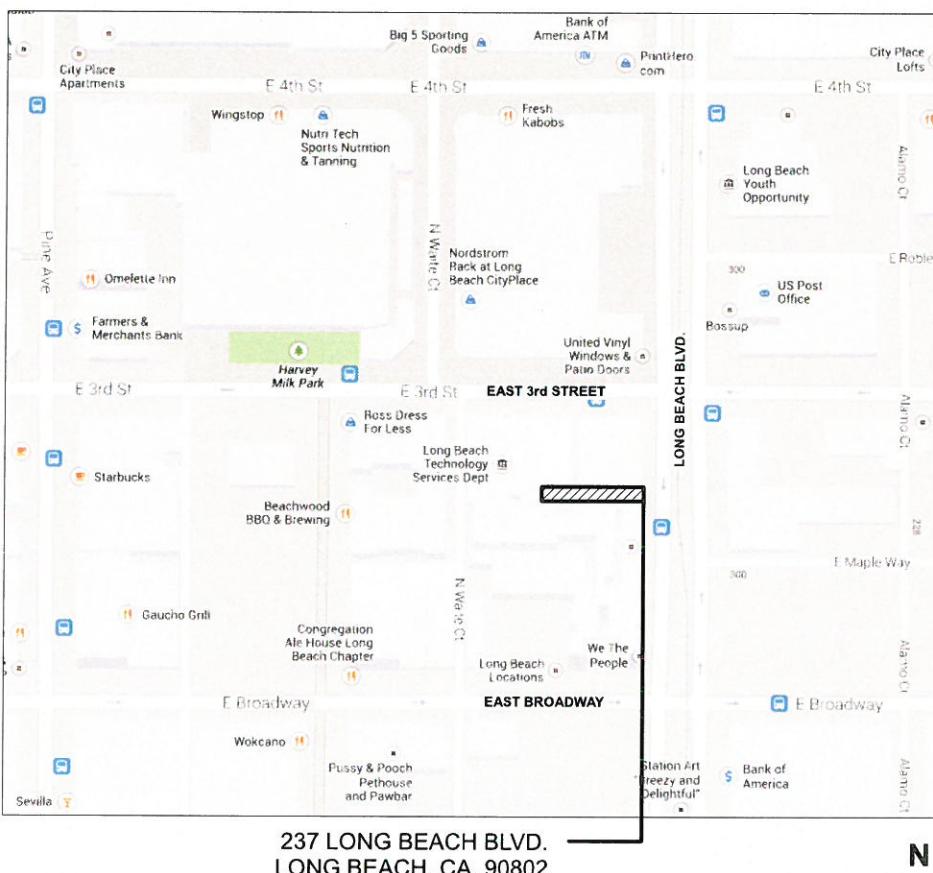


CITRON
DESIGN GROUP

**SHELL AND CORE
AND
TENANT IMPROVEMENT
SUBMITTAL**

237 LONG BEACH BLVD.

237 LONG BEACH BLVD.
LONG BEACH, CA. 90802



1 VICINITY PLAN
SCALE: N.T.S.

PROJECT SUMMARY

PROJECT DESCRIPTION:

THIS PROJECT IS A SHELL AND CORE AND TENANT IMPROVEMENT OF THE BUILDING AT 237 LONG BEACH BLVD. KEEPING EXISTING GROSS FLOOR AREA OF 5,859 SQFT. WILL INCLUDE ONE TENANTS ON EACH FLOOR. ALL TENANTS WILL SHARE METERED STREET PARKING AVAILABLE ON E 3RD STREET.

SITE ADDRESS:

237 LONG BEACH BLVD
LONG BEACH CA 90802

AIN #: 7280-019-005

Legal Description:

LONG BEACH E 150 FT OF LOT 9 BLK 90

Year Built / Effective Year Built 1908 / 1909

BUILDING SUMMARY:

- 1 OCCUPANCY GROUP:
GROUP - M (MERCANTILE)
GROUP - B (BUSINESS)
- 2 GROSS FLOOR AREA = 5,859 SQ FT.
- 3 USE OF BUILDING:
- RETAIL
- OFFICE
- 4 SPRINKLERED: YES
- 5 NUMBER OF LEVELS: 2 + BASEMENT
- 6 CONSTRUCTION TYPE: TYPE - III-B

DIRECTORY

OWNER:

LEE & ASSOCIATES
GRG Management Services
Contact: Greg R. Gill
1716 Clark Avenue, PMB 334
Long Beach, CA. 90815
T: (562) 354-2512

CONSTRUCTION MANAGER:

JR VAN DIJS
CONTACT: JAN VAN DIJS
425 EAST 4TH ST. UNIT E
LONG BEACH, CA. 90802
PH: (562) 436-5200

STRUCTURAL

ANDREC C. PARKER, P.E.
1635 38TH PLACE
LOS ANGELES, CA. 90062
PH: (310) 522-7092

PLUMBING / MECHANICAL

DIONCO
CONTACT: HUNTER DION
2191 COCO PALM DR.
TUSTIN, CA. 92780
PH: (714) 501-3461

ELECTRICAL

Moses and Associates, Inc.
Contact: Raymond Moses, PE
447 South Robertson Blvd., Suite 202
Beverly Hills, CA 90211
PH: (310) 859-7715

CODE NOTES

PROJECT LOCATION
237 LONG BEACH BLVD.
LONG BEACH, CA. 90802

JURISDICTION CITY OF LONG BEACH

REFERENCE CODES
BUILDING CODE: 2013 CALIFORNIA BUILDING CODE/ IBC WITH STATE ADMEND
PLUMBING CODE: 2013 CALIFORNIA BUILDING CODE/ UPC IAPMO WITH STATE ADMEND
MECHANICAL CODE: 2013 CALIFORNIA BUILDING CODE/ UMC IAPMO WITH STATE ADMEND
ELECTRICAL CODE: 2013 CALIFORNIA BUILDING CODE/ NEC IAPMO WITH STATE ADMEND
FIRE CODE: 2013 CALIFORNIA FIRE CODE/ IFC
LIFE SAFETY CODE: 2013 CALIFORNIA FIRE CODE/ IFC
ACCESSIBILITY CODE: 2013 CALIFORNIA BUILDING CODE (TITLE 24, PART 2)
ENERGY CODE: 2013 CALIFORNIA ENERGY CODE
LOCAL CODE: CITY OF LONG BEACH ZONING MUNICIPAL
CALGREEN: 2013 CALIFORNIA GREEN BUILDING CODE

SHEET INDEX

Sheet Index	Layout Name
Layout ID	Sheet Index
A.00.00	COVER SHEET
A.00.20	GENERAL NOTES / ABBREVIATIONS
A.00.30	TYPICAL INFORMATION (ADA)
A.00.31	ADA
A.00.32	ADA (2) / BMP'S
A.00.33	CALGREEN
A.00.40	SITE PLAN / EXITING PLAN
A.00.50	AS-BUILTS / DEMO PLAN
A.01.00	FLOOR PLANS
A.01.10	ROOF PLAN / P.I.V. DETAIL
A.01.11	R.C.P.
A.02.00	EXTERIOR ELEVATIONS
A.02.10	FRONT ELEVATION
A.02.30	REAR ELEVATION
A.03.00	DETAILS / DOOR/WINDOW SCHEDULE

PROJECT:
**237 LONG BEACH
BLVD.**

PROJECT ADDRESS:
237 LONG BEACH BLVD.
LONG BEACH, CA. 90802

CAD TECHNICIAN:
SANDOR FULOP
TEL.: 310 218 3988
sandor@socalint.com

PLUMBING FIXTURE COMPLIANCE CHART

NOTE PER CBC TABLE 4-1 FOOTNOTE 15.

