

STACEY RESIDENCE

2525 5TH STREET. LONG BEACH 90814

GENERAL NOTES

1. CODES: ALL WORK PERFORMED SHALL CONFORM TO THE APPLICABLE LAWS INCLUDING BUT NOT LIMITED TO THE LATEST ADOPTED EDITIONS OF:

1. 2013 CBC CALIFORNIA BUILDING CODE	8. 2013 CBC CALIFORNIA RESIDENTIAL CODE
2. 2013 CFC CALIFORNIA FIRE CODE	9. 2013 CBC CALIFORNIA ENERGY CODE
3. 2013 L-24 CALIFORNIA ADMINISTRATIVE CODE-TITLE 24	10. 2013 CBC CALIFORNIA GREEN BUILDING CODE
4. 2013 CEC CALIFORNIA ELECTRICAL CODE	
5. 2013 CMC CALIFORNIA MECHANICAL CODE	
6. 2013 CPC CALIFORNIA PLUMBING CODE	
7. CURRENT CITY OF LONG BEACH MUNICIPAL CODE	

2. DOCUMENTS & NOTIFY ARCHITECT PROMPTLY & BEFORE COMMENCING WORK IF KNOWN, OF ERRORS, OMISSIONS, & DISCREPANCIES. CONTRACTORS SHALL REVIEW CONSTRUCTION ANY ERRORS, OMISSIONS, DISCREPANCIES IN THESE CONSTRUCTION DOCUMENTS, OR OF ADVERSE JOB CONDITIONS. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE RESULTS OF SUCH ERRORS, OMISSIONS, DISCREPANCIES OR CONDITIONS NOT REPORTED IN WRITING TO THE ARCHITECT.

3. ORGANIZATION: DO NOT CONSTRUE THESE DOCUMENTS AS AN ATTEMPT BY THE ARCHITECT TO ESTABLISH CONTRACT LIMITS BETWEEN THE OWNER & THE CONTRACTORS.

4. ESTABLISH CONTRACT LIMITS BETWEEN THE OWNER & THE CONTRACTORS' PRACTICES OF THE TRADE.

A. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADE.

B. THE TERM "CONTRACTOR" AS USED HEREIN & ON THE DRAWINGS SHALL ALSO BE APPLICABLE TO EACH SUBCONTRACTOR AS REQUIREMENTS PERTAIN TO HIS TRADE.

5. BEFORE COMMENCING WORK, EACH SUBCONTRACTOR SHALL VERIFY MEASUREMENTS, LINES, GRADES, LOCATIONS, & DETAILS OF EXISTING FIELD CONDITIONS & NOTIFY THE CONTRACTOR OF ANY DISCREPANCIES. STARTING OF WORK BY A SUBCONTRACTOR DENOTES THAT THE UNDERSURFACE HAS BEEN INSPECTED & IS APPROVED BY THE SUBCONTRACTOR.

6. CONTRACTORS SHALL ADEQUATELY PROTECT ALL PUBLIC & PRIVATE PROPERTY & IMPROVEMENTS FROM DAMAGE OR INJURY. DAMAGED AREAS SHALL BE REPLACED IN GOOD CONDITION @ NO ADDITIONAL COST TO THE OWNER.

7. THE CONTRACTORS SHALL REPLACE ANY DEFECTIVE MATERIALS & CORRECT ANY POOR WORKMANSHIP WITH NO ADDITIONAL COST TO THE OWNER, & SHALL REMEDY ANY DEFECTS IN MATERIALS OR WORKMANSHIP WHICH APPEAR WITHIN A TWO YEAR PERIOD FROM THE DATE OF COMPLETION & ACCEPTANCE OF THE JOB.

8. THE CONTRACTORS SHALL SUPPLY ALL LABOR, MATERIALS, EQUIPMENT, INSURANCE & SERVICES OF EVERY KIND NECESSARY FOR THE PROPER EXECUTION OF ALL WORK AS SHOWN, & INDICATED ON THESE DRAWINGS.

9. PERMITS: THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE BUILDING PERMIT. IF ANY SPECIAL PERMITS ARE REQUIRED FOR SUB TRADES, THE APPROPRIATE SUBCONTRACTOR SHALL OBTAIN THEM. THE OWNER WILL REIMBURSE ALL PERMITS. CONTRACTORS SHALL PAY ALL LICENSES & ROYALTIES & SHALL DEFEND ALL SUITS OR CLAIMS FOR INFRINGEMENT OF ANY PATENT RIGHTS & SHALL HOLD THE OWNER HARMLESS FROM LOSS ON ACCOUNT THEREOF.

10. COORDINATION: THE GENERAL CONTRACTOR IS RESPONSIBLE FOR GETTING UP A TIME SCHEDULE FOR ALL SUBCONTRACTORS & COORDINATING THEIR WORK IN A TIMELY MANNER. ALL WORKMANSHIP, SCHEDULING & PHASING SHALL CONFORM TO THE REQUIREMENTS OF THE BUILDING OWNER.

11. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SAFE JOB SITE CONDITIONS. SUBCONTRACTORS SHALL BE RESPONSIBLE FOR CLEANING THE AREA OF THE WORK @ THE END OF EACH DAY. THE OWNER OF THE JOB, THE GENERAL CONTRACTOR, OR EVEN THAT ALL FINISHES ARE CLEAN AND FREE OF DEFECTS. ANY BROKEN, DAMAGED OR SUB-STANDARD MATERIALS OR FINISHES SHALL BE REPLACED BY THE GENERAL CONTRACTOR AT NO ADDITIONAL COSTS TO THE OWNER.

12. INSPECTIONS: THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ARRANGING ALL NECESSARY INSPECTIONS FOR ALL SUBCONTRACTORS WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT 24 HOURS PRIOR TO INSPECTIONS.

13. DO NOT SCALE DRAWINGS. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE. DETAIL DRAWINGS SHALL TAKE PRECEDENCE OVER LARGER DRAWINGS.

14. THE OUTLINE SPECIFICATIONS ARE PROVIDED BY THE ARCHITECT FOR CONVENIENCE ONLY. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO DETERMINE WHAT TRADE IS RESPONSIBLE FOR EACH ITEM, & TO COMPLETE THE JOB IN ITS ENTIRETY. THE FOLLOWING OUTLINE SPECIFICATIONS INCLUDE ONLY MAJOR INFORMATION. IN THE ABSENCE OF MORE DETAILED SPECIFICATIONS, ALL MATERIALS & EQUIPMENT SHALL BE APPROVED BY THE ARCHITECT.

15. ALL MATERIALS SHALL BE NEW MATERIALS & OF THE HIGHEST QUALITY & ALL SUBSTITUTIONS SHALL BE SUBMITTED FOR APPROVAL BY THE CONTRACTOR TO THE OWNER AND ARCHITECT PRIOR TO SIGNING THE CONSTRUCTION CONTRACT. MATERIAL & PRODUCTS SHALL BE DELIVERED TO THE BUILDING SITE IN ORIGINAL PACKAGES. MATERIALS & PRODUCTS SHALL BE STORED OFF THE GROUND ON WOOD BLOCKING IN AN UPRIGHT POSITION PROTECTED FROM THE ELEMENTS & IN A MANNER TO PREVENT MARRING OF FINISHES.

16. CHANGES: THE OWNER RESERVES THE RIGHT TO MAKE CHANGES, ADDITIONS, OR OMISSIONS IN THE PLANS & SPECIFICATIONS. THE COST OF SUCH WORK TO BE ADDED TO OR DEDUCTED FROM THE CONTRACT AS SUBMITTED CHANGE ORDERS. CHANGE ORDERS MUST BE SIGNED BY THE OWNER, ARCHITECT & CONTRACTOR, PRIOR TO THE CHANGE IN WORK. IN CASE OF INCREASE, ADDITIONAL OVERHEAD & PROFIT WILL BE ALLOWED PER CONTRACT. ARCHITECT SHALL APPROVE ALL CHANGES IN WRITING PRIOR TO EXECUTION OF ANY CHANGE.

17. FRAMING CONDITIONS NOT SPECIFICALLY SHOWN SHALL BE FRAMED SIMILAR TO TYPICAL DETAILS SHOWN FOR PROSPECTIVE MATERIALS & SIMILAR CONDITIONS.

18. CONTRACTOR TO VERIFY WITH ELECTRICAL, MECHANICAL & PLUMBING SUBCONTRACTORS, THE SIZE & LOCATION OF ALL OPENINGS REQUIRED FOR ALL PIPE SLEEVES, ELECTRICAL CONDUITS, WATER & DRAINAGE PIPING & OTHER ITEMS TO BE EMBEDDED IN CONCRETE OR OTHERWISE INCORPORATED IN STRUCTURAL WORK.

19. FRAMING SUB-CONTRACTOR SHALL PROVIDE & INSTALL ANY NECESSARY BLOCKING, BACKING, FURRING, & FRAMING FOR ELECTRICAL, MECHANICAL & PLUMBING WORK, CABINETS, FIXTURES, & OTHER MISCELLANEOUS ITEMS REQUIRING SAME.

20. ALL MATERIALS AND FINISHES SHALL BE INSTALLED IN STRICT CONFORMANCE WITH THE APPLICABLE BUILDING CODES, MANUFACTURER'S SPECIFICATIONS AND TO THE COMPLETE SATISFACTION OF THE ARCHITECT AND THE OWNER.

21. THE CONTRACT DRAWINGS & SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE, UNLESS OTHERWISE SHOWN, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE GENERAL CONTRACTOR SHALL SUPERVISE & DIRECT THE WORK & SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES & PROCEDURES. OBSERVATION VISITS TO THE SITE BY FIELD REPRESENTATIVES OF THE ARCHITECT SHALL NOT INCLUDE INSPECTIONS OF THE PROTECTIVE MEASURES OR THE CONSTRUCTION PROCEDURES REQUIRED FOR SAME, WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. OBSERVATIONS BY THE ARCHITECT DO NOT GUARANTEE THE GENERAL CONTRACTOR'S PERFORMANCE & SHALL NOT BE CONSTRUED AS SUPERVISION OF CONSTRUCTION.



BUILDING SUMMARY

SCOPE OF WORK

THE SCOPE OF THE ARCHITECTURAL SERVICES RELATED TO THE PROJECT AT 2525 5HT STREET.

THE ADDITION OF A 2ND FLOOR MASTER BEDROOM AND BATHROOM, ALONG WITH A STANDARD BEDROOM WITH POWDER ROOM. RESTORING THE FRONT PLANTER BOX, WHILE ALSO REPLACING THE SEWER LINE. FINALLY, A SINGLE CAR GARAGE AND TO REPAIR THE PORCH AND ENTRY.

LOT: 10

TRACT: 576801

APN: 7263-021-032

OCCUPANCY GROUP: LOW-DENSITY - 9 (RLD-9)

CONSTRUCTION TYPE: SINGLE FAMILY RESIDENCE

NO. OF STORIES: TWO STORY HOME

EXISTING PARKING/ GARAGE: 2 CAR GARAGE

BUILDING HEIGHT: 31'-0"

FOUNDATION VENT REQUIRED: 12

"I certify that the proposed work will not destroy or unreasonably interfere with any access or utility easement belonging to others and located in my property, but in the event such work does destroy or unreasonably interfere with such easement, a substitute easement (a) satisfactory to the holder(s) of the easement will be provided."

Signature _____ Position _____

Print Name _____ Date _____

ABBREVIATION LIST

SLD	ASPHALT CONCRETE	ND	NEW
BLD	BUILDING	NTP	NOT TO SCALE
BRK	BEST MARK	OC	ON CENTER
CAB	CATCH BASIN	POC	POINT OF CONNECTION
CI	CAST IRON	PROP	PROPOSED
CIR	CIRCLE	PVC	POLYVINYL CHLORIDE
CLR	CLEAR	R	RAILING
DIA	DIA, DIAMETER	RET	RETAINING
DT	DEPTH	RFB	REFERENCE
DUCT	DUCTILE IRON	RFT	SLOPE
GRAN	DUCTILE IRON GRANITE	SD	SEWER DRAIN
ELEV	ELEVATIONS	SMH	SEWER MANHOLE
EL	ENGINEERED	SPW	STANDARD PLANS FOR PUBLIC WORKS CONSTRUCTION
EL OR ELEV	EXISTS	SPWCO	STANDARD SPECIFICATIONS FOR PUBLIC WORKS
FL	FLOOR	STD	STANDARD
FIN	FINISH FLOOR	STC	STORY CIRCUMFERENCE
FG	FINISH GRADE	TOP	TOP OF CURB
FHY	FIRE HYDRANT	TP	TOP OF PLATE
FLW	FLOW	TECO	TEMPORARY EROSION AND
FS	FREE SURFACE	TC	TEMPORARY CONTROL
GRD	GRADE	VCP	VITRIFIED CLAY PIPE
GRD BREAK	GRADE BREAK	W	WATER
GV	GRADE VALVE		
HGT	HEIGHT		
IHV	IRRIGATION CONTROL VALVE		
INVERT	INVERT		
IRRIG	IRRIGATION		
LWD	LOW WATER DEPARTMENT		
LP	LOW POINT		
MAX	MAXIMUM		
MHN	MANNHOLE		
MIS	MISCELLANEOUS		
MSD	MISCELLANEOUS		

PROJECT TEAM

Cameron Crockett - Architectural Designer
Architectural Studio
1327 Loma Avenue
Long Beach, California 90804
t. 562.997.0971
e. cameron@ultra-unit.com

