

## **EXHIBIT B**

E. 4TH STREET, UNIT C  
ING BEACH, CA 90802  
ONE: (562) 733-3637

REELON STREET  
SAN FRANCISCO, CA 94107  
PHONE: (415) 762-8388  
[www.aetypic.com](http://www.aetypic.com)

## GENERAL NOTES

## **GENERAL NOTES (CON'T.)**

1. ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS INCLUDING THE DRAWINGS, SPECS, ALL ADDENDA, BULLETINS, CHANGE ORDERS AND THE LIKE.
  2. THE GENERAL CONTRACTOR (GC) SHALL REVIEW ALL DOCUMENTS AND VERIFY ALL DIMENSIONS & FIELD CONDITIONS AND SHALL CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR DISCREPANCIES SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT & OWNER IN WRITING, FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF ANY WORK IN QUESTION. THE GC SHALL BE RESPONSIBLE FOR CORRECTION OF ALL WORK, AS DIRECTED BY ARCHITECT, FOR WHICH THE ARCHITECT WAS NOT NOTIFIED IN ADVANCE.
  3. ALL WORK SHALL BE PERFORMED DURING REGULAR BUSINESS HOURS WHENEVER POSSIBLE, U.O.N. OR AGREED TO.
  4. "ALIGN" SHALL MEAN ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
  5. "TYPICAL" OR "TYP." SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE OF SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED. DETAILS ARE USUALLY KEYED AND NOTED "TYP." ONLY, WHEN THEY FIRST OCCUR.
  6. "SIMILAR" OR "SIM" MEANS COMPARABLE CHARACTERISTICS FOR CONDITIONS NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.
  7. WORK AREAS ARE TO REMAIN SECURE AND LOCKABLE DURING CONSTRUCTION. GC SHALL COORDINATE WITH OWNER TO ENSURE SECURITY. FINAL CLEANING INCLUDES, BUT IS NOT LIMITED TO, CLEANING OF ALL GLASS, GLOSSY SURFACES, FLOORS, DOORS, FRAMES.
  8. EACH SHEET OF THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. WHAT IS SHOWN OR REFERRED TO ON EACH SHEET, AT A GIVEN LOCATION SHALL BE PROVIDED AS THOUGH SHOWN ON ALL SHEETS, U.O.N.
  9. SUBSTITUTIONS, REVISIONS, OR CHANGES SHALL BE SUBMITTED TO ARCHITECT & OWNER
  - C. CARPET SEAMING DIAGRAM
  - D. MEP LAYOUT
  - E. SPRINKLER/LIFE SAFETY
  - F. STRUCTURAL STEEL
  - G. MISCELLANEOUS METALS
  - H. PAINTING
  - I. GLAZING
  - J. LIGHTING
  40. CONFIRM APPROXIMATE ON-SITE DELIVERY DATES FOR ALL CONSTRUCTION MATERIALS REQUIRED BY THE CONTRACT DOCUMENTS. NOTIFY ARCHITECT IN WRITING WITHIN 10 CALENDAR DAYS OF THE CONTRACT DATE OF ANY POSSIBLE CONSTRUCTION DELAYS AFFECTING OCCUPANCY THAT MAY ARISE DUE TO THE AVAILABILITY OF SPECIFIED PRODUCTS. REQUESTS FOR SUBSTITUTIONS DUE TO DELIVERY DATES OF SPECIFIED PRODUCTS WILL NOT BE ACCEPTED AFTER CONSTRUCTION STARTS.
  41. THE CONTRACTOR SHALL MAINTAIN A COMPLETE SET OF THE CONTRACT DRAWINGS, FOR RECORD & MARK-UP PURPOSES, THROUGHOUT THE CONTRACT TIME. MARK UP THESE DRAWINGS DURING THE COURSE OF WORK TO SHOW BOTH CHANGES AND ACTUAL INSTALLATION IN SUFFICIENT FORM TO COMPRIZE A COMPLETE RECORD FOR THE OWNER'S PURPOSES. GIVE PARTICULAR ATTENTION TO WORK WHICH WILL BE CONCEALED AND DIFFICULT TO MEASURE AND RECORD AT A LATER DATE, AND TO WORK WHICH MAY REQUIRE SERVICING OR REPLACEMENT DURING THE LIFE OF THE PROJECT. BIN PRINTS INTO MANAGEABLE SETS WITH DURABLE PAPER COVERS LABELED "AS-BUILT DRAWINGS," AND TRANSMIT TO OWNER.

## ACCESSIBILITY NOTES

NOTE: THE FOLLOWING ARE ACCESSIBILITY GUIDELINES AND ARE FOR GC INFORMATION INFORMATION ONLY. LISTED ITEMS DO NOT REPLACE OR AMEND FEDERAL, STATE, OR LOCAL CODES.

12. THE SCOPE OF WORK AND ADJACENT AREAS (INCLUDING "ACCESSIBLE PATH") SHALL BE PROTECTED FROM ANY DAMAGE THAT OCCURS BECAUSE OF THIS WORK. ANY DAMAGE THAT OCCURS SHALL BE THE FINANCIAL RESPONSIBILITY OF THE GC.
  13. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED, AND CONDITIONED PER MANUFACTURER'S INSTRUCTIONS. IN THE CASE OF DIFFERENCES BETWEEN THE MANUFACTURER'S INSTRUCTIONS AND THE CONTRACT DOCUMENTS, THE GC SHALL NOTIFY THE ARCHITECT AND OWNER BEFORE PROCEEDING.
  14. THE GC SHALL HAVE A FULL-TIME REPRESENTATIVE AT ALL TIMES WHILE CONSTRUCTION ACTIVITIES ARE UNDERTAKEN ON-SITE.

## **DEMOLITION NOTES**

16. CONSTRUCTION SCHEDULE, WHICH MAY INCLUDES SCHEDULES OF ACTIVITIES, SPECIFICATIONS, INCLUDING, BUT NOT LIMITED TO, ACCESS HOURS, NOISE RESTRICTIONS AND OTHER ITEMS THAT MAY IMPACT SCHEDULE OR COST. ALL SUCH FACTORS SHALL BE INCLUDED IN ALL BIDS AND PRICING.
  17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER HIS/HER JURISDICTION.
  18. THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK REQUIRING ADDITIONAL COMPENSATION BEYOND THE CONTRACT AMOUNT WITHOUT AUTHORIZATION IN WRITING FROM THE ARCHITECT OR CLIENT'S AGENT. FAILURE TO OBTAIN AUTHORIZATION SHALL INVALIDATE ANY CLAIM FOR ADDITIONAL COMPENSATION UPON COMPLETION OF WORK, OR SHORTLY BEFORE, THE CONTRACTOR SHALL PERTAKE A COMPREHENSIVE LIST OF ITEMS TO BE COMPLETED OR CORRECTED AND SUBMIT IT TO THE ARCHITECT PRIOR TO THE ARCHITECT'S OWN PUNCH LIST.
  19. THE CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY THE LAYOUT WITH ARCHITECT IN THE FIELD BEFORE PROCEEDING WITH CONSTRUCTION.
  20. CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN LOCATIONS OF ANY AND ALL ELECTRICAL, LIGHTING, PLUMBING, AND SPRINKLER EQUIPMENT AND THAT ALL REQUIRED CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE PROVIDED. CONTRACTOR TO NOTIFY ARCHITECT AND OWNER IN WRITING IF CONFLICTS EXIST.
  21. CONTRACTOR SHALL PROVIDE PROTECTION TO ALL EXISTING FINISHES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE CAUSED THEREIN DURING CONSTRUCTION.
  22. CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS, REGULATIONS, ORDINANCES AND SHALL TAKE ALL APPROPRIATE SAFETY PRECAUTIONS IN PERFORMING THE WORK.
  23. CALIFORNIA ADMINISTRATIVE CODE, TITLE 24, SECTION T-20, LATEST EDITION, HAS BEEN REVIEWED. THE DESIGN SUBMITTED FOR THE BUILDING PERMIT SUBSTANTIALLY CONFORMS TO THESE REGULATIONS.

## **CONSTRUCTION NOTES**

- CONFORM TO THESE REGULATIONS.

  24. EXECUTE WORK IN ACCORDANCE WITH ANY AND ALL APPLICABLE CODES, MANUFACTURERS' RECOMMENDATIONS, AND TRADE AND REFERENCE STANDARDS, INCLUDING BUT NOT LIMITED TO, CALIFORNIA BUILDING MECHANICAL, ELECTRICAL, PLUMBING AND FIRE CODES AND LOCAL REQUIREMENTS, WHERE APPLICABLE, NEC, NFPA, ASME, ANSI, AMERICAN WITH DISABILITIES ACT, AND OTHER APPLICABLE REGULATORY AUTHORITY'S LATEST ENFORCED EDITIONS.
  25. MECHANICAL AND ELECTRICAL SCOPE OF WORK SHALL BE DONE IN COMPLIANCE WITH 2013 TITLE 24, SECTION 201 CALIFORNIA ENERGY EFFICIENCY STANDARDS FOR RESIDENTIAL AND NONRESIDENTIAL BUILDINGS.
  26. WHEN REQUIRED, PLUMBER ENGINEER TO PREPARE NECESSARY PLUMBING DRAWINGS, INCLUDING BUT NOT LIMITED TO, WATER, GAS, WASTE AND VENT, WATER SUPPLY CALCULATIONS, HVAC DRAWINGS WITH HEATING AND COOLING, LOAD CALCULATIONS AND THERMOSTAT AND AIR DIFFUSER LOCATIONS, SPRINKLER LAYOUT PER CODE, AND ALL REQUIRED TITLE 24 CALCULATIONS, ALL AS REQUIRED BY CODE OR THE SCOPE OF WORK AS DESCRIBED BY THE DRAWINGS. SUBMIT TO ARCHITECT AND OWNER FOR REVIEW AND APPROVAL PRIOR TO SUBMITTAL FOR CONSTRUCTION.
  27. WHEN REQUIRED, ELECTRICAL ENGINEER TO PREPARE NECESSARY ELECTRICAL DRAWINGS: INCLUDING, BUT NOT LIMITED TO, LIGHT SWITCHING, LIGHTING AND LIGHTING LEVEL, WIRING AND CIRCUITING, SECURITY SYSTEMS, LIFE-SAFETY SYSTEM (INCLUDING MONITORS, SMOKE DETECTORS, SPEAKERS AND STROBES), ELECTRICAL OUTLET WIRING AND CIRCUITING, PANEL AND EQUIPMENT SCHEDULES AND ALL REQUIRED TITLE 24 CALCULATIONS, REQUIRED BY CODE OR THE SCOPE OF WORK AS DESCRIBED BY THE DRAWINGS. SUBMIT TO ARCHITECT AND CLIENT'S AGENT FOR REVIEW AND APPROVAL PRIOR TO SUBMITTAL FOR PERMIT AND CONSTRUCTION.
  28. DO NOT SCALE DRAWINGS; DIMENSIONS SHALL GOVERN. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS.