FOR SMALLER-TYPE PUBLIC AND PROFESSIONAL OFFICE SUCH AS BANKS, DENTAL OFFICES, LAW OFFICES, REAL ESTATE OFFICES, ARCHITECTURAL OFFICES, ENGINEERING OFFICES, AND SIMILAR USES, A PUBLIC AREA IN THESE OFFICES SHALL USE THE REQUIREMENTS FOR RETAIL OR WHOLESALE STORES. (OCCUPANT LOAD FACTOR (SQUARE FEET)) = 200

THE EMPLOYEES ONLY AREAS FALL UNDER OFFICE OR PUBLIC BUILDING - FOR EMPLOYEE USE ONLY.

CPC - 412.5 FACILITIES IN MERCANTILE AND BUSINESS OCCUPANCIES SERVING CUSTOMERS REQUIREMENTS FOR CUSTOMERS AND EMPLOYEES SHALL BE PERMITTED TO BE MET WITH A SINGLE SET OF RESTROOMS ACCESSIBLE TO BOTH GROUPS. THE REQUIRED NUMBER OF FIXTURES SHALL BE THE GREATER OF THE REQUIRED NUMBER FOR EMPLOYEES OR REQUIRED NUMBER FOR CUSTOMERS

TOTAL BUILDING GROSS AREA: 5,859 SQ FT.

BASEMENT (BASEMENT STORAGE)

TOTAL FLOOR GROSS SQ FT = 921 SQ FT.
TOTAL STORAGE AREA = 818 SQ FT (NOT TO CONSIDER)
TOTAL COMMON AREA = 103 SQ FT (NOT TO CONSIDER)
(CORRIDOR, STAIRCASE, RESTROOM)

1ST FLOOR (RETAIL)

TOTAL FLOOR GROSS SQ FT = 2,469 SQ FT.
TOTAL RETAIL AREA = 1,695 SQ FT (200 = 9 OCC/2 = 5 OCC. OR 1 WC. & 1 LAV./RESTROOM)
TOTAL COMMON AREA = 774 SQ FT (NOT TO CONSIDER)
(CORRIDOR, STAIRCASE, RESTROOM)

2ND FLOOR (OFFICE)

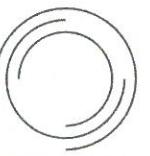
TOTAL FLOOR GROSS SQ FT = 2,469 SQ FT.
TOTAL OFFICE AREA = 1,908 SQ FT (200 = 10 OCC/2 = 5 OCC. OR 1 WC. & 1 LAV./RESTROOM)
TOTAL COMMON AREA = 561 SQ FT (NOT TO CONSIDER)
(CORRIDOR, STAIRCASE, RESTROOM)

FLOOR	OCCUPANCY	OCC. GROUP	SQFT.	OCC. LOAD	OCC.	EXISTS REQD	EXITS PROVIDED	MAX. TRAVEL DISTANCE	WIDTH OF EXIT PASSAGE WAYS
BASEMENT	COMMON AREAS (RETAIL STORAGE, STAIRS, WALLS)	-	921	-	-	-	-	-	-
1ST FLOOR	RETAIL	M	1,695	1/30	57	1	2	250	36"
	COMMON AREAS (RESTROOMS, STAIRS, WALLS)	-	774	-	-	-	-	-	-
2ND FLOOR	OFFICE	B	1,908	1/100	19	1	2	300	36"
	COMMON AREAS (RESTROOMS, STAIRS, WALLS)	-	561	-	-	-	-	-	-
DATA PER CBC TABLE									
		X	1004.1.1	1015.1	1015.1	1016.1	1021.2		

Scale: AS NOTED

Sheet Title :
COVER SHEET

A.00.00
NOT FOR CONSTRUCTION



CITRON
DESIGN GROUP

PROJECT:
**237 LONG BEACH
BLVD.**

PROJECT ADDRESS:
37 LONG BEACH BLVD.
LONG BEACH, CA. 90802

SOCAL TECHNICIAN:
ANDOR FULOP
TEL.: 310.218.3988
andor@socalint.com

Scale: AS NOTED

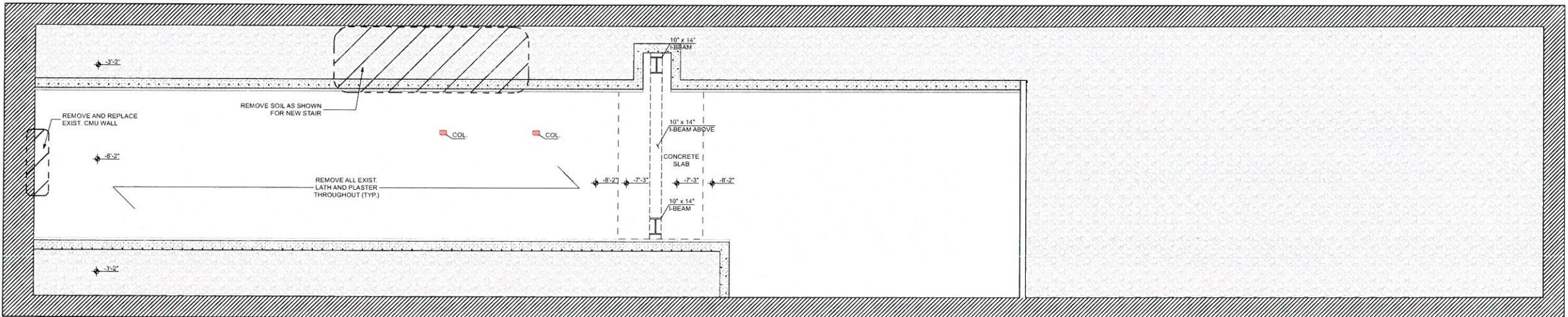
SHEET TITLE : SITE PLAN / EXISTING PLAN

 SITE PLAN
SCALE: 1/8" = 1'-0"

This architectural site plan illustrates the proposed construction of a building at 242 East 3rd Street and its adjacent properties at 247-255 Long Beach Boulevard. The plan shows the following key features:

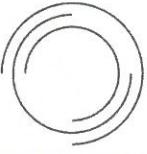
- Building Footprints:** The main building footprint is shown as a large rectangle with dimensions of 15'-0" by 60'-0". The adjacent property at 247-255 Long Beach Boulevard has a footprint of 15'-0" by 28'-0".
- Construction Phases:** The plan indicates several areas labeled "NOT IN CONSTRUCTION" in red text, primarily on the left side of the main building footprint.
- Ground Floor Details:** The ground floor includes a fire pit area (Area: 1,116.34 sq ft) with green tables and chairs, and a paved plaza area with a circular pattern.
- Interior Spaces:** The interior shows various rooms including a great room, kitchen, dining, and bedrooms. A central staircase leads to the upper floors.
- Exterior Features:** The plan includes details for the roof deck, including a fire access door, a new exterior drain, and a new exterior door. It also shows planters with trees, brick paved walkways, and electrical boxes.
- Neighboring Properties:** To the west is the "ADJACENT PROPERTY @ 242 EAST 3RD STREET" with a footprint of 15'-0" by 28'-0". To the east is the "ADJACENT PROPERTY @ 247 LONG BEACH BLVD." with a footprint of 15'-0" by 28'-0".
- Dimensions and Labels:** Key dimensions include 15'-0", 28'-0", 60'-0", and 26'-0". Labels include "EAST 3RD. STREET", "242 EAST 3RD STREET", "247-255 LONG BEACH BLVD.", "NOT IN CONSTRUCTION", "FIRE PIT", "AREA: 1,116.34 sq ft", "REPLACE EXIST CONCRETE AND REINFORCE JOISTS", "REPLACE EXIST CONCRETE AND REINFORCE JOISTS", "DISTANCE FROM TOP OF THE STAIRS TO P.R.W.", "KNEE STAIR", "CANTILEVERED ROOF DECK", "PARKING GARAGE ENTRANCE", and "CROSS SECTION".