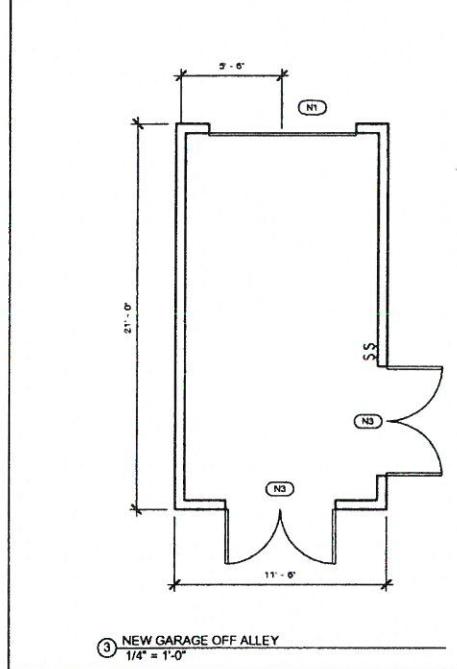
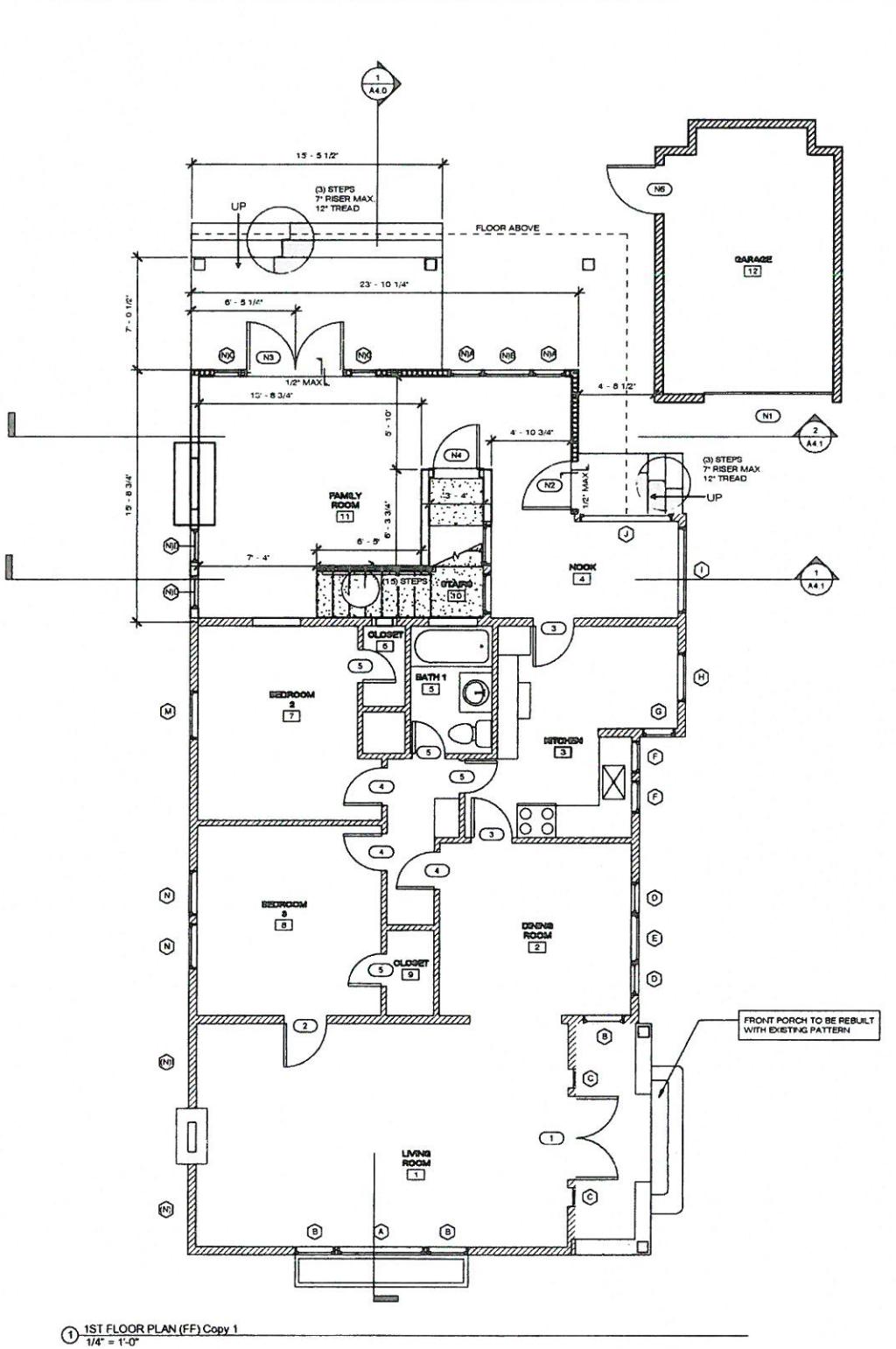
David Choi - Structural Engineer
Architectural Studio
1327 Loma Avenue
Long Beach, California 90804
t. 562.991.5600
e. mcastillo@castileengineering.com

VICINITY MAP

Sheet List	
Sheet Number	Sheet Name
A00	COVER
A0-CFG	CA ENERGY EFFICIENCY STANDARDS
A0-MFR	MANDATORY MEASURES SUMMARY - RESIDENTIAL
A0-MMA	RESIDENTIAL MANDATORY MEASURES
A0-MMB	RESIDENTIAL MANDATORY MEASURES
A0.2	SITE PLAN
A0.3	L.I.D. PLAN
A0.4	EXISTING/DEMO PLAN
A1.0	PROPOSED FIRST FLOOR PLAN
A1.1	PROPOSED SECOND FLOOR PLAN
A1.4	PROPOSED DOOR AND WINDOW SCHEDULE
A1.5	PROPOSED ROOF PLAN
A2.0	REFLECTED CEILING PLAN 1st FLOOR
A2.1	REFLECTED CEILING PLAN 2nd FLOOR
A3.0	BUILDING ELEVATIONS
A3.1	BUILDING ELEVATIONS 2
A3.2	GARAGE ELEVATIONS
A3.3	EXISTING HOME PHOTOS
A3.4	PROPOSED BUILDING 3D VIEWS
A3.5	STREET VIEW RENDERINGS
A4.1	BUILDING SECTION 2



<p>1ST FLOOR DEMO 1/4" = 1'-0"</p> <p>WALL LEGEND</p> <ul style="list-style-type: none"> NEW STUD WALL EXISTING WALL DEMOLITION WALL DEMOLITION WALL 	<p>NOTES:</p> <ol style="list-style-type: none"> ALL DEMOLITION SHALL BE DONE IN AN ORGANIZED MANNER & ANY MATERIALS TO REMAIN AS WELL AS ADJACENT BUILDINGS SHALL BE PROTECTED FROM DAMAGE. ANY DAMAGE SHALL BE REPAIRED OR REPLACED BY THE DEMOLITION CONTRACTOR @ NO ADDITIONAL COST TO THE OWNER. SITE CLEARING <ol style="list-style-type: none"> COORDINATE CLEARING WORK WITH UTILITY COMPANIES. PROTECT UTILITIES THAT ARE TO REMAIN FROM DAMAGE. PROTECT BENCH MARKS AND DESIGNATED EXISTING STRUCTURES FROM DAMAGE OR DISPLACEMENT. CLEAR AREAS REQUIRED FOR ACCESS TO SITE AND EXECUTION OF WORK. REMOVE TREES AND SHRUBS AS REQUIRED. REMOVE STUMPS, MAIN ROOT BALL, ROOT SYSTEM TO FULL DEPTH. CLEAR UNDERBROWTH, GRASS AND DEADWOOD. PROTECT PLANT MATERIAL NOT SCHEDULED FOR REMOVAL. KEEP SITE FREE OF DUST BY SPRINKLING WITH WATER. IF GEOTECHNICAL INVESTIGATION HAS BEEN PREPARED UNDER DIRECTION OF OWNER, THE INVESTIGATION IS REFERENCED AS INFORMATION FOR WORK OF THIS SECTION. A COPY OF THE REPORT SHALL BE MADE AVAILABLE FROM OWNER. ALL EARTHWORK SHALL BE PERFORMED IN CONFORMANCE WITH EXCAVATIONS & FILLS - CHAPTER 33 OF THE LOS ANGELES BUILDING CODE OR EQUIVALENT LOCAL JURISDICTION. EXCAVATE FOR ALL FOUNDATIONS TO SHAPES & DEPTHS AS INDICATED ON THE FOUNDATION DETAILS. ALL FOUNDATIONS SHALL REAR ON FIRM UNDISTURBED SOIL OR APPROVED ENGINEERED FILL. VERIFY THAT SURVEY BENCHMARK AND INTENDED ELEVATIONS FOR WORK ARE AS INDICATED. ALL FINISH GRADES TO SLOPE AWAY FROM BUILDING FOOTINGS U.N.O. (2% MIN). LANDSCAPING PER LBMC 21.42.030 REQUIRE ALL YARDS AND SETBACK AREAS TO BE ATTRACTIVELY LANDSCAPED PRIMARILY WITH LIVE PLANT MATERIAL. ALL LANDSCAPED AND PAVED AREAS SHALL BE MAINTAINED IN A NEAT AND ORDERLY CONDITION WITH HEALTHY LANDSCAPING FREE OF WEEDS AND LITTER. PER LBMC SECTION 21.42.060 ONE TREE SHALL BE REQUIRED EVERY 25FT OF STREET FRONTRAGE WHERE POSSIBLE. SEPARATE PERMITS ARE REQUIRED FOR FENCES, RETAINING WALLS, FOUNDATIONS AND PLANTERS. 	<p>ULTRA-UNIT Architectural Studio Design and Construction 562.987.0971 www.ultra-unit.com</p> <p>Team: Cameron Crockett, Architect/Contractor Ultra-Unit Architectural Studio 1327 Loma Avenue Long Beach, California 90804 L. 562.987.0971 e. cameron@ultra-unit.com</p> <p>David Choi, Structural Engineer David Choi and Associates 1327 Loma Avenue Long Beach, California 90804 L. 562.987.8640 e. dchoi@dc-a.com</p> <p>Architect Stamp: LICENSED ARCHITECT CAMERON CROCKETT C13103 L312017 KIRKLAND & ASSOCIATES STATE OF CALIFORNIA Date: 1-15-16</p> <p>Project: STACEY RESIDENCE 2525 5TH STREET, LONG BEACH CA, 90814 Client Name: STACEY</p> <p>Rewards:</p> <table border="1"> <thead> <tr> <th>No.</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td></td> <td></td> <td></td> </tr> </tbody> </table> <p>Sheet Name: EXISTING/DEMO PLAN</p> <p>Sheet Number: A0.4</p> <p>Project Number: 14-1014 Drawn By: Author Checked By: Checker Scale: As indicated</p> <p>2/2016 3:51:08 PM Z: 2016 PROJECTS\14-1014\2525 E 5TH - STACEY\PRINT2245 E 5TH - STACEY.DWG</p>	No.	Description	Date												
No.	Description	Date															



NOTES:

- FLUSH VOLUMES FOR LOW CONSUMPTION AND WATER-SAVER WATER CLOSETS SHALL BE PROVIDED WITH A MAX. 1.28 GALLONS OF WATER FLUSH. PER CPC 402.1.402.
- WATER HEATER SHALL BE STRAPPED TO WALL AT POINTS WITHIN THE UPPER 1/3 AND LOWER 1/3 OF ITS VERTICAL DIMENSIONS WITH THE LOWER A MIN. 4" ABOVE THE CONTROLS. PER CPC 508.2.1
- GARAGE DOOR EXTENSIONS SPRINGS SHALL BE FABRICATED FROM EITHER HARD DRAWN-SPRING WIRE OR OIL TEMPERED WIRE AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS. PER CBC 1211
- EXTERIOR WALLS WITH A FIRE SEPARATION DISTANCE LESS THAN 5 FEET SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 1-HR WITH EXPOSURE FROM BOTH SIDES. PER TABLE R302.1 IN CRC SECT. R302.1
- CYPSUM WALLBOARD (DRYWALL):
 - A. ALL GYPSUM WALLBOARD SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN THE CURRENT EDITION OF THE CBC AND APPLICABLE AGENCIES
 - B. GYPSUM WALLBOARD SHALL NOT BE INSTALLED UNTIL WEATHER PROTECTION FOR THE INSTALLATION IS PROVIDED.
- C. SINGLE-PLY APPLICATION:
 - A. THE EDGES AND ENDS OF GYPSUM WALLBOARD SHALL OCCUR ON THE FRAMING MEMBERS, EXCEPT THOSE EDGES AND ENDS THAT ARE PERPENDICULAR TO THE FRAMING MEMBERS. ALL EDGES AND ENDS OF GYPSUM WALLBOARD SHALL BE IN MODERATE CONTACT EXCEPT IN CONCEALED SPACES WHERE FIRE-RESISTIVE CONSTRUCTION OR OA-PHARM ACTION IS NOT REQUIRED.
- D. THE SIZE AND SPACING OF FASTENERS SHALL COMPLY WITH THE CURRENT EDITION OF THE CBC EXCEPT WHERE MODIFIED BY FIRE-RESISTIVE CONSTRUCTION. FASTENERS SHALL NOT BE SPACED LESS THAN 3/8 INCH EDGES AND ENDS OF GYPSUM WALLBOARD. FASTENERS AT THE TOP AND BOTTOM PLATED OF VERTICAL ASSEMBLIES, OR THE EDGES AND ENDS OF HORIZONTAL ASSEMBLIES PERPENDICULAR TO SUPPORTS, AND AT THE WALL LINE MAY BE OMITTED EXCEPT ON SHEAR-RESISTING ELEMENTS OR FIRE-RESISTIVE ASSEMBLIES. FASTENERS SHALL BE APPLIED IN SUCH A MANNER AS NOT TO FRACTURE THE FACE PAPER WITH THE FASTENER HEAD.
- E. WATER-RESISTANT GYPSUM BOARD SHALL NOT BE USED IN THE FOLLOWING LOCATIONS:
 - OVER A VAPOR RETARDER
 - IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY, SUCH AS SAUNAS, STEAM ROOMS OR GANG SHOWERS, POOL DECKS, ETC.
 - ON CEILINGS WHERE FRAME SPACING EXCEEDS 12 INCHES IN CENTER
- F. PROVIDE 5/8" GYPSUM WALLBOARD @ ALL INTERIOR WALLS U.N.O. AND 1/2" GYPSUM WALLBOARD @ ALL INTERIOR CEILINGS. U.N.O.
- G. ALL GYPSUM WALLBOARD SHALL HAVE THE FOLLOWING:
 - AT JOINTS: PROVIDE PERFORATED TAPE, BEDDING & TAPING COMPOUND FINISHED SMOOTH @ ALL JOINTS. PROVIDE BULL NOSED CORNERS @ ALL INTERIOR CORNERS
 - FINISH: WALLS SHALL HAVE A SMOOTH OR LIGHT ORANGE PEAL FINISH
- H. LINOLEUM MATERIALS, COLOR & FINISH SHALL BE SELECTED & APPROVED BY THE OWNER. FLOORING SUB-CONTRACTOR SHALL FURNISH, INSTALL & FINISH ALL FLOORING WORK TO BE TRUE & PLUMB. INSTALL PER MANUFACTURERS INSTALLATION INSTRUCTIONS.
- I. TILE FLOORING: THE OWNER SHALL SELECT ALL FLOOR TILE & COLORS. ALL TILE MATERIALS SHALL BE INSTALLED LATEX-PORTLAND CEMENT MORTAR SET. NO HIN-SET TILE APPLICATIONS WILL BE ALLOWED. CONTRACTOR SHALL SUPPLY ALL MATERIALS, PREP. AND INSTALL.
- J. ALL AREAS & INSTALL ALL CERAMIC TILE MATERIALS IN STRICT CONFORMANCE WITH THE LATEST EDITION OF THE AMERICAN TILE INSTITUTE, HANDBOOK FOR TILE INSTALLATION.
- K. PAINTING:
 - A. ALL PAINT SHALL BE DUNN EDWARDS, OR AN APPROVED EQUAL. COLORS SHALL BE SELECTED BY THE OWNER
 - B. CLEAN & PREP ALL SURFACES PRIOR TO PAINTING

1. INTERIOR DRYWALL (FLAT)	2 COATS FLAT WALL PAINT OVER 1 COAT OF PRIMER
2. INTERIOR DRYWALL (SEMI-GLOSS)	2 COATS OF SEMI-GLOSS ACRYLIC OVER 1 COAT PRIMER
3. INTERIOR WOOD (PAINTED)	2 COATS SEMI-GLOSS ENAMEL OVER 1 COAT TINTED UNDERCOAT
4. INTERIOR WOOD (STAINED)	2 COATS SATIN FINISH STAIN OVER 1 COAT TINTED UNDERCOAT.
5. EXTERIOR METAL (PAINT)	2 COATS EXTERIOR LATEX ENAMEL OVER 1 COAT EXT. LATEX PRIMER.
6. EXTERIOR METAL (PAINT)	2 COATS SEMI-GLOSS ENAMEL 1 COAT RUST-INHIBITIVE PRIMER (DELETE PRIMER @ SHOP-PRIMED METAL)
7. MISCELLANEOUS PAINTING ITEMS	FLASHING, VENT PIPES, ROOF JACKS VENTS & ALL OTHER SHEET METAL PAINT TO MATCH ADJACENT SURFACES
 - C. FINISH CARPENTRY & CABINETRY. ALL WOOD & PLASTIC LAMINATE TYPES, COLORS & FINISHES SHALL BE SELECTED & APPROVED BY THE OWNER
- L. PERMITTED PROJECTIONS WITH A FIRE SEPARATION DISTANCE OF LESS THAN 5 FEET SHALL HAVE NO LESS THAN 1-HR FIRE-RESISTIVE CONSTRUCTION ON THE UNDERSIDE PER TABLE R302.1
- M. PROJECTIONS BEYOND THE EXTERIOR WALL SHALL COMPLY WITH TABLE R302.1 AND SHALL NOT EXCEED TO A POINT CLOSER THAN 2 FEET FROM EXTERIOR LOT LINE
- N. OPENINGS IN EXTERIOR WALLS OF NON-SPRINKLED BUILDING AT LEAST 3 FEET BUT NOT LESS THAN 5 FEET FIRE SEPARATION DISTANCE SHALL NOT EXCEED 25% PERCENT OF THE WALL AREA PER TABLE R302.1

CALIFORNIA PLUMBING NOTES:

- RESIDENTIAL BUILDINGS UNDERGOING PERMITTED ALTERATIONS, ADDITIONS OR IMPROVEMENTS SHALL REPLACE NONCOMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURE REQUIREMENTS SHALL BE BASED ON THE CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL. PER CALGreen 4.301.1
- PLUMBING FIXTURES (WATER CLOSETS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL COMPLY WITH CALGREEN WATER CONSERVING REQUIREMENTS. PER CALGreen 4.302.1
- THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.2 GPM PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR TANK-TYPE TOILETS. PER CALGreen 4.303.1.1
- THE EFFECTIVE FLOW VOLUME FOR URINALS SHALL NOT EXCEED 0.6 GAL. PER FLUSH. PER CALGreen 4.303.2
- SINKS AND SHOWERHEADS SHALL NOT EXCEED A MAXIMUM FLOW RATE OF MORE THAN 2.0 GPM PER MINUTE AT 60 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR SHOWER HEADS. PER CALGreen 4.303.1.3.1
- WHEN THE SHOWERHEAD IS USED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE ON ALL SHOWERHEADS AND SHOWERHEADS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GPM PER MINUTE AT 60 PSI. OR THE SHOWER DESIGNED TO ALLOW ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. PER CALGreen 4.303.1.3.2
- THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.0 GAL. PER MINUTE AT 60 PSI. THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT BE LESS THAN 0.8 GAL. PER MINUTE AT 20 PSI. PER CALGreen 4.303.1.4.1
- THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.0 GAL. PER MINUTE AT 60 PSI. KITCHEN FAUCETS SHALL NOT EXCEED 1.0 GPM. FAUCETS SHALL NOT EXCEED 2.0 GPM PER MINUTE AT 60 PSI AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.0 GPM PER MINUTE AT 60 PSI. WHERE COMPLIANT FAUCETS ARE UNAVAILABLE, AERATORS OR OTHER MEANS MAY BE USED TO ACHIEVE REQUIREMENT. PER CALGreen 4.303.1.4.2
- SINKS, SHOWERHEADS AND FAUCETS FOR PLUMBING FIXTURES (WATER CLOSETS) AND FITTINGS (FAUCETS AND SHOWERHEADS) TO VERIFY WATER CONSERVATION.
 - WATER CLOSETS: PER CALGreen 4.303.1.1
 - SINGLE SHOWERHEADS: PER CALGreen 4.303.1.3.1
 - SHOWERHEADS: PER CALGreen 4.303.1.3.2
 - BATHROOM LAVATORY SINK FAUCETS: PER CALGreen 4.303.1.4.1
 - KITCHEN FAUCET: PER CALGreen 4.303.1.4.4

CALIFORNIA ENERGY CODE NOTES:

- WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80% OF FLOOR AREA SHALL COMPLY WITH THE VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-Emitting MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COATING INSTITUTE (RFCI) FLOOR SCORE PROGRAM. PER CALGreen 4.504
- PARTICLE BOARD, MDF, AND HARDCOAT FIBERBOARD (MDF) AND HARDCOAT FIBERBOARD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH THE LOW FORMALDEHYDE EMISSIONS STANDARDS. PER CALGreen 4.504.5
- PROVIDE DETAILS FOR THE INSTALLATION OF VAPOR RETARDER AND CAPILLARY BREAK FOR SLAB ON GRADE FOUNDATIONS. PER CALGreen 4.505.2
- MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALLS AND FLOOR FRAMINGS SHALL BE CHECKED AND VERIFIED TO BE LESS THAN 19% BEFORE ENCLOSURE PER CALGreen 4.505.3



Team:

Cameron Crockett - Architect/Contractor
Ultra-Unit Architectural Studio
1237 Loma Avenue
Long Beach, California 90804
t. 562.997.0971
e. cameron@ultra-unit.com

David Choi - Structural Engineer
David Choi and Associates
Long Beach, California 90804
t. 562.382.0404
e. david@dca-nr.com



STACEY RESIDENCE
2525 5TH STREET, LONG
LONG BEACH CA, 90814
STACEY

Project: Client Name:

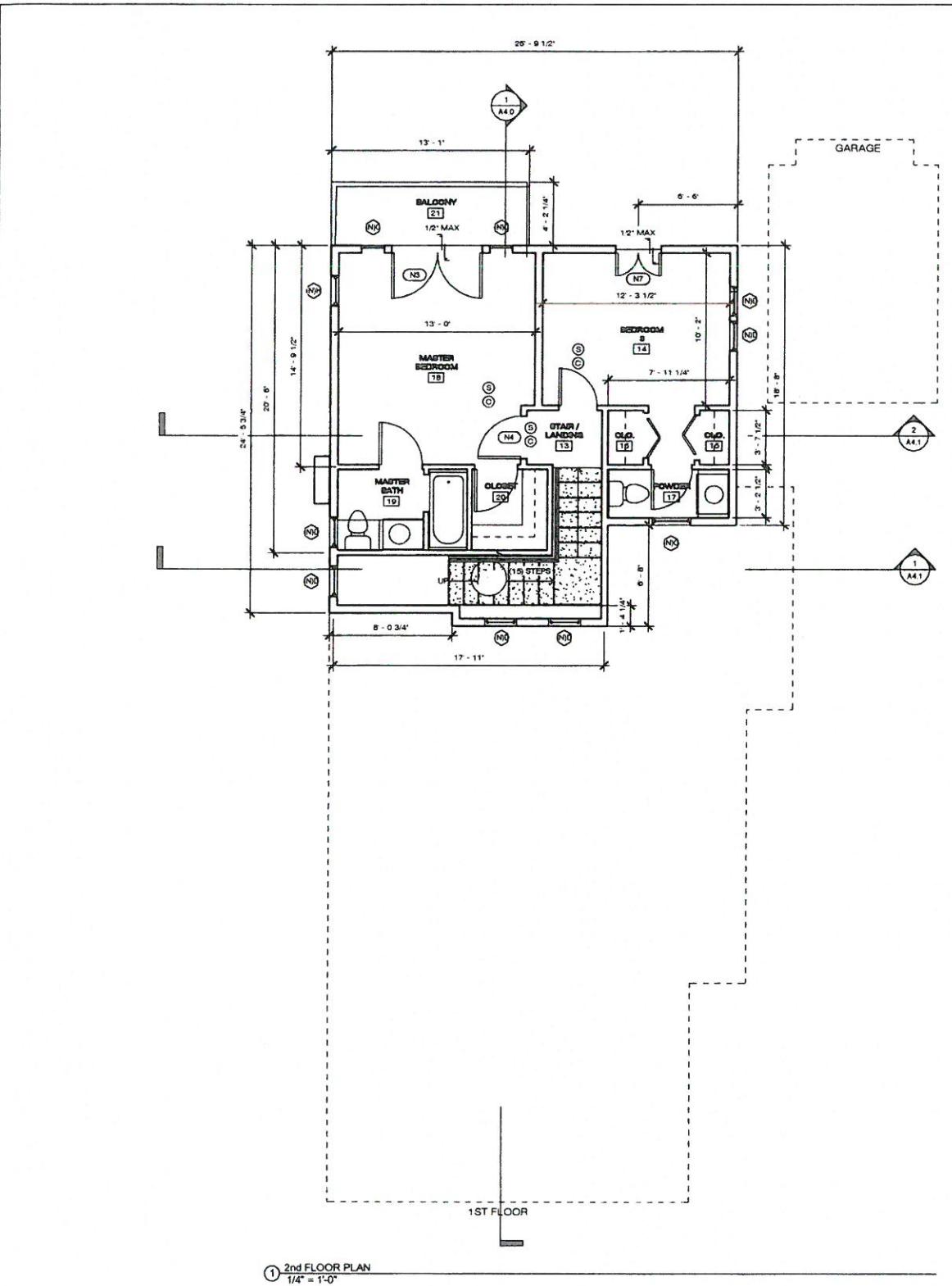
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PROPOSED FIRST FLOOR PLAN

Sheet Name:

A1.0

Sheet Number: A1.0
Project Number: 14-1014
Drawn By: Author
Checked By: Checker
Scale: As indicated
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1. FLUSH VOLUMES FOR LOW-CONSUMPTION AND WATER-SAVER WATER CLOSETS SHALL BE PROVIDED WITH A MAX. 1.26 GALLONS OF WATER. FLUSH PER CPC 402.1.402.2

2. WATER HEATER SHALL BE STRAPPED TO WALL AT POINTS WITHIN THE UPPER 1/3 AND LOWER 1/3 OF ITS VERTICAL DIMENSIONS WITH THE LOWER A MIN. 4" ABOVE THE CONTROLS. PER CPC 508.2.1

3. GARAGE DOOR EXTENSIONS SPRINGS SHALL BE FABRICATED FROM EITHER HARD DRAWN SPRING WIRE OR OIL TEMPERED WIRE AND INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS INSTRUCTIONS. PER CBC 1211

4. EXTERIOR WALLS WITH A FIRE SEPARATION DISTANCE LESS THAN 5 FEET SHALL HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 1-1/HR WITH EXPOSURE FROM BOTH SIDES. PER TABLE R302.1 IN CRC SECT. R302.1

5. GYPSUM WALLBOARD (DRYWALL)
A. ALL GYPSUM WALLBOARD SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN THE CURRENT EDITION OF THE CBC, AND APPLICABLE AGENCIES.

