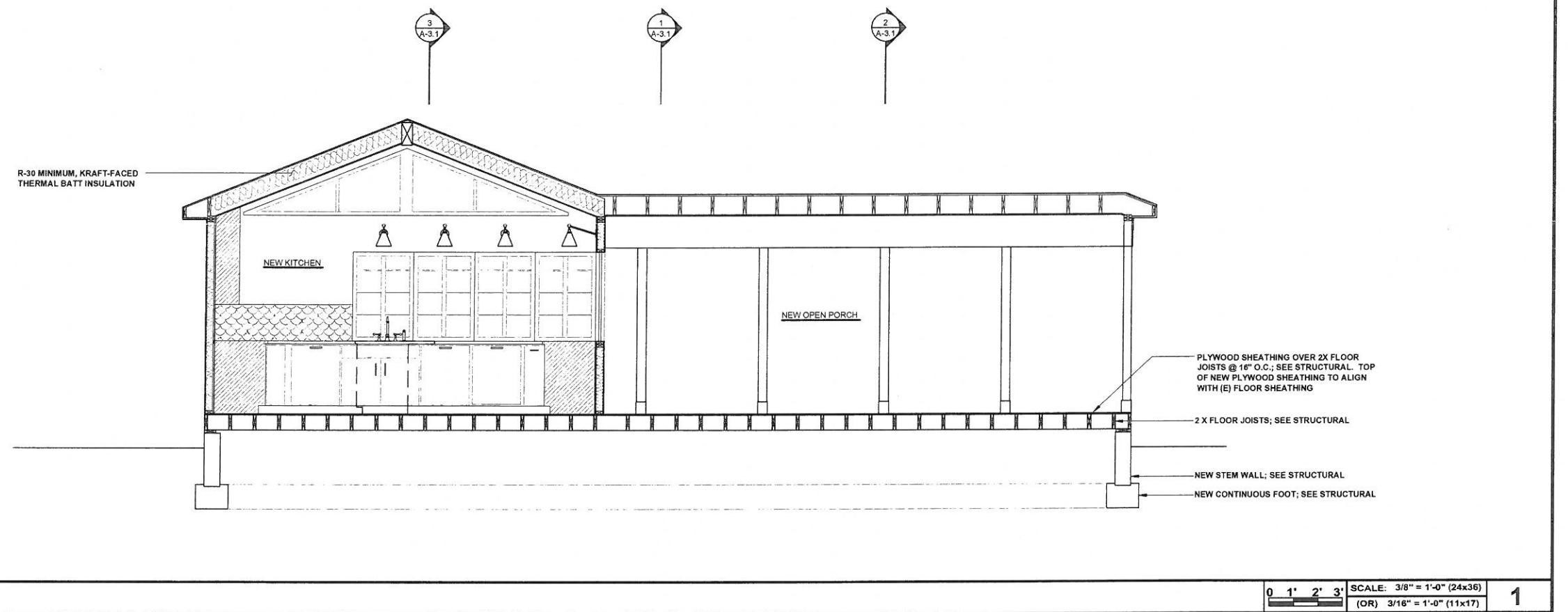
**SECTION**

REV	DATE	DESCRIPTION
1	08/02/2016	HISTORIC REVIEW
0	07/17/2016	SUBMITTAL
C	06/09/2016	RPS CONSTRUCTION DOCUMENTS FOR BIDDING
B	05/01/2016	PRELIMINARY COA
A	02/14/2016	PRELIMINARY COA
REV		

**REMODEL & ADDITION TO  
CARNEY/GARVEY RESIDENCE  
3730 GARDENIA AVENUE  
LONG BEACH, CA 90807**



## SECTION

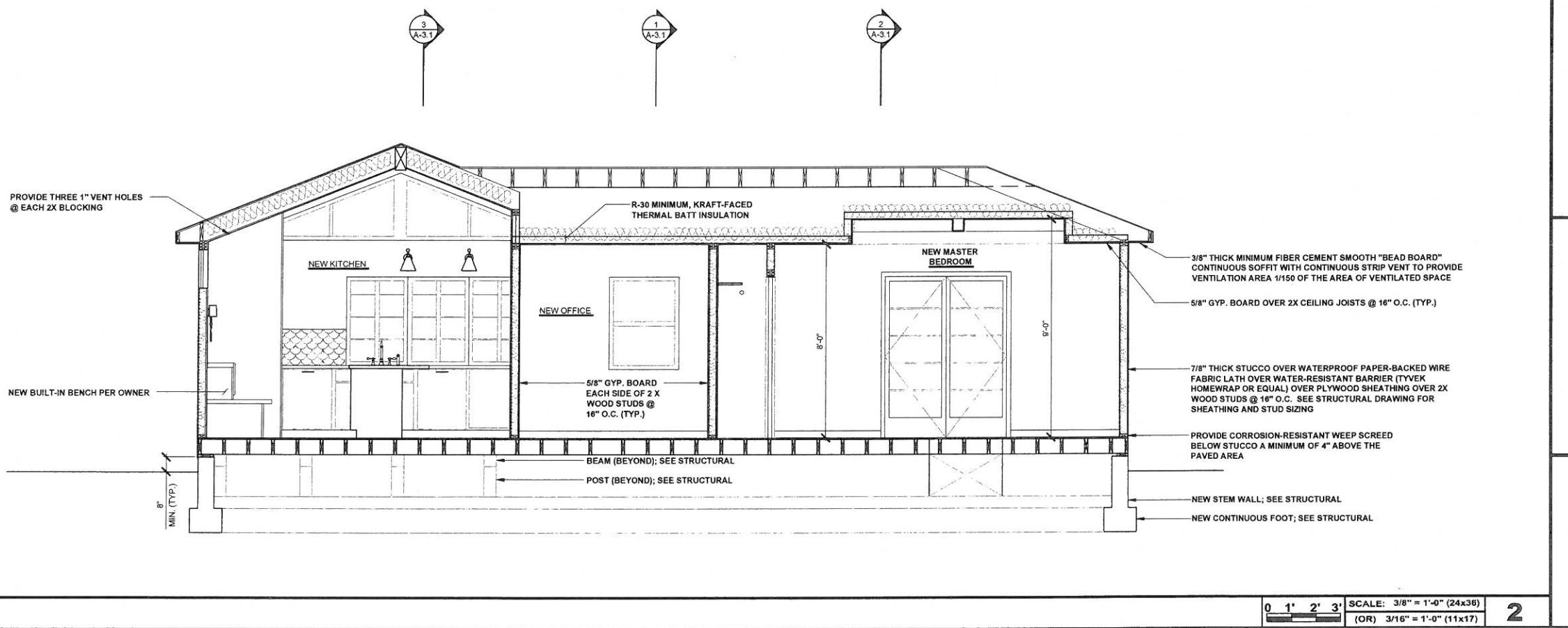


# REMODEL & ADDITION TO CARNEY/GARVEY RESIDENCE 3730 GARDENIA AVENUE LONG BEACH, CA 90807

## SECTIONS

# A-3.2

## SECTION



HISTORIC REVIEW	SUBMITIAL	CONSTRUCTION DOCUMENTS FOR BIDDING	PRELIMINARY CDs	DESCRIPTION
1 08/29/16	0 07/17/16	C 08/03/16	B 06/01/16	A 02/14/16
REV	DATE			