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  29. THE CONTRACTOR SHALL NOT BE RELIEVED OF ANY CONTRACT RESPONSIBILITY RESULTING FROM ARCHITECT'S FAILURE TO DETECT SHOP DRAWING ERRORS AND OMISSIONS IN CONFLICT WITH THE CONTRACT DOCUMENTS.
  30. CONTRACTOR SHALL PROVIDE, AT THE END OF THE PROJECT, TWO BOUND SETS OF PRODUCT INFORMATION FOR ALL MATERIALS, FINISHES, EQUIPMENT, AND FIXTURES INCLUDING ALL WARRANTY INFORMATION, MAINTENANCE PROCEDURES, AS WELL AS PRODUCT DATA AND MANUALS PROVIDED BY EQUIPMENT MANUFACTURER.
  31. REPORT ANY HAZARDOUS MATERIALS ENCOUNTERED TO THE OWNER/ARCHITECT.
  32. ALL WORK SHALL BE PLUMB, SQUARE, LEVEL, IN PROPER ALIGNMENT, AND SECURELY FASTENED.
  33. THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF ALL SUBCONTRACTORS.
  34. ALL WORK SHALL BE DONE IN CONFORMANCE WITH ALL APPLICABLE FEDERAL, STATE, COUNTY AND CITY ORDINANCES AND BUILDING CODES, AND REQUIREMENTS ESTABLISHED BY STATE AND LOCAL FIRE MARSHALS. IN CASE OF CONFLICT, MOST STRINGENT REQUIREMENTS SHALL APPLY.
  35. CONTRACTOR'S COSTS SHALL INCLUDE THE COST OF PROPER INSURANCE AS REQUIRED BY STATE AND LOCAL LAWS, NATIONAL BUILDING REGULATIONS OR CODES TO ADEQUATELY PROTECT PERSONS AND PROPERTY. A COPY OF SUCH INSURANCE COVERAGE SHALL BE FURNISHED TO THE OWNER AND LANDLORD PRIOR TO COMMENCEMENT OF ANY WORK.
  36. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN, COORDINATION AND EXECUTION OF CONSTRUCTION METHODS AND PROCEDURES AND PROVIDE PEDESTRIAN PROTECTION AS REQUIRED FOR SAFETY OF TENANTS, PEDESTRIANS AND JOBSITE PERSONNEL.
  37. THE GENERAL CONTRACTOR SHALL PREPARE AND SUBMIT, BEFORE STARTING WORK, A SCHEDULE INDICATING REQUIRED CONSTRUCTION TIME FOR EACH TRADE'S WORK.
  38. VERIFY ACCESS TO JOB SITE.
  39. SUBMIT TWO COPIES OF REQUIRED SAMPLES, SHOP DRAWINGS, AND PRODUCT DATA TO ARCHITECT FOR REVIEW PRIOR TO PURCHASE OR FABRICATION. ALLOW ARCHITECT ONE WEEK TO REVIEW AND COMMENT. ARCHITECT'S REVIEW WILL BE IN CONFORMANCE WITH DESIGN CONCEPT ONLY. CONTRACTOR SHALL REVIEW ALL SUBMITTALS FOR CONFORMANCE WITH CONTRACT DOCUMENTS PRIOR TO SUBMITTING THEM FOR ARCHITECT'S REVIEW.

REQUIRED SUBMITTALS:

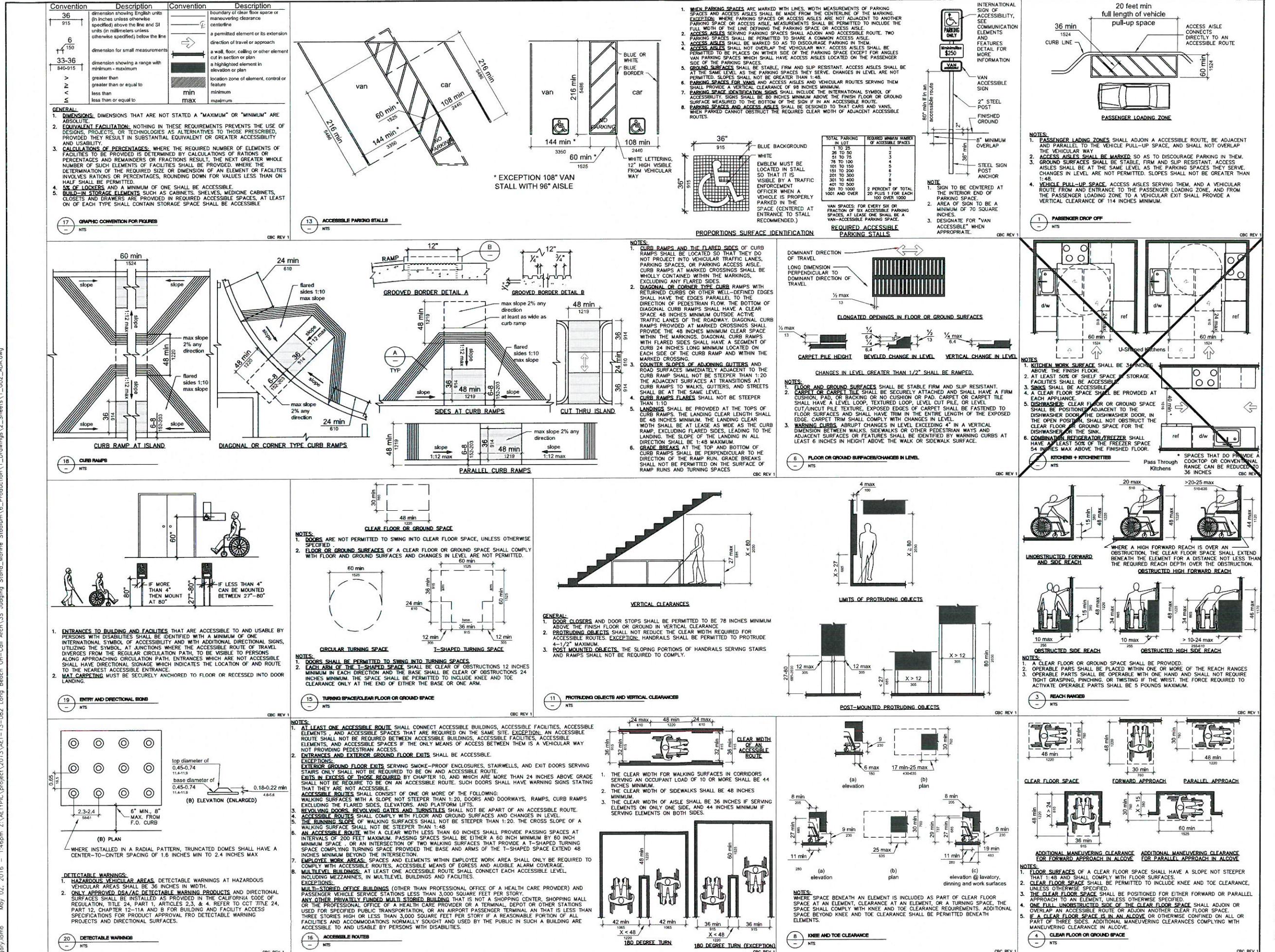
  - A. FULL-FINISH ITEMS.

- C. CARPET SEAMING DIAGRAM
- D. MEP LAYOUT
- E. SPRINKLER/LIFE SAFETY
- F. STRUCTURAL STEEL
- G. MISCELLANEOUS METALS
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# JUDGING STAND 3S

**5255 E. Paoli Way      Long Beach, CA**



AETYPIC

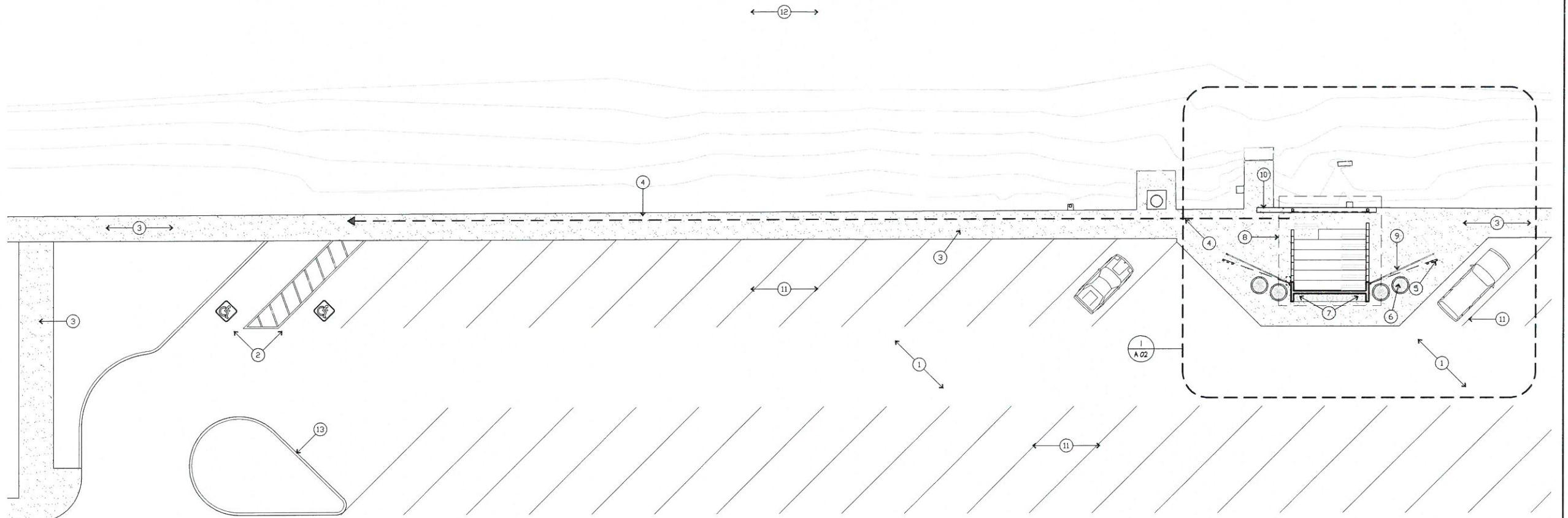
E. 4TH STREET, UNIT C  
ING BEACH, CA 90802  
PHONE: (310) 722-3627

REELON STREET  
SAN FRANCISCO, CA 94107  
PHONE: (415) 762-8388  
[www.aetypic.com](http://www.aetypic.com)

JECT NO.

G 02

# LONG BEACH MARINE STADIUM


**ISSUE INFORMATION**

Date Issue  
 05.05.16 PLAN CHECK SUBMITTAL  
 07.28.16 CLIENT REVISIONS

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**CLIENT**

**CITY OF LONG BEACH**  
 333 W. OCEAN BOULEVARD  
 LONG BEACH, CA 90802

**PROJECT TITLE**

**3S JUDGING STAND  
RENOVATION**  
 5255 E. PAOLI WAY  
 LONG BEACH, CA 90802

**SHEET TITLE**

**SITE PLAN**

**1** SITE PLAN  
 A01

SCALE: 3/32 = 1'-0"


**SITE PLAN SHEET NOTES**

- I. ERECT AND MAINTAIN TEMPORARY BRACING BARRICADES, SIGNS, AND OTHER MEASURES AS NECESSARY TO PROTECT THE PUBLIC WORKERS, PERSONS, AND ADJOINING PROPERTY FROM DAMAGE FROM DEMOLITION WORK IN ACCORDANCE WITH THE APPLICABLE CODES AND REGULATIONS.

**SITE PLAN KEY NOTES**

- (1) (E) PARKING LOT PAVING TO REMAIN. PATCH & REPAIR AS REQ'D.
- (10) (N) Poured-in-place concrete wall. SEE STRUCTURAL DWGS.
- (2) (E) ACCESSIBLE PARKING TO REMAIN.
- (11) (E) PARKING STALL STRIPING TO REMAIN.
- (3) (E) CONCRETE SIDEWALK TO REMAIN UNLESS OTHERWISE NOTED.
- (12) (E) WATERWAY
- (4) ACCESSIBLE PATH OF TRAVEL
- (13) (E) LANDSCAPE ISLAND
- (5) (N) PRECAST BOLLARD, TYPICAL OF 3 EACH SIDE.
- (6) (N) 36" DIA. CONCRETE PLANTER, TYPICAL OF 2 EACH SIDE.
- (7) (N) PLANTING AREA.
- (8) LINE OF (E) ROOF ABOVE.
- (9) (N) STEEL GATE, TYPICAL EACH SIDE.