A.00.40
NOT FOR CONSTRUCTION



LEGEND

	EXISTING EXTERIOR WALLS TO REMAIN
	EXIST. CONCRETE RETAINING WALL IN THE BASEMENT
	EXTG. INTERIOR WALLS
	GRAVEL / DIRT INFILL

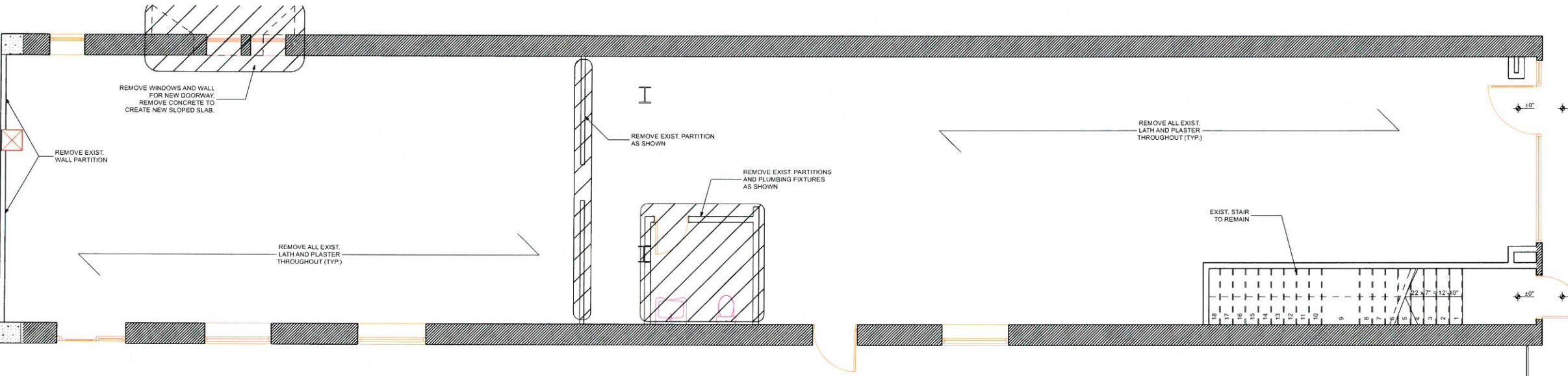


CITRON
DESIGN GROUP

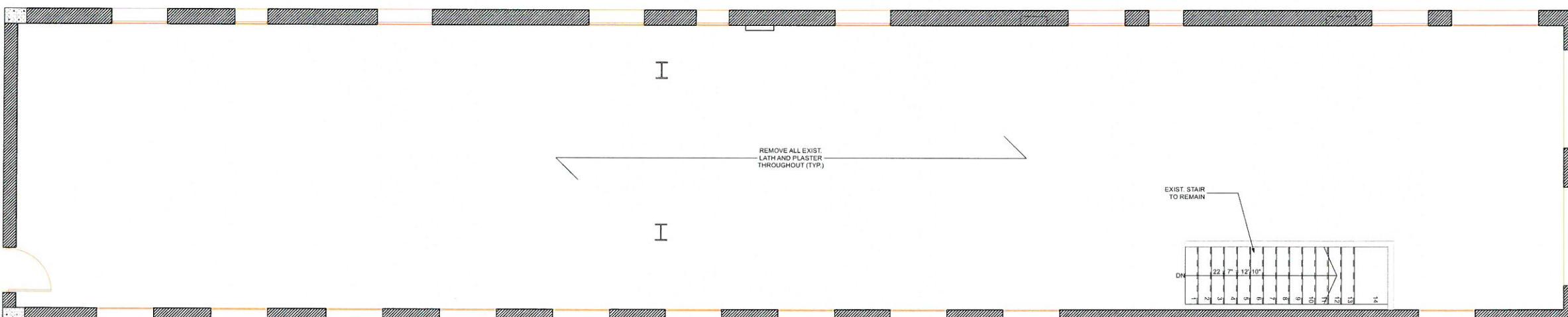
NOTE:

**REMOVE ALL INTERIOR LATH AND
PLASTER FROM WALLS AND CLG.**

1 BASEMENT AS-BUILTS / DEMO PLAN
SCALE: 1/4" = 1'-0"



2 1ST FLOOR AS-BUILTS / DEMO PLAN

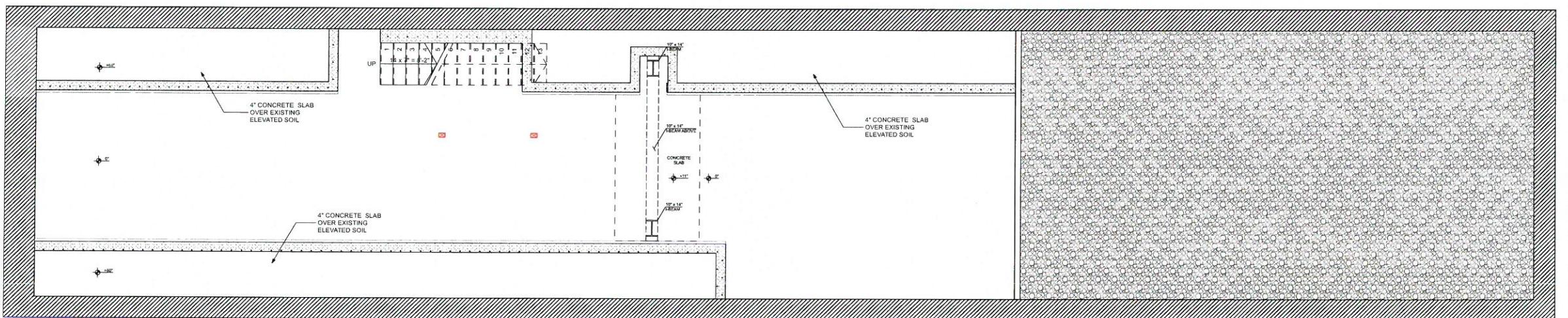


3 2ND FLOOR AS-BUILTS / DEMO PLAN
SCALE: 1/4" = 1'-0"

Section AS-NOTED

Sheet Title :