B. GYPSUM WALLBOARD SHALL NOT BE INSTALLED UNTIL WEATHER PROTECTION FOR THE INSTALLATION IS PROVIDED.

AC SINGLE-PLY APPLICATION
1. ALL EDGES AND ENDS OF GYPSUM WALLBOARD SHALL OCCUR ON THE FRAMING MEMBERS, EXCEPT THOSE EDGES AND ENDS THAT ARE PERPENDICULAR TO THE FRAMING MEMBERS. ALL EDGES AND ENDS OF GYPSUM WALLBOARD SHALL BE IN MODERATE CONTACT EXCEPT IN CONCEALED SPACES WHERE FIRE-RESISTIVE CONSTRUCTION OR DIA-BRAHMA ACTION IS NOT REQUIRED.

2. THE SIZE AND SPACING OF FASTENERS SHALL COMPLY WITH THE CURRENT EDITION OF THE CBC EXCEPT WHERE MODIFIED BY FIRE-RESISTIVE CONSTRUCTION. FASTENERS SHALL NOT BE SPACED LESS THAN 3/8 INCH EACH FROM EDGES AND ENDS OF GYPSUM WALLBOARD. FASTENERS AT THE TOP AND BOTTOM PLATES OF VERTICAL ASSEMBLIES, OR THE EDGES AND ENDS OF HORIZONTAL ASSEMBLIES PERPENDICULAR TO SUPPORTS, AND AT THE WALL LINE MAY BE OMITTED EXCEPT ON SHEAR-RESISTING ELEMENTS OR FIRE-RESISTIVE ASSEMBLIES. FASTENERS SHALL BE APPLIED IN SUCH A MANNER AS NOT TO FRACTURE THE FACE PAPER WITH THE FASTENER HEAD.

D. WHEN GYPSUM IS USED AS A BASE FOR TILE OR WALL PANELS FOR TUB, SHOWER OR WATER CLOSET COMPARTMENT WALLS, WATER-RESISTANT GYPSUM BACKING BOARD SHALL BE USED.

E. WATER-RESISTANT GYPSUM BOARD SHALL NOT BE USED IN THE FOLLOWING LOCATIONS:
1. OVER A VAPOR RETARDER
2. IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY, SUCH AS SAUNAS, STEAM ROOMS OR GANG SHOWER ROOMS.
3. ON CEILINGS WHERE FRAME SPACING EXCEEDS 12 INCHES ON CENTER.

F. PROVIDE 5/8" GYPSUM WALLBOARD @ ALL INTERIOR WALLS U.N.O. AND 1/2" GYPSUM WALLBOARD @ ALL INTERIOR CEILING SURFACES, U.N.O.

G. ALL GYPSUM WALLBOARD SHALL HAVE THE FOLLOWING:
1. AT JOINTS: PROVIDE PERFORATED TAPE, BEDDING & TAPING COMPOUND FINISHED SMOOTH @ ALL JOINTS. PROVIDE BULL NOSED CORNERS @ ALL INTERIOR CORNERS.

2. FINISH: WALLS SHALL HAVE A SMOOTH OR LIGHT ORANGE PEAL FINISH

H. LINOLEUM MATERIALS, COLOR & FINISH SHALL BE SELECTED & APPROVED BY THE OWNER. FLOORING SUB-CONTRACTOR SHALL FURNISH, INSTALL & FINISH ALL FLOORING WORK TO BE TRUE & PLUMB. INSTALL PER MANUFACTURERS INSTALLATION INSTRUCTIONS

I. TILE FLOORING: THE OWNER SHALL SELECT ALL FLOOR TILE & COLORS. ALL TILE MATERIALS SHALL BE INSTALLED LATEX-PORTLAND CEMENT MORTAR SET. NO HIN-SET TILE APPLICATIONS WILL BE ALLOWED. CONTRACTOR SHALL SUPPLY ALL MATERIALS, PREP, AND INSTALL.

J. ALL AREAS & INSTALL ALL CERAMIC TILE MATERIALS IN STRICT CONFORMANCE WITH THE LATEST EDITION OF THE AMERICAN TILE INSTITUTE, HANDBOOK FOR TILE INSTALLATION.

K. PAINTING
A. ALL PAINT SHALL BE "DUNN EDWARDS", OR AN APPROVED EQUAL. COLORS SHALL BE SELECTED BY THE OWNER.

B. CLEAN & PREP ALL SURFACES PRIOR TO PAINTING
1. INTERIOR DRYWALL (PLAT): ----- 2 COATS FLAT WALL PAINT OVER
1 COAT OF PRIMER.

2. INTERIOR DRYWALL (SEMI-GLOSS): ----- 2 COATS OF SEMI-GLOSS ACRYLIC
OVER 1 COAT PRIMER.

3. INTERIOR WOOD (PAINTED): ----- 2 COATS SEMI-GLOSS ENAMEL
OVER 1 COAT TINTED UNDERCOAT

4. INTERIOR WOOD (STAINED): ----- 2 COATS SATIN FINISH STAIN OVER
1 COAT TINTED UNDERCOAT

5. EXTERIOR WOOD (PAINT): ----- 2 COATS EXTERIOR LATEX
ENAMEL OVER COAT EXT. LATEX PRIMER.

6. EXTERIOR METAL (PAINT): ----- 2 COATS SEMI-GLOSS ENAMEL 1
COAT RUST-INHIBITIVE PRIMER (DELETE PRIMER @ SHOP-PRIMED METAL)

7. MISCELLANEOUS PAINTING ITEMS: ----- FLASHING, VENT PIPES, ROOF
JACK VENTS & ALL OTHER SHEET METAL
PAINT TO MATCH ADJACENT SURFACES

L. FINISH CARPENTRY & CABINETRY: ALL WOOD & PLASTIC LAMINATE TYPES, COLORS & FINISHES SHALL BE SELECTED & APPROVED BY THE OWNER

M. PERMITTED PROJECTIONS WITH A FIRE SEPARATION DISTANCE OF LESS THAN 5 FEET SHALL HAVE NO LESS THAN 1-HR FIRE-RESISTIVE CONSTRUCTION ON THE UNDERSIDE PER TABLE R302.1

N. PROJECTIONS BEYOND THE EXTERIOR WALL SHALL COMPLY WITH TABLE R302.1 AND SHALL NOT EXTEND TO A POINT CLOSER THAN 2 FEET FROM EXTERIOR LOT LINE.

O. OPENINGS IN EXTERIOR WALLS OF NON-SPRINKLED BUILDING AT LEAST 3 FEET BUT NOT LESS THAN 5 FEET FIRE SEPARATION DISTANCE SHALL NOT EXCEED 25% PERCENT OF THE WALL AREA PER TABLE R302.1

Calgreen PLUMBING NOTES

1. RESIDENTIAL BUILDINGS UNDERGOING PERMITTED ALTERATIONS, ADDITIONS OR IMPROVEMENTS SHALL REPLACE NONCOMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURE REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION. CERTIFICATE OF OCCUPANCY OR USE PERMIT IS NOT REQUIRED.

2. PLUMBING FIXTURES (WATER CLOSETS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL COMPLY WITH CALGREEN WATER CONSERVATION REQUIREMENTS. PER CALgreen 4.303.1

3. THE EFFECTIVE PLUSH VOLUME FOR ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GAL. PER PLUSH, TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED BY THE PERFORMANCE CRITERIA ON THE U.S. EPA WATERSENSE SPECIFICATION FOR TANK-TYPE FAUCETS. PER CALgreen 4.303.1.1

4. THE EFFECTIVE PLUSH VOLUME FOR URINALS SHALL NOT EXCEED 0.5 GAL. PER PLUSH. PER CALgreen 4.303.2

5. SHOWER HEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 2.0 GAL. PER MINUTE AT 60 PSI. SHOWER HEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR SHOWERHEADS. PER CALgreen 4.303.3

6. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE ON ALL SHOWERHEADS AND SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GAL. PER MINUTE AT 60 PSI OR THE SHOWER DESIGNED TO ALLOW ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. PER CALgreen 4.303.4

7. THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.5 GAL. PER MINUTE AT 60 PSI. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.6 GAL. PER MINUTE AT 20 PSI. PER CALgreen 4.303.4.1

8. THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GAL. PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY OPERATE IN A FLOW RATE ABOVE THE MAXIMUM RATE, BUT NOT EXCEED 1.8 GAL. PER MINUTE AT 60 PSI AND MUST DEFAULT TO THE MAXIMUM FLOW RATE OF 1.8 GAL. PER MINUTE AT 60 PSI. **NOTE:** WHERE COMPATIBLE, FAUCETS ARE AVAILABLE 4.694ATORS OR OTHER MEANS MAY BE USED TO ACHIEVE RESOLUTION. PER CALgreen 4.303.4.4

9. SHOWERHEADS AND SHOWEROUTLETS ARE REQUIRED TO VERIFY PLUMBING FIXTURES (WATER CLOSETS) AND FITTINGS (FAUCETS AND SHOWERHEADS) TO VERIFY WATER CONSERVATION

A. WATER CLOSET, PER CALgreen 4.303.1.1
B. SHOWERHEAD, PER CALgreen 4.303.3.1
C. MULIT-HEAD SHOWERHEAD, PER CALgreen 4.303.3.2
D. BATHROOM LAVATORY, SINK FAUCET, PER CALgreen 4.303.1.4.1
E. KITCHEN FAUCET, PER CALgreen 4.303.1.4.4

Calgreen ENERGY

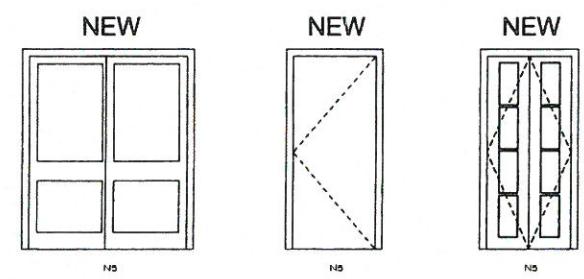
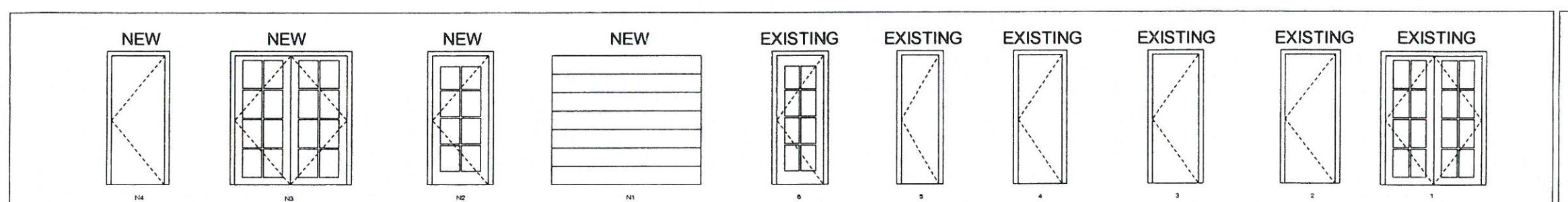
1. WHERE RESILIENT FLOORING IS INSTALLED, AT LEAST 80% OF FLOOR AREA SHALL COMPLY WITH THE VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-Emitting MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COATING INSTITUTE (RFCI) FLOOR SCORE PROGRAM. PER CALgreen 4.504.4

2. PARTICLE BOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH "S" LAYERS SHALL NOT EXCEED THE FORMALDEHYDE EMISSIONS AND DENSITY. PER CALgreen 5.504.2

3. PROVIDE DETAILS FOR THE INSTALLATION OF VAPOR RETARDER AND CAPILLARY BREAK FOR SLAB ON GRADE FOUNDATIONS. PER CALgreen 4.505.2

4. MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALLS AND FLOOR FRAMINGS SHALL BE CHECKED AND VERIFIED TO BE LESS THAN 15% BEFORE ENCLOSURE. PER CALgreen 4.505.3