**SITE PLAN LEGEND**

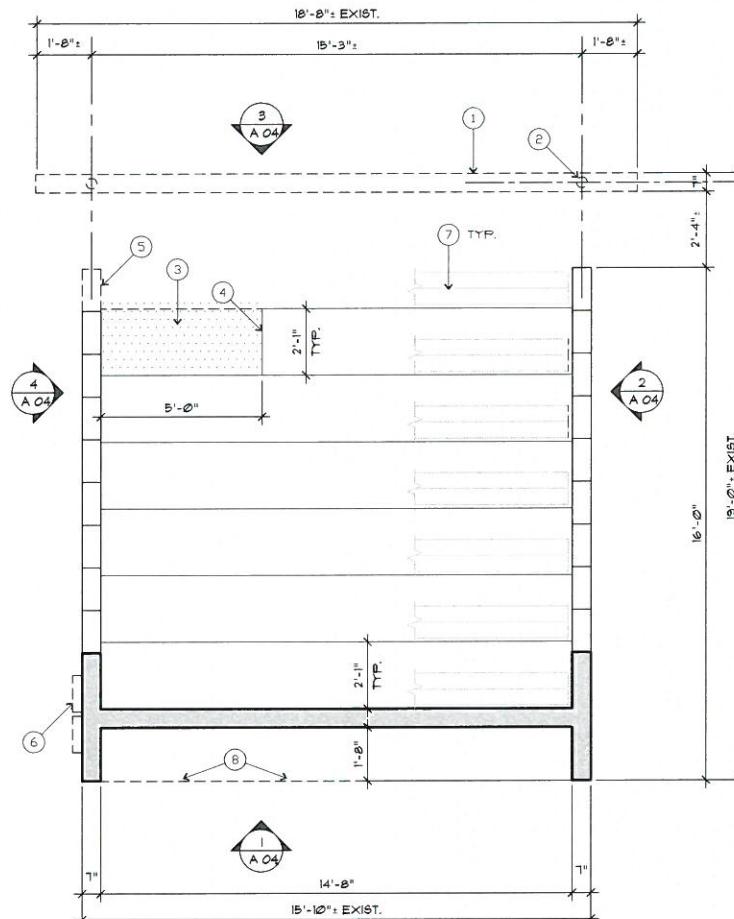
- INDICATES EXISTING BUILDING STRUCTURE
- - - - - (E) ACCESSIBLE PATHS OF TRAVEL FROM ACCESSIBLE PARKING TO MAIN OR OTHER ENTRY POINTS

PROJECT NO.  
 AET-13-082

SCALE

**A 01**

Aug 02, 2016 - 2:57pm Z:\AE\TYPIC\project\2013\@ET=13-082 Long\_Beach\_Qn-Coll\_Arch\3S\_Judging\_Strand\_Marine\_Stadium\6\_Production\1\_Trowings\2\_Sheets\2\_Ad2-03\_FLQOR.dwg  
goycoy@lamb



**2** DEMOLITION FLOOR PLAN  
- SCALE: 3/8" = 1'-0"

SCALE: 3/8" = 1'-0"

## DEMOLITION PLAN SHEET NOTES

- I. ERECT AND MAINTAIN TEMPORARY BRACINGS, BARRICADES, SIGNS, AND OTHER MEASURES AS NECESSARY TO PROTECT THE PUBLIC, WORKERS, PERSONS, AND ADJOINING PROPERTY FROM DAMAGE FROM DEMOLITION WORK IN ACCORDANCE WITH THE APPLICABLE CODES AND REGULATIONS.

## DEMOLITION PLAN KEY NOTES

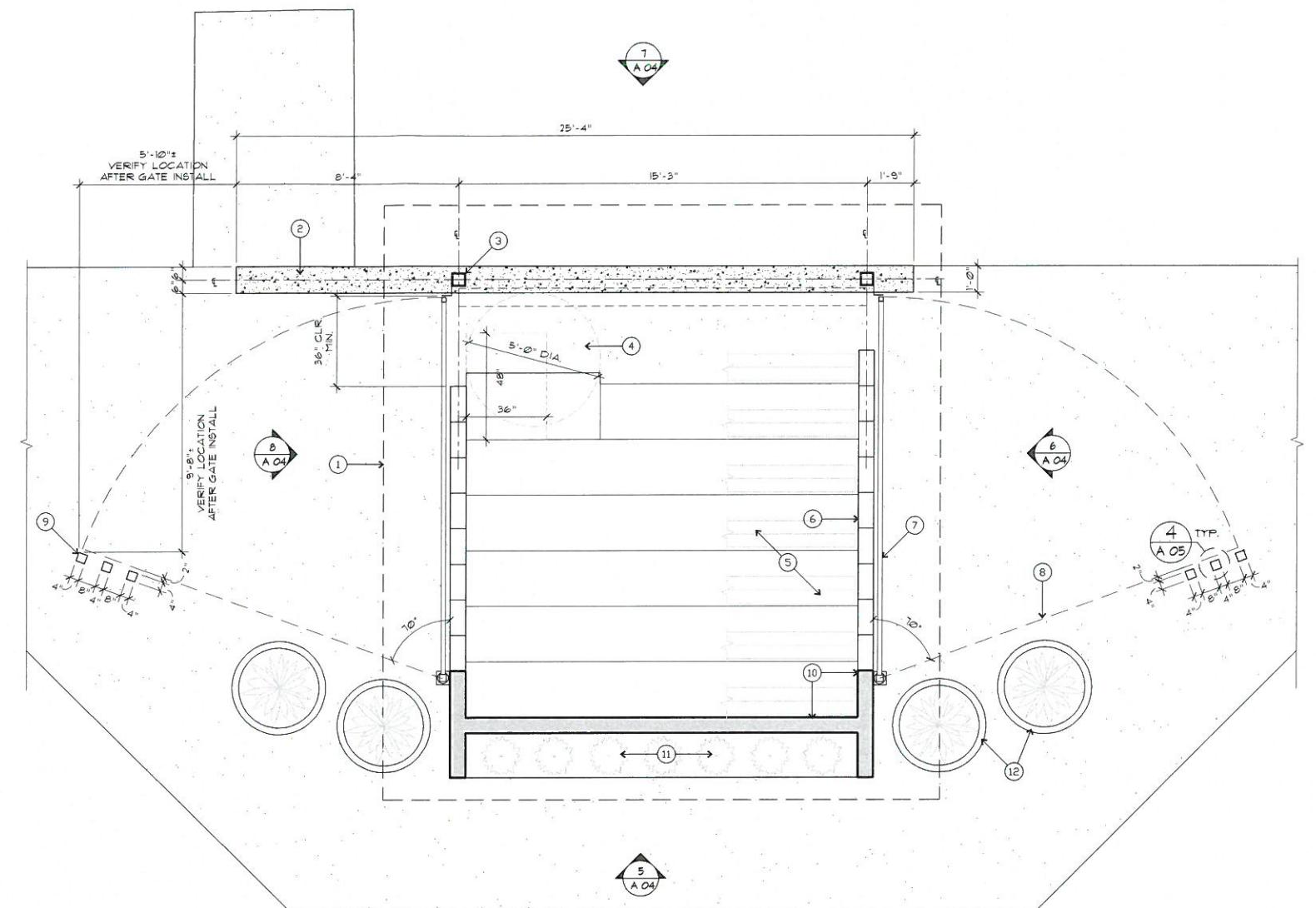
- ① (E) CONCRETE MASONRY WALL TO BE REMOVED.
  - ② PORTION OF (E) STEEL COLUMN TO BE REMOVED. SEE STRUCTURAL DRAWINGS.
  - ③ PORTION OF (E) CONCRETE STEP TO BE REMOVED TO PROVIDE WHEELCHAIR ACCESSIBLE VIEWING AREA.
  - ④ SHORE (E) CONCRETE BENCH/STEP AS REQUIRED WHEN REMOVING PORTION OF ADJACENT CONCRETE.
  - ⑤ PORTION OF (E) CONCRETE MASONRY WALL TO BE REMOVED. SEE EXTERIOR ELEVATIONS, SHEET A 04.
  - ⑥ (E) ELECTRICAL PULL BOXES TO BE REMOVED. SEE ELECTRICAL DRAWINGS.
  - ⑦ (E) WOOD BENCHES TO BE REMOVED. BENCH BRACKETS TO BE PROTECTED FOR REUSE.
  - ⑧ REMOVE PORTION OF (E) SIDEWALK FOR (N) PLANTING AREA.

## FLOOR PLAN SHEET NOTES

1. CONTRACTOR SHALL REMOVE ALL DEBRIS RELATED TO CONSTRUCTION.
  2. INSTALL ALL MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

## FLOOR PLAN KEY NOTES

- ① LINE OF (E) ROOF ABOVE
  - ② NEW Poured-in-place CONCRETE WALL, SEE STRUCTURAL DRAWINGS.
  - ③ NEW STEEL SUPPORT COLUMN, SEE STRUCTURAL DRAWINGS.
  - ④ DASHED LINE INDICATES REQUIRED CLEARANCES AT WHEELCHAIR ACCESSIBLE VIEWING AREA, SEE 4/6 02.
  - ⑤ NEW 2 x 6 CUMARU BENCH ANCHORED TO EXISTING STEEL SUPPORTS. EXISTING SUPPORTS TO BE PAINTED.
  - ⑥ EXISTING STEPPED CONCRETE MASONRY WALL TO REMAIN. EXISTING WALLS TO BE PAINTED, SEE FINISH PLAN A 03.
  - ⑦ NEW STEEL SECURITY GATE, SEE 1 & 2/A 05.
  - ⑧ DASHED LINE INDICATES LOCATION OF GATE IN OPEN POSITION.



SITE / FLOOR PLAN

SCALE: 3/8" = 1'-0"

A circular icon divided into four quadrants by a horizontal and vertical line. The top-left quadrant contains a small black triangle pointing towards the center.

## PLAN LEGEND

~~=====~~ EXISTING TO BE REMOVED

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CITY OF LONG BEACH

333 W. OCEAN BOULEVARD  
LONG BEACH, CA 90802

**PROJECT TITLE**

## 3S JUDGING STAND RENNOVATION

5255 E. PAOLI WAY  
LONG BEACH, CA 90802

SHEET TITLE

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PROJECT NO.  
**AET-13-082**