A.00.50
NOT FOR CONSTRUCTION

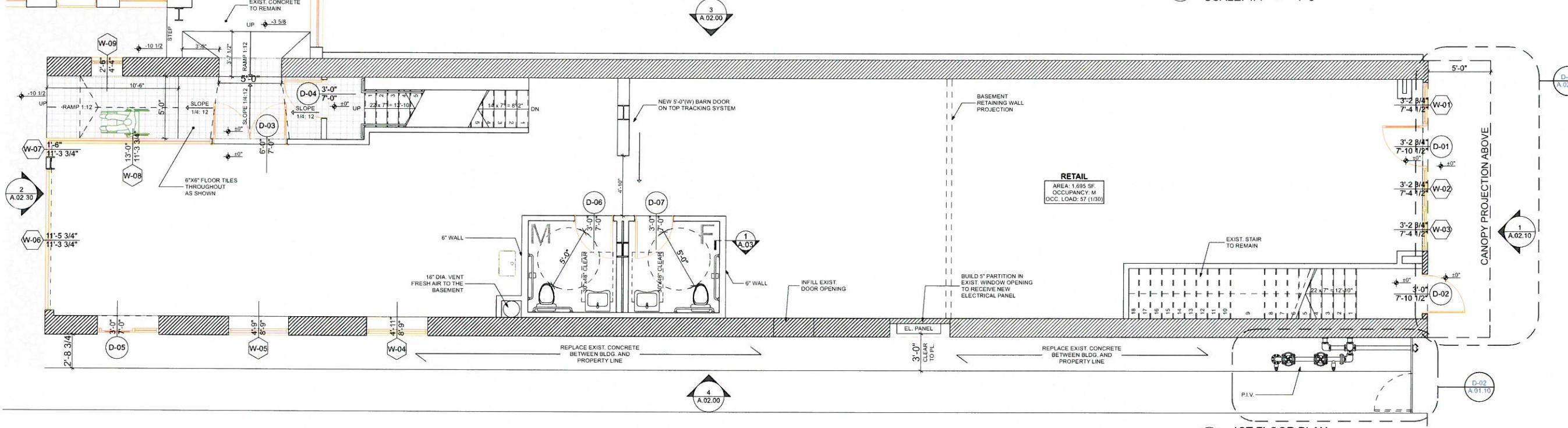


LEGEND

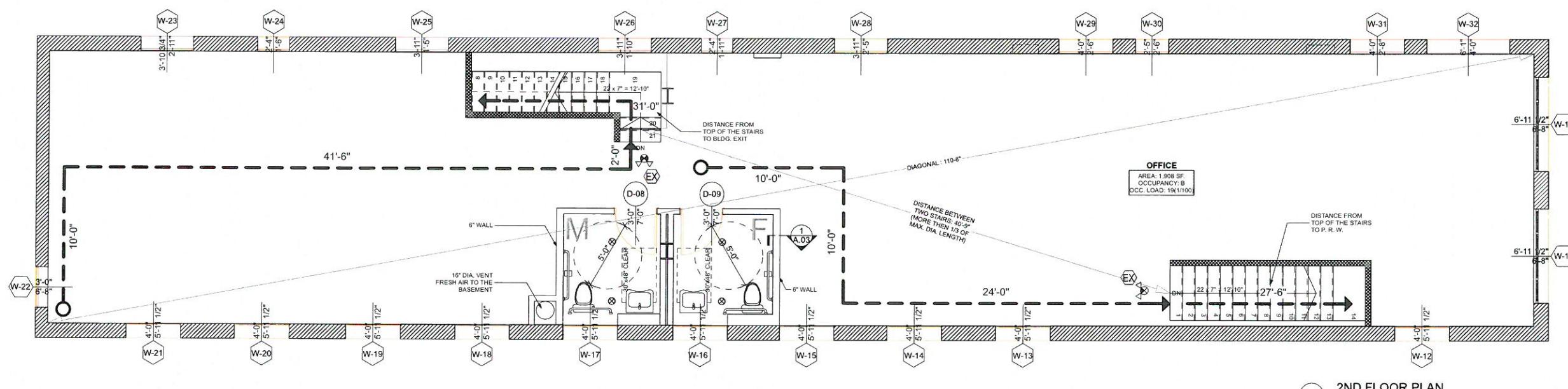
-  EXISTING EXTERIOR WALLS TO REMAIN
-  EXIST. CONCRETE RETAINING WALL IN THE BASEMENT
-  NEW 3'-6" HIGH GUARDRAIL AT STAIRCASE
-  NEW INTERIOR WALLS
-  EMERGENCY LIGHT / EXIT SIGN WITH BATTERY BACKUP

CITRON
DESIGN GROUP

1 BASEMENT PLAN
SCALE: 1/4" = 1'-0"



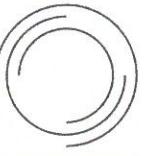
1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"