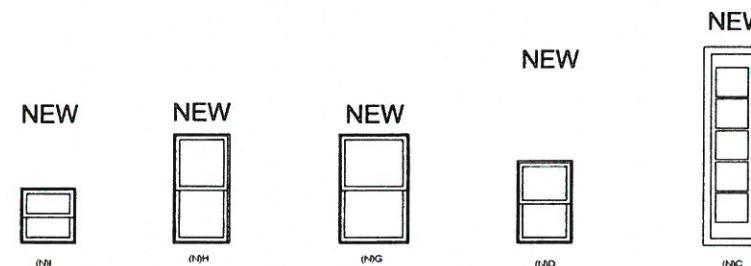
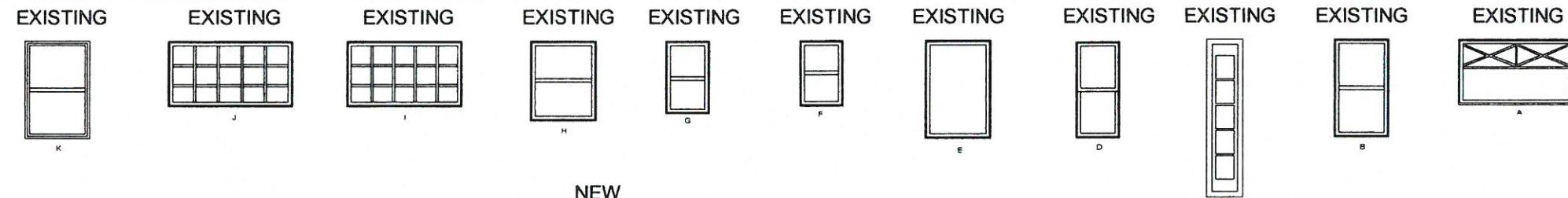


DOORS

1. EXTERIOR DOORS: FRAME & HARDWARE SHALL BE APPROVED, STYLE AND COLOR TO BE SELECTED BY OWNER AND INSTALLED BY CONTRACTOR.
2. INTERIOR DOORS: SHALL BE "MASONITE" / COVENTRY WITH PAINTED FINISH PER PLANS.
3. ALUMINUM TO BE IN CONTACT WITH WOOD, CONCRETE OR MASONRY CONSTRUCTION, EXCEPT WHERE EMBEDDED INTO CONCRETE, SHALL RECEIVE A COAT OF ZINC CHROMATE PRIMER AND PAINT (REF ID: U-P-645) PRIOR TO INSTALLATION. DO NOT THIN ALKALI-RESISTANT BITUMINOUS PAINT.
4. ALUMINUM SURFACES EMBEDDED INTO CONCRETE SHALL RECEIVE A COAT OF ZINC CHROMATE PRIMER PER FEDERAL SPECIFICATION TT-P-645 OR APPROVED EQUAL.
5. SHOWER DOORS ENCLOSURES AND TUB ENCLOSURES:
A. ALL GLASS DOORS AND GLASS ENCLOSURE SHALL BE TEMPERED GLASS.
B. ALL HINGED SHOWER DOORS SHALL SWING OPEN OUTWARD
C. INSTALLER MANUFACTURER INSTALLATION INSTRUCTIONS AND DETAILS NEATLY CAULK AS REQUIRED FOR WATER TIGHT INSTALLATION

Door Schedule										
Mark	Height	Width	Count	Function	Finish	Manufacturer	Comments	Phase Created	Ufactor	SH GC
1	7'-0"	5'-2"	1	Exterior	WOOD - STAINED			Existing		
2	7'-0"	2'-8"	1	Interior	WOOD - STAINED			Existing		
3	7'-0"	2'-6"	2	Interior	WOOD - STAINED			Existing		
4	7'-0"	2'-4"	3	Interior	WOOD - STAINED			Existing		
5	7'-0"	2'-0"	4	Interior	WOOD - STAINED			Existing		
6	7'-0"	2'-6"	1	Interior	WOOD - STAINED			New Construction		
N1	7'-0"	8'-0"	2	Exterior	WOOD - STAINED			New Construction		
N2	7'-0"	3'-0"	1	Interior	WOOD - STAINED			New Construction		
N3	7'-0"	6'-0"	4	Interior	WOOD - STAINED			New Construction		
N4	7'-0"	2'-10"	2	Interior	WOOD - STAINED			New Construction		
N5	7'-0"	3'-0"	1	Exterior	WOOD - STAINED			New Construction		
N6	7'-0"	3'-0"	1	Exterior	WOOD - STAINED			New Construction		
N7	7'-0"	3'-0"	1	Exterior	WOOD - STAINED			New Construction		
N9	7'-0"	2'-10"	1	Interior	WOOD - STAINED			New Construction		
N10	7'-0"	2'-8"	1	Interior	WOOD - STAINED			New Construction		
N11	7'-0"	2'-6"	1	Interior	WOOD - STAINED			New Construction		
N12	7'-0"	3'-0"	1	Interior	WOOD - STAINED			New Construction		
N13	7'-0"	3'-0"	1	Interior	WOOD - STAINED			New Construction		
N14	7'-0"	2'-10"	1	Interior	WOOD - STAINED			New Construction		

Grand total: 29



WINDOWS

1. ALL EMERGENCY ESCAPE AND RESCUE WINDOWS FROM SLEEPING ROOMS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5' 7 1/2 IN. THE MINIMUM NET CLEAR OPENING DIMENSION SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES, WHERE WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE. THEY SHALL HAVE A FINISHED SILL HEIGHT NOT MORE THAN 44 INCHES ABOVE THE FLOOR.
2. STANDARDS: REFER TO TITLE 24 REQUIREMENTS & ENERGY SUMMARY ON THE T-24 SHEET FOR ADDITIONAL NOTES, STANDARDS & REQUIREMENTS.
3. REFER TO FLOOR PLANS AND SCHEDULES FOR SIZE AND CONFIGURATION. COLOR SHALL BE SELECTED AND APPROVED BY OWNER.
4. ALL WINDOWS SHALL BE 100% WOOD FRAME PAINTED WHITE, DUAL GLAZED WINDOWS OR AN APPROVED EQUAL. INSTALL ALL WINDOWS PER MANUFACTURERS INSTALLATION INSTRUCTIONS, SPECIFICATIONS AND DETAILS.
5. GLAZING:
A. SHALL COMPLY WITH CHAPTER 24 OF THE UBC & ALL FEDERAL REQUIREMENTS.
B. PROVIDE TEMPERED GLASS IN ALL DOORS, ALL WET AREAS & WHERE REQUIRED BY CODE OR BY THE PLAN
C. IDENTIFICATION OF SAFETY GLAZING SHALL BE IN ACCORDANCE WITH SEC. R308.1
6. SAFETY GLAZING SHALL BE CONFORM TO THE HUMAN IMPACT LOADS OF SECTION R308.3 AND P308.4
7. FIXED AND OPERABLE PANELS OF SWINGING DOOR ASSEMBLY.
8. IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSE POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE.
9. FIXED OR OPERABLE PANEL EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQ.FT.
10. FIXED OR OPERABLE PANEL BOTTOM EDGE LESS THAN 36" ABOVE THE FLOOR, TOP EDGE GREATER THAN 36" ABOVE THE FLOOR.
11. GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOL, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A WALKING SURFACE AND WITHIN 60" MEASURED HORIZONTALLY OF THE GLAZING.
12. GLAZING WITHIN 60" OF TUB OR SHOWER BOTTOM SHALL BE FULLY TEMPERED.
13. GLAZING IN WALLS AND FENCES ADJACENT TO INDOOR AND OUTDOOR SWIMMING POOL, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE A WALKING SURFACE AND WITHIN 60" MEASURED HORIZONTALLY OF THE GLAZING.
14. HARDWARE (LIFTS AND CATCH) TO BE DETERMINED.
15. SKYLIGHTS AND SLOPED GLAZING SHALL COMPLY WITH SECTION R308.6

Window Schedule												
Type	Mark	Count	Width	Height	Phase Created	Operation	Sill Height	Manufacturer	Model	Comments	UFactor	SHGC
(N/A)	2	2'-0"	4'-5"	New Construction				WOOD - 100%	0.32	0.25		
(N/B)	1	3'-0"	4'-6"	New Construction			2'-3 3/4"	WOOD - 100%	0.32	0.25		
(N/C)	4	1'-6"	7'-0"	New Construction				WOOD - 100%	0.32	0.25		
(N/D)	8	2'-0"	3'-0"	New Construction				WOOD - 100%				
(N/G)	2	2'-6"	4'-0"	New Construction			4'-0"	WOOD - 100%				
(N/H)	1	2'-0"	4'-0"	New Construction			2'-7 1/2"	WOOD - 100%	0.32	0.25		
(N/J)	2	2'-0"	2'-0"	New Construction			4'-9"	WOOD - 100%	0.32	0.25		
A	1	5'-4"	4'-6"	Existing			2'-2"	WOOD - 100%				
B	5	2'-6"	4'-6"	Existing				WOOD - 100%				
C	2	1'-2"	7'-0"	Existing				WOOD - 100%				
D	2	2'-0"	4'-5"	Existing				WOOD - 100%				
E	1	3'-0"	4'-6"	Existing			2'-9 1/4"	WOOD - 100%				
F	2	2'-0"	3'-0"	Existing			5'-8"	WOOD - 100%				
G	1	2'-0"	3'-4"	Existing			3'-4"	WOOD - 100%				
H	1	3'-0"	3'-8"	Existing			3'-4"	WOOD - 100%				
I	1	5'-4"	3'-0"	Existing			3'-8"	WOOD - 100%				
J	1	5'-8"	3'-0"	Existing			3'-8"	WOOD - 100%				
K	1	3'-0"	3'-0"	Existing			3'-4"	WOOD - 100%				
L	1	1'-6"	1'-6"	Existing			5'-5"	WOOD - 100%				
M	3			Existing				WOOD - 100%				
N	2	2'-10"	4'-6"	Existing			2'-4"	WOOD - 100%				

Grand total: 44

ULTRA-UNIT LEED
Design and Construction
Cameron Crockett MA LEED
www.ULTRA-UNIT.com
562.997.0971

Team
Cameron Crockett - Architect/Contractor
Ultra-Unit Architectural Studio
1327 Loma Avenue
Long Beach, California 90804
L: 562.997.0971
e. cameron@ultra-unit.com

David Choi - Structural Engineer
David Choi and Associates
1327 Loma Avenue
Long Beach, California 90804
L: 562.382.8040
e. david@dcas-se.com



1-15-16

STACEY RESIDENCE
2525 5TH STREET LONG BEACH CA, 90814
Client Name: STACEY
Project: STACEY RESIDENCE
Architect: STACEY

Revisions
No. Description Date

Sheet Name:

PROPOSED DOOR AND WINDOW SCHEDULE

Sheet Number:

A1.4

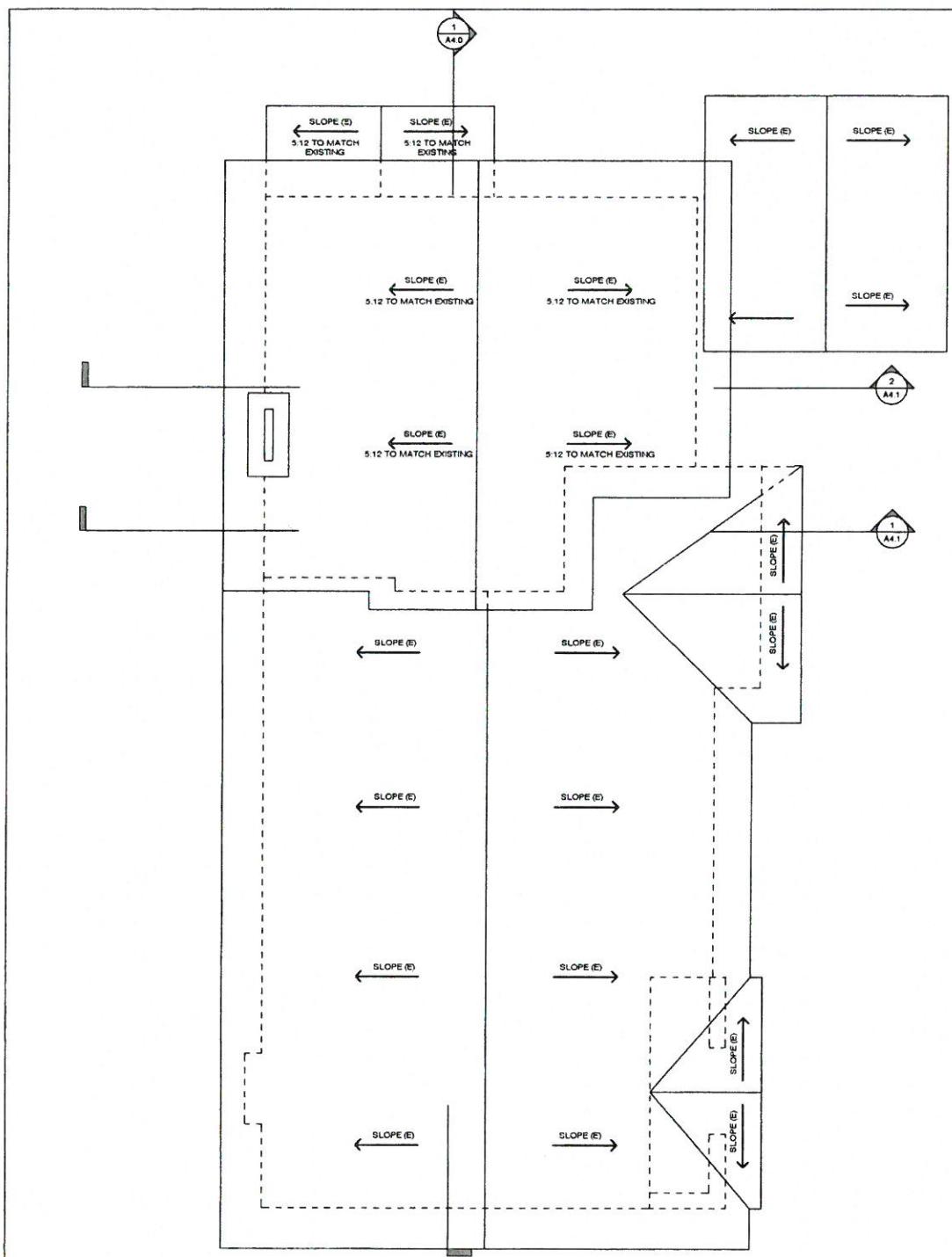
Project Number: 14-1014

Drawn By: Author

Checked By: Checker

Scale: As indicated

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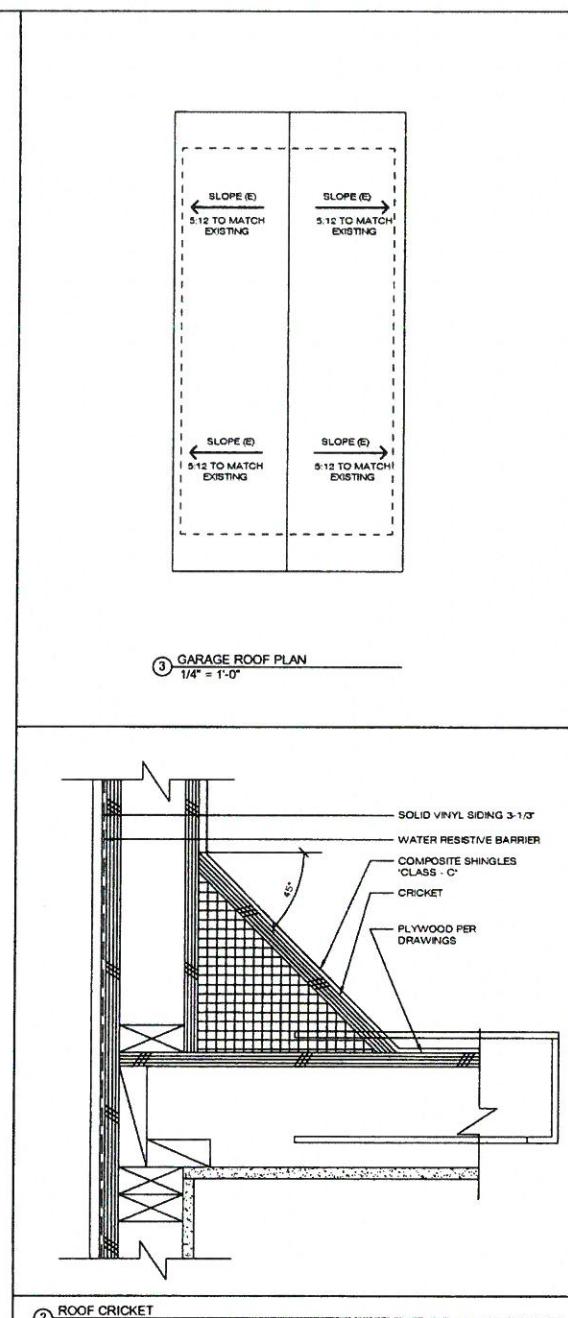


① 11 ABS. MAX. HT.
1/4" = 1'-0"

LEGEND



AREA OF ADDITION (NEW SO. FT.)



③ GARAGE ROOF PLAN
1/4" = 1'-0"

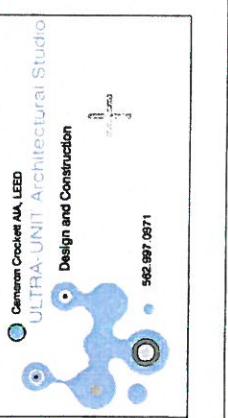
② ROOF CRICKET
3" = 1'-0"

NOTES

1. SYSTEM SHALL BE SIZED FOR MIN. RAIN INTENSITY OF 3" PER HOUR.
2. ROOF DRAIN AND OVERFLOW DRAIN MUST MAINTAIN INLET FLOW LINES TO THE YARDBOX PROPERTY.
3. ROOF DRAINS ARE NOT PERMITTED TO FLOW OVER PUBLIC PROPERTY.
4. SECONDARY ROOF DRAINS HAVING THE SAME SIZE AS THE PRIMARY ROOF DRAINS SHALL BE INSTALLED WITH THE INLET FLOW LINE LOCATED A MIN. 2' ABOVE THE LOW POINT OF THE ROOF.
5. SHOULD THREE PARALLEL WALLS ADJACENT TO THE LOW POINT OF THE ROOF MAY BE USED AS SECONDARY ROOF DRAINS, SCUPPER OPENINGS SHALL BE A MIN. OF 4" HIGH AND HAVE A WIDTH EQUAL TO THE CIRCUMFERENCE OF THE ROOF DRAIN REQUIRE FOR THE AREA SERVED.

DRAIN SIZE PER TABLE 11-1 CPC
ROOF AREA: 1,442 SQ.FT.
DRAIN SIZE: 3"

6. A CLASS A' ROOF IS REQUIRED PER CITY CODE SECTION 1503.6 O/2 LAYER OF 15# FELT OR PLYWOOD SHEATHING



www.ULTRA-UNIT.com

Team
Cameron Crockett - Architect/Contractor
Ultra-Unit Architectural Studio
1227 Loma Avenue
Long Beach, California 90804
t: 562.997.0971
e: cameron@ultra-unit.com

David Choi - Structural Engineer
David Choi & Associates
1227 Loma Avenue
Long Beach, California 90804
t: 562.382.6040
e: david@dcas-ae.com

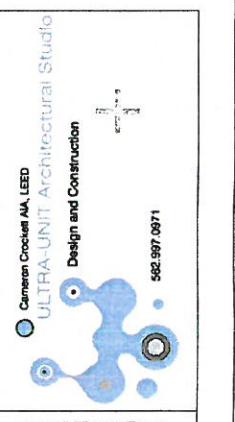
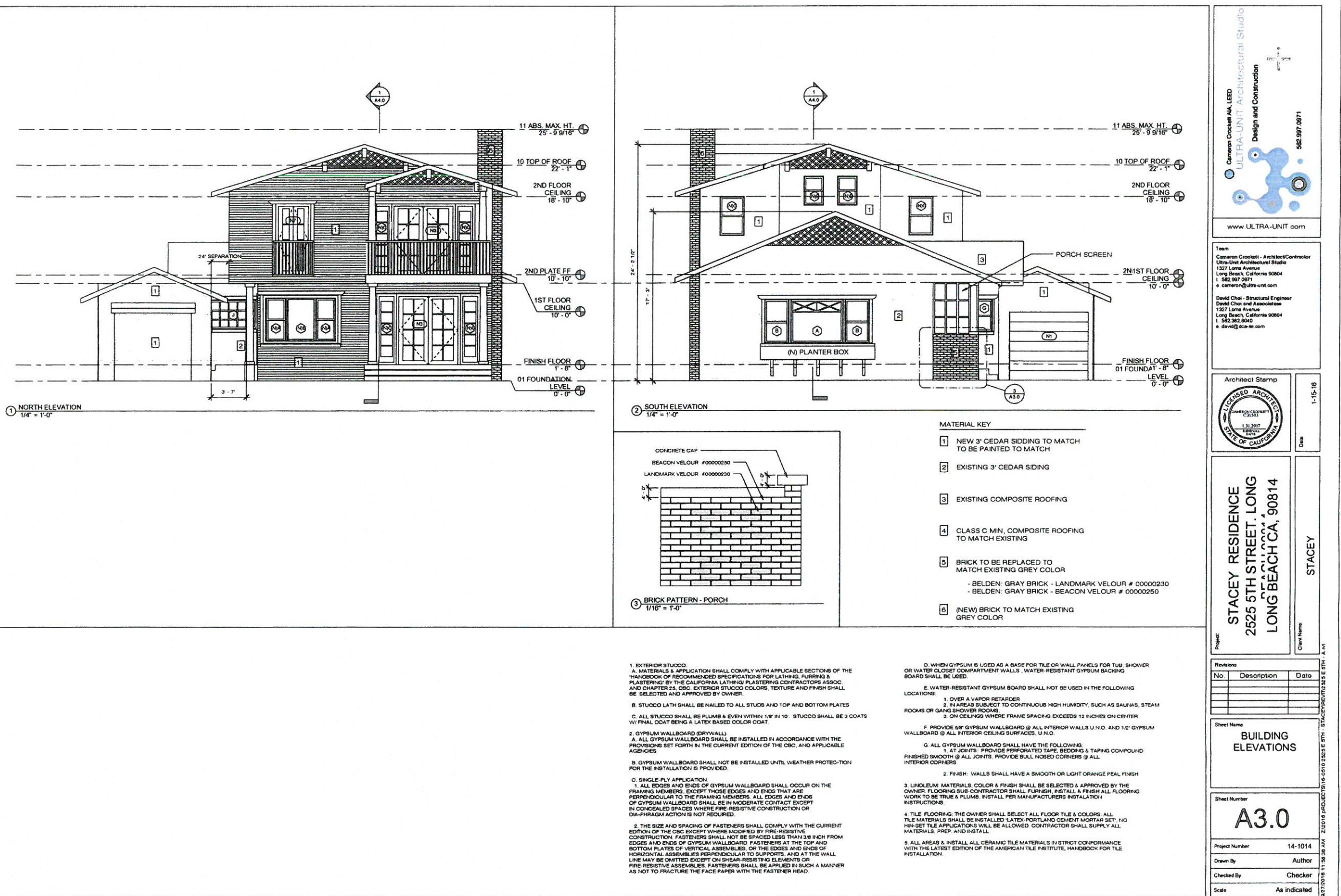


Project: STACEY RESIDENCE
2525 5TH STREET, LONG
BEACH CA, 90814
Client Name: STACEY
Date: 1-15-18

Revisions		
No.	Description	Date

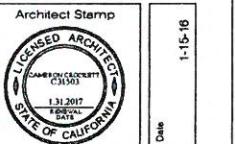
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Sheet Number: A1.5

Project Number: 14-1014
Drawn By: Author
Checked By: Checker
Scale: As indicated
Date: 2/20/2018 3:31:10 PM
Z:\\2018\\PROJECTS\\14-1014\\2525 E 5TH - STACEY\\REV0255 E 5TH - STACEY



Team
Cameron Crockett - Architect/Contractor
Cameron Crockett Architectural Studio
1327 Long Avenue
Long Beach, California 90804
I: 562.997.0971
e: cameron@ultra-unit.com

David Choi - Structural Engineer
David Choi and Associates
1327 Long Avenue
Long Beach, California 90804
I: 562.363.8040
e: david@dc-a-ae.com