A 02

**ISSUE INFORMATION**

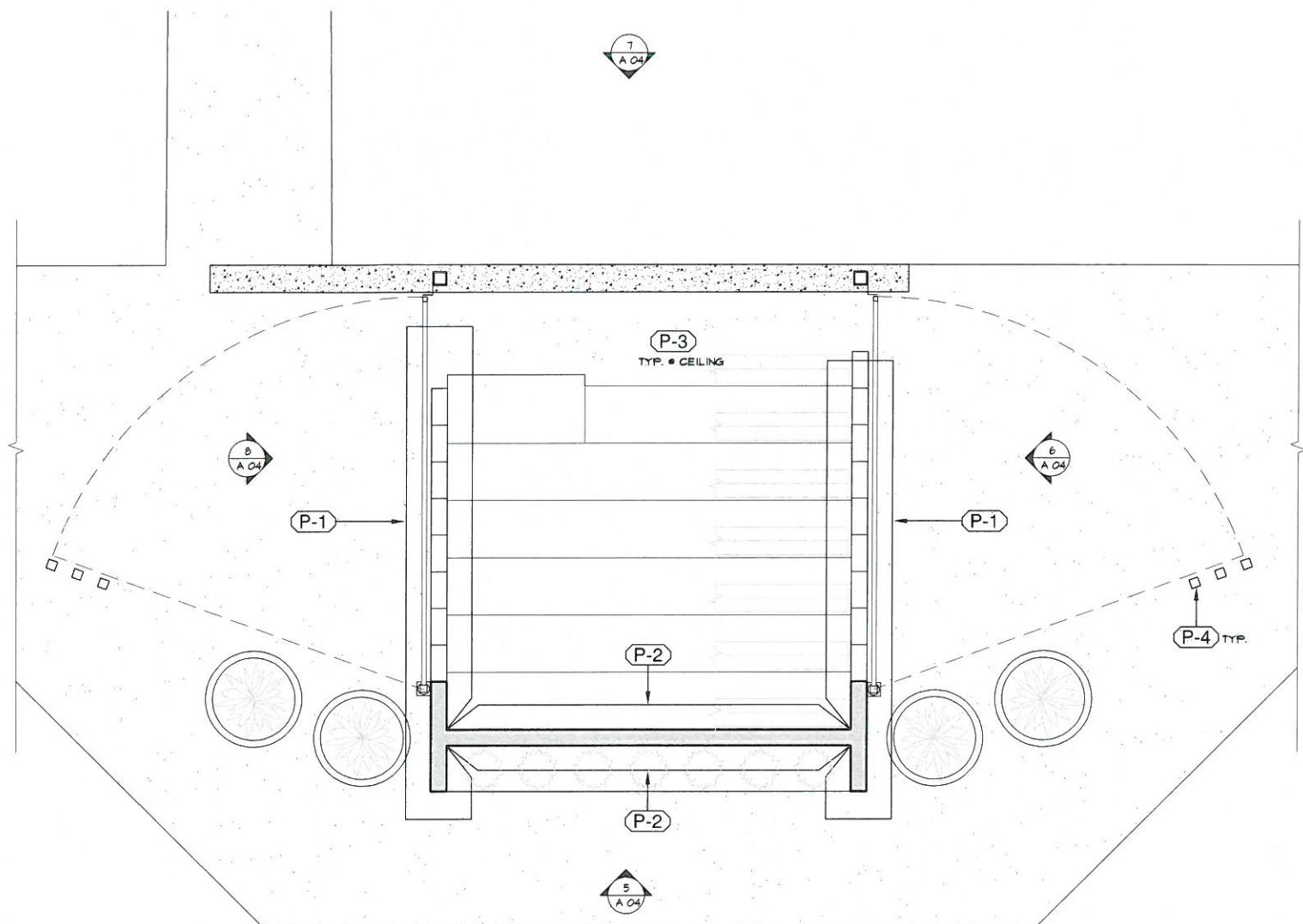
Date	Issue
05.05.16	PLAN CHECK SUBMITTAL
07.28.16	CLIENT REVISIONS

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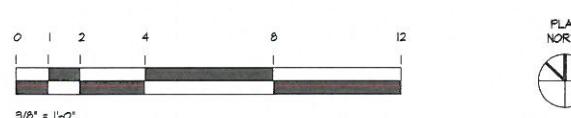
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**3S JUDGING STAND  
RENOVATION**  
 5255 E. PAOLI WAY  
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**SHEET TITLE**  
**FINISH PLAN**



**FINISH PLAN**  
 SCALE: 3/8" = 1'-0"



#### FINISH PLAN SHEET NOTES

- ALL EXISTING CONCRETE MASONRY WALLS TO RECEIVE EXTERIOR EGGSHELL FINISH.
- ALL EXISTING SURFACES TO BE POWER WASHED AND PREPARED FOR APPLICATION OF NEW FINISHES.
- CONTRACTOR TO PROVIDE ARCHITECT WITH A MINIMUM OF THREE SAMPLES OF EACH FINISH/MATERIAL FOR APPROVAL PRIOR TO ORDERING AND INSTALLATION.
- ALL DARK PAINT COLORS TO RECEIVE UNDERCOAT.
- CONTRACTOR TO PROVIDE MANUFACTURER'S USE AND CARE MANUALS FOR ALL FINISH PRODUCTS.

#### FINISH PLAN KEY NOTES

- EXISTING BENCH BRACKETS TO BE CLEANED AND PAINTED WITH SEMI-GLOSS PAINT.
- FINISHES AT EXISTING CONCRETE WALKWAY TO BE CLEANED AS REQUIRED.
- CONCRETE FINISH AT (N) WHEELCHAIR ACCESSIBLE AREA TO MATCH EXISTING.
- ALL (N) EXPOSED STEEL TO BE GALVANIZED, U.N.O.

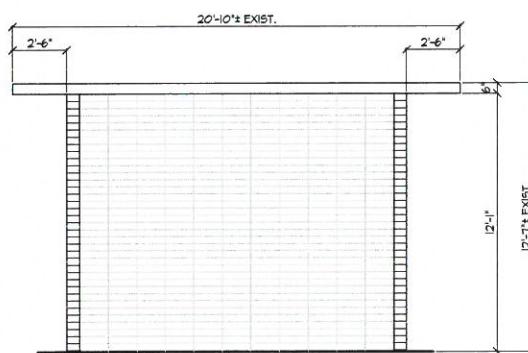
#### FINISH SCHEDULE

MATERIAL	ITEM	MANUFACTURER	STYLE / COLOR	NOTES
PAINT	(P-1)	SHERWIN WILLIAMS	SW 7046 - ANONYMOUS	MASONRY WALLS
PAINT	(P-2)	SHERWIN WILLIAMS	SW 7042 - WORLDLY GRAY	MASONRY WALLS
PAINT	(P-3)	SHERWIN WILLIAMS	SW 7042 - SHOJI WHITE	CEILING, CONCRETE BEAM
PAINT (GALVANIZING COMPOUND)	(P-4)	ZRC WORLDWIDE www.zrcworldwide.com	ZRC 221 COLD GALVANIZING COMPOUND	MISCELLANEOUS STEEL

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**SCALE**  
 3/8" = 1'-0"

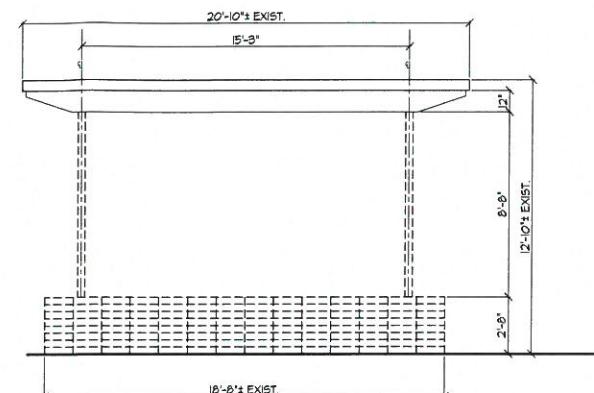
**A 03**



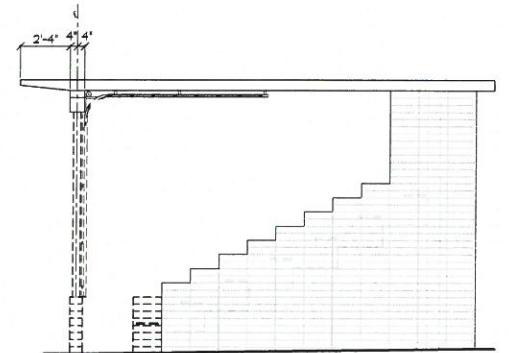
**1** **SOUTH ELEVATION (DEMOLITION)**  
 A 04  
 SCALE: 1/4" = 1'-0"



**2** **EAST ELEVATION (DEMOLITION)**  
 A 04  
 SCALE: 1/4" = 1'-0"

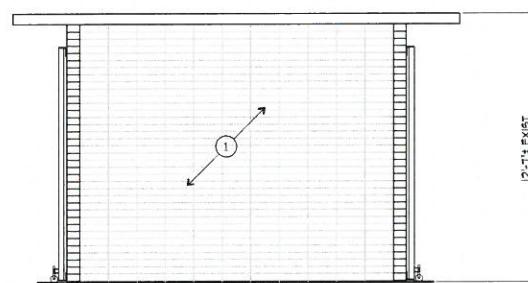


**3** **NORTH ELEVATION (DEMOLITION)**  
 A 04  
 SCALE: 1/4" = 1'-0"

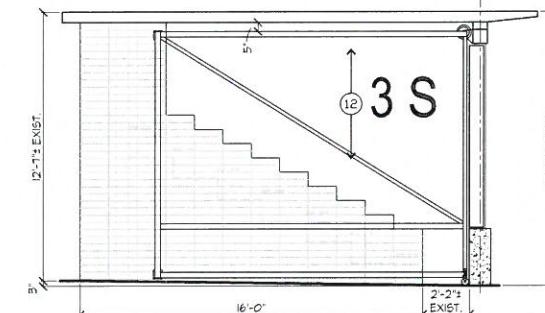


**4** **WEST ELEVATION (DEMOLITION)**  
 A 04  
 SCALE: 1/4" = 1'-0"

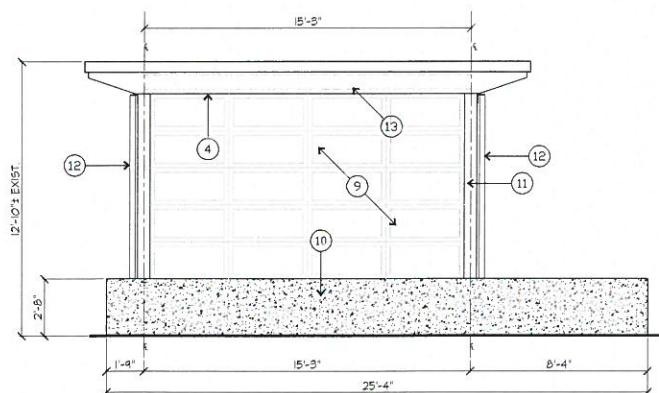
**ISSUE INFORMATION**  
 Date Issue  
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 07.28.16 CLIENT REVISIONS



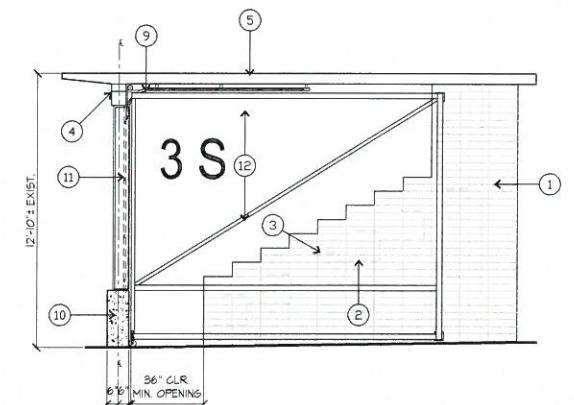
**5** **SOUTH ELEVATION (NEW)**  
 A 04  
 SCALE: 1/4" = 1'-0"



**6** **EAST ELEVATION (NEW)**  
 A 04  
 SCALE: 1/4" = 1'-0"



**7** **NORTH ELEVATION (NEW)**  
 A 04  
 SCALE: 1/4" = 1'-0"



**8** **WEST ELEVATION (NEW)**  
 A 04  
 SCALE: 1/4" = 1'-0"

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**SHEET TITLE**  
**ELEVATIONS**

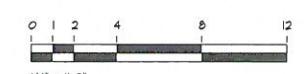
#### ELEVATION SHEET NOTES

1. ERECT AND MAINTAIN TEMPORARY BRACINGS, BARRICADES, SIGNS, AND OTHER MEASURES AS NECESSARY TO PROTECT THE PUBLIC, WORKERS, PERSONS, AND ADJOINING PROPERTY FROM DAMAGE FROM DEMOLITION WORK IN ACCORDANCE WITH THE APPLICABLE CODES AND REGULATIONS.

#### ELEVATION KEY NOTES

- (1) (E) CONCRETE MASONRY WALL TO REMAIN.
- (2) LINE OF (E) CONCRETE STEP BEYOND.
- (3) LINE OF (E) BENCH SEAT BEYOND.
- (4) (E) CONCRETE BEAM TO REMAIN.
- (5) (E) CONCRETE ROOF TO REMAIN.
- (6) PORTION OF (E) STEPPED CONCRETE MASONRY WALL TO BE REMOVED AT GROUT LINE.
- (7) (E) CONCRETE MASONRY WALL TO BE REMOVED COMPLETELY.
- (8) PORTION OF (E) STEEL COLUMN TO BE REMOVED. SEE STRUCTURAL DRAWINGS FOR EXTENT.
- (9) (N) ROLL-UP GARAGE DOOR, SEE I/A 06.