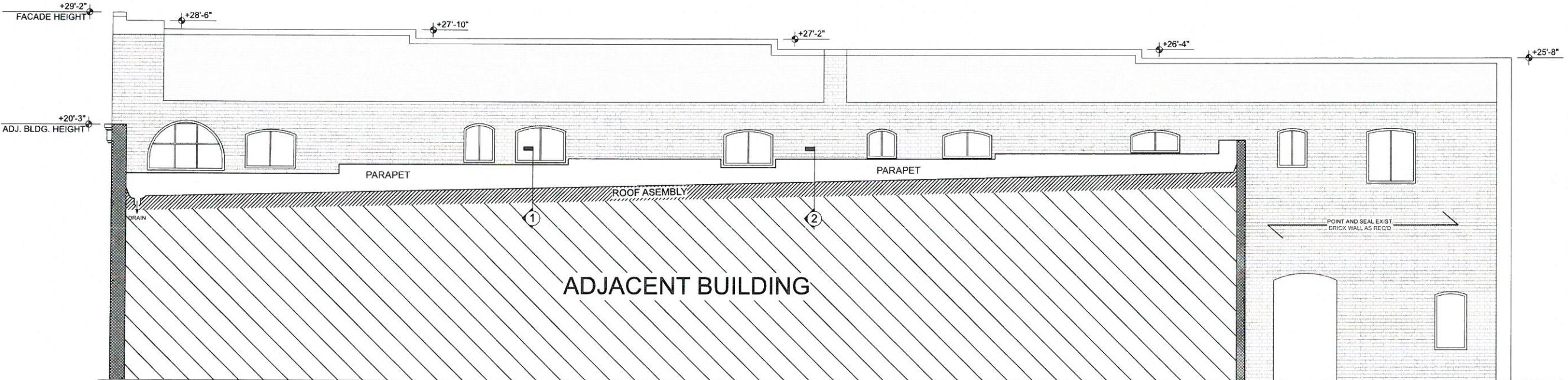
Scale: AS NOTED

Sheet Title : **FLOOR PLANS**

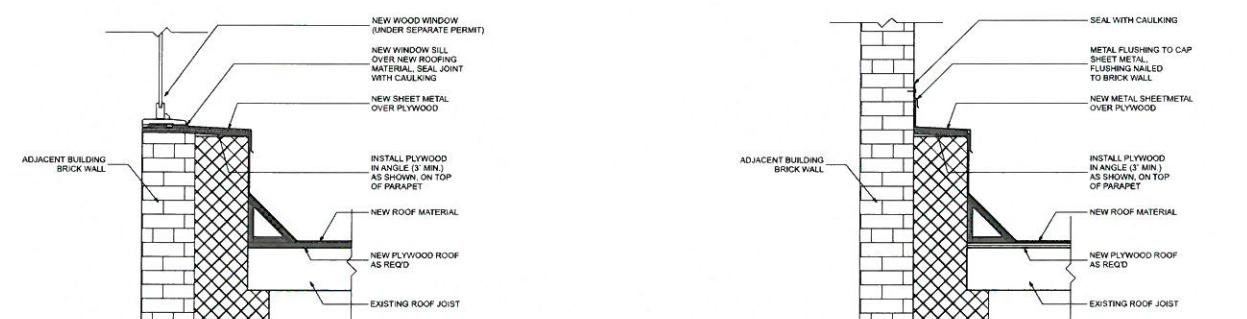
A.01.00
NOT FOR CONSTRUCTION



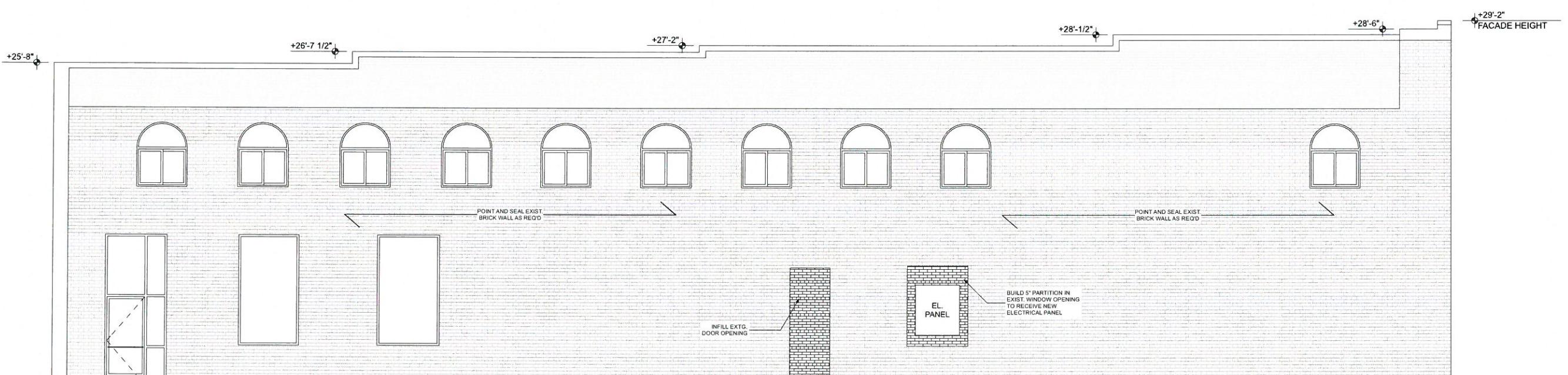
CITRON
DESIGN GROUP



③ SIDE ELEVATION (NORTH)
SCALE: 1/4" = 1'-0"



1 DETAIL AT WINDOW
SCALE: 3/4" = 1'-0"



④ SIDE ELEVATION (SOUTH)
SCALE: 1/4" = 1'-0"

PROJECT:
**37 LONG BEACH
BLVD**

PROJECT ADDRESS:
7 LONG BEACH BLVD.
LONG BEACH, CA 90802

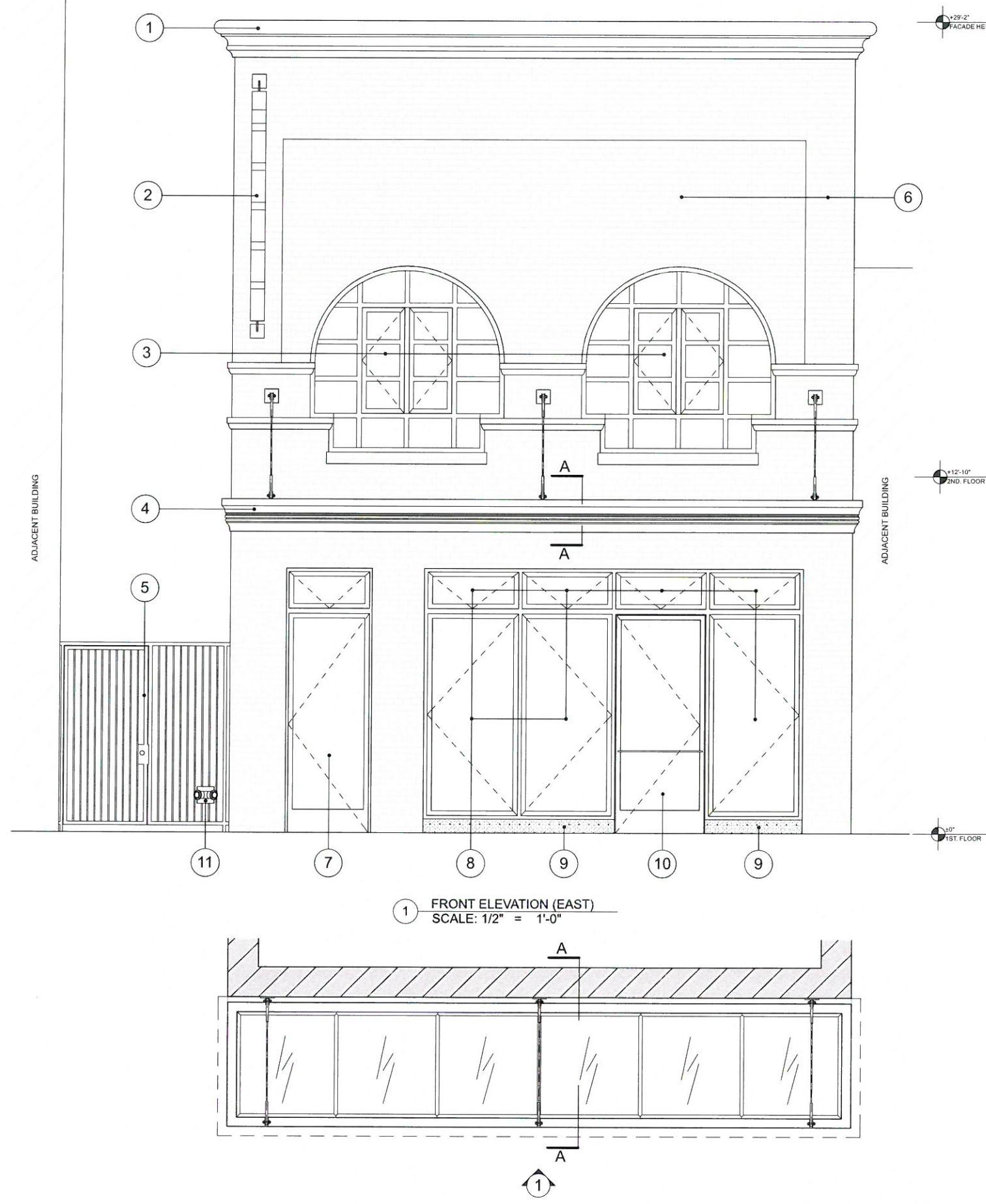
AD TECHNICIAN:
ANDOR FULOP
TEL.: 310.218.3988
andor@socalint.com