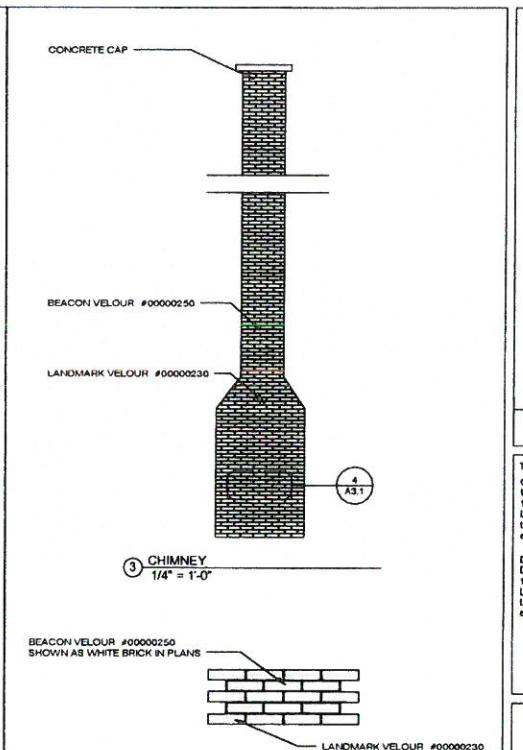
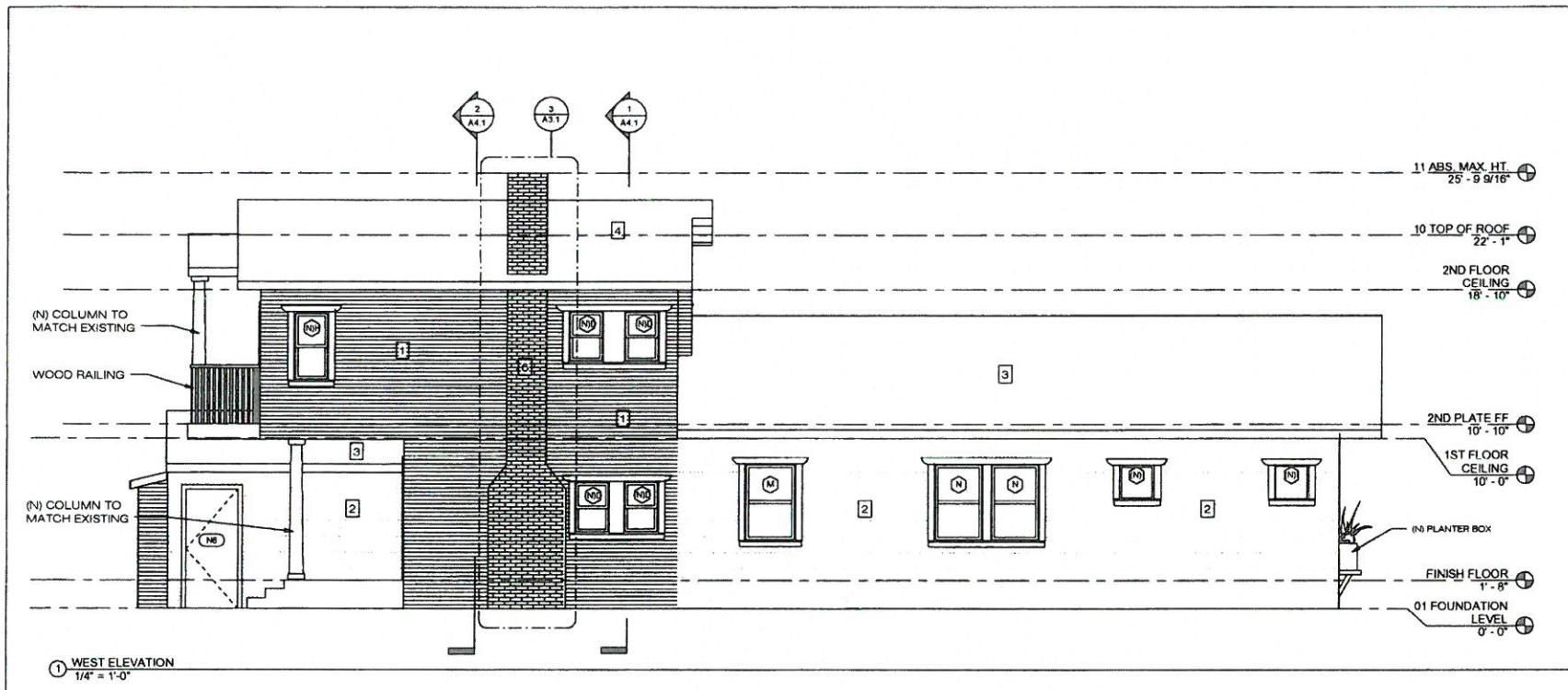


STACEY RESIDENCE
2525 5TH STREET, LONG
BEACH CA, 90814
Client Name: STACEY
Project: STACEY RESIDENCE 5TH A.M.

No.	Description	Date

Sheet Name
BUILDING ELEVATIONS

Sheet Number	A3.0
Project Number	14-1014
Drawn By	Author
Checked By	Checker
Scale	As indicated

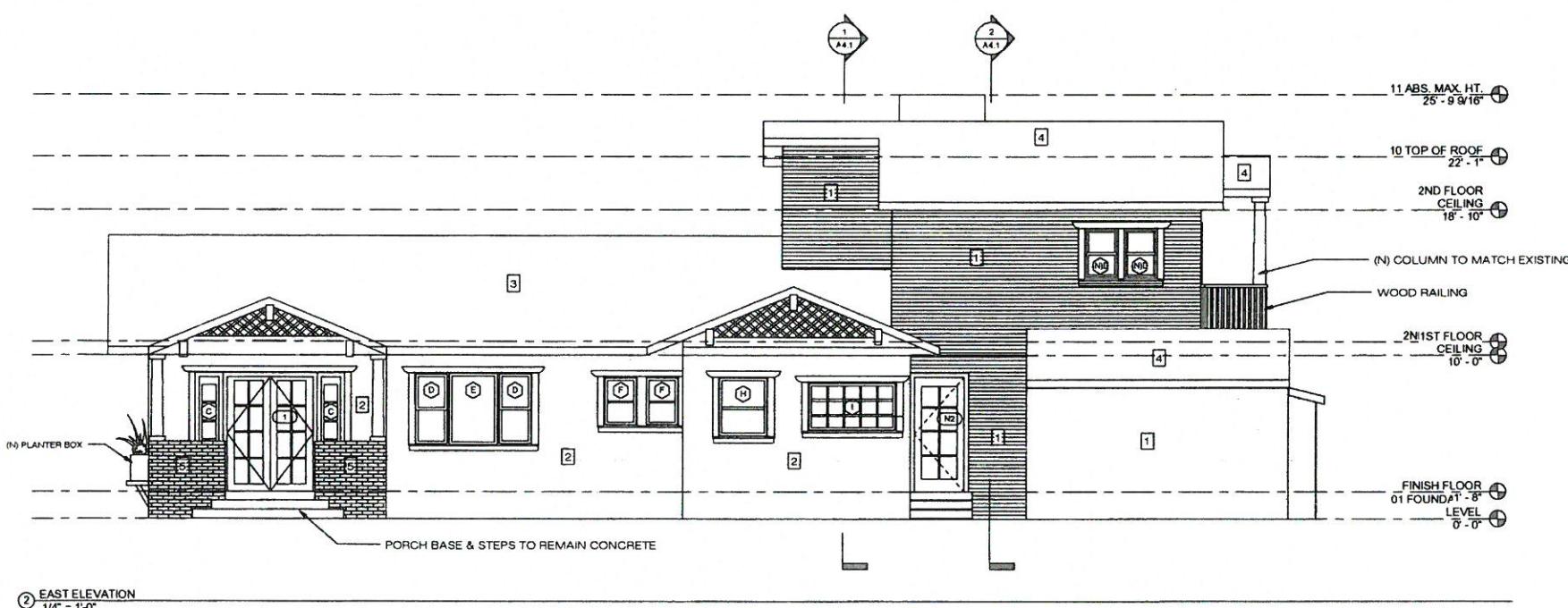


ULTRA-UNIT Architectural Studio
Cameron Crockett AIA, LEED
Design and Construction
562.997.0971
www.ULTRA-UNIT.com

Team
Cameron Crockett - Architect/Contractor
Ultra-Unit Architectural Studio
1327 Loma Avenue
Long Beach, California 90804
t: 562.997.0971
e: cameron@ultra-unit.com
David Choi - Structural Engineer
David Choi and Associates
1327 Loma Avenue
Long Beach, California 90804
t: 562.362.8000
e: dchoi@dca-as.com



1-15-16



MATERIAL KEY

- [1] NEW 3' CEDAR SIDING TO MATCH TO BE PAINTED TO MATCH
- [2] EXISTING 3' CEDAR SIDING
- [3] EXISTING COMPOSITE ROOFING
- [4] CLASS C MIN. COMPOSITE ROOFING TO MATCH EXISTING
- [5] BRICK TO BE REPLACED TO MATCH EXISTING GREY COLOR
 - BELDEN: GRAY BRICK - LANDMARK VELOUR # 00000230
 - BELDEN: GRAY BRICK - BEACON VELOUR # 00000250
- [6] (NEW) BRICK TO MATCH EXISTING GREY COLOR

STACEY RESIDENCE
2525 5TH STREET, LONG
BÉACH CA, 90814
Client Name: STACEY

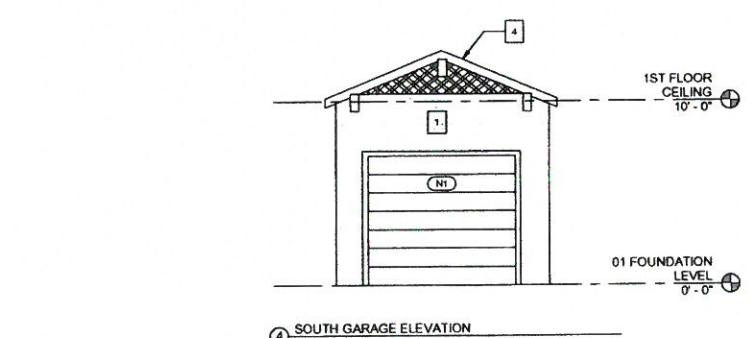
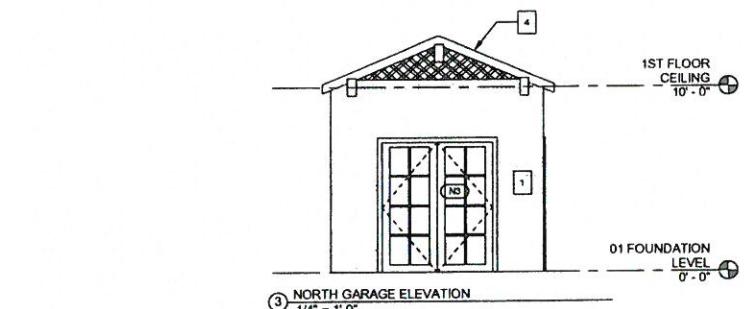
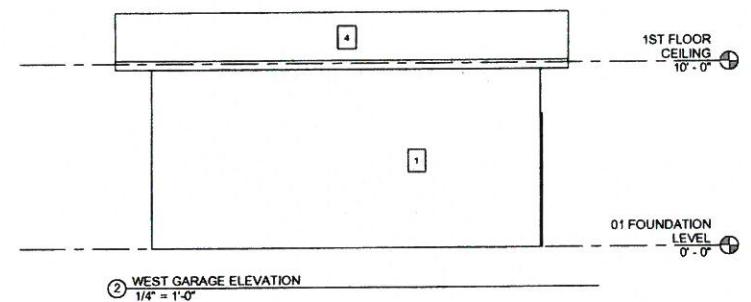
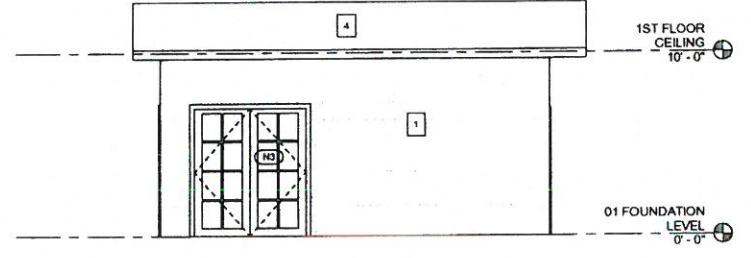
Revisions		
No.	Description	Date

BUILDING ELEVATIONS 2

A3.1

Project Number	14-1014
Drawn By	Author
Checked By	Checker
Scale	As indicated

Z-2016 PROJECT#14-0102015 E 5TH - STACEY ELEVATION 2

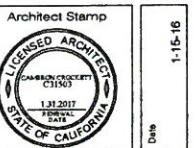


MATERIAL KEY

- ① NEW 3' CEDAR SIDING TO MATCH TO BE PAINTED TO MATCH
- ② EXISTING 3' CEDAR SIDING
- ③ EXISTING COMPOSITE ROOFING
- ④ CLASS C MIN. COMPOSITE ROOFING TO MATCH EXISTING
- ⑤ BRICK TO BE REPLACED TO MATCH EXISTING GREY COLOR
 - BELDEN GRAY BRICK - LANDMARK VELOUR # 00000230
 - BELDEN GRAY BRICK - BEACON VELOUR # 00000250
- ⑥ (NEW) BRICK TO MATCH EXISTING GREY COLOR



Team
Cameron Crockett - Architect/Contractor
Ultra-Unit Architectural Studio
1327 Loma Avenue
Long Beach, California 90804
t. 562 987 0971
e. cameron@ultra-unit.com
David Cho - Structural Engineer
DCA Engineering Associates
1327 Loma Avenue
Long Beach, California 90804
t. 562 382 8040
e. dcho@dca-ae.com



Project: STACEY RESIDENCE
2525 5TH STREET LONG
BEACH CA 90814
Client Name: STACEY
Revisions:

No.	Description	Date

Sheet Name: GARAGE ELEVATIONS
Sheet Number: A3.2

Project Number: 14-1014
Drawn By: Author
Checked By: Checker
Scale: 1/4" = 1'-0"
Z:\2016\PROJECTS\14-1014\2015\5TH STREET RESIDENCE\A3.2.dwg
02/20/2016 5:31:16 PM



BACK OF SUNROOM / HOUSE



FRONT OF HOUSE



WINDOWS IN SUN ROOM



PORCH DETAIL (SCREEN ABOVE ENTRY)

Cameron Crockett MA, LEED
ULTRA-UNIT Architectural Studio
Design and Construction