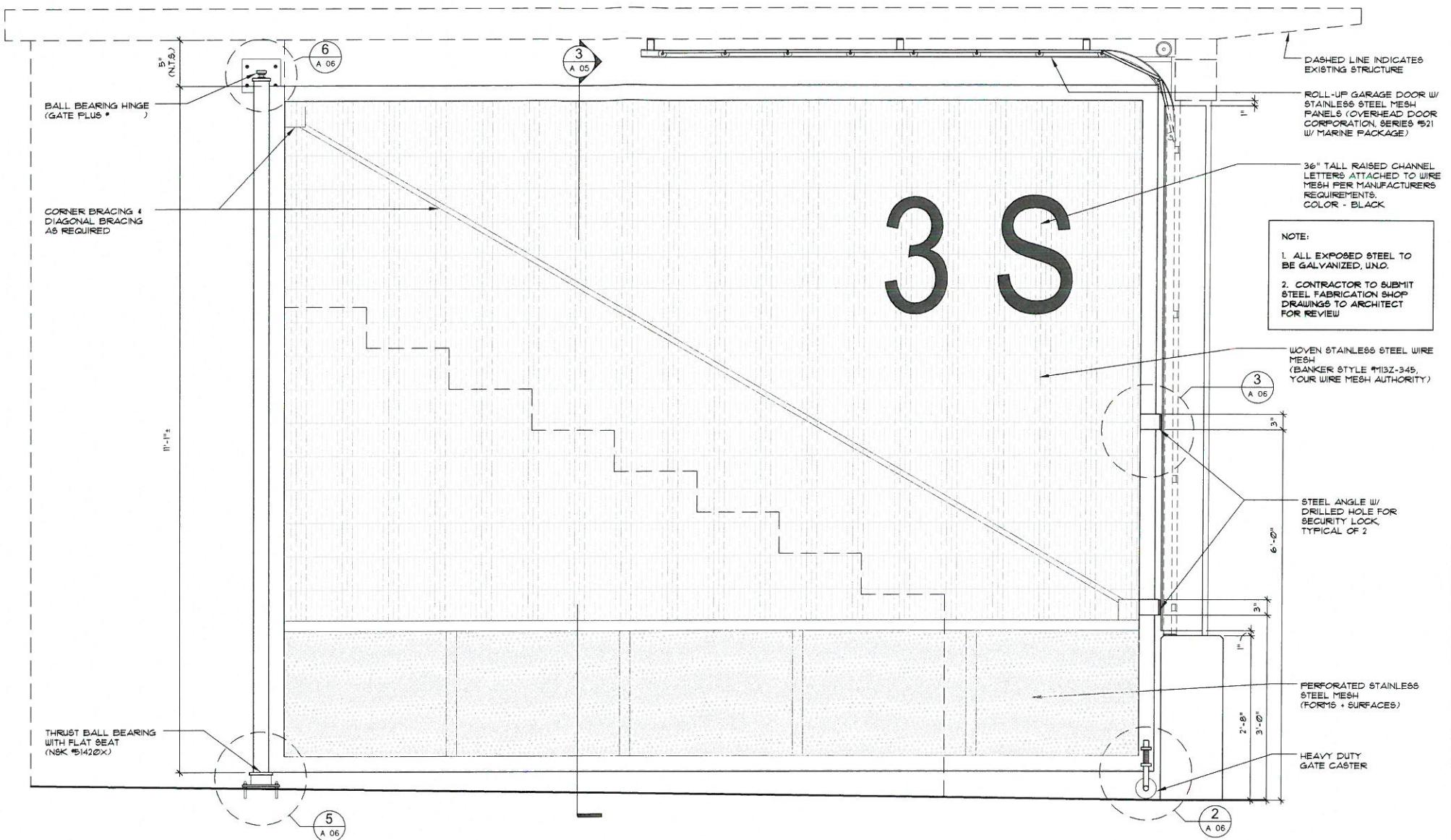
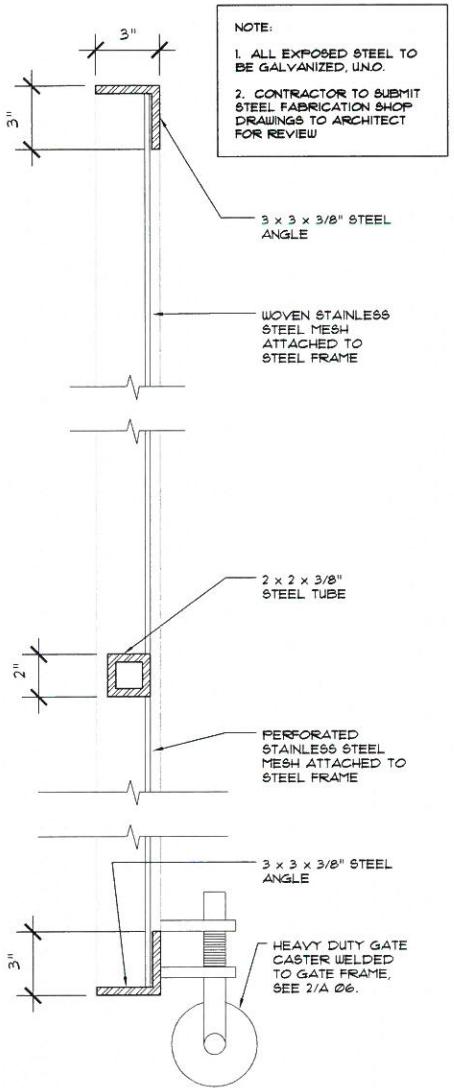
- (10) (N) Poured-in-place concrete wall, see structural drawings.
- (11) (N) Steel column and gate closure angles, see I & 2/A 02 and structural drawings.
- (12) (N) Steel security gate, typical. See I & 2/A 02.
- (13) Dashed line indicates line of (N) roll-up garage door beyond.



**PROJECT NO.**  
 AET-13-082  
**SCALE**  
 1/4" = 1'-0"

**A 04**

# 3S



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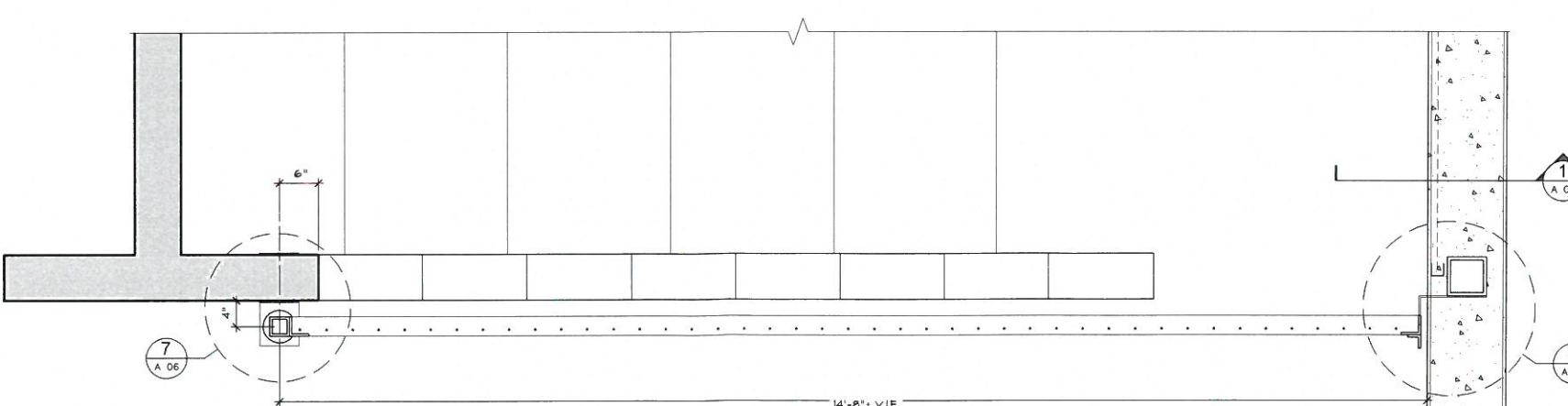
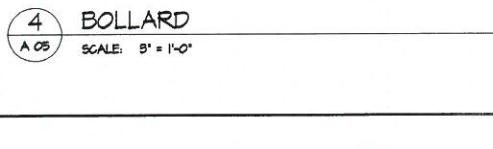
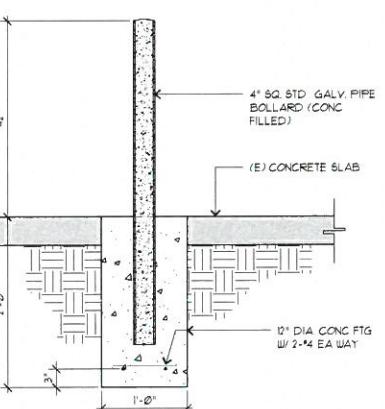
**CLIENT**
**CITY OF LONG BEACH**  
 333 W. OCEAN BOULEVARD  
 LONG BEACH, CA 90802

**PROJECT TITLE**
**3S JUDGING STAND RENOVATION**  
 5255 E. PAOLI WAY  
 LONG BEACH, CA 90802

**SHEET TITLE**
**ENLARGED GATE PLAN, ELEVATION & SECTION**

 PROJECT NO.  
 AET-13-082

 SCALE  
 1/8" = 1'-0"