O.	Date	Issue
	1/16/2014	FOR ENGINEERING BID

AS NOTED

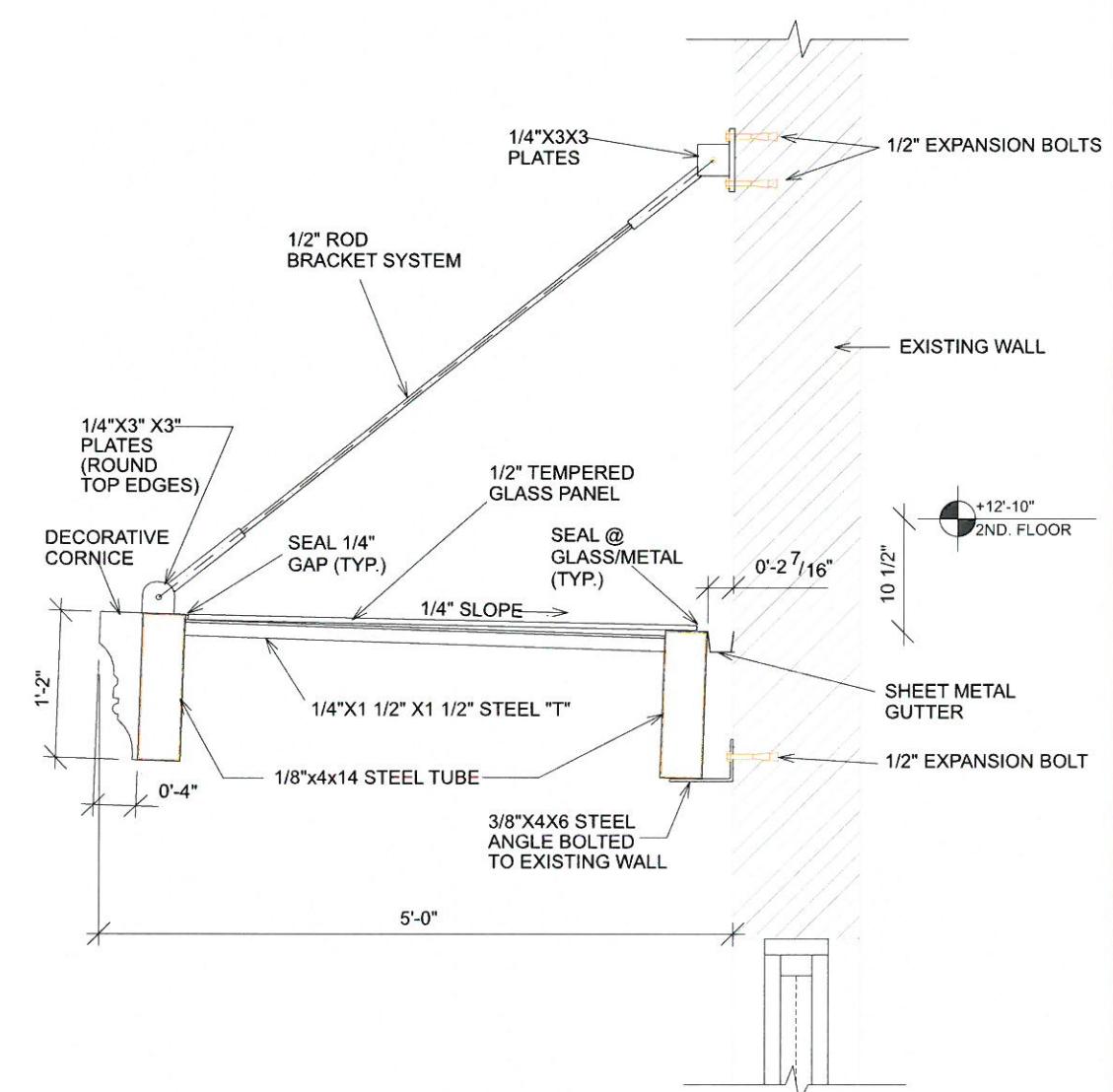
Sheet Title : **EXTERIOR ELEVATIONS**

A.02.00
NOT FOR CONSTRUCTION



NOTES

- 1 - ROOF TOP DECORATIVE CORNICE
 - 2 - BUILDING SIGNAGE (UNDER SEPARATE PERMIT)
 - 3 - NEW STEEL OPERABLE WINDOWS IN EXISTING BRICK OPENING
 - 4 - NEW DECORATIVE CORNICE AROUND STEEL/ GLASS CANOPY EDGES
 - 5 - EXISTING STEEL GATE TO REMAIN
 - 6 - EXISTING BRICK WALL TO BE CLEANED AND RE-PAINTED
 - 7 - 3'-0" NEW STEEL FRAMED GLASS DOOR WITH OPERABLE (TILT) WINDOW ABOVE
 - 8 - NEW STEEL FRAMED GLASS STOREFRONT WITH OPERABLE WINDOWS
 - 9 - 6" CONCRETE CURB
 - 10 - NEW STEEL FRAMED GLASS DOOR
 - 11 - FIRE DEPARTMENT CONNECTION (F.I.C)



CITRON
DESIGN GROUP

PROJECT ADDRESS:
237 LONG BEACH BLVD.
LONG BEACH, CA. 90802

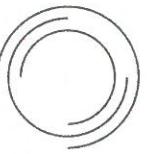
No.	Date	Issue
1	1/16/2014	FOR ENGINEERING BID

Scale: AS NOTED

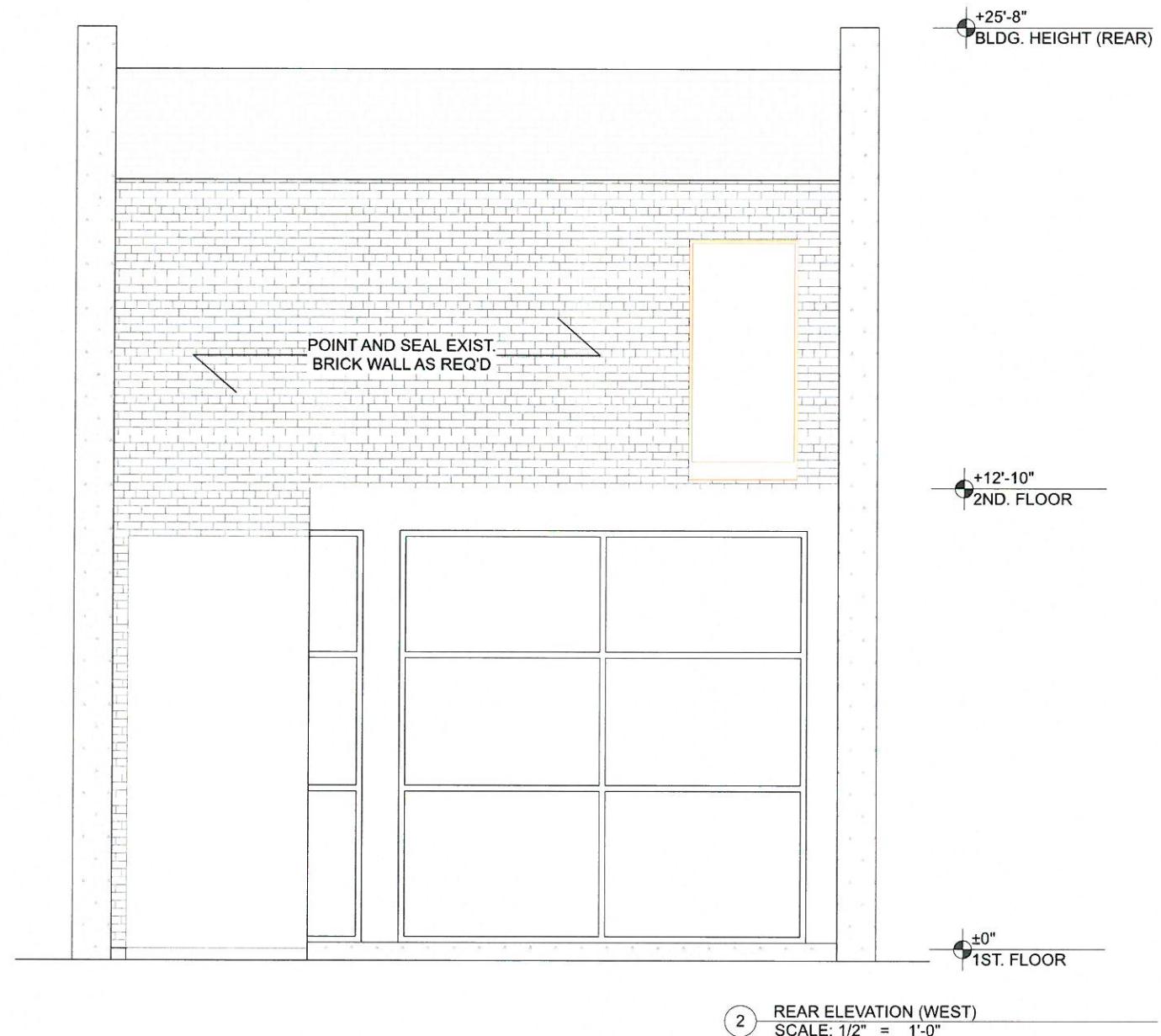
Sheet Title :
FRONT
ELEVATION

D-01 CANOPY PROJECTION PLAN
SCALE: 1/2" = 1'-0"

A-A CANOPY DETAIL SECTION
SCALE: 1 1/2"= 1'-0"



CITRON
DESIGN GROUP



PROJECT:

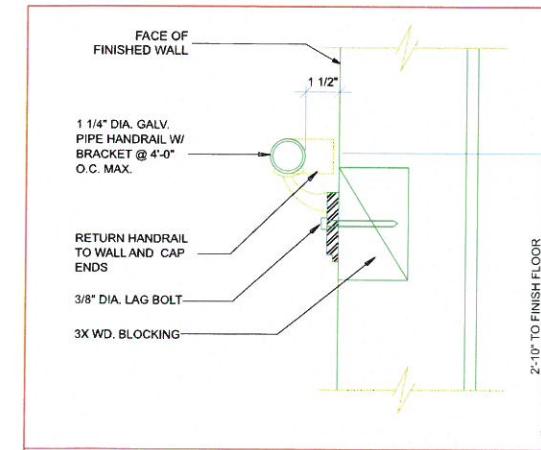
PROJECT ADDRESS:
37 LONG BEACH BLVD.
LONG BEACH, CA. 90802

AD TECHNICIAN:
ANDOR FULOP
FL - 310.218.3988

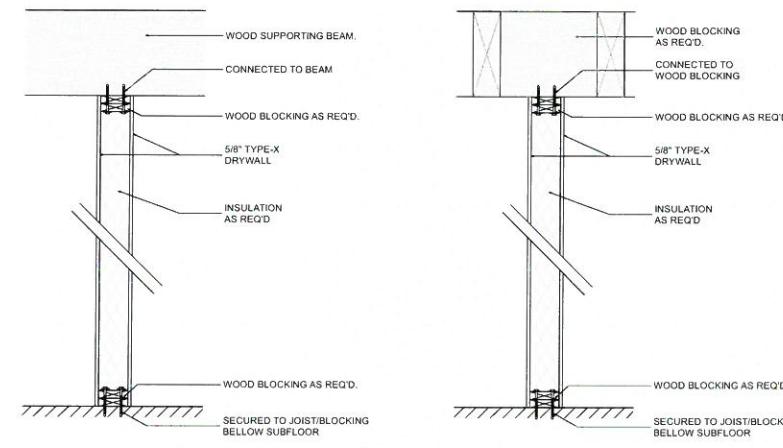
sale: AS NOTED

Sheet Title : REAR ELEVATION

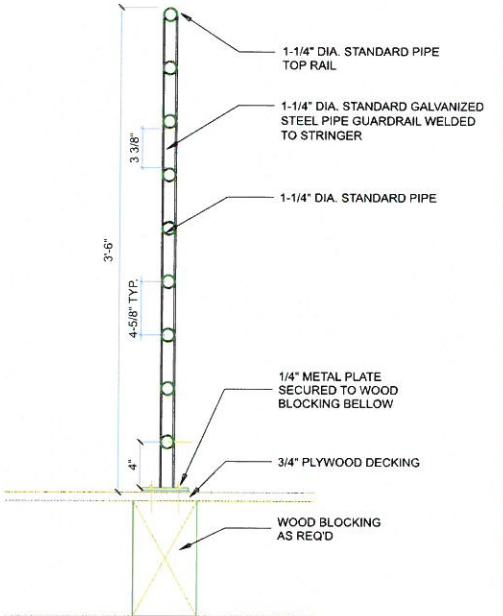
A.02.30
NOT FOR CONSTRUCTION



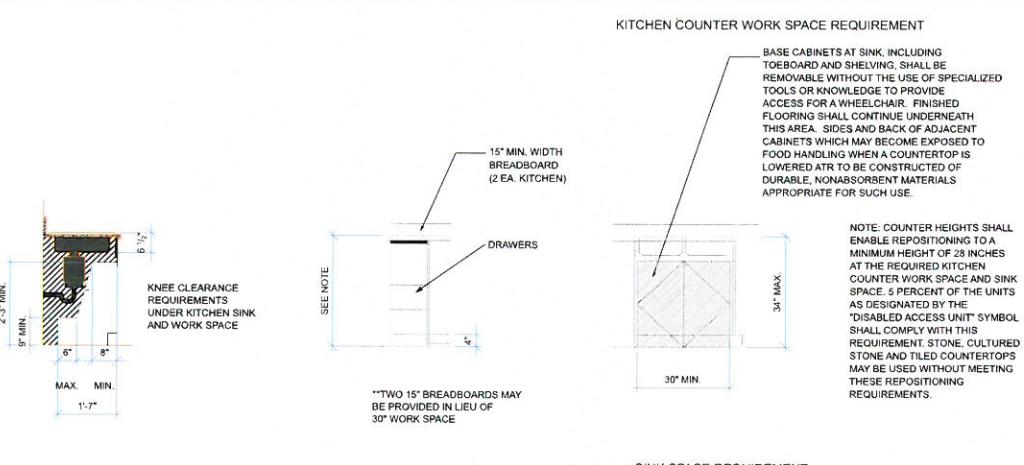
4 GRAB BAR ANCHOR
SCALE: N. T. S.



1 TYPICAL WALL DETAIL
SCALE: N. T. S.



2 BATHROOM PLAN
SCALE: N. T. S.



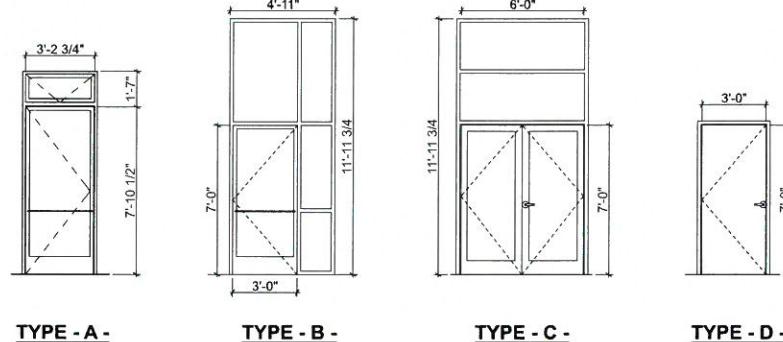
3 TYPICAL ADAPTABLE FIXTURE HEIGHTS & FEATURES
SCALE: N. T. S.

DOOR SCHEDULE											
DOOR#	HEIGHT	WIDTH	THICKNESS	LOCATION	FLOOR	MATERIAL	FINISH	FIRE RATING	FRAME MATERIAL	TYPE	DOOR CLOSER
										YES	NO
1	7'-10"	3'-2 3/4"	1 3/4"	STOREFRONT	1ST FLOOR	STEEL / GLASS	PAINT	NR	STEEL	A	X
2	7'-10"	3'-0"	1 3/4"	ENTRY DOOR	1ST FLOOR	METAL	PAINT	NR	METAL	A	X
3	7'-0"	6'-0"	1 3/4"	NORTH WALL	1ST FLOOR	ALUM / GLASS	CLEAR	NR	ALUM.	C	X
4	7'-0"	3'-0"	1 3/4"	HALLWAY	1ST FLOOR	SOLID CORE WOOD	CLEAR	60 MIN.	METAL	D	X
5	7'-0"	2'-6"	1 3/4"	SOUTH WALL	1ST FLOOR	ALUM / GLASS	CLEAR	NR	ALUM.	B	X
6	7'-0"	3'-0"	1 3/4"	RESTROOM	1ST FLOOR	SOLID CORE WOOD	CLEAR	NR	WOOD	D	X
7	7'-0"	3'-0"	1 3/4"	RESTROOM	1ST FLOOR	SOLID CORE WOOD	CLEAR	NR	WOOD	D	X
8	7'-0"	3'-0"	1 3/4"	RESTROOM	2ND FLOOR	SOLID CORE WOOD	CLEAR	NR	WOOD	D	X
9	7'-0"	3'-0"	1 3/4"	RESTROOM	2ND FLOOR	SOLID CORE WOOD	CLEAR	NR	WOOD	D	X

DOOR NOTES

ALL EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. THE MAIN EXTERIOR DOORS SHALL HAVE KEY OPERATED HARDWARE AND SHALL BE LABELED "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS" IN BLOCK LETTERS A MINIMUM OF 1" HIGH ON CONTRASTING BACKGROUND. EFFORT TO OPERATE IS NOT TO EXCEED 5 LBS. FOR EXTERIOR AND INTERIOR DOORS AND 15 LBS. FOR FIRE RATED DOORS.