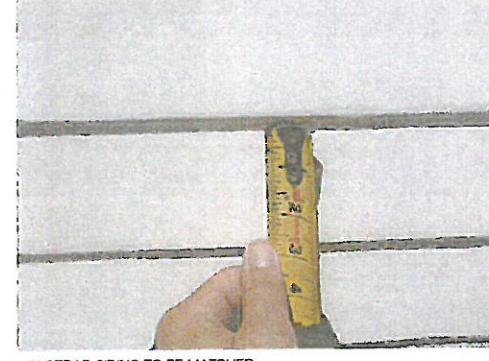
562.997.0971
www.ULTRA-UNIT.com



BACK OF HOUSE



DRIVE WAY AND SIDE ENTRY



3' CEDAR SIDING TO BE MATCHED

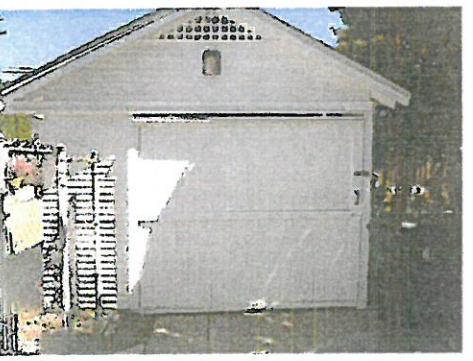


FRONT WINDOW DESIGN

Architect Stamp



1-15-16



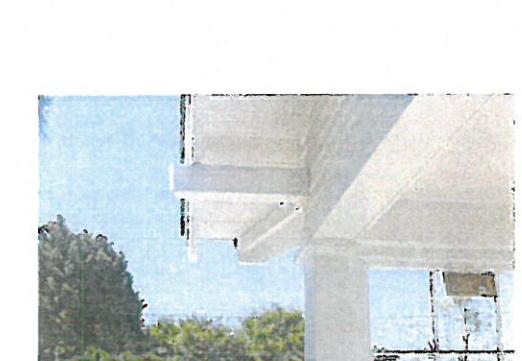
FRONT OF GARAGE



HOUSE ALONG DRIVE WAY



FRONT PORCH BREAK



FRONT ENTRY COLUMN TO BE MATCHED

Project: STACEY RESIDENCE
2525 5TH STREET, LONG BEACH CA, 90814

Client Name: STACEY

Revisions		
No.	Description	Date

Sheet Name: EXISTING HOME PHOTOS

Sheet Number: A3.3

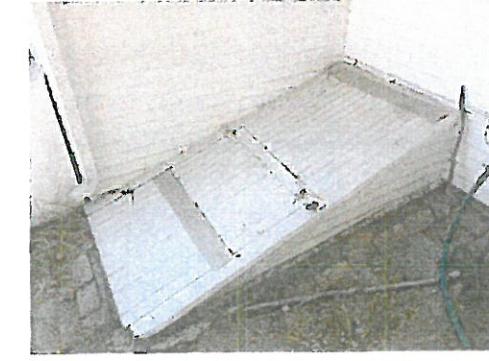
Project Number: 14-1014
Drawn By: Author
Checked By: Checker
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Drawn Date: 2/3/2016 2:31:24 PM



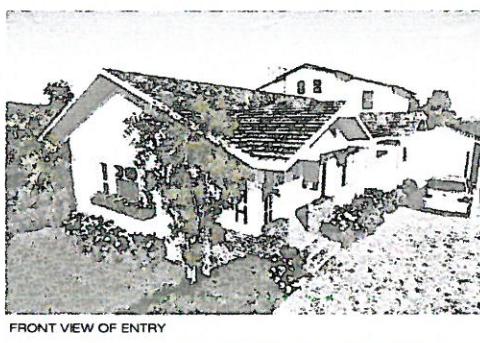
BACK OF EXISTING GARAGE



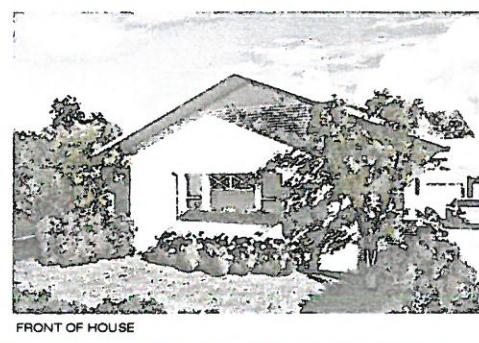
SIDE OF HOUSE



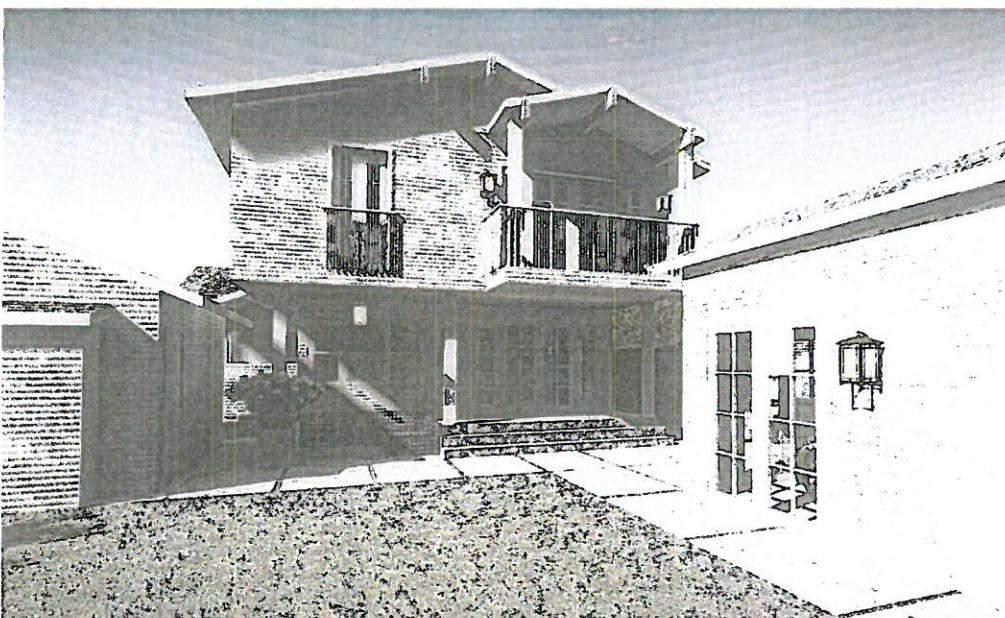
BASEMENT ENTRY (COVERED)



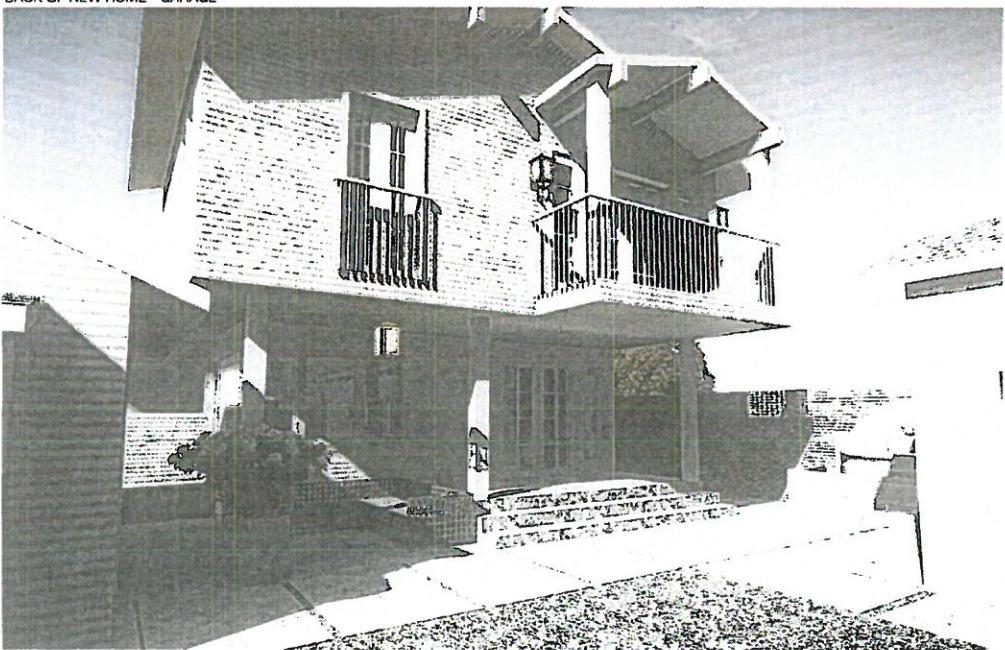
FRONT VIEW OF ENTRY



FRONT OF HOUSE



BACK OF NEW HOME - GARAGE



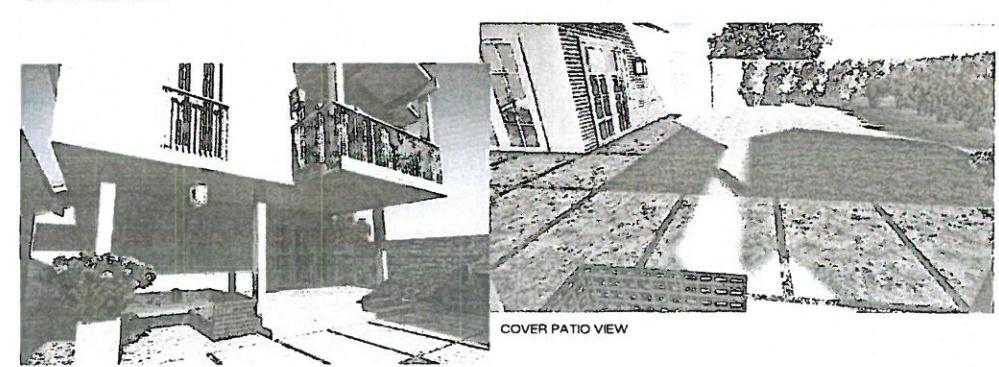
BACK OF NEW HOME - GARAGE



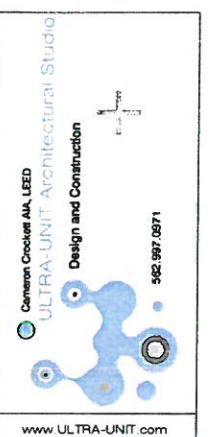
FRONT VIEW



BACK OF NEW HOME



COVER PATIO VIEW



Team
Cameron Crockett - Architect/Contractor
Ultra-Unit Architectural Studio
1327 Loma Avenue
Long Beach, California 90804
L: 562.997.0971
e: cameron@ultra-unit.com
David Choi - Structural Engineer
David Choi and Associates
1327 Loma Avenue
Long Beach, California 90804
L: 562.382.8040
e: david@dcas-ec.com



LICENSED ARCHITECT
CAMERON CROCKETT
C13503
1-15-2017
STATE OF CALIFORNIA
Date
1-15-16

Project: STACEY RESIDENCE
Client Name: STACEY
Address: 2525 5TH STREET, LONG BEACH CA, 90814
Revisions:

No.	Description	Date

Sheet Name: PROPOSED BUILDING 3D VIEWS

Sheet Number: A3.4

Project Number: 14-1014
Drawn By: Author
Checked By: Checker
Scale: 1/2000

2/2016 PROJECTED 05/02/2016 5TH STACEY RESIDENCE



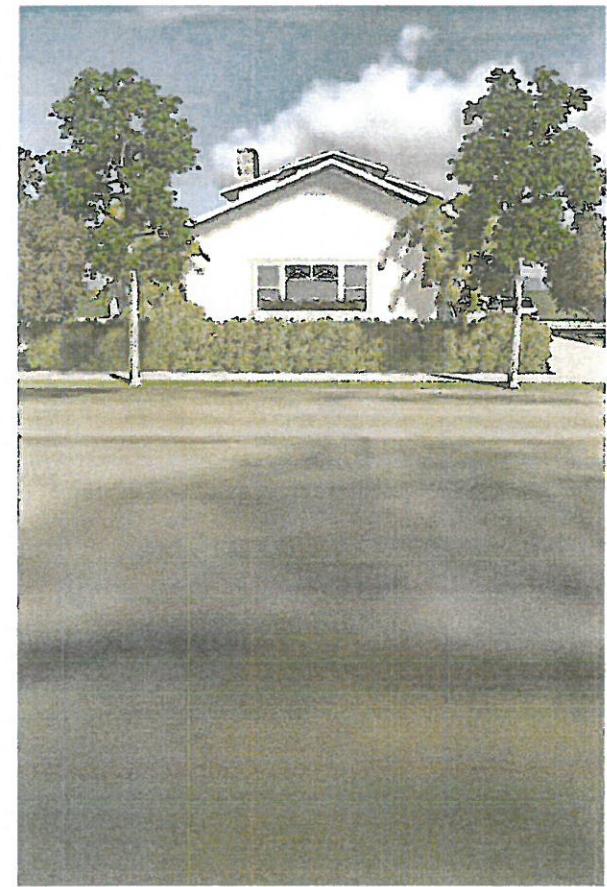
FRONT OF HOUSE SEEN FROM EYE LEVEL ON SIDE WALK



2525 5TH STREET SEEN FROM THE CORNER OF MOLINO AVE



FRONT OF HOUSE SEEN FROM EYE LEVEL ON SIDE WALK



2525 5TH STREET SEEN FROM ACROSS THE STREET

Cameron Crockett AIA, LEED
ULTRA-UNIT Architectural Studio
Design and Construction

www.ULTRA-UNIT.com

Team
Cameron Crockett - Architect/Contractor
Ultra-Unit Architectural Studio
1327 Loma Avenue
Long Beach, California 90804
T: 562.997.0971
E: cameron@ultra-unit.com

David Choi - Structural Engineer
David Choi and Associates
1327 Loma Avenue
Long Beach, California 90804
T: 562.997.0971
E: david@dcse.com



Date: 1-15-16

Project: STACEY RESIDENCE
2525 5TH STREET, LONG BEACH CA, 90814
Client Name: STACEY

Revisions		
No.	Description	Date

Sheet Name: STREET VIEW RENDERINGS

Sheet Number: A3.5

Project Number: 14-1014

Drawn By: Author

Checked By: Checker

Scale:

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