**A 05**




## ISSUE INFORMATION

 Date Issue  
 05.05.16 PLAN CHECK SUBMITTAL

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## CLIENT

**CITY OF LONG BEACH**  
 333 W. OCEAN BOULEVARD  
 LONG BEACH, CA 90802

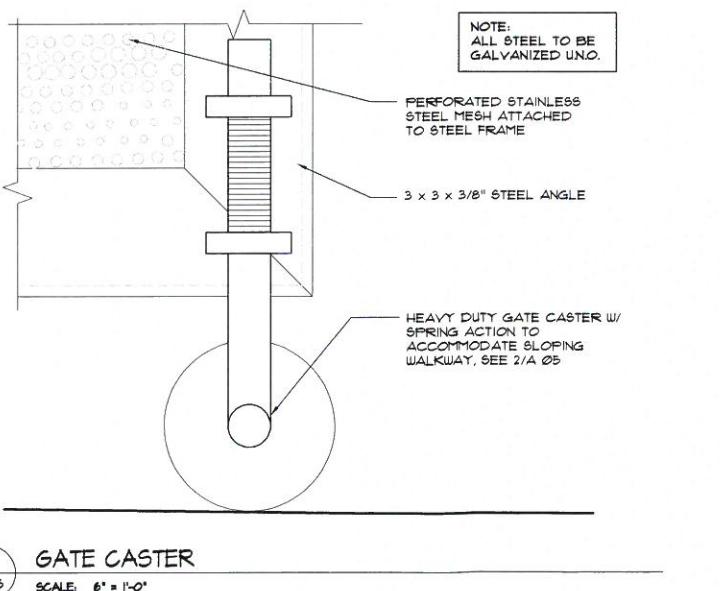
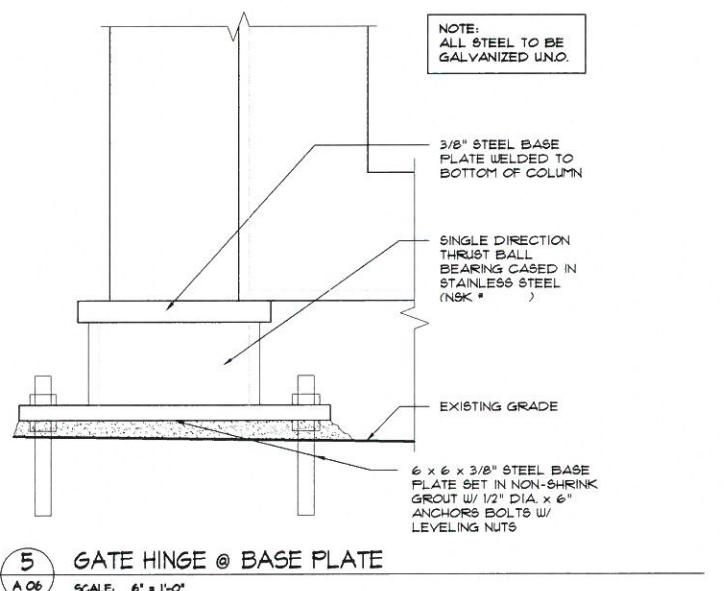
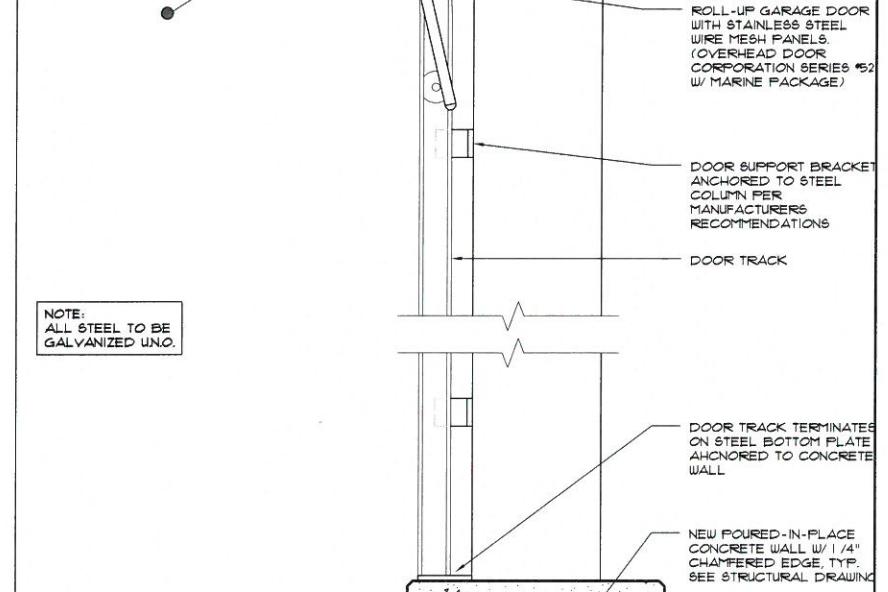
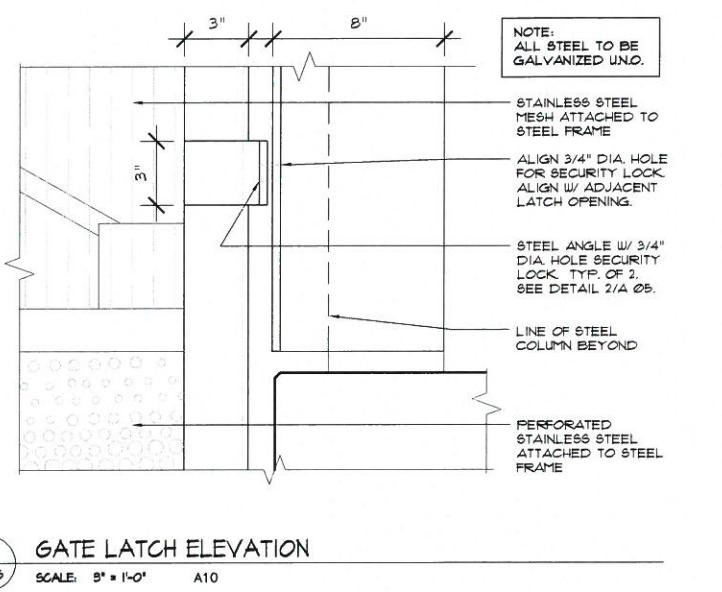
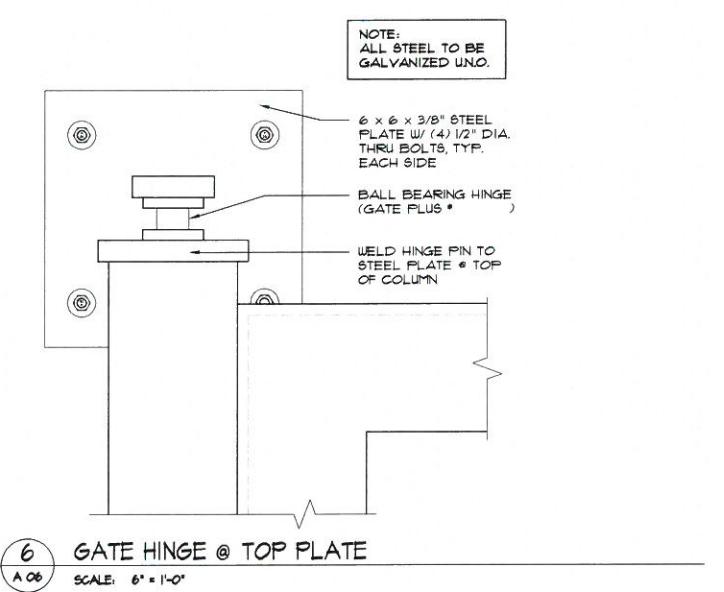
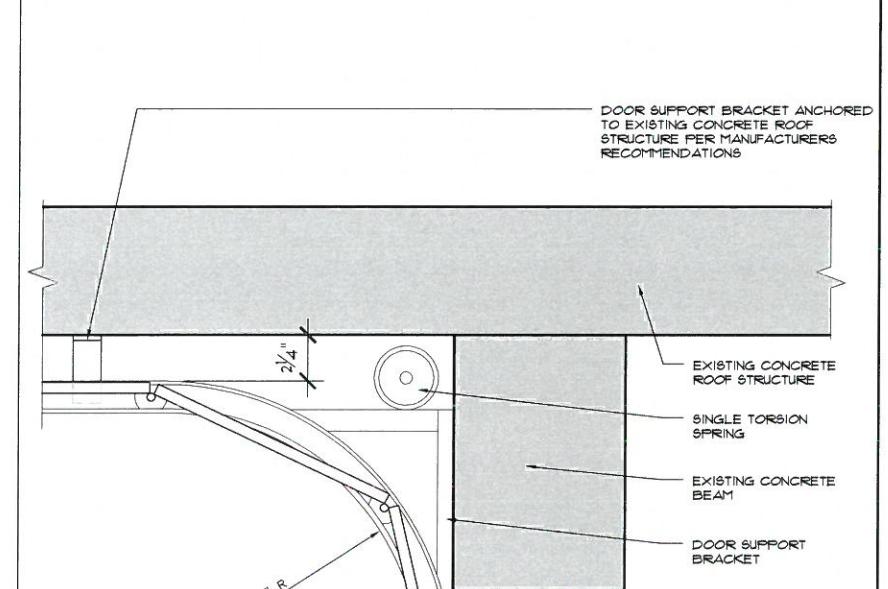
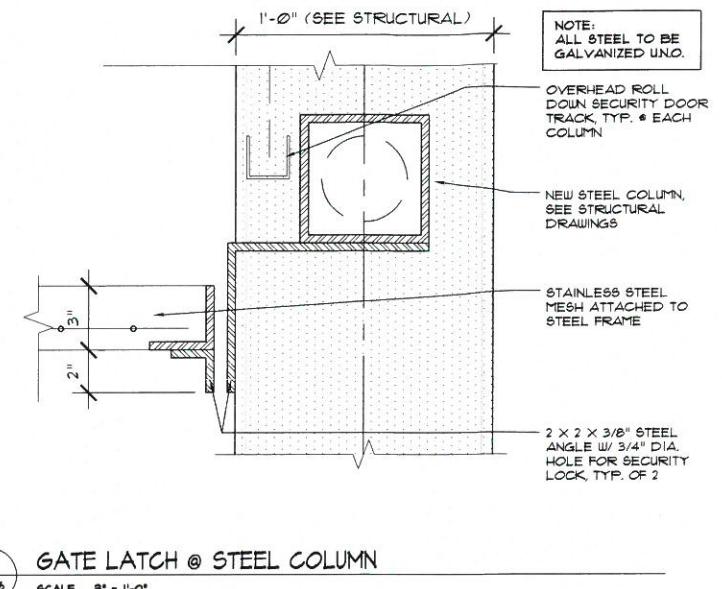
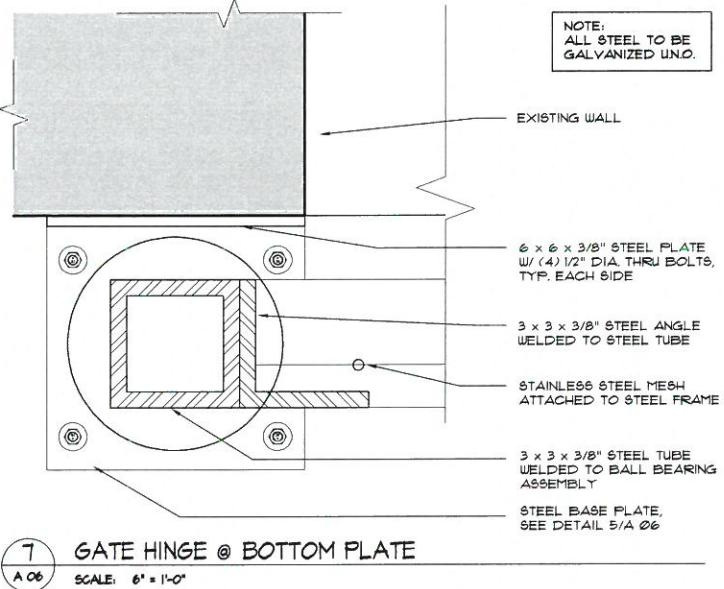
## PROJECT TITLE