DOOR TYPES



WINDOW SCHEDULE

WINDOW#	WIDTH	HEIGHT	AFF (ABOVE FINISH FLOOR)	TRANSOM WINDOW (H)	LOCATION	FLOOR	MATERIAL	FINISH	FRAME MATERIAL	TYPE	OPERABLE	Comments
										YES	NO	
1	3'-2 3/4"	7'-4 1/2"	6"	1'-7 1/2"	EAST WALL	1ST FLOOR	STEEL / GLASS	PAINT	STEEL	A	X	NEW STOREFRONT WINDOW
2	3'-2 3/4"	7'-4 1/2"	6"	1'-7 1/2"	EAST WALL	1ST FLOOR	STEEL / GLASS	PAINT	STEEL	A	X	NEW STOREFRONT WINDOW
3	3'-2 3/4"	7'-4 1/2"	6"	1'-7 1/2"	EAST WALL	1ST FLOOR	STEEL / GLASS	PAINT	STEEL	A	X	NEW STOREFRONT WINDOW
4	4'-11"	8'-9"	3'-2"	-	SOUTH WALL	1ST FLOOR	ALUM. / GLASS	CLEAR	ALUM.	B	X	EXIST. WINDOW TO REMAIN
5	4'-9"	8'-9"	3'-2"	-	SOUTH WALL	1ST FLOOR	ALUM. / GLASS	CLEAR	ALUM.	B	X	EXIST. WINDOW TO REMAIN
6	11'-5 3/4"	11'-3 3/4"	6"	-	WEST WALL	1ST FLOOR	ALUM. / GLASS	CLEAR	ALUM.	C	X	NEW STOREFRONT WINDOW
7	13'-0"	11'-3 3/4"	6"	-	NORTH WALL	1ST FLOOR	ALUM. / GLASS	CLEAR	ALUM.	C	X	NEW STOREFRONT WINDOW
8	1'-6"	11'-3 3/4"	6"	-	WEST WALL	1ST FLOOR	ALUM. / GLASS	CLEAR	ALUM.	C	X	NEW STOREFRONT WINDOW
9	2'-6"	4'-0"	2'-6"	-	NORTH WALL	1ST FLOOR	WOOD / GLASS	PAIN	WOOD	D	X	NEW WINDOW IN EXIST. OPENING
10	6'-11 1/2"	6'-8"	10"	-	EAST WALL	2ND FLOOR	STEEL / GLASS	PAINT	STEEL	E	X	NEW WINDOW IN EXIST. OPENING
11	6'-11 1/2"	6'-8"	10"	-	EAST WALL	2ND FLOOR	STEEL / GLASS	PAINT	STEEL	E	X	NEW WINDOW IN EXIST. OPENING
12	4'-0"	5'-1 1/2"	3'-0"	-	SOUTH WALL	2ND FLOOR	ALUM. / GLASS	CLEAR	ALUM.	D	X	EXIST. WINDOW TO REMAIN
13	4'-0"	5'-1 1/2"	3'-0"	-	SOUTH WALL	2ND FLOOR	ALUM. / GLASS	CLEAR	ALUM.	D	X	EXIST. WINDOW TO REMAIN
14	4'-0"	5'-1 1/2"	3'-0"	-	SOUTH WALL	2ND FLOOR	ALUM. / GLASS	CLEAR	ALUM.	D	X	EXIST. WINDOW TO REMAIN
15	4'-0"	5'-1 1/2"	3'-0"	-	SOUTH WALL	2ND FLOOR	ALUM. / GLASS	CLEAR	ALUM.	D	X	EXIST. WINDOW TO REMAIN
16	4'-0"	5'-1 1/2"	3'-0"	-	SOUTH WALL	2ND FLOOR	ALUM. / GLASS	CLEAR	ALUM.	D	X	EXIST. WINDOW TO REMAIN
17	4'-0"	5'-1 1/2"	3'-0"	-	SOUTH WALL	2ND FLOOR	ALUM. / GLASS	CLEAR	ALUM.	D	X	EXIST. WINDOW TO REMAIN
18	4'-0"	5'-1 1/2"	3'-0"	-	SOUTH WALL	2ND FLOOR	ALUM. / GLASS	CLEAR	ALUM.	D	X	EXIST. WINDOW TO REMAIN
19	4'-0"	5'-1 1/2"	3'-0"	-	SOUTH WALL	2ND FLOOR	ALUM. / GLASS	CLEAR	ALUM.	D	X	EXIST. WINDOW TO REMAIN
20	4'-0"	5'-1 1/2"	3'-0"	-	SOUTH WALL	2ND FLOOR	ALUM. / GLASS	CLEAR	ALUM.	D	X	EXIST. WINDOW TO REMAIN
21	4'-0"	5'-1 1/2"	3'-0"	-	SOUTH WALL	2ND FLOOR	ALUM. / GLASS	CLEAR	ALUM.	D	X	EXIST. WINDOW TO REMAIN
22	3'-0"	6'-8"	4'-0"	-	WEST WALL	2ND FLOOR	ALUM. / GLASS	CLEAR	ALUM.	D	X	NEW WINDOW IN EXIST. OPENING
23	3'-10 3/4"	2'-11"	3'-10"	-	NORTH WALL	2ND FLOOR	WOOD / GLASS	PAINT	WOOD	D	X	NEW WINDOW IN EXIST. OPENING
24	1'-2"	1'-6"	5'-4"	-	NORTH WALL	2ND FLOOR	WOOD / GLASS	PAINT	WOOD	D	X	NEW WINDOW IN EXIST. OPENING
25	3'-11"	1'-5"	5'-4"	-	NORTH WALL	2ND FLOOR	WOOD / GLASS	PAINT	WOOD	D	X	NEW WINDOW IN EXIST. OPENING
26	3'-11"	1'-10"	4'-10"	-	NORTH WALL	2ND FLOOR	WOOD / GLASS	PAINT	WOOD	D	X	NEW WINDOW IN EXIST. OPENING
27	3'-11"	2'-5"	4'-4"	-	NORTH WALL	2ND FLOOR	WOOD / GLASS	PAINT	WOOD	D	X	NEW WINDOW IN EXIST. OPENING
28	3'-11"	2'-5"	4'-4"	-	NORTH WALL	2ND FLOOR	WOOD / GLASS	PAINT	WOOD	D	X	NEW WINDOW IN EXIST. OPENING
29	4'-0"	2'-6"	4'-6"	-	NORTH WALL	2ND FLOOR	WOOD / GLASS	PAINT	WOOD	D	X	NEW WINDOW IN EXIST. OPENING
30	2'-5"	2'-8"	4'-6"	-	NORTH WALL	2ND FLOOR	WOOD / GLASS	PAINT	WOOD	D	X	NEW WINDOW IN EXIST. OPENING
31	4'-0"	2'-8"	4'-0"	-	NORTH WALL	2ND FLOOR	WOOD / GLASS	PAINT	WOOD	D	X	NEW WINDOW IN EXIST. OPENING
32	6'-1"	4'-0"	3'-9"	-	NORTH WALL	2ND FLOOR	WOOD / GLASS	PAINT	WOOD	D	X	NEW WINDOW IN EXIST. OPENING

WINDOW TYPES