**3S JUDGING STAND  
RENOVATION**  
 5255 E. PAOLI WAY  
 LONG BEACH, CA 90802

## SHEET TITLE

**DETAILS**

 PROJECT NO.  
 AET-13-082  
 SCALE

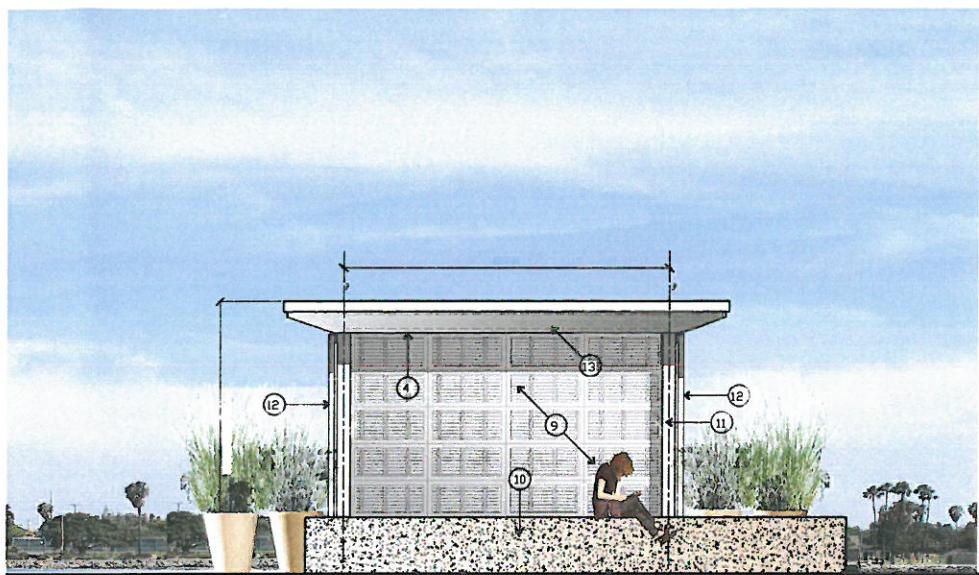
**A 06**




**3** **SOUTH ELEVATION**

A 07

SCALE:  $\frac{1}{4}'' = 1'-0''$



**2** **NORTH ELEVATION**

A 07

SCALE:  $\frac{1}{4}'' = 1'-0''$

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**ISSUE INFORMATION**

Date	Issue
05.05.16	PLAN CHECK SUBMITTAL
05.09.16	PLAN CHECK CLARIFICATIONS
07.28.16	CLIENT REVISIONS

---

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**CLIENT**

**CITY OF LONG BEACH**  
 333 W. OCEAN BOULEVARD  
 LONG BEACH, CA 90802

**PROJECT TITLE**

**3S JUDGING STAND RENOVATION**  
 5255 E. PAOLI WAY  
 LONG BEACH, CA 90802

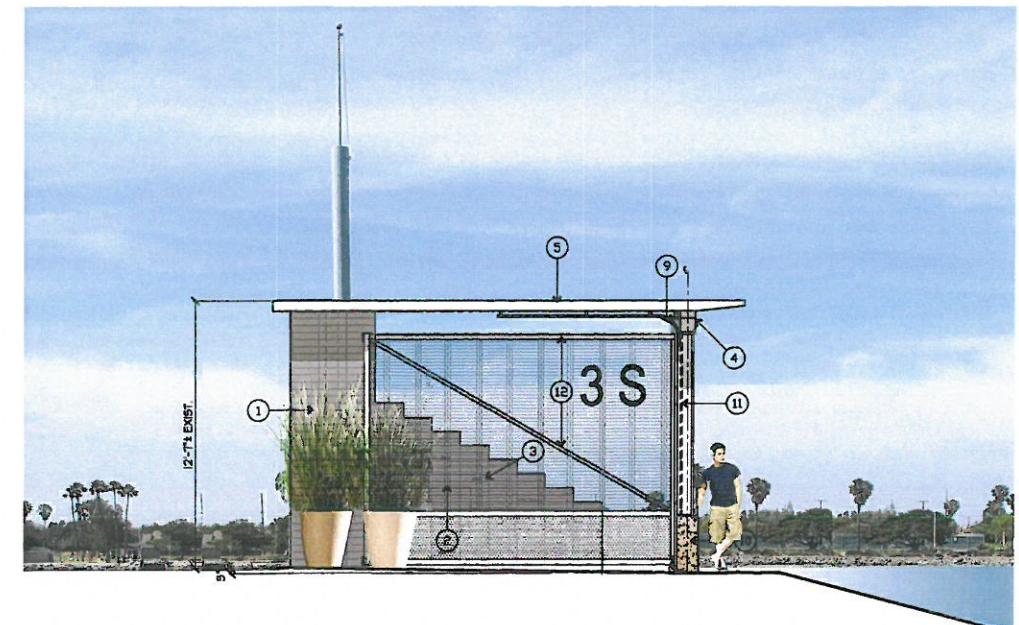
**SHEET TITLE**

**COLOR ELEVATIONS**

PROJECT NO.  
 AET-13-082

SCALE  
 $\frac{1}{4}'' = 1'-0''$

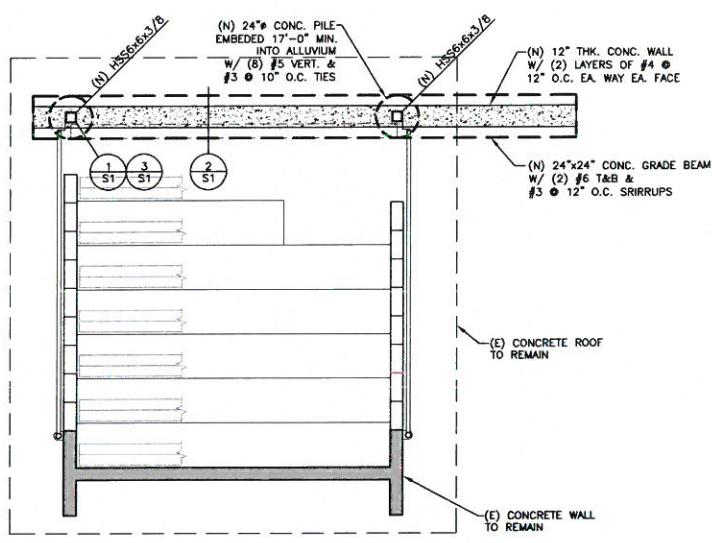
**A 07**



**1** **EAST ELEVATION**

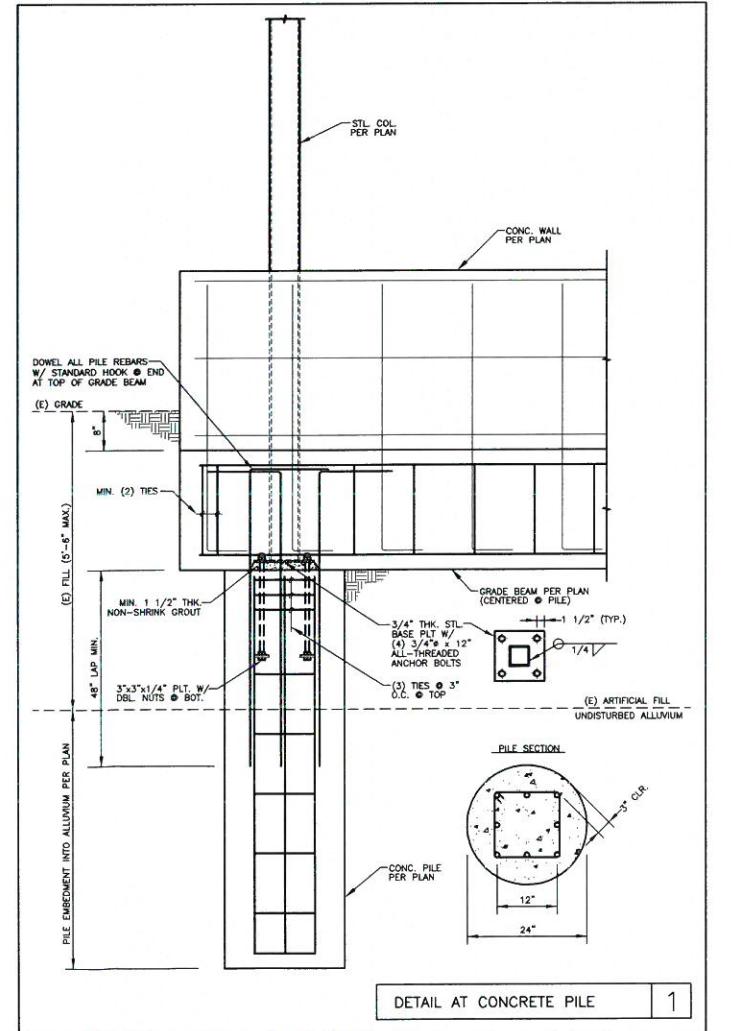
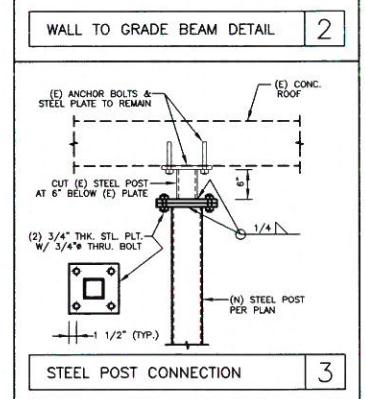
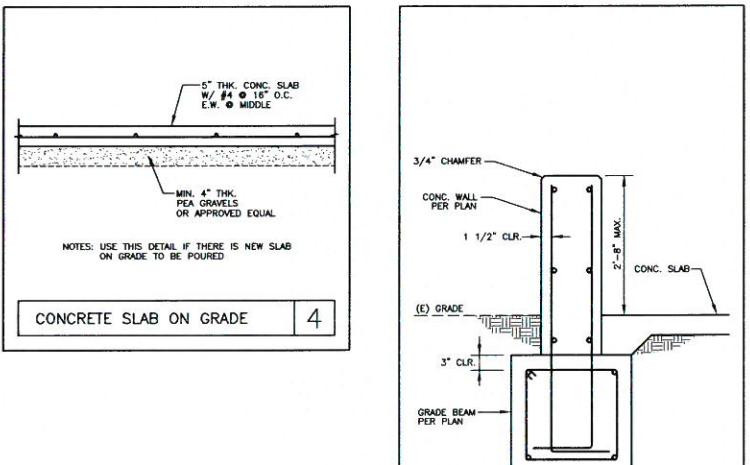
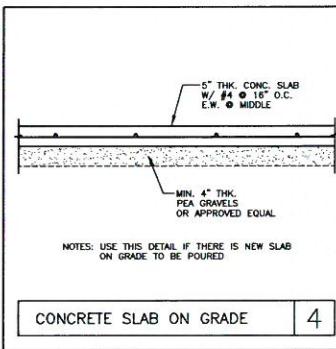
A 07

SCALE:  $\frac{1}{4}'' = 1'-0''$



## FRAMING OVER FOUNDATION PLAN

SCALE: 1/4"=1'-0"



### CONCRETE AND REINFORCING STEEL NOTES:

- MINIMUM CONCRETE COMPRESSIVE STRENGTH AT 28 DAYS (IF USED IN PROJECT):
  - CONCRETE GRADE BEAMS: 4,500 PSI. MIN.
  - SLAB ON GRADE: 4,500 PSI. MIN.
  - CONCRETE PILES: 4,500 PSI. MIN.
- CEMENT PER ASTM C150, TYPE V (U.N.O.)
- MAXIMUM SLOMPS FOR:
  - SLAB ON GRADE: 4" MAX.
  - ALL OTHER CONCRETE: 5" MAX.
- DIMENSIONS LOCATING REBARS ARE TO THE CENTER OF REBARS (U.N.O.) CONCRETE COVER OF ALL REBARS SHALL BE AS FOLLOWS: (U.N.O.)
  - CONCRETE CAST AGAINST SOIL: 3"
  - CONCRETE EXPOSED TO SOIL OR WEATHER: 2"
- REINFORCING STEEL PER ASTM A615/A615M, GRADE 40 FOR #4 AND SMALLER BARS, GRADE 60 FOR #5 AND LARGER BARS.
- ANCHOR BOLTS, DOWELS AND OTHER EMBEDDED ITEMS SHALL BE SECURED IN THEIR DESIGN LOCATIONS BEFORE PLACING CONCRETE
- REFER TO ARCHITECTURAL DRAWINGS FOR ANY DIMENSIONS NOT SHOWN IN THIS DRAWING

### STRUCTURAL STEEL NOTES:

- STRUCTURAL STEEL SHALL CONFORM TO ASTM STANDARDS AS FOLLOWS:
 

STEEL SHAPES, MISCELLANEOUS IRON, PLATES AND BARS: ASTM A-36  
W-SHAPE: ASTM A-992, GRADE 50.  
STEEL PLATE: ASTM A-36, GRADE B.  
STEEL TUBE: ASTM A-501.  
HSS-ROUND: ASTM A-500, GRADE B.  
HSS-TUBE: ASTM A-500, GRADE B.  
ANCHOR BOLTS: ASTM A-307  
ASTM A-53, GRADE B.
- ERCTION AND FABRICATION SHALL BE PER LATEST AISC STEEL CONSTRUCTION MANUAL
- WELDING SHALL BE DONE BY ELECTRIC ARC PROCESS PER AWS STANDARD CODE FOR ARC AND GAS WELDING IN BUILDING CONSTRUCTION. WELDERS SHALL BE CERTIFIED BY THE GOVERNING JURISDICTIONS
- PROVIDE SHOP DRAWINGS FOR REVIEW BY ARCHITECT AND/OR STRUCTURAL ENGINEER PRIOR TO FABRICATING STEEL
- SHOP WELDING SHALL BE PERFORMED IN A SHOP APPROVED BY THE GOVERNING JURISDICTIONS. USE SHIELDED ELECTRIC ARC PROCESS AND E-70 SERIES ELECTRODES. ALL FIELD WELDING SHALL BE PERFORMED BY A CERTIFIED WELDER. ALL WELDING SHALL CONFORM TO LATEST AWS SPECIFICATIONS (U.N.O.)
- SPECIAL INSPECTION BY A CERTIFIED INSPECTOR IS REQUIRED FOR ALL FIELD WELDING
- GALVANIZATION OF STEEL SHALL BE PROVIDED PER PROJECT SPECIFICATIONS

### FOUNDATION NOTES:

- FOUNDATION HAS BEEN DESIGNED BASED ON SOIL REPORT NUMBER A9383-06-01 PREPARED BY GEOCON WEST., INC DATED 04/05/2016. REFER TO THIS REPORT FOR ANY PERTINENT INFORMATION.
- FILL SHALL BE PLACED IN 6" TO 8" LOOSE LIFTS AND COMPACTED BY MECHANICAL METHODS
- ALL FILL SHALL BE COMPACTED TO 90% OF THE MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT AS DETERMINED BY ASTM 1557
- GRADING, SHORING AND FOUNDATION PLANS SHOULD BE REVIEWED BY A REPRESENTATIVE OF GEOCON WEST, INC. PRIOR TO FINALIZATION TO VERIFY THAT THE PLANS HAVE BEEN PREPARED IN SUBSTANTIAL CONFORMANCE WITH THE RECOMMENDATIONS OF THIS REPORT AND TO PROVIDE ADDITIONAL ANALYSES OR RECOMMENDATIONS
- DEEPPENED FOUNDATION INSTALLATION HAS BEEN PREPARED BY SOILS ENGINEER AND CONTRACTOR SHALL BE RESPONSIBLE TO FOLLOW THE RECOMMENDATIONS OF THE REPORT

THE CONTRACT DOCUMENTS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE MEANS AND METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEANS NECESSARY TO PROTECT THE STRUCTURE DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT LIMITED TO, BRACING, SHORING AND LOADS DUE TO CONSTRUCTION EQUIPMENT, ETC.

### SCHEDULE OF SPECIAL INSPECTION

TASK	FREQUENCY OF INSPECTION	APPROVED AGENCY
PILE & GRADE BEAMS	PERIODIC	N.S. STRUCTURAL ENGINEERING, INC.

NOTES: THE SPECIAL INSPECTOR SHALL BE APPROVED BY THE CITY AND THE OWNER AND SHALL FURNISH INSPECTION REPORTS TO THE CITY AND THE E.O.R.

### DESIGN INFORMATION

RDL	FDL	RLL	FLL	V	C <sub>s</sub>	R	S <sub>di</sub>	S <sub>ds</sub>	SITE	S <sub>1</sub>	S <sub>s</sub>	O.C.	I	SDC
83 psf	---	20 psf	---	24 psf	0.16	3	0.584g	1.044g	D	0.584g	1.566g	II	1.0	D

IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL GRADES, DIMENSIONS, (E) FRAMING, (E) FOUNDATION AND SITE CONDITIONS AND TO PROVIDE SHORING IF NECESSARY BEFORE REMOVAL OF ANY PART OF THE (E) STRUCTURE. THE CONTRACTOR SHALL READ THE SOILS REPORT PREPARED BY GEOCON WEST, INC. PRIOR TO ANY WORK. THE E.O.R. SHALL BE INFORMED OF ANY CHANGES AND/OR DISCREPANCIES THAT MAY RESULT IN ALTERING THE APPROVED CONDITIONS PRIOR TO COMMENCING OR CONTINUING CONSTRUCTION WORK.

### STRUCTURAL OBSERVATION PROGRAM AND DESIGNATION OF THE STRUCTURAL OBSERVER

PROJECT ADDRESS: 5255 EAST PADIL WAY, LONG BEACH, CA  
Description of Work: 3S JUDGING STAND RENOVATION  
Owner: CITY OF LONG BEACH Architect: ARTYPIC Engineer: Mr. Neal Shah, S.E.

STRUCTURAL OBSERVATION (only checked items are required)			
Firm or Individual to be responsible for the Structural Observation: Name: NS Structural Engineering Phone: (626) 840-2336 Calif. Registration: S5107			
FOUNDATION	WALL	FRAME	DIAPHRAGM
<input type="checkbox"/> Footing, Stem Walls, Piers	<input checked="" type="checkbox"/> Concrete	<input type="checkbox"/> Steel Moment Frame	<input checked="" type="checkbox"/> Concrete
<input type="checkbox"/> Mat Foundation	<input type="checkbox"/> Masonry	<input type="checkbox"/> Steel Braced Frame	<input type="checkbox"/> Steel Deck
<input checked="" type="checkbox"/> Caisson, Piles, Grade Beams	<input type="checkbox"/> Wood	<input type="checkbox"/> Concrete Moment Frame	<input type="checkbox"/> Wood
<input type="checkbox"/> Stop/g/Rolling Foundation, Hillside Special Anchors	<input type="checkbox"/> Others:	<input type="checkbox"/> Masonry Wall Frame	<input type="checkbox"/> Others:
<input type="checkbox"/> Others:	<input type="checkbox"/> Others:		

DECLARATION BY OWNER  
I, the Owner of the project, declare that the above listed firm or individual is hired by me to be the Structural Observer.

Signature \_\_\_\_\_ Date \_\_\_\_\_

DECLARATION BY ARCHITECT OR ENGINEER OF RECORD (required if the Structural Observer is different from the Architect or Engineer of Record)  
I, the Architect or Engineer of record for the project, declare that the above listed firm or individual is designated by me to be responsible for the Structural Observation.

Signature \_\_\_\_\_ License No. \_\_\_\_\_ Date \_\_\_\_\_

4642 ROCKLAND PLACE, LA CANADA, CA 91011  
PHONE: 626 840 2338  
WWW.NS-SE.COM



3S JUDGING STAND RENOVATION  
5255 EAST PADIL WAY  
LONG BEACH, CALIFORNIA

SHEET

S1



#### DEMOLITION NOTES

D1 DISCONNECT AND REMOVE EXISTING UNDERGROUND CONDUIT INCLUDING ALL ASSOCIATED HARDWARE, AND WIRING BACK TO SOURCE. VERIFY EXACT LOCATION IN THE FIELD.

#### RENOVATION NOTES

R1 PROVIDE NEW 1" PVC SCHEDULE 40 UNDERGROUND CONDUIT FROM JUDGING STAND TO EXISTING PANEL 9XX INSIDE MAINTENANCE SHOP. TRANSITION STUB-UP SHALL BE PVC COATED RCS.

R2 USE SAME CONDUIT ROUTE OF DEMOLISHED UNDERGROUND CONDUIT TO MINIMIZE TRENCHING.

R3 PROVIDE NEW 20A, 1P BRANCH CIRCUIT BREAKER IN EXISTING PANEL 1P SPACE INSIDE MAINTENANCE SHOP. CONTRACTOR SHALL MATCH EXISTING MAKE, TYPE AND AIC RATING. CONTRACTOR SHALL VERIFY EXACT PANEL LOCATION IN THE FIELD.

#### GENERAL NOTES

1. CONTRACTOR SHALL VERIFY FIELD CONDITION PRIOR TO DEMOLITION AND RENOVATION.
2. ALL UNDERGROUND CONDUIT SHALL BE MINIMUM 1" PVC SCHEDULE 40, UNLESS OTHERWISE NOTED WITH COATING.
3. ALL 90 DEGREE ELBOWS AND BELOW GRADE TO ABOVE GRADE TRANSITIONS SHALL BE PVC.
4. A #8 GREEN GROUND WIRE SHALL BE INSTALLED THROUGHOUT THE CONDUIT SYSTEM IN ORDER TO MAINTAIN GROUNDING CONTINUITY.
5. ALL WIRING SHOWN ON THIS PLAN SHALL BE #8 MINIMUM UNLESS OTHERWISE NOTED.

#### ISSUE INFORMATION

Date Issue  
05-05-16 PLAN CHECK SUBMITTAL

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**FACILITY**  
**CITY OF LONG BEACH**  
333 W. OCEAN BOULEVARD  
LONG BEACH, CA 90802

#### PROJECT TITLE

**3S JUDGING STAND  
RENOVATION**  
5255 E. PAOLI WAY  
LONG BEACH, CA 90802

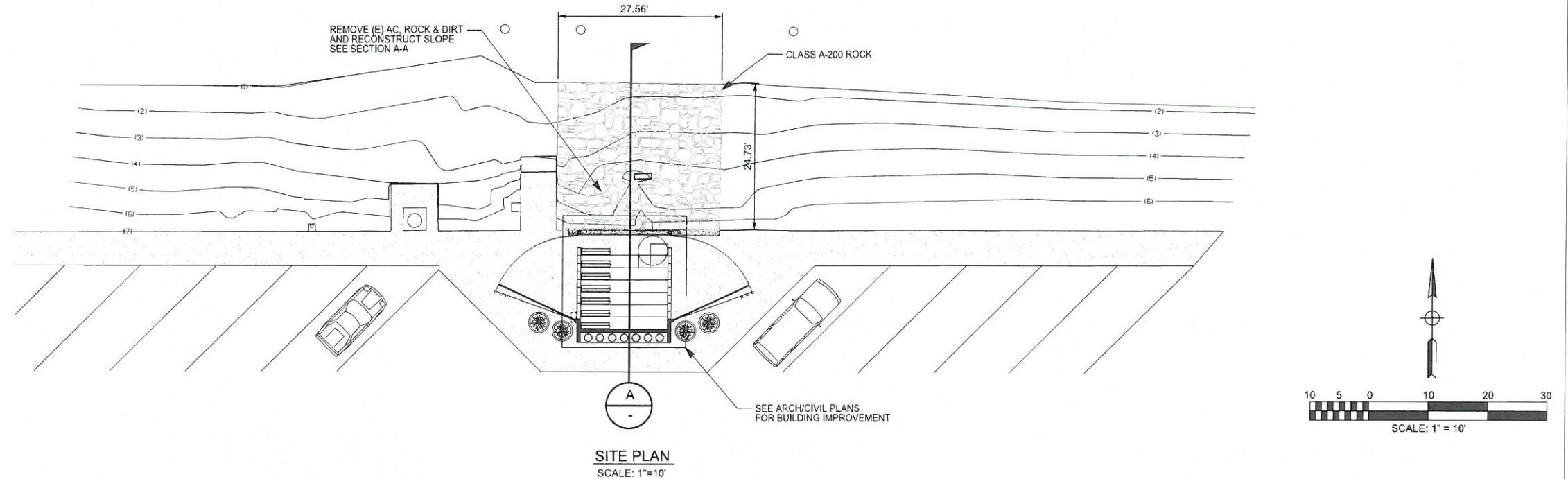
#### SHEET TITLE

**SITE PLAN  
DEMOLITION AND  
RENOVATION PLAN**

PROJECT NO.  
AET-13-082

SCALE  
1" = 20'

**E-2**


 ISSUE INFORMATION  
 Date: Issue  
 05-05-16 PLAN CHECK SUBMITTAL

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 CLIENT  
**CITY OF LONG BEACH**  
 333 W. OCEAN BOULEVARD  
 LONG BEACH, CA 90802

 PROJECT TITLE  
**3S JUDGING STAND RENOVATION**  
 5255 E. PAOLI WAY  
 LONG BEACH, CA 90802

 SHEET TITLE  
**RIP RAP PLAN**
**C 1**

 PROJECT NO.  
 AET-13-082  
 SCALE  
 AS NOTED
